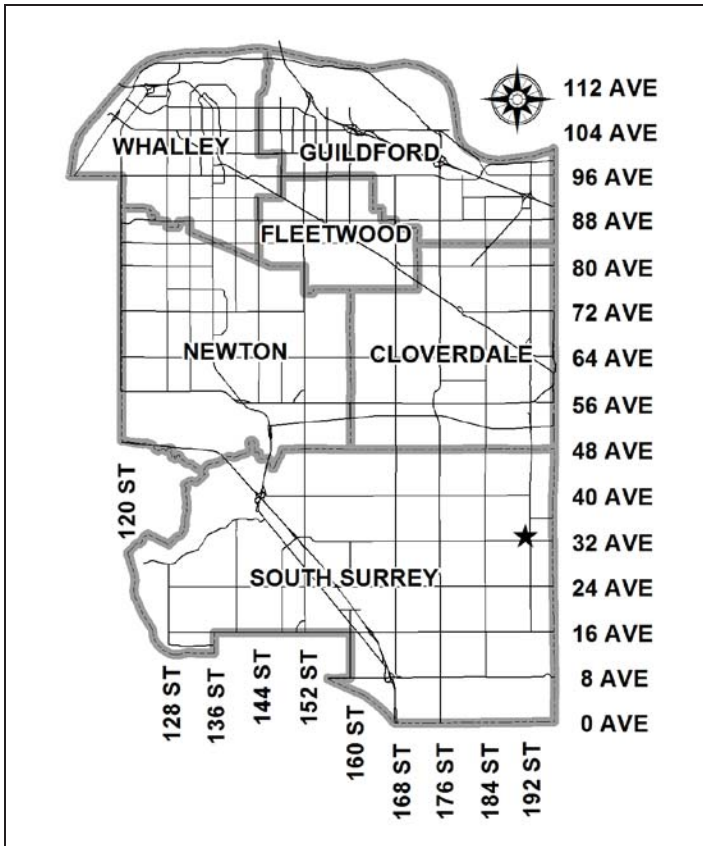


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0184-00

Planning Report Date: July 25, 2016



PROPOSAL:

- **Development Permit**
 to permit the development of an industrial building.

LOCATION: 191st - 33 Avenue

OWNER: Brisk Holdings Inc.

ZONING: CD (By-law Nos. 17146 & 17934)

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Business Park



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with the "Mixed Employment" designation in the Official Community Plan (OCP) and the "Business Park" designation in the Campbell Heights Land Use Plan (LAP).
- The proposed density and building form are appropriate for this part of Campbell Heights and is consistent with the design guidelines outlined in the general Development Permit and Design Guidelines for Campbell Heights North.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7916-0184-00 generally in accordance with the attached drawings (Appendix II).
2. Council instruct staff to resolve the following issues prior to final approval:
 - (a) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Vacant industrial land.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North:	Vacant industrial land	Mixed Employment/ Business Park	CD (Bylaw Nos. 17146 and 17934)
East:	Existing industrial development for Northwest Sheet Metal, approved under Development Application No. 7914-0157-00.	Mixed Employment/ Business Park	CD (Bylaw Nos. 17146 and 17934)
South (Across 33 Avenue):	Vacant industrial land	Mixed Employment/ Business Park	CD (Bylaw Nos. 17146 and 17934)
West:	Existing industrial development for Pacific Point Seafoods, approved under Development Application No. 7912-0063-00.	Mixed Employment/ Business Park	CD (Bylaw Nos. 17146 and 17934)

DEVELOPMENT CONSIDERATIONS

Context

- The site is designated "Mixed Employment" in the Official Community Plan (OCP) and "Business Park" in the Campbell Heights Local Area Plan (LAP).
- In June 2012, the site was rezoned from "General Agricultural Zone (A-1)" to "Comprehensive Development Zone (CD)" under By-law No. 17146 (Development Application No. 7910-0032-00). In June 2013, CD By-law No. 17146 was amended (under By-law No. 17934) to adjust the outdoor storage area boundaries (Development Application No. 7912-0160-00). The site was subdivided as part of the Campbell Heights North Phase 1 (Development Application No. 7910-0179-00).
- CD By-law No. 17146, as amended by By-law 17934, permits light impact industry, warehouse uses, distribution centres, transportation industry, office uses, and other accessory uses, forming part of a comprehensive design.
- Under the original rezoning and subdivision applications, the site was cleared and serviced for development. There are no existing trees or vegetation on the site.

Proposal

- The proposed Development Permit (DP) will permit an industrial building for Ensol Systems on the subject site. Ensol Systems uses clean energy technologies, such as solar power, to develop solutions for remote power, surveillance, communications and safety for the oil and gas industries as well as law enforcement agencies. Ensol Systems has built relationships with the Surrey RCMP and with other local municipal law enforcement agencies, supplying them with equipment used to support investigations and promote public safety.
- The proposed development includes a total floor area of 1,795 square metres (19,320 square feet) with a proposed building height of 9.8 metres (32 feet), representing a net Floor Area Ratio (FAR) of 0.35.
- The form, character and density of the proposed development complies with the Campbell Heights Local Area Plan (LAP) and the proposed development meets the requirements of the CD By-law No. 17146, as amended by By-law No. 17934, including floor area, lot coverage, building height and building setbacks.
- The proposal includes a total of 29 parking stalls, meeting the requirements of the Zoning By-law of 27 parking stalls.
- One (1) vehicular access is proposed to the site from 33 Avenue. This access will provide access for both trucks and passenger vehicular traffic.
- The proposed truck bays are located at the rear of the building, away from street view.

PRE-NOTIFICATION

- A development proposal sign was posted on the site and the project was referred to the Little Campbell Watershed Society (LCWS) for review and comment. The LCWS had no concerns with the proposal.

DESIGN PROPOSAL AND REVIEW

- The proposed building is consistent with the design guidelines outlined in the Campbell Heights North Design Guidelines and the Official Community Plan (OCP), and is reflective of the existing standards within the area. The development concept behind Campbell Heights is a high quality, sustainable industrial business park.
- The building is proposed to be located facing 33 Avenue, with a building setback of 22.6 metres (74 feet), exceeding the Zoning requirements of 16 metres (52.5 feet). Majority of the parking is proposed at the front of the building, consistent with neighbouring sites, with some additional parking for staff proposed at the rear of the building.
- Overall, the building is proposed to have a modern linear appearance. Architectural emphasis is placed on the main entrance facing 33 Avenue with the use of glazing and articulation to provide visual interest. The main entrance will provide "eyes on the street" in accordance with Crime Prevention Through Environmental Design (CPTED) principles.
- The proposed building construction is a combination of concrete tilt up and tinted glazing as the main cladding materials, with pre-formed metal flashing and a steel canopy as accent materials. The colour scheme proposed is grey and white.
- The proposed stormwater management plan is provided in the form of a bioswale that will be located on 33 Avenue. The bioswale demonstrates the requirement in Campbell Heights North to accommodate on-site storm water in a sustainable manner and meets the requirements of the Engineering Department.
- One pedestrian linkage is proposed on 33 Avenue, connecting the sidewalk and the main entrance of the proposed building. A bench and bike racks are proposed at the front of the building.
- The proposed landscaping on 33 Avenue consists of a 4.0 m (13 ft.) wide landscaped area to complement the existing landscaping on the adjacent sites. The proposed landscaping will consist of: Vine Maple and Autumn Brilliance Serviceberry trees. This will be complemented by a variety of shrubs, and ground cover including: Dwarf Red Twig Dogwood, Savin Juniper, Emerald Green Cedar, Bearberry, Red Fox Sedge, Stella D'oro Daylily and Taper-Tipped Sedge.
- The proposed signage consists of one (1) upper storey fascia sign, and one (1) free standing sign. Both signs consist of individual channel letters and are of an appropriate scale to the size of the building.

- The free standing sign is proposed to be located near the entrance to the development on 33 Avenue. It is proposed to be 1.8 metres (6 feet) high, constructed using a concrete tilt up panel with a painted vertical panel to match the proposed building. The height of the proposed individual channel letters is 0.40 centimetres (16 inches) with a copy area of 0.44 square metres (4.7 square feet).
- A fascia sign is proposed to be located on the upper storey and consists of 1.2 metres (4 feet) high individual channel letters with a copy area of 4.8 square metres (51 square feet).
- The proposed signage complements the existing signage on neighboring buildings and meets the requirements of the Sign By-law.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on April 27, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is located in the Campbell Heights LAP and the proposed development is reflective of the land use designation.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed density and FAR is in keeping with the Zoning By-law.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Low impact development standards (LIDs) are incorporated in the design of the project including: <ul style="list-style-type: none"> ○ Absorbent soils (minimum 300 mm in depth); ○ Bioswales; ○ Sediment control devices; and ○ Permeable pavement/surfaces.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • Bicycle parking will be provided on site.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • Crime Prevention Through Environmental Design (CPTED) principles have been incorporated in the following manner: <ul style="list-style-type: none"> ○ Natural access control by clearly defining entries to the building; and ○ Exterior lighting of the building providing visibility on the site.
6. Green Certification (F1)	<ul style="list-style-type: none"> • Meets ASHRAE 90.1 standards.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • N/A

