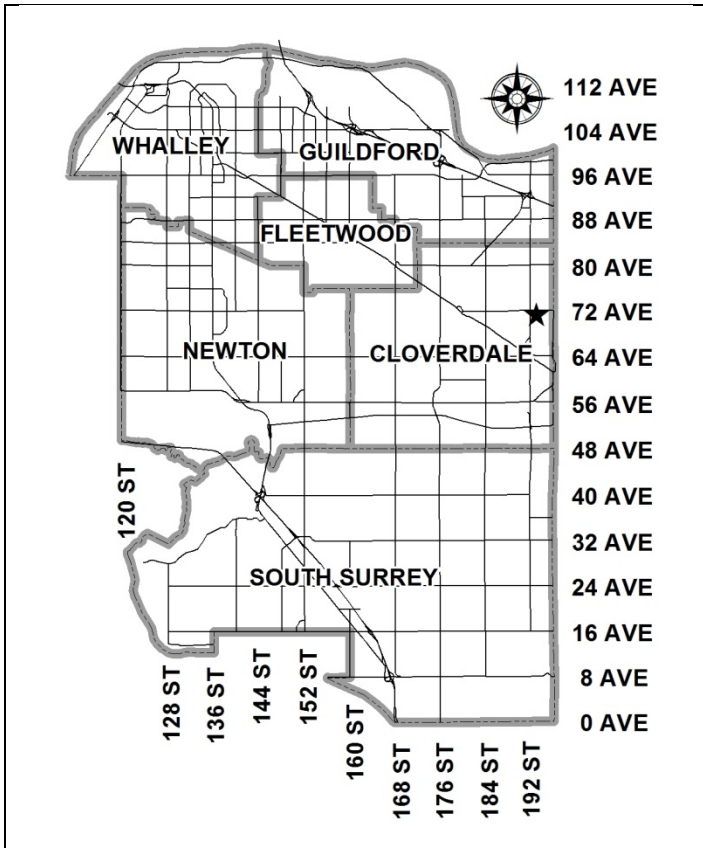


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0198-00

Planning Report Date: October 1, 2018



PROPOSAL:

- **NCP Amendment** from Half-Acre Residential to 6- 10 upa (Low Density)
- **Rezoning** from RA to RF-13

to allow subdivision into seven (7) single family small lots.

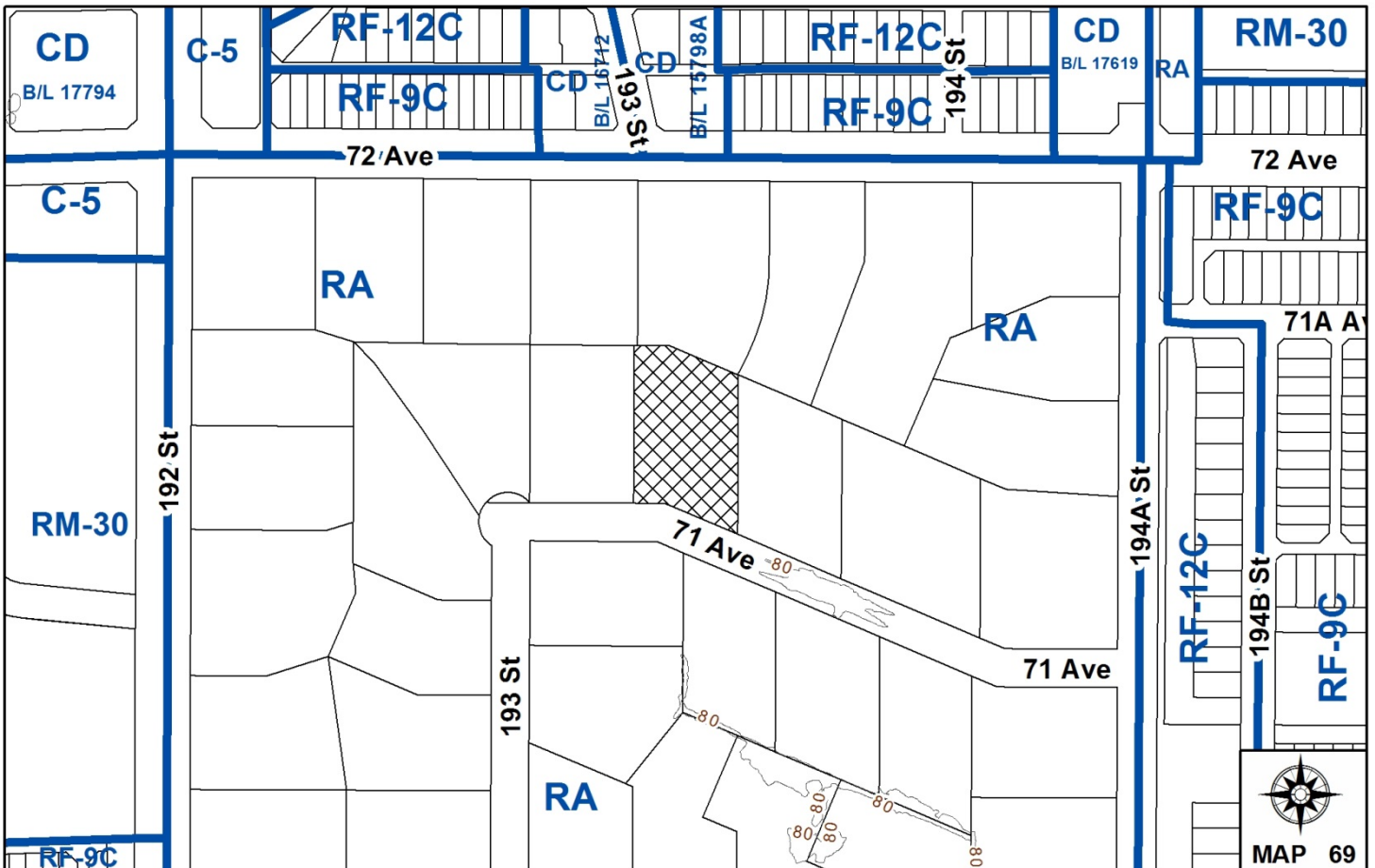
LOCATION: 19339 - 71 Avenue

ZONING: RA

OCP DESIGNATION: Urban

NCP DESIGNATION: Half-Acre Residential

INFILL PLAN DESIGNATION: Single Family Front Accessed (6-10 upa)



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Although the application complies with the Aloha Estates Infill Area Concept Plan, an amendment to the East Clayton Neighbourhood Concept Plan (NCP) is required.

RATIONALE OF RECOMMENDATION

- Complies with the Aloha Estates Infill Area Concept Plan, which was approved by Council on October 28, 2013 (Corporate Report No. R219: 2013).
- When the Aloha Estates Plan was approved, it was acknowledged that amendments would be required to the East Clayton NCP through individual land development applications.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Single Family Residential (13) Zone (RF-13)" and a date be set for Public Hearing.
2. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (e) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department; and
 - (f) registration of a Section 219 Restrictive Covenant to require a minimum double wide (side-by-side) garage dimension of 6.1 metres (20 ft.) wide by 6.4 metres (21 ft.) deep, as measured from the interior faces of the side walls of the garage, and additional parking pad on proposed Lots 1 to 7.
3. Council pass a resolution to amend the East Clayton Neighbourhood Concept Plan (NCP) to redesignate the land from "Half-Acre Residential" to "6-10 upa (Low Density)" when the project is considered for final adoption.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

4 Elementary students at Hazelgrove Elementary School
2 Secondary students at Clayton Heights Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Spring 2020.

