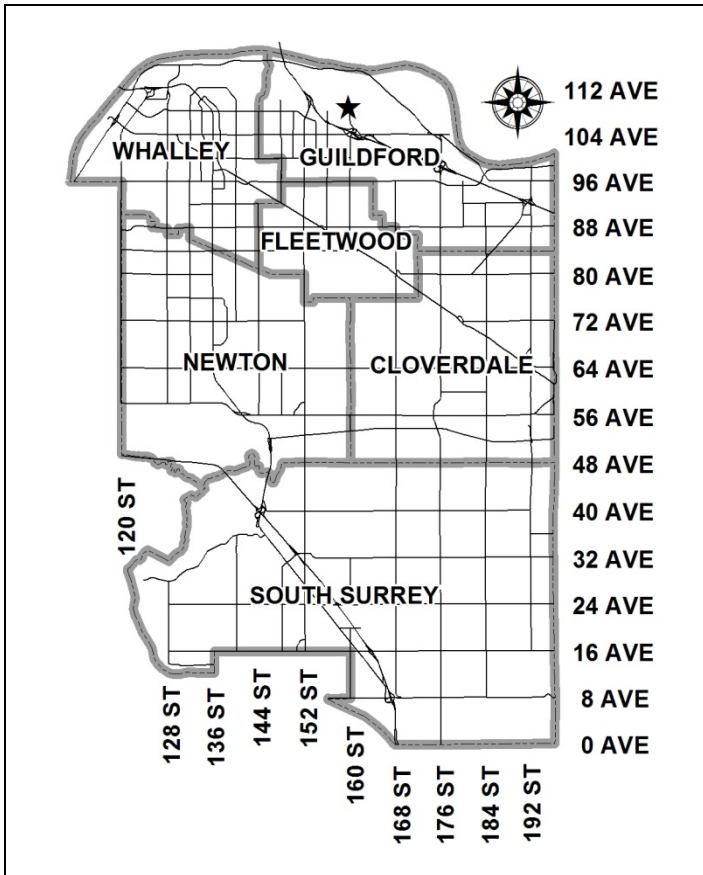


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0165-00

Planning Report Date: July 10, 2017



PROPOSAL:

- **Rezoning** from RA to CD (based on C-8) and RF
- **Development Permit**

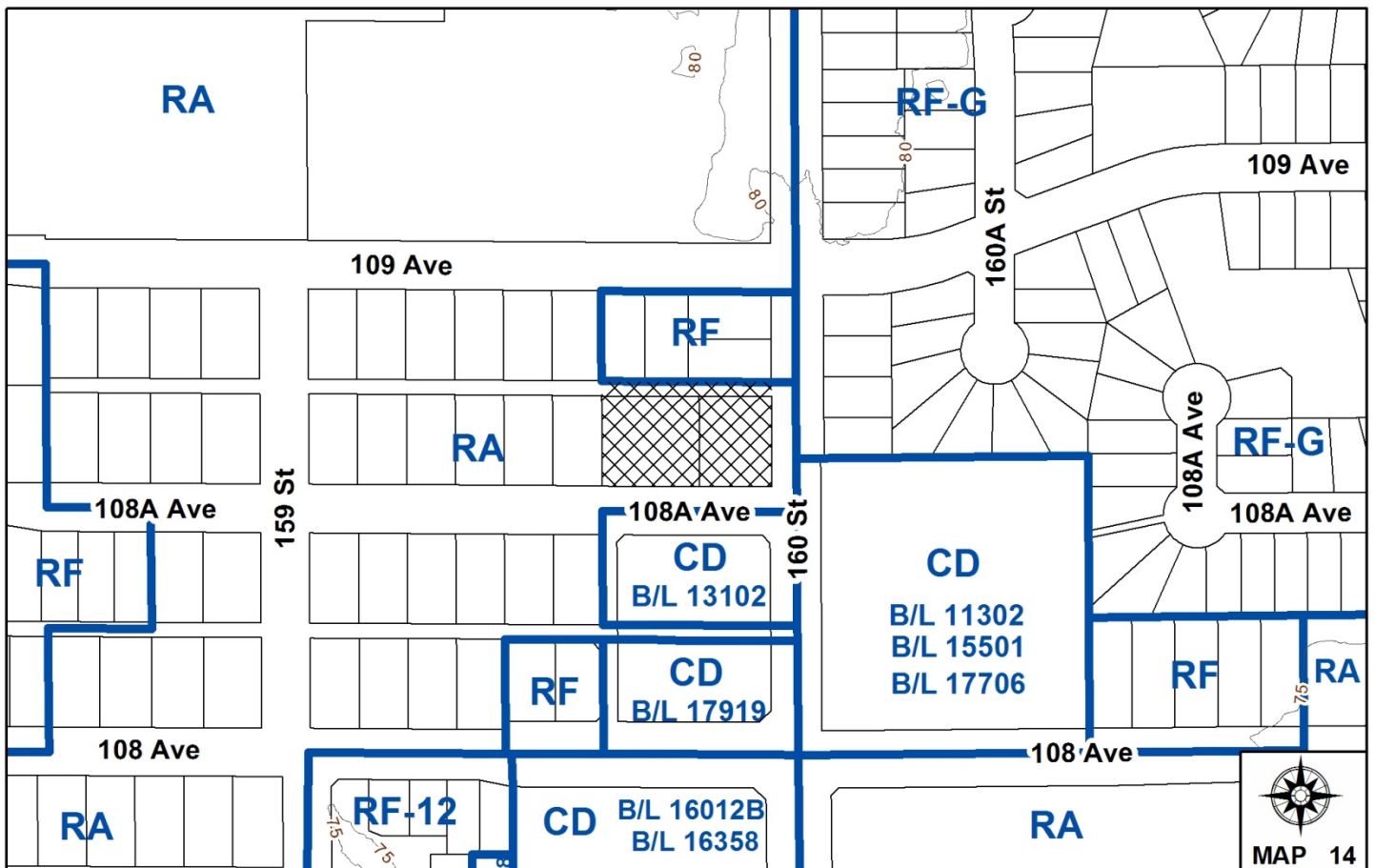
to permit the development of a surface parking lot and 2 single family residential lots.

LOCATION: 10873 - 160 Street
 10863 - 160 Street
 Portion of lane

OWNER: 1049862 B.C. Ltd.
 City of Surrey

ZONING: RA

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with OCP designation
- Provides additional parking for the existing commercial developments to the south and east of this site to address already observed parking deficiencies and to allow for a broader range of allowable uses that have a higher parking requirement.
- The proposed surface parking lot provides an appropriate interface with the adjacent residential area through landscaping treatments.
- The proposed single family residential lots are consistent with the surrounding residential area.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone a portion of the subject site shown as Block A on Schedule A of the attached CD Bylaw (Appendix VII) from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. a By-law be introduced to rezone a portion of the subject site shown as Block B on the attached Survey Plan (Appendix I) from "One-Acre Residential Zone (RA)" to "Single Family Residential Zone (RF)" and a date be set for Public Hearing.
3. Council authorize staff to draft Development Permit No. 7916-0165-00 generally in accordance with the attached drawings (Appendix II).
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout and lot grading plan to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
 - (f) completion of the road closure and acquisition of the unopened rear (north) lane that abuts the subject site.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: Projected number of students from this development:

- 1 Elementary student at Erma Stephenson Elementary School
- 1 Secondary student at Fraser Heights Secondary School

The applicant has advised that there currently is no time frame for house construction on the residential lots.

Ministry of Transportation & Infrastructure (MOTI): Preliminary approval of the rezoning is granted.