ADVISORY DESIGN PANEL

- The application was not referred to the Advisory Design Panel (ADP), but was reviewed by City Staff and found to be satisfactory. The proposed development was evaluated based on compliance with the design guidelines for Campbell Heights North and the OCP.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- | | |
|---------------|--|
| Appendix I. | Lot Owners, Action Summary and Project Data Sheets |
| Appendix II. | Site Plan, Building Elevations, Landscape Plans |
| Appendix III. | Engineering Summary |

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

CL/ar

DEVELOPMENT DATA SHEET

Existing Zoning: CD

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		5,198 sq.m.
Road Widening area		
Undevelopable area		
Net Total		5,198 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage		35%
SETBACKS (in metres)		
Front (33 Avenue)	16.0 m	22.6 m
Rear	7.5 m	9.0 m
Side #1 (East)	7.5 m	9.4 m
Side #2 (West)	0.0 m	0.0 m
BUILDING HEIGHT (in metres/storeys)		
Principal	14.0 m	9.8 m
Accessory	6.0 m	2.0 m
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		1,795 sq.m.
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		1,795 sq.m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	1.00	0.35
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		
Industrial	18	19
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Future 2 nd Floor Office/Mezzanine (372 sq.m.)	9.3	10
Total Number of Parking Spaces	27	29
Number of disabled stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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1 SOUTH PERSPECTIVE
SCALE



2 SOUTH EAST CORNER
SCALE



3 NORTH WEST PERSPECTIVE
SCALE



4 SOUTH EAST PERSPECTIVE
SCALE



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NO.	DATE	DESCRIPTION
1	20180302	CLIENT REVIEW
2	20180414	REVISED FOR CIP
3	20180502	REVISED FOR CIP
4	20180520	REVISED FOR CIP
5	20180708	REVISED FOR CIP

SCALE AND REVISIONS

larry podhora / architect
162 BRACKEN WAY, NORTH SAANICH, B.C. V8L 6C2

PROJECT NAME
PROPOSED BUILDING FOR ENSOL SYSTEMS

PROJECT ADDRESS
19131 - 33rd AVENUE, SURREY, BC

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PERSPECTIVES

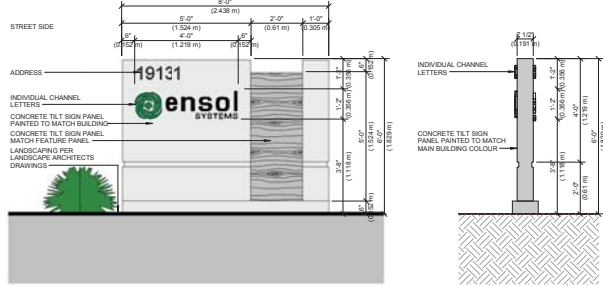
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CHECKED BY
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2 CONTEXT PLAN
SCALE: 1" = 160'-0"



3 SIGNAGE DETAIL
SCALE: 1/2" = 1'-0"

4 SIGN SECTION
SCALE: 1/2" = 1'-0"

PROJECT DATA
 CIVIC ADDRESS: 19131 - 33rd AVENUE, SURREY, BC
 LEGAL ADDRESS: LOT 10 SECTION 28 TOWNSHIP 7 PLAN RCP67053 NWD
 ZONING: COMPREHENSIVE DEVELOPMENT ZONE (CD) & LIGHT IMPACT INDUSTRIAL ZONE (LI)
 BUILDING USE: BUILDING CLASSIFICATION
 GROSS BUILDING AREA: 55,947 SQ FT (5,197.6 SQ M)

ZONING BY-LAW ANALYSIS (CITY OF SURREY)

- ZONING:** COMPREHENSIVE DEVELOPMENT ZONE (CD)
- SITE AREA:** 55,947 SQ FT (5,197.6 SQ M)
- SITE COVERAGE:** TOTAL SITE AREA: 55,947 SQ FT (5,197.6 SQ M)
 ALLOWABLE SITE COVERAGE: 60% (33,568 SQ FT (3,118.6 SQ M))
 BUILDING AREA: 19,320 SQ FT (1,784.89 SQ M)
 PROPOSED SITE COVERAGE: (BUILDING AREA / SITE AREA) x 100% = 34.54%
 FLOOR SPACE RATIO: (TOTAL FLOOR AREA / SITE AREA) x 100% = 34.54%
- BUILDING HEIGHT:** MAXIMUM HEIGHT: 54'-11 3/16" (16.5 M)
 PROPOSED HEIGHT: 31'-0" (9.75 M)
- REQUIRED SETBACKS:** FRONT YARD (SOUTH): 52'-0" (15.9 M)
 SIDE YARD (EAST): 25'-0" (7.6 M)
 SIDE YARD (WEST): 0'-0" (0.0 M)
 REAR YARD (DIRECTION): 25'-0" (7.6 M)

* ONE SIDE YARD SETBACK SHALL BE 7.5M (25'-0") OR 0.6m IF THE SAID SIDE YARD ABUTS LAND WHICH IS COMMERCIAL OR INDUSTRIAL.

6. LANDSCAPING REQUIREMENTS: SEE LANDSCAPING ARCHITECT DRAWINGS

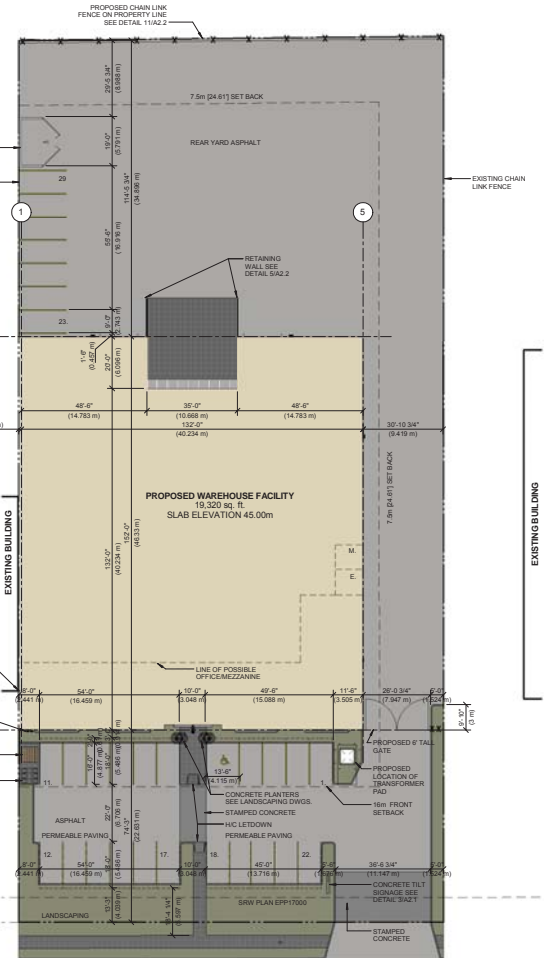
7. PARKING AND LOADING:

- LIGHT INDUSTRIAL/INDUSTRIAL:**
 LIGHT INDUSTRIAL/INDUSTRIAL: 19,320 / 1,075 = 17.97
 WAREHOUSE: 4,000 / 1,075 x 2.5 = 9.30 (ESTIMATE)
 FUTURE OFFICE (~20% BUILD OUT)
- 28 STALLS REQUIRED**
- ACCESSIBLE STALLS REQUIRED:** 1 ACCESSIBLE STALLS REQUIRED
- LOADING STALLS REQUIRED:** 2 STALLS REQUIRED
- DRIVE AISLE WIDTH:** 23'-0" (7.5 M) AT 90°
- STANDARD STALL DIMENSIONS:** 9'-0" (2.75 M) WIDE, 18'-0" (5.5 M) LONG
- ACCESSIBLE STALL DIMENSIONS:** 12'-0" (3.7 M) WIDE, 16'-0" (4.9 M) LONG
- SMALL CAR STALL DIMENSIONS:** 8'-0" (2.4 M) WIDE, 16'-0" (4.9 M) LONG
- LOADING STALL DIMENSIONS:** 13'-0" (4.0 M) WIDE, 30'-0" (9.2 M) LONG
- TOTAL STALLS PROVIDED:**
 28 STANDARD STALLS
 1 ACCESSIBLE STALLS
 0 SMALL CAR STALLS

8. BICYCLE PARKING: SEE ZONING BY-LAWS PART 5 D 2.1.1

9. SIGNAGE: FREE STANDING SIGN: 48 SQ FT COPY AREA

FASCIA SIGN: SIGN AREA: N/A COPY AREA: 51.33 sq ft.