Parks, Recreation & Culture: No objections.

SITE CHARACTERISTICS

Existing Land Use: Existing residential acreage lot with single family dwelling and accessory building, which will be removed.

Adjacent Area:

Direction	Existing Use	Aloha Estates Infill Area Concept Plan Designation	Existing Zone
North:	Acreage residential lot under Application No. 7916-0174-00 to rezone and consolidate in order to permit development of 52 townhouse units (Final adoption granted on July 26, 2018).	Townhouse (20-25 upa)	CD (By-law No. 19319)
East:	Acreage residential lot with single family dwelling.	Single Family Front Accessed (6-10 upa)	RA
South (Across 71 Avenue):	Acreage residential lot under Application No. 7916-0113-00 to rezone and subdivide into nine (9) single family small lots (3 rd Reading granted on November 6, 2017) and acreage residential lot with single family dwelling.	Single Family Front Accessed (6-10 upa)	RA
West:	Acreage residential lot with single family dwelling.	Single Family Lane Accessed (10-12 upa)	RA

DEVELOPMENT CONSIDERATIONS

Background

- The subject property is located within the Aloha Estates subdivision, which was approved in 1978.
- The East Clayton Neighbourhood Concept Plan (NCP) (Appendix VII) was approved by Council on March 3, 2003 (Corporate Report No. Coo6; 2003) to guide the development of the eastern portion of a larger area covered by the Clayton General Land Use Plan.
- At the time the East Clayton NCP was developed through the public consultation process, the residents and property owners within the Aloha Estates neighbourhood of East Clayton indicated that they were not in favour of redeveloping their properties, but were willing to support a Half-Acre Residential designation for their neighbourhood.

- Subsequent to the approval of the East Clayton NCP, interest developed in amending the Half-Acre Residential designation with Aloha Estates in order to permit redevelopment of the area.
- Following a public consultation process, staff prepared the Aloha Estates Infill Area Concept Plan (the "Aloha Estates Plan") (Appendix VIII), which was approved by Council on October 28, 2013 (Corporate Report No. 219; 2013). As noted in Corporate Report No. 219, the intent of the Aloha Estates Plan is to guide future amendments to the East Clayton NCP through individual land development applications.

Context

- The 0.46 hectare (1.14-acre) subject site is located at 19339 – 71 Avenue, within the Aloha Estates neighbourhood of East Clayton.
- The subject site is designated "Urban" in the Official Community Plan (OCP), "Half-Acre Residential" in the East Clayton NCP, "Single Family Front Accessed (6-10 upa)" in the Aloha Estates Plan and is currently zoned "One-Acre Residential Zone (RA)".

Justification for NCP Amendment

- The applicant is seeking an amendment to the East Clayton NCP to redesignate the subject site from "Half-Acre Residential" to "6-10 upa (Low Density)".
- The intent of the Aloha Estates Plan is to guide future amendments to the East Clayton NCP through individual land development applications in the plan area.
- The proposed East Clayton NCP designation is consistent with the land use designation proposed in the Aloha Estates Plan. For this reason, the proposed NCP amendment has merit.

Current Proposal

- The applicant proposes to rezone the subject site from "One-Acre Residential Zone (RA)" to "Single Family Residential (13) Zone (RF-13)" to allow subdivision into seven (7) single family lots.
- Proposed Lots 1, 2, 4, 5 and 7 will be developed as RF-13 Type II "interior" lots while proposed Lots 3 and 6 will be developed as RF-13 Type II "corner" lots.
- Proposed Lots 1 to 7 will range in size from 423 to 515 square metres (4,553 to 5,543 sq.ft.), in depth from 26.5 to 38 metres (86 to 124.5 ft.) and in width from 13.4 to 17 metres (44 to 55.5 ft.). Proposed Lots 1 to 7 meet the minimum dimensional and lot area requirements of the RF-13 Zone.

Road Dedication and Engineering Requirements

- As part of the subject application, the applicant will be required to undertake the following road dedication and road-related works and services:

- Construct the north side of 71 Avenue to the Through Local Road standard and register a 0.5-metre (1.5-ft.) wide statutory right-of-way for utility access;
 - Dedicate and construct 8.5 metres (27.8 ft.) of the ultimate 20-metre (66-ft.) Through Local Road ("Aloha Drive") along the north property line, and register a 0.5-metre (1.5-ft.) wide statutory right-of-way for utility access and sidewalk maintenance.; and
 - Dedicate and construct a functioning 11.5-metre (38-ft.) half road of the ultimate 20-metre (66-ft.) Through Local Road ("Fisher Drive") along the western property line, including 3 x 3 corner cuts at both Aloha Drive and 71 Avenue and register a 0.5-metre (1.5-ft.) wide statutory right-of-way for utility access and sidewalk maintenance.
- The applicant has been informed by staff that should the subject application precede Development Application No. 7916-0174-00 to the immediate north they will be required to dedicate an additional 3 metres (10 ft.), as measured from the north property line, to construct the 11.5-metre (38-ft.) half road of the ultimate 20-metre (66-ft.) Through Local Road.
 - If additional dedication is required from the subject site, the proposed lots will still meet the minimum dimensional and lot area requirements of the RF-13 Zone.
 - Proposed Lots 1-3 will have driveway access from 71 Avenue, proposed Lots 4 and 5 from Fisher Drive and proposed Lot 7 from Aloha Drive.

Neighbourhood Character Study and Design Guidelines

- Ran Chahal, of Apex Design Group Inc., prepared the Neighbourhood Character Study and Building Scheme for the subject site. The Character Study involved reviewing a number of existing homes in the neighbourhood in order to establish suitable design guidelines for the proposed subdivision.
- The applicant has confirmed that no variances are required on proposed Lots 1-7 in order to accommodate larger, double-side-by-side garages as requested by the Cloverdale Community Association (see Pre-notification Section).
- The Character Study found that few of the existing homes in the neighbourhood provide a suitable architectural context for the proposed post-2016 RF-13 development. The guidelines, a summary of which is attached (Appendix V), propose balanced "mid-scale" massing, improved construction materials and higher trim and detailing standards in line with more compatible "Neo-Traditional", "Neo-Heritage" or "West Coast Contemporary" housing styles.

Lot Grading

- Preliminary lot grading plans were prepared and submitted by H.Y. Engineering Ltd. The plans were reviewed by staff and found to be generally acceptable.
- In-ground basements are proposed for all lots with no fill proposed in excess of 0.5 metres (1.5 ft.) in depth.

- Final confirmation on whether in-ground basements are achievable will be determined once final engineering drawings have been submitted and approved by the City's Engineering Department.

