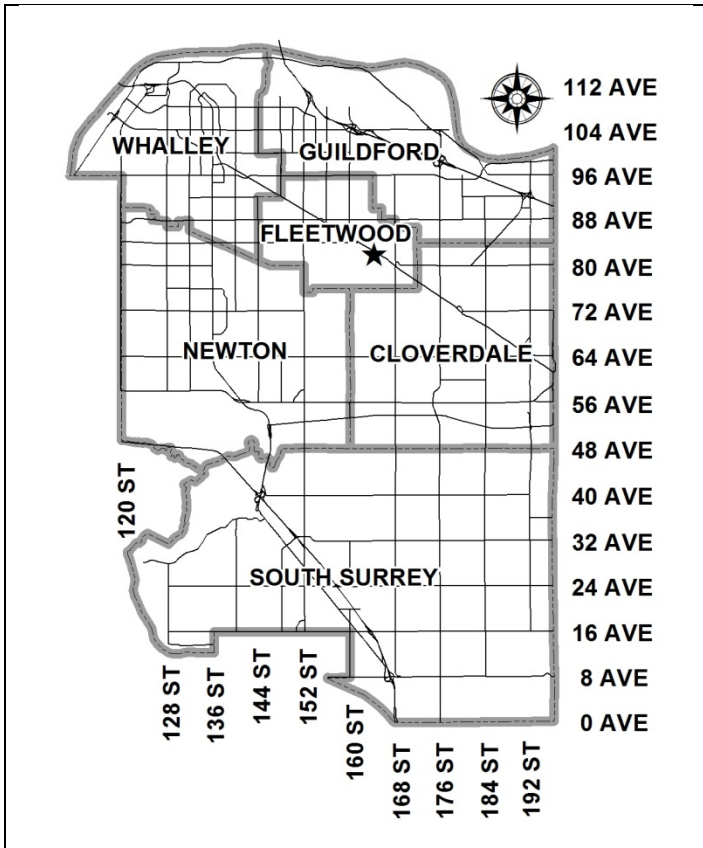


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7916-0224-00

Planning Report Date: December 19, 2016



**PROPOSAL:**

- **Rezoning** from RA to RM-30
- **Development Permit**
- **Development Variance Permit**

to permit the development of approximately 58 townhouse units in Fleetwood.

**LOCATION:** 16484 - Fraser Highway

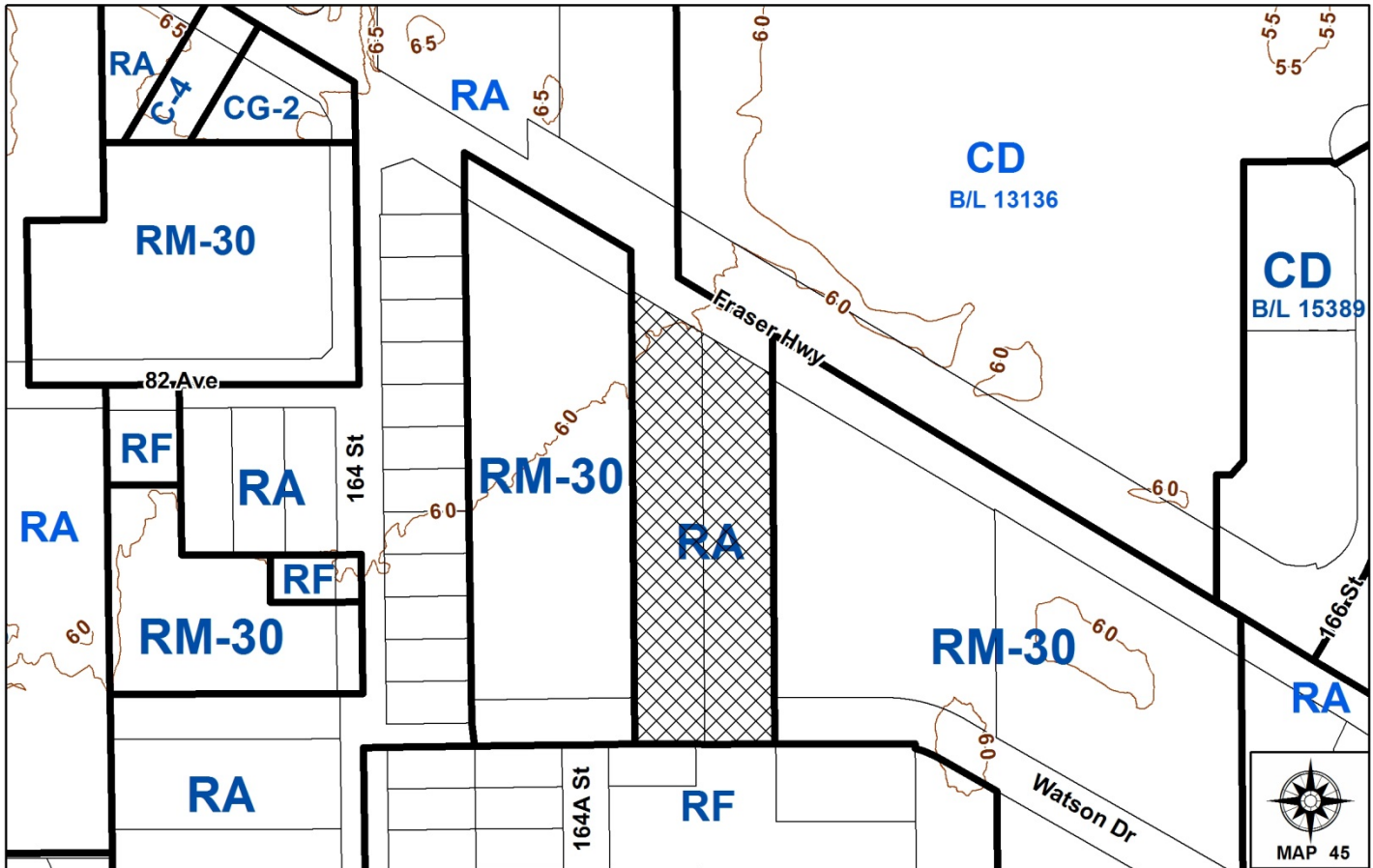
16472 - Fraser Highway

**OWNERS:** 1070334 BC Ltd.

**ZONING:** RA

**OCP DESIGNATION:** Urban

**NCP DESIGNATION:** Medium Density Townhouses



### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to reduce indoor amenity space.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking to reduce the minimum rear (south) and side yard (east and west) setbacks of the RM-30 Zone.

### RATIONALE OF RECOMMENDATION

- Complies with the Medium Density Townhouse designation in the Fleetwood Town Centre Plan.
- The proposed density and building form are appropriate for this part of Fleetwood, and are consistent with the recently-approved townhouse developments directly west and east of the subject site.
- The proposal fulfills the City's objectives of increasing density and housing choice within the vicinity of a proposed, future rapid transit corridor.
- The proposed south (rear) yard setback fronting the proposed 81A Avenue extension (to be called Watson Drive), achieves a more urban, pedestrian streetscape in compliance with the Fleetwood Town Centre Plan.
- The reduced east and west side yard setbacks are in keeping with what has been approved for similar townhouse developments in the Fleetwood Town Centre, and still accommodate appropriate yard space and landscaping treatments.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Multiple Residential 30 Zone (RM-30)", and a date be set for Public Hearing.
2. Council approve the applicant's request to reduce the amount of required indoor amenity space from 172 square metres (1,855 square feet) to 129 square metres (1,385 square feet).
3. Council authorize staff to draft Development Permit No. 7916-0224-00 generally in accordance with the attached drawings (Appendix II).
4. Council approve Development Variance Permit No. 7916-0224-00 (Appendix VI) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum south rear yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (13 ft.) to the building face and to 3.5 metres (11.5 ft.) to the roof overhangs;
  - (b) to reduce the minimum west side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 6.0 metres (10 ft.) to the building face and to 5.0 metres (16.5 ft.) to the roof overhangs; and
  - (c) to reduce the minimum east side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) to the building face and to 2.5 metres (8.0 ft.) to the roof overhangs.
5. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (c) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (e) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
  - (f) submission of an acoustical report for the units adjacent to Fraser Highway and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;

- (g) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and
- (h) the applicant adequately address the impact of reduced indoor amenity space.

### REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**  
20 Elementary students at William Watson Elementary School  
9 Secondary students at Fleetwood Park Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Spring of 2018.

Parks, Recreation & Culture: No concerns.

Surrey Fire Department: No concerns.



SITE CHARACTERISTICS

Existing Land Use: Two (2) vacant acreage lots.

Adjacent Area:

Direction	Existing Use	NCP Designation	Existing Zone
North (Across Fraser Highway):	City-owned park and Surrey Sports and Leisure Complex.	Parks & Linear Corridors and Institutional / Commercial	RA and CD (By-law No. 13136)
East:	58-unit townhouse development approved by Council on July 11, 2016 under Development Application No. 7915-0094-00, and is currently at the Building Permit stage.	Medium Density Townhouses	RM-30
South:	Single family lot and treed City park site with pathway.	Parks & Linear Corridors	RF
West:	73-unit townhouse development approved by Council on June 13, 2016 under Development Application No. 7915-0052-00, and is currently at the Building Permit stage.	Medium Density Townhouses	RM-30

DEVELOPMENT CONSIDERATIONSBackground

- The subject site, at 16472 and 16484 Fraser Highway, is located in Fleetwood and is approximately 1.1 hectares (2.6 acres) in size. The site is currently vacant.
- The subject site is designated "Urban" in the Official Community Plan (OCP), "Medium Density Townhouses / Buffer Within Private Land" in the Fleetwood Town Centre Plan (TCP), and is zoned "One-Acre Residential Zone (RA)".
- The subject site is located along the south side of Fraser Highway, where most of the properties fronting Fraser Highway between 164 Street and 168 Street are designated Medium Density Townhouses in the Fleetwood TCP.
- A 73-unit townhouse development, located directly west of the subject property at 16434 Fraser Highway, was approved by Council under Development Application No. 7915-0052-00 on June 13, 2016. A 58-unit townhouse development, located directly east of the subject property at 16518 Fraser Highway, was approved by Council under Development Application No. 7915-0094-00 on July 11, 2016. These townhouse developments are currently at the Building Permit stage.

- A 95-unit townhouse project proposing RM-30 zoning on lands further east (16604, 16626, 16638, 16650 and 16664 - Fraser Highway) under Development Application No. 7916-0212-00 is scheduled for Public Hearing on December 19, 2016.

### Current Proposal

- The applicant is proposing to rezone the subject site from "One-Acre Residential Zone (RA)" to "Multiple Residential 30 Zone (RM-30)" in order to allow the development of fifty-eight (58) townhouse units.
- The applicant also proposes a Development Variance Permit (DVP) to reduce the minimum building setbacks along the south, west and east lot lines (see By-law Variances section).
- The net density for the proposed 58-unit townhouse development on the proposed subject site is 62 units per hectare (25 units per acre) with a floor area ratio (FAR) of 0.89, which are below the maximum unit density of 75 units per hectare (30 units per acre) and the maximum FAR of 0.90 permitted in the RM-30 Zone. The proposed density is also consistent with the "Medium Density Townhouses" designation in the Fleetwood Town Centre Plan.

### Road Requirements

- A 20-metre (66-ft.) wide right-of-way is registered along the southern portion of the subject site. The right-of-way was secured as part of the approved townhouse development to the east (File No. 7915-0094-00) to ensure that the east/west road (Watson Drive) could be constructed through the subject site and provide vehicle access to 164 Street for the sites to the east, in advance of the completion of the subject development application.
- As part of the current development application, the applicant will now dedicate the land along the south lot line that is encumbered by the right-of-way for the new 20-metre (66-ft.) wide Watson Drive, which will ultimately connect to Fraser Highway at 166 Street to the east (see 166 Street Alignment Section).
- Watson Drive will connect to 164 Street to the west via the currently unopened 10-metre (33-ft.) wide road allowance (located immediately south of the property at 8134 - 164 Street). This road will be constructed as part of Development Application No. 7915-0052-00 to the west (16434 Fraser Highway), which was approved by Council on June 13, 2016, in order to provide vehicle access to the properties that will be redeveloped with lot frontages along Watson Drive.
- The interim connection of Watson Drive to 164 Street as a half road (10 metres / 33 ft.) is not ideal given the limited road allowance. The north half of the road (located on 8134 - 164 Street) would typically be dedicated and secured via redevelopment of the single family lots along 164 Street; however, this may be a long-term scenario.

- An increase in the amount of traffic in the area will result from the densification of the lands south of Fraser Highway between 164 Street and 166 Street, and as such, it was determined that the lands directly benefitting from the full 20-metre (66-ft.) wide road connection of Watson Drive to 164 Street must contribute to the acquisition of 8134 - 164 Street. The acquisition cost for the necessary land to achieve the 20-metre (66-ft.) wide road, as well as the total road construction cost will be shared by the owners of the lots/developments fronting the new Watson Drive between 164 Street and 166 Street (which includes the owner of the subject site) and will be secured as part of the associated servicing agreements.
- The applicant will also dedicate approximately 2.25 metres (7.5 ft.) tapering to 1.65 metres (5.5 ft.) from west to east along the north lot line, to facilitate the future widening of Fraser Highway, which will be an ultimate width of 42.0 metres (138 ft.).

### Fleetwood Town Centre Plan

- On February 24, 2014, Council authorized staff to review and update the City's Town Centre Plans, including the Fleetwood Town Centre Plan (as per Corporate Report No. R035; 2014). The Fleetwood Town Centre Plan is being updated to reflect changes and new conditions that have made the original plan outdated, including the possible future extension of light rail transit (LRT) along Fraser Highway from City Centre to Langley.
- After an extensive public consultation process, Council granted approval to the Stage 1 Land Use and Transportation Concept for the Fleetwood Town Centre Plan (TCP) on July 25, 2016 (as per Corporate Report No. R0187; 2016). It is anticipated that Stage 2 of the planning process for the Fleetwood TCP will be forwarded for Council consideration in Spring of 2017.
- Redevelopment of the area adjacent to the subject site, south of Fraser Highway and north of 80 Avenue between 164 Street and 168 Street, has proven to be a particular challenge given the servicing constraints and the difficulty of land assembly. In order to advance the redevelopment of this area ahead of the Fleetwood Town Centre Plan (TCP) Update, Council approved an amendment to this section of the Fleetwood TCP with respect to the road alignment of Watson Drive, 166 Street and the introduction of 166B Street (see Appendix VII). Council approval of this particular TCP amendment was granted on July 27, 2015 (as per Corporate Report No. L004; 2015), after a public consultation process that included a public open house held on June 16, 2015.
- The subject development application is consistent with the Town Centre Plan (TCP) Amendment for this area of Fleetwood and is unaffected by the amendment to the road alignment of Watson Drive. Vehicle and pedestrian circulation for residents living on the subject site, however, will benefit in the future when Watson Drive and 166 Street are constructed and connected to Fraser Highway.

### 166 Street Alignment

- The Fleetwood Town Centre Plan (TCP) amendment that was approved by Council under Corporate Report No. L004 on July 27, 2015 shows a realignment of the road network in the area east of the subject site (south of Fraser Highway and north of 80 Avenue between 164 Street and 168 Street). The east / west road (Watson Drive) now connects to Fraser Highway via a 166 Street extension (see Appendix VII). Under the original Fleetwood TCP, Watson Drive continued east and connected to 80 Avenue to the southeast.

- The proposed townhouse development to the east, under Development Application No. 7916-0212-00 (16604, 16626, 16638, 16650 and 16664 - Fraser Highway), which is scheduled for Public Hearing on December 19, 2016, will provide the road dedication required for the construction of the north half of the 166 Street extension. The completion of 166 Street from Fraser Highway to Watson Drive, however, is contingent on an agreement with the Castle Pines townhouse strata (16588 - Fraser Highway) to provide the remaining portion of the 166 Street extension.
- Negotiations with the Castle Pines strata to secure the lands required for the 166 Street extension are progressing, but due to its complexity and timing, the applicant for Development Application No. 7916-0212-00 has proposed an alternative solution for the 166 Street extension, should the construction of the road in its intended location as per the Fleetwood TCP amendment, be unsuccessful.
- The applicant of Development Application No. 7916-0212-00 proposes to convey a portion of land to the City as part of that project, should an agreement not be reached between the City and the Castle Pines strata for the 166 Street extension. This would realign 166 Street and require additional road dedication from the adjacent property to the south (16581 – 80 Avenue) through future redevelopment.
- The completion of 166 Street, whether in its intended location consistent with the Fleetwood TCP Amendment or in this modified location as proposed by the applicant of Development Application No. 7916-0212-00, will form an essential part of the road network and connectivity in the area by connecting Watson Drive to a signalized intersection at Fraser Highway.

### PRE-NOTIFICATION

Pre-notification letters were sent on August 9, 2016, and staff received no responses.

### DESIGN PROPOSAL AND REVIEW

- The proposed 58-unit townhouse project consists of ten (10), three-storey buildings with garages accessed internally at grade.
- A total of 52 of the proposed townhouses consist of double car, side-by-side garages. Six (6) internal tandem garage units are proposed, and are all located in proposed Building 7.
- The proposed building materials include hardie reveal panels painted dark grey and white, and longboard aluminum siding with a wood grain finish. Natural ledgestone cladding is proposed for all end units as well as the amenity building.
- The proposed unit doors are painted brown, while fascia boards and rooftop trellises are painted dark grey to match the hardie panel.
- Each proposed townhouse unit includes a second-floor deck as well as a private rooftop deck. The proposed railings include tempered glass with a black frame.

- The proposal will include four (4) electrical rooms attached to Units 6, 7, 14 and 15. Three (3) pad-mounted transformer (PMT) boxes are proposed adjacent to Units 28, 43 and 53. The PMT will be screened by landscaping.
- A community mail kiosk is proposed in a central location, directly west of Building 3.

#### Vehicle Access and Parking

- Vehicle access to the subject site is via Watson Drive. No direct vehicle access is permitted to Fraser Highway.
- The proposed townhouse development includes a total of 128 parking spaces, consisting of 116 resident parking spaces in 52 double car, side-by-side garages and six (6) tandem garage units, as well as 12 visitor parking spaces, which comply with the parking requirements of the Surrey Zoning By-law. All visitor parking spaces will be delineated by decorative permeable pavers.

#### Amenity Spaces

- The RM-30 Zone requires that 172 square metres (1,855 sq. ft.) of indoor amenity space and 172 square metres (1,855 sq. ft.) of outdoor amenity space be provided (3.0 sq.m. / 32 sq.ft. of each amenity per dwelling unit) for the proposed 58-unit townhouse project.
- The applicant proposes 172 square metres (1,855 sq. ft.) of outdoor amenity space, which meets the minimum 172 square metres (1,855 sq. ft.) required under the RM-30 Zone. The proposed outdoor amenity space is located at the northwest corner of the subject property adjacent to an existing Western Red Cedar tree and the proposed amenity building.
- The outdoor amenity space includes an open grassed area with benches and decorative boulders and logs, as well as a play area.
- The applicant proposes a two-storey amenity building approximately 129 square metres (1,385 square feet) in size. The proposed amenity building is attached to Unit 21 of Building 7, and is located adjacent to the outdoor amenity area.
- The proposed 129-square metre (720 sq. ft.) amenity building does not meet the minimum 172 square metres (1,855 sq. ft.) of indoor amenity space required under the RM-30 Zone. The applicant will provide a monetary contribution of \$17,200 (based on \$1,200 per unit of the indoor amenity space required) in accordance with City policy to address this shortfall.
- The applicant has provided the following reasons for the reduction in the indoor amenity space:
  - The subject site is within close proximity to the Surrey Sports and Leisure Complex, which offers quality services and amenity space; and
  - Every proposed townhouse unit includes a private, outdoor rooftop deck, which vary in size from 45 square metres (485 sq.ft.) to 49 square metres (525 sq.ft.).

