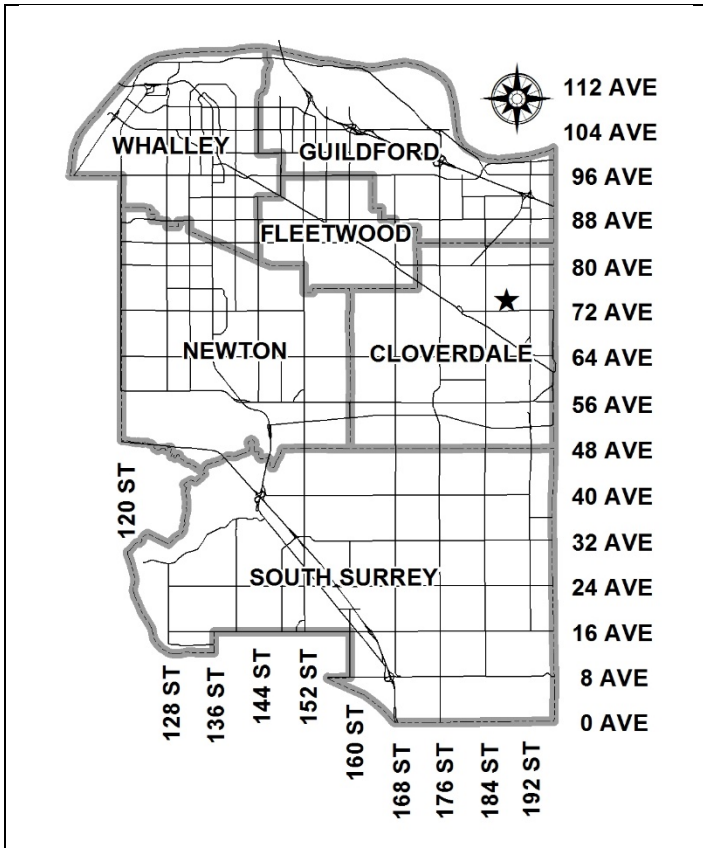


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0221-00

Planning Report Date: December 17, 2018



PROPOSAL:

- **NCP Amendment** to amend the Biodiversity Conservation Strategy Corridor location and road network and from High Density Cluster and Green Density Transfer to Townhouse 25-30 UPA Net
- **Rezoning** from RA to RM-30
- **Development Permit**
- **Development Variance Permit**

to permit the development of 166 townhouse units on three lots and conveyance of one park lot to the City.

LOCATION: 18738, 18726 and 18702 - 74 Avenue

ZONING: RA

OCP DESIGNATION: Urban

NCP DESIGNATION: High Density Cluster and Green Density Transfer (Forest Preservation/Restoration)



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to reduce indoor amenity space.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the West Clayton Neighbourhood Concept Plan (NCP) to alter the road concept plan, Biodiversity Conservation Strategy Corridor location, and designation of the subject site from High Density Cluster and Green Density Transfer to a new designation Townhouse 25-30 UPA Net.
- Seeking to reduce the setback requirements of the RM-30 Zone along all four lot lines for the three proposed townhouse development lots.

RATIONALE OF RECOMMENDATION

- Complies with OCP Designation.
- Partially complies with the West Clayton Neighbourhood Centre Plan (NCP).
- The realignment of the Biodiversity Conservation Strategy Green Infrastructure Network and road network plan has been proposed in order to retain an existing Class B watercourse in its current location and to retain a row of mature trees. The West Clayton NCP currently proposes relocation of the watercourse and removal of the row of trees. The proposed amendment to the road network plan and land use and density designation of the subject site is a result of this change.
- The proposed changes are supported by impacted property owners of the subject site and adjacent in-stream development applications.
- Proposed setbacks achieve a more urban, pedestrian streetscape consistent with similar townhouse projects and are reflective of the West Clayton NCP.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Multiple Residential 30 Zone (RM-30)" and a date be set for Public Hearing.
2. Council approve the applicant's request to reduce the amount of required indoor amenity space from 498 square metres (5,360 sq.ft.) to 314 square metres (3,380 sq.ft.).
3. Council authorize staff to draft Development Permit No. 7916-0221-00 generally in accordance with the attached drawings (Appendix II).
4. Council approve Development Variance Permit No. 7916-0221-00 (Appendix VIII) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum north side yard setback on a flanking street of the RM-30 Zone on proposed Lot 1 from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principal building face and 3.5 metres (11 ft.) to the roof overhang and entry canopy;
 - (b) to reduce the minimum east rear yard setback of the RM-30 Zone on proposed Lot 1 from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) to the principal building face and 2.5 metres (8 ft.) to the roof overhang;
 - (c) to reduce the minimum west front yard setback of the RM-30 Zone on proposed Lot 1 from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principal building face and 3.5 metres (11 ft.) to the roof overhang and entry canopy;
 - (d) to reduce the minimum south side yard setback of the RM-30 Zone on proposed Lot 1 from 7.5 metres (25 ft.) to 2.25 metres (7 ft.) to the principal building face and 1.75 metres (6 ft.) to the roof overhang;
 - (e) to reduce the minimum north side yard setback of the RM-30 Zone on proposed Lot 2 from 7.5 metres (25 ft.) to 2.25 metres (7 ft.) to the principal building face and 1.75 metres (6 ft.) to the roof overhang;
 - (f) to reduce the minimum east rear yard setback of the RM-30 Zone on proposed Lot 2 from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) to the principal building face and 5.5 metres (18 ft.) to the roof overhang;
 - (g) to reduce the minimum west front yard setback of the RM-30 Zone on proposed Lot 2 from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to principle building face and 3.5 metres (11 ft.) to the roof overhang and entry canopy of Building B₁ and to 3.0 metres (10 ft.) to the principle building face and 2.5 metres (8 ft.) to the roof overhang of Building B₈;
 - (h) to reduce the minimum south side yard setback of the RM-30 Zone on proposed Lot 2 from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principle building face and 3.5 metres (11 ft.) to the roof overhang and entry canopy for Buildings B₈ and B₉ and to 1.5 metres (5 ft.) for the amenity building;

- (i) to reduce the minimum north side yard setback of the RM-30 Zone on proposed Lot 4 from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principle building face and 3.5 metres (11 ft.) to the roof overhang and entry canopy for Building C₁ and to 3.0 metres (10 ft.) to the principle building face and 2.5 metres (8 ft.) to the roof overhang for Building C₂;
 - (j) to reduce the minimum east rear yard setback of the RM-30 Zone on proposed Lot 4 from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) to the principal building face and 2.5 metres (8 ft.) to the roof overhang;
 - (k) to reduce the minimum west front yard setback of the RM-30 Zone on proposed Lot 4 from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) the principal building face and 4.0 metres (13 ft.) to the roof overhang;
 - (l) to reduce the minimum south side yard on a flanking street setback of the RM-30 Zone on proposed Lot 4 from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principal building face and 3.5 metres (11 ft.) to the roof overhang and entry canopy and
 - (m) to vary the Zoning By-law to increase the number of risers permitted within the setback area on proposed Lots 1, 2 and 4 from 3 to 4 risers.
5. Council instruct staff to resolve the following issues prior to final adoption:
- (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) approval from FortisBC;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;

- (i) registration of a Section 219 Restrictive Covenant to require energy efficiency features in accordance with the energy efficiency density bonus provisions in the West Clayton NCP, to the satisfaction of the Planning and Development Department;
 - (j) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (k) the applicant convey land encumbered by a Fortis BC right-of-way, identified as Lot 3, to the City as a lot for park purposes; and
 - (l) the applicant adequately address the impact of reduced indoor amenity space.
6. Council pass a resolution to amend the West Clayton NCP to realign the Biodiversity Conservation Strategy Green Infrastructure Network and the road network and to amend the designation of the subject site from High Density Cluster and Green Density Transfer to Townhouse 25-30 UPA Net, in accordance with Appendix VII, when the project is considered for final adoption.

REFERRALS

- Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
- School District: **Projected number of students from this development:**
- 42 Elementary students at Clayton Elementary School
22 Secondary students at Salish Secondary School
- (Appendix IV)
- The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by 2022 or 2023 (subject to City sanitary arriving early 2020).
- Parks, Recreation & Culture: Parks will accept the FortisBC right-of-way as parkland and this area must be conveyed as a lot. The applicant is required to construct the half road fronting the conveyed parkland and provide cash-in-lieu for the proposed connecting paths to the multi-use pathway on parkland.
- Surrey Fire Department: The Fire Department has no concerns.

FortisBC: FortisBC has no concerns regarding the proposed development subject to notification and approval of works within 30 metres (98 ft.) of the gas pipeline and acquisition of permits for works within 10 metres (33 ft.) of the FortisBC right-of-way. No structures are permitted within the right-of-way. There are no objections to the dedication and construction of the future 186A Street subject to the addressing of any upgrades that may be required to the pressure gas pipelines to accommodate the change in land use, a satisfactory legal posting plan for road dedication, and financial compensation for loss of rights over the portion of the right-of-way affected by the road.

SITE CHARACTERISTICS

Existing Land Use: Single family homes and accessory buildings on large suburban properties, which will be demolished.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across 74):	Vacant acreage lots and single family dwelling on large acreage lot.	Proposed road and Urban Residential (10+4 UPA bonus)	RA
East:	Single family dwelling on large acreage lot.	High Density Cluster	RA
South:	Single family dwellings on large acreage lots.	Biodiversity Conservation Strategy Corridor, Townhouse/Apartment Flex and proposed road	RA
West:	Single family dwelling on large acreage lot.	Biodiversity Conservation Strategy Corridor	RA

DEVELOPMENT CONSIDERATIONS

Background & Context

- The 2.9-hectare (7.1-acre) subject site is comprised of three lots located at 74 Avenue and the future 186A Street in West Clayton. The site is designated Urban in the Official Community Plan (OCP) and is currently zoned "One-Acre Residential Zone (RA)". The southern portion of the site is laterally bisected by an 18.3-metre (60-ft.) wide FortisBC gas right-of-way, on which no structures are permitted.

- On July 27, 2015, the West Clayton Neighbourhood Concept Plan (NCP) was approved by Council (Corporate Report No. R168). The NCP designated the subject site as High Density Cluster, Green Density Transfer, and Road. The Green Density Transfer designation was placed along the west property line of the subject site, adjacent to an off-site designated Wildlife Corridor [Biodiversity Conservation Strategy (BCS) Corridor], and of the portion of the site located south of the FortisBC right-of-way. A Road designation through the right-of-way was to accommodate a multi-use pathway (Hazelgrove Greenway).
- The High Density Cluster designation permits a base density of 22 units per gross acre with the provision of 10% open space. The Green Density Transfer designation identifies the area for preservation of open space, from which potential density may be transferred to the developed area. An additional 5 units per acre Energy Efficiency Density Bonus may be applied to increase the total permitted density to 27 units per gross acre.
- Development Application No. 7917-0518-00 to the southwest of the subject site was granted First and Second Reading by Council on July 9, 2018. Development Application No. 7917-0116-00 to the west of the subject site was granted First and Second Reading by Council on July 23, 2018 (Appendix V). Both of these applications proposed realignment of the BCS Corridor in order to retain a watercourse in its existing location, and consequently, both applications proposed the same amendment to the road network which transposes the location of the BCS Corridor and future 186A Street (Appendix VII). Both applications have subsequently received Third Reading from Council.
- There are two other in-stream residential development applications immediately to the east and south of the subject site which will be brought forward for Council consideration at a future date (Appendix V). Regent Road Elementary School is under application for building permit and lot consolidation on the north side of 74 Avenue across from the subject site.

Current Proposal

- This development application proposes an NCP amendment to realign the Wildlife/Biodiversity Conservation Strategy (BCS) corridor and road network and to change the residential designation of the site from High Density Cluster and Green Density Transfer to Townhouse 25-30 UPA Net. The application also proposes a rezoning from "One-Acre Residential Zone (RA)" to "Multiple Residential 30 Zone (RM-30)"; a Development Permit for Form and Character; and subdivision into three lots and one Park lot, to permit the development of 166 townhouse units on three independent lots.
- The West Clayton NCP shows an alignment for a BCS corridor on 18674 74 Avenue, the adjacent property to the west of the subject site. This application proposes that the BCS corridor shift further to the west and the future 186A Street shift to the east, in order to be consistent with the realignment which was given Conditional Approval under Development Applications No. 7917-0518-00 and No. 7917-0116-00 (see Justification for NCP Amendment section).
- Consequently, the proposal for the subject site includes the dedication of an 11.5-metre half road (which decreases toward the southern portion of the site for road alignment) for the future 186A Street, instead of the conveyance of open space as set out in the NCP. The proposal also conveys 2,569 square metres (0.63 acres) (proposed Lot 3) of land encumbered by a FortisBC right-of-way for park purposes.

- The application proposes to create a new NCP designation "Townhouse 25-30 UPA Net" which would allow for a net density with energy efficient buildings that was equivalent to what would be permitted under the current gross density calculation. The proposal of 166 townhouse units has a gross density of 24.38 units per acre, where the area of the undevelopable park lot is discounted by 50%. The applicant will be required to register a Section 219 Covenant to secure the necessary energy efficiency building design features.
- The density of proposed Lot 1 and 2 is 75 units per hectare (30 units per acre) with a floor area ratio (FAR) of 0.93. The density of proposed Lot 4 is 69 units per hectare (28 units per acre) with a floor area ratio (FAR) of 0.90. All three lots comply with the maximum unit density of 75 units per hectare (30 units per acre) and the maximum FAR of 1.00 permitted in the RM-30 Zone.
- In addition to dedication for the north/south alignment of the future 186A Street, the applicant is required to dedicate 1.9 metres (6 ft.) to complete 74 Avenue to collector road standard and dedicate 11.5 metres (38 ft.) (or dedicate 10.0 metres and secure a 1.5 metre statutory right of way) for the future 73 Avenue local road.
- The applicant has an agreement with the developer having an option to purchase 18737 - 72 Avenue (under Development Application No. 18-0001, which will proceed to Council at a later date) for each development site to provide 10.0 metres (33 ft.) toward a 20-metre local road for 73 Avenue. Toward the eastern portion of the subject site where no similar agreement is in place, the applicant will increase the dedication on 73 Avenue to 11.5 (38 ft.) metres for an interim half road. The applicant understands that should an off-site statutory right of way not be secured; the site plan will have to be revised to provide a 11.5 (38 ft.) metre half road along the entire south property line.
- The applicant also proposes a Development Variance Permit (DVP) to reduce the minimum building setbacks along all lot lines (see By-law Variances section).

JUSTIFICATION FOR PLAN AMENDMENT

- An amendment to the West Clayton NCP is proposed, which includes realignment of the Biodiversity Conservation Strategy (BCS) corridor and road network plan. (Appendix VII)
- The realignment of the BCS corridor and road network plan has been proposed in order to retain the existing location of a Class B watercourse along the east property line of a nearby property to the southwest (18611 – 72 Avenue) and to retain an existing row of mature trees along the east property line of another nearby property to the west (18638 – 74 Avenue).
- The current West Clayton NCP proposes to relocate the watercourse to the east within a designated BCS corridor and proposes a road where the row of mature trees and watercourse are sited. The retention of a watercourse and row of mature trees in existing locations is desirable for habitat preservation. The amendment to the road network plan is a result of the habitat preservation driven changes.

- All the properties affected by the proposed BCS corridor and road network realignment are either under development application or will be purchased by the City for parkland in the future. The applications are all reflective of the proposed amendment and all owners are supportive of the change.
- The proposal to create a new "Townhouse 25-30 UPA Net" designation enables the subject site to achieve densities equivalent to what would be permitted under the current NCP designation with the conveyance of open space. With the proposed relocation of the BCS corridor, additional adjacent open space on the subject property is no longer desirable. Instead of conveying a 10-metre wide (33-ft.) open space corridor, the applicant will dedicate approximately 11.5 metres (38 ft.) for the future 186A Street.
- The proposed NCP changes are supportable, as BCS objectives and road connectivity are still met while better reflecting the existing site conditions on nearby properties.

PRE-NOTIFICATION

Pre-notification letters were sent on May 8, 2018, and the Development Proposal Signs were also installed on May 8, 2018. Staff received 4 responses from neighbouring residents including from the Cloverdale Community Association (*staff comments in italics*):

- The Cloverdale Community Association (CCA) provided comment that its support for the application would be contingent upon the absence of tandem garages; installation of sidewalks and treed and grassed boulevards; no variances to required visitor parking; and double-sided street parking.

(No tandem garages are proposed. The West Clayton NCP requires that local and collector roads in this area have sidewalks, treed and grassed boulevards, and parking on both sides of the street. No variances are requested for visitor parking.)

- Three respondents requested more information about the proposal and did not have any concerns.

(Staff provided more information and provided the proposed layout and NCP amendment.)

DESIGN PROPOSAL AND REVIEW

- The proposed development will include subdivision to reconfigure the three existing lots into two lots located north of the FortisBC right-of-way, one lot to the south and a Park lot over the right-of-way.
- Proposed Lot 1 will have driveway access from 74 Avenue, which is coordinated with the driveway access for Regent Road Elementary School, which is under development application, and the adjacent future road north of 74 Avenue. Proposed Lots 2 and 4 will have access from the future 186A Street.

- Each of the three proposed residential lots will be a future strata property. Proposed Lot 1 consists of 68 units, Lot 2 of 67 units, and Lot 4 of 31 units, for a total of 166 units. The townhouse units will be a mix of two and three-bedroom units. All townhouse units will have double, side-by-side garages.
- The required 332 resident parking stalls and required 33 visitor parking stalls are provided onsite in garages and surface visitor parking stalls.
- The proposed building materials include roof laminate shingles, hardie board planks, wood board and wood trims, and vinyl windows. The colour palette is a combination of greys, black and reds.
- Of the 26 buildings on the three lots, six buildings located internally on the site are designed as back-to-back units with roof decks instead of at-grade patios. All other units have yard or patio space, and with the exception of two units adjacent to the right-of-way, all units also have second storey balconies.
- The site plan and units have been designed to retain trees, integrate trees with passive outdoor amenity space, and provide an appropriate interface with the FortisBC right-of-way that will be future City parkland with a multi-use pathway.

Amenity Space

- The RM-30 Zone requires that 3.0 sq.m. (32 sq.ft.) each of indoor and outdoor amenity space be provided per dwelling unit, for a total of 498 sq. m (5,360 sq. ft.) each of indoor and outdoor amenity space over the entire site.
- The applicant is proposing to provide a total of 996 sq. m (10,721 sq. ft.) of outdoor amenity space, which exceeds the requirements of the RM-30 Zone on each lot. Lots 1 and 2 provide 307 sq.m. (3,305 sq.ft.) and 590 sq.m (6,351 sq.ft.) respectively of outdoor amenity space, including passive amenity area for tree retention. Lot 4 provides 100 sq.m. (1,076 sq.ft.) of outdoor amenity space.
- The outdoor amenity area for each townhouse lot includes soft landscaping, hardscaped areas, and a community garden. Proposed Lots 1 and 4 include children's play structures and proposed Lot 2 includes a trellised barbeque and picnic area. On proposed Lots 1 and 2, the outdoor amenity space is located adjacent to retained trees and to the indoor amenity building.
- The applicant is proposing two-storey indoor amenity buildings on both Lots 1 and 2, which respectively are 186 sq.m (2,002 sq.ft.) and 128 sq.m (1,378 sq.ft.) in size. No indoor amenity area is proposed on Lot 4 because of the size and shape constraints imposed by the FortisBC right-of-way.
- The total proposed indoor amenity area of 314 square metres (3,380 sq.ft), results in a shortfall of 184 square metres (1,980 sq.ft). The applicant will provide a monetary contribution of \$73,200 (based on \$1,200 per unit shortfall) in accordance with City Policy to address the shortfall in required indoor amenity area on the three lots.

Landscaping:

- The landscape plan shows a total of 253 replacement trees, to be planted throughout the subject site including Bronze Vine Maple, Ruby Vase Persian Ironwood, Green Pillar Pin Oak and Snowcone Japanese Snowbell and others.
- A significant number of shrubs and ground cover species are proposed throughout the site including Little-Leaf Box, Mountain Laurel, Boxleaf Honeysuckle, Emerald Green Cedar and others.
- Significant tree planting and landscaping is proposed along all street frontages (74 Avenue and future 73rd Avenue and 186A Street); at the two public plazas on 186A Street at northern and southern corners of subject site; and adjacent to the proposed City park/multi-use pathway. Landscaping is also proposed between the garage letdowns of adjacent townhouse units to provide a green environment along internal driveways.

TREES

- Vanessa Melney, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder/ Cottonwood	56	56	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Apple	1	1	0
Ash, Mountain	2	2	0
Cherry	5	5	0
Hawthorn	1	1	0
Holly	1	1	0
Maple, Bigleaf	27	26	1
Mountain Ash	2	2	0
Oak, English	1	1	0
Plum	2	2	0
Coniferous Trees			
Cedar, Deodar	1	1	0
Cedar, Western Red	23	18	5
Douglas-fir	34	17	17
Falsecypress	13	13	0
Fir, Grand	1	1	0
Hemlock, Western	1	1	0
Pine, Austrian	1	1	0
Pine	1	1	0
Spruce	7	7	0

Tree Species	Existing	Remove	Retain
Total (excluding Alder and Cottonwood Trees)	124	101	23
Additional Trees in the proposed Open Space	NA	NA	NA
Total Replacement Trees Proposed (excluding Boulevard Street Trees)			
		253	
Total Retained and Replacement Trees		276	
Contribution to the Green City Fund		\$2,000	

- The Arborist Assessment states that there are a total of 124 protected trees on the site, excluding Alder and Cottonwood trees. Fifty-six (56) existing trees, approximately 31% of the total trees on the site, are Alder and Cottonwood trees. It was determined that 23 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 258 replacement trees on the site. Since only 253 replacement trees can be accommodated on the site, the deficit of 5 replacement trees will require a cash-in-lieu payment of \$2,000, representing \$400 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.
- In addition to the replacement trees, boulevard street trees will be planted on 74 Avenue and the future 73 Avenue and 186A Street. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Bronze Vine Maple, Ruby Vase Persian Ironwood, Green Pillar Pin Oak and Snowcone Japanese Snowbell.
- In summary, a total of 276 trees are proposed to be retained or replaced on the site with a contribution of \$2,000 to the Green City Fund.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on May 12, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • Located in West Clayton NCP
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • Proposed gross density of 23.29 upa complies with the existing and proposed NCP designation.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Low Impact Development Standards are incorporated including absorbent soils, dry swales, and sediment controls. A total of 253 trees will be planted on-site.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • A large, open space will be conveyed for park purposes and a multi-use pathway.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • Site incorporates CPTED principles including large, street facing windows with clear lines of vision. Project includes spaces for different ages, including playground space and indoor amenity space.
6. Green Certification (F1)	<ul style="list-style-type: none"> • None proposed.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • The development proposal sign and pre-notification letters were used to consult the community.