PRE-NOTIFICATION

A Development Proposal Sign was installed on the subject property on March 9, 2018, and Pre-notification Letters were sent to area residents on May 15, 2018. In response, staff received one (1) email from a neighbouring resident with the following concerns (*staff comments in italics*):

- One (1) resident expressed concern about the intersection of 71 Avenue and Fisher Drive, as the portion of Fisher Drive south of 71 Avenue was relocated to the eastern property line of 19306 – 71 Avenue under Development Application No. 7916-0113-00 (3rd Reading granted on November 6, 2017)

(The subject application is proposing 11.5m road dedication to achieve a half road standard for Fisher Drive. Fisher Drive south of 71 Avenue is proposed to be fully dedicated and constructed through Development Application No. 7916-0113-00 (3rd Reading granted on November 6, 2017). The resulting offset for Fisher Drive north and south of 71 Avenue would be approximately 25 metres (82 ft.) from centreline to centreline, which can be supported by Transportation. With the proposed offset, the configuration allows for left turn movements to occur from 71 Avenue to Fisher Drive in both directions without conflict. This type of offset configuration is atypical, but meets the intent of the local road network by providing access and circulation to single family lots.

Fisher Road, south of 71 Avenue, is classified as a Local Road and its primary function is to provide frontage for the future single family lots, and as such, is not anticipated to serve high volumes of traffic. Both the subject application and Development Application No. 7916-0113-00 are consistent with the intent of the road network plan for Aloha Estates and will achieve all road dedication and construction requirements.

An alternative layout, covering both the subject property (19339 – 71 Avenue) and the property to the west (19309 – 71 Avenue), proposing smaller lot sizes and additional road dedication beyond 11.5-metre (38-ft) on the subject property, which would have shifted the road further east, was reviewed and tentatively supported by staff provided an agreement was reached between the two parties as to cost sharing and servicing responsibilities. As the two parties were unable to finalize the agreement for a shared development application, the applicant has revised the subject application to only include the subject property and road dedication consistent with the Aloha Estates Plan.)

- The Cloverdale Community Association (CCA) have reviewed the proposed layout and submitted a letter (Appendix IX) indicating that they have no objections to the proposed RF-13 lots. However, the letter outlined several requests, described below:
 - Streets should be widened to accommodate sidewalks, green boulevards with trees and grass and parking on both sides of the street.

(On-street parking opportunities on 71 Avenue, Fisher Drive and Aloha Drive will be reviewed through the detailed design phase, should Council grant 3rd Reading to the subject application.)

- A gravel parking pad should be constructed on all lots, adjacent to the driveway, to accommodate parking for secondary suite and garage sizes should be a minimum of 6.4 metres (21 ft.) deep and 6.1 metres (20 ft.) wide. A restrictive covenant should be required in this regard.

(The driveways on proposed Lot 1 to 7 will be a minimum of 6 metres (20 ft.) deep, and the proposed lots will be able to accommodate a minimum of four (4) parking spaces, two (2) in the garage and two (2) in the driveway which exceeds the Zoning By-law requirements for a single family dwelling with a secondary suite.

The minimum double wide (side-by-side) garage size in the Zoning By-law is 5.7 metres (18.8 ft.) wide by 6.1 metres (20 ft.) deep, which is slightly less than the 6.1-metre (20-ft.) width and 6.4-metre (21-ft.) depth requested by the CCA.

However, the applicant has agreed to provide increased garage sizes and an additional parking pad on proposed Lots 1 to 7. These requirements will be enforced through both the Building Scheme and a separate Section 219 Restrictive Covenant.)

TREES

- Ira Sutherland, ISA Certified Arborist of Diamond Head Consulting Ltd., prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Red Alder	1	1	0
Cottonwood	2	1	1
Coniferous Trees (excluding Alder and Cottonwood Trees)			
Douglas-fir	3	3	0
Western Red Cedar	28	28	0
Total (excluding Alder and Cottonwood Trees)	31	31	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		15	
Total Retained and Replacement Trees		16	
Contribution to the Green City Fund		\$19,600.00	

- The Arborist Assessment states that there are a total of thirty-one (31) mature trees on the site, excluding Alder and Cottonwood trees. Three (3) existing trees, approximately 8% of the total trees on the site, are Alder and Cottonwood trees. It was determined that one (1) mature tree, a Cottonwood shared with the property to the immediate west (19309 – 71 Avenue) for which the applicant has not received permission to remove, can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- The applicant has proposed to retain two (2) undersized Western Red Cedars at the south-east corner of the subject site, in the area comprising the front yard of proposed Lot 1. The project Arborist has requested that the proposed undersized tree retention be used to off-set the number of required replacement trees, which has been reviewed and approved by the City's Trees and Landscaping staff.
- Two (2) existing off-site trees and two (2) existing hedge rows on the adjacent property to the immediate west (19309 – 71 Avenue) are proposed to be retained in conjunction with the proposed dedication and construction of Fisher Drive (see Summary of Tree Preservation, Appendix VI). Adequate tree protection fencing is proposed to be installed along the critical root zone of the off-site hedges and installation of the proposed road will take place under Arborist supervision.
- Five (5) off-site trees adjacent to the north property line of the subject site are proposed for removal to accommodate the dedication and construction of Aloha Drive. In addition, three (3) shared trees along the east property line are proposed for removal in association with proposed on-site works and services. The applicant has obtained permission from the adjacent property owners for the removal of the five (5) off-site and three (3) shared trees.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of sixty-five (64) replacement trees on the site. Since only fifteen (15) replacement trees can be accommodated on the site, which includes the two (2) retained undersized Western Red Cedars, the deficit of fifty-two (49) replacement trees will require a cash-in-lieu payment of \$19,600, representing \$400 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.
- In addition to the replacement trees, boulevard street trees may be planted on 71 Avenue, Fisher Drive and Aloha Drive. This will be determined by the Engineering Department during the servicing design review process.
- In summary, a total of sixteen (16) trees are proposed to be retained or replaced on the site with a contribution of \$19,600 to the Green City Fund.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on May 3, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> The site is within the Aloha Estates Infill Plan area, and the subject proposal is consistent with the plan designation.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> The development will provide for a mixture of single family house types in Aloha Estates. Secondary suites will be permitted on all seven (7) lots, subject to meeting zoning and building requirements for a secondary suite.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> The project will incorporate Low Impact Development Standards including absorbent soils and permeable surfaces.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> No sustainable transportation or mobility features are proposed.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> The proposed single family dwellings will incorporate Crime Prevention Through Environmental Design (CPTED) principles, including "eyes on the street".
6. Green Certification (F1)	<ul style="list-style-type: none"> No Green Certification rating is proposed.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> A Development Proposal Sign was installed on the subject property and Pre-notification letters were mailed to area residents as part of the development application process. A Public Hearing will be required under the rezoning process.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary (Confidential) and Project Data Sheet
Appendix II.	Proposed Subdivision Layout
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Building Design Guidelines Summary
Appendix VI.	Summary of Tree Preservation
Appendix VII.	East Clayton Neighbourhood Concept Plan (NCP) Plan
Appendix VIII.	Aloha Estates Plan
Appendix IX.	Comments from Cloverdale Community Association (CCA)
Appendix X.	Neighbourhood Context Photo (COSMOS, April 2018 Aerial)