1 SITE PLAN
SCALE: 1" = 20'-0"

33rd AVENUE



NOT FOR CONSTRUCTION

- 1 - 20190708 - RE-ISSUED FOR CP
- 4 - 20190920 - RE-ISSUED FOR CP
- 3 - 20190918 - RE-ISSUED FOR CP
- 2 - 20190414 - ISSUED FOR CP
- 1 - 20190322 - CLIENT REVIEW
- NO. DATE YRMS DESCRIPTION

ISSUES AND REVISIONS

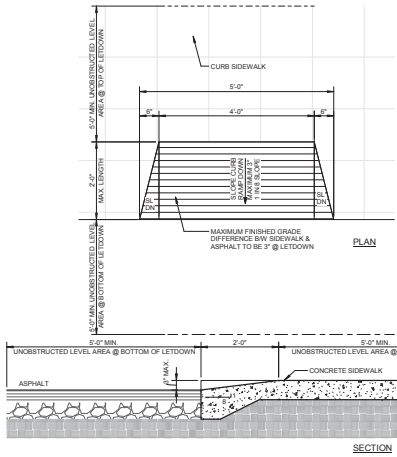
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larry podhora / architect
 165 BRACKEN WAY, NORTH SAUNDERS B.C. V6L 6C2
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 PROJECT ADDRESS: 19131 - 33rd AVENUE, SURREY, BC

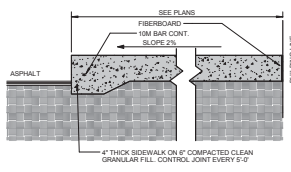
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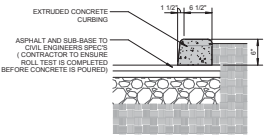
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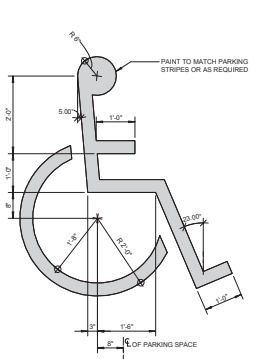
1 H/C LETDOWN / CURB RAMP
SCALE: 3/4" = 1'-0"



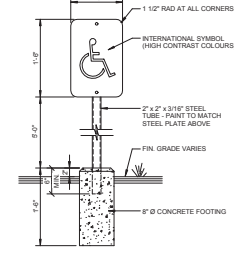
6 SIDEWALK
SCALE: 1 1/2" = 1'-0"



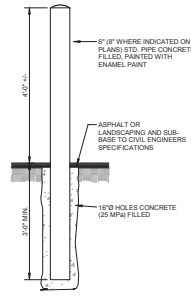
7 EXTRUDED CURB
SCALE: 1 1/2" = 1'-0"



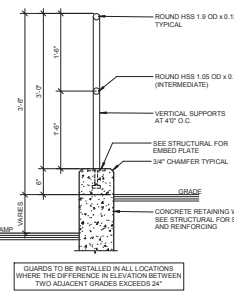
2 H/C SIGN PAINTED
SCALE: 3/4" = 1'-0"



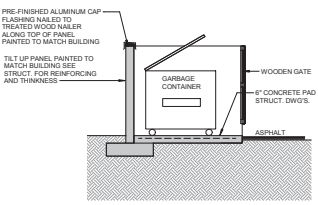
3 POST MOUNTED H/C SIGN
SCALE: 3/4" = 1'-0"



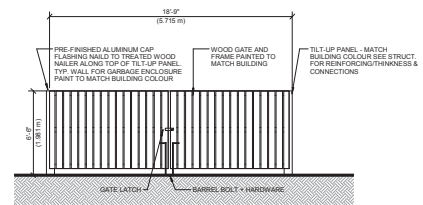
4 BOLLARD DETAIL
SCALE: 3/4" = 1'-0"



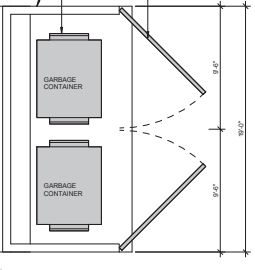
5 RETAINING WALL GUARDRAIL
SCALE: 1" = 1'-0"



8 GARBAGE ENCLOSURE SECTION
SCALE: 1/4" = 1'-0"



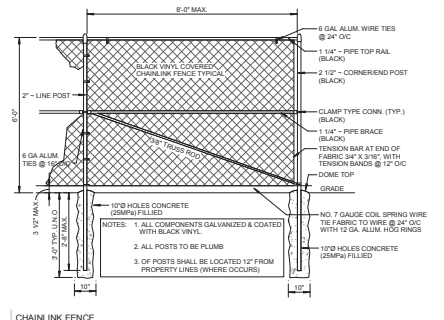
9 GARBAGE ENCLOSURE FRONT ELEVATIONS
SCALE: 1/4" = 1'-0"



10 GARBAGE ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"

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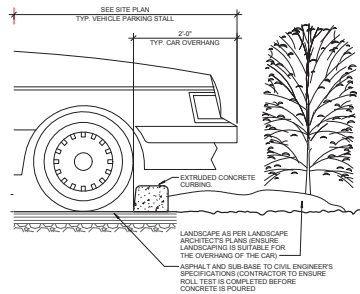
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11 CHAINLINK FENCE
SCALE: 1/2" = 1'-0"



12 ENLARGED SUNSHADE PERSPECTIVE
SCALE



13 CAR OVERHANG @ LANDSCAPING
SCALE: 1" = 1'-0"



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 165 BRACKEN WAY, SOUTH SAUNDY, B.C. V6L 0C2

PROPOSED BUILDING FOR ENSOL SYSTEMS

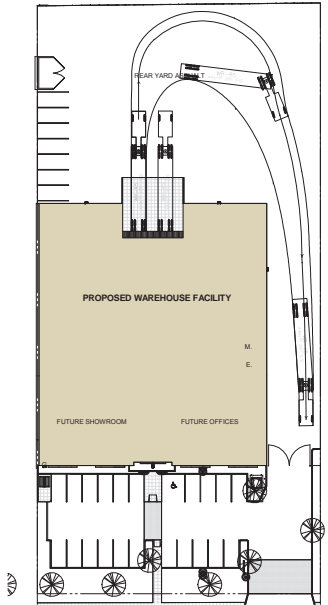
19131 - 33rd AVENUE, SURREY, BC

SITE DETAILS

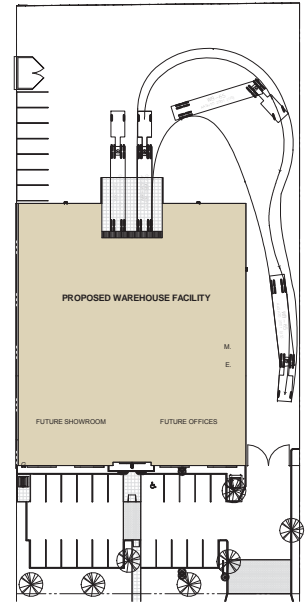
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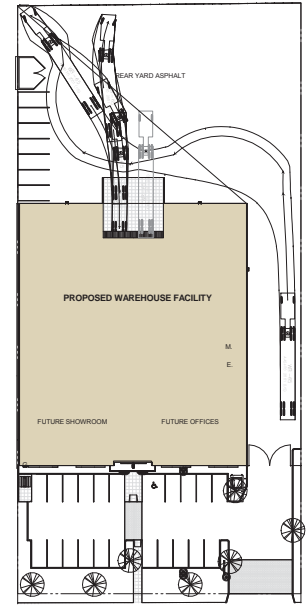
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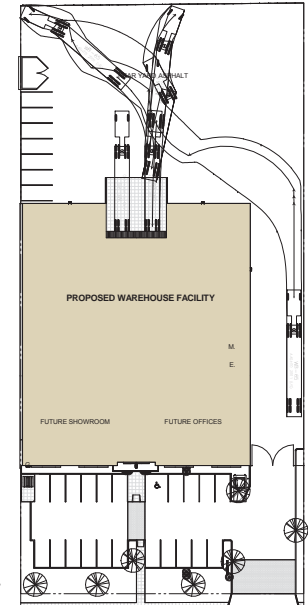
4 WEST BAY PULL OUT
SCALE: 1" = 30'-0"



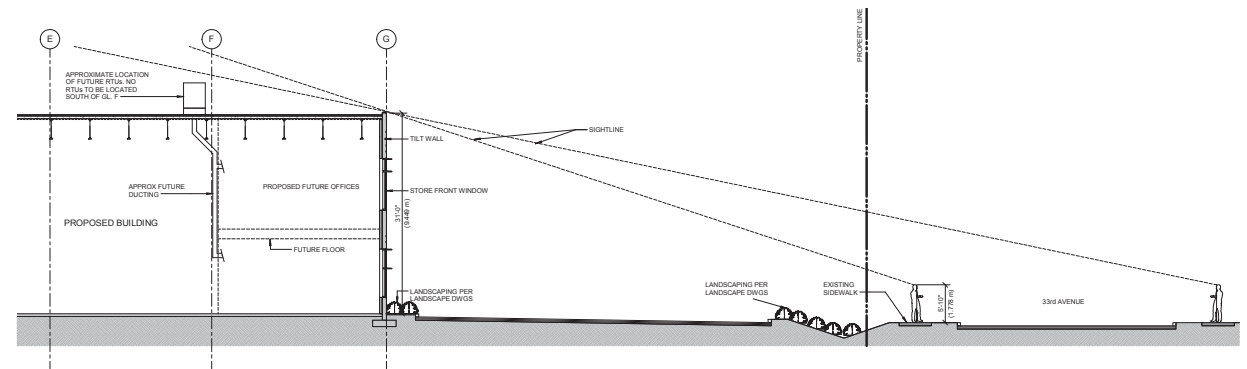
3 EAST BAY PULL OUT
SCALE: 1" = 30'-0"