TREES

- Vanessa Melney, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Alder	20	20	0
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Cherry	1	1	0
Maple, Norway	2	0	2
Oak, Red	5	0	5
Willow, Weeping	1	1	0
<b>Coniferous Trees</b>			
Cedar, Western Red	12	10	2
Falsecypress	1	1	0
Fir, Douglas	2	2	0
Hemlock, Western	1	1	0
Pine	1	1	0
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>26</b>	<b>17</b>	<b>9</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>75</b>	
<b>Total Retained and Replacement Trees</b>		<b>84</b>	
<b>Contribution to the Green City Fund</b>		<b>No contribution required</b>	

- The Arborist Assessment states that there are a total of twenty-six (26) mature trees on the site, excluding Alder trees. There are no Cottonwood trees on the site. The 20 existing on-site Alder trees represent approximately 43% of the total trees on the subject site. It was determined that nine (9) mature trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration of the location of services, building footprints, and road dedication.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 54 replacement trees on the site. The applicant is proposing 75 replacement trees on the site, which exceeds the City requirement.
- In summary, a total of 84 trees are proposed to be retained or replaced on the subject site. No contribution is required to the Green City Fund.

Landscaping

- The landscape plan shows a total of 75 trees to be planted throughout the subject site including maple, dogwood, cypress, magnolia, spruce, pine and aspen.
- A significant number of shrubs and ground cover species are proposed throughout the subject site, including laurel, honeysuckle, sedge, yew, rhododendrons, roses, azaleas, lavender and decorative grasses.
- The applicant proposes a 4.5-metre (15-ft.) wide landscape buffer adjacent to the front yards of the townhouse units in Building 7 near the north property line along Fraser Highway, in accordance with the Fleetwood Town Centre Plan (TCP).
- A 2.5-metre (8.0-ft.) wide right-of-way for a multi-use path, also in accordance with the Fleetwood TCP, will be registered on the subject site adjacent to the north property line along Fraser Highway, directly north of the landscape buffer.
- A 1.8-metre (6-ft.) high cedar fence (stained wood) will be installed along the north, east and west lot lines. The fence will be installed directly south of the landscape buffer along the north lot line, separating the front yards of the proposed townhouse units in Building 7 and the landscape buffer.
- A wood fence gate is proposed at the end of the two (2) internal walkways located at the northwest and northeast corners of the site, which provide a private pedestrian connection to Fraser Highway for the future townhouse residents.
- A 1.1-metre (3.5-ft.) high black aluminum picket fence will be installed along the south lot line fronting Watson Drive in order to separate the public and private spaces, but maintain an urban, pedestrian-friendly, streetscape.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on May 13, 2015. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>• The site is located within the Fleetwood Town Centre Plan (TCP) area, and the project is consistent with the TCP.</li> </ul>



Sustainability Criteria	Sustainable Development Features Summary
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>The proposed development will increase the density in the area and promote a more urban, pedestrian-friendly streetscape.</li> <li>The project will diversify the housing stock and provide additional options for future home buyers in this area.</li> <li>Increased densities in the area may advance the expansion of transit options and create a more pedestrian and transit-friendly neighbourhood.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>The proposed development includes absorbent soils and permeable pavers.</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>Frequent transit service runs along Fraser Highway, and transit stops are located within walking distance from the subject site.</li> <li>A multi-use path runs along the south side of Fraser Highway and provides access for pedestrians and cyclists.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>The proposed building incorporates CPTED principles including: well-lit entries/exits, passive surveillance on the street, open sightlines, and good on-site pedestrian linkages and lighting.</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>No green rating or certification is proposed.</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>Pre-notification letters were mailed to area residents and a development proposal sign was installed on subject site.</li> </ul>

### BY-LAW VARIANCES AND JUSTIFICATION

(a) Requested Variances:

- To reduce the minimum south rear yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (14.5 ft.) to the building face and to 3.5 metres (11.5 ft.) to the roof overhangs;
- To reduce the minimum west side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) to the building face and to 5.0 metres (16.5 ft.) to the roof overhangs; and
- To reduce the minimum east side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) to the building face and to 2.5 metres (8.0 ft.) to the roof overhangs.

Applicant's Reason:

- The subject site is long and narrow and the requested setback relaxations will allow the applicant to achieve a feasible project.

Staff Comments:

- The RM-30 Zone requires that buildings and structures be sited a minimum of 7.5 metres (25 ft.) from all property lines. The applicant is proposing reduced setbacks along the south, west and east lot lines.
- The reduced setbacks along the south property line for the front yards of the proposed townhouse units will create an appropriate urban, pedestrian-friendly streetscape along Watson Drive.
- The proposed west side yard setback is 6.0 metres (20 ft.), which still accommodates adequate back yard space for the adjacent townhouse units in Buildings 8, 9 and 10, as well as an internal walkway that runs the length of the west lot line connecting Fraser Highway with Watson Drive.
- The proposed east side yard setback is 3.0 metres (10 ft.) and is a side yard condition to proposed Buildings 1 to 7. A 2.5-metre (8-ft.) wide right-of-way for a storm drainage main is located within the setback, however, there is still room to plant a laurel hedge along the property line for screening and softening.
- The roof overhangs form an integral part of the overall design and articulation of the buildings.
- The reduced setbacks (to the building face and roof overhangs) along the south, west and east lot lines are in keeping with what have been approved for similar townhouse developments in the Fleetwood Town Centre, including the two (2) recently-approved townhouse developments directly to the west and east of the subject site (Development Application Nos. 7915-0052-00 and 7915-0094-00).
- Staff support the requested variances.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
- Appendix II. Site Plan, Building Elevations, Landscape Plans
- Appendix III. Engineering Summary
- Appendix IV. School District Comments
- Appendix V. Summary of Tree Survey and Tree Preservation
- Appendix VI. Development Variance Permit No. 7916-0224-00
- Appendix VII. Portion of Fleetwood Town Centre Plan with notations

*Original signed by Judith Robertson*

Jean Lamontagne  
General Manager  
Planning and Development

DN/da



## DEVELOPMENT DATA SHEET

Proposed Zoning: RM-30

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>LOT AREA</b>		
Gross Total		10,695 sq.m.
Road Widening area		1,207 sq.m.
Net Total		9,488 sq.m.
<b>LOT COVERAGE (in % of net lot area)</b>		
Buildings & Structures	45%	40%
Paved & Hard Surfaced Areas		25%
Total Site Coverage		65%
<b>SETBACKS</b>		
Front (north)	7.5 metres	11.0 metres
Rear (south)	7.5 metres	4.5 metres (15 ft.) to the building face and 3.5 metres (11.5 ft.) to the roof overhangs*
Side #1 (west)	7.5 metres	6.0 metres (20 ft.) to the building face and 5.0 metres (16.5 ft.) to the roof overhangs*
Side #2 (east)	7.5 metres	3.0 metres (10 ft.) to the building face and 2.5 metres (8.0 ft.) to the roof overhangs*
<b>BUILDING HEIGHT (in metres/storeys)</b>		
Principal	13 metres	12.8 metres
Accessory	4.5 metres	N/A
Amenity building	11 metres	7.5 metres
<b>NUMBER OF RESIDENTIAL UNITS</b>		
One Bed		N/A
Two Bedroom		N/A
Three Bedroom +		58
Total		58
FLOOR AREA: Residential		8,405 sq.m.
FLOOR AREA: Commercial		N/A
FLOOR AREA: Industrial		N/A
FLOOR AREA: Institutional		N/A
<b>TOTAL BUILDING FLOOR AREA</b>	<b>8,539 sq.m.</b>	<b>8,405 sq.m.</b>

\* Variances requested

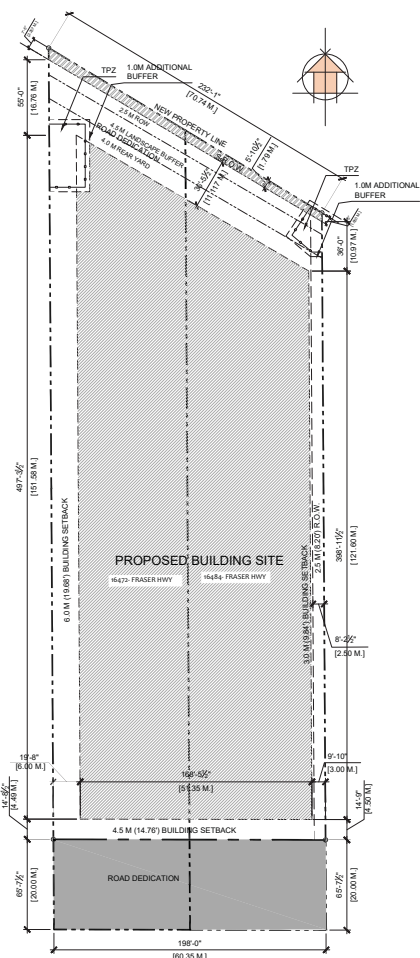
**Development Data Sheet cont'd**

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
DENSITY		
# of units/ha / # units/acre (net)	75 UPH / 30 UPA	62 UPH / 25 UPA
FAR (net)	0.90	0.79
AMENITY SPACE (area in square metres)		
Indoor	172 sq.m.	129 sq.m.
Outdoor	172 sq.m.	172 sq.m.
PARKING (number of stalls)		
Commercial		N/A
Industrial		N/A
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed	116	116
Residential Visitors	12	12
Institutional		N/A
Total Number of Parking Spaces	128	128
Number of disabled stalls		N/A
Number of small cars		3
Tandem Parking Spaces: Number / % of Total Number of Units		12 / 10%
Size of Tandem Parking Spaces width/length	3.2 metres by 12.2 metres	3.2 metres by 12.2 metres

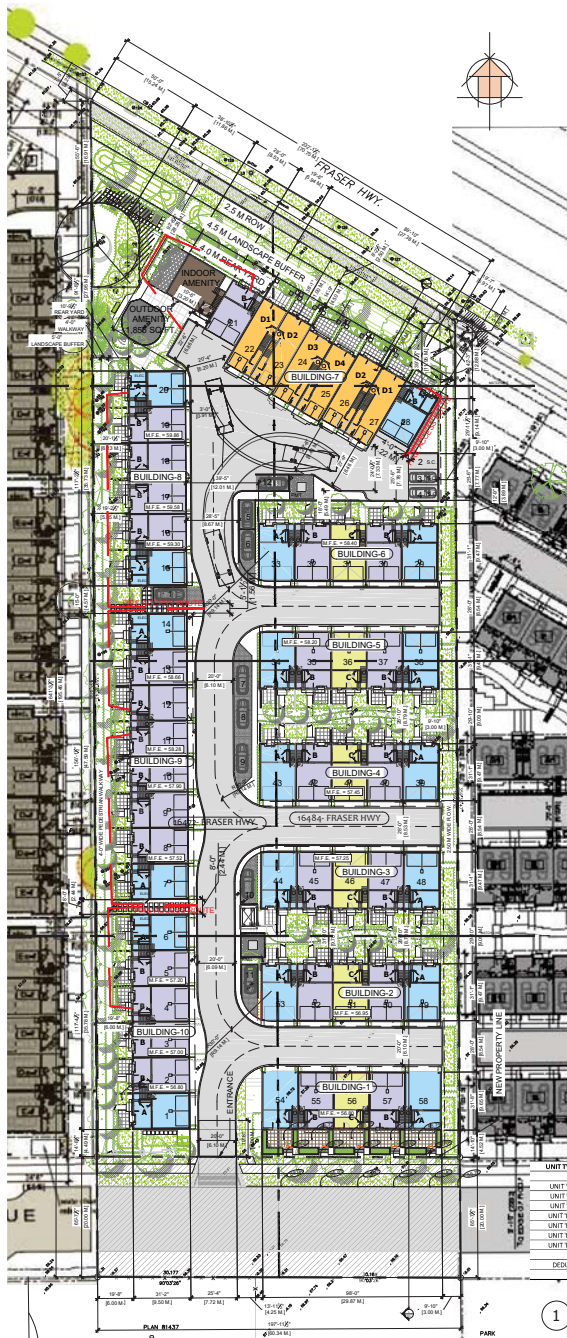
Heritage Site	NO	Tree Survey/Assessment Provided	YES
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3 VIEW ALONG WATSON DR. Scale: N.T.S.



2 DEVELOPABLE AREA DIAGRAM Scale: 3/12" = 1' - 0"



1 PRELIMINARY SITE LAYOUT Scale: 1/32" = 1' - 0"



3 SITE LOCATION NTS

**DEVELOPMENT DATA**

**LEGAL DESCRIPTION:**  
 LOT 1 SECTION 25 TOWNSHIP 2 PLAN 8287 NWD PART W 1/2 EXCEPT PLAN PT RD ON PL LMP31845 & BCP11343  
 LOT E PT 1 BLOCK 13-15 SECTION 5E25 TOWNSHIP 2 PLAN 8287 NWD EXCEPT PLAN LMP35202, PT RD ON BCP11066 (204 X 1)

**CIVIC ADDRESS:**  
 16472, 16484 FRASER HWY., SURREY, BC

**ZONING INFORMATION:**  
 ZONE: RA  
 EXISTING: RA  
 PROPOSED: RM-30

**LOT AREA:**  
 GROSS SITE AREA  
 LOT 1 = 60,527.45 SFT (5,623 SMT) = 1.39 Ac.  
 LOT 2 = 54,508.34 SFT (5,072 SMT) = 1.25 Ac.  
 TOTAL = 115,125.78 SFT (10,695 SMT) = 2.64 Ac.

**ROW:**  
 GREENWAY (FRASER HWY.) = 1,599.03 SFT (148.55 SMT)  
 DEDICATIONS (WATSON DRIVE) = 12,992.38 SFT (1,208.99 SMT)

**NET SITE AREA** = 102,131.43 SFT (9,488.01 SMT) = 2.34 Ac.

**NET DENSITY:**  
 F.A.C. PROPOSED (NET) = 8,404.32 m<sup>2</sup> / 9,488.01 m<sup>2</sup> = 0.89 (EXCLUDES GARAGES, PARKING WITHIN THE BUILDING ENVELOPE)

**UPH:**  
 ALLOWED = 25 + (0.93x50) = 70 UPH  
 PROPOSED = 58 du / 0.93 ha = 62.4 UPH

**LOT COVERAGE:**  
 ALLOWED = 45.0 %  
 PROPOSED = 3,765.53 m<sup>2</sup> / 9,488.01 m<sup>2</sup> = 40.3 %

**BUILDING HEIGHT:**  
 ALLOWABLE = 43 ft (13.00 M)  
 PROPOSED = 42 ft (12.80 M)

**OUTDOOR AMENITY SPACE:**  
 REQUIRED = 32 SFT PER D.U. = 32 x 58 UNITS = 1,856 SFT  
 PROPOSED = 1,856 SFT (172.4 SMT)

**INDOOR AMENITY SPACE:**  
 REQUIRED = 32 SFT PER D.U. = 32 x 58 UNITS = 1,856 SFT  
 PROPOSED = 1,384 SFT (128.6 SMT)

**SETBACKS:**  
 EAST SIDE = 9'-10" (3.0 M)  
 WEST SIDE = 19'-0" (6.0 M)  
 NORTH SIDE (FROM FRASER HWY.) = 36'-1" (11.0 M)  
 SOUTH SIDE (FROM WATSON DR.) = 14'-10" (4.5 M)

**PARKING:**  
 RESIDENTIAL: 2 STALLS PER UNIT = 116 STALLS  
 PROVIDED = 116 STALLS  
 (INCLUDES 12 TANDEM (10%) & 104 PARALLEL (90%) CAR SPACES)

**RESIDENTIAL VISITOR:**  
 REQUIRED = 0.2 STALLS PER UNIT = 12 STALLS  
 PROVIDED = 9 STALLS  
 (SMALL CARS) = 3 STALLS (2.5%)

**TOTAL PROVIDED = 128 STALLS**

**FAR CALCULATIONS:**

UNIT TYPE	GARAGE	GRO. VLV.	VLV. 1	VLV. 2	VLV. 3	ROOF TOP	TOTAL	NOS.	TOTAL FAR	TOTAL BUILT UP
UNIT A'	381.09 Sq Ft	607.34 Sq Ft	206.44 Sq Ft	448.34 Sq Ft	36.39 Sq Ft	1,509.59 Sq Ft	38	28,320.64 Sq Ft	37,088.46 Sq Ft	
UNIT B'	381.09 Sq Ft	607.34 Sq Ft	206.44 Sq Ft	448.34 Sq Ft	36.39 Sq Ft	1,509.59 Sq Ft	28	43,023.12 Sq Ft	57,242.64 Sq Ft	
UNIT C'	381.09 Sq Ft	607.34 Sq Ft	206.44 Sq Ft	448.34 Sq Ft	36.39 Sq Ft	1,509.59 Sq Ft	6	9,062.8078 Sq Ft	13,533.3756 Sq Ft	
UNIT D'	516.00 Sq Ft	624.67 Sq Ft	188.67 Sq Ft	629.56 Sq Ft	63.87 Sq Ft	2,022.87 Sq Ft	2	2,677.0054 Sq Ft	4,041.0054 Sq Ft	
UNIT D2'	516.25 Sq Ft	623.09 Sq Ft	187.74 Sq Ft	629.45 Sq Ft	64.92 Sq Ft	2,021.45 Sq Ft	2	2,936.2124 Sq Ft	4,098.7454 Sq Ft	
UNIT D3'	513.34 Sq Ft	616.56 Sq Ft	182.54 Sq Ft	603.83 Sq Ft	63.37 Sq Ft	1,980.64 Sq Ft	1	3,432.9156 Sq Ft	4,012.6556 Sq Ft	
UNIT D4'	513.37 Sq Ft	616.25 Sq Ft	182.88 Sq Ft	603.83 Sq Ft	67.15 Sq Ft	1,973.54 Sq Ft	1	3,450.8654 Sq Ft	3,939.2354 Sq Ft	
DEDUCTION FOR ELEC. CAB.	50.57 Sq Ft						6	387.43 Sq Ft		
							58	90,466.33 Sq Ft	110,905.40 Sq Ft	

- NOTES:**
- ALL UNITS IN BUILDINGS 8, 9, 10 & UNITS 21 & 28 IN BUILDING 7 WILL BE SPRINKLERED.
  - AMENITY BUILDING WILL BE SPRINKLERED.

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**PROJECT:**  
 TOWNHOUSE DEVELOPMENT  
 #1205 - 22091 FRASERWOOD WAY,  
 SURREY, B.C.