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

SUBDIVISION DATA SHEET

Proposed Zoning: RF-13

Requires Project Data	Proposed
GROSS SITE AREA	
Acres	1.14 acre
Hectares	0.46 hectare
NUMBER OF LOTS	
Existing	1
Proposed	7
SIZE OF LOTS	
Range of lot widths (metres)	13.4 m. - 17 m.
Range of lot areas (square metres)	425 m ² - 515 m ²
DENSITY	
Lots/Hectare & Lots/Acre (Gross)	15.2 lots/hectare & 6.1 lots/acre
Lots/Hectare & Lots/Acre (Net)	21.6 lots/hectare & 8.76 lots/acre
SITE COVERAGE (in % of gross site area)	
Maximum Coverage of Principal & Accessory Building	52%
Estimated Road, Lane & Driveway Coverage	28%
Total Site Coverage	80%
PARKLAND	
Area (square metres)	N/A
% of Gross Site	N/A
	Required
PARKLAND	
5% money in lieu	YES
TREE SURVEY/ASSESSMENT	YES
MODEL BUILDING SCHEME	YES
HERITAGE SITE Retention	NO
FRASER HEALTH Approval	NO
DEV. VARIANCE PERMIT required	
Road Length/Standards	NO
Works and Services	NO
Building Retention	NO
Others	NO



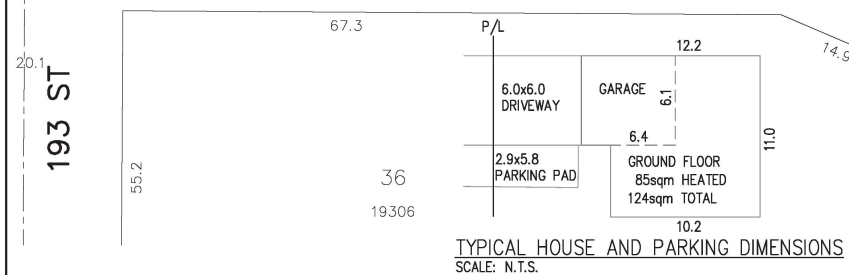
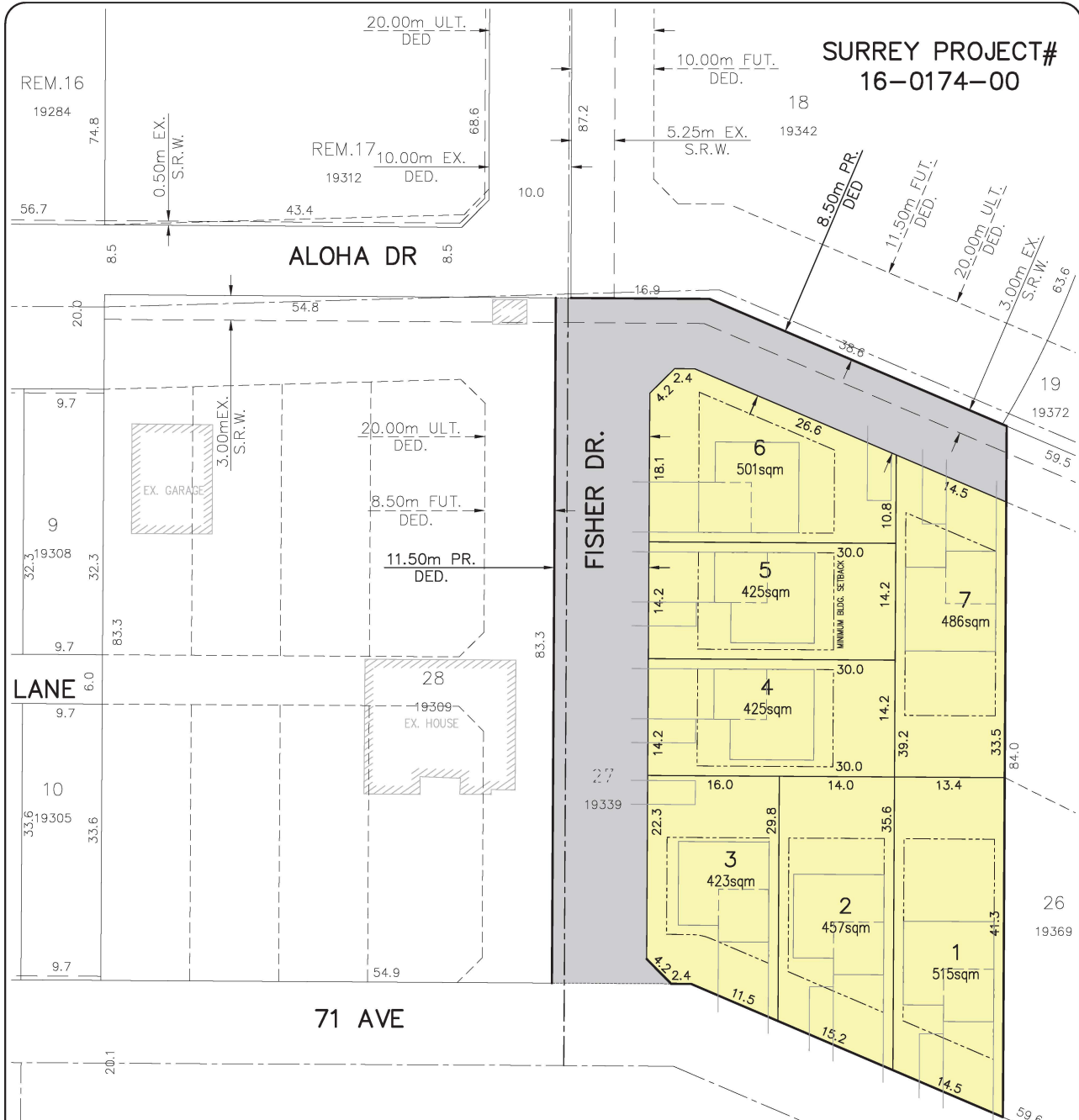
Planning & Development Department
 13450 - 104th Avenue, Surrey
 British Columbia, Canada V3T 1V8
 Tel. (604) 591-4441 Fax. (604) 591-2507

PROPOSED SUBDIVISION LAYOUT

File No: 7916-0198-00
 EXIST. ZONE: RA
 PROP. ZONE: RF-13



CIVIC ADDRESS: 19339 -71 AVE
 LEGAL: LOT 27, SECTION 15, TOWNSHIP 8, NWD, PLAN 54452



HY. ENGINEERING LTD.
 #200-9128-152nd. ST. Surrey, BC V3R 4E7 • TEL 604-583-1616
 Website: www.hyengineering.com • FAX 604-583-1737

GROSS SITE AREA: 4,597sqm (1.14ac)
 5% PARK DEDICATION: 230sqm (CASH-IN-LIEU)
 ROAD DEDICATION: 1,363sqm

NOTE: ALL EXISTING ONSITE STRUCTURES ARE TO BE REMOVED UNLESS NOTED OTHERWISE
 NOTE: PROPOSED BUILDING FOOTPRINTS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY

H.Y.#:164619A | ALTERNATIVE#01E-1 | DATE: 03 MAY/18 | SCALE: 1:500

DRAWING PATH: E:\PROJECTS\164619A\PLANNING\164619A-ALT01E.dwg (1-LAYOUT) PLOT FILE UPDATED: SEPTEMBER-14-18 1:11:11 PM BY: ANDREW BROOKS

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Engineer, Engineering Department**

DATE: **Aug 28, 2018** PROJECT FILE: **7816-0198-00**

RE: **Engineering Requirements
Location: 19339 71 Avenue**

NCP AMENDMENT

There are no engineering requirements relative to the NCP Amendment beyond those noted below.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- dedicate 11.5-metres for Fisher Drive to the half road standard, ultimately 20.0-metre road.
- dedicate 8.5-metres for Aloha Drive to the 20.0-metre through local road standard.
- dedicate 3.0-metre x 3.0-metre corner cuts on Fisher Drive at Aloha Drive and at 71 Avenue.
- register 0.5-metre statutory right-of-way along Fisher Drive, Aloha Drive, and 71 Avenue.