BY-LAW VARIANCE AND JUSTIFICATION

Lot 1 (north lot fronting 74 Avenue)

(a) Requested Variance:

- to reduce the minimum north side yard on a flanking street setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principal building face and 3.5 metres (11 ft.) to the roof overhang and entry canopy;
- to reduce the minimum east rear yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) to the principal building face and 2.5 metres (8 ft.) to the roof overhang;
- to reduce the minimum west front yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principal building face and 3.5 metres (11 ft.) to the roof overhang and entry canopy;
- to reduce the minimum south side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 2.25 metres (7 ft.) to the principal building face and 1.75 metres (6 ft.) to the roof overhang; and
- to vary the Zoning By-law to increase the number of risers permitted within the setback area from 3 to 4.

Lot 2

(b) Requested Variance:

- to reduce the minimum north side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 2.25 metres (7 ft.) to the principal building face and 1.75 metres (6 ft.) to the roof overhang;
- to reduce the minimum east rear yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) to the principal building face and 5.5 metres (18 ft.) to the roof overhang;
- to reduce the minimum west front yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to principle building face and 3.5 metres (11 ft.) to the roof overhang and entry canopy of Building B1 and to 3.0 metres (10 ft.) to the principle building face and 2.5 metres (8 ft.) to the roof overhang of Building B8;
- to reduce the minimum south side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principle building face and 3.5 metres (11 ft.) to the roof overhang and entry canopy for Buildings B8 and B9 and to 1.5 metres (5 ft.) for the amenity building; and
- to vary the Zoning By-law to increase the number of risers permitted within the setback area from 3 to 4.

Lot 4 (south lot fronting 73 Avenue)

(c) Requested Variance:

- to reduce the minimum north side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principle building face and 3.5 metres (11 ft.) to the roof overhang and entry canopy for Building C1 and to 3.0 metres (10 ft.) to the principle building face and 2.5 metres (8 ft.) to the roof overhang for Building C2;
- to reduce the minimum east rear yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) to the principal building face and 2.5 metres (8 ft.) to the roof overhang;
- to reduce the minimum west front yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) the principal building face and 4.0 metres (13 ft.) to the roof overhang;
- to reduce the minimum south side yard on flanking street setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principal building face and 3.5 metres (11 ft.) to the roof overhang and entry canopy; and
- to vary the Zoning By-law to increase the number of risers permitted within the setback area from 3 to 4.

Applicant's Reasons:

- The reduced setbacks along street frontages will improve security by providing "eyes on the street", improve unit identification, and emphasize the entry for individual units, all of which contribute to a greater sense of community and a more urban streetscape.
- The reduced setbacks for townhouse units adjacent to the FortisBC right-of-way provide visual continuity of yards bordering the park.

Staff Comments:

- The RM-30 Zone requires that buildings and structures be sited a minimum of 7.5 metres (25 ft.) from all property lines. The applicant is proposing reduced setbacks along all property lines.
- The reduced setbacks for the front yards of the proposed townhouse units fronting 73 and 74 Avenue and 186A Street will create an appropriate urban, pedestrian-friendly streetscape.
- The proposed reduced east yard setback accommodates retention of shared trees along the east property line and adequate yard space and provides an appropriate interface with the proposed adjacent townhouse development.
- The reduced setback of 2.25 metres (7 ft.) for the south property line of Lot 1 and north property line of Lot 2 provide a total distance of 4.5 metres (15 ft.) between adjacent buildings but allow for the development of separate strata properties.
- The reduced setbacks for townhouse units facing the proposed City parkland and multi-use path provide for a friendly public realm.
- The reduced setbacks are in keeping with recently approved townhouse projects immediately north and south of the subject site and in the Clayton area.
- Staff support the requested variances.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary (Confidential) and Project Data Sheets
Appendix II.	Proposed Subdivision Layout, Site Plans, Indicative Building Elevations and Landscape Plans
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Map of Adjacent Development Applications
Appendix VI.	Summary of Tree Survey and Tree Preservation
Appendix VII.	NCP Amendment Plan
Appendix VIII.	Development Variance Permit No. 7916-0221-00
Appendix IX.	Letter from Cloverdale Community Association

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by W G Architecture Inc. and PMG Landscape Architects, respectively, submitted December 10, 2018 and revised December 11 and 12, 2018.

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

HC/cm

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Lot 1 Proposed Zoning: RM-30

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		28,844 sq.m.
Road Widening area		3,831 sq.m.
Undevelopable area		2,570 sq.m.
Net Total		22,443 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	45%
Paved & Hard Surfaced Areas		28%
Total Site Coverage		73%
SETBACKS (in metres)		
Front - West	7.5 m	4.5 m
Rear - East	7.5 m	3.0 m
Side #1 (North)	7.5 m	4.5 m
Side #2 (South)	7.5 m	2.25 m
BUILDING HEIGHT (in metres/storeys)		
Principal	13 m	12.5 m (3 storeys)
Accessory		n/a
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		30
Three Bedroom +		38
Total		68
FLOOR AREA: Residential	8,578 sq.m.	8,363 sq.m.
FLOOR AREA: Commercial		n/a
Retail		
Office		
Total		
FLOOR AREA: Industrial		n/a
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		8,363 sq.m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)	75 uph / 30 upa	75 uph/30 upa
FAR (gross)		
FAR (net)	1.00	0.93
AMENITY SPACE (area in square metres)		
Indoor	204 sq.m.	186 sq.m.
Outdoor	204 sq.m.	307 sq.m.
PARKING (number of stalls)		
Commercial		n/a
Industrial		n/a
Residential Bachelor + 1 Bedroom		
2-Bed	60	60
3-Bed	76	76
Residential Visitors	14	14
Institutional		n/a
Total Number of Parking Spaces	150	150
Number of accessible stalls	n/a	1
Number of small cars	5	4
Tandem Parking Spaces: Number / % of Total Number of Units	n/a	n/a
Size of Tandem Parking Spaces width/length		n/a

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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DEVELOPMENT DATA SHEET

Lot 2 Proposed Zoning: RM-30

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		28,844 sq.m.
Road Widening area		3,831 sq.m.
Undevelopable area		2,570 sq.m.
Net Total		22,443 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	45%
Paved & Hard Surfaced Areas		29%
Total Site Coverage		74%
SETBACKS (in metres)		
Front - West	7.5 m	4.5 m
Rear - East	7.5 m	6.0 m
Side #1 (North)	7.5 m	2.25 m
Side #2 (South) (amenity building)	7.5 m	4.5 m (1.5 m)
BUILDING HEIGHT (in metres/storeys)		
Principal	13 m	12.5 m (3 storeys)
Accessory		n/a
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		30
Three Bedroom +		37
Total		67
FLOOR AREA: Residential	8,467 sq.m.	8,248 sq.m.
FLOOR AREA: Commercial		n/a
Retail		
Office		
Total		
FLOOR AREA: Industrial		n/a
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		8,248 sq.m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)	75 uph / 30 upa	75 uph/30 upa
FAR (gross)		
FAR (net)	1.00	0.93
AMENITY SPACE (area in square metres)		
Indoor	201 sq.m.	128 sq.m.
Outdoor	201 sq.m.	590 sq.m.
PARKING (number of stalls)		
Commercial		n/a
Industrial		n/a
Residential Bachelor + 1 Bedroom		
2-Bed	60	60
3-Bed	74	74
Residential Visitors	13	13
Institutional		n/a
Total Number of Parking Spaces	147	147
Number of accessible stalls	n/a	1
Number of small cars	5	5
Tandem Parking Spaces: Number / % of Total Number of Units	n/a	n/a
Size of Tandem Parking Spaces width/length		n/a

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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DEVELOPMENT DATA SHEET

Lot 4 Proposed Zoning: RM-30

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		28,844 sq.m.
Road Widening area		3,831 sq.m.
Undevelopable area		2,570 sq.m.
Net Total		22,443 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	45%
Paved & Hard Surfaced Areas		26%
Total Site Coverage		71%
SETBACKS (in metres)		
Front - West	7.5 m	4.5 m
Rear - East	7.5 m	3.0 m
Side #1 (North) (portion of Building C2)	7.5 m	4.5 m (3.0 m)
Side #2 (South)	7.5 m	4.5 m
BUILDING HEIGHT (in metres/storeys)		
Principal	13 m	12.5 m (3 storeys)
Accessory		n/a
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		31
Total		31
FLOOR AREA: Residential	4,252 sq.m.	4,025 sq.m.
FLOOR AREA: Commercial		n/a
Retail		
Office		
Total		
FLOOR AREA: Industrial		n/a
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		4,025 sq.m.

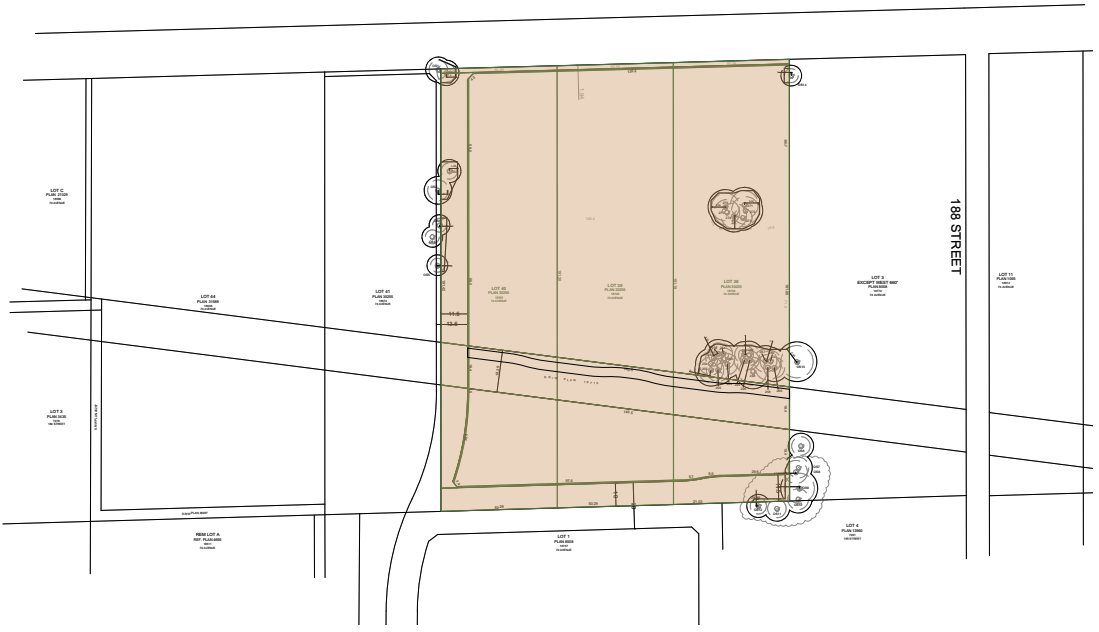
** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

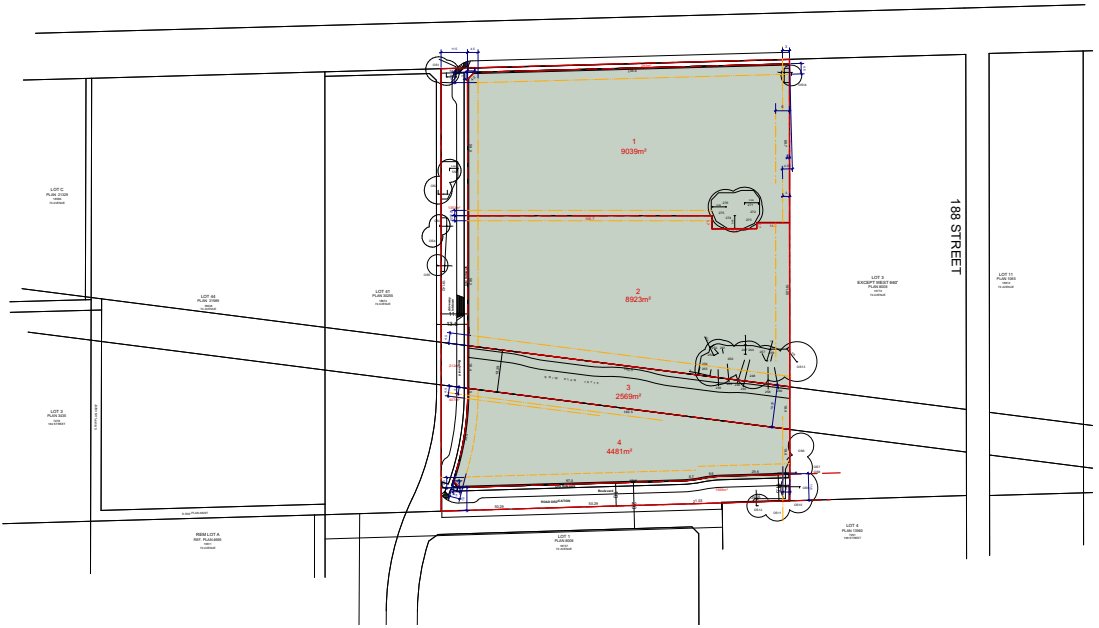
Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)	75 uph / 30 upa	69 uph/28 upa
FAR (gross)		
FAR (net)	1.00	0.90
AMENITY SPACE (area in square metres)		
Indoor	93 sq.m.	0
Outdoor	93 sq.m.	100 sq.m.
PARKING (number of stalls)		
Commercial		n/a
Industrial		n/a
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed	62	62
Residential Visitors	6	6
Institutional		n/a
Total Number of Parking Spaces	68	6
Number of accessible stalls	n/a	1
Number of small cars	2	0
Tandem Parking Spaces: Number / % of Total Number of Units	n/a	n/a
Size of Tandem Parking Spaces width/length		n/a

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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Appendix II



ORIGINAL LOTS



PROPOSED LOTS

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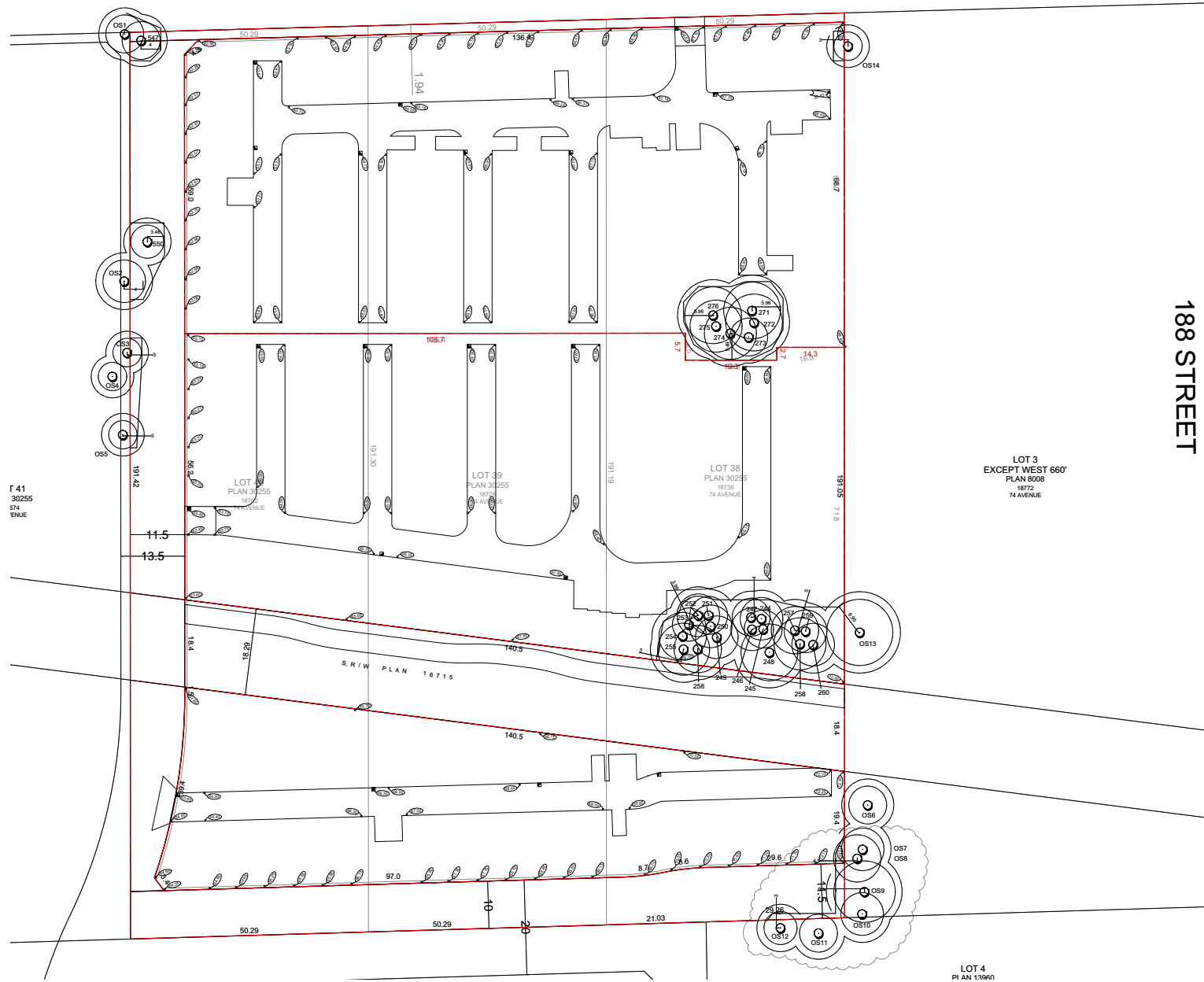


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 email: wg@wgarchitectureinc.com

Project Title:
 18702, 18726, 18738
 74th AVENUE
 SURREY, BC

Sheet Title:
BASE PLAN

Date: May 2018	Project Number: 1619
Scale: 1 : 500	Sheet Number: DP100
Drawn By: NC	
Approved By: WG	



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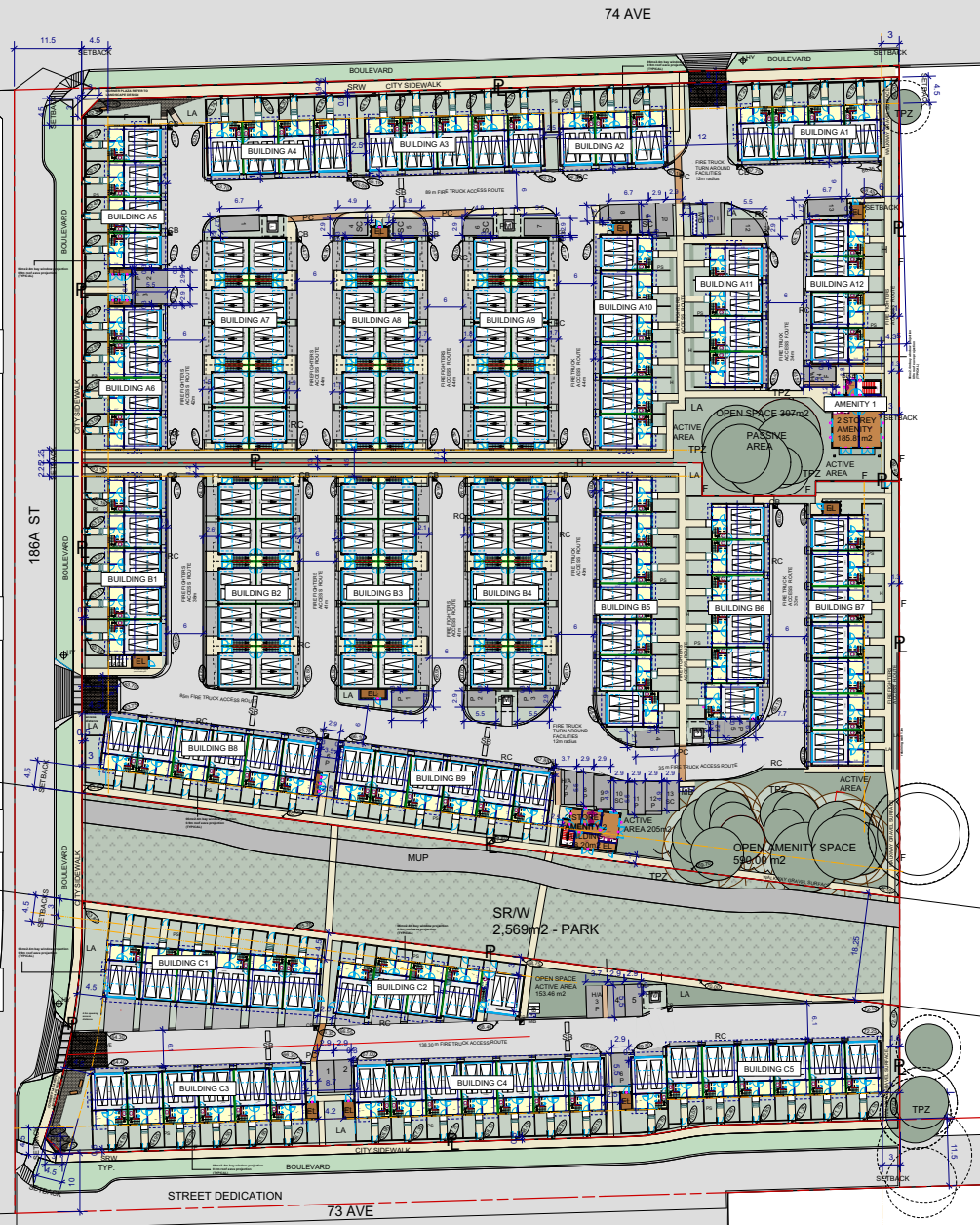
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Project Title:
 18702, 18726, 18738
 74th AVENUE
 SURREY, BC

Sheet Title:
 CIVIL PLAN

Date: May 2018	Project Number: 1619
Scale: 1 : 500	Sheet Number: DP101
Drawn By: NC	Approved By: WG

2018 Dec 14 7:11



- LEGEND:**
- AD AREA DRAIN
 - BR BICYCLE RACK
 - CB CATCH BASIN
 - EL ELECTRICAL ROOM
 - F FENCE
 - H HEDGE
 - HIA ACCESSIBLE PARKING
 - HY HYDRANT
 - LA LANDSCAPE
 - MB MAIL BOX
 - MUP MULTI-PURPOSE PATHWAY
 - PC PEDESTRIAN CROSSING WITH PAVE
 - PT TRANSFORMER
 - PS PRIVACY SCREEN
 - PV PAVERS
 - RC ROLL-OVER CURB
 - SB SPEED BUMP
 - SC SMALL CAR
 - TPZ 1m TREE PROTECTION ZONE