1 WEST BAY
SCALE: 1" = 30'-0"



2 EAST BAY
SCALE: 1" = 30'-0"



5 SITE SECTION
SCALE: 1/8" = 1'-0"

Krahn
GROUP OF COMPANIES

ABBOTSFORD OFFICE
100-1000 ALBERTA AVENUE, ABBOTSFORD B.C., V3G 2G4
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100-1000 ALBERTA AVENUE, EDMONTON AB, T5A 1W8
T: 780.440.1000 F: 780.440.1001 WWW.KRAHN.COM

VANCOUVER OFFICE
100-1000 ALBERTA AVENUE, VANCOUVER B.C., V6A 4Y3
T: 604.266.8822 F: 604.266.8823 WWW.KRAHN.COM

INTEGRATED
CONSTRUCTION

ensol
SYSTEMS

NOT FOR
CONSTRUCTION

NO.	DATE	BY	DESCRIPTION
5	20190708	MS	ISSUED FOR CP
4	20190520	MS	ISSUED FOR CP
3	20190418	MS	ISSUED FOR CP
2	20190414	MS	ISSUED FOR CP
1	20190320	MS	CLIENT REVIEW
0	DATE	NAME	DESCRIPTION

ISSUES AND REVISIONS

SCALE

larry podhora / architect
160 BRACKEN WAY, NORTH SAWSHILL B.C. V6L 0Z2

PROJECT NAME
PROPOSED BUILDING FOR ENSOL SYSTEMS

PROJECT ADDRESS
19131 - 33RD AVENUE, SURREY, BC

DRAWING TITLE
TRUCK TURNING

SCALE: As Indicated

DRAWN BY

CHECKED BY

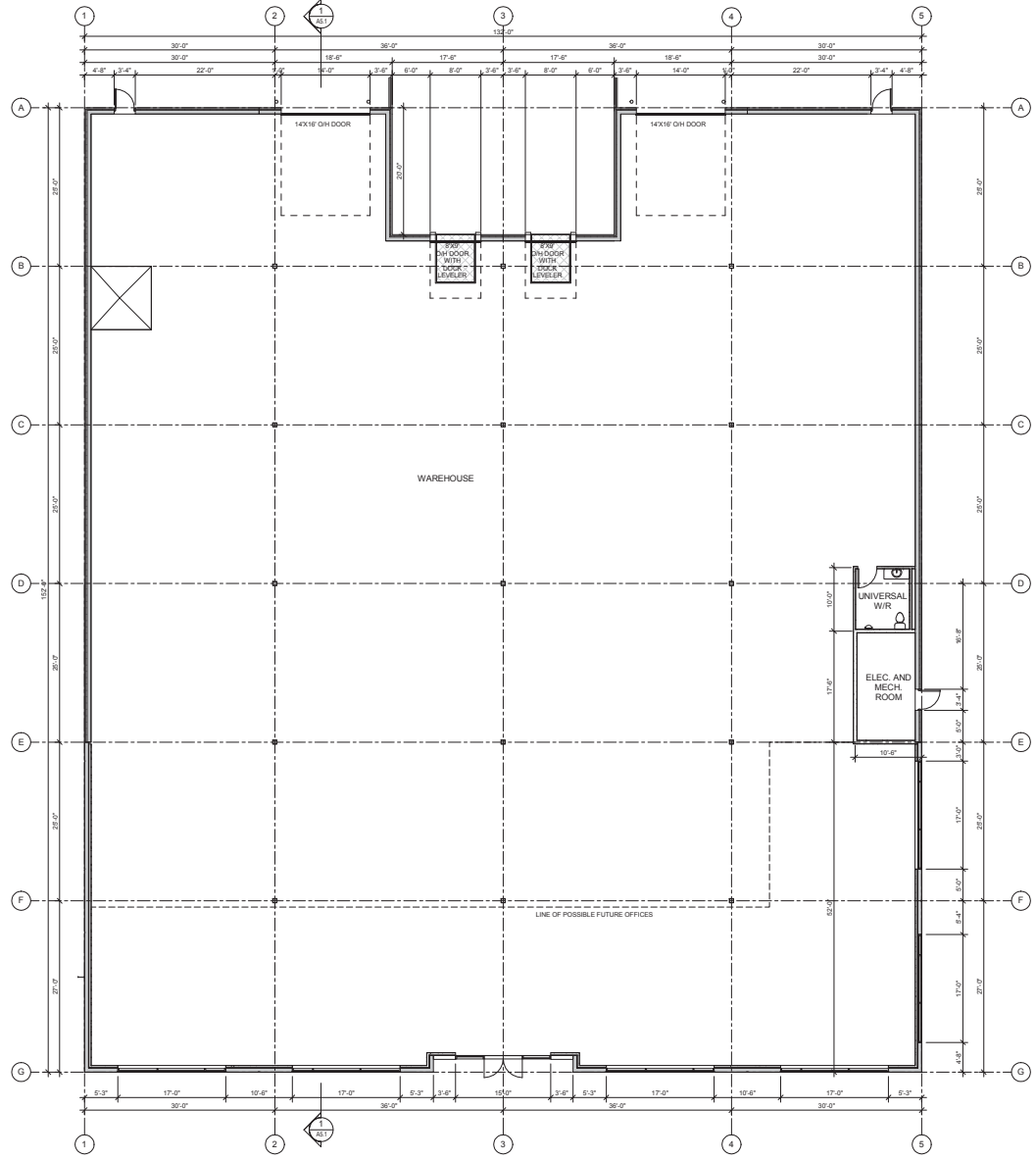
PROJECT NO. 180341

DRAWING NO.

A2.3

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C:\Users\larry.podhora\Documents\180341\180341-03-TRUCK TURNING.dwg



1 MAIN FLOOR
SCALE: 1/8" = 1'-0"

Krahn
GROUP OF COMPANIES

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100 WEST VALLEY AVENUE, ABBOTSFORD B.C., V5S 5G4
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EDMONTON OFFICE
1001, 10150 EDWARDS AVENUE, EDMONTON AB, T5L 1W8
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VANCOUVER OFFICE
300-100 WESTERN STREET, VANCOUVER B.C., V6K 4Y3
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NO.	DATE	BY	DESCRIPTION
5	20160708	MS	ISSUED FOR DP
4	20160320	MS	ISSUED FOR DP
3	20160316	MS	ISSUED FOR DP
2	20160414	MS	ISSUED FOR DP
1	20160322	MS	CLIENT REVIEW

larry podhora / architect
162 BRACKEN WAY, NORTH SAATCHI B.C. V6L 6C2

PROJECT NAME
PROPOSED BUILDING FOR ENSOL SYSTEMS

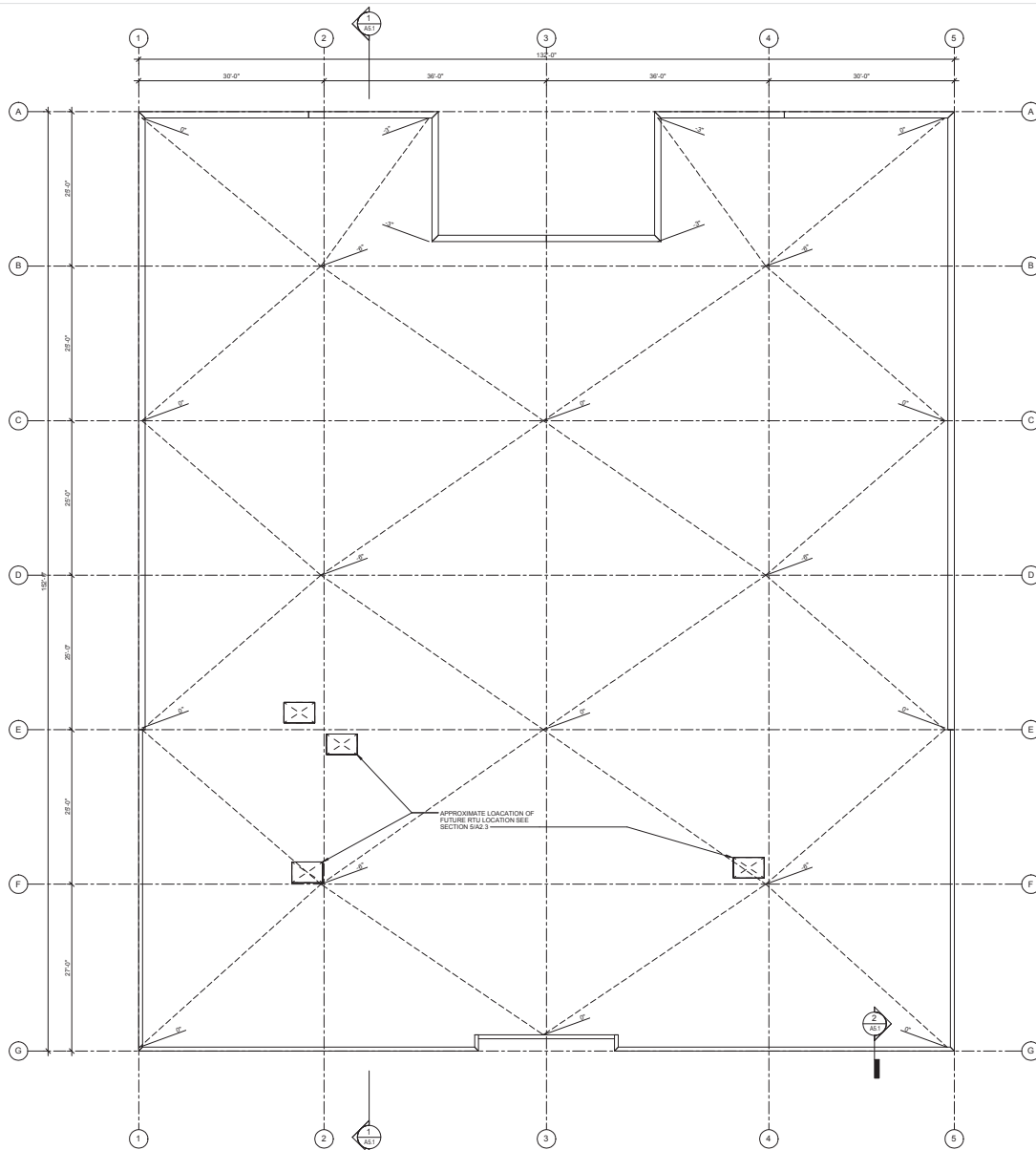
PROJECT ADDRESS
19131 - 33RD AVENUE, SURREY, BC

DRAWING TITLE
FLOOR PLANS

SCALE: 1/8" = 1'-0"
DRAWN BY: [blank]
CHECKED BY: [blank]
PROJECT NO.: 160141
DRAWING NO.: [blank]