Works and Services

- construct 71 Avenue, Aloha Drive to the 20.0-metre through local roads.
- construct Fisher Drive to the 11.5-metre half road standard.
- construct onsite drainage features in accordance the East Clayton NCP (as amended).
- construct storm, water, and sanitary mains and service connections to service the development.

A Servicing Agreement is required prior to Rezone/Subdivision.



Tommy Buchmann, P.Eng.
Acting Development Services Manager

SK2



Planning

August 16, 2018

THE IMPACT ON SCHOOLS

APPLICATION #: 16 0198 00

SUMMARY

The proposed are estimated to have the following impact on the following schools:

7 Single family with suites

Projected # of students for this development:

Elementary Students:	4
Secondary Students:	2

September 2017 Enrolment/School Capacity

Hazelgrove Elementary	
Enrolment (K/1-7):	111 K + 636
Operating Capacity (K/1-7)	76 K + 419
Clayton Heights Secondary	
Enrolment (8-12):	1406
Capacity (8-12):	1000

School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

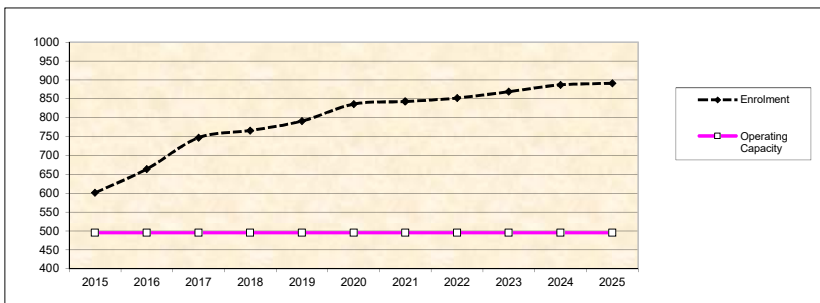
Hazelgrove Elementary was built in 2009, and in 2011, a 4 classroom addition was added. The Clayton area is one of the fastest growing communities because of the build out of the East Clayton NCP and development of the Aloha Estates. Hazelgrove Elementary was built in 2009, and in 2011, a 4 classroom addition was added. As of September 2017, Hazelgrove has 10 portables on site used for enrolling spaces. Currently, there is a 606 elementary seat shortfall in the Clayton area.

To meet the increasing demand for enrolling space in this area, the district is currently in design and construction for two new 605 capacity elementary schools just to the north of Katzie Elementary. One site is to be open September 2019 and the other September 2020 which will relieve the immediate in-catchment enrollment pressure.

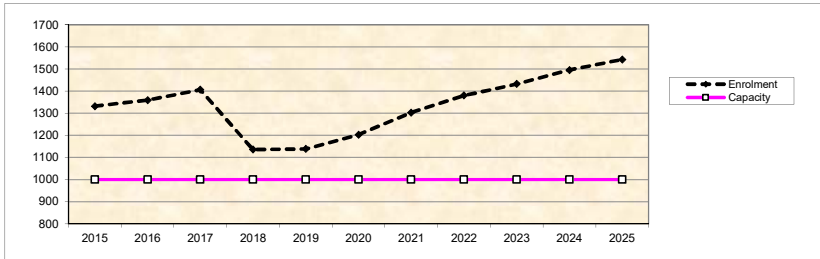
As part of the District's 2019/20 Capital Plan submission to the Ministry of Education, the district is asking for a site expansion along with a 445 capacity addition to the existing Clayton Elementary targeted to open September 2024 to meet future growth in the community. This project has yet to be approved for capital funding.

A new 1500 capacity high school, Ecole Salish Secondary, is scheduled to open September 2018. The new boundaries has been established dividing the existing Clayton Heights Secondary into two catchments. Hazelgrove Elementary will feed the new Salish Secondary when it opens in September 2018.

Hazelgrove Elementary



Clayton Heights Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students. Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

BUILDING GUIDELINES SUMMARY**V.2.0**

Surrey Project no.: 16-0198 (S.Grewal)
Property Location: 19339- 71Avenue, Surrey, B.C

Design Consultant: Ran Chahal, Architectural Technologist AIBC, CRD.ASTTBC
 Apex Design Group Inc.
 #157- 8120 -128 Street, Surrey, BC V3W 1R1
 Off: 604-543-8281 Fax: 604-543-8248

The draft Building Scheme proposed for this Project has been files with the City Clerk. The following is a summary of the Residential Character Study and the Design Guidelines, which highlight the important features and form the basis of the draft Building Scheme.

1. Residential Character**1.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site:**

The area surrounding the subject site is an urban area built out in the 1970's. Most homes are simple "West Coast Traditional" style structures with habitable areas of between 2000-4000sf.

Most of the existing homes have mid to high massing characteristics with 87.50% of the homes having a one storey front entry.

Roof pitch varies from economical low pitch of 4-5/12 to a medium pitch of 6-9/12 common truss roofs with simple gables and common hips with Concrete Roof Tiles being most common.

Wall surface materials are limited in the most part to one of the following: Cedar (dominant), Stucco, and Vinyl. Brick or Stone for an accent material. Accent trims are evident on most of the existing homes.

Landscaping is of moderate to high planting standard with 87.50% of the homes having Asphalt driveways.

1.2 Prevailing Features of the Existing and Surrounding Dwellings Significant to the Proposed Building Scheme:

Since the majority of the other existing homes in the study area are 30-40 years old, a new character area will be created. The new homes will meet modern development standards especially with respect to overall massing and balance in each design and to proportional massing between individual elements. Trim and detailing standards and construction materials standards will meet 2000's levels. Continuity of character will be ensured through style and home type restrictions as described below.

Continuity of character will be ensured through style and home type restrictions as described below.

Dwelling Types:	“Two-Storey”	75.00%
	“Basement /Cathedral Entry”	0.00%
	“Rancher (Bungalow)”	25.00%
	“Split Levels”	0.00%
Dwelling Size: (Floor Area/Volume)	Size range:	25.00% over 2000 sq.ft excl. garage
		12.50% 2001 - 2500 sq.ft excl. garage
		62.50% over 2501 sq.ft excl. garage
Exterior Treatment /Materials:	Cedar: 62.50% Stucco: 25.00% Vinyl: 12.50%	
	Brick or stone accent on 87.50% of all homes	
Roof Pitch/Materials:	Asphalt Shingles: 37.50% Cedar Shingles: 12.50%	
	Concrete Tiles: 50.00% Tar & Gravel: 0.00%	
	37.50% of homes have a roof pitch of 4/5:12 and	
	62.50% have a roof pitch of 6:12 to 9:12 and greater.	
Window/Door Details:	87.50% of all homes have rectangular windows	
Streetscape:	A variety of simple “Two Story”, 10-15 year old “West Coast Traditional” homes in a common urban setting. Roofs on most homes are simple low pitch common hip or common gable forms with Concrete Roof Tiles is on most of the homes. Most homes are clad in Cedar, Stucco and Vinyl.	
Other Dominant Elements:	Most of the existing homes located in the immediate study area have low 4/12 - 9/12 roof pitch with covered front verandas.	