LOT 1

LOT 2

LOT 3

LOT 4

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74th AVENUE
SURREY, BC

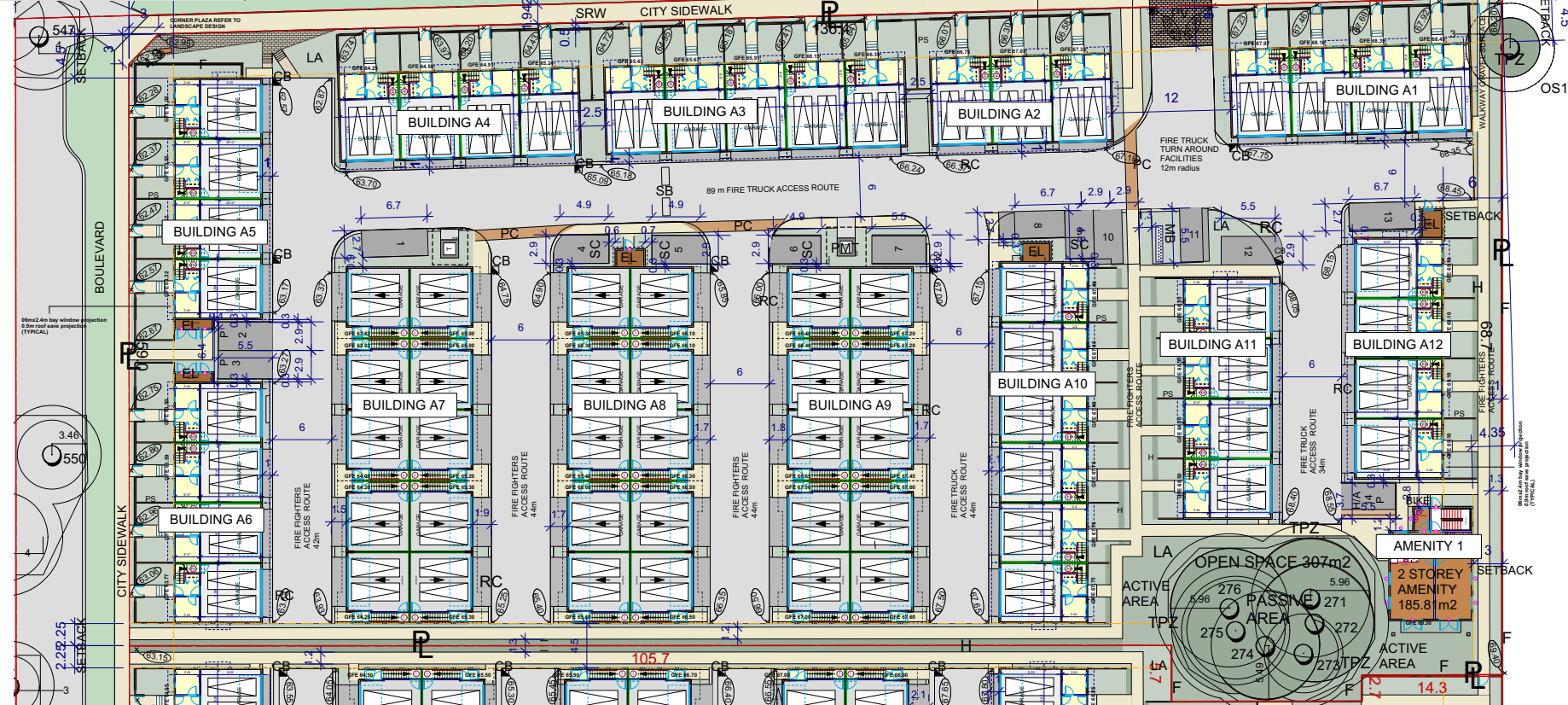
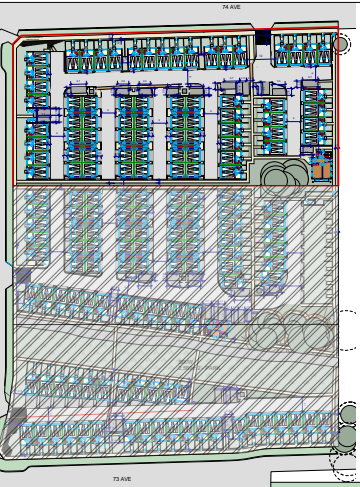
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SITE PLAN

Date:	May 2018	Project Number:	1619
Scale:	1/32" = 1' - 0"	Sheet Number:	
Drawn By:	NC, GA	DP103	
Approved By:	WG		

2018 Dec 04 17:30

LOT 1
 NET AREA : 9,039.00 m² / 2.233 acre
PROPOSED DENSITY
 NUMBER OF UNIT PROPOSED 68 units
 NET AREA 30.38 upa
 BUILDING AREA 4,007.57 m²
 LOT COVERAGE 45%
 BUILDING FLOOR AREA 8,362.63
FAR
 NET 0.93
SETBACKS
 NORTH 4.5m
 SOUTH 2.25m
 EAST 6.0m + 3.0m
 WEST 4.5m
BUILDING HEIGHT 12.5m / 3 STOREY
AMENITY
 REQUIRED / PROVIDED
 OUTDOOR SPACE: 204 m² / 307 m²
 INDOOR AMENITY: 204 m² / 185.80 m²
PARKING
 RESIDENT
 DOUBLE GARAGE 68 UNITS x 2 = 136 PARKING SPACES
VISITORS
 REQUIRED: 13.6 PARKING SPACES
 PROVIDED: 14 PARKING SPACES
 ACCESSIBLE: 1 STALL
 SMALL CAR (25% = 4 PERMITTED) / PROPOSED: 4 STALLS
TOTAL 150 PARKING SPACES



#	Date	Revision Notes
1	MAY25/18	REVISED SITE PLAN

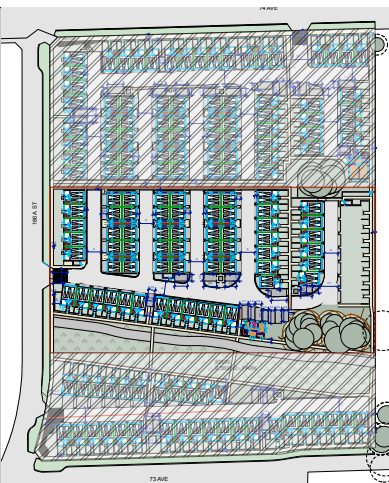
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 74th AVENUE
 SURREY, BC

Sheet Title:
 SITE PLAN LOT 1

Date:	May 2018	Project Number:	1619
Scale:	1:200	Sheet Number:	
Drawn by:	NC, GA		
Approved by:	WG		

DP104



LOT 2
NET AREA : 8,923.00 m² / 2,205 acre

PROPOSED DENSITY
NUMBER OF UNIT PROPOSED 67 units
NET AREA 30.38rupa

BUILDING AREA 4,051.04 m²
LOT COVERAGE 45.4%
BUILDING FLOOR AREA 8,248.3 m²

FAR
NET 0.93

SETBACKS
NORTH 2.25m
SOUTH 4.5m + 1.5 FOR AMENITY AREA
EAST 6.0m
WEST 4.5m + 3.0m

BUILDING HEIGHT 12.5m / 3 STOREY

AMENITY
REQUIRED / PROVIDED
OUTDOOR SPACE: 201 m² / 590 m²
INDOOR AMENITY: 201m² / 128.20 m²

PARKING
RESIDENT
DOUBLE GARAGE 67 UNITS x 2 = 134 PARKING SPACES

VISITORS
REQUIRED: 13.4 PARKING SPACES
PROVIDED: 13 PARKING SPACES
ACCESSIBLE 1 STALL
SMALL CAR (25%=3 PERMITTED) / PROPOSED: 2 STALLS

TOTAL 147 PARKING SPACES

186A ST



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#	Date	Revision Notes
#1	MAY/2018	REVISED SITE PLAN

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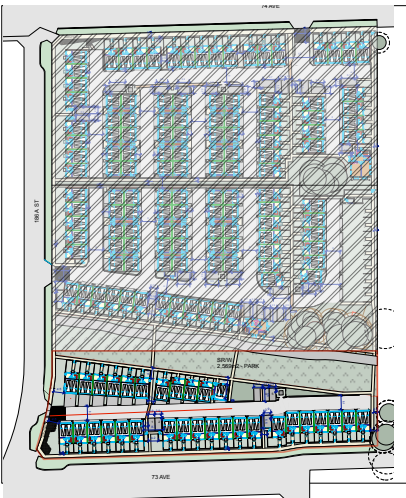
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74th AVENUE
SURREY, BC

Sheet Title:
SITE PLAN LOT 2

Date: May 2018
Scale: 1:200
Drawn by: NC, GA
Approved by: WG

Project Number: 1619
Sheet Number: DP105

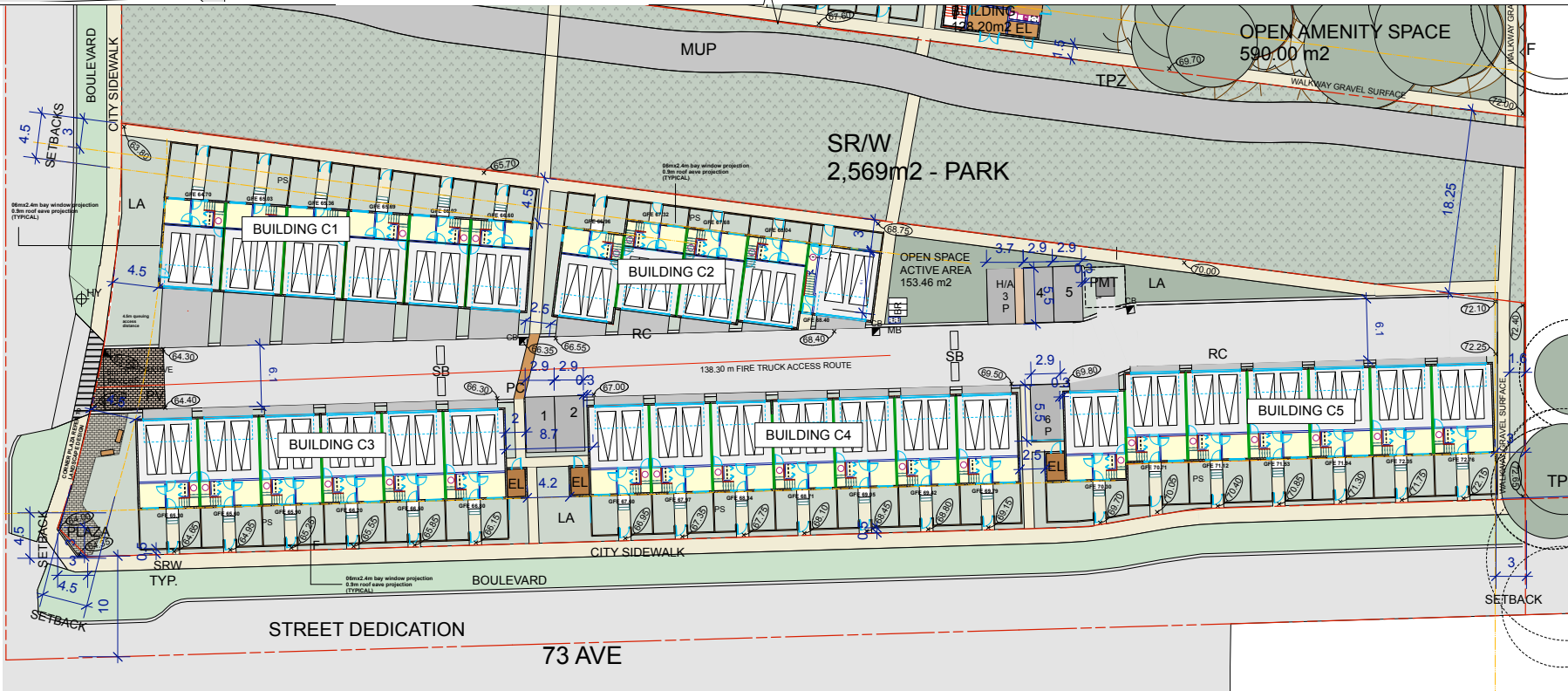
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LOT 4
 NET AREA : 4,481 m² / 1,107 acre
PROPOSED DENSITY
 NUMBER OF UNIT PROPOSED 31 units
 NET AREA 28.00 upa
BUILDING AREA 2,034.37 m²
LOT COVERAGE 45.4%
BUILDING FLOOR AREA 4,025
FAR
 NET 0.9
SETBACKS
 NORTH 4.5m + 3.0m
 SOUTH 4.5m
 EAST 3.0m
 WEST 4.5m
BUILDING HEIGHT 12.5m / 3 STOREY
AMENITY
 REQUIRED / PROVIDED
 INDOOR: 93m² / 0m²
 OUTDOOR SPACE: 93 m² / 99.5 m²
PARKING
RESIDENT
 DOUBLE GARAGE 31 UNITS x 2 = 62 PARKING SPACES
VISITORS
 REQUIRED: 8.2 PARKING SPACES
 PROVIDED: 6 PARKING SPACES
 ACCESSIBLE: 1 STALL
 SMALL CAR (25%= 2 PERMITTED) / PROPOSED: 0
TOTAL 68 PARKING SPACES

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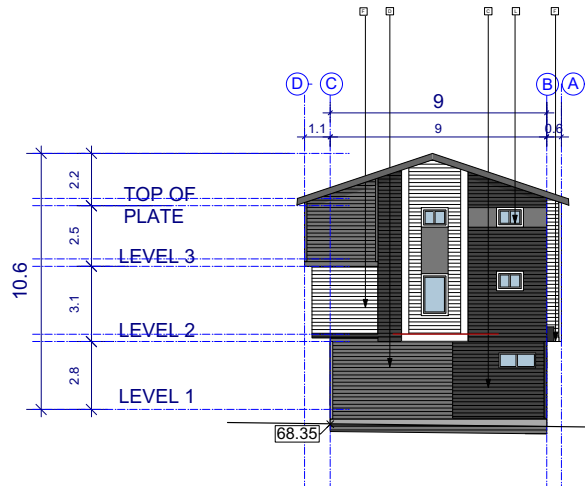
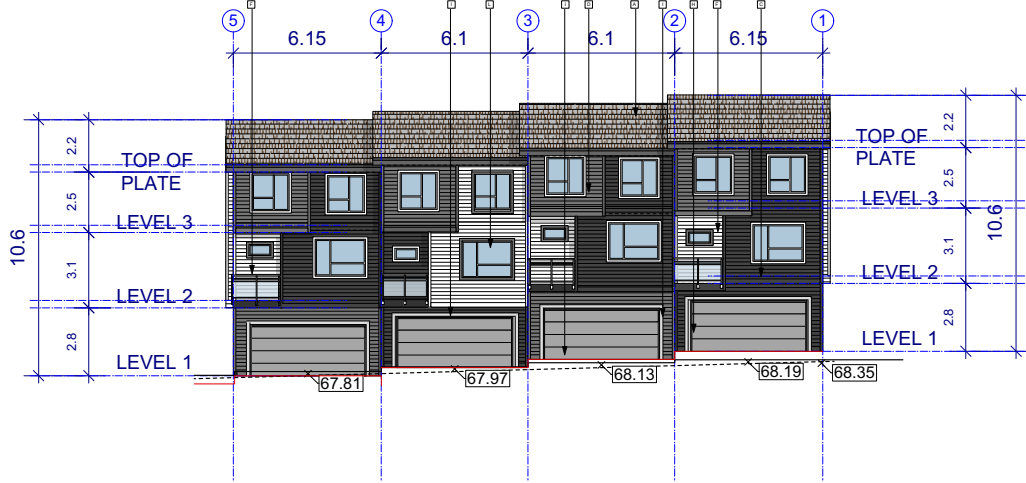
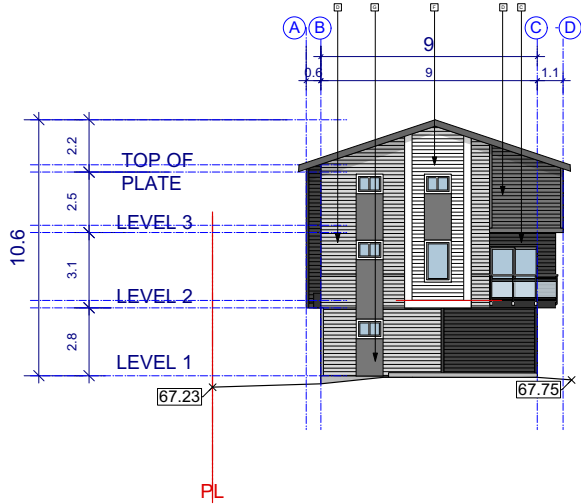
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 18702, 18726, 18738
 74th AVENUE
 SURREY, BC

Sheet Title:
SITE PLAN LOT 4

Date:	Project Number:
May 2018	1619
Scale:	Sheet Number:
1 : 200	
Drawn By:	Approved By:
NC, GA	WG
	DP106

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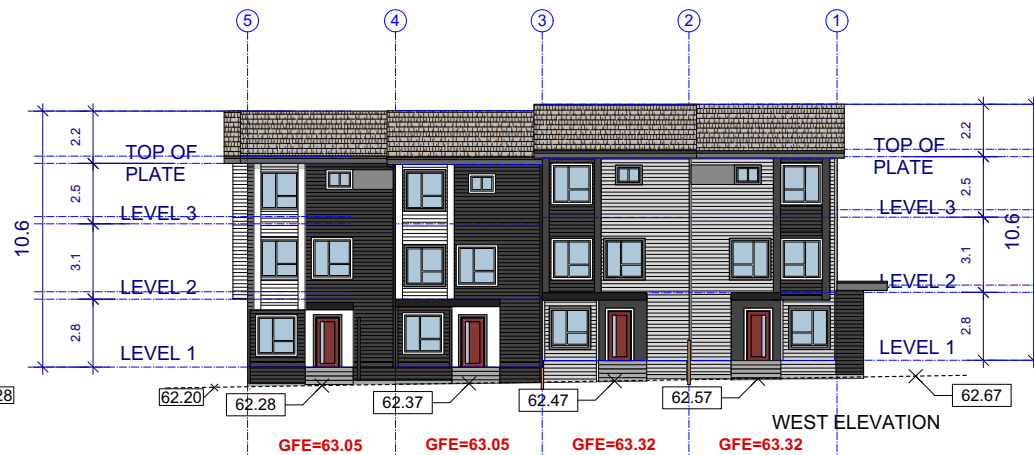
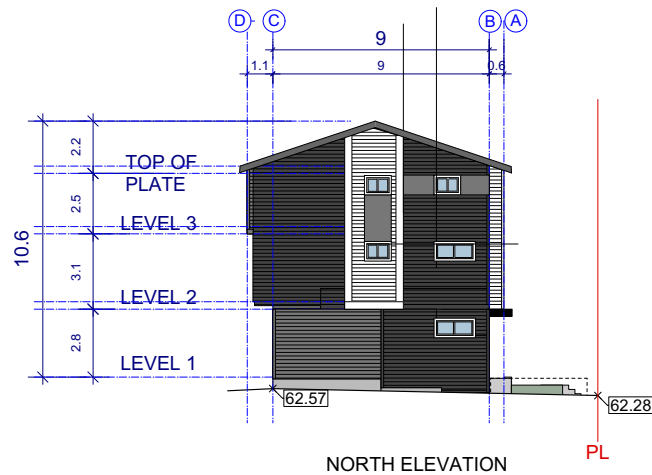
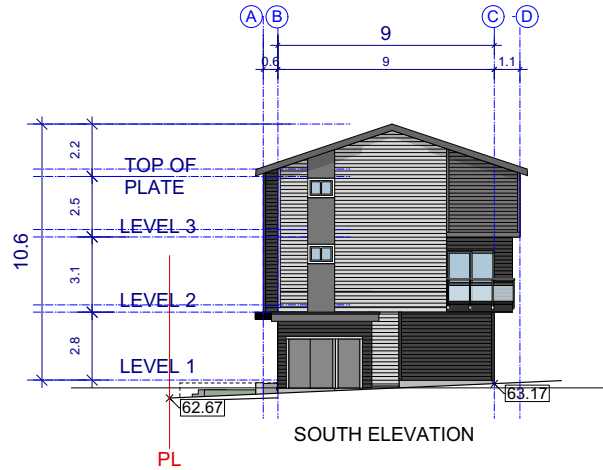
Project Title:
 18702, 18726, 18738
 74 AVE, SUREY, BC
 SURREY, BC

Drawing Title:
 BUILDING A1
 ELEVATIONS

Date:	Project Number:
-	1619
Scale:	Sheet No.:
1/8" = 1' - 0"	
Drawn By:	DP301A
Approved By:	
WG	