A3.1

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1 ROOF PLAN
SCALE: 1/8" = 1'-0"

ROOF NOTES

SEE SCHEDULE DRAWING FOR ALL FLOOR, WALL, CEILING, AND ROOF ASSEMBLIES.

- DRAINAGE**
- ALL ROOF DRAINS PER MECHANICAL DRAWINGS.
 - ROOF RUN-WATER TO BE DRAINED TO STORM SYSTEM PER MECHANICAL AND CIVIL DRAWINGS AND SPECIFICATIONS.
 - POSITIVE DRAINAGE IS GENERALLY PROVIDED BY SLOPING OF STRUCTURE. ROOFING CONTRACTOR TO PROVIDE SLOPED INSULATION OR CROCKETS AT ANY LOCATIONS WHERE ASSISTANCE TO POSITIVE DRAINAGE IS REQUIRED.
 - OVERFLOW SCUPPERS AS REQUIRED AS NOTED ON PLANS. CONTRACTOR TO CONFIRM DETAILS.

- ROOFING**
- CONTRACTOR TO CONFIRM ALL ASPECTS OF ROOF DESIGN WITH QUALIFIED ROOFING CONTRACTOR/CONSULTANT.
 - WARRANTY FOR ROOFING MEMBRANE TO BE PROVIDED BY MANUFACTURER. COPY OF WARRANTY DOCUMENTATION TO BE PROVIDED TO KRAHN GROUP OF COMPANIES.
 - ELEVATIONS SHOWN ON ROOF PLANS INDICATE ELEVATION OFFSET FROM US DECK ELEVATION IN ITS RESPECTED AREA.

- ROOF OPENINGS FOR MECHANICAL EQUIPMENT**
- ALL SIZES, LOCATIONS AND OPENING ASSOCIATED WITH EQUIPMENT SHOWN ON THIS PLAN TO BE CONFIRMED WITH MECHANICAL DRAWINGS AND SUPPLIER'S SPECIFICATIONS. SUPPORTS AROUND OPENINGS TO BE CONFIRMED WITH AND PER STRUCTURAL DRAWINGS.



ABINGFORD OFFICE
 600 NORTH BAYVIEW AVENUE, ABINGFORD B.C., V2S 9J9
 T 781.461.8877 F 781.463.1887 WWW.KRAHN.COM

EDMONTON OFFICE
 1001 101 STREET NW, EDMONTON AB, T5L 1H8
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VANCOUVER OFFICE
 1601 101 AVENUE WEST, VANCOUVER B.C., V6K 4V3
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NO.	DATE	BY	DESCRIPTION
5	20160708	RE-DESIGNED FOR CP	
4	20160620	RE-DESIGNED FOR CP	
3	20160616	RE-DESIGNED FOR CP	
2	20160414	DESIGNED FOR CP	
1	20160320	CLIENT REVIEW	
NO.	DATE	BY	DESCRIPTION
REVISED AND REVISIONS			

larry podhora / architect
 162 BRACKEN WAY, NORTH SAANICH B.C. V8L 6C2

PROJECT NAME
PROPOSED BUILDING FOR ENSOL SYSTEMS

PROJECT ADDRESS
 19131 - 33RD AVENUE, SURREY, BC

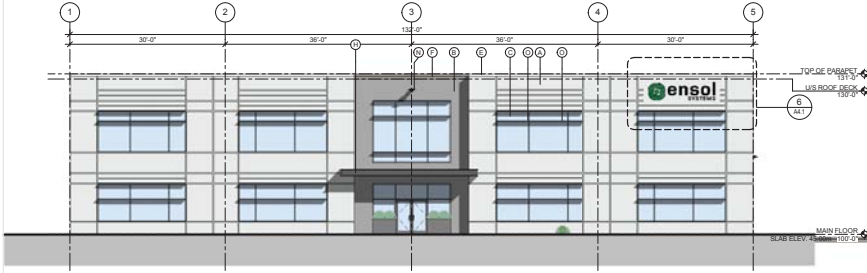
DRAWING TITLE
ROOF PLAN

SCALE: 1/8" = 1'-0"
 DRAWN BY
 CHECKED BY
 PROJECT NO. 18241
 DRAWING NO.

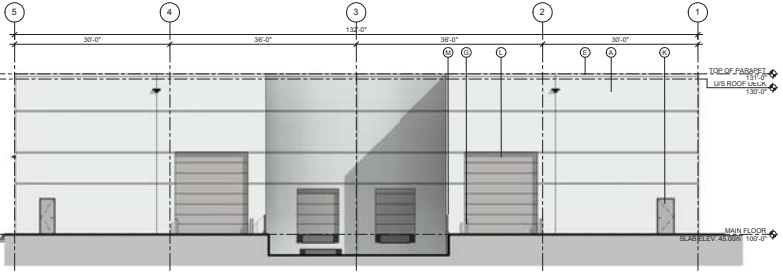
A3.3

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DATE PLOTTED: 2016/07/08 10:00:00 AM. PLOTTER: HP DesignJet 2550. PLOT FILE: C:\Users\lpodhora\Documents\18241\Roof Plan.dwg



1 | SOUTH ELEVATION
SCALE: 1" = 10'-0"

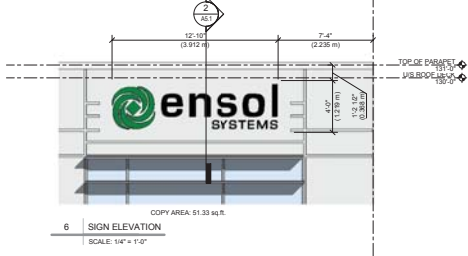


3 | NORTH ELEVATION
SCALE: 1" = 10'-0"

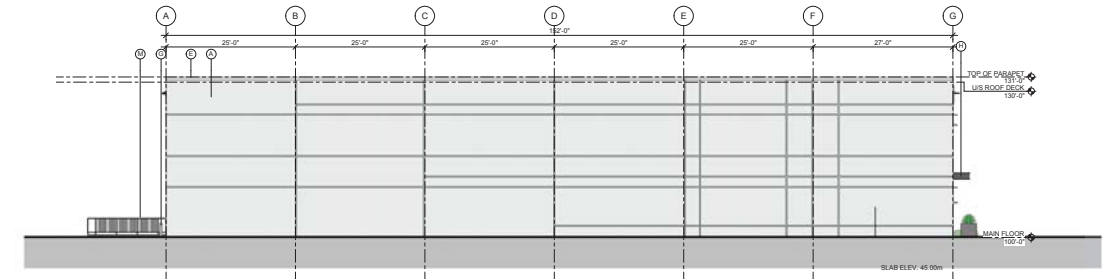
EXTERIOR FINISH LEGEND		
A	CONCRETE TILT PANEL - MAIN BUILDING COLOUR	SEE PROJECT COLOURS - C1
B	FEATURE CONCRETE TILT PANEL	NO PAINT WOODGRAIN FORMLINER
C	WINDOW GLAZING	CLEAR VISION GLASS
D	ALUMINUM MULLION	
E	PRE-FORMED METAL FLASHING	SEE PROJECT COLOURS - C2
F	PRE-FORMED METAL FLASHING	SEE PROJECT COLOURS - C3
G	CONCRETE SILL/HEAD	
H	STEEL CANOPY	
I	METAL CANOPY	SEE PROJECT COLOURS - C1
K	STEEL MAIN DOOR	SEE PROJECT COLOURS - C1
L	STEEL SH DOOR	SEE PROJECT COLOURS - C1
M	STEEL RAILING	
N	LIGHTS	
O	ALUMINUM SUN SHADE MULLION CAP	