SITE CHARACTERISTICS

Existing Land Use: Vacant treed lots and unopened lane allowance.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across unopened lane):	Single family dwellings.	Urban	RF
East (Across 160 Street):	Commercial development and Single family dwellings	Commercial and Urban	CD Bylaw Nos. 11302 and 15501 and RF-G
South (Across 108A Avenue):	Commercial development	Urban	CD Bylaw 13102
West:	Vacant, treed, undersized RA-zoned lots	Urban	RA

DEVELOPMENT CONSIDERATIONS

Background

- The subject site is located on the northwest corner of 160 Street and 108A Avenue in Fraser Heights.
- The two (2) existing lots, which total 2,603 square metres (0.64 acres) in area, are designated Urban in the Official Community Plan (OCP) and are currently zoned "One-Acre Residential Zone (RA)".
- An unopened lane allowance abuts the subject site to the north. During pre-application meetings, there were discussions about including the unopened lane allowance with the proposal, which allows for greater site efficiencies for the proposed uses. The City's Transportation Division confirms that the unopened lane allowance to the north of the subject site is not required and as such, it is proposed to be incorporated into the subject development.

Current Application

- The applicant is proposing to rezone the subject site from "One-Acre Residential (RA)" to "Comprehensive Development Zone (CD)" (based on C-8) and "Single Family Residential Zone (RF)" and to close and purchase a 427.8 square metre (4,605 sq.ft.) portion of the unopened lane (see Survey Block Plan in Appendix I) along the northern boundary of the two (2) subject properties, in order to permit the development of a surface parking lot and 2 single family residential lots.
- The subject site will be subdivided into three (3) lots with the surface parking lot on the easternmost lot and 2 single family lots to the west.
- The proposed additional parking will allow the two adjacent commercial properties to the south and southeast that are owned by the applicant to have a broader range of allowable uses that have a higher parking requirement and address already existing observed parking supply shortages during peak demand periods.

Comprehensive Development Zone (CD)

- The applicant is proposing to rezone the eastern portion of the subject site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" based on the "Community Commercial Zone (C-8)" and to close, purchase and assemble a 236.0 square metre (2,540 sq. ft.) portion of the unopened lane (see Survey Block Plan in Appendix I) along the northern boundary of the subject property, in order to allow the development of a surface parking lot on a consolidated lot.
- The proposed surface parking lot is proposed to be zoned CD (based on C-8). The CD By-law is designed to allow for surface parking while providing an appropriate interface with the existing and proposed residential lots to the north and west.
- The proposed CD By-law is generally based on the C-8 Zone with modifications to limit the Permitted Uses to only permit Parking Facilities.

Proposed Parking Lot Design

- The proposed surface parking facility will have vehicular access from 108A Avenue and will provide approximately 37 parking spaces.
- To ensure a secure environment, the proposed parking lot will incorporate downward cast lighting as well as a security gate that will restrict access to the facility outside of the adjacent commercial properties' business hours.

Single Family Residential (RF) Lots

- The applicant is proposing to rezone the western portion of the subject site from "One-Acre Residential Zone (RA)" to "Single Family Residential Zone (RF)" and to close, purchase and assemble a 191.8 square metre (2,066 sq. ft.) portion of the unopened lane (see Survey Block Plan in Appendix I) along the northern boundary of the subject property, in order to allow the development of two (2) single family residential lots.

- The proposed RF lots will each be 680 square metres (7,329 sq. ft.) in size with a 15.7 metre (51.6 ft.) lot width and a 43.2 metre (141.7 ft.) lot depth, meeting the minimum standards of the RF Zone.
- The proposed single family lots will have vehicular access from 108A Avenue.

Proposed Lot Grading

- Preliminary lot grading plans were prepared and submitted by Aplin & Martin Consultants Ltd. and the plans have been reviewed by staff. There are some minor concerns related to the fact that the lots to the north drain into the subject site. These concerns will be addressed prior to final adoption of the proposed rezoning by-law.
- Basements are proposed on both residential lots and will be confirmed at the detailed Engineering design stage.

Neighbourhood Character Statement and Building Scheme

- Michael Burton-Brown, AIBC Architect of Abbarch Architecture Inc. has prepared a Neighbourhood Character Statement and Building Scheme. The character statement involved reviewing a number of existing homes in the neighbourhood and considering the standards of new construction in order to establish suitable design guidelines for the proposed residential lots. A summary of the design guidelines is attached (Appendix V).

PRE-NOTIFICATION

Pre-notification letters were sent on June 1, 2016 and a Development Proposal Sign was installed on June 6, 2016. Staff received the following 7 responses from neighboring residents (*staff comments in italics*):

- There will be an increase in traffic and pedestrian activity on 160 Street which will cause congestions in the area.

(The additional surface parking lot is not anticipated to generate substantially more vehicular traffic and will help already observed parking shortages on the 2 adjacent commercial sites. The City's Transportation Engineering Division has reviewed the proposed development and has no concerns.)

- The increased traffic from the proposed development will impact front yard privacy and may cause an increase in criminal activity.

(The parking lot has been designed with downward cast lighting to deter criminal activity in the evening, and a security gate which can be locked during the non-business hours of the adjoining commercial developments.)

- There is already enough parking in the vicinity of the subject site. More parking is not required.

(A Parking Demand Study, prepared by Bunt and Associates, and submitted by the applicant shows an observed parking deficiency on the adjacent commercial properties during peak demand periods.)

- The proposed surface parking lot is not appropriate in a residential area; the site should remain residential.

(The subject site is located in an area of transition between commercial and residential uses.)

- The interface between the parking facility and the adjacent residential development is insufficient.

(The applicant is proposing a 3.0 metre/10 ft. wide landscaped buffer on all sides of the proposed parking lot property. This landscaped buffer will help to minimize the impact of the surface parking facility on the adjacent residential properties.)

- The applicant met with the adjoining property owner at 10879 – 160 Street to discuss the development proposal. The adjoining property owner has indicated support of the proposal provided that a concrete fence is installed along the common property line, a 3.0 metre (10 ft.) wide landscaped buffer is provided along the north boundary of the parking lot, and a security gate and lighting that is directed away from the house is incorporated into the parking lot design. These requests are agreeable to the applicant and have been incorporated into the plan attached in Appendix III.
- The applicant presented their development plans to the Fraser Heights Community Association (FHCA) at the membership meeting of February 22, 2017. The FHCA was generally supportive of the proposal and also advocated for the installation of a crosswalk across 160 Street and 108A Avenue to improve the safety for mall customers walking to and from the parking lot. City staff will review the FHCA's request for a crosswalk at this location.

TREES

- Peter Mennel, BSc, ISA Certified Arborist, and Mike Fadum ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder/Cottonwood	22	22	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Big Leaf Maple	3	3	0
Maple	1	1	0
Coniferous Trees			
Douglas Fir	8	8	0
Falsecypress	2	2	0

Western Hemlock	1	1	0
Western Red Cedar	29	29	0
Total (excluding Alder and Cottonwood Trees)	44	44	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)			
		26	
Total Retained and Replacement Trees		26	
Contribution to the Green City Fund		\$33,600	

- The Arborist Assessment states that there are a total of 44 protected trees on the site, excluding Alder and Cottonwood trees. Twenty-two (22) existing trees, approximately 33% of the total trees on the site, are Alder and Cottonwood trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 110 replacement trees on the site. Since only 26 replacement trees can be accommodated on the site (20 trees on the parking lot site and 3 trees per residential lot), the deficit of 84 replacement trees will require a cash-in-lieu payment of \$33,600, representing \$400 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.
- In addition to the replacement trees, boulevard street trees will be planted on 108A Avenue. This will be determined by the Engineering Department during the servicing design review process.
- There are two offsite trees that may be impacted by this development. Trees and Landscaping may require site design revisions should permission to remove these trees from the adjacent properties not be granted by the affected property owners.
- The new trees on the site will consist of a variety of trees including Columnar Crimson Sentry Maples, Columnar Armstrong Maples, Fastigiate or Dawyck Beech, and Japanese Snowbells.
- In summary, no trees are proposed to be retained and 26 replacement trees are proposed, with a contribution of \$33,600 to the Green City Fund.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on May 24, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • Urban Infill Area.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • A range of uses are proposed; parking lot and single family residential lots.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Absorbent soils and natural landscaping are proposed.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • N/A
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • CPTED Features: lighting, security gates, and cameras and open view from 108A Avenue.
6. Green Certification (F1)	<ul style="list-style-type: none"> • N/A
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • Public consultation with local community resident and associations.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary, Project Data Sheets, and Survey Plan
- Appendix II. Proposed Subdivision Layout, Site Plan, Landscape Plan
- Appendix III. Engineering Summary
- Appendix IV. School District Comments
- Appendix V. Building Design Guidelines Summary
- Appendix VI. Summary of Tree Survey and Tree Preservation
- Appendix VII. Proposed CD By-law

INFORMATION AVAILABLE ON FILE

- Parking Study prepared by Bunt & Associates Dated January 16, 2017.