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No.	Date	Revision Details



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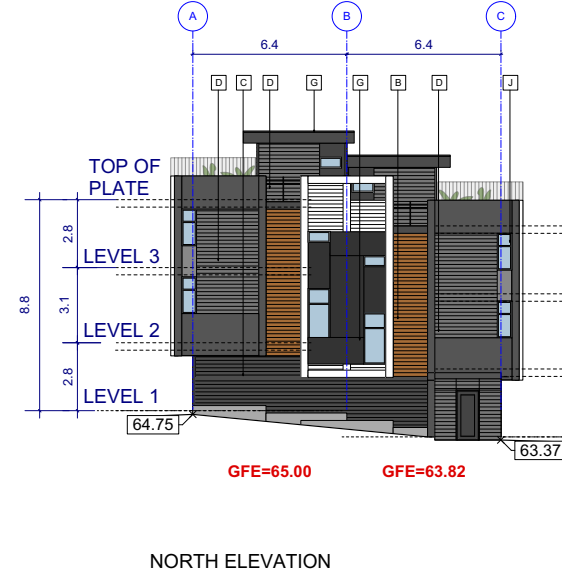
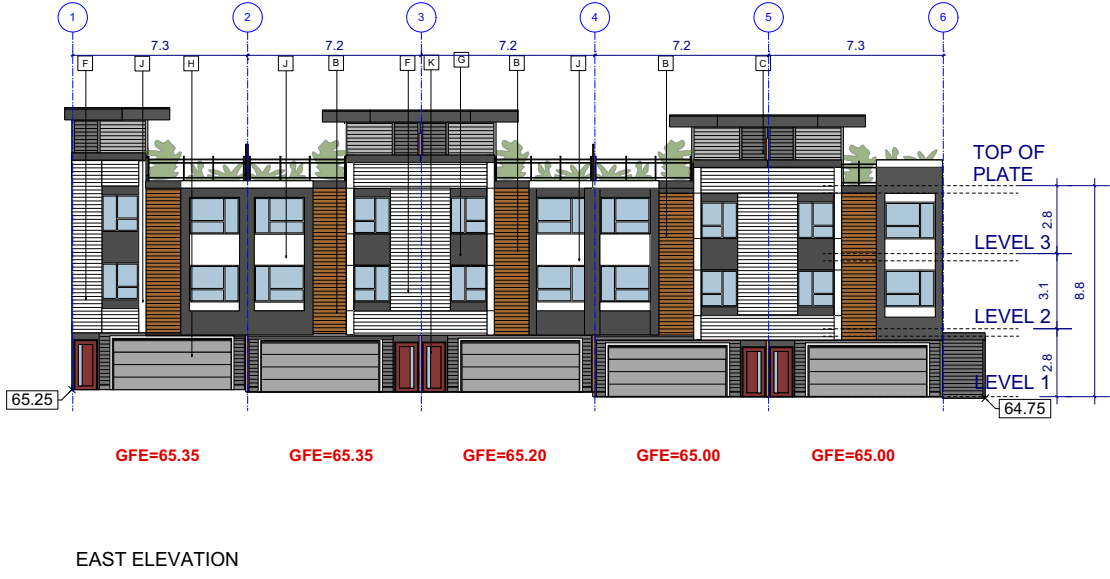
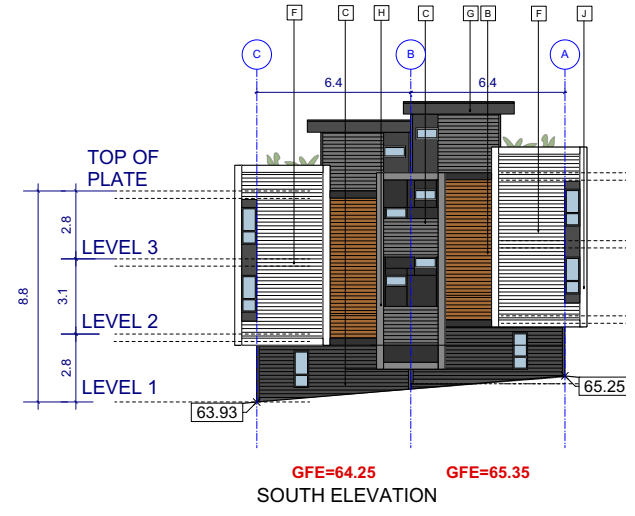
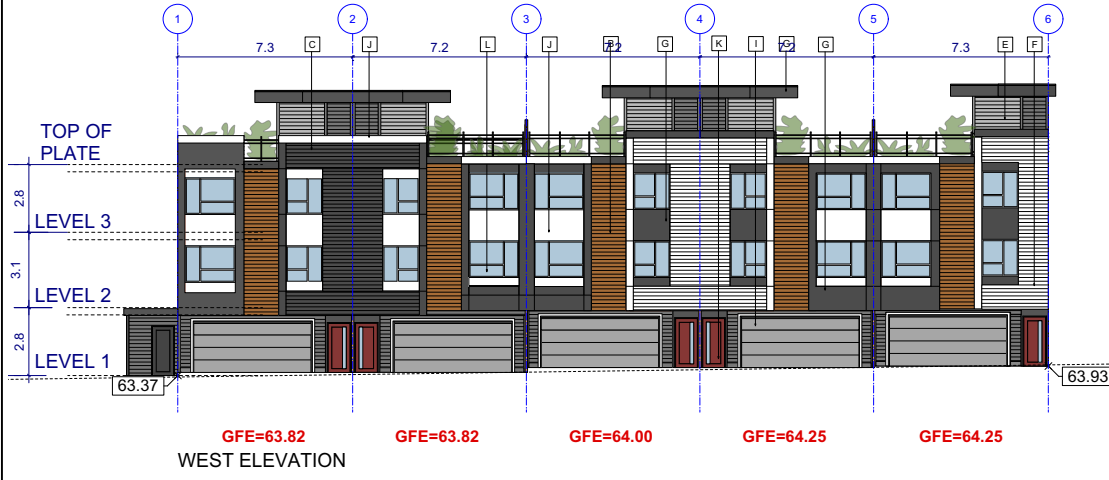
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 TEL: (604) 331 2378
 email: wg@warchitectureinc.com

Project Title:
 18702, 18726, 18738
 74 AVE, SURREY, BC
 SURREY, BC

Drawing Title:
BUILDING A5 ELEVATIONS

Date: -	Project Number: 1619
Scale: 1/8" = 1' - 0"	Sheet No.:
Drawn By:	DP305A
Approved By: WG	

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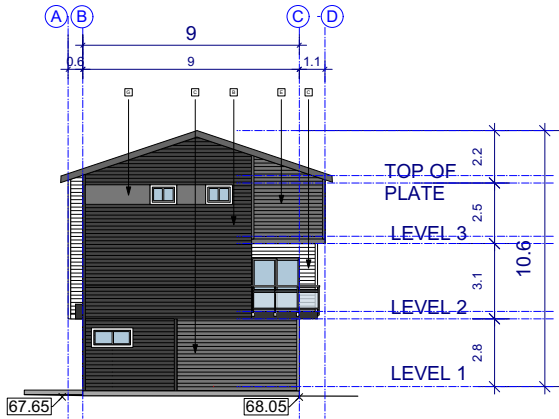
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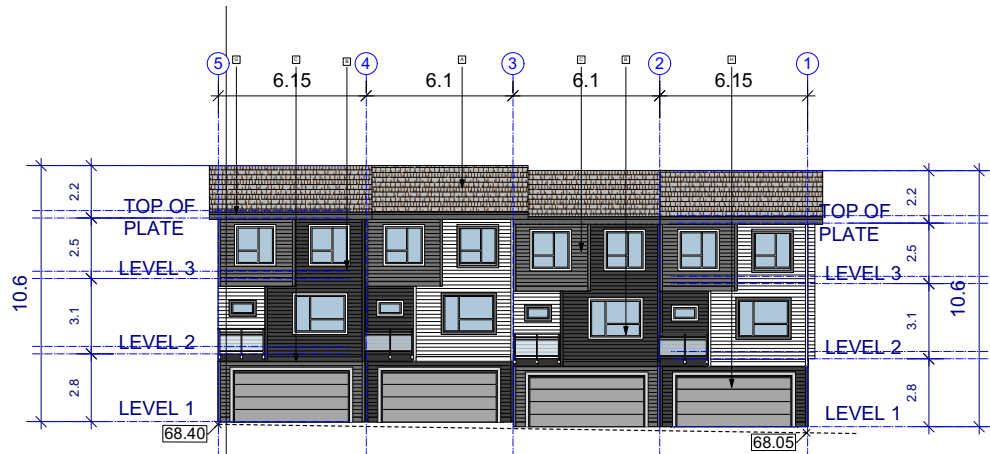
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 email: wg@wgarchitectureinc.com

Project Title:
 18702.18726.18738
 74 AVE, SURREY, BC
 SURREY, BC

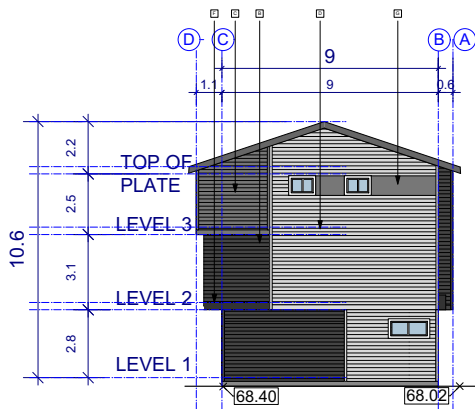
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Approved By:	WG



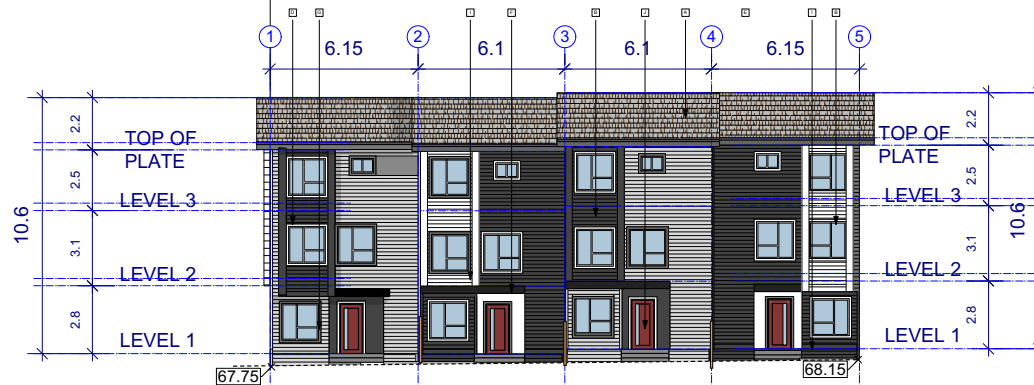
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

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 TEL: (604) 331 2378
 email: wg@wgarchitectureinc.com

Project Title:
 18702, 18726, 18738
 74 AVE, SUREY, BC
 SURREY, BC

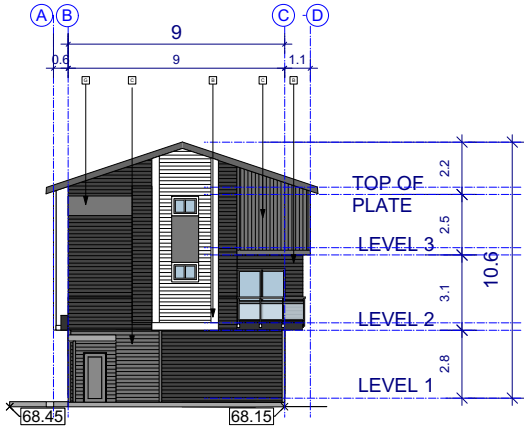
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BUILDING A11 ELEVATIONS

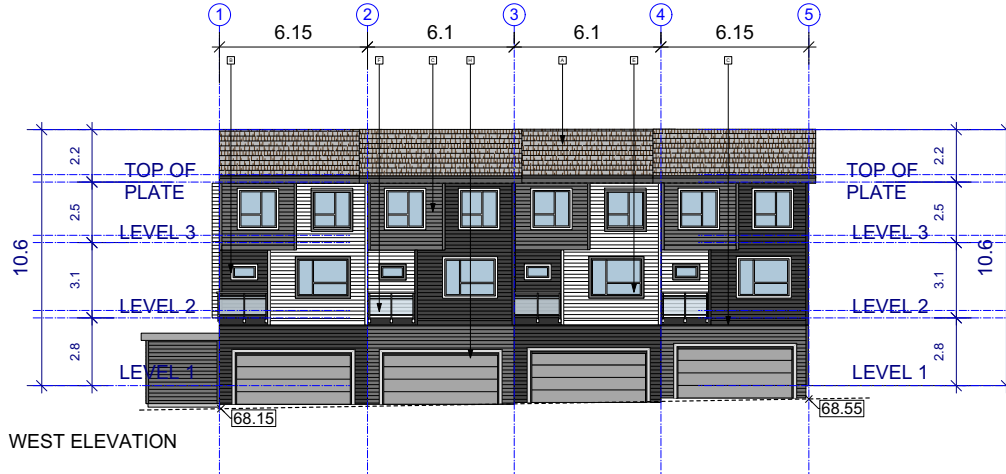
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-	1619
Scale:	Sheet No.:
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Drawn By:	DP311A
Approved By:	
WG	

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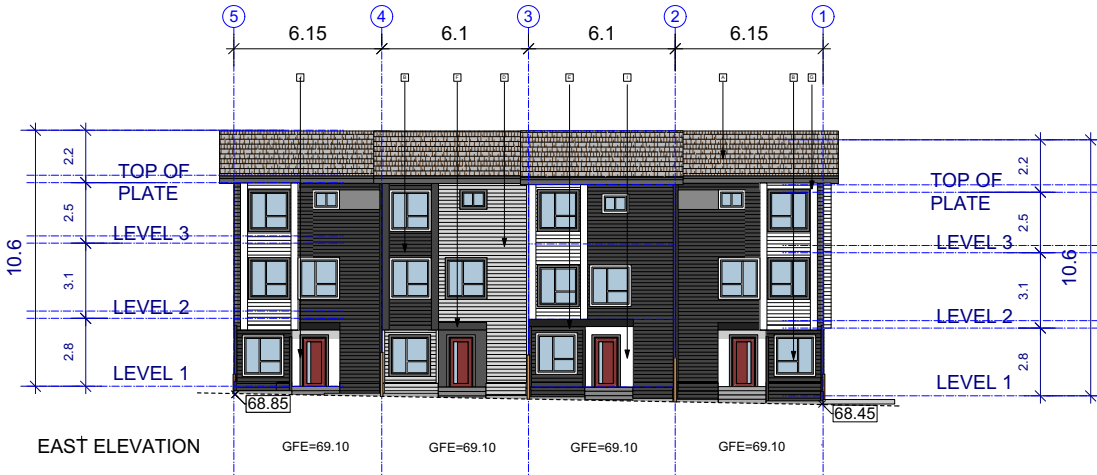
No.	Date	Revision Details



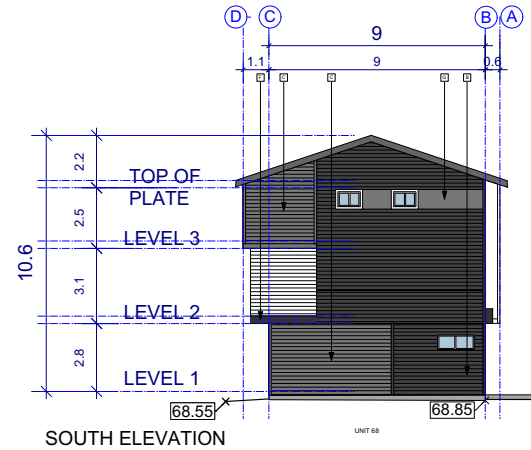
NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION



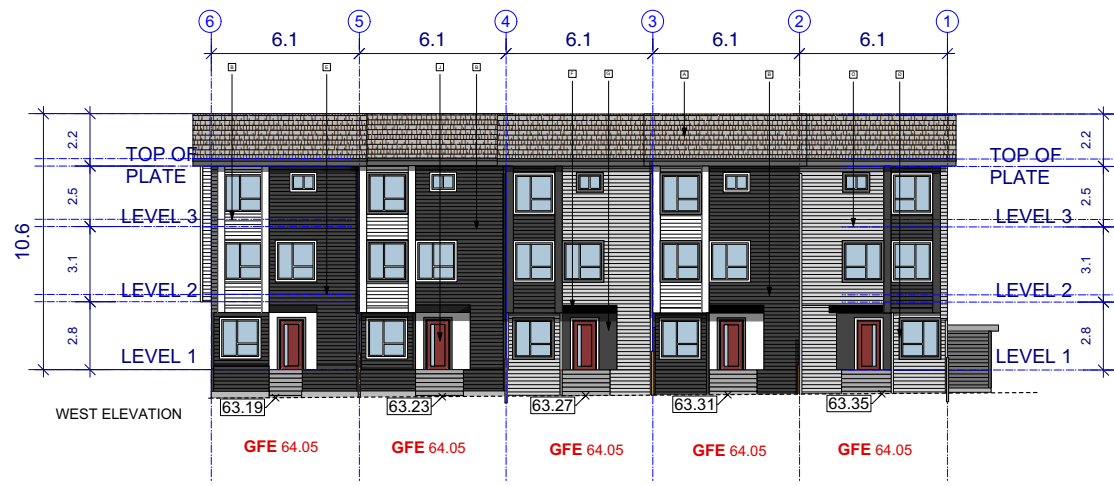
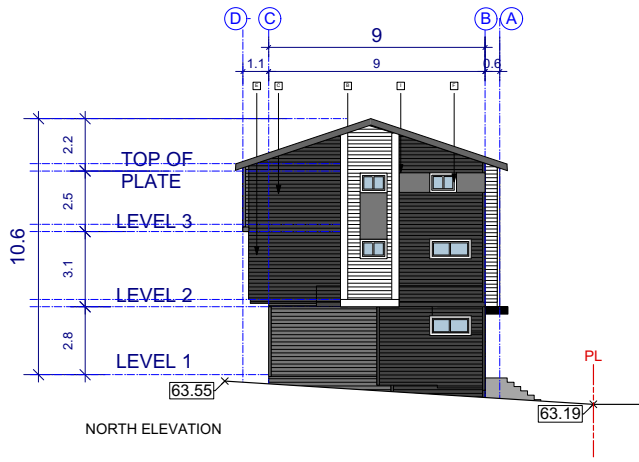
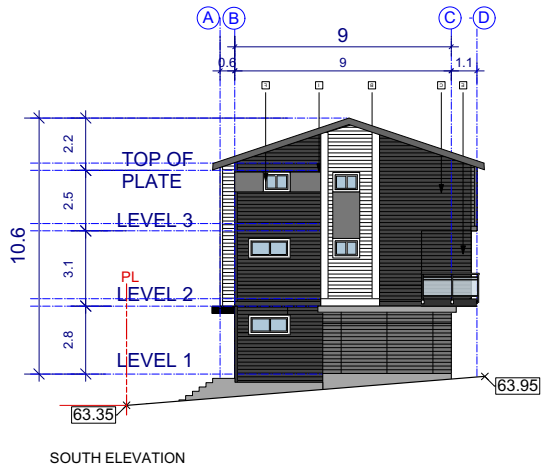
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 VANCOUVER, B.C. V6C 1V5
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 email: wg@wgarchitectureinc.com

Project Title:
 18702, 18726, 18738
 74 AVE, SUREY, BC
 SUREY, BC

Drawing Title:
BUILDING A12 ELEVATIONS

Date: -	Project Number: 1619
Scale: 1/8" = 1' - 0"	Sheet No.:
Drawn By:	DP312A
Approved By: WG	



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No.	Date:	Revision Details:



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 TEL.: (604) 331 2378
 email: wg@wgarchitectureinc.com

Project Title:
 18702, 18726, 18738
 74 AVE, SURREY, BC
 SURREY, BC

Drawing Title:
BUILDING B1 ELEVATIONS

Date:	Project Number:
-	1619
Scale:	Sheet No.:
1/8" = 1' - 0"	
Drawn By:	DP301B
Approved By:	
WG	

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No. Date: Revision Details:



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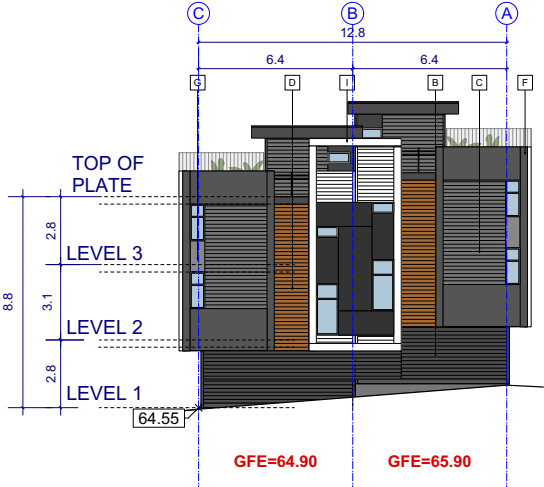
Project Title:
 18702, 18726, 18738
 74 AVE, SUREY, BC
 SURREY, BC

Drawing Title:
BUILDING B2 ELEVATIONS

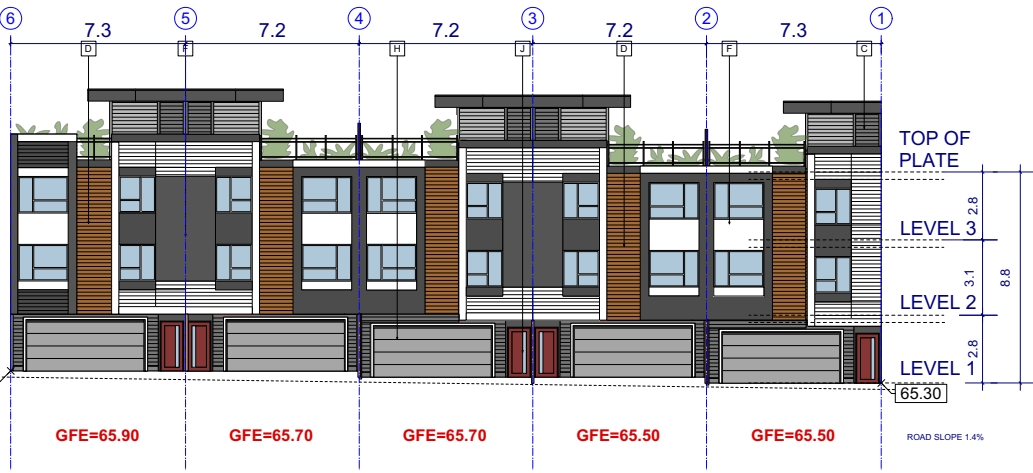
Date: December 2018	Project Number: 1619
Scale: 1/8" = 1' - 0"	Drawn By: DP302B
Drawn By:	Approved By: WG



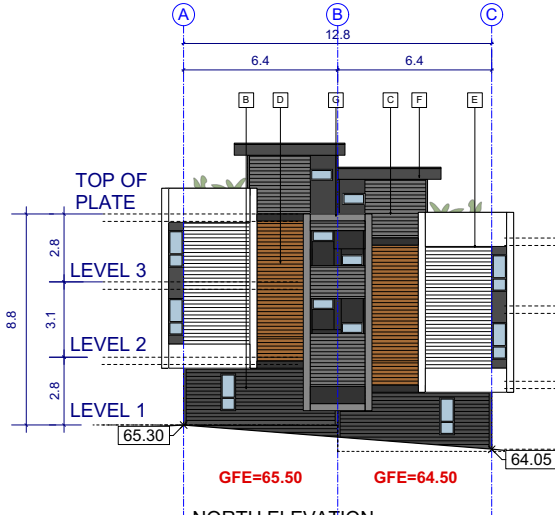
WEST ELEVATION



SOUTH ELEVATION

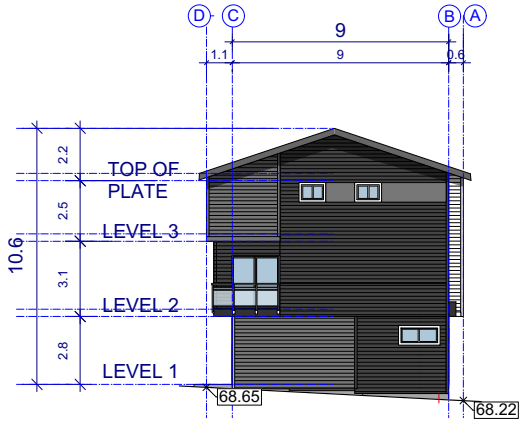


EAST ELEVATION

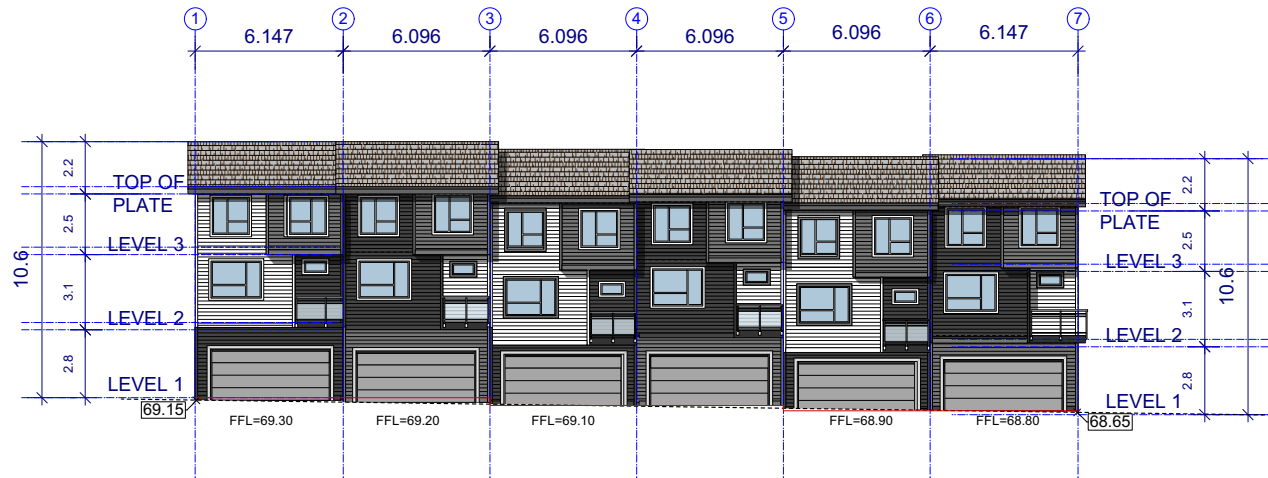


NORTH ELEVATION

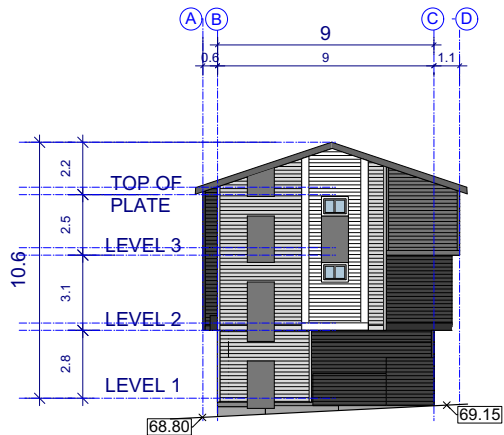
18702, 18726, 18738 74 AVE SURREY BC
 15 December 2018
 1/8" = 1' - 0"