**CLIENT:**  
 METROVAN CUSTOM HOMES  
 #1205 - 22091 FRASERWOOD WAY,  
 RICHMOND, BC

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NO.	REVISION
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**PRELIMINARY SITE LAYOUT**

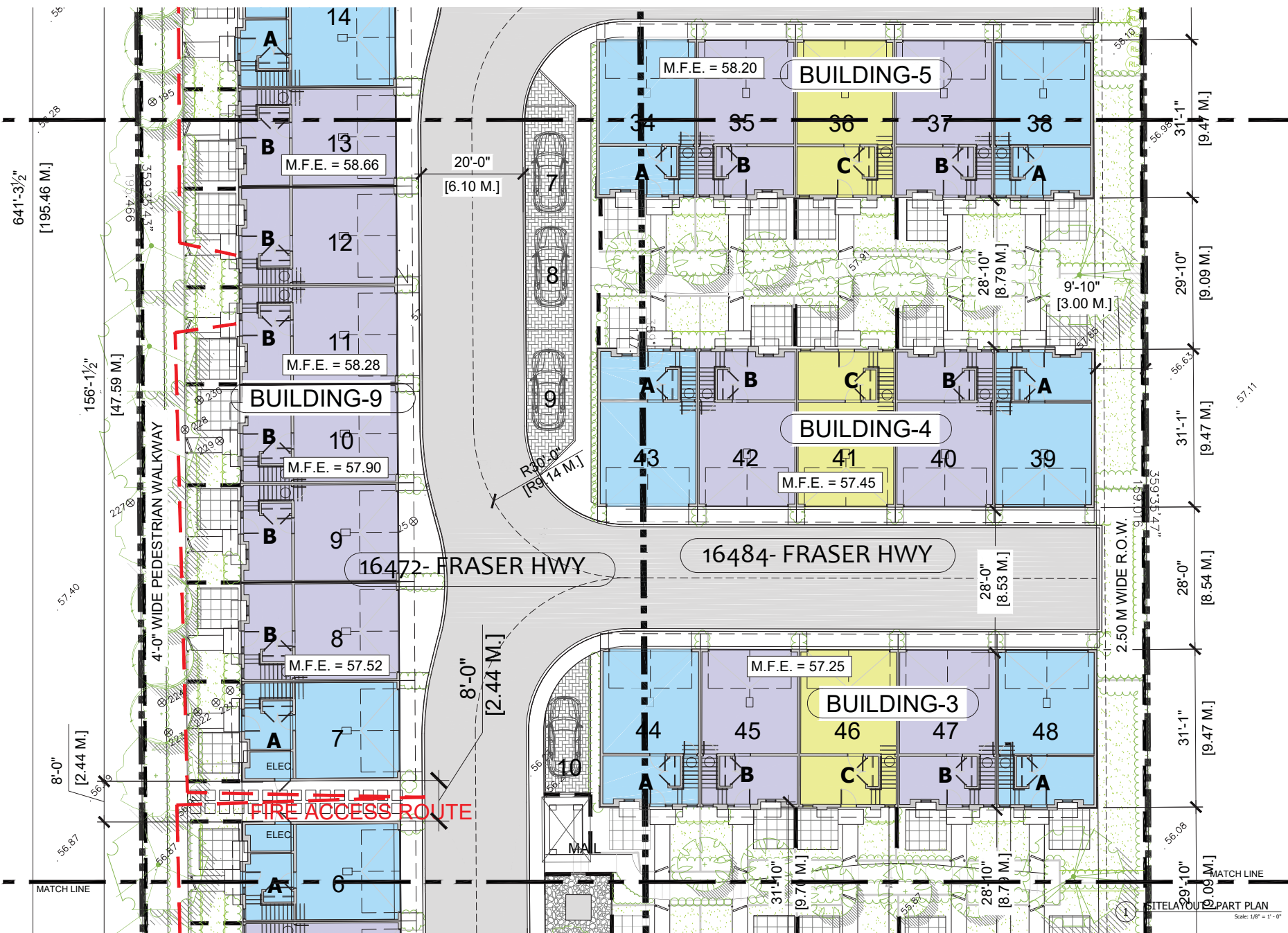
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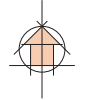








NOTES:



NO.	DATE	DESCRIPTION
1	2016/08/15	REVISIONS AS PER CITY COMMENTS
2	2016/08/15	DEVELOPMENT PERMIT APPLICATION



1205-4871 SHELL ROAD  
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PROJECT:  
**TOWNHOUSE DEVELOPMENT**  
 16472, 16484 - FRASER HWY.,  
 SURREY, B.C.

CLIENT:  
**METROVAN CUSTOM HOMES**  
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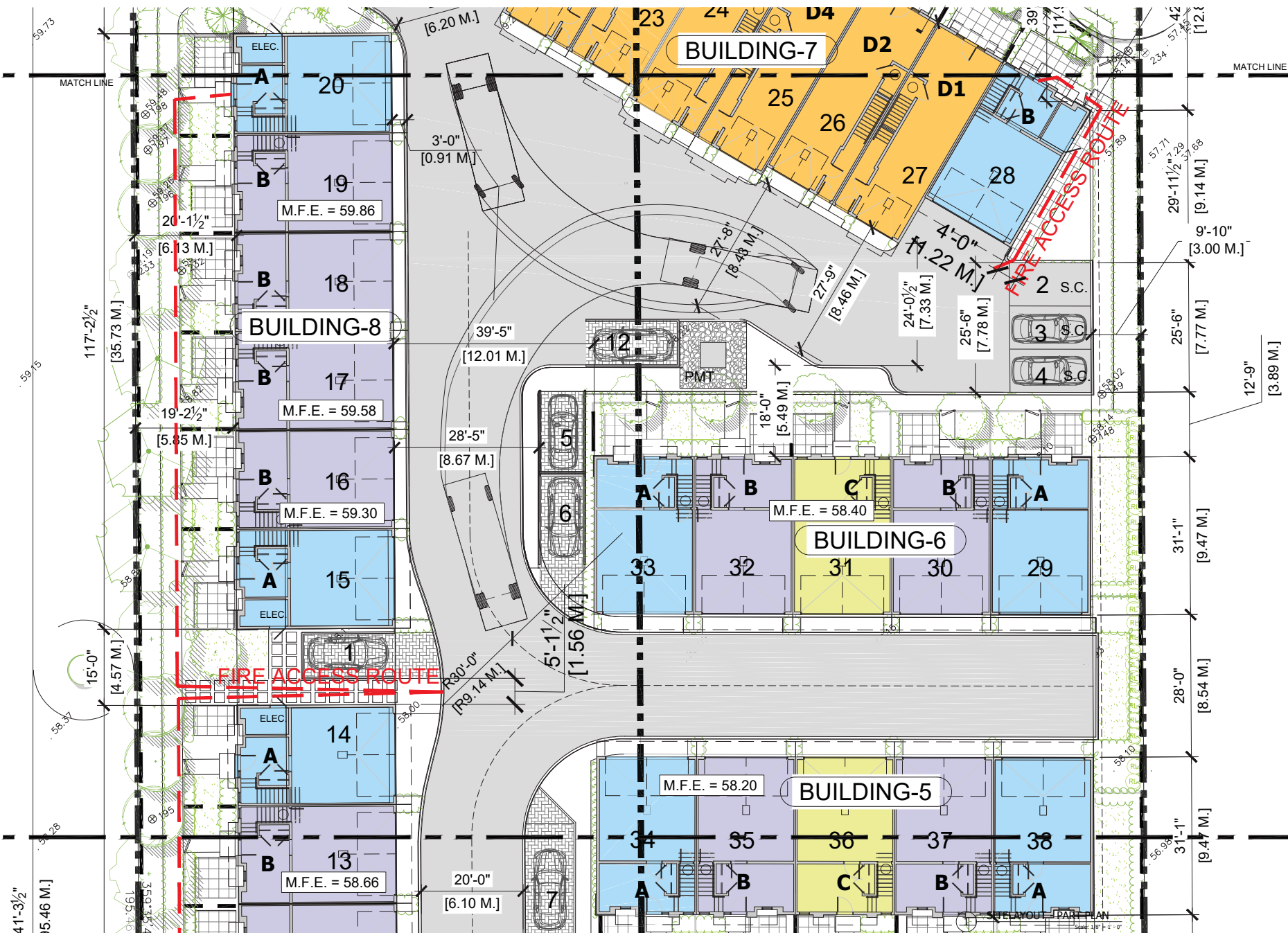
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CHECKED:	JM
SCALE:	1/32" = 1'-0"
JOB No.:	SR-022
DATE:	MAR 2016
SHEET TITLE:	

**SITE LAYOUT - PART PLAN 2**

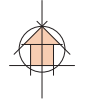
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SCALE: 1/8" = 1'-0"





NOTES:



NO.	DATE	DESCRIPTION
1	2016/08/13	REVISIONS AS PER CITY COMMENTS
2	2016/08/23	DEVELOPMENT PERMIT APPLICATION



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**TOWNHOUSE DEVELOPMENT**  
 #1205 - 22091 FRASERWOOD WAY,  
 SURREY, B.C.

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SCALE:	1/32" = 1'-0"
JOB No.:	SR-022
DATE:	MAR 2016
SHEET TITLE:	

**SITE LAYOUT - PART PLAN 3**

DRAWING NO.:	A-112	B
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FILED: 2016 MAR 23 PM 02:00:00 (GMT-08:00) V.10.00



NOTES:



KEYPLAN



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1205-871 SHELL ROAD  
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PROJECT:  
TOWNHOUSE DEVELOPMENT  
16472, 16484 - FRASER HWY.,  
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CLIENT:  
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#1205 - 22091 FRASERWOOD WAY,  
RICHMOND, BC

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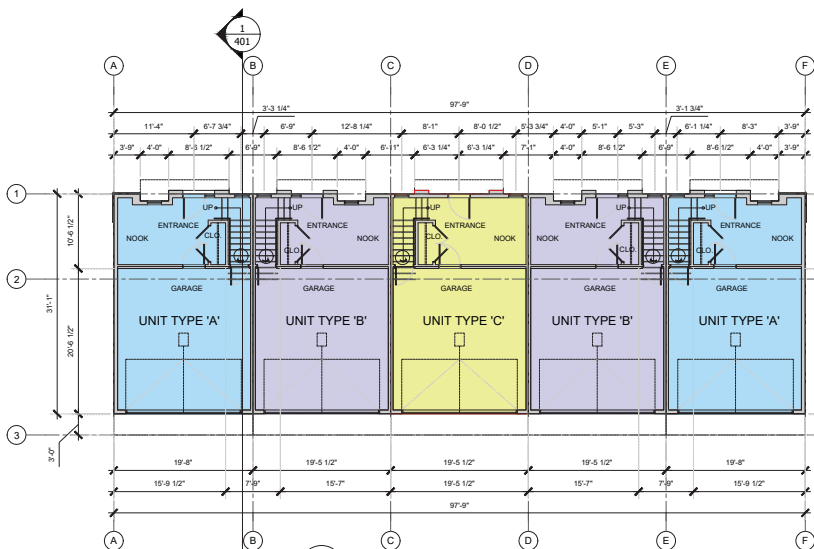
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DATE:	JUNE 2016
SHEET TITLE:	

BUILDING NOS.  
2 to 6 - FLOOR PLANS

DRAWING NO.:

A-201

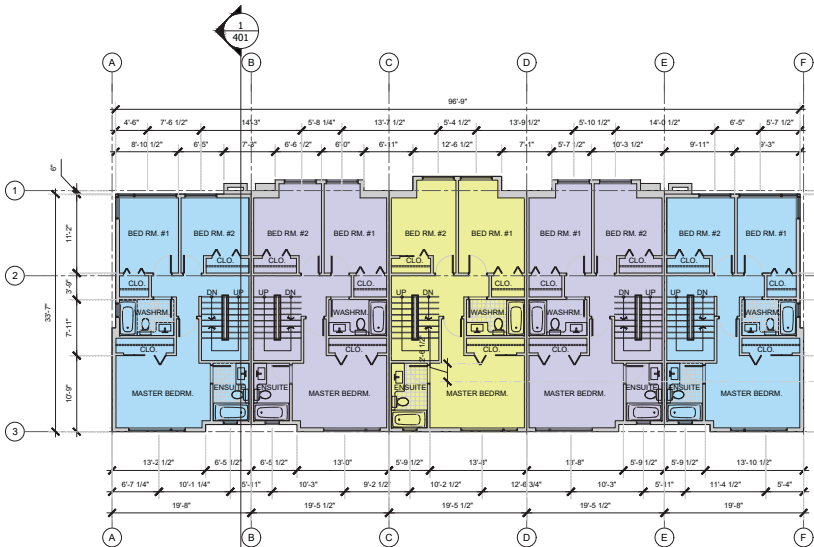
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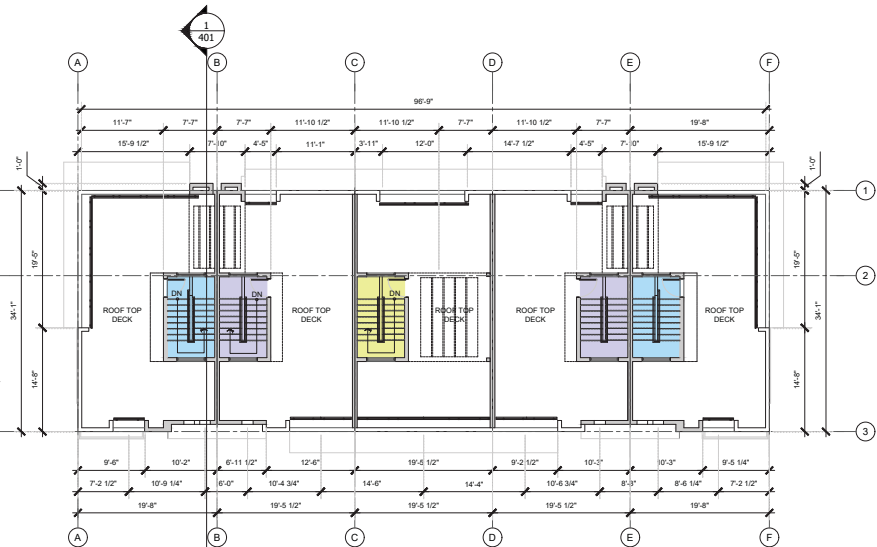
1 BUILDING TYPE A - FIRST FLOOR LEVEL (3004.49 SQ. FT.)



2 BUILDING TYPE A - SECOND FLOOR LEVEL (3277.98 SQ. FT.)

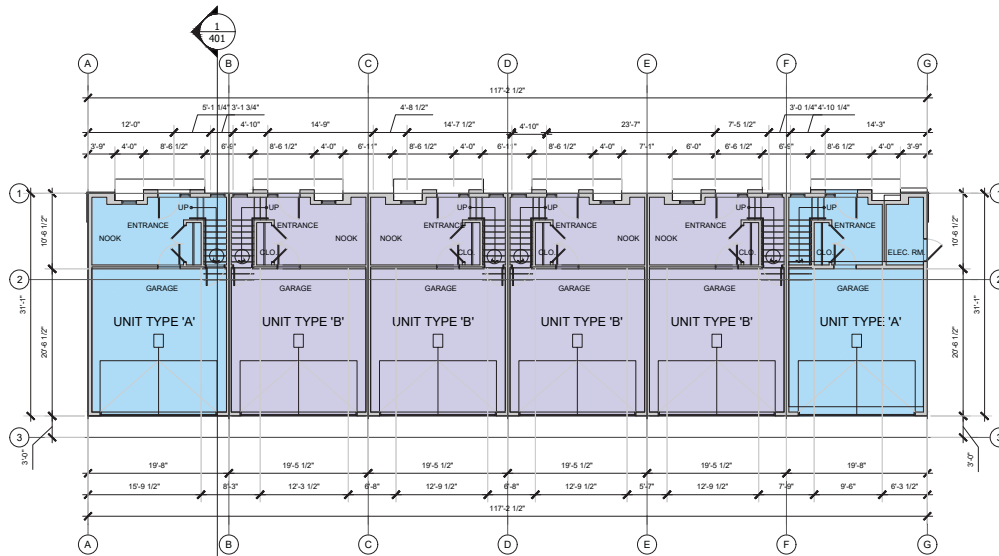


3 BUILDING TYPE A - THIRD FLOOR LEVEL (3345.9 SQ. FT.)

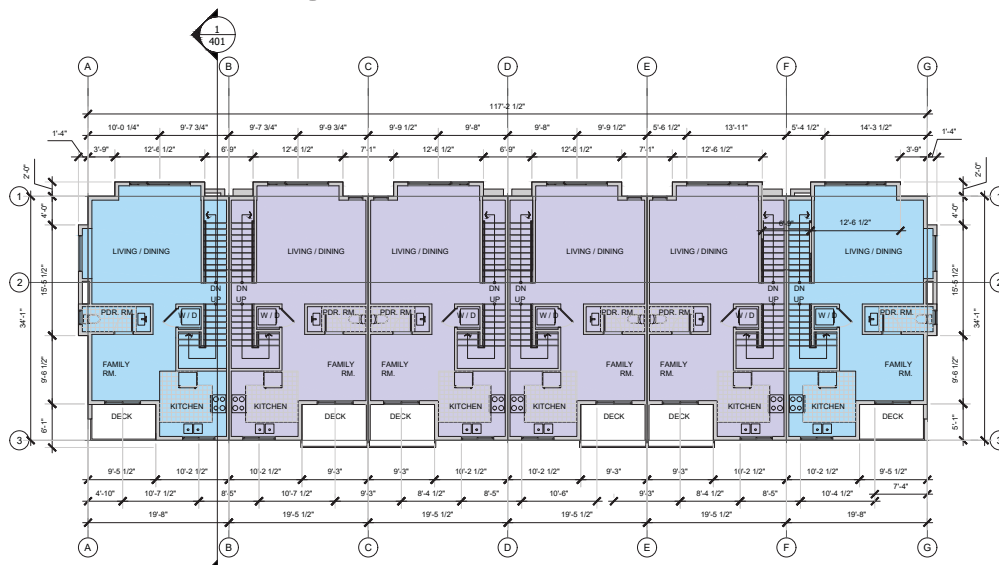


4 BUILDING TYPE A - ROOF LEVEL (3317.58 SQ. FT.)





1 BUILDING TYPE B- FIRST FLOOR LEVEL (3640.18 SQ. FT.)  
1/8" = 1'-0"



2 BUILDING TYPE B- SECOND FLOOR LEVEL (3903.11 SQ. FT.)  
1/8" = 1'-0"

- NOTES:
- ALL UNITS IN BUILDINGS 8 & 9, 10 & UNITS 21 & 22 IN BUILDING 11 WILL BE SPRINKLERED.
  - AMENITY BUILDING WILL BE SPRINKLERED.



NO.	DATE	DESCRIPTION
1	2016/08/23	REVISIONS AS PER CITY COMMENTS
2	2016/08/23	DEVELOPMENT PERMIT APPLICATION

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inc.

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PROJECT:  
TOWNHOUSE DEVELOPMENT  
16472, 16484 - FRASER HWY.,  
SURREY, B.C.