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Michael Burton-Brown

 Address: Abbarch Architecture
 1830, 505 - Burrard Street
 Vancouver, BC V7X 1M6

2. Properties involved in the Application
 - (a) Civic Address: 10873 - 160 Street
 10863 - 160 Street

 - (b) Civic Address: 10873 - 160 Street
 Owner: 1049862 B.C. Ltd.
 Director Information:
 Harold Warren Goodwyn

 No Officer Information as of May 30, 2017

 PID: 002-274-183
 Lot 10 Section 15 Block 5 North Range 1 West New Westminster District Plan 2368

 - (c) Civic Address: 10863 160 St
 Owner: 1049862 B.C. Ltd.
 Director Information:
 Harold Warren Goodwyn

 No Officer Information as of May 30, 2017

 PID: 012-642-355
 Lot A Section 15 Block 5 North Range 1 West New Westminster District Plan 2368

 - (d) Civic Address: Portion of Lane
 Owner: City of Surrey

3. Summary of Actions for City Clerk's Office
 - (a) Introduce two (2) By-laws to rezone the site.

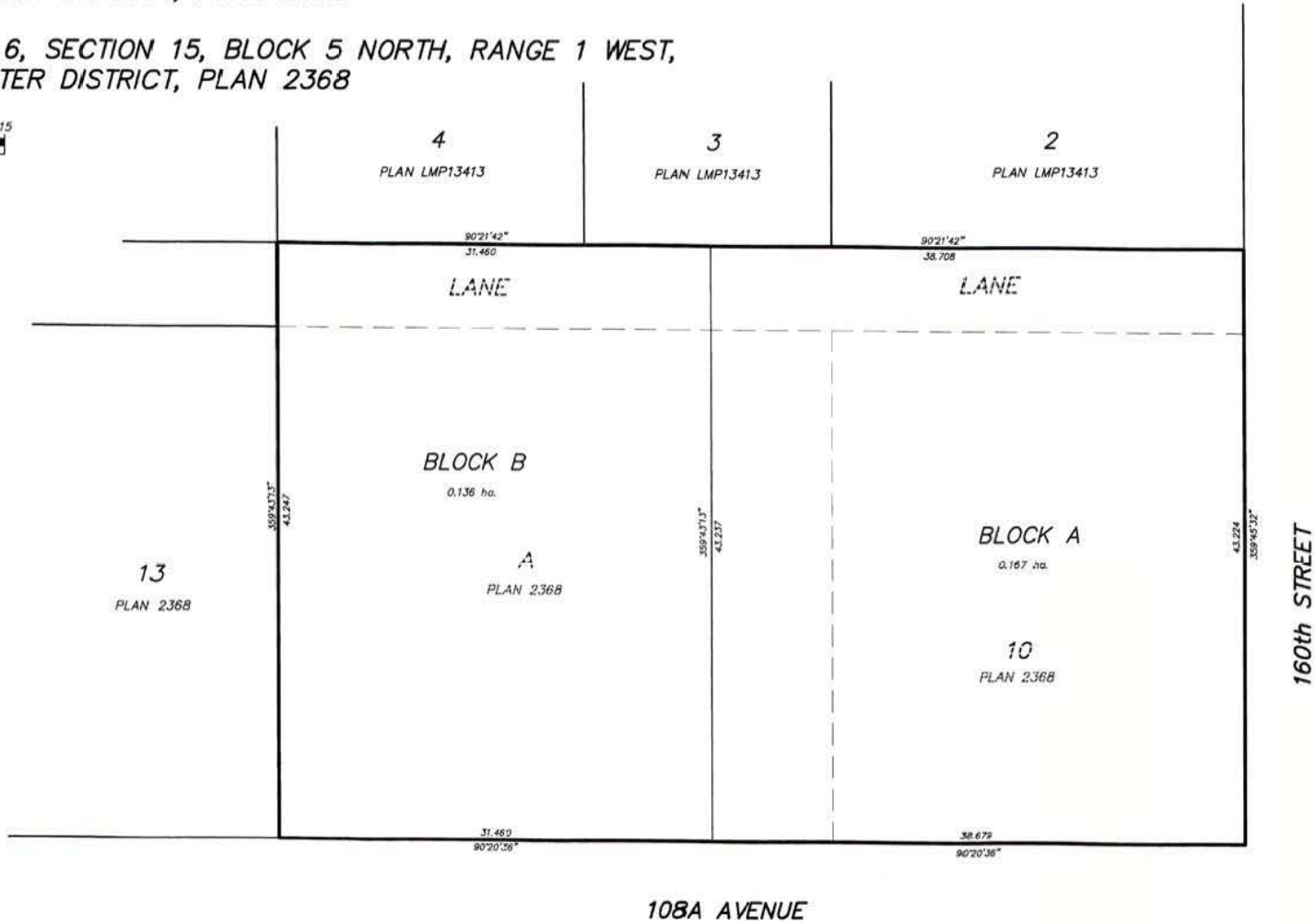
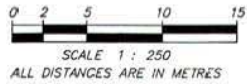
 - (b) Application is under the jurisdiction of MOTI. File No. 2016-03052

SUBDIVISION DATA SHEET

Proposed Zoning: CD (based on C-8) and RF

Requires Project Data	Proposed	
	CD (based on C-8)	RF
GROSS SITE AREA		
Acres	0.64 Ac.	
	0.41 Ac.	0.34 Ac.
Hectares	0.26 Ha.	
	0.17 Ha.	0.14 Ha.
NUMBER OF LOTS		
Existing	2	
Proposed	3 (1 CD & 2 RF)	
SIZE OF LOTS		
Range of lot widths (metres)	38.68 m	15.7 m
Range of lot areas (square metres)	1,678 m ²	681 m ²
DENSITY		
Lots/Hectare & Lots/Acre (Gross)	N/A	14.28 uph / 5.88 upa
Lots/Hectare & Lots/Acre (Net)	N/A	14.28 uph / 5.88 upa
SITE COVERAGE (in % of gross site area)		
Maximum Coverage of Principal & Accessory Building	N/A	Maximum 38%
Estimated Road, Lane & Driveway Coverage	73.8%	8.9%
Total Site Coverage	73.8%	Maximum 46.9 %
PARKLAND		
Area (square metres)	N/A	
% of Gross Site	N/A	
Required		
PARKLAND		
5% money in lieu	NO	
TREE SURVEY/ASSESSMENT		
	YES	
MODEL BUILDING SCHEME		
	YES	
HERITAGE SITE Retention		
	NO	
DEV. VARIANCE PERMIT required		
Road Length/Standards	NO	
Works and Services	NO	
Building Retention	NO	
Others	NO	

**SURVEY PLAN TO ACCOMPANY
CITY OF SURREY ZONING BYLAW _____
OVER LOT 10, BLOCK 6, SECTION 15, BLOCK 5 NORTH, RANGE 1 WEST,
NEW WESTMINSTER DISTRICT, PLAN 2368
AND
LOT A, BLOCK 6, SECTION 15, BLOCK 5 NORTH, RANGE 1 WEST,
NEW WESTMINSTER DISTRICT, PLAN 2368**



BOOK OF REFERENCE

ZONE	LEGAL DESCRIPTION	AREA
BLOCK A	PART OF LOT A, BLOCK 6, SEC 15, BLOCK 5 NORTH, RANGE 1 WEST, NWD, PLAN 2368	326.7 m ²
	LOT 10, BLOCK 6, SEC 15, BLOCK 5 NORTH, RANGE 1 WEST, NWD, PLAN 2368	0.111 ha.
	LANE	236.0 m ²
BLOCK B	PART OF LOT A, BLOCK 6, SEC 15, BLOCK 5 NORTH, RANGE 1 WEST, NWD, PLAN 2368	0.117 ha.
	LANE	191.8 m ²