- C1 BENJAMIN MOORE MISTY GRAY - 2124 B0
- C2 MAKIN METALS MAKIN WHITE - SRI 79
- C3 MAKIN METALS STONE GREY - SRI 52

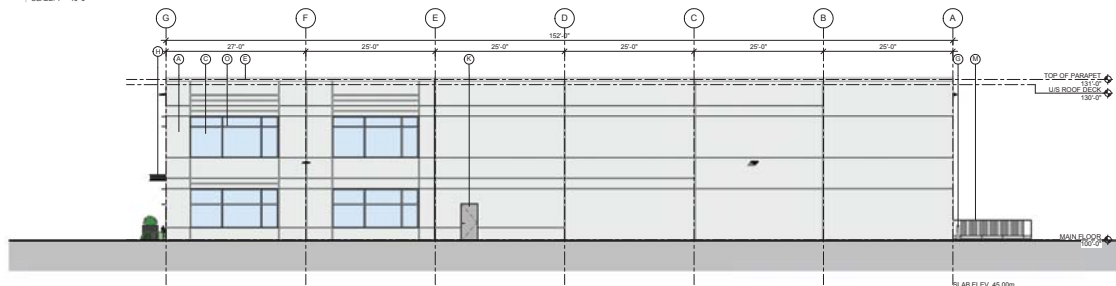
PROJECT COLOURS
SCALE: 1" = 1'-0"



6 | SIGN ELEVATION
SCALE: 1/4" = 1'-0"



2 | WEST ELEVATION
SCALE: 1" = 10'-0"



4 | EAST ELEVATION
SCALE: 1" = 10'-0"



5 | STREETSCAPE
SCALE: 1" = 20'-0"



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VANCOUVER OFFICE
1910 WEST 5TH AVENUE, VANCOUVER, B.C., V6P 1T3
T: 604.276.1910 F: 604.276.1920 WWW.KRAHN.CO.UK



NOT FOR CONSTRUCTION

- 5 | 20190709 | RE-ISSUED FOR CP
- 4 | 20190320 | RE-ISSUED FOR CP
- 3 | 20190124 | RE-ISSUED FOR CP
- 2 | 20180414 | RE-ISSUED FOR CP
- 1 | 20180222 | CLIENT REVIEW
- NO. DATE | NAME | DESCRIPTION

larry podhora / architect
162 BRACKEN WAY, NORTH SAATCHI B.C. V6L 6Z2

PROJECT NAME
**PROPOSED BUILDING
FOR ENSOL SYSTEMS**

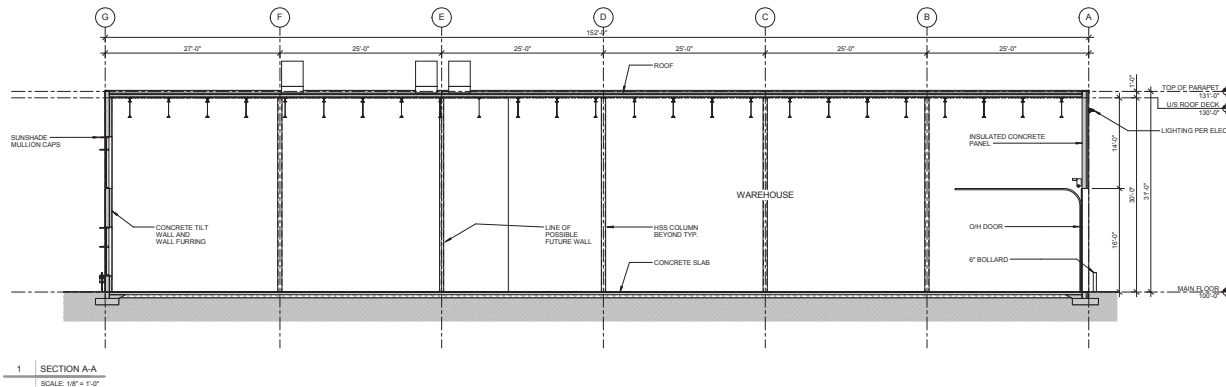
PROJECT ADDRESS
19131 - 33rd AVENUE, SURREY, BC

DRAWING TITLE
ELEVATIONS

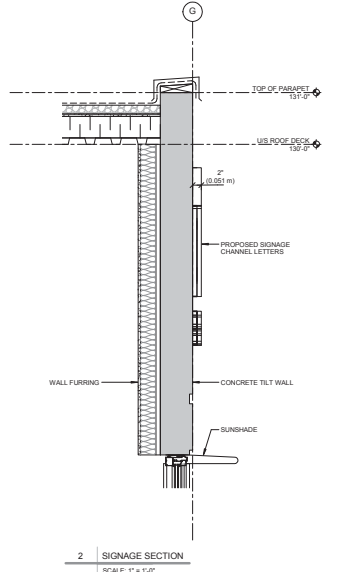
SCALE	As Indicated
DRAWN	BY
CHECKED	BY
PROJECT NO.	19241
DRAWING NO.	

A4.1

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1 SECTION A-A
SCALE: 1/8" = 1'-0"



2 SIGNAGE SECTION
SCALE: 1" = 1'-0"



NOT FOR CONSTRUCTION

NO.	DATE	REVISION
5	20160708	RE-ISSUED FOR GP
4	20160520	RE-ISSUED FOR GP
3	20160516	RE-ISSUED FOR GP
2	20160414	RE-ISSUED FOR GP
1	20160322	CLIENT REVIEW

larry podhora / architect
162 BRACKEN WAY, NORTH SAWSH, B.C. V6L 6C2

PROJECT NAME:
PROPOSED BUILDING FOR ENSOL SYSTEMS

PROJECT ADDRESS:
19131 - 33RD AVENUE, SURREY, BC

DRAWING TITLE:
BUILDING SECTIONS

SCALE: As indicated

DRAWN BY: [Signature]

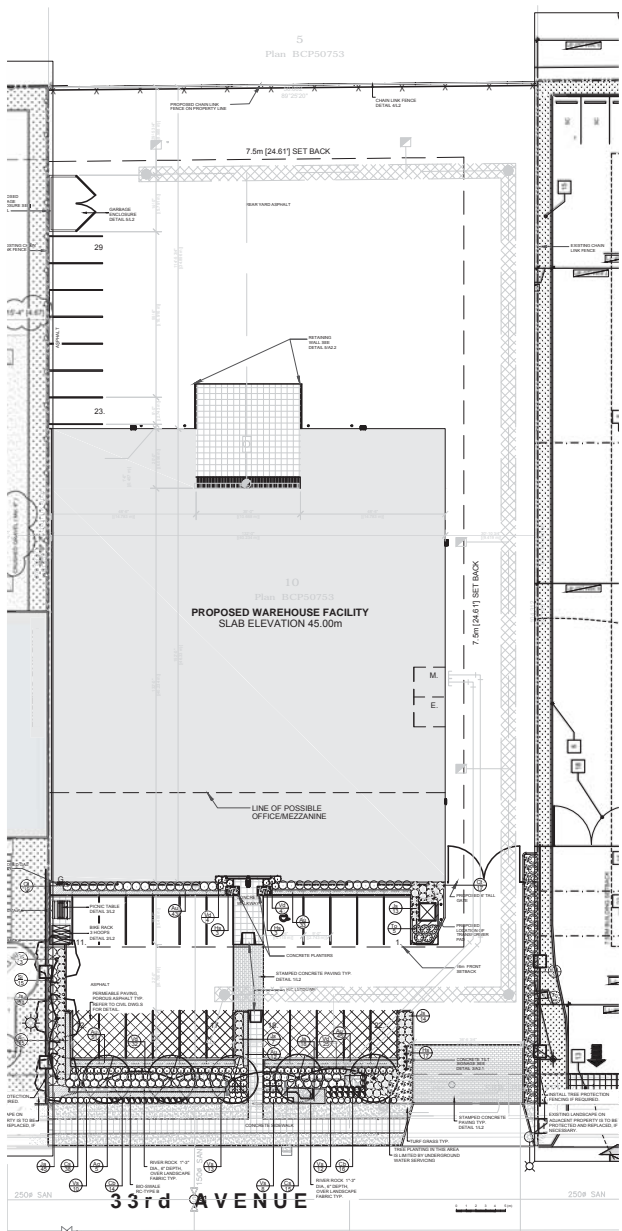
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PROJECT NO.: 160141