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

NOTE:
FOR MATERIALS AND COLOUR
DESCRIPTIONS REF. TO DP301
ELEVATIONS BUILDING #1

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No. / Date: / Revision Details:

No.	Date	Revision Details



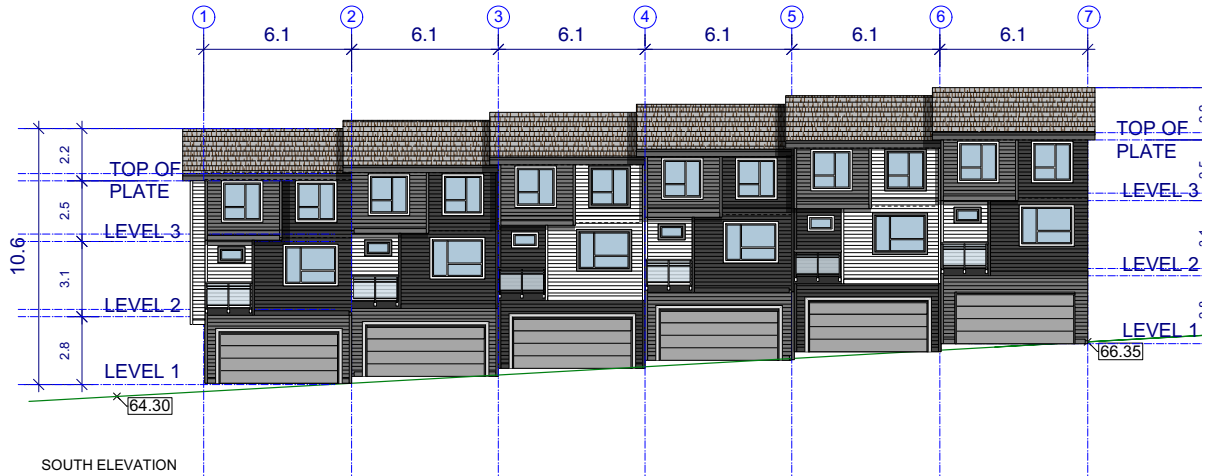
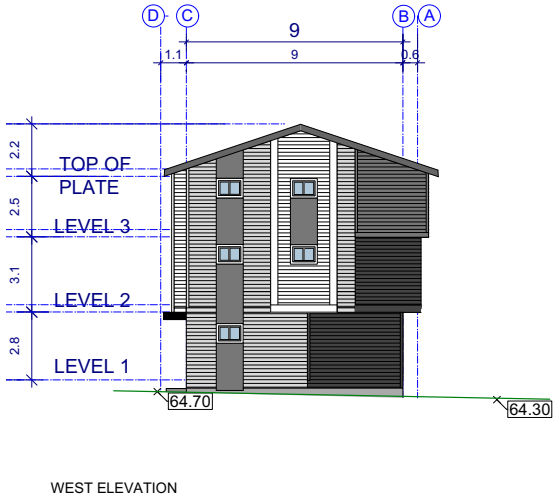
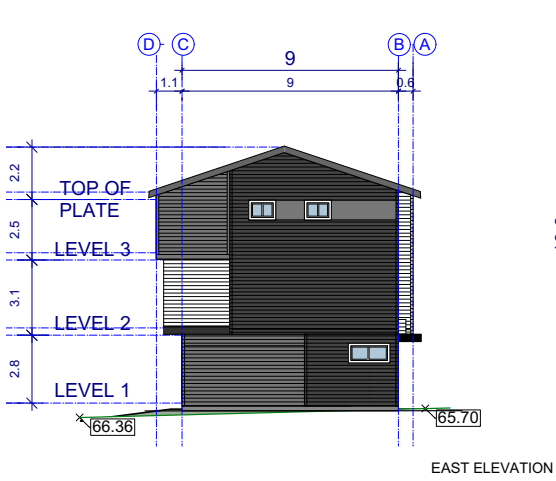
WG
ARCHITECTURE
INC

904 - 470 GRANVILLE STREET
VANCOUVER, B.C. V6C 1V5
TEL: (604) 331 2378
email: wg@wgarchitectureinc.com

Project Title:
18702, 18726, 18738
74 AVE, SURREY, BC
SURREY, BC

Drawing Title:
**BUILDING B6
ELEVATIONS**

Date:	Project Number:
-	1619
Scale:	Drawn:
1/8" = 1' - 0"	
Drawn By:	
Approved By:	DP306B
WG	



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No.	Date:	Revision Details:



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 904 - 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V5
 TEL: (604) 331 2378
 email: wg@wgarchitectureinc.com

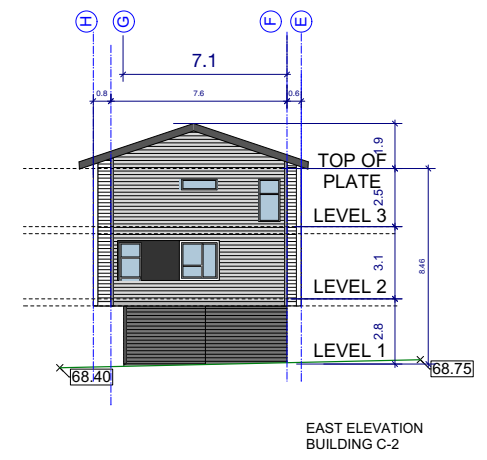
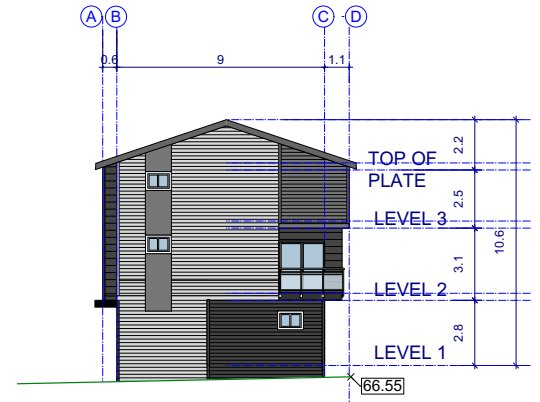
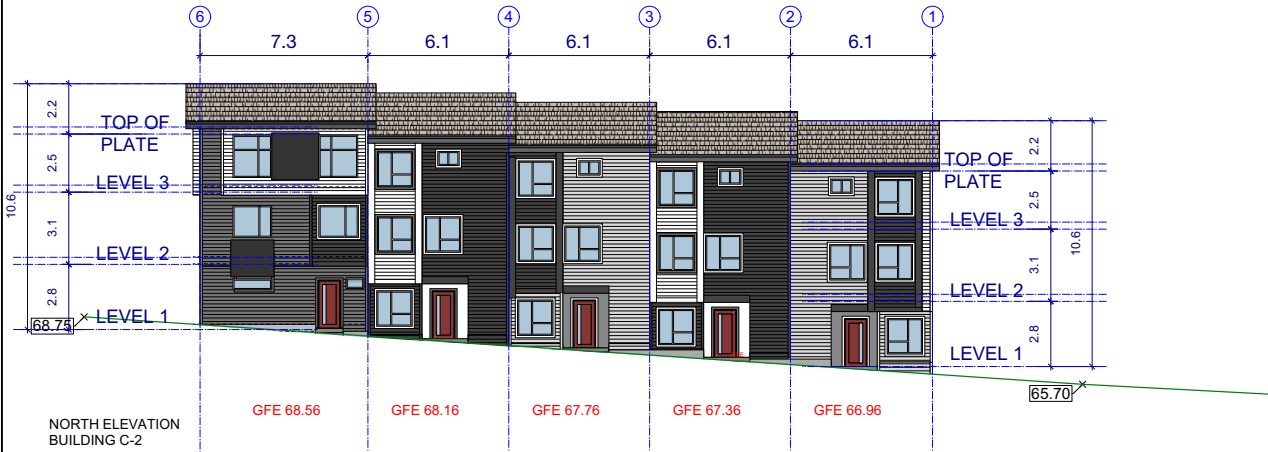
Project Title:
 18702, 18726, 18738
 74 AVE, SUREY, BC
 SURREY, BC

Drawing Title:
**BUILDING C1
 ELEVATIONS**

Date: -	Project Number:
Scale: 1/8" = 1' - 0"	Drawn:
Drawn By:	DP301C
Approved By: WG	

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No.	Date:	Revision Details:




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 904 - 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V5
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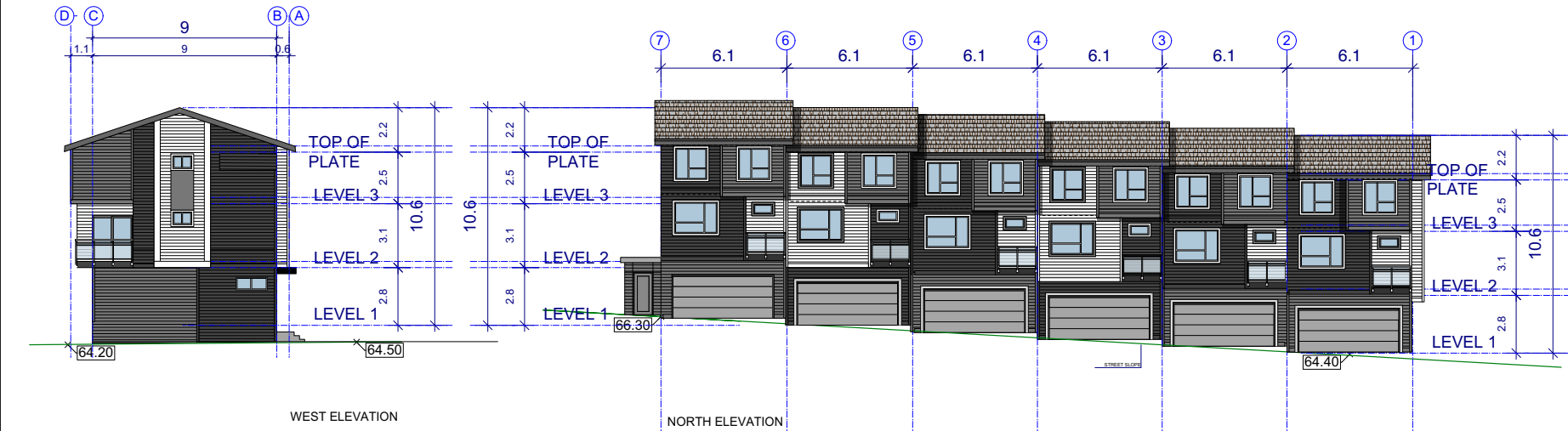
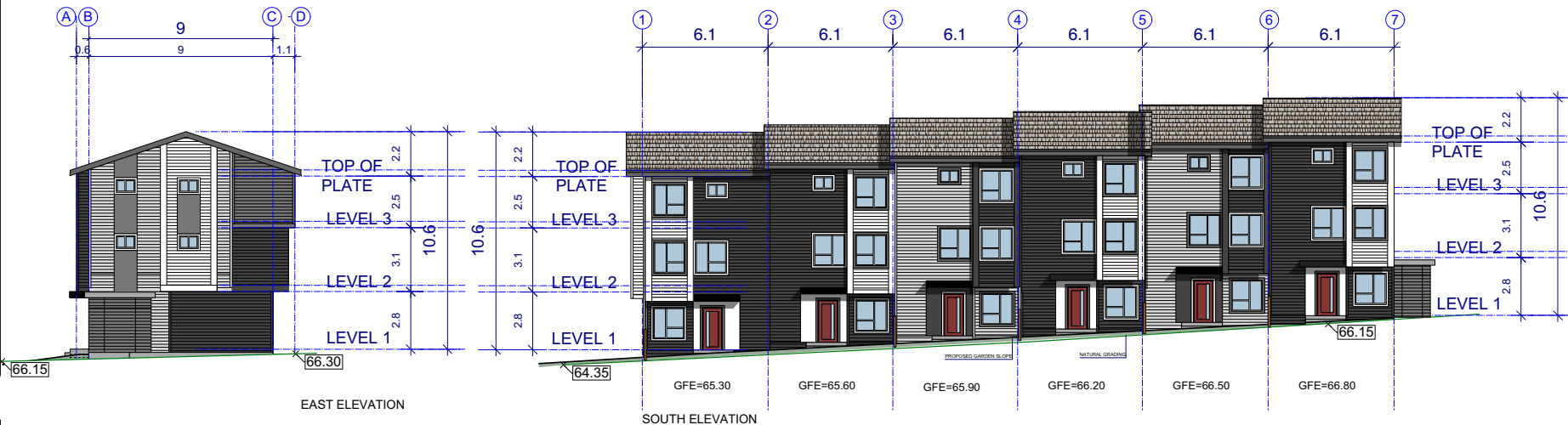
Project Title:
 18702, 18726, 18738
 74 AVE, SUREY, BC
 SURREY, BC

Drawing Title:
 BLDG C2
 ELEVATIONS

Date:	Project Number:
-	1619
Scale:	Drawn:
1/8" = 1' - 0"	
Drawn By:	DP302C
Approved By:	
WG	

File: 2016-03-01-18702-74 AVE SUREY BLDG C2.dwg P.L. 1/20/16

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No.	Date	Revision Details

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ARCHITECTURE
INC
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VANCOUVER, B.C. V6C 1V5
TEL: (604) 331 2378
email: wg@wgarchitectureinc.com

Project Title:
18702.18726.18738
74 AVE, SUREY, BC
SUREY, BC

Drawing Title:
BUILDING C3
ELEVATIONS

Date:	-	Project Number:	-
Scale:	1/8" = 1' - 0"	Drawn:	-
Drawn By:	-	Approved By:	DP303C
Approved By:	WG		

TOWNHOUSE PROJECT
 18702, 18726, 18738
 74th Avenue
 SURREY, B.C.

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No.	Date:	Revision Details:



A. "WEATHERED ROCK" BY BP
 -Roof Laminate Shingles, Harmony Series



B. "FIREWEED" SW6328 by Sherwin Williams
 - 6" Hardie planks, hardie board, painted



C. "ROCK BOTTOM" SW7062 by Sherwin Williams
 - 6" Hardie planks, hardie board, painted



D. "ZIRCON" SW7667 by Sherwin Williams
 - 6" Hardie planks, hardie board, painted



E. "HOMBOURG GRAY" SW7622 by Sherwin Williams
 - 3/4" Hardie planks, hardie board, painted



F. "SILVERPOINTE" SW7653 by Sherwin Williams
 - 3/4" Hardie planks, hardie board, painted



G. "IRON ORE" SW7069 by Sherwin Williams
 - Hardie board panels with aluminum trims, clips and reveal channels painted to match.



H. "ROCK BOTTOM" SW7062 by Sherwin Williams
 - Hardie board panels with aluminum trims, clips and reveal channels painted to match.



I. "ZIRCON" SW7667 by Sherwin Williams
 -Hardie board, panels with aluminum trims, clips and reveal channels painted to match. .



J. "SILVERPOINTE" SW7653 by Sherwin Williams
 -Hardie board panels with aluminum trims, clips and reveal channels painted to match
 Vinyl window frames painted



K. NATURAL RED CEDER
 - clear weather protection coating
 Doors



L. VINYL WINDOW
 - Double glazed window in vinyl frame



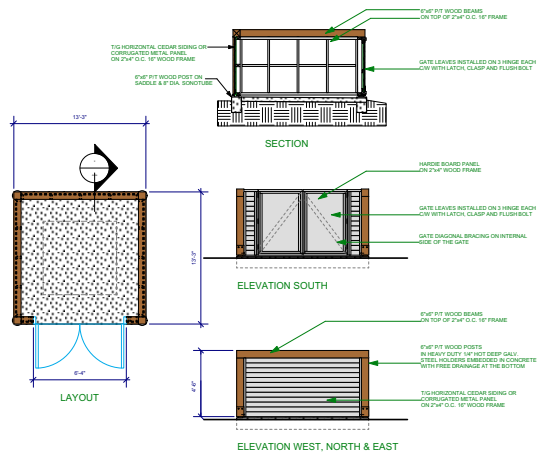
WG ARCHITECTURE INC
 904 - 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V5
 TEL: (604) 331 2378
 email: wg@wgarchitectureinc.com

Project Title:
 18702, 18726, 18738
 74 AVE, SUREY, BC
 SURREY, BC

Drawing Title:
 COLOR SHEET

<small>Date:</small> -	<small>Project Number:</small>
<small>Scale:</small> 1/8" = 1' - 0"	<small>Sheet:</small>
<small>Drawn By:</small>	DP500
<small>Approved By:</small> WG	

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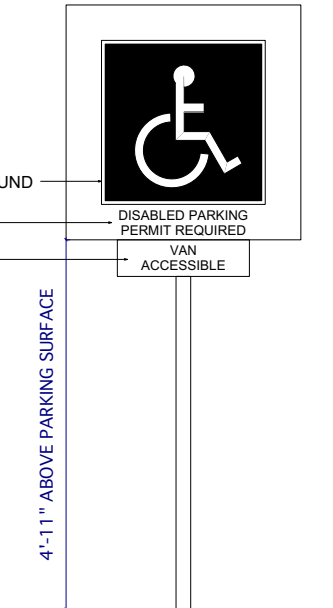


1 TRANSFORMER ENCLOSURE
 Scale: 1/4" = 1'-0"

WHITE INTERNATIONAL SYMBOL OF ACCESS ON BLUE BACKGROUND

REQUIRED TEXT

ADDED TEXT AT VAN SPACES



2 DISABLE PARKING SIGN
 Scale: 1/8" = 1'-0"

#	Date	Revision Notes

WG ARCHITECTURE INC
 904 - 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V5
 TEL: (604) 331 2378
 email: wg@wgarchitectureinc.com

Project Title:
 18702, 18726, 18738
 74th AVENUE
 SURREY, BC

Sheet Title:
 TRANSFORMER ENCLOSURE & DISABLE PERSON PARKING SIGN

Date: May 2018	Project Number: 1619
Scale: 1/32" = 1' - 0"	Sheet Number: DP800
Drawn By: NC	Approved By: WG
Approved By: WG	

PLANT LISTS - ALL LOTS			PMG PROJECT NUMBER: 16-078
KEY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
20	ACER CAMPESTRE 'QUEEN ELIZABETH'	HEDGE MAPLE	40M CAL, 1.8M STD, BAB
18	ACER DICHROMANDRUM 'PACIFIC PURPLE'	BROOKLYN VINE MAPLE	2.8M HT, BAB; 3' STEM CLUMP
16	ACER GRANULA FLAME	FLAME AMUR MAPLE	5.00M CAL, 1.8M STD, BAB
14	CERCIS CANADENSIS 'FOREST PANDY'	FOREST PANDY REDBUD	50M CAL, 1.5M STD, BAB
12	LOQUONMARI STYRACIUM 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEETGUM	50M CAL, 2M STD, BAB
10	MAGNOLIA KORBUS 'STELLATA ROYAL STAR'	ROYAL STAR MAGNOLIA (WHITE)	50M CAL, 1.5M STD, BAB
8	PARROTIA PERSICA 'RUBY VASE'	RUBY VASE PERSIAN IRONWOOD	50M CAL, 1.5M STD, BAB
6	PICEA OMORICA 'BRUNO'	BRUNO'S SCISSON SPRUCE	3.8M HT, BAB
4	QUERCUS FALCATUS 'GREEN PILLAR'	GREEN PILLAR PIN OAK	60M CAL, 1.8M STD, BAB
2	STYXIA JAPONICA 'SNOWCONE'	SNOWCONE JAPANESE SNOWBELL	50M CAL, 1.5M STD, BAB
SHED	BERBERIS THUNBERGII 'ROYAL BURGLUNDY'	ROYAL BURGLUNDY BARBERRY	#2 POT, 30CM
	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE LEAF BOX	#3 POT, 40CM
	CEANOBIUS 'HYBRIDUS' VICTORIA'	CALIFORNIA ULAC	#3 POT, 50CM
	HYDRANGEA PANICULATA 'LIME LIGHT'	LIME LIGHT HYDRANGEA, LIMEGREEN-PINK	#2 POT, 50CM
	KALMA LATTOLJA	MOUNTAIN LAUREL	#3 POT, 50CM
	LONGICERA 'NITIDA MAYGROVEN'	SOULSPARK KNOXVILLENKLE	#2 POT, 30CM
	MAHONIA 'MEDIA CHARITY'	CHARITY MAHONIA	#3 POT, 50CM
	GOMPHALIS 'DELAVALI'	FILED HOLLY	#3 POT, 50CM
	BOEMIA 'ARBEUS' RUBELLA'	RUBELLA SKIMMIA	#2 POT, 30CM
	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	1.8M HT, BAB
GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT
	CAREX 'SEALBEMANN'	SEALBEMANN SEDGE	#1 POT
	HAKONECHOLODA MAJORA 'ALL GOLD'	GOLDEN JAPANESE FOREST GRASS	#1 POT
	HELICTOTRICHON 'SEMPERVIRENS'	BLUE CAT GRASS	#1 POT
	MISCANTHUS 'SINENSIS' 'PURPURESCENS'	FLAME GRASS	#1 POT
	PENNSTETUM ALOPECUROIDES 'HAEMELI'	DWARF FOUNTAIN GRASS	#1 POT
VINE	PARTHENOCISSUS 'TRICUSPIDATA 'VEITCHI'	BOSTON IVY	#3 POT, 75CM, STAKED
PERENNIAL	HOSTA 'BLUE MAMMOTH'	HOSTA, LARGE, BLUE	#2 POT, 1-2 EYE
GC	ASPLENIUM 'SCOLOPENDRIUM'	HART'S TONGUE FERN	#1 POT, 30CM
	POLYSTICHUM 'MUNITUM'	WESTERN SWORD FERN	#1 POT, 20CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL, AND NORMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