2. Proposed Design Guidelines

2.1 Specific Residential Character and Design Elements these Guidelines Attempt to Preserve and/or Create:

The guidelines will ensure that the existing character of the homes are maintained with modestly sized Two-Storey, Bungalow and Split Level type homes are constructed to 2000’s standard. Continuity of character will be achieved with restrictions permitting the use of compatible styles, roof forms and exterior construction materials. Landscapes will be constructed to a modern urban standard.

2.2 Proposed Design Solutions:

Dwelling Types:	Two-Storey, Split Levels and Ranchers (Bungalows).	
Dwelling Sizes:	Two-Storey or Split Levels -	2000 sq.ft. minimum
Floor Area/Volume:	Basement Entry -	2000 sq.ft. minimum
	Rancher or Bungalow -	1400 sq.ft. minimum
	(Exclusive of garage or in-ground basement)	

Exterior Treatment /Materials:	No specific interface treatment. However, all permitted styles including: "Neo-Traditional", "Neo-Heritage", "Rural-Heritage" or "West Coast Modern/Contemporary" will be compatible with the existing study area homes.
Exterior Materials /Colours:	Stucco, Cedar and/or Hardiplank. Vinyl siding is permitted on non-street facing facades only. Brick and Stone in "Neutral" and "Natural" colours. "Primary" and "Warm" colours not permitted on cladding. Trim colours: Shade variation on main colour, complementary, neutral or subdued contrast.
Roof Pitch:	The minimum roof pitch is 6:12, with some exceptions, including the possibility of 3:12 for feature roofs over the veranda and/or window projections to permit "West Coast Contemporary" designs, subject to the design consultant confirming the integrity of any "West Coast Contemporary" design.
Roof Materials/Colours:	Cedar shingles, Concrete roof tiles in a shake profile and asphalt shingles in a shake profile. Grey or brown only.
Window/Door Details:	Dominant: Rectangular or Gently arched windows.
In-ground basements:	Permitted if servicing allows.
Landscaping:	Trees as specified on Tree Replacement Plan plus min. 12 shrubs (min. 3 gallon pot size).
Garage/Parking:	All garages to have a minimum interior dimension of 6.4m deep x 6.1m wide [21'-0" x 20'-0"]. An additional parking pad is required and can use either of the above construction materials or can be gravel.
Compliance Deposit:	\$ 5,000.00

Summary prepared and submitted by:



Ran Chahal, Design Consultant
Architectural Technologist AIBC, CRD
Apex Design Group Inc.

September 7, 2018
Date

Table 3. Tree Preservation Summary

TREE PRESERVATION SUMMARY

Surrey Project No:
 Address: 19309 71 Avenue, Surrey.
 Registered Arborist: Michael Harrhy, B.Sc., MSFM
 ISA Certified Arborist (PN-8025A)
 ISA Tree Risk Assessment Qualified (TRAQ)
 Forester in Training
 Biologist in Training

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	34
Protected Trees to be Removed	33
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\underline{2} \times \text{one (1)} = 2$ - All other Trees Requiring 2 to 1 Replacement Ratio $31 \times \text{two (2)} = 62$ 	64
Replacement Trees Proposed	15 (includes 2 undersized retained trees)
Replacement Trees in Deficit	49
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	5
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\underline{\quad} \times \text{one (1)} = 0$ - All other Trees Requiring 2 to 1 Replacement Ratio $5 \times \text{two (2)} = 10$ 	10
Replacement Trees Proposed	NA
Replacement Trees in Deficit	10

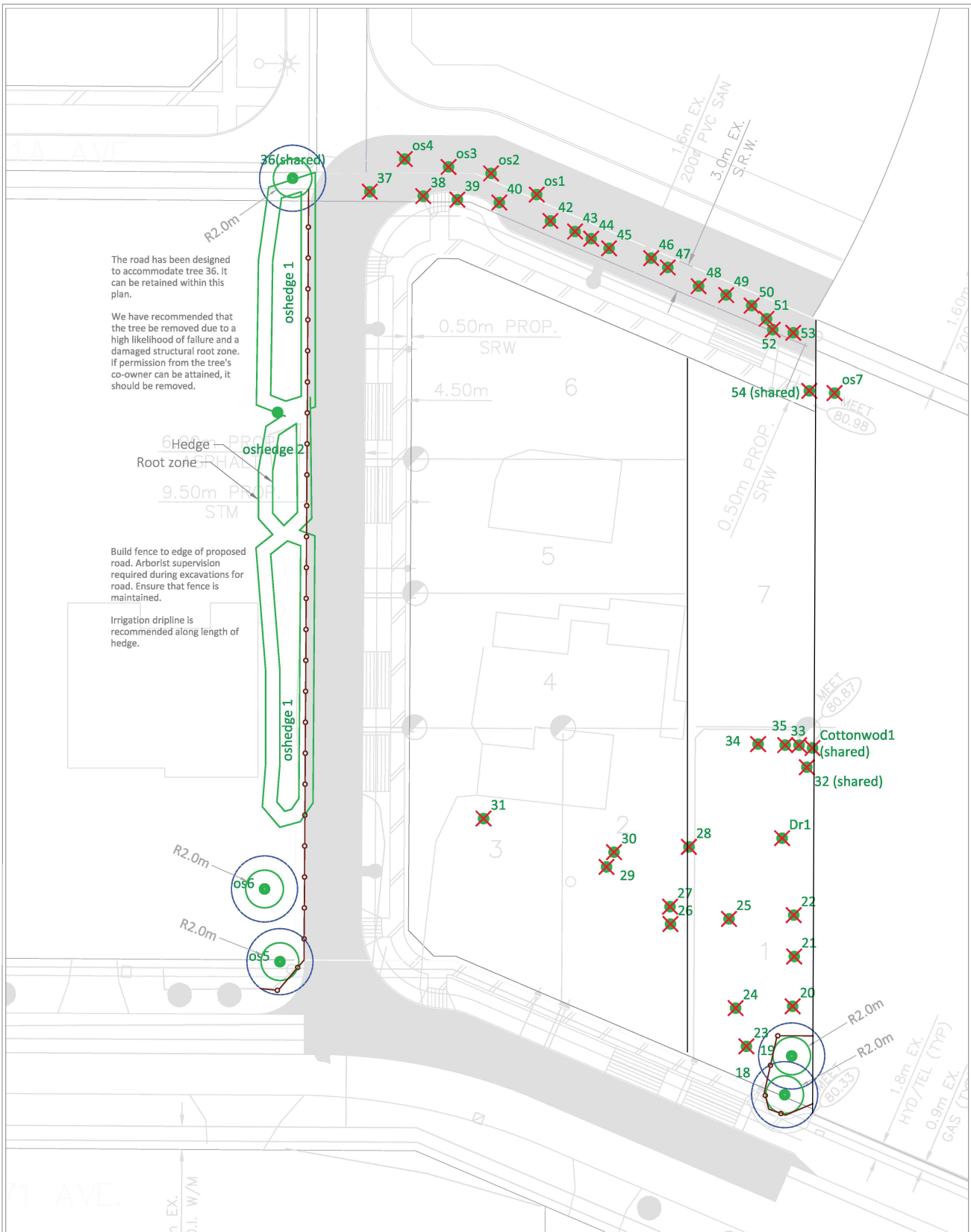
Summary prepared and
submitted by:

Arborist



September 13, 2018

Date



The road has been designed to accommodate tree 36. It can be retained within this plan.