NOTE:

LEGAL BOUNDARIES ARE BASED ON LAND TITLE OFFICE RECORDS AND FIELD SURVEY

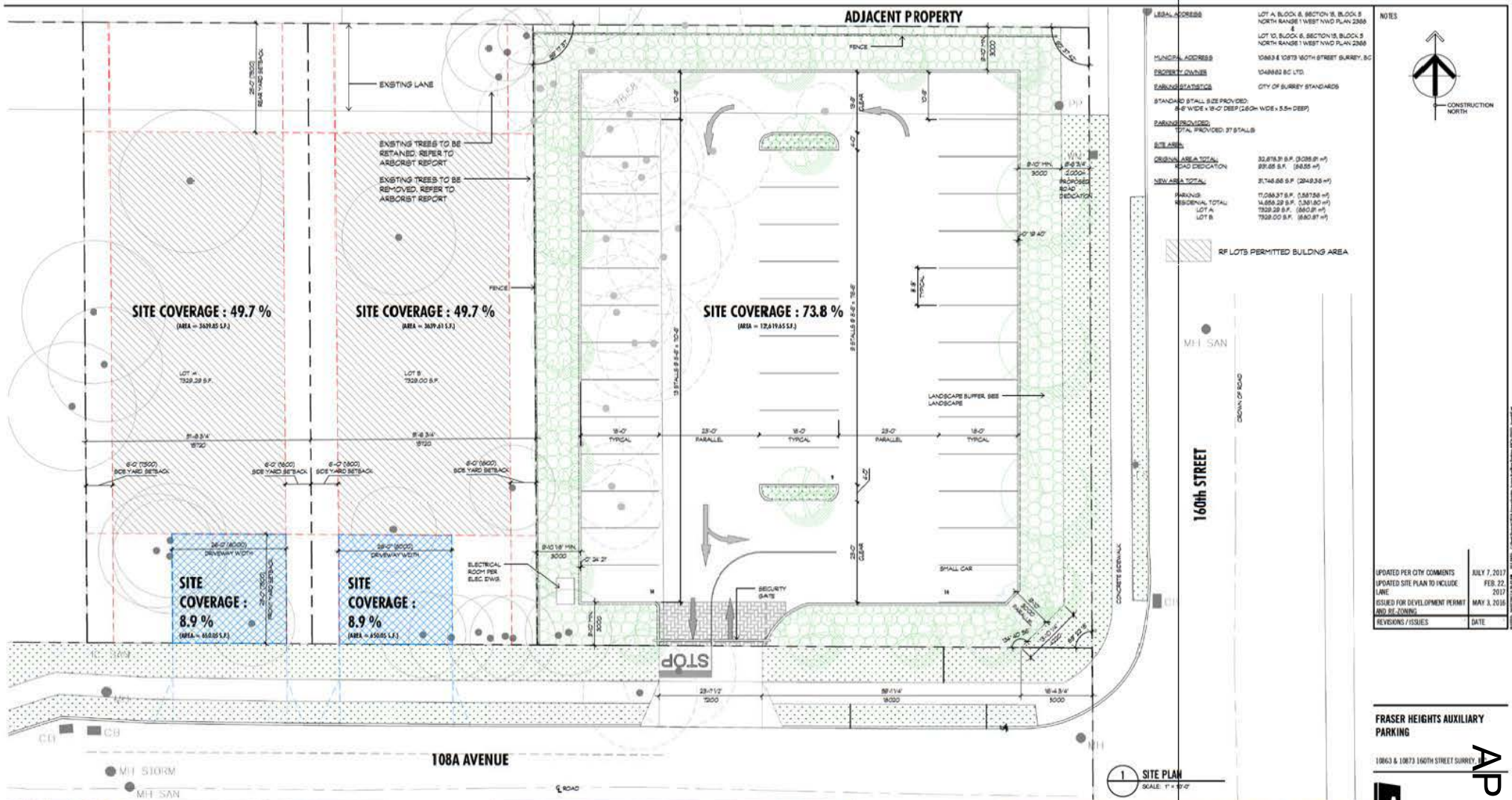
MURRAY & ASSOCIATES
PROFESSIONAL LAND SURVEYORS
201-12448 82nd AVENUE
SURREY, BC V3W 3E9
(604) 597-9189




CERTIFIED CORRECT TO THIS PLAN OF JULY, 2017

Zuzana Fui Kova

BCLS



NOTES



UPDATED PER CITY COMMENTS	JULY 7, 2017
UPDATED SITE PLAN TO INCLUDE LANE	FEB. 22, 2017
ISSUED FOR DEVELOPMENT PERMIT AND BY ZONING	MAY 3, 2016
REVISIONS / ISSUES	DATE