REPLACEMENT SIZED TREES PROPOSED: 221

Site Furnishing Legend

Symbol	Model
	1x WISHBONE INDUSTRIES BESELT PARK BENCH B-6; BLACK PONDEROCA 4
	2x WISHBONE INDUSTRIES LOOP 2 BNE RACK, BLACK PONDEROCA. USE TAMPERPROOF HARDWARE 1.8RCP-1
	1x SUNBURY CEDAR POTTING TABLE CONTACT: (604) 585-1900
	COMMUNITY GARDEN RAISED PLANTER BOX, REFER TO LANDSCAPE DETAILS SHEET
	1x KOMPAN ROBINIA PARKOUR 2 (NOROS) 100" NATURAL FINISH
	1x KOMPAN ROBINIA WATERLILY BALANCE FOOTSTOOL WITH ROSE (NOROS) 800" NATURAL FINISH
	2x KOMPAN DAISY DECK WITH CLOVER PATCH (NOROS) 140" x 140" WITH THREE SEATS, IN-GROUND MOUNT
	HYDRAPRESSED SLABS, ABBOTSFORD CONCRETE TEXADA 2'X2' NATURAL CONCRETE COLOUR, ROUND ROCK 1/2 CLEAR IN 2" GROUT, TYP
	HYDRAPRESSED SLABS, ABBOTSFORD CONCRETE TEXADA 2'X2' NATURAL CONCRETE COLOUR, DARK HATCH + BROWN COLOUR, LIGHT HATCH + TAN COLOUR
	ROUND CONCRETE STEPPING STONES, 12" DIA, 1 1/2" THICK, 12" DIA

Lighting Legend

Symbol	Model
	LEADING BOLLARD, SPECIFICATION BY ELECTRICAL CONSULTANT
	PEDESTRIAN LIGHTING, ON 12" STANDARD, SPECIFICATION BY ELECTRICAL CONSULTANT
	REMOVABLE BOLLARD, SPECIFICATION BY ARCHITECT OR CIVIL CONSULTANT

Materials Legend

Symbol	Model
	ABBOTSFORD CONCRETE PRODUCTS, ADHAPATIVE PERMEABLE PAVERS, 8.0CM DEPTH VEHICLE DUTY, COLOUR: SAND BROWN, HERRINGBONE PATTERN, INSTALL PER MANUFACTURERS DETAIL
	ABBOTSFORD CONCRETE PRODUCTS, ADHAPATIVE VENETIAN PAVERS, 6.0CM DEPTH PEDESTRIAN DUTY, COLOUR: SAND/WOOD BLEND, KESLER PATTERN, INSTALL PER MANUFACTURERS DETAIL
	ENGINEERED WOOD FIBRE PLAY SURFACING (FIBAR OR APPROVED EQUIVALENT), 4" DEPTH, INSTALL PER MANUFACTURER'S SPECIFICATION
	COMPOSTED BARK MULCH, 3" DEPTH, AT BASE OF RETAINED TREES, TO CONSERVE MOISTURE, AND SUPPRESS WEEDS. ALSO COMMUNITY GARDEN SURFACING.
	ABBOTSFORD CONCRETE PACIFIC BLAZE PAVERS, STANDARD SIZE, GRANITE COLOUR, OFFSET RUNNING BOND PATTERN
	HYDRAPRESSED SLABS, ABBOTSFORD CONCRETE TEXADA 2'X2' NATURAL CONCRETE COLOUR
	GRAVEL PATH WITH WOOD EDGE RESTRAINTS
	BROWN FINISHED CONCRETE WALK, REFER TO CIVIL DETAIL FOR MORE INFORMATION



SUNBURY CEDAR POTTING TABLE



CEARSHED INDUSTRIES, B61 BAYSIDE SHED, EXT. 1, PLACE ON CONCRETE PAD FOUNDATION



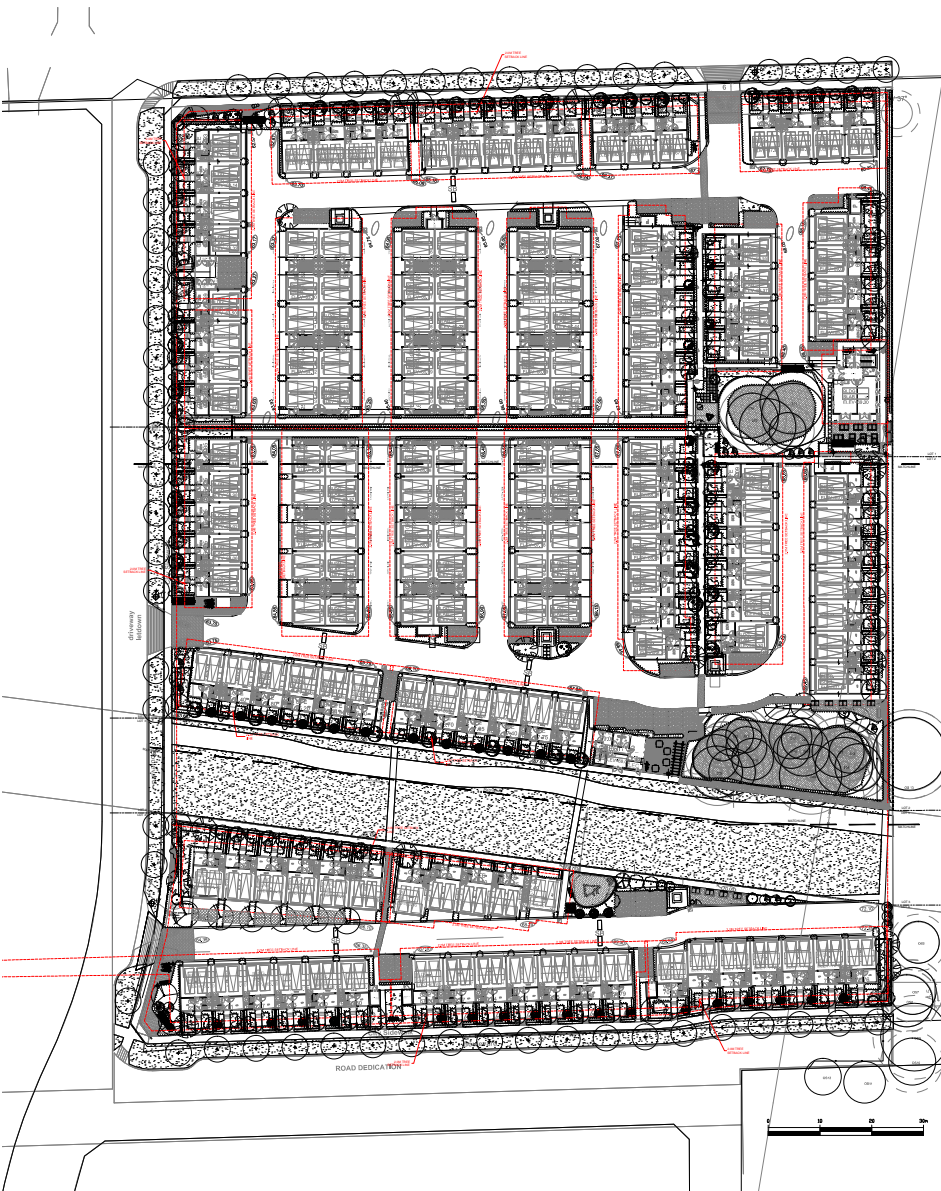
KOMPAN DAISY DECK WITH CLOVER PATCH (NOROS) 140" x 140"



WISHBONE INDUSTRIES BESELT PARK BENCH B-6; BLACK PONDEROCA 4 & REDWOOD COLOURED BLATS



WISHBONE INDUSTRIES LOOP 2 BNE RACK, BLACK PONDEROCA; USE TAMPERPROOF HARDWARE 1.8RCP-1



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SCALE:



NO.	DATE	REVISION DESCRIPTION	DR.
10	18-05-03	ISSUED FOR NEW SET PLAN / PROPOSED	CLG
9	18-05-03	ISSUED FOR NEW SET PLAN / PROPOSED	CLG
8	18-05-03	ISSUED FOR NEW SET PLAN / PROPOSED	CLG
7	18-05-03	ISSUED FOR NEW SET PLAN / PROPOSED	CLG
6	18-05-03	ISSUED FOR SUBMISSION	CLG
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4	18-05-03	ISSUED FOR NEW SET PLAN	CLG
3	18-05-03	ISSUED FOR SUBMISSION	CLG
2	18-05-03	ISSUED FOR NEW SET PLAN	CLG
1	18-05-03	NEW CONCEPT	CLG

CLIENT:

PROJECT:
TOWNHOUSE DEVELOPMENT
 18702, 18726, 18738-74TH AVE
 SURREY

DRAWING TITLE:
LANDSCAPE PLAN

DATE: 18 MAY 03
 SCALE: 1:400
 DRAWN: CLG
 DESIGN: CLG
 CHKD: PCM
 DRAWING NUMBER:
L1
 OF 6

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Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p. 604-294-0111 f. 604-294-0122

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
10	18.03.17	ISSUED FOR NEW SET PLAN / FINISHES	CLG
9	18.03.16	ISSUED FOR NEW SET PLAN / FINISHES	CLG
8	18.03.15	ISSUED FOR NEW SET PLAN AND HOIST	CLG
7	18.03.15	ISSUED FOR NEW HOIST	CLG
6	18.03.15	ISSUED FOR SUBMISSION	CLG
5	18.03.15	PROPOSED HOIST	CLG
4	18.03.15	ISSUED FOR NEW SET PLAN	CLG
3	18.03.15	ISSUED FOR SUBMISSION	CLG
2	18.03.15	ISSUED FOR NEW SET PLAN	CLG
1	18.03.15	NEW CONCEPT	CLG

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

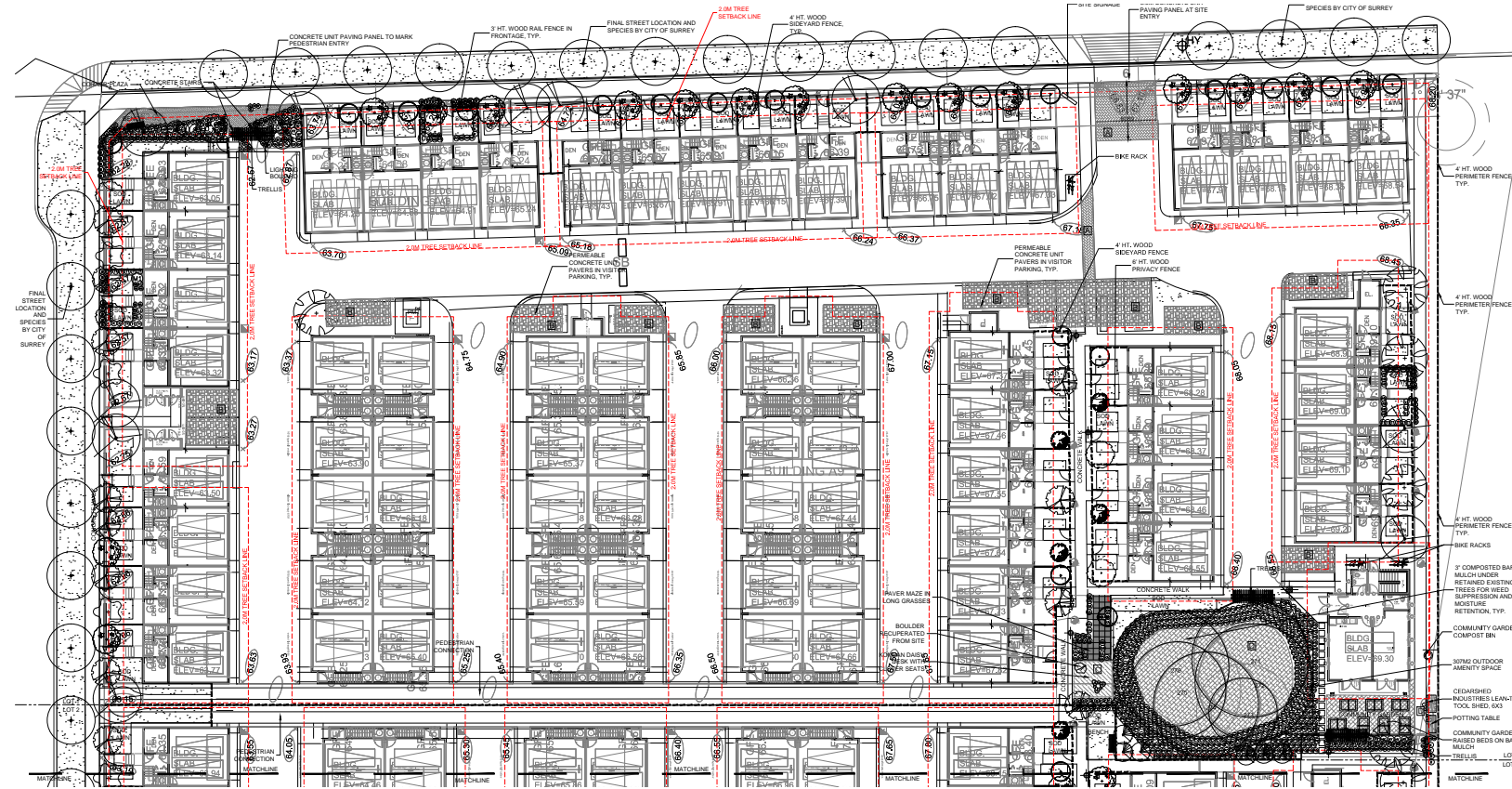
PROJECT:
TOWNHOUSE DEVELOPMENT
18702, 18726, 18738-74TH AVE
SURREY

DRAWING TITLE:
LANDSCAPE PLAN LOT 1

DATE: 18.MAY.20
SCALE: 1:300
DRAWN: CLG
DESIGN: CLG
CHKD: PCM
OF 6

16078-8.2JP

PMG PROJECT NUMBER: 16-078



Site Furnishing Legend

Symbol	Model
	1x WISHBONE INDUSTRIES BESELY PARK BENCH 8'-6" BLACK POWDERCOAT & REDWOOD COLOURED SLATS
	5x WISHBONE INDUSTRIES LOOP 2 BIKE RACK, BLACK POWDERCOAT, USE TAMPER-PROOF HARDWARE L8R8P-1
	1x SUNBURY CEDAR POTTING TABLE CONTACT: (604) 589-1900
	COMMUNITY GARDEN RAISED PLANTER BOX, REFER TO LANDSCAPE DETAILS SHEET
	1x KOMPAN ROBINA PARKOUR 2 NORDIS-1001 NATURAL FINISH
	1x KOMPAN ROBINA WATERLILY BALANCE POSTS WITH ROPE NORDIS-1007, NATURAL FINISH

Materials Legend

Symbol	Model
	2x KOMPAN DASHY DECK WITH COVER PATCH NORDIS 3418P, WITH THREE SEATS, IN-GROUND MOUNT
	HYDRAPRESSED SLABS, ABBOTSFORD CONCRETE TEXADA 2'X2' NATURAL CONCRETE COLOUR, ROUND HATCH 1/2" CLEAR IN 2" JOINTS, TYP.
	HYDRAPRESSED SLABS, ABBOTSFORD CONCRETE TEXADA 2'X2' NATURAL CONCRETE COLOUR, DARK HATCH + SKINCH COLOUR, LIGHT HATCH + TAN COLOUR
	ROUND CONCRETE STEPPING STONES, SMOOTH FINISH, 12" DIAMETER

Materials Legend

Symbol	Model
	ABBOTSFORD CONCRETE PRODUCTS, AQUAFLAKE PERMEABLE PAVERS, 8.0CM DEPTH VEHICLE DUTY, COLOUR: SAND BROWN, HERRINGBONE PATTERN, INSTALL PER MANUFACTURERS DETAIL.
	ABBOTSFORD CONCRETE PRODUCTS, AQUAFLAKE VENETIAN PAVERS, 8.0CM DEPTH PEDESTRIAN DUTY, COLOUR: SAND/WOOD BLEND, ASHLAR PATTERN, INSTALL PER MANUFACTURERS DETAIL.
	ENGINEERED WOOD FIBRE PLAY SURFACING (FIBAR OR APPROVED EQUIVALENT) 4" DEPTH, INSTALL PER MANUFACTURER'S SPECIFICATION
	COMPOSTED BARK MULCH, 3" DEPTH AT BASE OF RETAINED TREES, TO CONSERVE MOISTURE, AND SUPPRESS WEEDS. ALSO COMMUNITY GARDEN SURFACING.
	ABBOTSFORD CONCRETE PACIFIC SLATE PAVERS, STANDARD SIZE, GRANITE COLOUR, OFFSET RUNNING BOND PATTERN.
	HYDRAPRESSED SLABS, ABBOTSFORD CONCRETE TEXADA 2'X2' NATURAL CONCRETE COLOUR.
	GRAVEL PATH WITH WOOD EDGE RESTRAINTS

PLANT SCHEDULE - LOT 1

PLANT	SCIENTIFIC NAME	COMMON NAME	PLANTED SIZE / FINISHES	
TREES	ACER CAMPESTRIS QUEEN ELIZABETH	REDGE MAPLE	6CM CAL, 1.8CM STD, BAB	
	ACER GRANULOSA PLUM	BURNSIDE MAPLE	2.5M HT, BAB, 3.0M STD, CLUMP	
	ACER SERRULATA	FLAME MAPLE	5.0CM CAL, 1.8M STD, BAB	
	ACER SERRULATA 'NORWAY'	FOREST MAPLE	5.0CM CAL, 1.8M STD, BAB	
	LIQUIDAMBAR STYRACIFLUA SLENDER SILKPOPPLE	AMERICAN SILKPOPPLE	6CM CAL, 1.8M STD, BAB	
	FRAXINUS EUROPAEA	FRAXINUS	6CM CAL, 1.8M STD, BAB	
	PARROTIA PERUSA RUBY VASE	RUBY VASE PARSON IRONWOOD	6CM CAL, 1.8M STD, BAB	
	PRUNUS SPINOSA	BRINE SPINEA SPINOSA	6CM CAL, 1.8M STD, BAB	
	STYRAX JAPONICA SNOOWHITE	SNOOWHITE JAPANESE SNOWBELL	6CM CAL, 1.8M STD, BAB	
	SHRUBS	BESSEBES THABERINGS ROYAL BURGUNDY	ROYAL BURGUNDY BARBERSRY	42 POT, 30CM
		BULGUS MICROPHYLLA WINTER GEM	LITTLE LEAF BOX	42 POT, 30CM
		CELANOCHUS TRIPLOLOBIUS VICTORIA	CALIFORNIA LILAC	42 POT, 30CM
		HYDRANGEA PANDICULATA LIMELIGHT	LIMELIGHT HYDRANGEA LIME-GREEN-PINK	42 POT, 30CM
		KALAMIA LATIFOLIA	MOULDER LILAC	42 POT, 30CM
		LOMONDA NEREA WANGERING	BOULEYF HOME TULOCK	42 POT, 30CM
MARSHALIA MICHXANTHUS		CHERRY MARSHALIA	42 POT, 30CM	
OSMANTHUS DELAVAYI		FALSE HOLLY	42 POT, 30CM	
SHIBUBA JAPONICA RUBELLA		RUBELLA SHIBUBA	42 POT, 30CM	
THALIA OCCIDENTALIS 'SUNRAGD'		EMERALD GREEN CEDAR	1.8M HT, BAB	
PERENNIALS		CALAMAGROSTIS ACUTYPLOXA VAR. FORTSTER	FEATHER REED GRASS	41 POT, 30CM
		CAREX BEATISSIMA	BEATISSIMA SEDGE	41 POT, 30CM
		HONONCHLOA MACRA 'ALL GOLD'	GOLDEN JAPANESE FOREST GRASS	41 POT, 30CM
		HELICTESCHONIA DEURFLAVENSIS	BLUE OAT GRASS	41 POT, 30CM
		PENSTEMON AGLOMERATUS HAMILTON	DIARY FOUNTAIN GRASS	41 POT, 30CM
	HOSTA LARGE BLUE	HOSTA LARGE BLUE	42 POT, 12 EYE	
	HOSTA TONGUE BLUE	HOSTA TONGUE BLUE	41 POT, 30CM	
	WISTERIA BRIDGE PINK	WISTERIA BRIDGE PINK	41 POT, 30CM	

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. CONTAINER SIZES SPECIFIED ARE THE MINIMUM ALLOWABLE SIZES. REFER TO SPECIFICATIONS FOR MORE INFORMATION ON PLANT MATERIAL REQUIREMENTS. ** SEARCH AND REVIEW WAYS PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND NEAR VICTORIA. SUBSTITUTIONS MUST BE WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT AT SOURCE TO MAKE ANY SUBSTITUTIONS. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS SUBJECT TO LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY: ** ALL LANDSCAPE MATERIALS AND INFORMATION MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ** ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. ** PROLOGUE NOT PERMITTED IN GROUNDING MEDIA UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



**TO: Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: Development Engineer, Engineering Department

DATE: Nov 28, 2018 **PROJECT FILE: 7816-0221-00**

**RE: Engineering Requirements
Location: 18702, 18726, 18738 74 Avenue**

NCP AMENDMENT

There are no engineering requirements relative to the NCP Amendment beyond those noted below.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- dedicate 1.942-metres along 74 Avenue for the 24-metre collector road.
- dedicate 11.5-metre along 73 Avenue (20.0-metre local road) and 187 Street (13.5-metre unique local road).
- dedicate 3.0-metre x 3.0-metre corner cuts at the intersections of 187 Street with 73 Avenue and 74 Avenue.
- register 0.5-metre statutory right-of-way along all road frontages.

Works and Services

- construct 74 Avenue to the collector road standard.
- construct storm, water, and sanitary mains and service connections to service the development as per the NCP.
- implement Best Management Practices to manage storm water as per the West Clayton NCP Stage 2 Servicing Strategy and the Clayton Integrated Stormwater Management Plan.
- construct downstream offsite sanitary mains (North Cloverdale Trunk Sewer) as per the NCP.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT AND DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit and Development Variance Permit beyond the requirements noted above.



Tommy Buchmann, P.Eng.
Acting Development Services Manager

SK2



Planning May 18, 2018

THE IMPACT ON SCHOOLS

APPLICATION #: 16 0221 00

School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Katzie Elementary was opened in the spring of 2014 to relieve pressure at the existing Clayton Elementary. The Clayton area is one of the fastest growing communities because of the build out of the East Clayton NCP and development of the Aloha Estates. As of September 2017, the school has 12 portables on site used for enrolling spaces. Hazelgrove Elementary was built in 2009, and in 2011, a 4 classroom addition was added. As of September 2017, Hazelgrove has 10 portables on site used for enrolling spaces. Currently, there is a 606 elementary seat shortfall in the Clayton area and this is projected to grow to over 800 seats if no new seats are added in the next 5 years.