We have recommended that the tree be removed due to a high likelihood of failure and a damaged structural root zone. If permission from the tree's co-owner can be attained, it should be removed.

Hedge
Root zone

9.50m PROP. STM

Build fence to edge of proposed road. Arborist supervision required during excavations for road. Ensure that fence is maintained.

Irrigation dripline is recommended along length of hedge.

LEGEND

- CRITICAL ROOT ZONE
- NO-BUILD ZONE
- TREE PROTECTION ZONE AND FENCE
- TREE TO BE RETAINED
- UN-SURVEYED TREE
- ✕ TREE TO BE REMOVED

REFERENCE DRAWINGS

1. Base Survey by:

NOTES

1. The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
2. All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.
3. The tree protection zone shown is a graphical representation of the critical root zone, measured from the

4. outer edge of the stem of the tree. (½ the trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)
4. No work is permitted within the Tree Protection Zone with the exception of swales. Swale construction is only permitted under the direct supervision of an arborist.
5. The 1.5m area No Build Zone does not allow for any building foundation wall encroachment. Excavation is permitted within this area under the direct supervision of an arborist.

6. Drainage works such as lawn basins, associated piping or services are permitted within the No Build Zone under the direct supervision of an arborist.
7. This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).
8. This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.



3559 COMMERCIAL STREET
VANCOUVER BC | V5N 4E8
T 604.733.4886 | F 604.733.4879

Drawing title: Tree Management Plan
Project address: 19339 71 Avenue
Client: Grewal Sukhdev c/o HY Engineering

Drawing No: 1
Date: 2018/09/12
Drawn by: MH
Page Size: TABLOID 11"x17"

Page #
1 of 1



#19369
26

PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	COMMENTS
	<i>Cercidiphyllum japonicum</i>	Katsura	5	6 cm. cal	As shown	B. & B.
	<i>Acer griseum</i>	Paperbark maple	4	6 cm. cal	As shown	B. & B.
	<i>Picea omorika</i>	Serbian spruce	4	3.0 meters	As shown	B. & B.

PLANTING STANDARDS

All planting works should be done in accordance with the current edition of Canadian Landscape Standards.
Tree Replacement symbols are not shown to scale, and the tree may not be planted in the exact location shown.

LEGEND TREE PROTECTION ZONE TREE PROTECTION FENCE TREE TO BE RETAINED UN-SURVEYED TREE

NOTES

- The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
- All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.
- The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. (The trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)
- Any construction activities or grade changes within the tree protection zone must be approved by the project arborist.
- This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).
- This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.

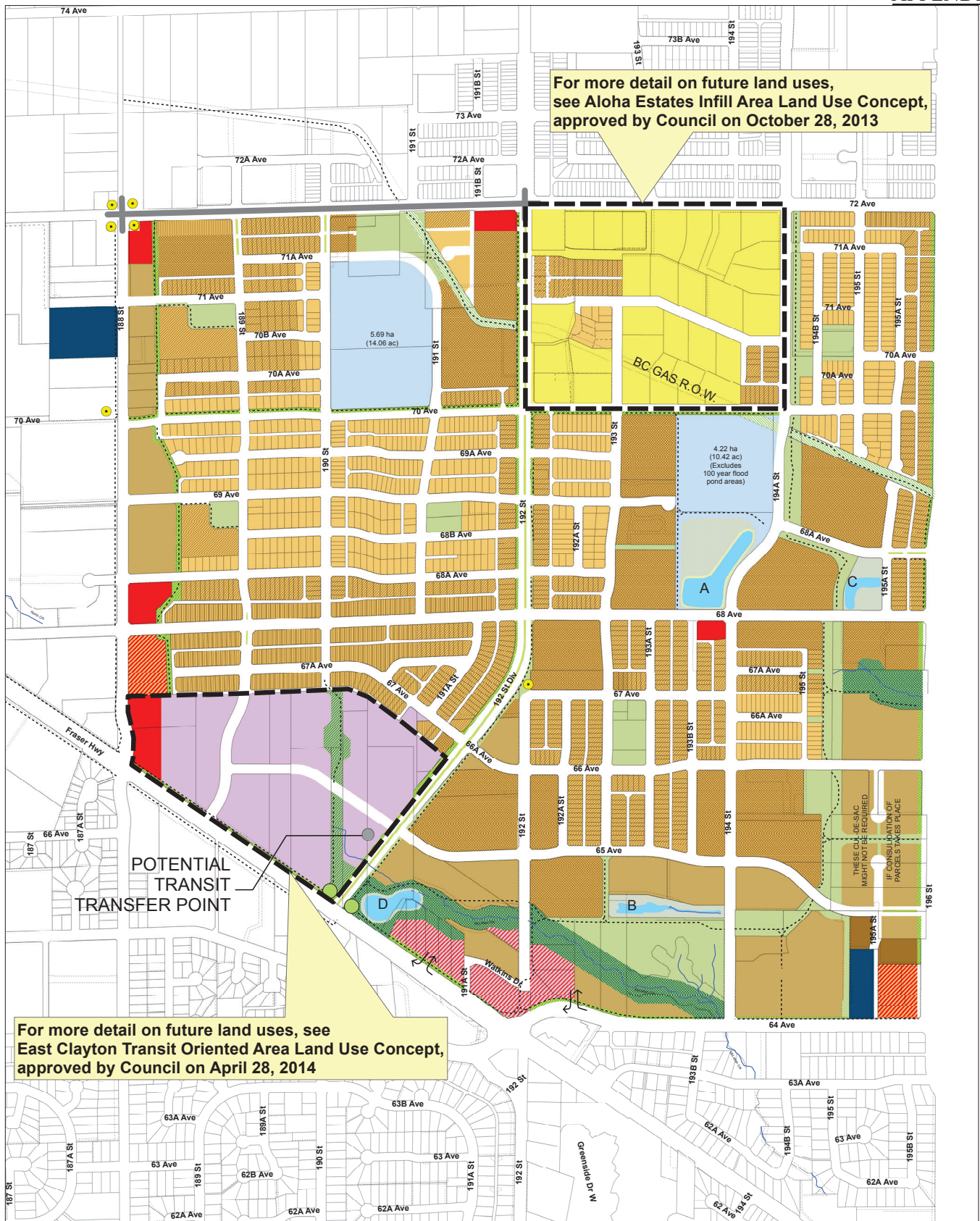


3551 COMMERCIAL STREET
VANCOUVER BC | V5N 4E8
T 604.733.4886 | F 604.733.4879

Drawing title: Tree Replacement Plan
Project address:
Client:

Drawing No: 001
Date: yyyy/mm/dd
Drawn by: LF
Page Size: TABLOID 11"x17"

Page #
1 of 1

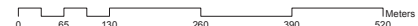


For more detail on future land uses, see Aloha Estates Infill Area Land Use Concept, approved by Council on October 28, 2013

For more detail on future land uses, see East Clayton Transit Oriented Area Land Use Concept, approved by Council on April 28, 2014