180A AVENUE AT ENTRANCE



160TH STREET AND 108A AVENUE



160TH STREET AT NEIGHBOURING PROPERTY

FRASER HEIGHTS AUXILIARY PARKING

10863 & 10873 160TH STREET SURREY, BC

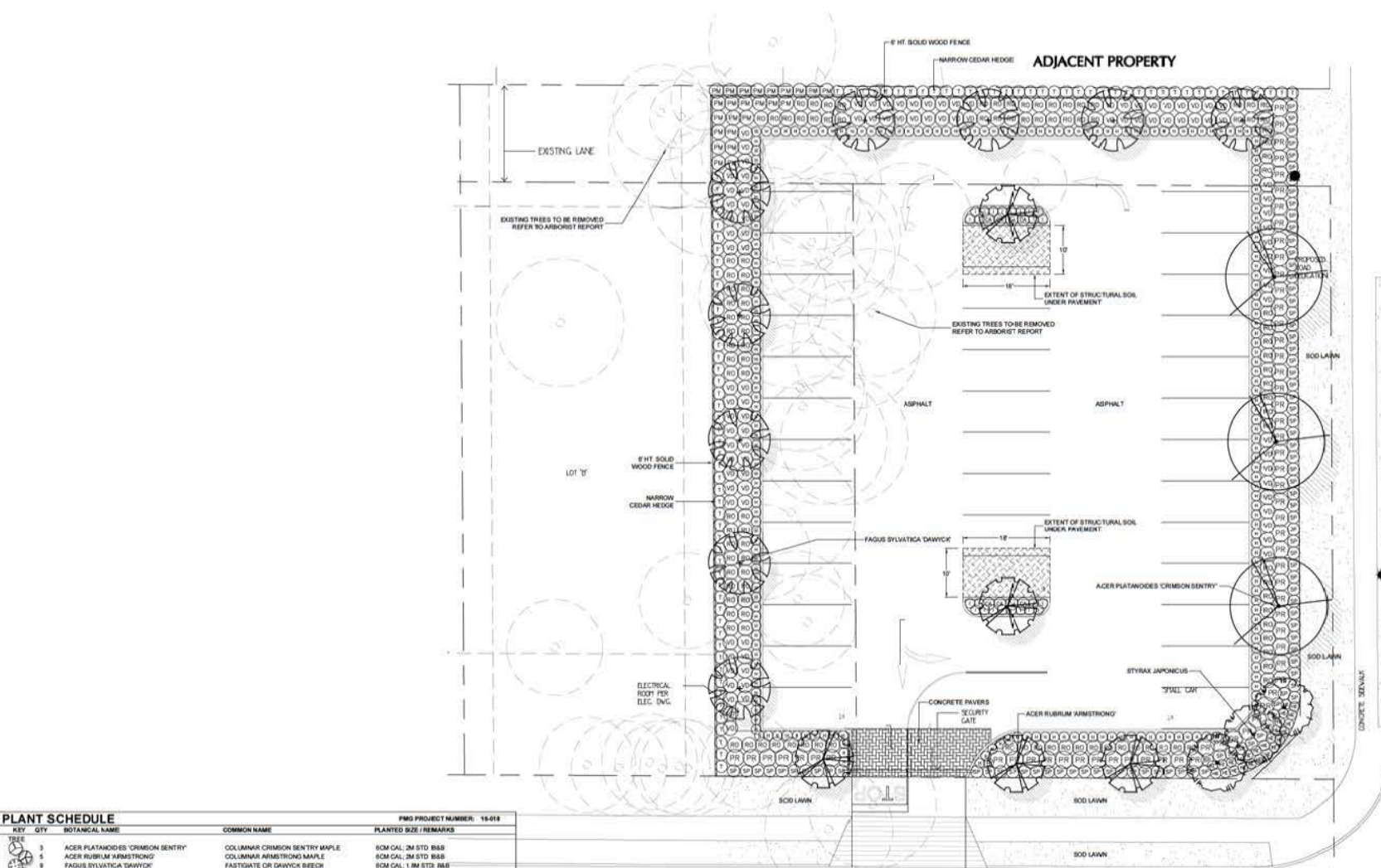


ABBARCH ARCHITECTURE INC.
 VANCOUVER, BC 604.669.4041
 EDMONTON, AB 780.454.4041
 TORONTO, ON 416.340.8441

SITE PLAN AND PERSPECTIVE

SCALE:	As indicated	PROJECT NO.:	2354
DRAWN BY:	JH	SHEET:	A1.0
CHECKED:	MB		

SEAL



160th STREET

108a AVENUE

PLANT SCHEDULE PMG PROJECT NUMBER: 16-018

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	3	ACER PLATANOIDES 'CRIMSON SENTRY'	COLUMNAR CRIMSON SENTRY MAPLE	60M CAL, 2M STD, B&B
	5	ACER RUBRUM 'ARMSTRONG'	COLUMNAR ARMSTRONG MAPLE	60M CAL, 2M STD, B&B
	9	FAGUS SYLVATICA 'DAWYCK'	FASTIGIATE OR DAWYCK BEECH	60M CAL, 1.8M STD, B&B
	3	STYRAX JAPONICUS	JAPANESE SNOWBELL	50M CAL, B&B
SHRUB	83	FRAXINUS LAUROCARINATUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	#3 POT, 50CM
	118	ROSA MEDIANA 'SONICA'	MIDLAND ROSE, PINK	#2 POT, 40CM
	90	SPRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPRAEA, PINK	#2 POT, 40CM
	80	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	1.8M HT, B&B
	99	VIBURNUM DAVIDI	DAVID'S VIBURNUM	#2 POT, 30CM
GRASS	8	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT
	218	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#1 POT
	34	IMPERATA CYLINDRICA 'RED BANGOW'	BLOOD GRASS	#1 POT
PERENNIAL	25	HIMEROCALYX	DAYLILY	#1 POT, 1-2 FAN
SC	24	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT, 25CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MARLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED CANADIAN LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

NO.	DATE	REVISION DESCRIPTION	DR.
1	17 JUL 18	COORDINATION WITH ADJACENT PROPERTY	
2	17 JUL 18	NEW SITE PLAN (CITY COMMENTS)	SD
3	17 JUL 18	NEW SITE PLAN	SD

CLIENT:

PROJECT:
**FRASER HEIGHTS
AUXILIARY PARKING**
108a AVENUE & 160th STREET
SURREY, BC

DRAWING TITLE:
**LANDSCAPE
PLAN**

DATE: 16 FEB 11 DRAWING NUMBER:
SCALE: 1"=30'-0"
DRAWN: DD
DESIGN: DD
CHKD: MCY

L1

OF 2

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **June 21, 2017** PROJECT FILE: **7816-0165-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 10863/10873 - 160 Street**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 1.942 m along 160 Street toward 24.0 m Collector Road allowance.
- Dedicate 3.0 m x 3.0 m corner cut at 160 Street and 108A Avenue.
- Register 0.5 m SRW along 160 Street and 108A Avenue.
- Lane allowance fronting the site may be available for purchase and is required to achieve the proposed layout.

Works and Services

- Construct the north side of 108A Avenue to Local Road standard.
- Construct on 108A Avenue concrete driveway letdowns; 6.0 m residential and 7.3 m commercial.
- Reinststate barrier curb and gutter along west side of 160 Street; remove driveways, lane access and restore boulevard.
- Construct sanitary and water systems to service the proposed development.
- Register a restrictive covenant (RC) for on-site stormwater management according to Bon Accord ISMP.
- Register an RC for water quality/sediment control.
- Provide water, storm, and sanitary service connections to development.

A Servicing Agreement is required prior to rezoning and subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.


Rémi Dubé, P.Eng.
Development Services Manager

MB



Planning June-21-17

School Enrolment Projections and Planning Update:
 The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.
 There are no new capital projects proposed at the elementary school. An addition to Fraser Heights Secondary is identified as a top priority in the Five Year Capital Plan. The proposed development will not have an impact on these projections.

THE IMPACT ON SCHOOLS

APPLICATION #: 16-0165-00

SUMMARY

The proposed 2 Single family with suites are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	1
Secondary Students:	1

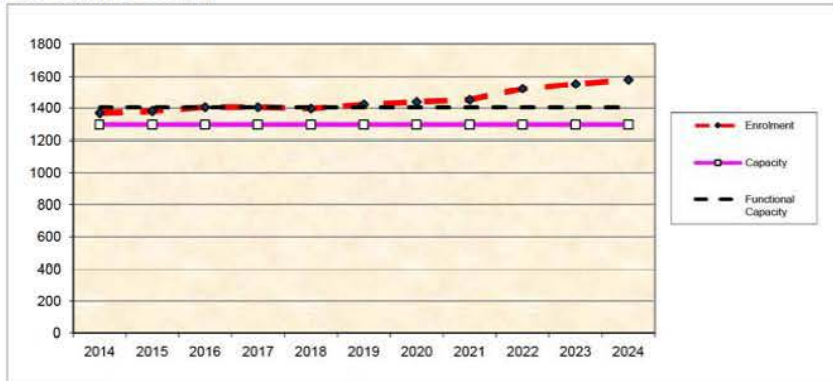
September 2018 Enrolment/School Capacity

Erma Stephenson Elementary	
Enrolment (K/1-7):	46 K + 415
Capacity (K/1-7):	40 K + 325
Fraser Heights Secondary	
Enrolment (8-12):	1405
Nominal Capacity (8-12):	1300
Functional Capacity*(8-12):	1404

Erma Stephenson Elementary



Fraser Heights Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

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Vancouver, BC
V7X 1M4
604.669.4041 T
abbarch.com W

Members of
The Architectural Institute of British Columbia
The Alberta Association of Architects
The Saskatchewan Association of Architects
The Manitoba Association of Architects
The Ontario Association of Architects
The Architects Association of
Prince Edward Island
The Architects Association of New Brunswick
The Nova Scotia Association of Architects
The Newfoundland and Labrador
Association of Architects

CHARACTER STATEMENT

Project Location: 10863 & 10873 160th Street, Surrey, BC
Surrey Planning File # 16-0165

Design Consultant: ABBARCH Architecture Inc.

Introduction

The owners of Fraser Heights Shopping Centre have acquired the properties on 160th street in order to construct an additional parking lot and also create 2 single family lots.

The draft Building Scheme proposed for this Project is to be filed with the City Clerk. The following is a summary of the Residential Character Statement and the Design Guidelines which highlight the desirable features for the 2 residential lots created on 108A Avenue.

1. Residential Statement

1.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site:

A majority of homes in this area have a floor area in the 200 – 300 sq.m size range. Home styles found in this area include: "Neo-Heritage" and "Neo-Traditional", "Mid-Century" and "Contemporary". Home types mainly include two-storey and split level.

Massing scale is predominately mid-scale massing. The scale (height) range for front entrance structures include: one storey front entrance, one and a half storey entrance.

The range of roof slopes found in this area are 2:12 4:12, 8:12, 10:12, 12:12. Main roof forms (largest upper floor truss spans) include: Main common hip roof, Main common gable roof, main common dutch hip and main common flat roof. Feature roof protection types include: common gable, single pitch, and dutch hip. Roof surfaces include: asphalt shingles, cedar shakes and concrete or clay tile.

Main wall cladding materials include: plank (wood/hardi) cladding and Stucco cladding. Feature wall trim materials used on the front façade include: no feature veneer, brick feature veneer and plank feature veneer. Wall cladding and trim colours include: neutral and natural.