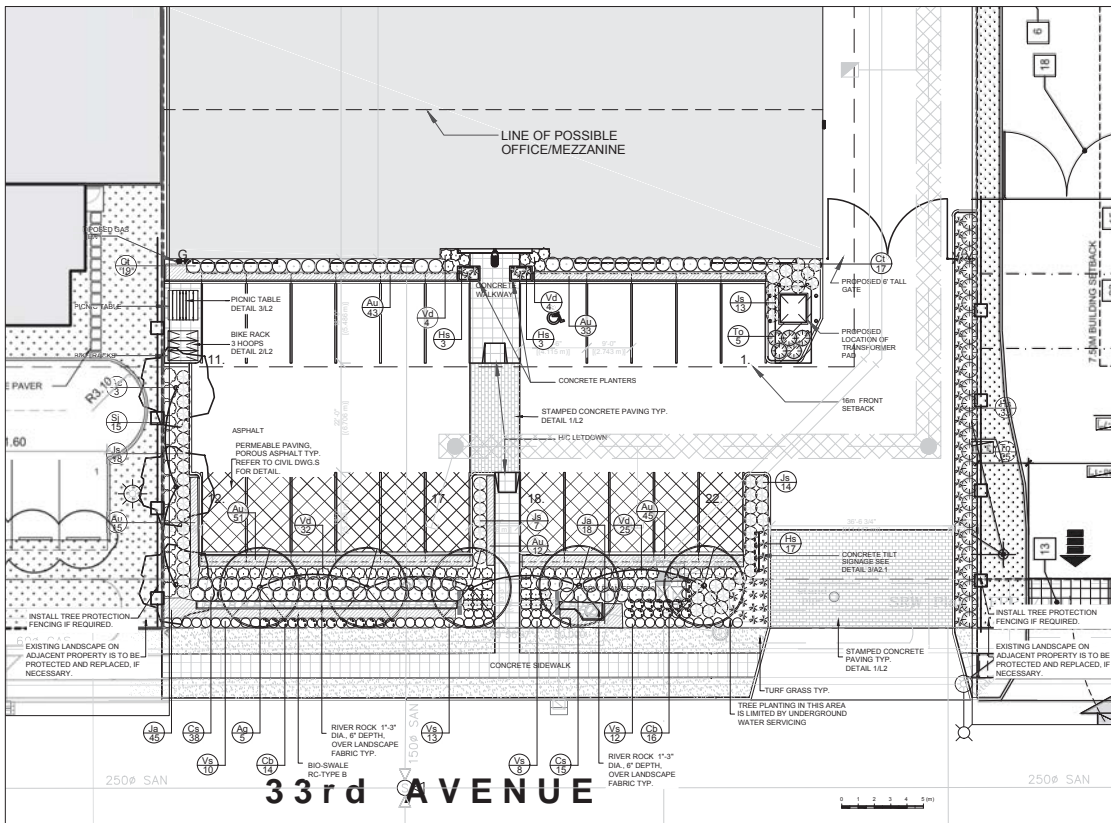
DRAWING NO.:

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SCALE: 1:500



BLOW-UP OF LANDSCAPE/SOUTH END OF SITE

SCALE: 1:300

PLANT LIST					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
DECIDUOUS TREES					
Ac	3	ACER CIRCINATUM	VINE MAPLE	60mm cal.	W.B.
Ag	5	AMELANCHIER GRANDIFOLIA 'A. BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	60mm cal.	W.B.
SHRUBS					
Cs	53	CORNUS SERICEA 'KELSEY'	DWARF RED TWIG DOGWOOD	60mm ht.	#3 POT
Ci	36	CHOISYA TERNATA	MEXICAN MOCK ORANGE	60mm ht.	#3 POT
Jb	49	JUNIPERUS SABINA	SAVIN JUNIPER	60mm ht.	#3 POT
Sj	15	SPIRAEA JAPONICA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	60mm ht.	#3 POT
To	30	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	150cm ht.	B.B.
Vd	65	VIBURNUM DAVIDII	DAVID VIBURNUM	50mm ht.	#2 POT
PERENNIALS, GROUNDCOVERS AND ORNAMENTAL GRASSES					
Au	199	ARCTOSTAPHYLOS URVA-URSI	BEARBERRY		#1 POT
Cb	30	CAREX BUCHANANII	RED FOX SEDGE		#1 POT
Jb	63	JUNCUS ACUMINATUS	TAPER-TIPPED RUSH		#1 POT
Hs	56	HEMEROCALLIS STELLA D'ORO	STELLA D'ORO DAYLILY		#1 POT
Vs	43	VERONICA SPICATA 'ROYAL CANDLES'	ROYAL CANDLES SPEEDWELL		#1 POT

DESIGN NOTES

1. THERE ARE NO EXISTING TREES ON SITE.
2. GARDEN AREA INSIDE SITE = 1912 SQ.FT. (177.6 SQ.M.)
3. THE DRAINAGE SWALE AT THE FRONT OF THE PROPERTY HAS BEEN LANDSCAPED WITH PLANTS AND RIVER ROCK. THIS AREA IS A SWALE AND LANDSCAPE BUFFER WITH A WIDTH OF 3M.

GENERAL NOTES

1. EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
2. CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
3. CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
4. CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS. OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
5. OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
6. PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S WORK AT THE CONTRACTOR'S OWN EXPENSE.
7. UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
8. THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE DURING THE PERIOD OF WORKS. PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEPED AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.



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VANCOUVER OFFICE
205 - 120 KENNEDY ST. VANCOUVER, BC V3R 4T3
714-242-7442



LEGEND

[Symbol]	TURF GRASS
[Symbol]	CONCRETE SIDEWALK PAVING
[Symbol]	STAMPED CONCRETE WALKWAY
[Symbol]	PERMEABLE PAVING
[Symbol]	PLANT KEY

12-01-2016	RE-ISSUED FOR DP
11-01-2016	RE-ISSUED FOR DP
09-07-2016	RE-ISSUED FOR DP
30-06-2016	RE-ISSUED FOR DP
15-06-2016	RE-ISSUED FOR DP
14-04-2016	ISSUED FOR DP
01-04-2016	ISSUED FOR CLIENT REVIEW

DATE: 04/01/2016
DESCRIPTION: LANDSCAPE PLAN

OWNER'S COMMENTS:

SCALE:



PROPOSED BUILDING FOR ENSOL SYSTEMS

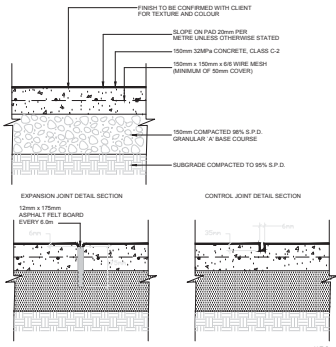
PROJECT ADDRESS:
19131 - 33rd AVE.
SURREY, BRITISH COLUMBIA

LANDSCAPE PLAN, NOTES

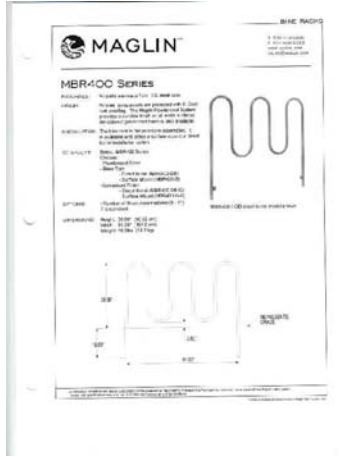
SCALE:	AS SHOWN
DRAWN:	ST
CHECKED:	ST
PROJECT NO.:	18041

L1-R

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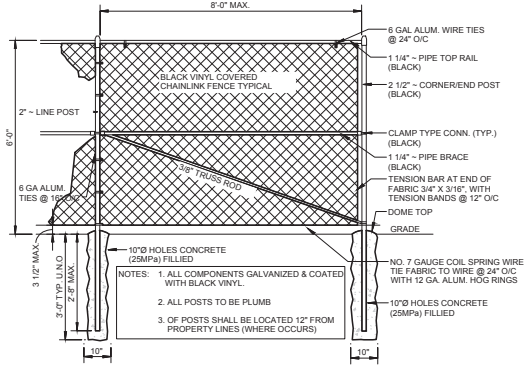
1. CONCRETE TO BE 32MPa, CLASS C-2 AT 28 DAYS WITH 5-6% AIR ENTRAINED.
2. CONCRETE TO HAVE BROOM FINISH PERPENDICULAR TO THE LENGTH OF THE SIDEWALK.
3. EXPANSION JOINTS TO BE LOCATED AT EVERY 6.0m AND WHERE CONCRETE PAVING ABUTS OTHER STRUCTURES OR BUILDINGS.
4. CONTROL JOINTS TO BE LOCATED AT INTERVALS OF 2.0m AND AT CENTRELINE OF 4.0m WIDE WALKWAY.
5. CONCRETE TO BE SPRAWLED WITH WHITE PIGMENT CURING COMPOUND.
6. ALL DIMENSIONS ARE IN MILLIMETRES.



DETAIL 2. BIKE RACK

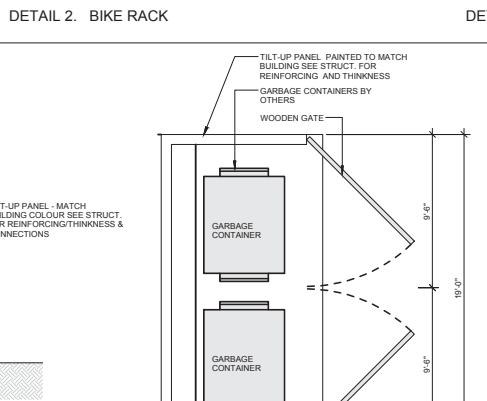
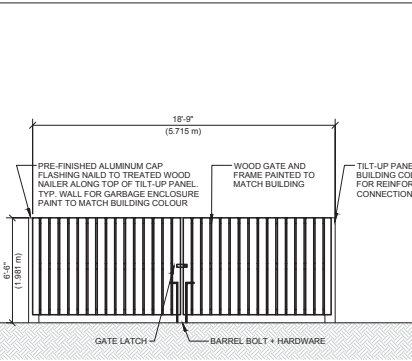