CLIENT:  
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#1205 - 22091 FRASERWOOD WAY,  
RICHMOND, BC

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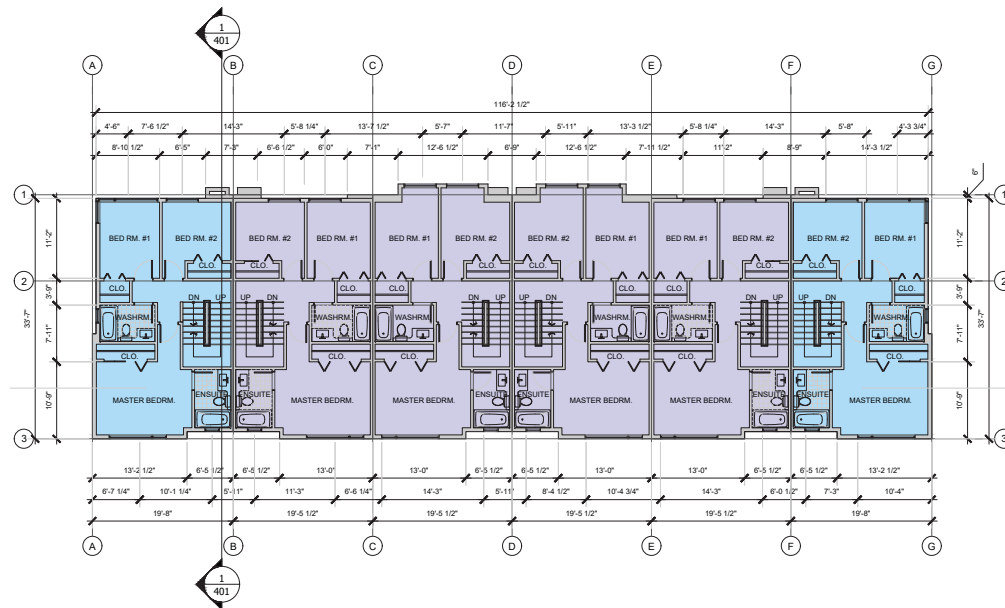
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DATE:	JUNE 2016
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BUILDING NOS.  
8 & 10 - FLOOR PLANS

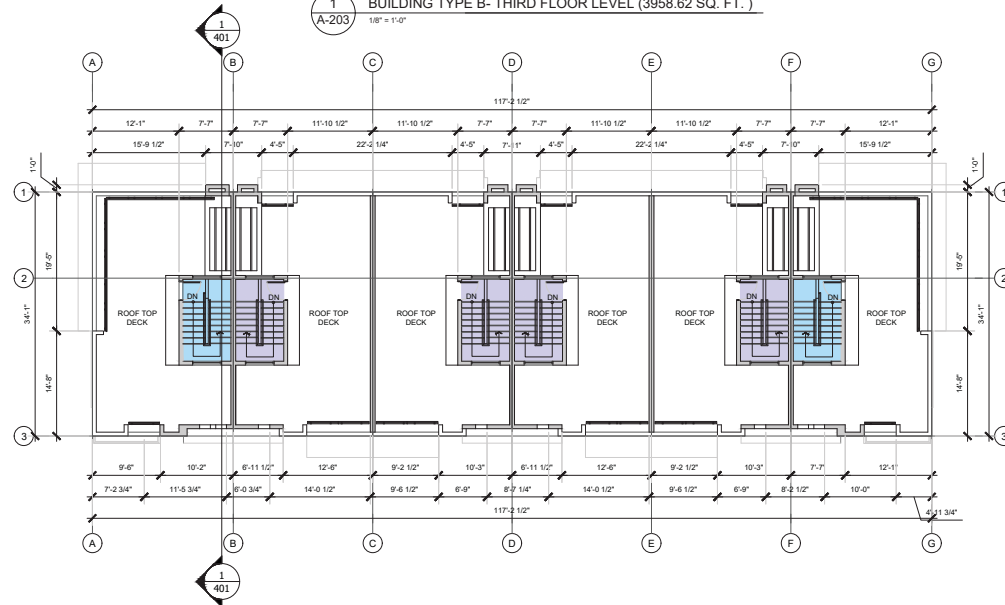
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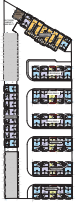
1 BUILDING TYPE B- THIRD FLOOR LEVEL (3958.62 SQ. FT. )  
A-203 1/8" = 1'-0"



2 BUILDING TYPE B- ROOF LEVEL (3973.69SQ. FT. )  
A-203 1/8" = 1'-0"

NOTES:

- ALL UNITS IN BUILDINGS 8 & 9, 10 & UNITS 21 & 22 IN BUILDING 7 WILL BE SPRINKLERED.
- APARTY BUILDING WILL BE SPRINKLERED.



KEY PLAN



NO.	DESCRIPTION
1	REVISIONS AS PER CITY COMMENTS
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1205-4871 SHELL ROAD  
RICHMOND, BRITISH COLUMBIA  
CANADA V6X 3Z6  
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info@dfarchitecture.ca

PROJECT:  
TOWNHOUSE DEVELOPMENT  
16472, 16484 - FRASER HWY.,  
SURREY, B.C.

CLIENT:

METROVAN CUSTOM HOMES  
#1205 - 22091 FRASERWOOD WAY,  
RICHMOND, BC

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JOB NO.:	SUR-022
DATE:	JUNE 2016
SHEET TITLE:	

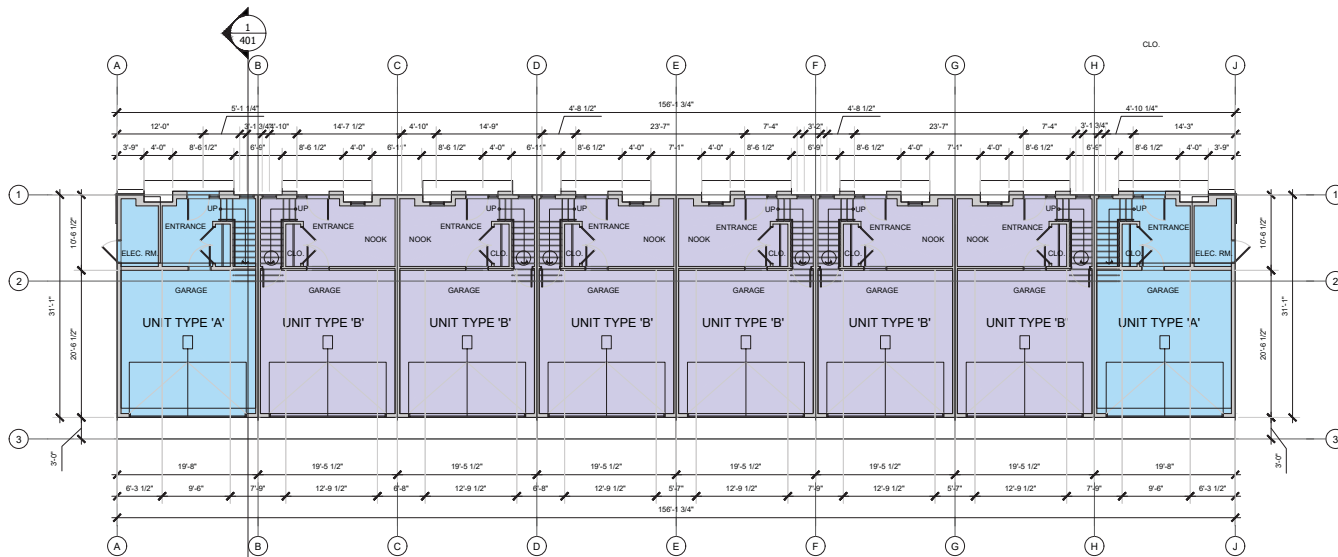
BUILDING NOS.  
8 & 10 - FLOOR PLANS

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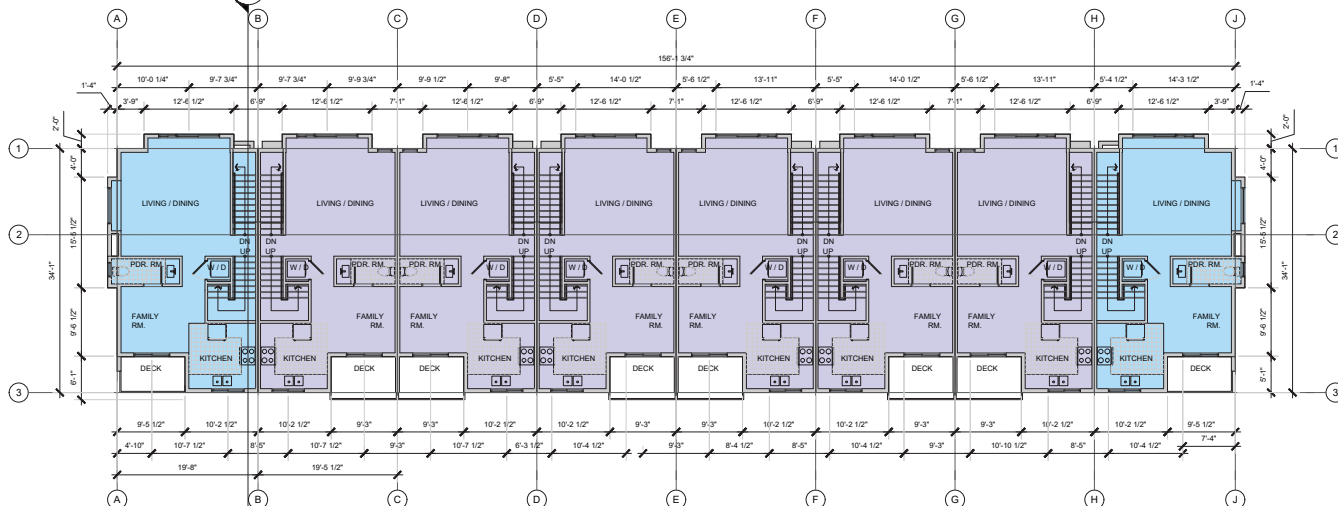
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DATE PLOTTED: 2016-06-24 10:00:00 AM

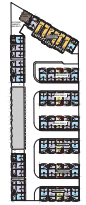


1 BUILDING TYPE C - FIRST FLOOR LEVEL (4844.09SQ. FT.)  
1/8" = 1'-0"



2 BUILDING TYPE C - SECOND FLOOR LEVEL (5185.35SQ. FT.)  
1/8" = 1'-0"

- NOTES:
- ALL UNITS IN BUILDINGS 9, 10 & UNITS 21 & 22 IN BUILDING 1 WILL BE SPRINKLERED.
  - APARTMENT BUILDING WILL BE SPRINKLERED.



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2016/08/23 REVISIONS AS PER CITY COMMENTS  
2016/08/23 DEVELOPMENT PERMIT APPLICATION

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RICHMOND, BRITISH COLUMBIA  
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PROJECT:  
TOWNHOUSE DEVELOPMENT  
16472, 16484 - FRASER HWY.,  
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CLIENT:  
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#1205 - 22091 FRASERWOOD WAY,  
RICHMOND, BC

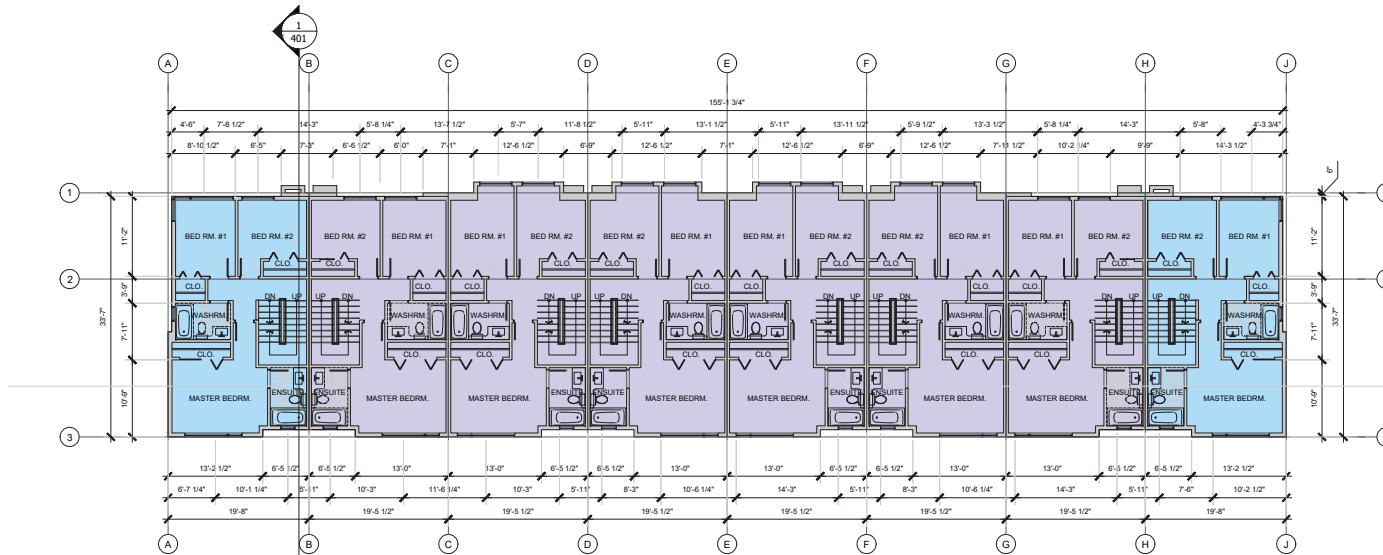
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CHECKED:	-
SCALE:	1/8" = 1'-0"
JOB NO.:	SUR-022
DATE:	JUNE 2016
SHEET TITLE:	

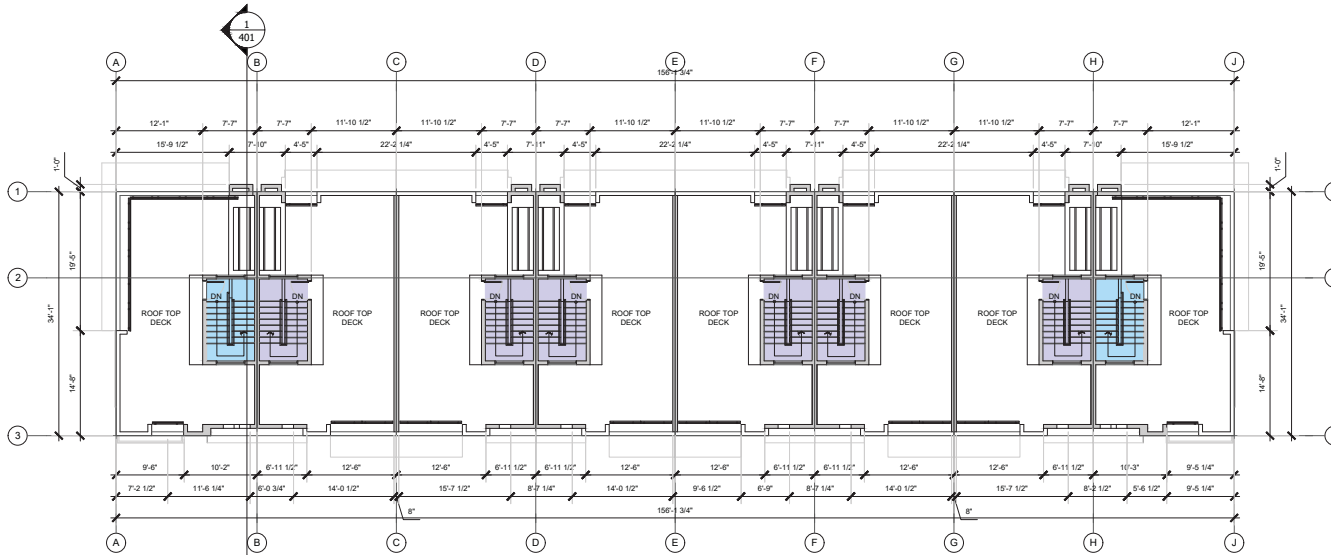
BUILDING NO.  
9 - FLOOR PLANS

DRAWING NO.:	A-204	B
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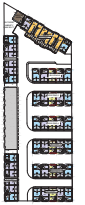
1 BUILDING TYPE C- THIRD FLOOR LEVEL (5323.43SQ. FT.)  
A-205 1/8" = 1'-0"



2 BUILDING TYPE C- ROOF LEVEL (5296.34SQ. FT.)  
A-205 1/8" = 1'-0"

NOTES:

- ALL UNITS IN BUILDINGS 8, 9, 10 & UNITS 21 & 26 IN BUILDING 7 WILL BE SPRINKLERED.
- ASSESSMENT BUILDING WILL BE SPRINKLERED.



KEYPLAN



NO.	REVISION
1	ISSUED FOR PERMITS
2	REVISED AS PER CITY COMMENTS
3	DEVELOPMENT PERMIT APPLICATION



1205-671 SHELL ROAD  
RICHMOND, BRITISH COLUMBIA  
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PROJECT:  
TOWNHOUSE DEVELOPMENT  
16472, 16484 - FRASER HWY.,  
SURREY, B.C.

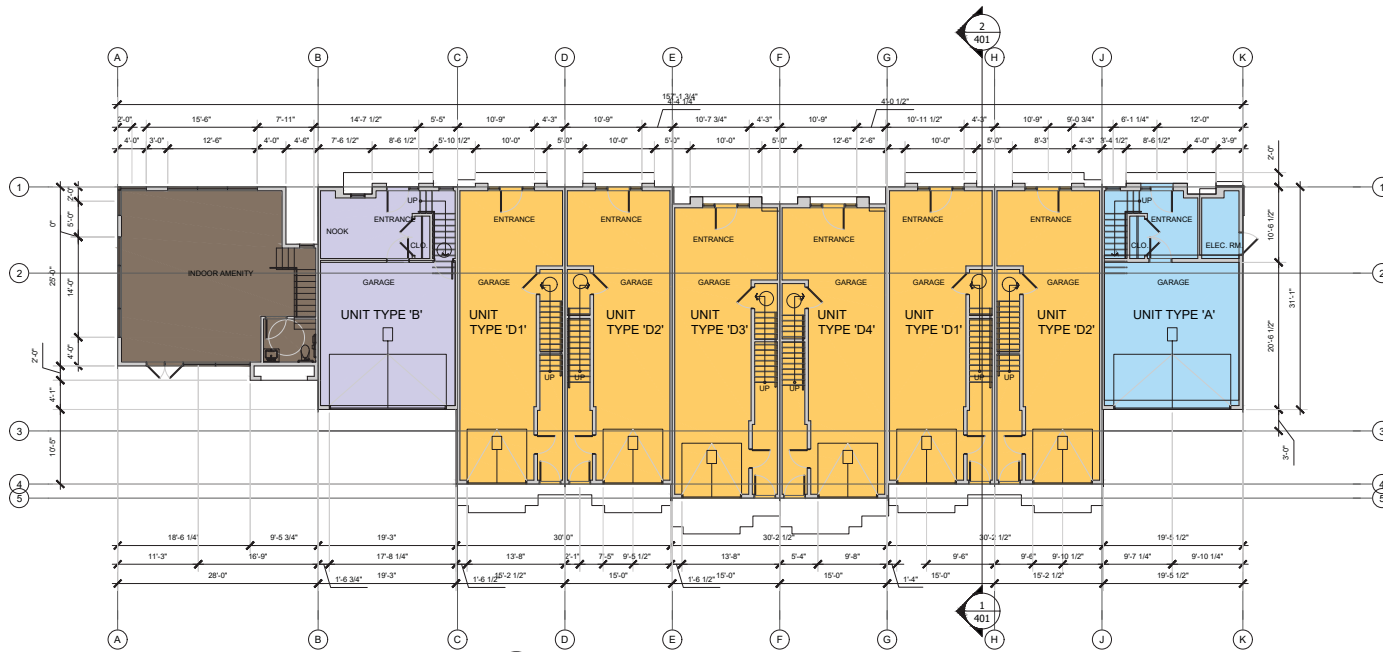
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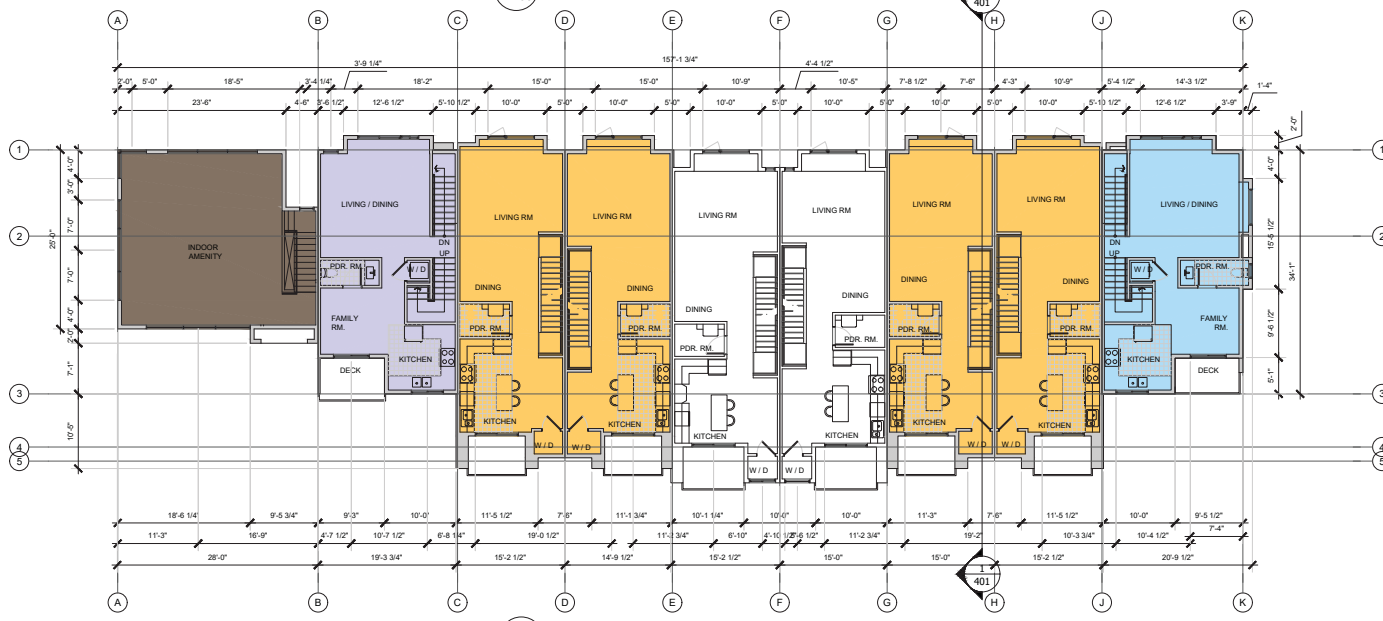
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SCALE:	1/8" = 1'-0"
JOB NO.:	SUR-022
DATE:	JUNE 2016
SHEET TITLE:	