Covered parking configurations are mainly single or double garage.

A variety of landscaping standards are evident ranging from a modest standard including sod a few shrubs and large asphalt coverage, to a high modern standard featuring two dozen or more shrubs, sod, trees and exposed aggregate driveways. Driveway surfaces are: exposed aggregate.

1.2 Features of Surrounding Dwellings Significant to the Proposed Building Scheme:

- 1) **Context Homes:** The character of the neighbourhood is largely established by the homes built along 160th Street and 108 Avenue. Those homes, as well as typical post 2010 RF homes are to serve as standards for the 2 lots.
- 2) **Style Character:** There is a mix of modern urban styles in this neighbourhood. Preferred styles for this site include "Neo-Traditional" and "Neo-Heritage". Note that style range is not restricted in the building scheme. However, the consultant refers to the Character Statement when reviewing plans for meeting style-character intent.



- 3) **Home Types:** While homes are largely two-storey, some flexibility is justified. Home type (two-storey, bungalow, basement entry, split level, etc.) will not be regulated in the building scheme.
- 4) **Massing Designs:** Massing designs should meet new standards for RF zoned subdivisions. New homes should exhibit "mid-scale" massing. Various elements and projections on the front of the home should be interesting architecturally and should be in pleasing natural proportions to one another. These elements and projects should be located so as to create balance across the façade.
- 5) **Front Entrance Design:** Front entrance porticos are typically one storey in height. The recommendation is to limit the range of entrance portico heights to between one storey and 1½ storeys to ensure there is no proportional overstatement of this one element.
- 6) **Exterior Wall Cladding:** Recent housing is largely clad with stucco, plank siding (either wood or composite material), with brick and stone being used as an accent. Vinyl is not recommended on the front, nor on side walls within 3 feet of the front.
- 7) **Roof Surface:** The main roof surfacing material used in this area is asphalt shingles. The roof surface is not a uniquely recognizable characteristic of this area and so flexibility in roof surface materials is warranted. The recommendation to permit cedar shingles, shake profile concrete roof tiles, shake profile asphalt shingles with a raised ridge cap and new environmentally sustainable roof products that have a strong shake profile.

2. Proposed Design Guidelines

2.1 Specific Residential Character and Design Elements these Guidelines Attempt to Preserve and/or Create:

- The new homes will be identifiable as one of the following styles: "Neo-Traditional", "Neo-Heritage", "Craftsman-Heritage", and "Rural Heritage". Note that the proposed style range is not contained within the building scheme, but is contained within the Residential Character Statement which forms the basis for interpreting building scheme regulations.
- A new single family dwelling *constructed* on any *lot* will include the proportionally correct allotment of mass between various street facing elements, the overall balanced distribution of mass within the front façade, readily recognizable style-authentic design and a high trim and detailing standard used specifically to reinforce the style objectives stated above.
- Trim elements will include several of the following: furred out wood posts, articulated wood post bases, wood braces and brackets, louvered wood vents, bold wood window and door trim, highly detailed gable ends, wood dentil details, stone or brick feature accents, covered entrance verandas and other style-specific elements, all used to reinforce the style (i.e. not just decorative).
- The entrance element will be limited in height (relative dominance) to 1 to 1½ storeys.
- The homes should not necessarily be the same but should each conform with these guidelines.
- Enclosed garage for either 1 or 2 cars is preferred to carport.
- Balconies should be limited to the rear of the property.



2.2 Proposed Design Solutions:

- Interfacing Treatment** The neighbouring homes along 160th Street and 108 Avenue provide suitable architectural context for use at the subject site.
- Exterior Materials/Colours:** Stucco, cedar, vinyl, fibre-cement board, brick and stone. Note that vinyl siding will not be permitted on the front of the home, nor on the side of the home at any point within 3 feet of the front. Also, there must be a seamless colour transition from materials used on the front to vinyl used on the side. "Natural" colours such as browns, greens, clays and other earth-tones and "Neutral" colours such as grey, white and cream are permitted. "Primary" colours in subdued tones such as navy blue, colonial red, or forest green can be considered on trim only. "Warm" colours such as pink, rose, peach and salmon are not permitted. Trim colours: Shade variation of main colour, complementary, neutral or subdued contrast only.
- Roof Pitch:** Minimum 7:12.
- Roof Materials/Colours:** Cedar shingles, shake profile concrete roof tiles, shake profile asphalt shingles with a raised ridge cap and new environmentally sustainable roofing products should be permitted, providing that the aesthetic properties of the new materials are equal to or better than that of the traditional roofing products. Greys, blacks or browns only.
- In-ground basements:** Permitted, subject to determination that service invert locations are sufficiently below grade. Basements will appear underground from the front.
- Landscaping:** *Moderate modern urban standard.* Tree planting as specified on Tree Replacement Plan plus minimum 40 shrubs of a minimum 3 gallon pot size. Sod from street to face of home. Driveways: exposed aggregate, interlocking masonry pavers, or stamped concrete. Broom finish concrete is permitted only where the driveway directly connects the lane to the garage slab at the rear side of the dwelling.
- Compliance Deposit:** \$5,000.00.

Prepared and submitted by: ABBARCH Architecture Inc.

Reviewed and Approved by:

Date: June 8, 2017

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: 7916-0165 00


Address: 10863 / 10873 - 160 Street

Registered Arborist: Peter Mennel ISA (PN-5611A)

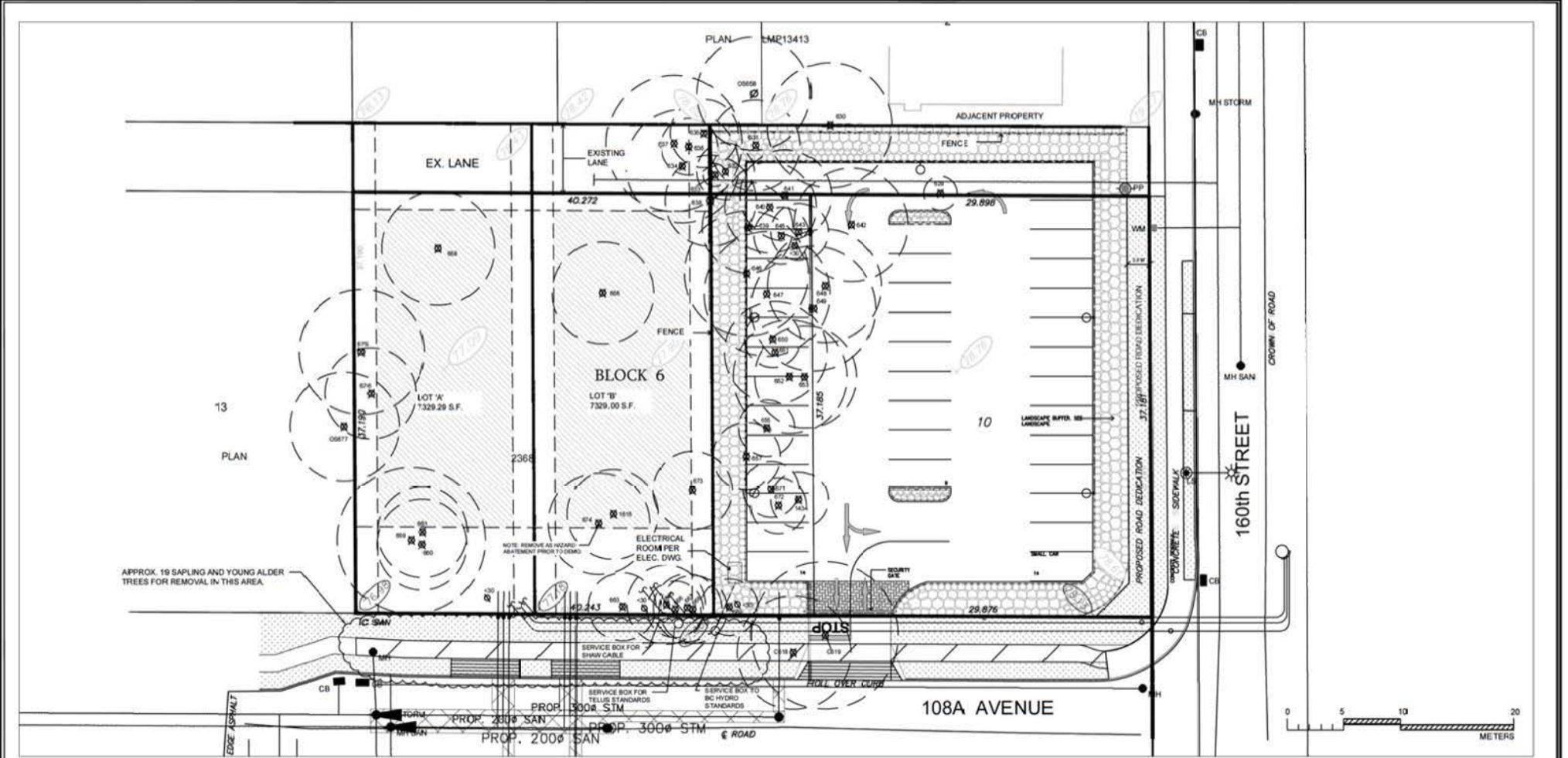
On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	66
Protected Trees to be Removed	66
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 22 X one (1) = <u>22</u> - All other Trees Requiring 2 to 1 Replacement Ratio 44 X two (2) = <u>88</u> 	110
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio X two (2) = 0 	0
Replacement Trees Proposed	NA
Replacement Trees in Deficit	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist: 	Date: June 28, 2017
--	---------------------