- | | | |
|------------------------------------|---|--|
| Half Acre Residential | Commercial / Residential | Natural Area |
| 6-10 u.p.a. (Low Density) | Specialty Community - Oriented Commercial | Public Open Space / Park |
| 10-15 u.p.a. (Medium Density) | Utility - Open Space | Open Space / Park on Private Property |
| 10-15 u.p.a. Special Residential | Institutional (church, schools, civic buildings, seniors housing, etc.) | Special Setback and Landscaping Buffers (landscaped area on private property) |
| 15-25 u.p.a. (Medium-High Density) | Storm Water Ponds (100 year flood event) | Urban Landmark / Reference Point |
| 22-45 u.p.a. (High Density) | Storm Water Pond on Private Property | Neighbourhood Gateway Feature |
| 30-70 u.p.a. (High Density) | School & Park | Multi Use Pathway on Public Land or on Private Property with Public Use R.O.W. |
| Business Park | Riparian Protection Area | |
| Neighbourhood Commercial | | |

EAST CLAYTON LAND USE PLAN
CITY OF SURREY - PLANNING & DEVELOPMENT DEPARTMENT





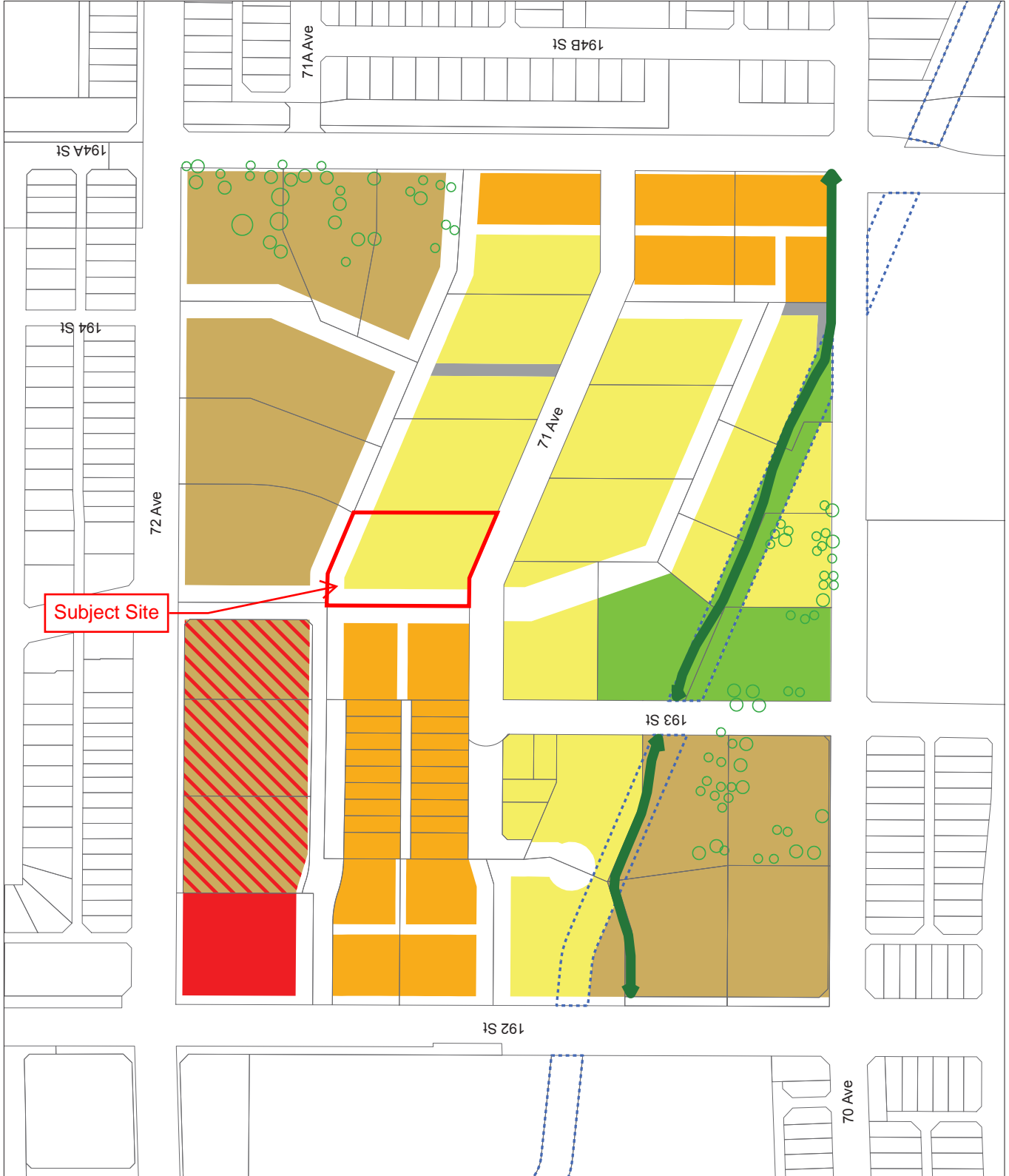
Approved by Council: 19 April 2017

ALOHA ESTATES

Infill Area Land Use Concept

Legend

- Multi-Use Pathways
- Commercial
- Park
- Walkways
- New Roads and Lanes
- Single Family Front Accessed (6-10 upa)
- Single Family Lane Accessed (10-12 upa)
- Townhouse (20-25 upa)
- Townhouse (20-25 upa) or Townhouse and Commercial
- Significant Tree Clusters





Cloverdale Community Association

Website: www.cloverdalecommunity.org

May 30, 2018

Christopher Lumsden
City of Surrey
Planning and Development Department
13450-104 Avenue
Surrey BC V3T 1V8

Re: 7916-0198-00 / 19339-71 Avenue

Dear Mr. Lumsden:

The Cloverdale Community Association (CCA) has received the preliminary notice for the proposed development noted above.

We would like to create a balanced, sustainable neighbourhood moving forward and therefore, we require the following concerns/comments addressed and/or adhered to:

1. We would like to see all the roads widened to accommodate sidewalks on both sides, Green Boulevard with trees and grass and double-sided parking.
2. If the builder/developer is planning on building secondary suites then we would like to see gravel parking pads installed on each lot. Homeowners do not allow their tenants to use the driveway because they want to be able to take their car out from the garage without having to disturb the tenants every time.
3. We would like all garage sizes **regardless** of the zoning to be **at least** 6.4m deep x 6.1m wide to accommodate larger vehicles even though the City's minimum standard dimensions maybe less than what we have requested above.
4. We are also requesting a restrictive covenant to be placed on all the lots to ensure that the garage sizes, parking pads (if any) and their locations do not change or **purposely get skipped after the project receives final approval**. If a restrictive covenant is not possible, we request that the final building scheme documentation include our requirements as noted in this letter.

Please note, the developer for this project has not consulted with the association like others have done so in the past and therefore we are responding directly to the City of Surrey's preliminary notice received in the mail or by email.

Please keep us updated with any changes which may occur after this letter has been received by you.



Cloverdale Community Association

Website: www.cloverdalecommunity.org

We trust the above information is satisfactory and as always, we expect our comments to be added in the planning report and project file for council to review.

Thank you.

Sincerely,

Mike Bola
President
Cloverdale Community Association
604-318-0381

Cc: Board of Directors