BUILDING NO.  
9 - FLOOR PLANS

DRAWING NO.:  
A-205 B



1 BUILDING TYPE D - FIRST FLOOR LEVEL (5641.77SQ. FT.)  
1/8" = 1'-0"



2 BUILDING TYPE D - SECOND LEVEL (5870.24SQ. FT.)  
1/8" = 1'-0"

- NOTES:
- ALL UNITS IN BUILDINGS 8, 9, 10 & UNITS 21 & 22 IN BUILDING 7 WILL BE SPRINKLERED.
  - AMENITY BUILDING WILL BE SPRINKLERED.



NO.	REVISION	DATE
1	ISSUED FOR PERMIT	2016/08/22
2	REVISIONS AS PER CITY COMMENTS	2016/08/22
3	DEVELOPMENT PERMIT APPLICATION	2016/08/22

**df**  
ARCHITECTURE inc.

1205-4871 SHELL ROAD  
RICHMOND, BRITISH COLUMBIA  
CANADA V6X 3Z6  
T (604)284-5194 F (604)284-5131  
info@dfarchitecture.ca

PROJECT:  
TOWNHOUSE DEVELOPMENT  
16472, 16484 - FRASER HWY.,  
SURREY, B.C.

CLIENT:  
METROVAN CUSTOM HOMES  
#1205 - 22091 FRASERWOOD WAY,  
RICHMOND, BC

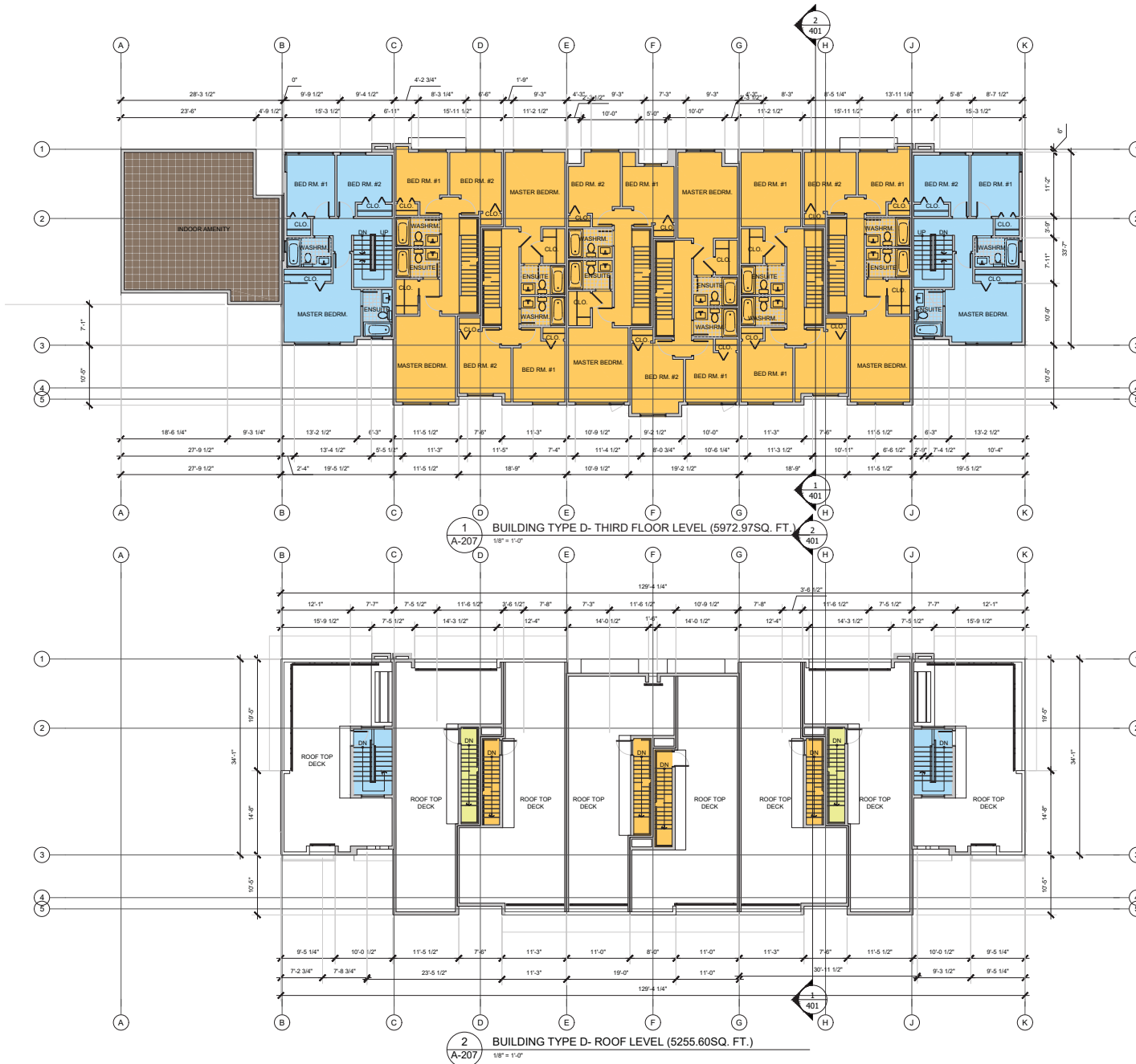
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DRAWN:	-
CHECKED:	-
SCALE:	1/8" = 1'-0"
JOB NO.:	SUR-022
DATE:	JUNE 2016
SHEET TITLE:	

BUILDING NO.  
7 - FLOOR PLANS

DRAWING NO.:	A-206	B
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100% BUILT, 100% BUILT UNDER PROGRESSIVE CONSTRUCTION, ALL RIGHTS RESERVED BY THE ARCHITECTS.



**NOTES:**

- ALL UNITS IN BUILDINGS 8, 9, 10 & UNITS 21 & 29 IN BUILDING 7 WILL BE SPRINKLERED.
- APARTY BUILDING WILL BE SPRINKLERED.



KEYPLAN



REV	DESCRIPTION
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E	
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C	
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A	

2016/08/23 REVISIONS AS PER CITY COMMENTS  
2016/08/23 DEVELOPMENT PERMIT APPLICATION



1205-671 SHELL ROAD  
RICHMOND, BRITISH COLUMBIA  
CANADA V6X 3Z6  
T (604)284-5194 F (604)284-5131  
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**PROJECT:**  
TOWNHOUSE DEVELOPMENT  
16472, 16484 - FRASER HWY.,  
SURREY, B.C.

**CLIENT:**

**METROVAN CUSTOM HOMES**  
#1205 - 22091 FRASERWOOD WAY,  
RICHMOND, BC

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DATE:	JUNE 2016
CHECKED:	-
SCALE:	1/8" = 1'-0"
JOB NO.:	SUR-022
SHEET TITLE:	

**BUILDING NO.**  
**7 - FLOOR PLANS**

**DRAWING NO.:**

**A-207** | **B**

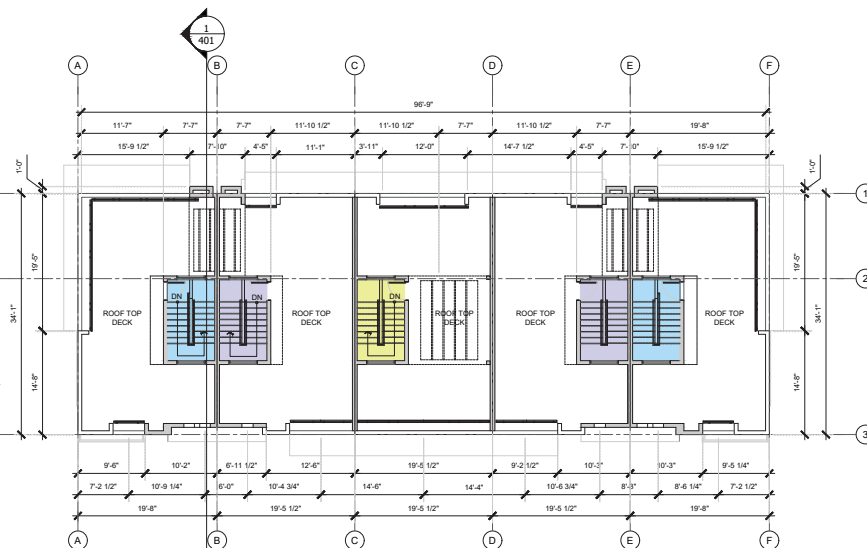
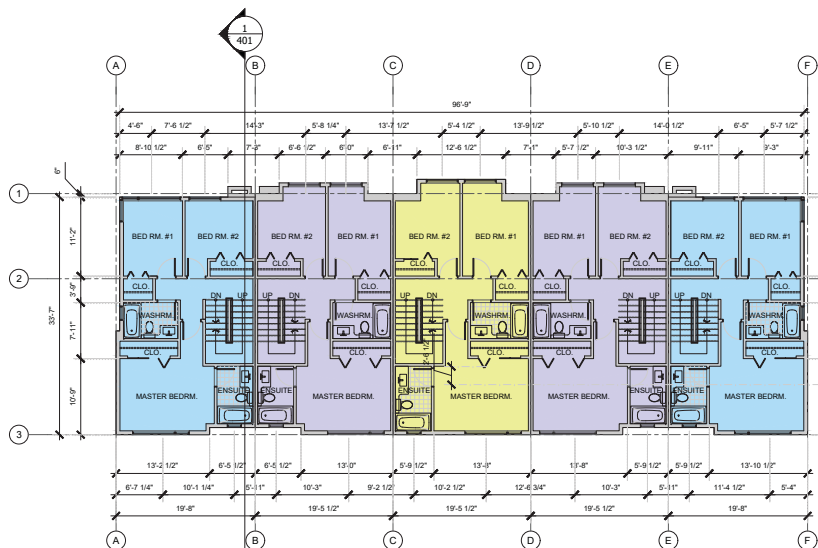
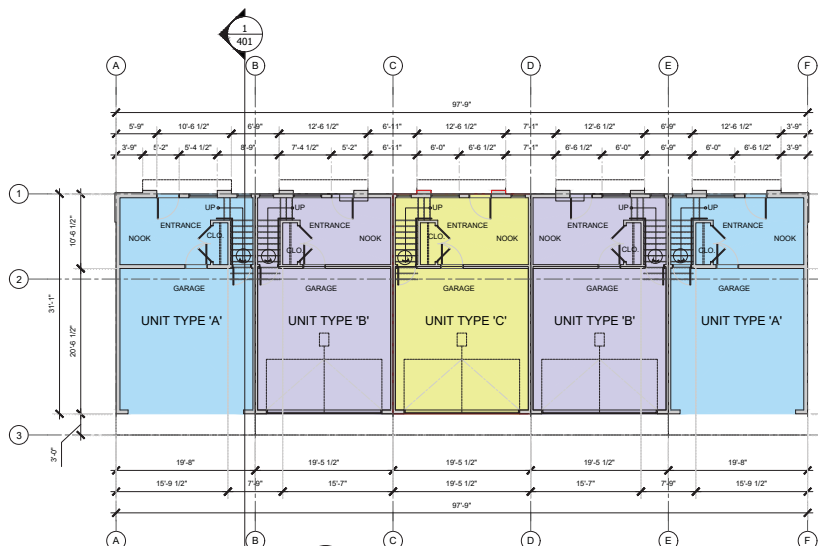
NOTES:



KEYPLAN



NO.	DESCRIPTION
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100	REVISIONS AS PER CITY COMMENTS



1205-871 SHELL ROAD  
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PROJECT:  
TOWNHOUSE DEVELOPMENT  
16475, 16484 - FRASER HWY.,  
SURREY, B.C.

CLIENT:  
METROVAN CUSTOM HOMES  
#1205 - 22091 FRASERWOOD WAY,  
RICHMOND, BC

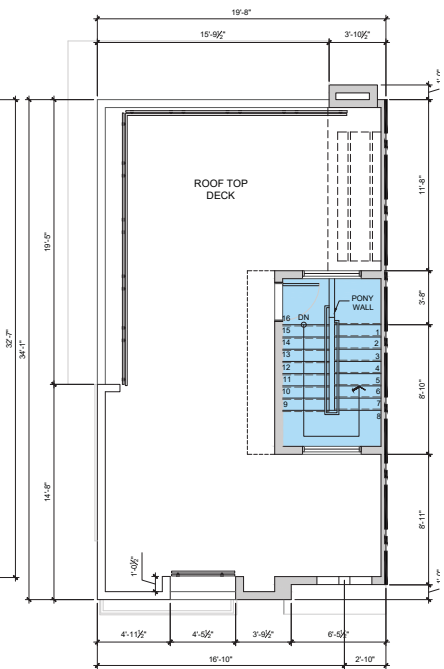
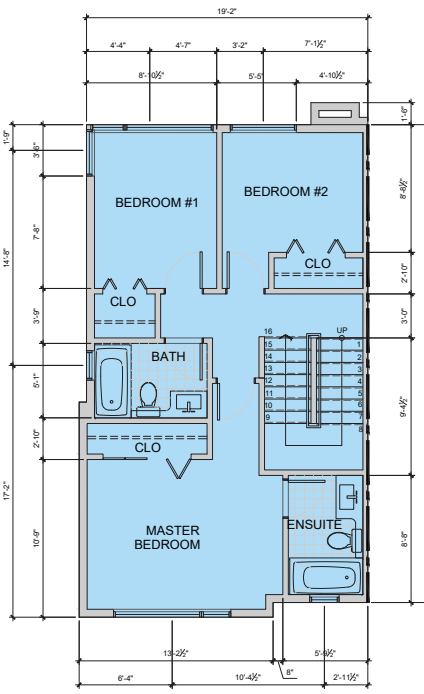
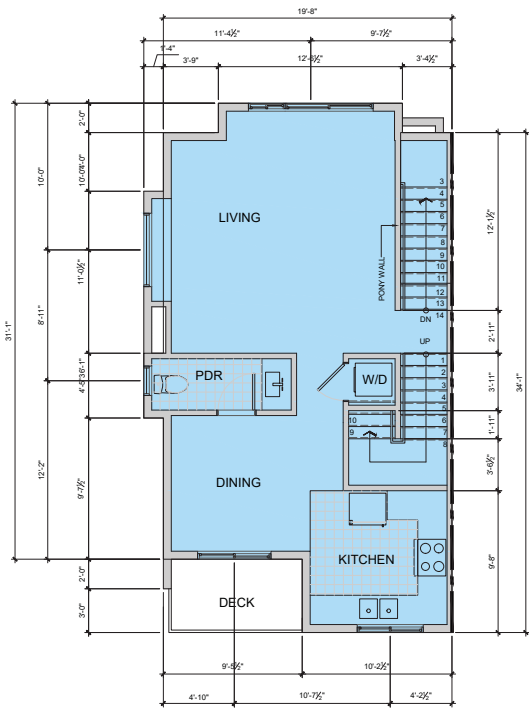
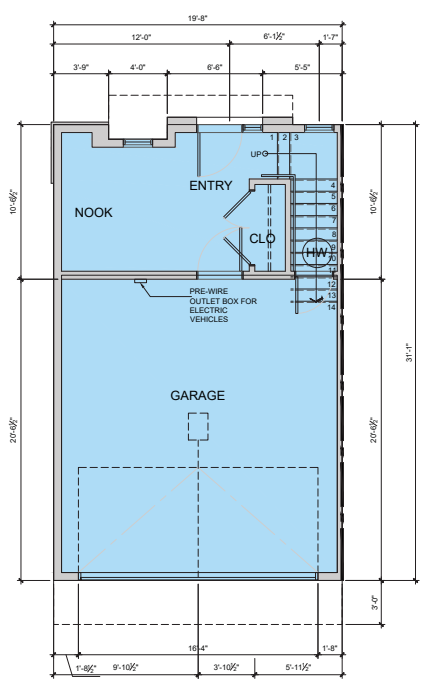
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DRAWN:	
CHECKED:	
SCALE:	1/8" = 1'-0"
JOB NO.:	208-022
DATE:	JUNE 2016
SHEET TITLE:	

BUILDING NOS.  
1 - FLOOR PLANS

DRAWING NO.:	A-208	B
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1/8" = 1'-0"



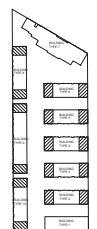
1 UNIT TYPE A- FIRST FLOOR LEVEL  
A-211 SCALE: 1/4" = 1'-0"

2 UNIT TYPE A-SECOND FLOOR LEVEL  
A-211 SCALE: 1/4" = 1'-0"

3 UNIT TYPE A- THIRD FLOOR LEVEL  
A-211 SCALE: 1/4" = 1'-0"

4 UNIT TYPE A- ROOF LEVEL  
A-211 SCALE: 1/4" = 1'-0"

NOTES:



KEYPLAN

1	NOOK
2	ENTRY
3	CLC
4	PRE-WIRE OUTLET BOX FOR ELECTRIC VEHICLES
5	GARAGE
6	STAIRS
7	UP
8	DN
9	HW
10	STAIRS
11	UP
12	DN
13	STAIRS
14	UP
15	DN
16	STAIRS
17	UP
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ARCHITECTURE  
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PROJECT:  
**TOWNHOUSE DEVELOPMENT**  
16472, 16484 - FRASER HWY.,  
SURREY, B.C.