APPROX. 19 SAPLING AND YOUNG ALDER TREES FOR REMOVAL IN THIS AREA.

NOTE: REMOVE AS NEARLY AS ABATEMENT PRIOR TO DEMO.

ELECTRICAL ROOM PER ELEC. DWG.

LANDSCAPE BUFFER SEE LANDSCAPE

SEAL UP

108A AVENUE

160th STREET

LEGEND

-  TREE TO BE RETAINED
-  TREE TO BE REMOVED
-  NON-BY-LAW TREE
-  MINIMUM NO DISTURBANCE ZONE
-  TREE TO BE REASSESSED ONCE ADJACENT TREES HAVE BEEN REMOVED. REMOVAL WILL LIKELY BE RECOMMENDED.

NO.	DATE	BY	REVISION
1	MAY1916	MK	REVISIONS
2	APR1917	MK	REVISED AUXILIARY PARKING LOT
3	JUN1917	MK	GRADING PLAN
4	JUN2117	MK	SETBACKS FOR 2 LOTS
5	JUN2117	MK	ELECTRICAL PLAN

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

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Surrey, British Columbia
V3W 0A6
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Email: mfadum@fadum.ca

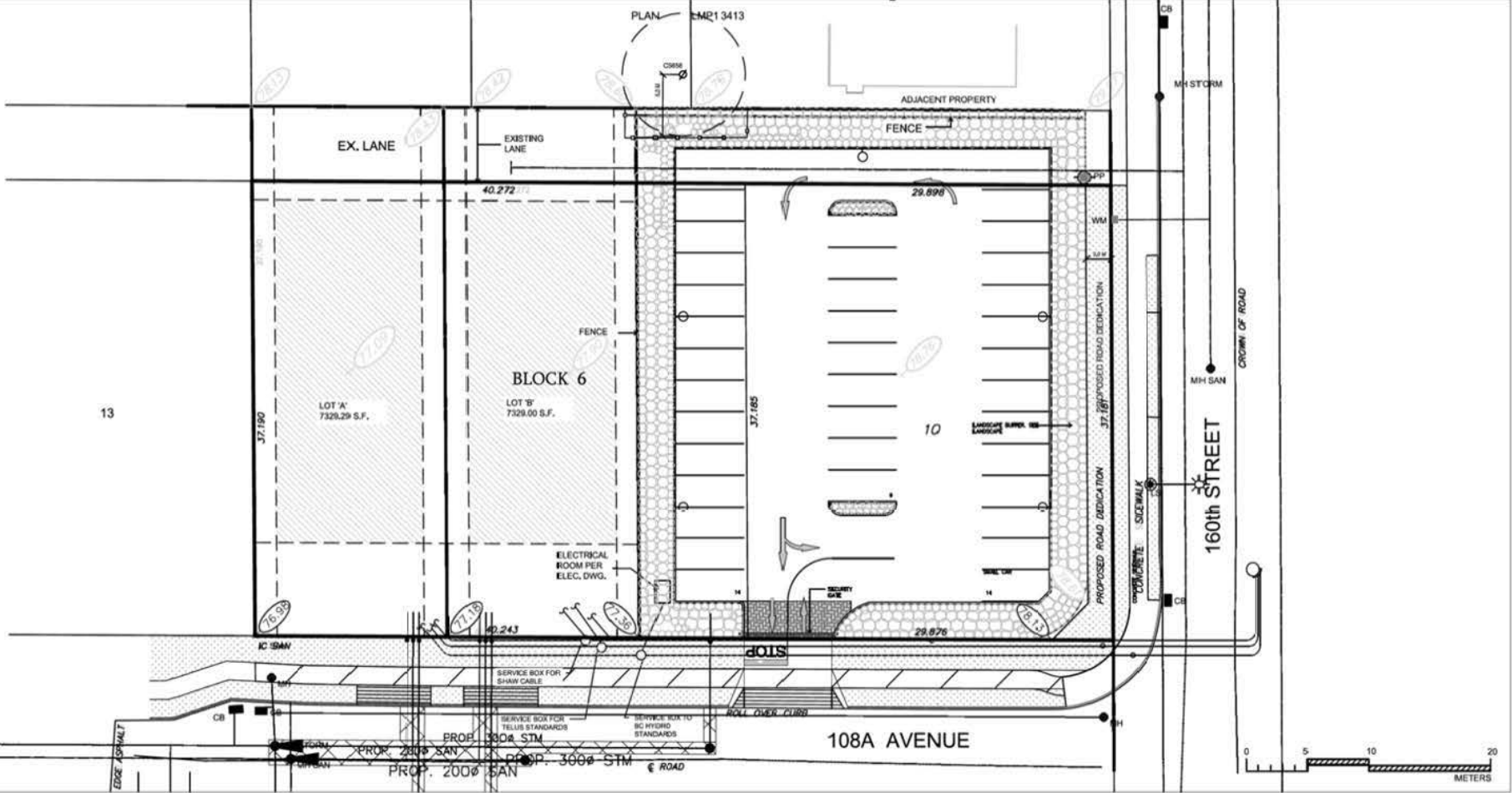
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PROJECT TITLE
10873 10863 160 ST.
SURREY, B.C.

SHEET TITLE
T1 - TREE REMOVAL AND PRESERVATION PLAN

CLIENT

DRAWN	SGL	T-1 SHEET 1 OF 2
SCALE	AS SHOWN	
DATE	FEBRUARY 22, 2016	



LEGEND

- TREE TO BE RETAINED
- TREE TO BE REASSESSED ONCE ADJACENT TREES HAVE BEEN REMOVED. REMOVAL WILL LIKELY BE RECOMMENDED.
- TREE PROTECTION FENCING
- MINIMUM NO DISTURBANCE ZONE

NOTE: TREE PROTECTION FENCING TO BE MEASURED FROM THE OUTER EDGE OF TREE TRUNK AND SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS. REASSESS TREES WITH LOT GRADING PLANS.

NOTE: REPLACEMENT TREES SHALL CONFORM TO BCSLA/BCLNA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE.



NO.	DATE	BY	REVISION
1	MAY1616	MK	REVISIONS
2	APR1917	MK	REVISED AGNILIARY PARKING LOT
3	JUN1517	MK	GRADING PLAN
4	JUN2717	MK	SETBACKS FOR 2 LOTS
5	JUN2717	MK	ELECTRICAL PLAN

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

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PROJECT TITLE
 10873 10863 160 ST.
 SURREY, B.C.