To meet the increasing demand for enrolling space in this area, the district is currently in design and construction for two new 605 capacity elementary schools just to the north of Katzie Elementary. Both facilities are targeting to be open September 2020 which will relieve the immediate in-catchment enrollment pressure.

As part of the District's 2018/19 Capital Plan submission to the Ministry of Education, the district is asking for a site expansion along with a 445 capacity addition to the existing Clayton Elementary targeted to open September 2024 to meet future growth in the community. This project has yet to be approved for capital funding.

A new 1500 capacity high school, Ecole Salish Secondary, is scheduled to open September 2018. The new boundaries has been established dividing the existing Clayton Heights Secondary into two catchments. Clayton Elementary will feed the new Salish Secondary when it opens in September 2018.

SUMMARY

The proposed 167 townhouse units are estimated to have the following schools:

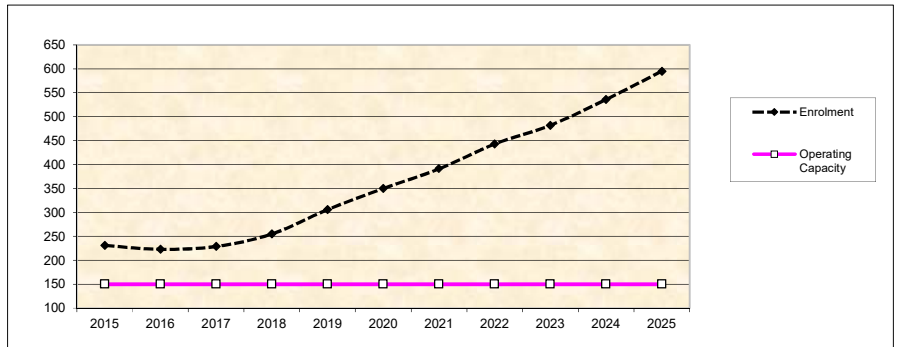
Projected # of students for this development:

Elementary Students:	42
Secondary Students:	22

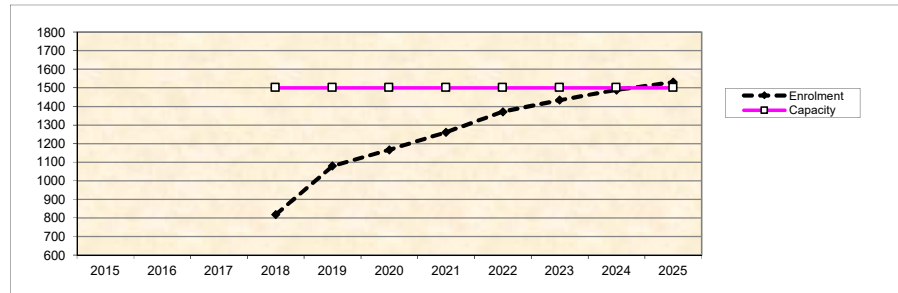
September 2017 Enrolment/School Capacity

Clayton Elementary	
Enrolment (K/1-7):	36 K + 193
Operating Capacity (K/1-7)	57 K + 93
Salish Secondary	
Enrolment (8-12):	#N/A
Capacity (8-12):	#N/A

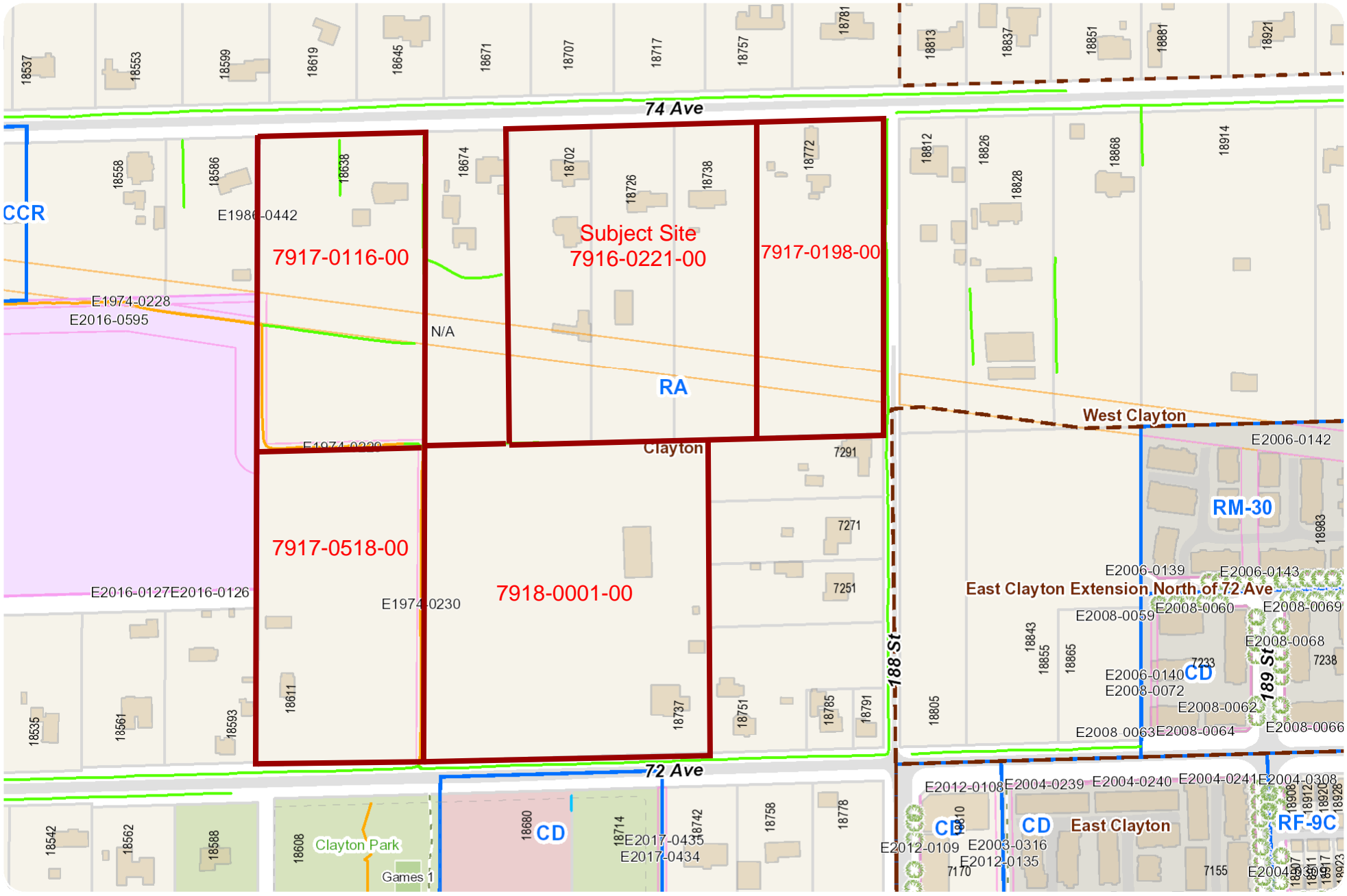
Clayton Elementary



Salish Secondary

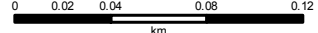


* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students. Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.



Scale: 1:3,145

The data provided is compiled from various sources and is NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, legal descriptions and encumbrances must be confirmed at the Land Title Office. Use and distribution of this map is subject to all copyright and disclaimer notices at cosmos.surrey.ca



Tree Preservation Summary

Surrey Project No: 16-0221-00


Address: 18702 / 726 / 738 - 74 Avenue, Surrey, BC

Registered Arborist: Vanessa Melney and Peter Mennel

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	180
Protected Trees to be Removed	157
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	23
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 56 X one (1) = <u>56</u> - All other Trees Requiring 2 to 1 Replacement Ratio 101 X two (2) = <u>202</u>	258
Replacement Trees Proposed	253 HC
Replacement Trees in Deficit	5 HC
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	5
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 5 X two (2) = 10	10
Replacement Trees Proposed	NA
Replacement Trees in Deficit	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist: 	Date: December 6, 2018
--	------------------------



MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS

#105, 8277 129 St.
Surrey, British Columbia
V3W 0A6
Ph: (778) 593-0300
Fax: (778) 593-0302
Email: mfadum@fadum.ca

CLIENT

FILE NO.

PROJECT TITLE
TREE PRESERVATION AND PROTECTION PLAN

18702 18726 18738
74 AVENUE
SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	OCT05/16	SL	NEW SITE PLAN
2	JAN30/17	MK	NEW SITE PLAN
3	MAY09/18	MK	NEW SITE PLAN
4	MAY24/18	MK	NEW SITE PLAN
5	JUL11/18	MK	NEW SITE PLAN
6	SEPT5/18	MK	NEW SITE PLAN
7	NOV28/18	MK	NEW SITE & GRADING PLAN
8	NOV28/18	MK	MUP REVISED
9	DEC06/18	MK	NEW SITE PLAN

NO EXCAVATION OR GRADE ALTERATIONS INSIDE TPZS. USE PERMEABLE SURFACES FOR WALKWAYS INSIDE THE TPZS AND CONSTRUCT ABOVE GRADE WITH NO EXCAVATION.

ALL EDGE TREES TO UNDERGO AN EDGE TREE RISK ASSESSMENT.

CANOPIES OF ALL RETAINED TREES SHOULD BE REVIEWED AND CROWN CLEANED AS NECESSARY.

RETAINED TREES MUST BE WATERED TWICE A WEEK IF CONSTRUCTION OCCURS BETWEEN THE MONTHS OF MARCH AND OCTOBER UNDER DIRECTION OF PROJECT ARBORIST.

A 10-15 CM LAYER OF MULCH WILL BE REQUIRED TO BE SPREAD OVER ROOT ZONES OF RETAINED TREES IMMEDIATELY FOLLOWING CLEARING.

REMOVE IVY FROM ALL RETAINED TREES.

SHEET TITLE

T1 - TREE PRESERVATION AND REMOVAL PLAN

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DRAWN

SGL

SCALE

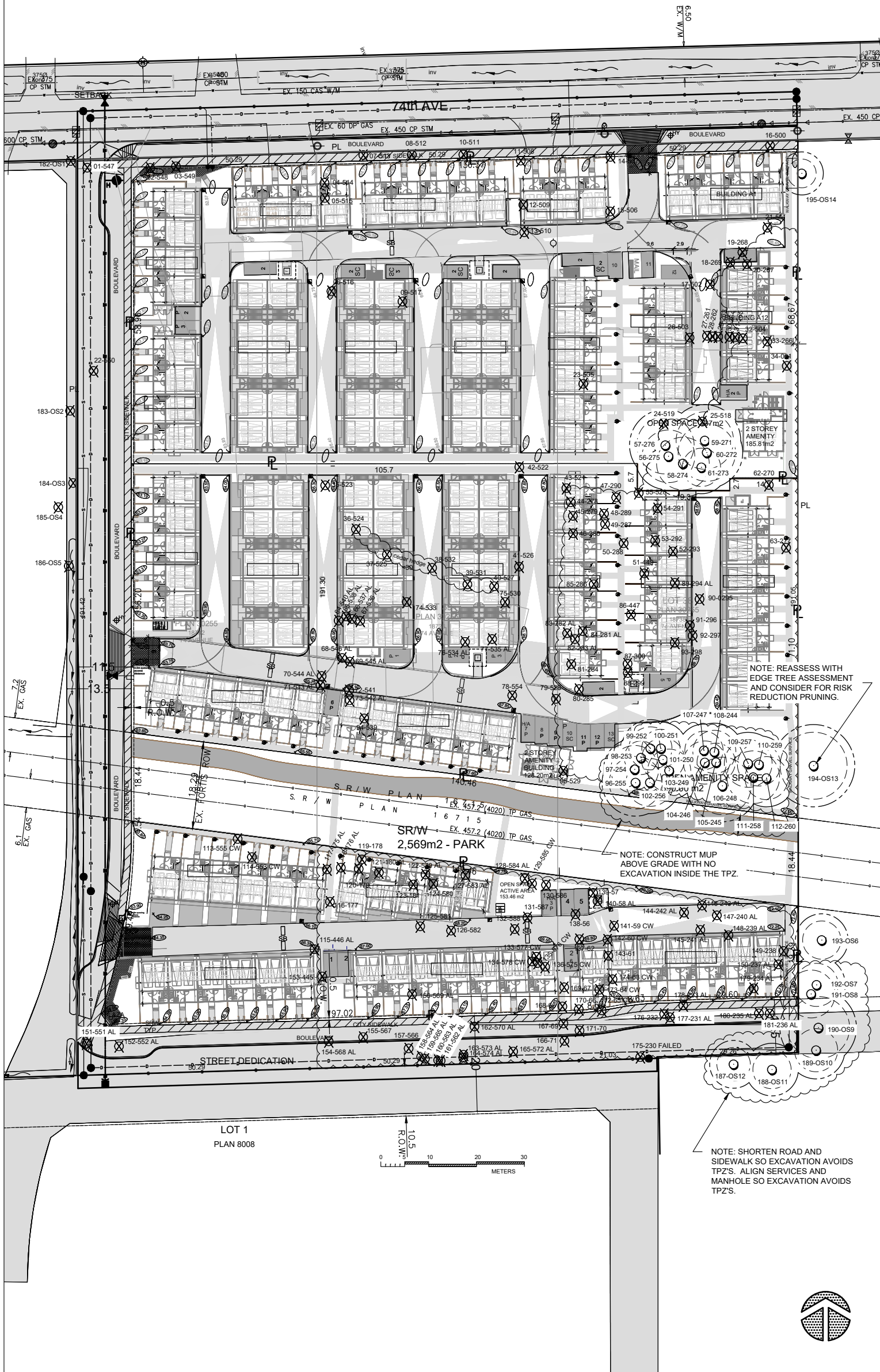
AS SHOWN

DATE

MAY 12, 2016

T-1

SHEET 1 OF 2



LEGEND

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- MINIMUM NO DISTURBANCE ZONE
- 1.5 METER EXCAVATION OFFSET



**MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS**

#105, 8277 129 St.
Surrey, British Columbia
V3W 0A6
Ph: (778) 593-0300
Fax: (778) 593-0302
Email: mfadum@fadum.ca

CLIENT

FILE NO.

PROJECT TITLE
**TREE PRESERVATION
AND PROTECTION PLAN**

18702 18726 18738
74 AVENUE
SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	OCT05/16	SL	NEW SITE PLAN
2	JAN30/17	MK	NEW SITE PLAN
3	MAY09/18	MK	NEW SITE PLAN
4	MAY24/18	MK	NEW SITE PLAN
5	JUL11/18	MK	NEW SITE PLAN
6	SEPT5/18	MK	NEW SITE PLAN
7	NOV28/18	MK	NEW SITE & GRADING PLAN
8	NOV28/18	MK	MUP REVISED
9	DEC06/18	MK	NEW SITE PLAN

NO EXCAVATION OR GRADE ALTERATIONS INSIDE TPZS.

USE PERMEABLE SURFACES FOR WALKWAYS INSIDE THE TPZS AND CONSTRUCT ABOVE GRADE WITH NO EXCAVATION.

ALL EDGE TREES TO UNDERGO AN EDGE TREE RISK ASSESSMENT.

CANOPIES OF ALL RETAINED TREES SHOULD BE REVIEWED AND CROWN CLEANED AS NECESSARY.

RETAINED TREES MUST BE WATTERED TWICE A WEEK IF CONSTRUCTION OCCURS BETWEEN THE MONTHS OF MARCH AND OCTOBER UNDER DIRECTION OF PROJECT ARBORIST.

A 10-15 CM LAYER OF MULCH WILL BE REQUIRED TO BE SPREAD OVER ROOT ZONES OF RETAINED TREES IMMEDIATELY FOLLOWING CLEARING.

REMOVE IVY FROM ALL RETAINED TREES.

NOTE: TREE PROTECTION FENCING TO BE MEASURED FROM THE OUTER EDGE OF TREE TRUNK AND SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS. REASSESS TREES WITH LOT GRADING PLANS.

SHEET TITLE

T2 - TREE PROTECTION PLAN

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DRAWN

SGL

SCALE

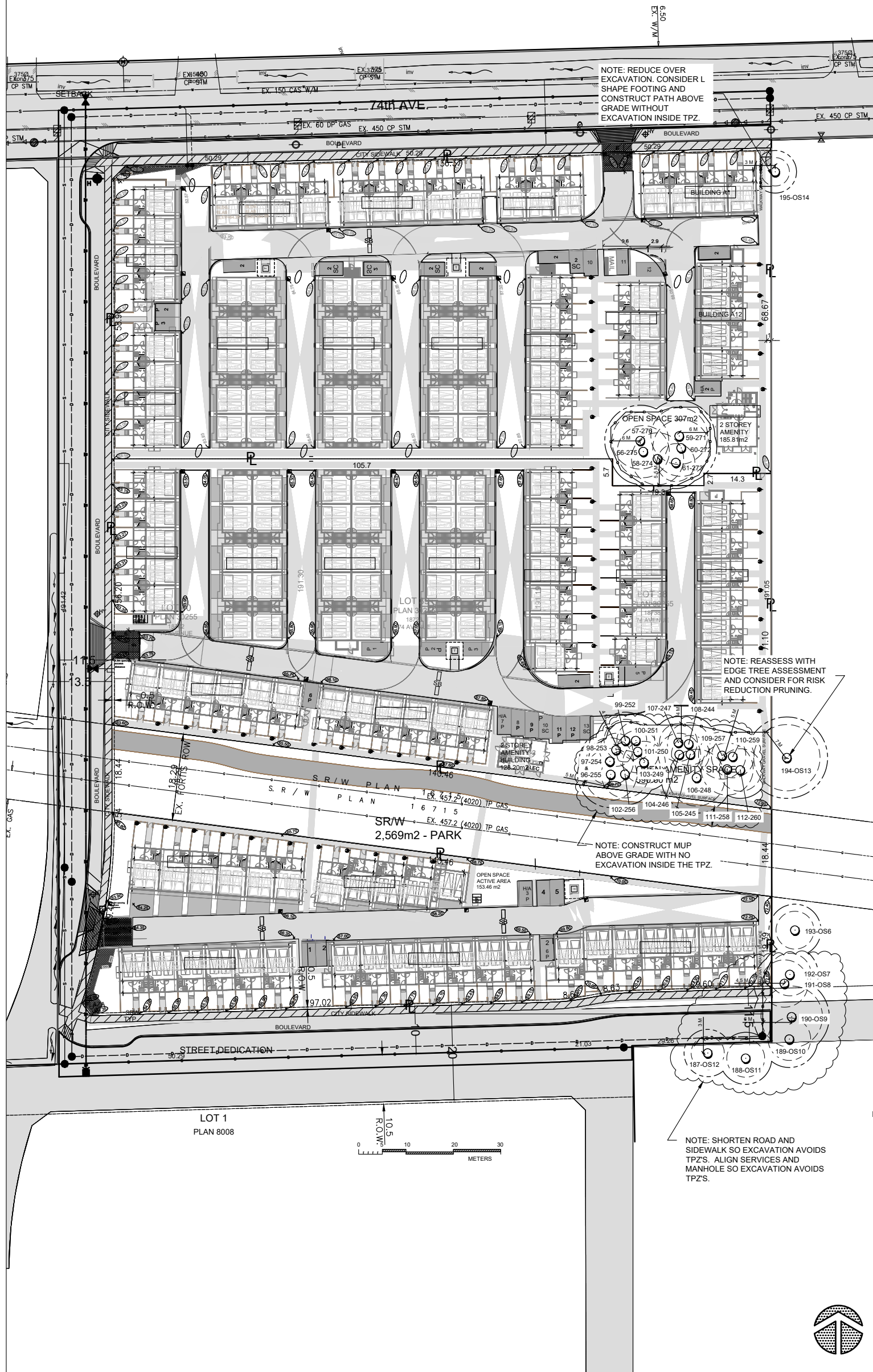
AS SHOWN

DATE

MAY 12, 2016

T-2

SHEET 2 OF 2



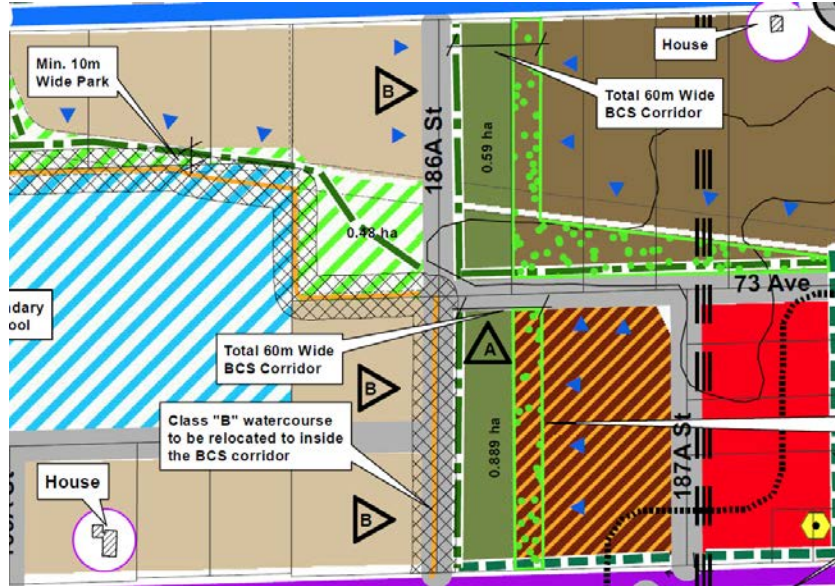
LEGEND

- TREE TO BE RETAINED
- MINIMUM NO DISTURBANCE ZONE
- TREE PROTECTION FENCING
- 1.5 METER EXCAVATION OFFSET

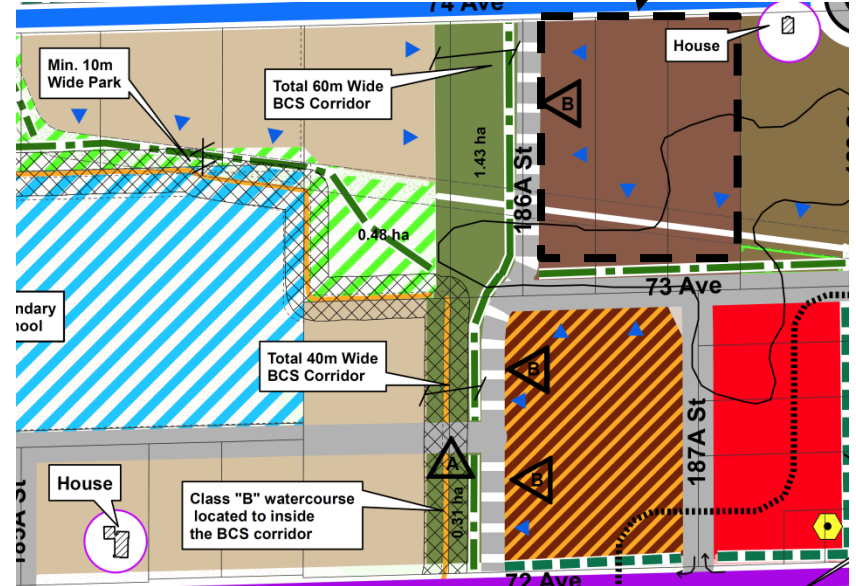


West Clayton NCP - Proposed Amendments

Townhouse
25-30 UPA Net



Existing Land Use Concept



Revised Land Use Concept

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7916-0221-00

Issued To:

(the "Owner")

Address of Owner:

- 1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

- 2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 006-459-803
 Lot 38 Section 21 Township 8 New Westminster District Plan 30255
 18738 - 74 Avenue

Parcel Identifier: 004-586-018
 Lot 39 Section 21 Township 8 New Westminster District Plan 30255
 18726 - 74 Avenue

Parcel Identifier: 006-459-820
 Lot 40 Section 21 Township 8 New Westminster District Plan 3025
 18702 - 74 Avenue

(the "Land")

- 3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
-

4. Surrey Zoning By-law, 1993, No. 12000, as amended, is varied in Section F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone (RM-30) as follows:

- (a) to reduce the minimum north side yard setback on a flanking street of the RM-30 Zone on proposed Lot 1 from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principal building face and 3.5 metres (11 ft.) to the roof overhang and entry canopy;
- (b) to reduce the minimum east rear yard setback of the RM-30 Zone on proposed Lot 1 from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) to the principal building face and 2.5 metres (8 ft.) to the roof overhang;
- (c) to reduce the minimum west front yard setback of the RM-30 Zone on proposed Lot 1 from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principal building face and 3.5 metres (11 ft.) to the roof overhang and entry canopy;
- (d) to reduce the minimum south side yard setback of the RM-30 Zone on proposed Lot 1 from 7.5 metres (25 ft.) to 2.25 metres (7 ft.) to the principal building face and 1.75 metres (6 ft.) to the roof overhang;
- (e) to reduce the minimum north side yard setback of the RM-30 Zone on proposed Lot 2 from 7.5 metres (25 ft.) to 2.25 metres (7 ft.) to the principal building face and 1.75 metres (6 ft.) to the roof overhang;
- (f) to reduce the minimum east rear yard setback of the RM-30 Zone on proposed Lot 2 from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) to the principal building face and 5.5 metres (18 ft.) to the roof overhang;
- (g) to reduce the minimum west front yard setback of the RM-30 Zone on proposed Lot 2 from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to principle building face and 3.5 metres (11 ft.) to the roof overhang and entry canopy of Building B₁ and to 3.0 metres (10 ft.) to the principle building face and 2.5 metres (8 ft.) to the roof overhang of Building B₈;
- (h) to reduce the minimum south side yard setback of the RM-30 Zone on proposed Lot 2 from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principle building face and 3.5 metres (11 ft.) to the roof overhang and entry canopy for Buildings B₈ and B₉ and to 1.5 metres (5 ft.) for the amenity building;
- (i) to reduce the minimum north side yard setback of the RM-30 Zone on proposed Lot 4 from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principle building face and 3.5 metres (11 ft.) to the roof overhang and entry canopy for Building C₁ and to 3.0 metres (10 ft.) to the principle building face and 2.5 metres (8 ft.) to the roof overhang for Building C₂;

- (j) to reduce the minimum east rear yard setback of the RM-30 Zone on proposed Lot 4 from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) to the principal building face and 2.5 metres (8 ft.) to the roof overhang;
 - (k) to reduce the minimum west front yard setback of the RM-30 Zone on proposed Lot 4 from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) the principal building face and 4.0 metres (13 ft.) to the roof overhang;
 - (l) to reduce the minimum south side yard setback on a flanking street of the RM-30 Zone on proposed Lot 4 from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principal building face and 3.5 metres (11 ft.) to the roof overhang and entry canopy) and
 - (m) to vary the Zoning By-law to increase the number of risers permitted within the setback area on proposed Lots 1, 2 and 4 from 3 to 4 risers.
6. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
7. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
8. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk

Schedule A

Reduce minimum west front yard setback from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principal building face and 3.5 metres (11 ft.) to the roof overhang and entry canopy

Reduce minimum north side yard on a flanking street setback from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principal building face and 3.5 metres (11 ft.) to the roof overhang and entry canopy

Increase the number of risers permitted within the setback area from 3 to 4

Reduce minimum south side yard setback from 7.5 metres (25 ft.) to 2.25 metres (7 ft.) to the principal building face and 1.75 metres (6 ft.) to the roof overhang

Reduce minimum east rear yard setback from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) to the principal building face and 2.5 metres (8 ft.) to the roof overhang

LOT 1
NET AREA : 9,039.00 m² / 2,233 acre

PROPOSED DENSITY
NUMBER OF UNIT PROPOSED 68 units
NET AREA 30.38 upa

BUILDING AREA 4,007.57 m²
LOT COVERAGE 45%

BUILDING FLOOR AREA 8,362.63

FAR
NET 0.93

SETBACKS
NORTH 4.5m
SOUTH 2.25m
EAST 6.0m + 3.0m
WEST 4.5m

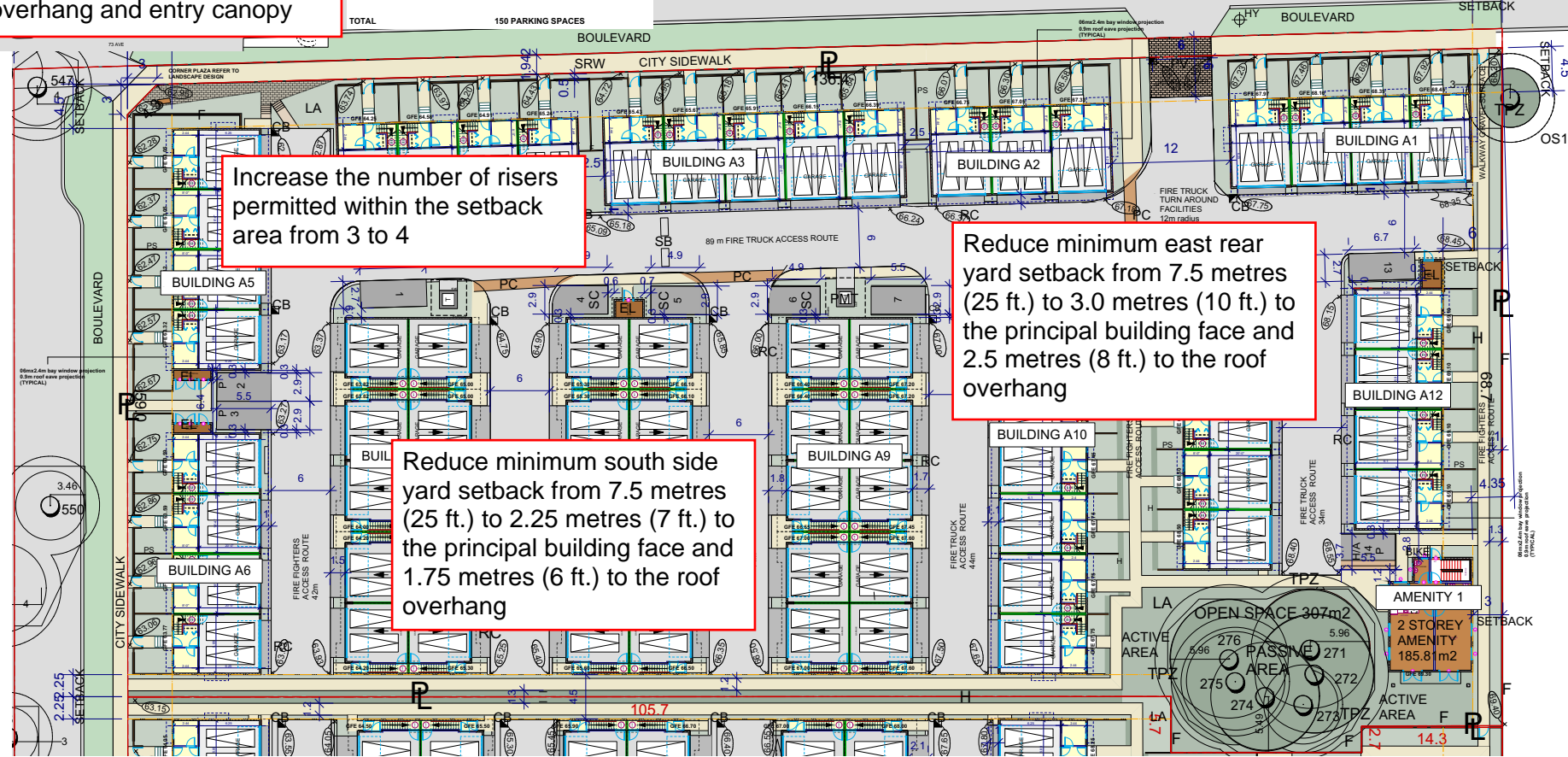
BUILDING HEIGHT 12.5m / 3 STOREY

AMENITY REQUIRED / PROVIDED
OUTDOOR SPACE: 204 m² / 307 m²
INDOOR AMENITY: 204 m² / 185.80 m²

PARKING
RESIDENT DOUBLE GARAGE 68 UNITS x 2 = 136 PARKING SPACES

VISITORS
REQUIRED: 13.6 PARKING SPACES
PROVIDED: 14 PARKING SPACES
ACCESSIBLE: 1 STALL
SMALL CAR (25% = 4 PERMITTED) / PROPOSED: 4 STALLS

TOTAL 150 PARKING SPACES



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#	Date	Revision Notes
#1	MAY25/16	REVISED SITE PLAN



WG ARCHITECTURE INC

904 - 470 GRANVILLE STREET
VANCOUVER, B.C. V6C 1V5
TEL: (604) 331 2378
email: wgi@garchitectureinc.com

Project Title:
18702, 18726, 18738
74th AVENUE
SURREY, BC

Sheet Title:
SITE PLAN LOT 1

Date: May 2018
Scale: 1:200
Drawn by: NC, GA
Approved by: WG

Project Number: 1619
Sheet Number:
DP104

2016 Decrement 7

LOT 2
NET AREA : 8,923.00 m² / 2,205 acre
PROPOSED DENSITY
NUMBER OF UNIT PROPOSED 67 units
NET AREA 30.38rupa
BUILDING AREA 4,051.04 m²
LOT COVERAGE 45.4%
BUILDING FLOOR AREA 8,248.3 m²

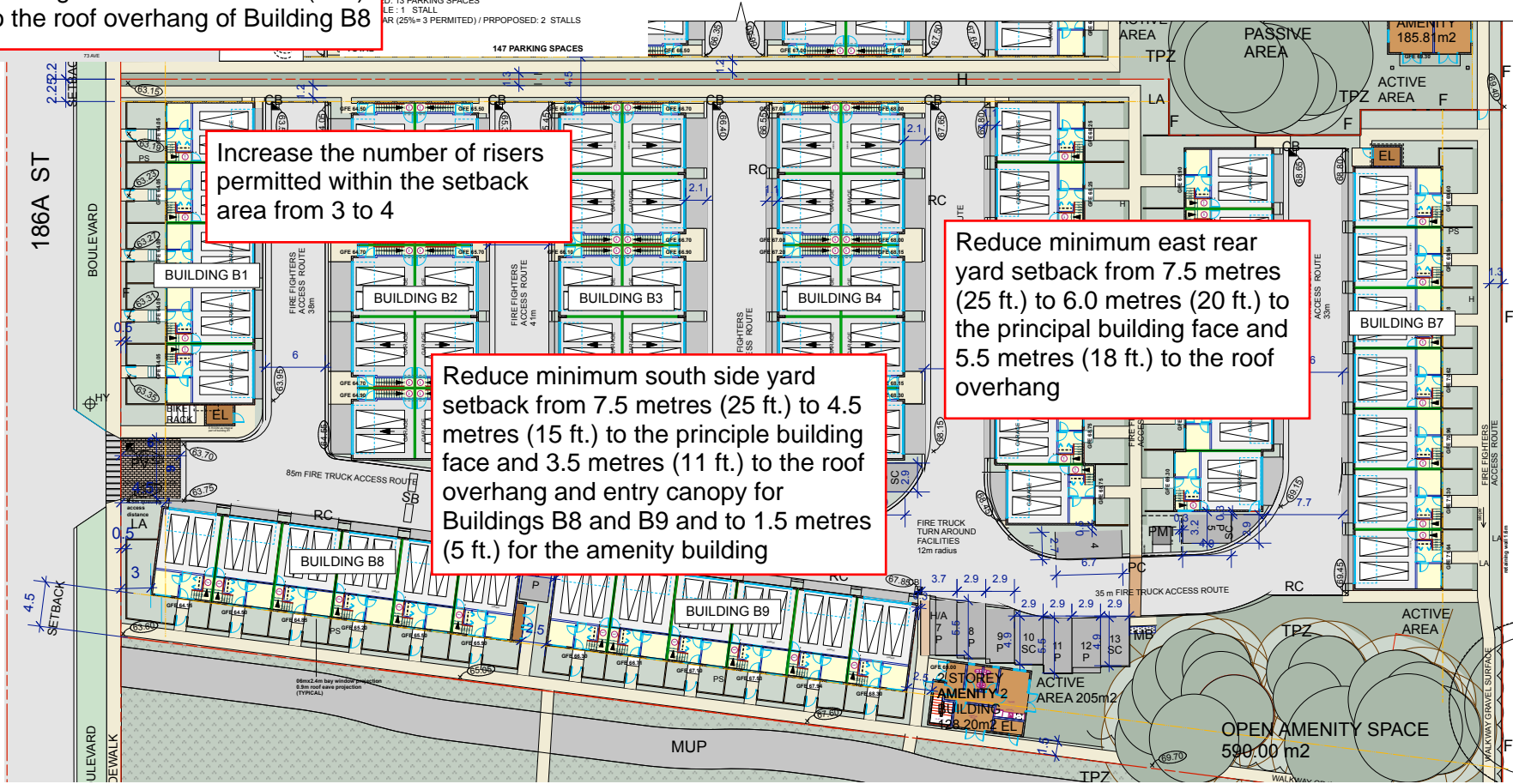
Reduce minimum west front yard setback from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to principle building face and 3.5 metres (11 ft.) to the roof overhang and entry canopy of Building B1 and to 3.0 metres (10 ft.) to the principle building face and 2.5 metres (8 ft.) to the roof overhang of Building B8

Reduce minimum north side yard setback from 7.5 metres (25 ft.) to 2.25 metres (7 ft.) to the principal building face and 1.75 metres (6 ft.) to the roof overhang

Increase the number of risers permitted within the setback area from 3 to 4

Reduce minimum east rear yard setback from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) to the principal building face and 5.5 metres (18 ft.) to the roof overhang

Reduce minimum south side yard setback from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principle building face and 3.5 metres (11 ft.) to the roof overhang and entry canopy for Buildings B8 and B9 and to 1.5 metres (5 ft.) for the amenity building



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#	Date	Revision Notes
1	#1MAY2018	REVISED SITE PLAN

WG ARCHITECTURE INC
904 - 470 GRANVILLE STREET
VANCOUVER, B.C. V6C 1V5
TEL: (604) 331 2378
email: wg@warchitectureinc.com

Project Title:
18702, 18726, 18738
74th AVENUE
SURREY, BC

Sheet Title:
SITE PLAN LOT 2

Date: May 2018 Project Number: 1619
Scale: 1:200 Sheet Number:
Drawn by: NC, GA
Approved by: WG DP105

2018 December 11:10:00

LOT 4
 NET AREA: 4,481 m² / 1,107 acre
PROPOSED DENSITY
 NUMBER OF UNIT PROPOSED: 31 units
 NET AREA: 28.00 upa
 BUILDING AREA: 2,034.37 m²
 LOT COVERAGE: 45.4%
 BUILDING FLOOR AREA: 4,025
FAR
 NET 0.9
SETBACKS
 NORTH: 4.5m + 3.0m
 SOUTH: 4.5m
 EAST: 3.0m
 WEST: 4.5m
BUILDING HEIGHT: 12.5m / 3 STOREY
AMENITY
 REQUIRED / PROVIDED
 INDOOR: 93m² / 0m²
 OUTDOOR SPACE: 93 m² / 99.5 m²
PARKING
 RESIDENT
 DOUBLE GARAGE
 31 UNITS x 2 = 62 PARKING SPACES
VISITORS
 8.2 PARKING SPACES
 6 PARKING SPACES
 1 STALL
 (25% = 2 PERMITTED) / PROPOSED: 0

Reduce minimum west front yard setback from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) the principal building face and 4.0 metres (13 ft.) to the roof overhang

Reduce minimum north side yard setback from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principle building face and 3.5 metres (11 ft.) to the roof overhang and entry canopy for Building C1 and to 3.0 metres (10 ft.) to the principle building face and 2.5 metres (8 ft.) to the roof overhang for Building C2

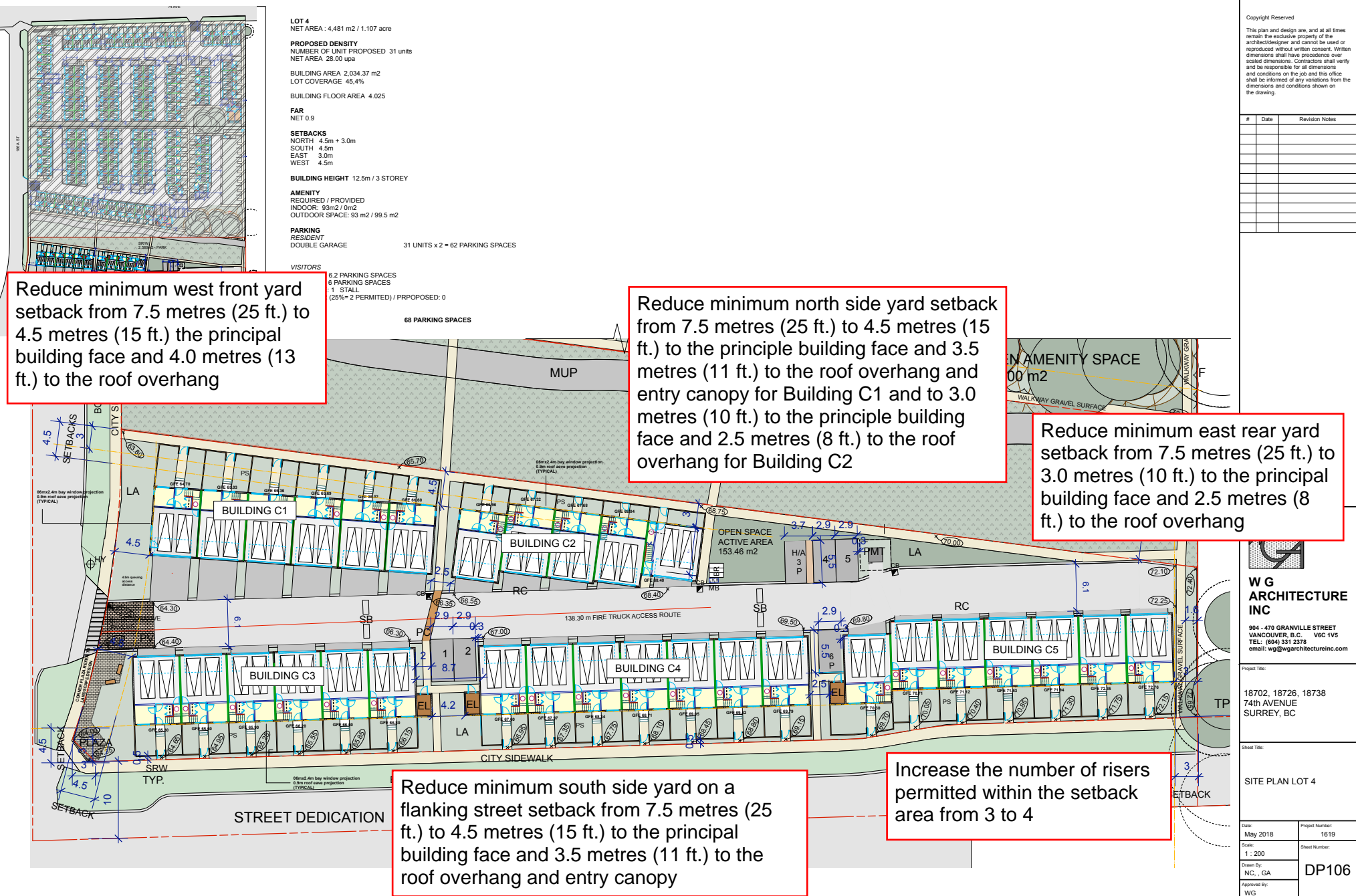
Reduce minimum east rear yard setback from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) to the principal building face and 2.5 metres (8 ft.) to the roof overhang

Reduce minimum south side yard on a flanking street setback from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the principal building face and 3.5 metres (11 ft.) to the roof overhang and entry canopy

Increase the number of risers permitted within the setback area from 3 to 4

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#	Date	Revision Notes



WG ARCHITECTURE INC
 904 - 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V5
 TEL: (604) 331 2378
 email: wgw@wgarchitectureinc.com

Project Title:
 18702, 18726, 18738
 74th AVENUE
 SURREY, BC

Sheet Title:
 SITE PLAN LOT 4

Date:	May 2018	Project Number:	1619
Scale:	1:200	Sheet Number:	
Drawn By:	NC, GA		
Approved By:	WG		

DP106

2018 December 11-12-13



Cloverdale Community Association

Website: www.cloverdalecommunity.org

May 30, 2018

Helen Chan
City of Surrey
Planning and Development Department
13450-104 Avenue
Surrey BC V3T 1V8

Re: 7916-0221-00 / 18702, 18726 and 18738-74 Avenue

Dear Ms. Chan:

The Cloverdale Community Association (CCA) has received the preliminary notice for the proposed development noted above.

Based on our discussions, we have no concerns with the proposed NCP amendment however, we would like the following recommendations implemented in order to receive our full support and if any items below are not implemented then we will be requesting Mayor and Council to reject this application:

1. We will only support side by side garages and no tandem garages.
2. Sidewalks and grass boulevards with trees should be installed for landscaping purposes.
3. Minimum visitor parking within the complex is required and no development variances will be supported to reduce the visitor parking.
4. If roads are going to be built then double sided on street parking with two-way traffic will only be supported and nothing less.

Please keep us updated with any changes which may occur after this letter has been received by you.

We trust the above information is satisfactory and as always, we expect our comments to be added in the planning report and project file for council to review.

Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read "Mike Bola".

Mike Bola
President
Cloverdale Community Association
604-318-0381
Cc: Board of Directors