CLIENT:  
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#1205 - 22091 FRASERWOOD WAY,  
RICHMOND, BC

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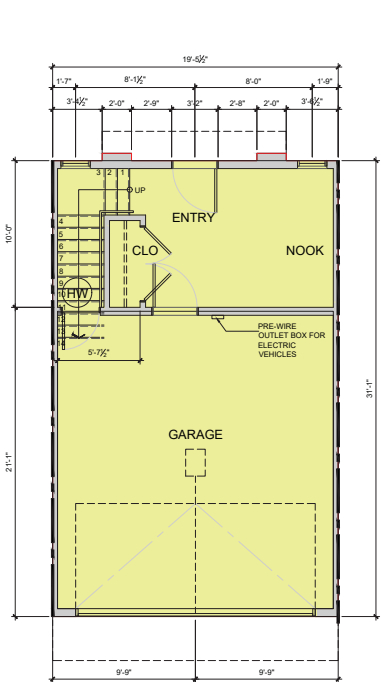
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CHECKED:	-
SCALE:	1/4" = 1'-0"
JOB No.:	SRH 022
DATE:	JUNE 2016
SHEET TITLE:	

UNIT TYPE A

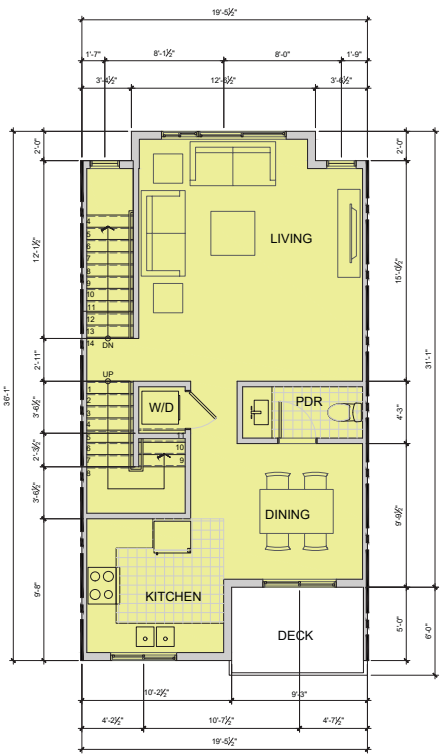
DRAWING NO.:  
**A-211** **B**



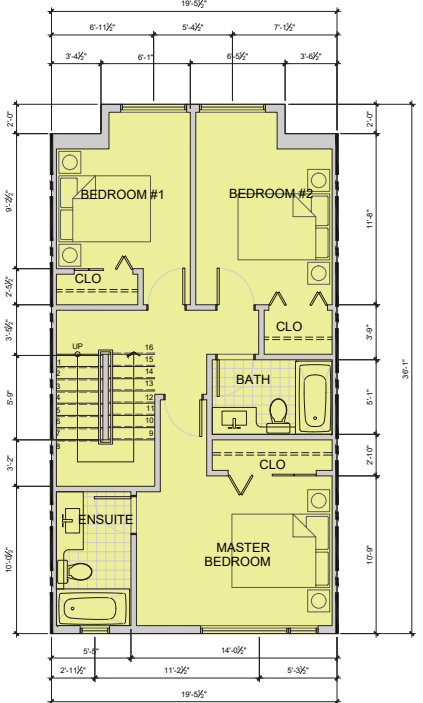




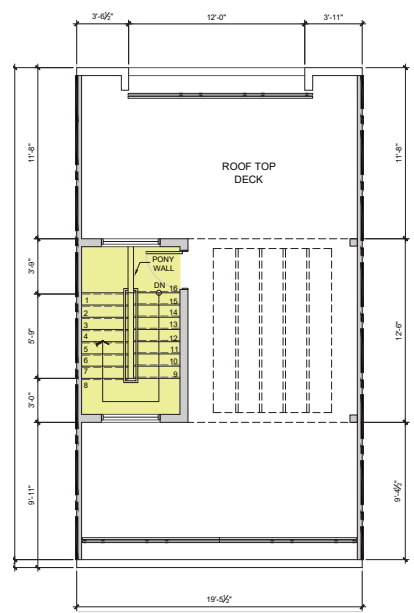
1 UNIT TYPE C-FIRST FLOOR LEVEL  
A-213 SCALE: 1/4" = 1'-0"



2 UNIT TYPE C-SECOND FLOOR LEVEL  
A-213 SCALE: 1/4" = 1'-0"

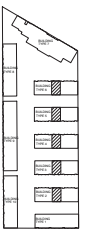


3 UNIT TYPE C-THIRD FLOOR LEVEL  
A-213 SCALE: 1/4" = 1'-0"



4 UNIT TYPE C-ROOF FLOOR  
A-213 SCALE: 1/4" = 1'-0"

NOTES:



KEYPLAN

1	2	3	4
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1205-4871 SHELL ROAD  
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PROJECT:  
**TOWNHOUSE DEVELOPMENT**  
#1205 - 22091 FRASERWOOD WAY,  
SURREY, B.C.

CLIENT:  
**METROVAN CUSTOM HOMES**  
#1205 - 22091 FRASERWOOD WAY,  
RICHMOND, BC

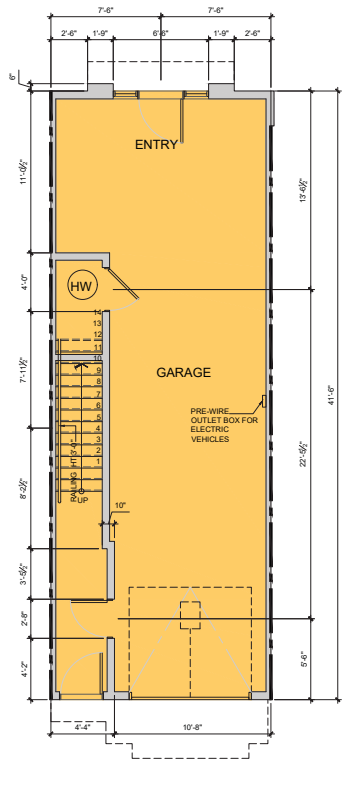
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DRAWN:	ZUBIN
CHECKED:	-
SCALE:	1/4" = 1'-0"
JOB No.:	SR 022
DATE:	JUNE 2016
SHEET TITLE:	

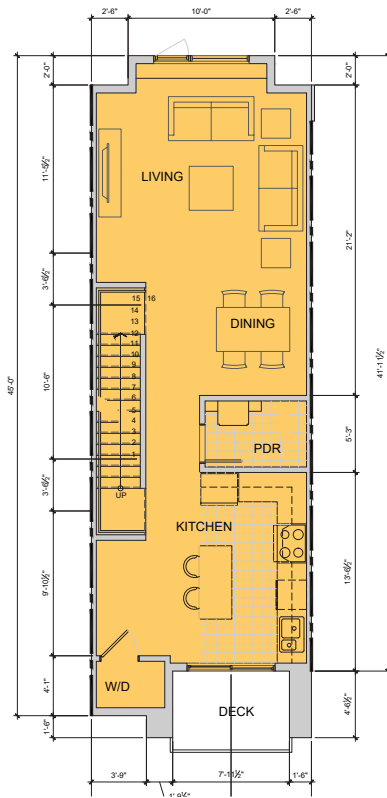
UNIT TYPE C

DRAWING NO.:  
A-213 B

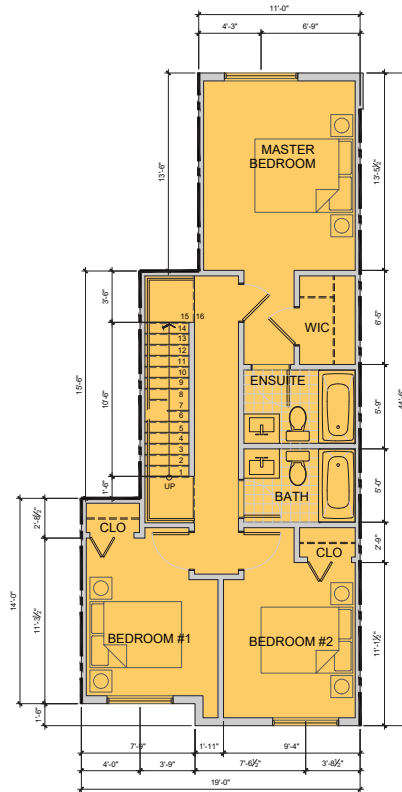




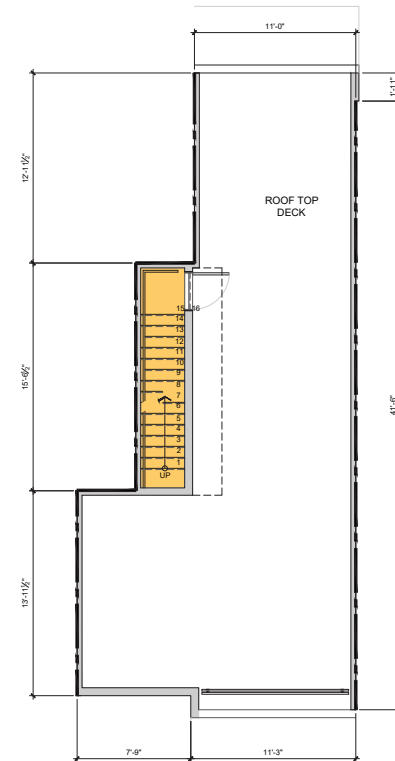
1 UNIT TYPE D2-FIRST LEVEL  
A-215 SCALE: 1/4" = 1'-0"



2 UNIT TYPE D2-SECOND LEVEL  
A-215 SCALE: 1/4" = 1'-0"

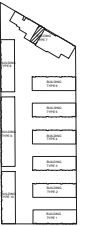


3 UNIT TYPE D2-THIRD LEVEL  
A-215 SCALE: 1/4" = 1'-0"



4 UNIT TYPE D2-FOURTH LEVEL  
A-215 SCALE: 1/4" = 1'-0"

NOTES:



KEYPLAN

1	H
2	D
3	F
4	C
5	D
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PROJECT:  
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16472, 16484 - FRASER HWY.,  
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CLIENT:  
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DRAWN:	ZUBIN
CHECKED:	JH
SCALE:	1/4" = 1'-0"
JOB NO.:	SRH 022
DATE:	JUNE 2016
SHEET TITLE:	

UNIT TYPE D2











NOTES:

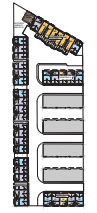


1 BUILDING TYPE A - SOUTH SIDE ELEVATION  
1/8" = 1'-0"

2 BUILDING TYPE A - WEST SIDE ELEVATION  
1/8" = 1'-0"

**MATERIAL PALETTE:**

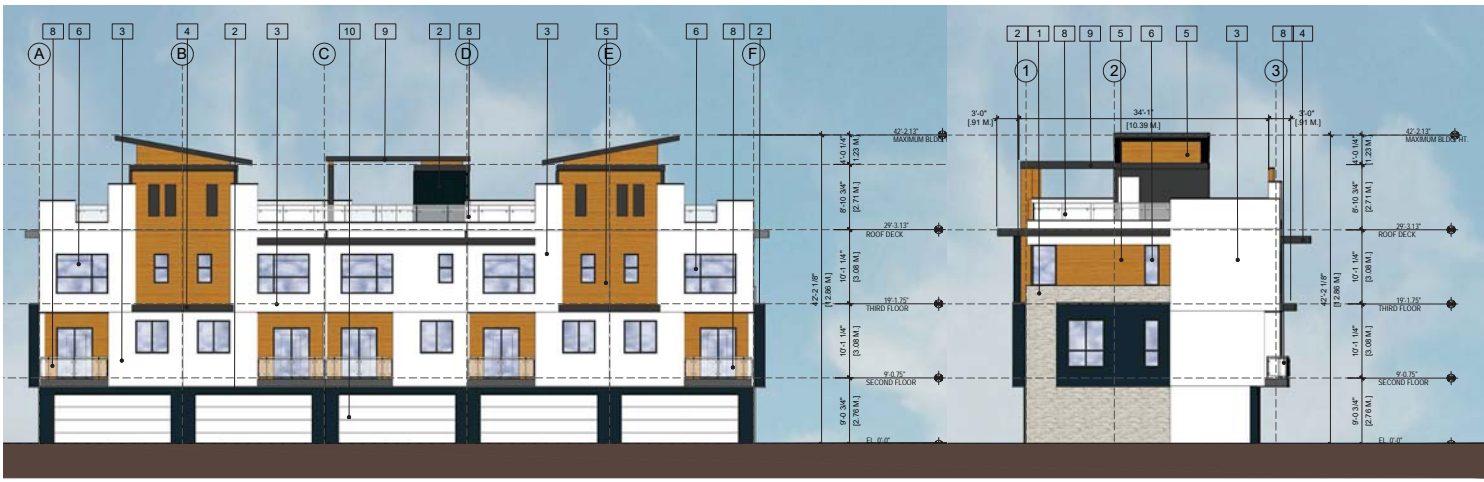
- STONE CLADDING  
K2 - ECHO VALLEY LEDGE STONE (THINSTONE)
- HARDIE REVEAL PANEL  
- IRON GREY
- HARDIE REVEAL PANEL  
- ARCTIC WHITE
- FASCIA BOARD (2 x 12)  
PAINTED TO MATCH IRON GRAY  
WITH LONGBOARD SOFFIT
- LONGBOARD ALUMINUM SIDING  
- LIGHT FIR (1501-02-716)
- VINYL WINDOW  
(BM BLACK SATIN 2131-10)
- MAIN ENTRANCE DOOR
- GLASS RAILINGS  
TEMPERED CLEAR GLASS WITH  
METAL FRAME  
(BM BLACK SATIN 2131-10)
- ROOF TRELLIS  
PAINTED TO MATCH IRON GRAY
- INSULATED GARAGE DOOR  
PAINTED TO MATCH ARCTIC WHITE
- CURTAIN WALL SYSTEM  
-BLACK ANODIZED SW-6994
- OPACI-COAT-300 83-0770 WARM GRAY TO ROOF  
DECK GLASS RAILINGS



KEY PLAN

	H
	G
	F
	E
	D
	C
	B
	A

2016 / 08 / 23 REVISIONS AS PER CITY COMMENTS  
2016 / 08 / 23 A DEVELOPMENT PERMIT APPLICATION



3 BUILDING TYPE A - NORTH SIDE ELEVATION  
1/8" = 1'-0"

4 BUILDING TYPE A - EAST SIDE ELEVATION  
1/8" = 1'-0"



1205-4871 SHELL ROAD  
RICHMOND, BRITISH COLUMBIA  
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PROJECT:  
**TOWNHOUSE DEVELOPMENT**  
#1205 - 22091 FRASERWOOD WAY,  
SURREY, B.C.

CLIENT:  
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#1205 - 22091 FRASERWOOD WAY,  
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DRAWN:	-
CHECKED:	-
SCALE:	1/8" = 1'-0"
JOB No.:	SUR-022
DATE:	JUNE 2016
SHEET TITLE:	

ELEVATION  
BUILDING TYPE - A

DRAWING NO.:	A-301	B
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16-0022\_2016\_1005 FRASER TOWNHOUSE DEVELOPMENT PLAN 001 A-301 ELEVATIONS



NOTES:



- MATERIAL PALETTE:**
- STONE CLADDING  
K2 - ECHO VALLEY LEDGE  
STONE (THIRSTONE)
  - HARDIE REVEAL PANEL  
- IRON GREY
  - HARDIE REVEAL PANEL  
- ARCTIC WHITE
  - FASCIA BOARD (2 X 12)  
PAINTED TO MATCH IRON GRAY  
WITH LONGBOARD SOFFIT
  - LONGBOARD ALUMINIUM SIDING  
- LIGHT FIR (1501 02-716)
  - VINYL WINDOW  
(BM-BLACK SATIN 2131-10)
  - MAIN ENTRANCE DOOR
  - GLASS RAILINGS  
TEMPERED CLEAR GLASS WITH  
METAL FRAME  
(BM-BLACK SATIN 2131-10)
  - ROOF TRELLIS  
PAINTED TO MATCH IRON GRAY
  - INSULATED GARAGE DOOR  
PAINTED TO MATCH ARCTIC  
WHITE
  - CURTAIN WALL SYSTEM  
-BLACK ANODIZED SW-6984
  - OPACI-COAT-300  
#3-070 WARM GRAY TO ROOF  
DECK GLASS RAILINGS



KEYPLAN



	H
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	C
	B
	A

2016 / 06 / 21 8 REVISIONS AS PER CITY COMMENTS  
2016 / 06 / 21 8 DEVELOPMENT PERMIT APPLICATION

1 BUILDING TYPE C - WEST SIDE ELEVATION  
A-303 1/8" = 1'-0"



1205-4871 SHELL ROAD  
RICHMOND, BRITISH COLUMBIA  
CANADA V6V 3Z6  
T (604)284-5194 F (604)284-5131  
info@dfarchitecture.ca

PROJECT:  
**TOWNHOUSE DEVELOPMENT  
#1205 - 22091 FRASER HWY.,  
SURREY, B.C.**

CLIENT:  
**METROVAN CUSTOM HOMES  
#1205 - 22091 FRASERWOOD WAY,  
RICHMOND, BC**

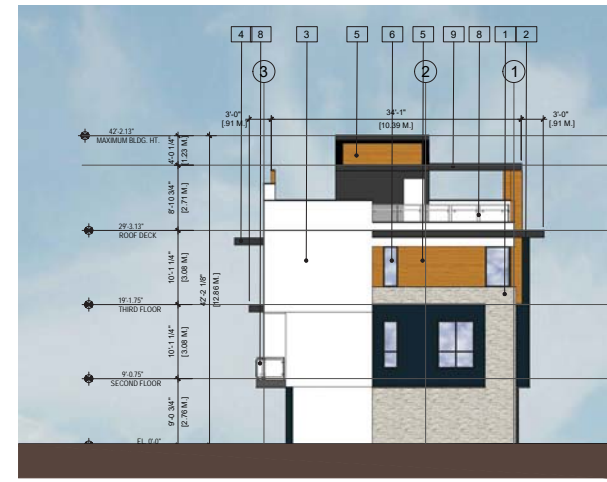
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DRAWN:	-
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SCALE:	1/8" = 1'-0"
JOB No.:	SUR-022
DATE:	JUNE 2016
SHEET TITLE:	-

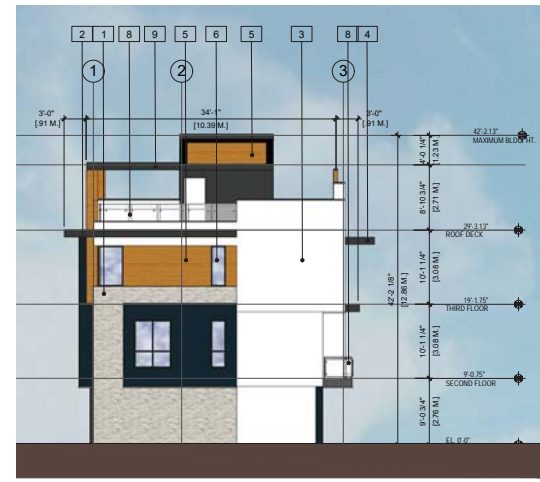
ELEVATION  
BUILDING TYPE - C

DRAWING NO.:	A-303	B
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3 BUILDING TYPE C - NORTH SIDE ELEVATION  
A-303 1/8" = 1'-0"