SHEET TITLE
 T2 - TREE PROTECTION AND
 REPLACEMENT PLAN
 CLIENT
 DATE
 FEBRUARY 22, 2016

DRAWN
 SGL
 SCALE
 AS SHOWN
 DATE
 FEBRUARY 22, 2016

T-2
 SHEET 2 OF 2

CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 002-274-183

Lot 10 Block 6 Section 15 Range 1 West New Westminster District Plan 2368, included in Block A on the Survey Plan attached hereto and forming part of this Bylaw, as Schedule A, certified correct by Zuzana Fulkova, B.C.L.S. on the 6th day of July, 2017.

10873 - 160 Street

Portion of Parcel Identifier: 012-642-355

Lot A Block 6 Section 15 Range 1 West New Westminster District Plan 2368 shown on the Survey Plan attached hereto and forming part of this Bylaw, as Schedule A, certified correct by Zuzana Fulkova, B.C.L.S. on the 6th day of July, 2017, containing 326.7 square metres, included in Block A.

Portion of 10863 - 160 Street

Portion of lane shown on the Survey Plan attached hereto and forming part of this Bylaw, as Schedule A, certified correct by Zuzana Fulkova, B.C.L.S. on the 6th day of July, 2017, containing 236.0 square metres, included in Block A.

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of a surface *parking facility*.

B. Permitted Uses

The *Lands* and *structures* shall be used for surface *Parking Facilities* only.

C. Lot Area

Not applicable to this Zone.

D. Density

The *floor area ratio* shall not exceed 0.01.

E. Lot Coverage

Not applicable to this Zone.

F. Yards and Setbacks

Not applicable to this Zone.

G. Height of Buildings

The *building height* shall not exceed 2.0 metres (6.5 ft.).

H. Off-Street Parking

Parking spaces shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures, or paved areas* shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot*, a continuous *landscaping* strip of not less than 3.0 metres [10 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot* except at *driveways*.

4. Except in those portions where a *building* abuts the *lot line*, screen planting at least 1.5 metres [5 ft.] high in a strip at least 3.0 metres [10 ft.] wide and a solid decorative fence at least 1.8 metres [6 ft.] high shall be provided along all *lot lines* separating the developed portion of the *lot* from any *residential lot*.

J. Special Regulations

Not applicable to this Zone.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
1,000 sq. m. [0.2 acres]	30 metres [100 ft.]	30 metres [100 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the C-8 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.

6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2016, No. 18664, as may be amended or replaced from time to time, and the development cost charges shall be based on the C-8 Zone.
9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20__ .

PASSED SECOND READING on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

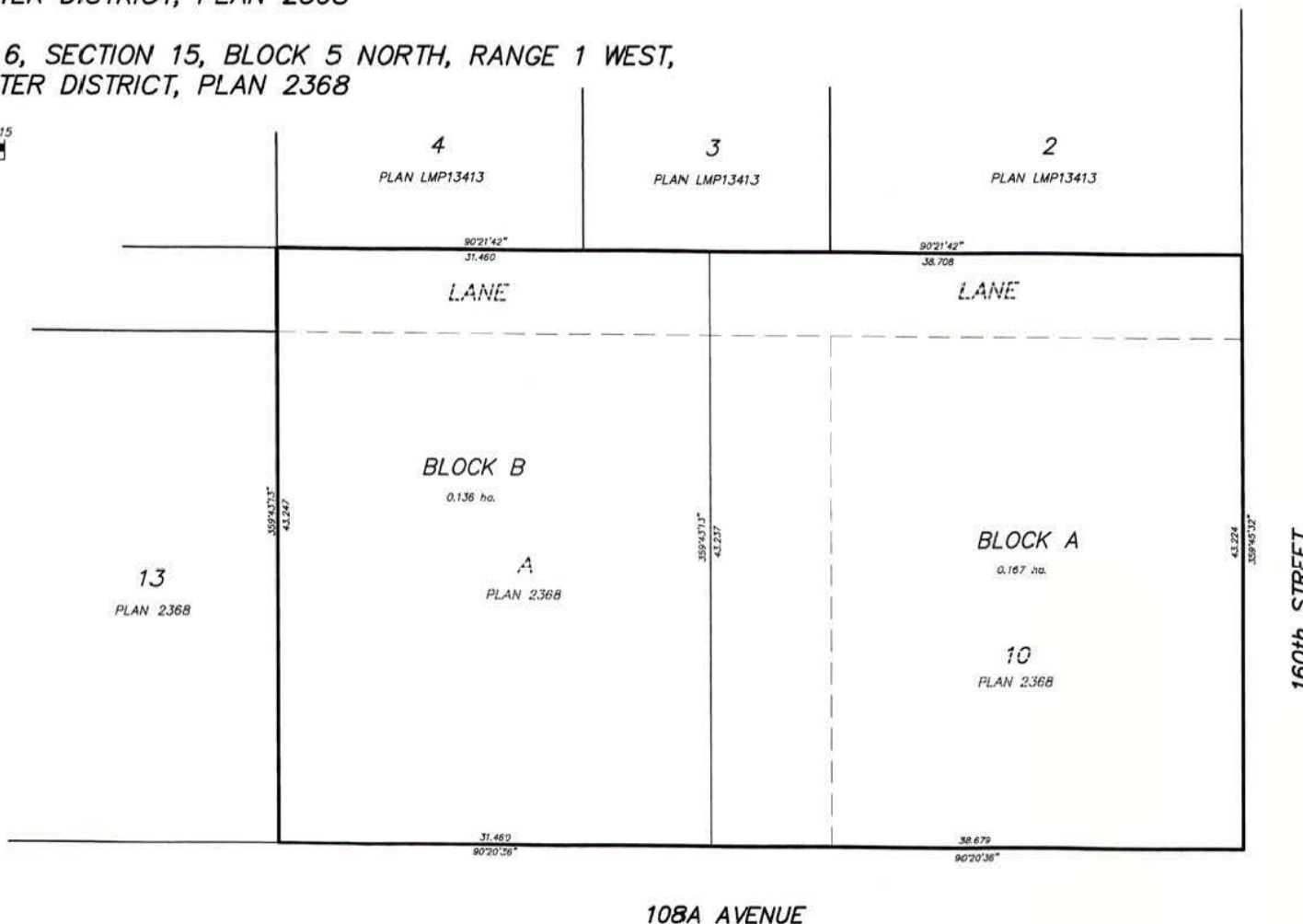
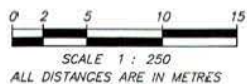
PASSED THIRD READING on the _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

_____ MAYOR

_____ CLERK

**SURVEY PLAN TO ACCOMPANY
CITY OF SURREY ZONING BYLAW _____
OVER LOT 10, BLOCK 6, SECTION 15, BLOCK 5 NORTH, RANGE 1 WEST,
NEW WESTMINSTER DISTRICT, PLAN 2368
AND
LOT A, BLOCK 6, SECTION 15, BLOCK 5 NORTH, RANGE 1 WEST,
NEW WESTMINSTER DISTRICT, PLAN 2368**



BOOK OF REFERENCE

ZONE	LEGAL DESCRIPTION	AREA
BLOCK A	PART OF LOT A, BLOCK 6, SEC 15, BLOCK 5 NORTH, RANGE 1 WEST, NWD, PLAN 2368	326.7 m ²
	LOT 10, BLOCK 6, SEC 15, BLOCK 5 NORTH, RANGE 1 WEST, NWD, PLAN 2368	0.111 ha.
	LANE	236.0 m ²
BLOCK B	PART OF LOT A, BLOCK 6, SEC 15, BLOCK 5 NORTH, RANGE 1 WEST, NWD, PLAN 2368	0.117 ha.
	LANE	191.8 m ²

NOTE:

LEGAL BOUNDARIES ARE BASED ON LAND TITLE OFFICE RECORDS AND FIELD SURVEY

MURRAY & ASSOCIATES
PROFESSIONAL LAND SURVEYORS
201-12448 82nd AVENUE
SURREY, BC V3W 3E9
(604) 597-9189



CERTIFIED CORRECT TO THIS DATE OF JULY, 2017

[Signature]

BCLS

SCHEDULE A