DETAIL 3. PICNIC TABLE

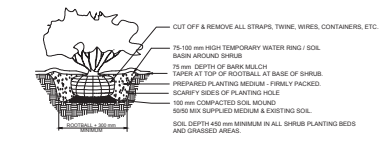
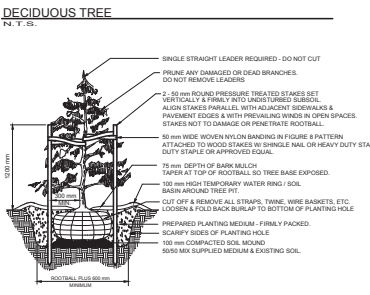
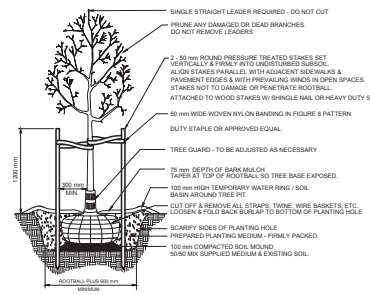


DETAIL 4. CHAIN LINK FENCE

DETAIL 1. STAMPED CONCRETE PAVING



DETAIL 5. GARBAGE ENCLOSURE



SHRUB AND PERENNIAL PLANTING DETAIL

PLANTING NOTES

1. PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.
2. PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
3. ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
4. **TREE PROTECTION:** PER THE MUNICIPAL DETAIL IF REQUIRED.
5. ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CANADIAN LANDSCAPE STANDARD.
6. SOIL ANALYSIS FOR PROPOSED GROWING MEDIUMS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
7. PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWTH HABITS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AND NO ADDITIONAL COST TO THE OWNER.
8. REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY ARBORISTS (I.S.A.) SPECIFICATIONS WITH APPROPRIATE TIMING FOR EACH SPECIES.
9. PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON, AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
 - 9.1. Regular schedule of watering of the plants as required and/or as directed by the Project Manager during construction and the warranty period. Plants shall be watered within 48 hours of written request by the Owner or Owner's representative. Failure to do so after the request shall result in the work being undertaken by others. The cost of this work shall be deducted from the total Contract Price or holdback and otherwise recovered from the Contractor.
 - 9.2. Maintenance and additional installation of mulch
 - 9.3. Weed removal
 - 9.4. Disease control



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20 - 120 COTTAGE ST. VANCOUVER, BC V5S 4Y3
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12-07-2016	RE-ISSUED FOR OP
11-07-2016	RE-ISSUED FOR OP
09-07-2016	RE-ISSUED FOR OP
30-03-2016	RE-ISSUED FOR OP
15-06-2015	RE-ISSUED FOR OP
14-04-2015	ISSUED FOR OP
01-04-2015	ISSUED FOR CLIENT REVIEW

DATE: 04/04/2015
DESIGN & REVISIONS

SCALE:	NTS
SCALE:	BT
SCALE:	BT
PROJECT NO:	16041
DATE:	04/04/2015

PROPOSED BUILDING FOR ENSOL SYSTEMS

PROJECT ADDRESS:
19131 - 33rd. Ave.
SURREY, BRITISH COLUMBIA

SCALE:	NTS
SCALE:	BT
SCALE:	BT
PROJECT NO:	16041
DATE:	04/04/2015

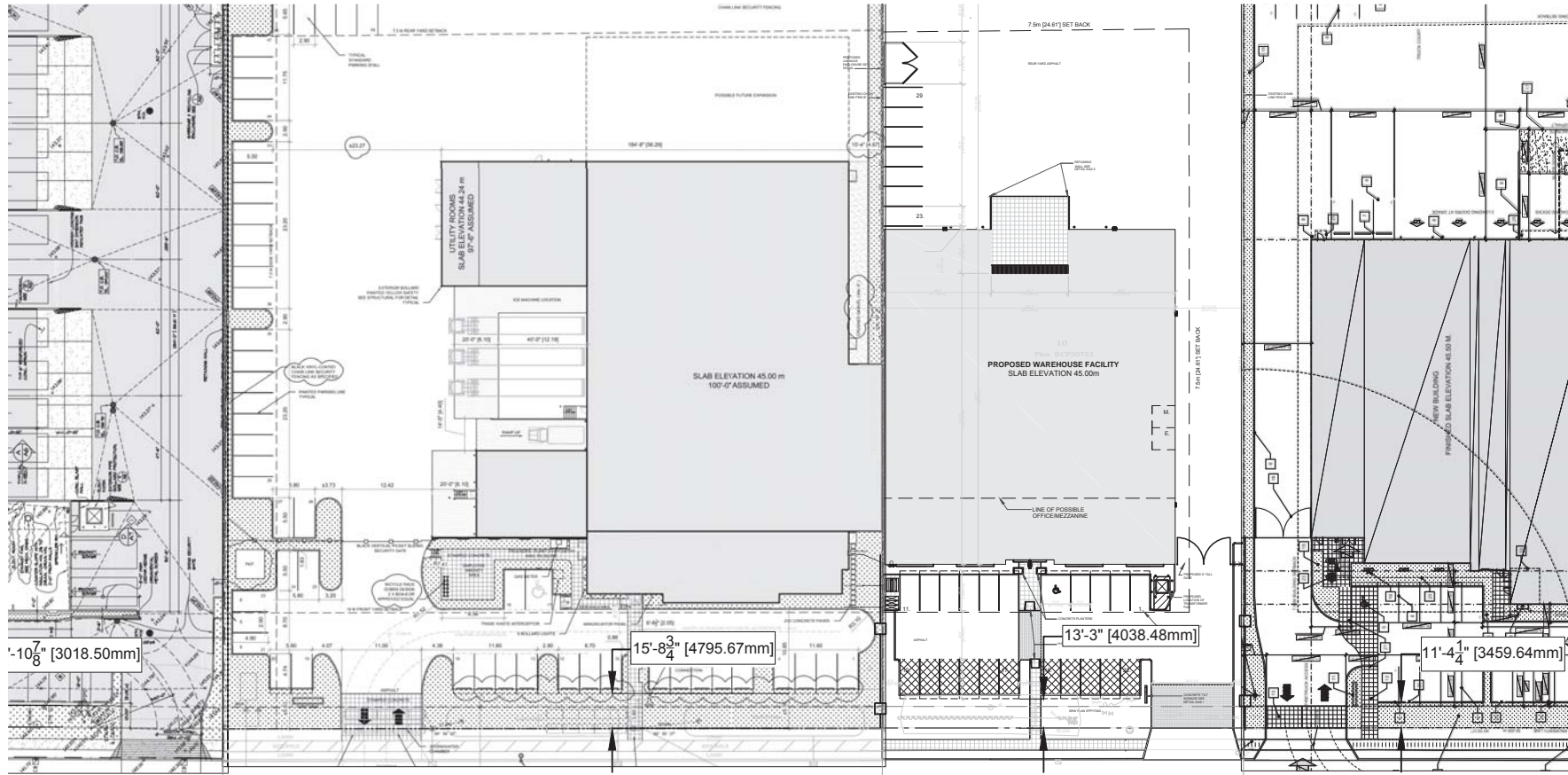
L2

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3338 - 190TH STREET	Approx 3.019 m Landscape Setback
19077 - 33RD AVENUE	Approx 4.796 m Landscape Setback
19131 - 33RD AVENUE	Proposed 4.038m Landscape Setback
19159 - 33RD AVENUE	Approx 3.460 m Landscape Setback



12-07-2016	RE-ISSUED FOR DP
11-07-2016	RE-ISSUED FOR DP
09-07-2016	RE-ISSUED FOR DP
30-06-2016	RE-ISSUED FOR DP
15-06-2016	RE-ISSUED FOR DP
14-04-2016	ISSUED FOR DP
01-04-2016	ISSUED FOR CLIENT REVIEW



3338 - 190TH STREET
Approx 3.019 m Landscape Setback

19077 33RD AVENUE
Approx 4.796 m Landscape Setback

33rd AVENUE

19131 33RD AVENUE
4.038 m Landscape Setback

19159 33RD AVENUE
Approx 3.460 m Landscape Setback

SCALE 1:600

PROJECT NAME:
PROPOSED BUILDING FOR ENSOL SYSTEMS

PROJECT ADDRESS:
19131 - 33rd. AVE.
SURREY, BRITISH COLUMBIA

DRAWING TITLE:
CONTEXT PLAN

SCALE:	AS SHOWN
DRAWN:	ST
CHECKED:	ST
PROJECT NO:	180141

DRAWING NO:
L3-R

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INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **July 20, 2016** PROJECT FILE: **7816-0184-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 19131 33 Ave**

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit. The following issues are to be addressed prior to issuance of the associated Building Permit (BP):

- Evaluate Services (e.g. driveways, water connections, sanitary sewer connections, stormwater drainage) provided to the site through project 7810-0179-00 and relocate/modify through the BP process. This will include abandonment of redundant service connections as required;
- Construct curb letdown for 11 m wide industrial driveway. Modify sidewalk to meet applicable City Standards such as thicker depth of concrete. Complete associated modifications to drainage features as required;
- Design/Construct on-site stormwater management features (infiltration system) in accordance with the Campbell Heights Land Use Plan requirements, as described in the servicing plans for City project 7810-0179-00 and as noted in the Restrictive Covenants registered on title;
- Obtain an Erosion and Sediment Control Permit prior to initiating any on-site work.

The applicant is advised to review the Restrictive Covenants registered on title which include but may not be limited to requirements associated with Stormwater Management.



Rémi Dubé, P.Eng.
Development Services Manager
LR1