3 BUILDING TYPE C - SOUTH SIDE ELEVATION  
A-303 1/8" = 1'-0"





NOTES:

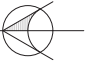


1 BUILDING TYPE D - NORTH SIDE ELEVATION  
A-305 1/8" = 1'-0"

- MATERIAL PALETTE:**
- STONE CLADDING  
K2 - ECHO VALLEY LEDGE  
STONE (THIRSTONE)
  - HARDIE REVEAL PANEL  
- IRON GREY
  - HARDIE REVEAL PANEL  
- ARCTIC WHITE
  - FASCIA BOARD (2 x 12)  
PAINTED TO MATCH IRON GRAY  
WITH LONGBOARD SOFFIT
  - LONGBOARD ALUMINUM SIDING  
- LIGHT FIR (1501.02-716)
  - VINYL WINDOW  
(BM BLACK SATIN 2131-10)
  - MAIN ENTRANCE DOOR
  - GLASS RAILINGS  
TEMPERED CLEAR GLASS WITH  
METAL FRAME  
(BM BLACK SATIN 2131-10)
  - ROOF TRELLIS  
PAINTED TO MATCH IRON GRAY
  - INSULATED GARAGE DOOR  
PAINTED TO MATCH ARCTIC  
WHITE
  - CURTAIN WALL SYSTEM  
- BLACK ANODIZED SW-6994
  - OPACI-COAT-300  
#3-0770 WARM GRAY TO ROOF  
DECK GLASS RAILINGS



KEYPLAN



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NOTES:

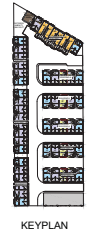


1 BUILDING TYPE A - SOUTH SIDE ELEVATION  
1/8" = 1'-0"

2 BUILDING TYPE A - WEST SIDE ELEVATION  
1/8" = 1'-0"

**MATERIAL PALETTE:**

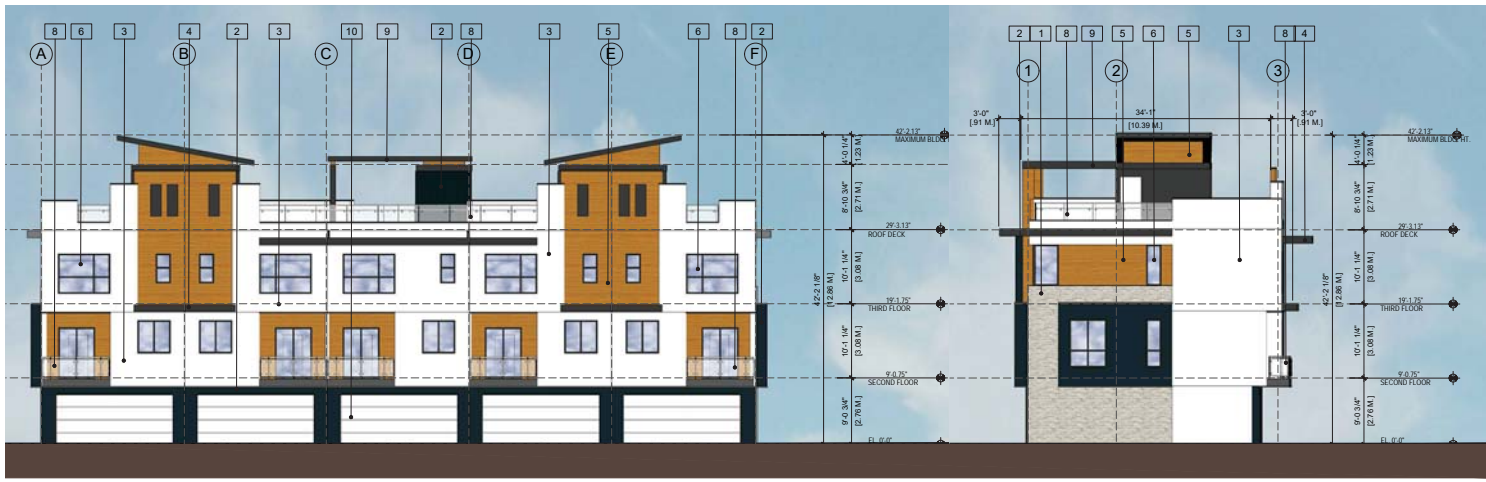
- STONE CLADDING  
K2 - ECHO VALLEY LEDGE STONE (THINSTONE)
- HARDIE REVEAL PANEL  
- IRON GREY
- HARDIE REVEAL PANEL  
- ARCTIC WHITE
- FASCIA BOARD (2 x 12)  
PAINTED TO MATCH IRON GRAY  
WITH LONGBOARD SOFFIT
- LONGBOARD ALUMINUM SIDING  
- LIGHT FIR (1501.02-716)
- VINYL WINDOW  
(BM BLACK SATIN 2131-10)
- MAIN ENTRANCE DOOR
- GLASS RAILINGS  
TEMPERED CLEAR GLASS WITH  
METAL FRAME  
(BM BLACK SATIN 2131-10)
- ROOF TRELLIS  
PAINTED TO MATCH IRON GRAY
- INSULATED GARAGE DOOR  
PAINTED TO MATCH ARCTIC WHITE
- CURTAIN WALL SYSTEM  
-BLACK ANODIZED SW-6994
- OPACI-COAT-300 83-0770 WARM GRAY TO ROOF  
DECK GLASS RAILINGS



KEY PLAN

	H
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3000 / 100' 0" REVISIONS AS FOR CITY COMMENTS  
2016 / 06 / 23 2. A DEVELOPMENT PERMIT APPLICATION



3 BUILDING TYPE A - NORTH SIDE ELEVATION  
1/8" = 1'-0"

4 BUILDING TYPE A - EAST SIDE ELEVATION  
1/8" = 1'-0"



1205-4871 SHELL ROAD  
RICHMOND, BRITISH COLUMBIA  
CANADA V6V 3Z9  
T (604)284-5194 F (604)284-5131  
info@dfarchitecture.ca

PROJECT:  
**TOWNHOUSE DEVELOPMENT**  
16472, 16484 - FRASER HWY.,  
SURREY, B.C.

CLIENT:  
**METROVAN CUSTOM HOMES**  
#1205 - 22091 FRASERWOOD WAY,  
RICHMOND, BC

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DRAWN:	-
CHECKED:	-
SCALE:	1/8" = 1'-0"
JOB No.:	SUR-022
DATE:	JUNE 2016
SHEET TITLE:	

ELEVATION  
BUILDING 1  
TYPE - A

DRAWING NO.:	A-307	B
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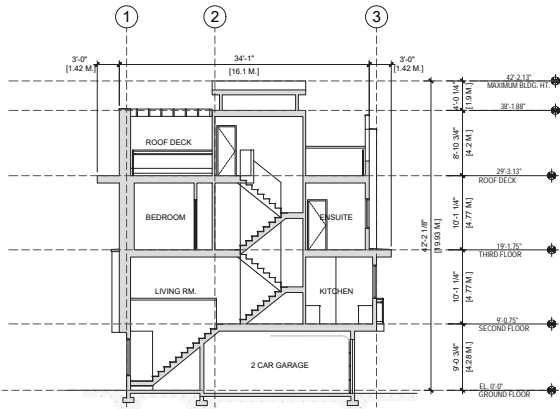
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NOTES:

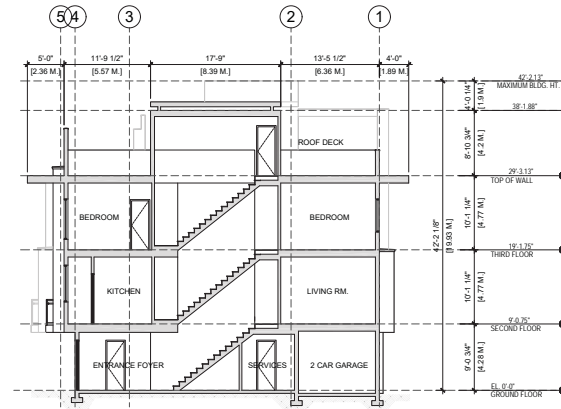


1 LONGITUDINAL SITE SECTION  
1/16" = 1'-0"

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2 SECTION - BUILDING TYPE A  
1/8" = 1'-0"



3 SECTION - BUILDING TYPE D  
1/8" = 1'-0"



1205-4871 SHELL ROAD  
RICHMOND, BRITISH COLUMBIA  
CANADA V6V 2G9  
T (604)284-5194 F (604)284-5131  
info@dfarchitecture.ca

PROJECT:  
**TOWNHOUSE DEVELOPMENT**  
#1205 - 22091 FRASERWOOD WAY,  
SURREY, B.C.

CLIENT:  
**METROVAN CUSTOM HOMES**  
#1205 - 22091 FRASERWOOD WAY,  
RICHMOND, BC

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DRAWN:	-
CHECKED:	-
SCALE:	1/8" = 1'-0"
JOB No.:	SR-022
DATE:	JUNE 2016
SHEET TITLE:	

SITE & BUILDING SECTIONS

DRAWING NO.:	A-401	A
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SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.

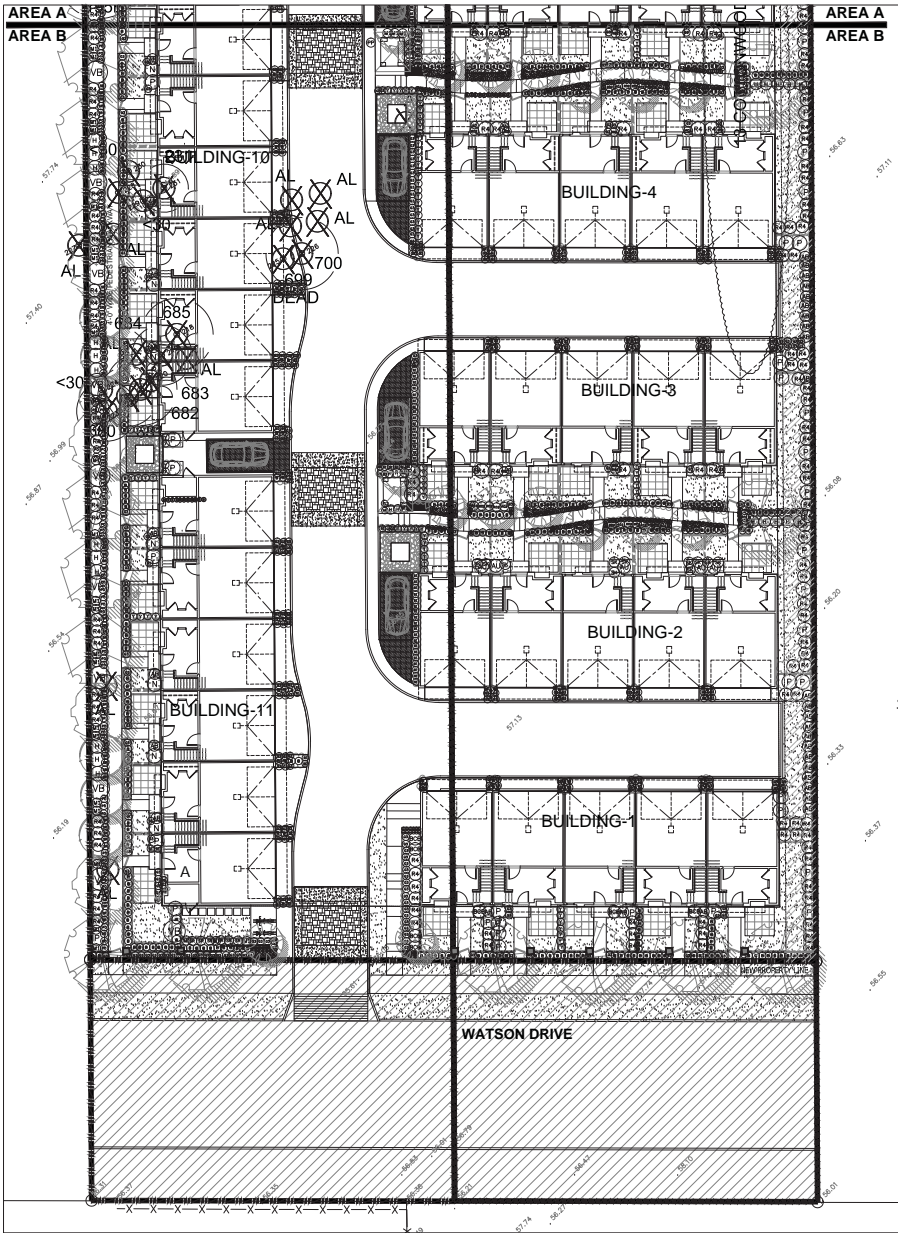
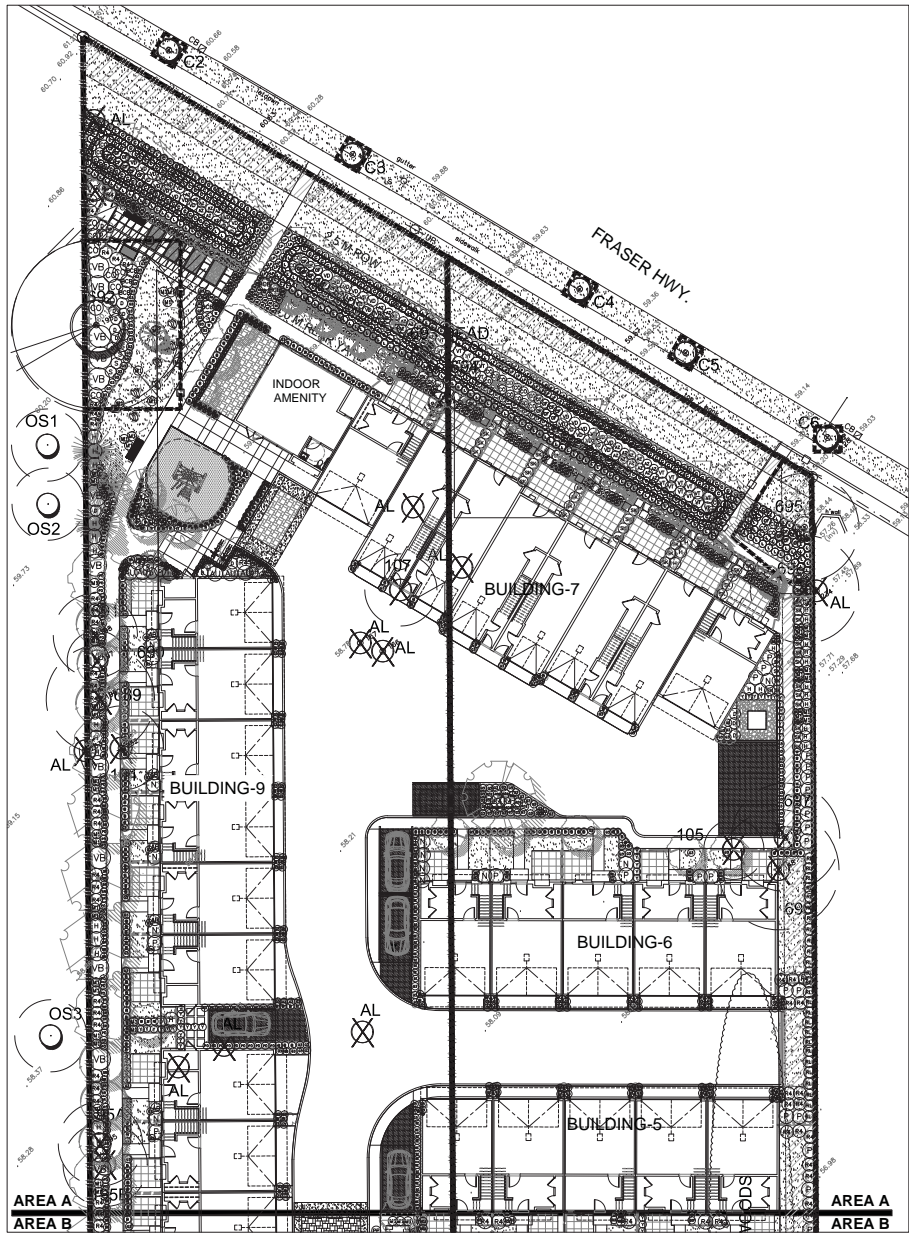
CLIENT: METRO VAN CUSTOM HOMES

PROJECT:  
**58-UNIT TOWNHOUSE DEVELOPMENT**  
 16472 and 16484 FRASER HIGHWAY  
 SURREY

WITH/D OF ARCHITECTURE INC.  
 DRAWING TITLE:  
**SHRUB PLAN**

DATE: \_\_\_\_\_ DRAWING NUMBER:  
 SCALE: 1/16"=1'-0"  
 DRAWN: DD  
 DESIGN: DD  
 CHKD: PCM

**L2**  
 OF 3







---

**TO: Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

**FROM: Development Project Engineer, Engineering Department**

**DATE: December 14, 2016**                      **PROJECT FILE: 7816-0224-00**

---

**RE: Engineering Requirements  
Location: 16472 & 16484 - Fraser Hwy**

### REZONE/SUBDIVISION

#### *Property and Right-of-Way Requirements*

- Dedicate 1.650 m to 2.247 m along Fraser Highway for an ultimate 42 m Arterial Road;
- Dedicate 20.0m for Watson Drive as a Local Road;
- Provide 2.5m on-site SROW for Multi-Use-Pathway (MUP) along Fraser Highway; and
- Provide 0.5m wide on-site SROW along Watson Drive.

#### *Works and Services*

*Many of the required works noted below are currently being constructed under projects 7815-0052-00 to the west and 7815-0094-00 to the east. The scope of the requirements may vary depending on the status of construction of these works.*

- Construct Watson Drive up to 164 Street to Through Local standard;
- Construct sanitary sewer main, storm sewer main and water main on Watson Drive to service the site;
- Provide cash-in-lieu for Multi-Use-Pathway along Fraser Highway and for ultimate road works on Watson Drive where interim works may be necessary;
- Register restrictive covenants for on-site detention and water quality/sediment control; and
- Pay applicable and proposed latecomer charges.

A Servicing Agreement is required prior to rezoning.

### DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/Development Variance Permit.



Rémi Dubé, P.Eng.  
Development Services Manager

HB4

NOTE: Detailed Land Development Engineering Review available on file



Wednesday, August 10, 2016  
 Planning

**THE IMPACT ON SCHOOLS**

APPLICATION #: 16 0224 00

**SUMMARY**

The proposed 58 townhouse units are estimated to have the following impact on the following schools:

**Projected # of students for this development:**

Elementary Students:	20
Secondary Students:	9

September 2015 Enrolment/School Capacity

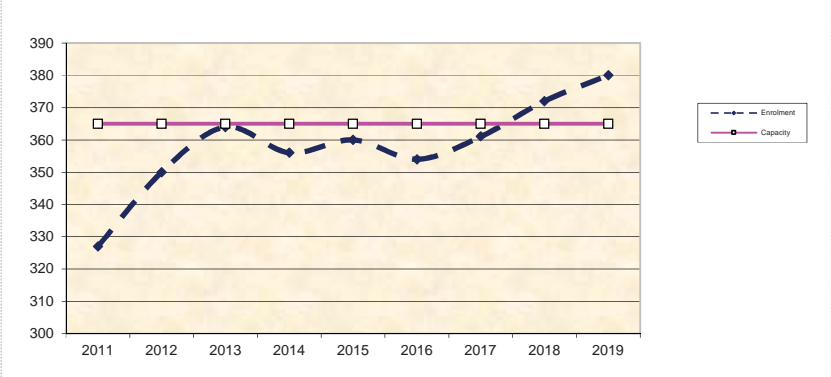
<b>William Watson Elementary</b>	
Enrolment (K/1-7):	38 K + 322
Capacity (K/1-7):	40 K + 325
<b>Fleetwood Park Secondary</b>	
Enrolment (8-12):	1371
Nominal Capacity (8-12):	1200
Functional Capacity*(8-12):	1296

**School Enrolment Projections and Planning Update:**

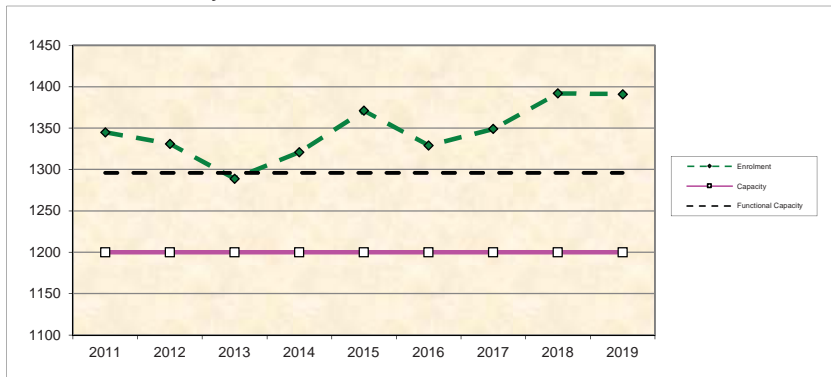
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Fleetwood Park Secondary is slightly over capacity and uses 3 portables to help accommodate the additional enrolment. William Watson is subject to enrolment pressures which will increase as development continues along Fraser Highway. The next iteration of the school district's capital plan will likely include a request for an addition to William Watson.

**William Watson Elementary**



**Fleetwood Park Secondary**



\*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

MIKE FADUM AND ASSOCIATES LTD.  
VEGETATION CONSULTANTS

### Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Alder / Cottonwood	20	20	0
<b>Deciduous Trees</b> (excluding Alder and Cottonwood Trees)			
Cherry	1	1	0
Maple, Norway	2	0	2
Oak, Red	5	0	5
Maple, Bigleaf	1	1	0
<b>Coniferous Trees</b>			
Cedar, Western Red	12	10	2
Douglas-fir	2	2	0
Falsecypress	1	1	0
Hemlock, Western	1	1	0
Pine	1	1	0
<b>Total</b>	26	17	9
<b>Additional Trees in the proposed Open Space / Riparian Area</b>	NA	NA	NA
<b>Total Replacement Trees Proposed</b> (excluding Boulevard Street Trees)		75	
<b>Total Retained and Replacement Trees</b>		84	

\*Note – Offsite trees are not included in the Summary totals.



## Tree Preservation Summary

Surrey Project No: 16-0224-00


Address: 16472 & 16484 Fraser Highway, Surrey, BC

Registered Arborist: Vanessa Melney

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	46
<b>Protected Trees to be Removed</b>	37
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	9
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio 20 X one (1) = <u>20</u></li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio 17 X two (2) = <u>34</u></li> </ul>	54
<b>Replacement Trees Proposed</b>	75
<b>Replacement Trees in Deficit</b>	0
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	NA

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	0
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0</li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0</li> </ul>	NA
<b>Replacement Trees Proposed</b>	NA
<b>Replacement Trees in Deficit</b>	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

<p style="text-align: center;"></p> <p>Signature of Arborist:</p>	<p>Date: December 9, 2016</p>
--	-------------------------------



**MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS**

#105, 8277 129 St.  
 Surrey, British Columbia  
 V3W 0A6  
 Ph: (778) 593-0300  
 Fax: (778) 593-0302  
 Mobile: (604) 240-0309  
 Email: [mfadum@fadum.ca](mailto:mfadum@fadum.ca)

CLIENT

FILE NO.

PROJECT TITLE  
 TREE PRESERVATION  
 AND PROTECTION PLAN

16472 & 16484 FRASER HWY  
 SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	JUL1416	MK	REVISED SITE PLAN
2	NOV2416	MK	UPDATED SURVEY

SHEET TITLE

T1 - TREE PRESERVATION  
 AND REMOVAL PLAN

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DRAWN

MK

SCALE

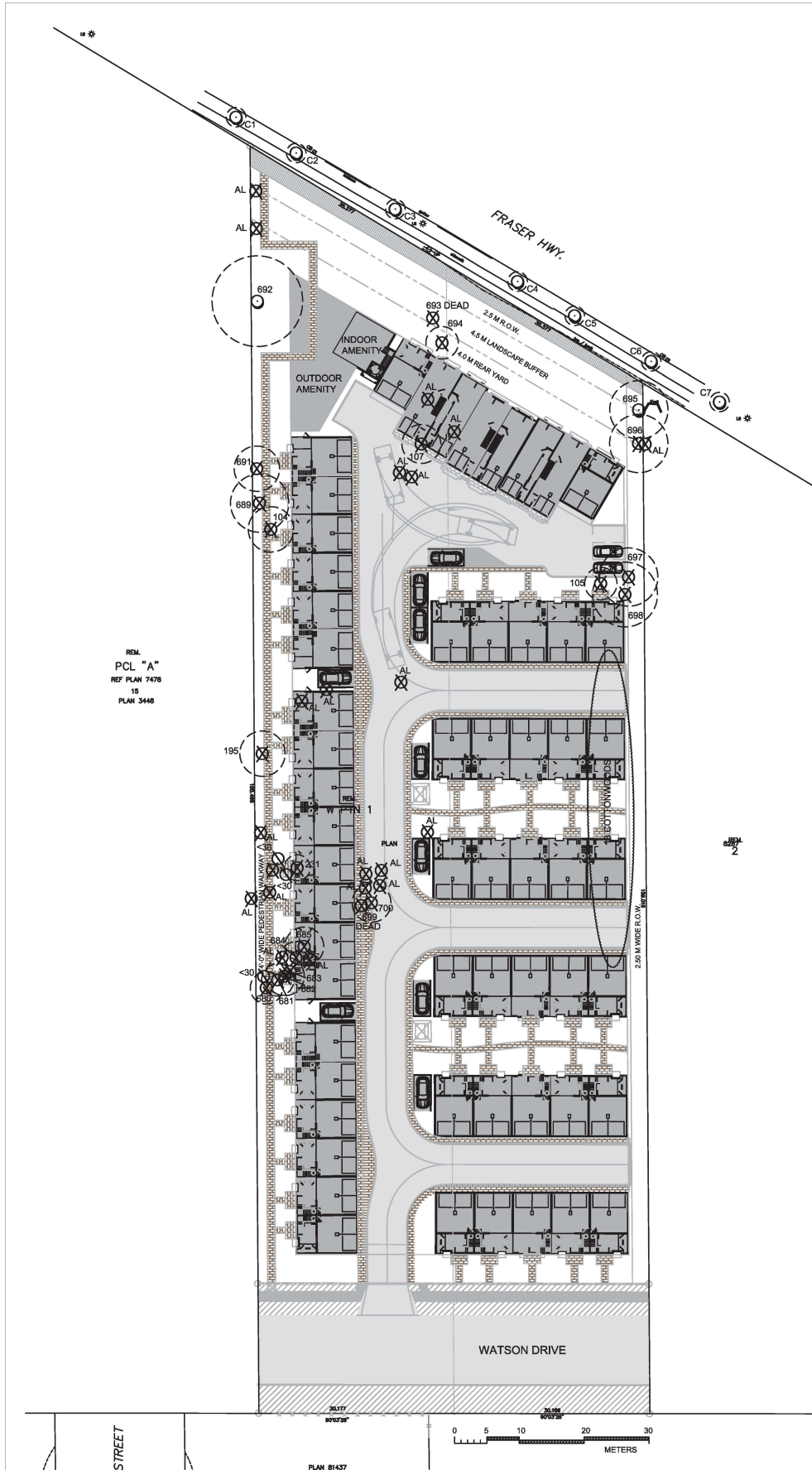
AS SHOWN

DATE

MARCH 30, 2016

T-1

SHEET 1 OF 2



- LEGEND**
- TREE TO BE RETAINED
  - TREE TO BE REMOVED
  - MINIMUM NO DISTURBANCE ZONE



REF.  
 PCL "A"  
 REF PLAN 7478  
 15  
 PLAN 3448

STREET



PLAN B1437

DRAWN

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CLIENT

FILE NO.

PROJECT TITLE  
 TREE PRESERVATION  
 AND PROTECTION PLAN

16472 & 16484 FRASER HWY  
 SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	JUL1416	MK	REVISED SITE PLAN
2	NOV2416	MK	UPDATED SURVEY

SHEET TITLE

T2 - TREE PROTECTION  
 PLAN

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DRAWN

MK

SCALE

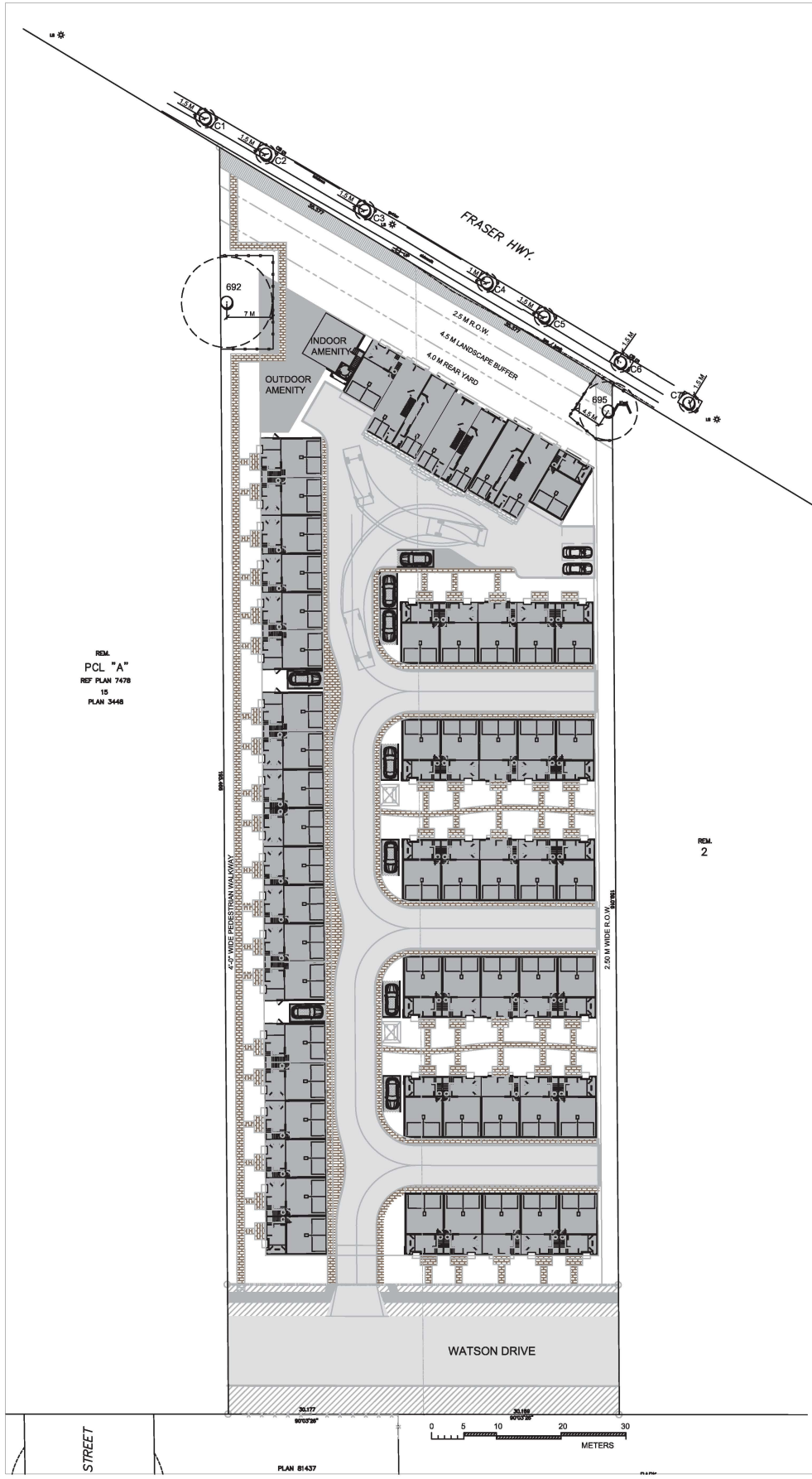
AS SHOWN

DATE

MARCH 30, 2016

T-2

SHEET 2 OF 2



RD#  
 PCL "A"  
 REF PLAN 7478  
 15  
 PLAN 3448

REL  
 2



**LEGEND**

	TREE TO BE RETAINED		MINIMUM NO DISTURBANCE ZONE
	TREE PROTECTION FENCING		



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7916-0224-00

Issued To: 1070334 BC LTD.

("the Owners")

Address of Owner: #1205, 22091 Fraserwood Way  
Richmond, BC V6W 0A8

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 000-677-809

Parcel A (466016E) Lot 1 Except: Firstly; Part Dedicated Road on Plan LMP35202 Secondly; Part Dedicated Road on Plan BCP11564 Section 25 Township 2 New Westminster District Plan 8287

16484 - Fraser Highway

Parcel Identifier: 007-733-305

Westerly Portion Lot 1 Except: Firstly: Part Road on Plan LMP31845 Secondly: Part Road on Plan BCP11343; Section 25 Township 2 New Westminster District Plan 8287

16472 - Fraser Highway

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

---



- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
- 

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
- (a) In Section F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone (RM-30), the minimum south rear yard setback is reduced from 7.5 metres (25 ft.) to 4.5 metres (13 ft.) to the building face and to 3.5 metres (11.5 ft.) to the roof overhangs;
  - (b) In Section F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone (RM-30), the minimum west side yard setback is reduced from 7.5 metres (25 ft.) to 6.0 metres (10 ft.) to the building face and to 5.0 metres (16.5 ft.) to the roof overhangs; and
  - (c) In Section F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone (RM-30), the minimum east side yard setback is reduced from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) to the building face and to 2.5 metres (8.0 ft.) to the roof overhangs.
5. This development variance permit applies to the buildings and structures on the Land shown on Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.



9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_ .  
ISSUED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_ .

\_\_\_\_\_  
Mayor – Linda Hepner

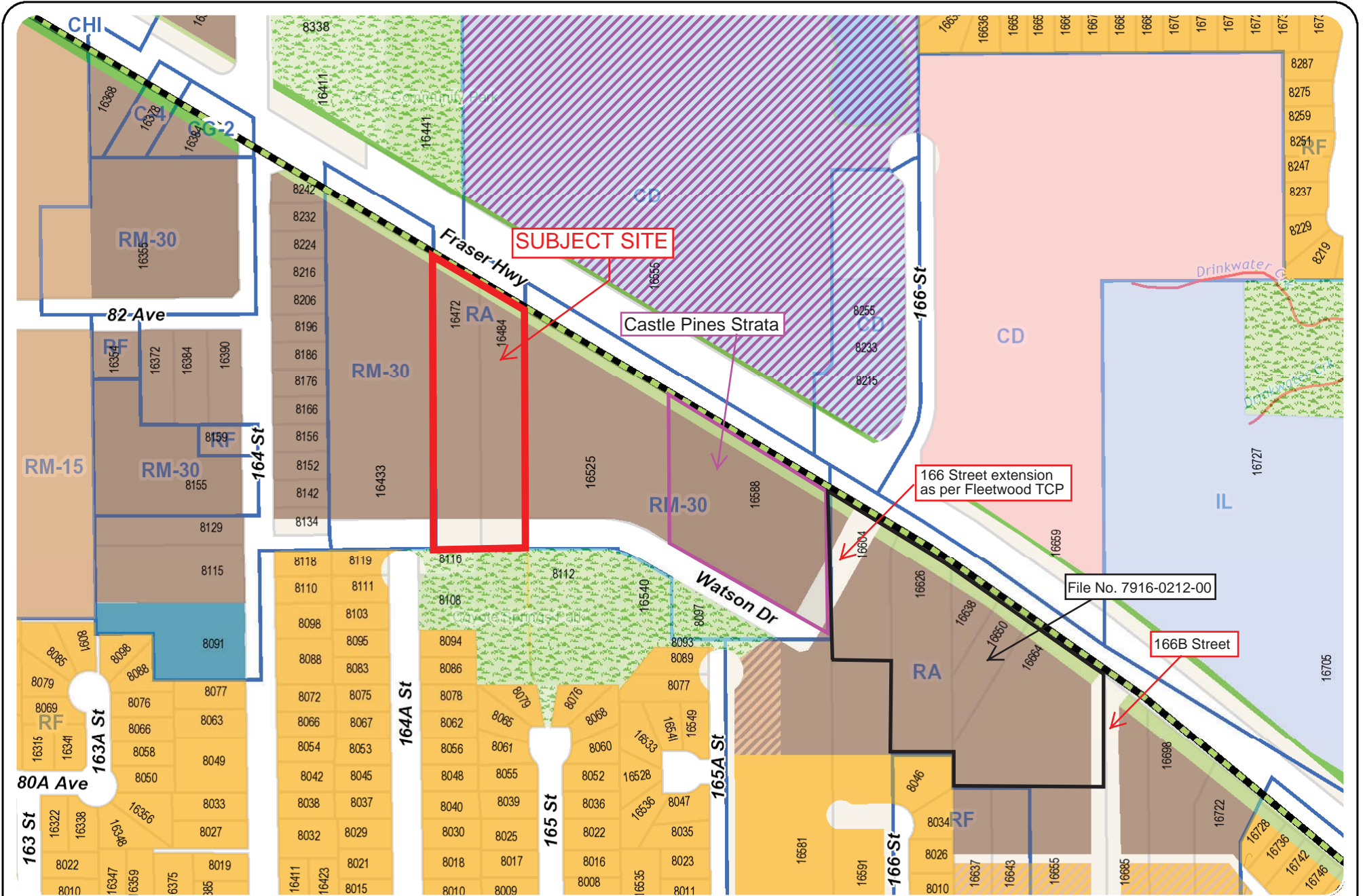
\_\_\_\_\_  
City Clerk – Jane Sullivan



Reduce west side yard setback to 6.0 metres (10 ft.) to the building face and to 5.0 metres (16.5 ft.) to the roof overhangs

Reduce east side yard setback to 3.0 metres (10 ft.) to the building face and to 2.5 metres (8.0 ft.) to the roof overhangs

Reduce south rear yard setback from 7.5 metres (25 ft.) to 4.5 metres (13 ft.) to the building face and to 3.5 metres (11.5 ft.) to the roof overhangs;



Enter Map Description

Scale: 1:3,400

The data provided is compiled from various sources and is NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, legal descriptions and encumbrances must be confirmed at the Land Title Office. Use and distribution of this map is subject to all copyright and disclaimer notices at cosmos.surrey.ca

