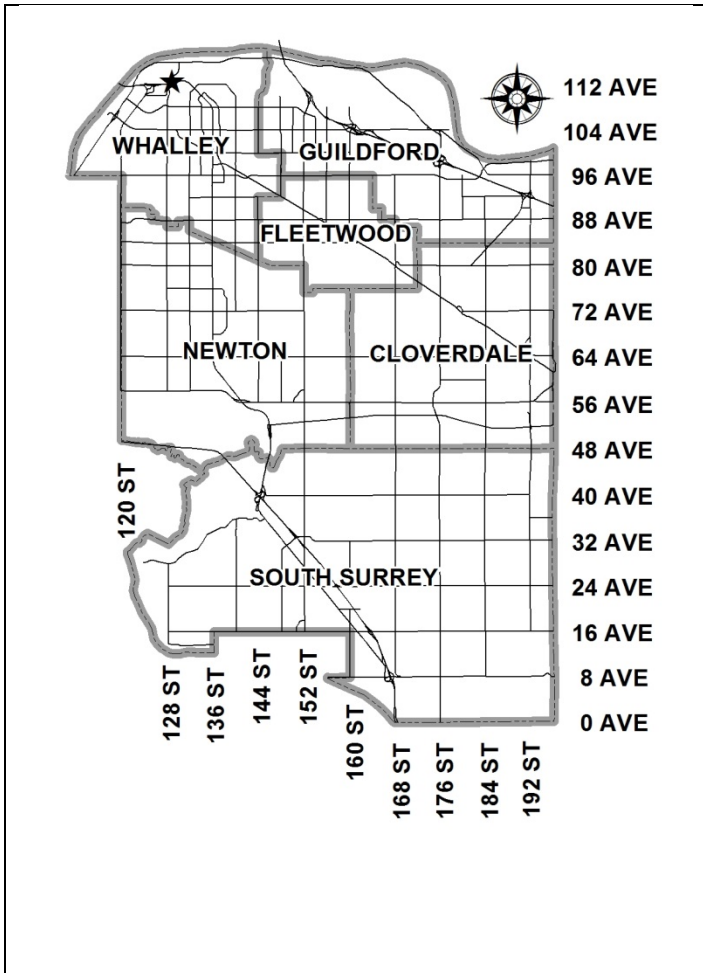


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0163-00

Planning Report Date: December 5, 2016



PROPOSAL:

- **Rezoning** a portion from RF to PA-2
- **Development Variance Permit**

to permit the development of a church (Calvary Worship Centre) in Bridgeview.

LOCATION:

12848, 12851, 12861, 12869 –
 114 Avenue, 11348 – 128 Street,
 12881 – 113B Avenue and
 12851 Bridgeview Drive

Portions of 113B Avenue and 114
 Avenue

OWNER:

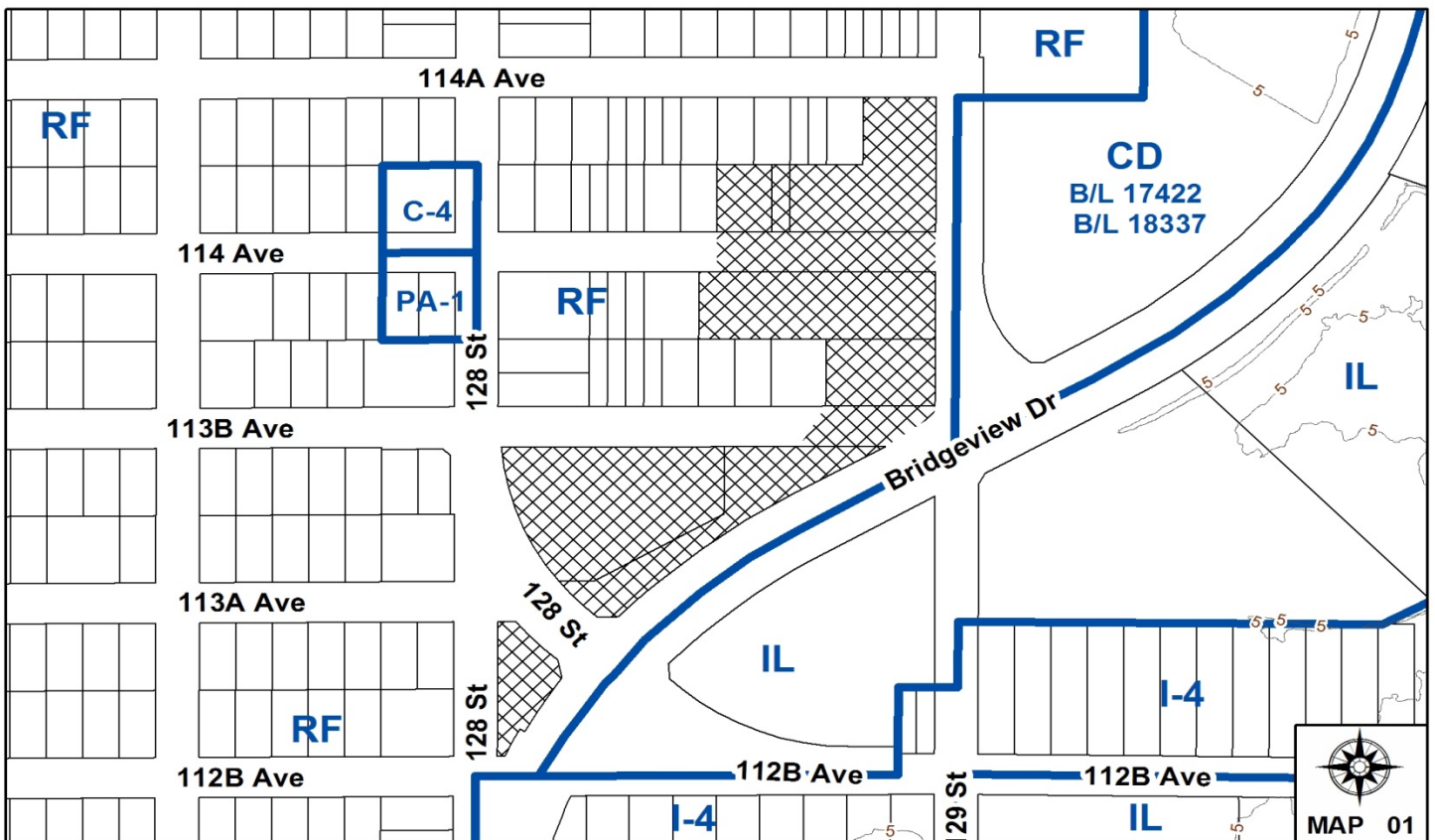
City of Surrey

ZONING:

RF

OCP DESIGNATION:

Urban



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking to vary the PA-2 Zone as follows:
 - to reduce the minimum front yard (west) setback, and the minimum north and south side yard setbacks along a flanking street;
 - to increase the building height from 9 metres (30 ft.) to 11.4 metres (37.5 ft.) for the sanctuary portion of the proposed church;
 - to reduce to the minimum required landscaping strip along the east property line from 3.0 metres (10 ft.) to 1.5 metres (5 ft.); and
 - to allow off-street parking to be located within the front yard (west) setback and the flanking (north) side yard setback.
- The applicant is seeking to vary the Sign Bylaw to allow an increase in the maximum sign area of the proposed fascia sign.

RATIONALE OF RECOMMENDATION

- Complies with the Urban designation in the OCP.
- The proposed church will provide a good transition between industrial and residential land uses in Bridgeview.
- The proposed church will replace the need for a Temporary Use Permit (TUP) at 11125 - 124 Street (former Rona Home Centre), which was extended on October 20, 2015 for a 3-year period (TUP No. 7915-0203-00).
- The proposed variances to reduce the front yard and side yard setbacks on the subject site will accommodate the church building on an irregularly-shaped lot. The variances are not expected to significantly impact the neighbouring properties.
- The proposed building height variance is relatively minor and is to accommodate the sanctuary portion of the church only. The remaining two-storey portion of the church is 7.5 metres (25 ft.) in height, which complies with the PA-2 Zone.
- The proposed relaxation to the landscaping is minor and is only proposed along the east lot line along 129 Street, which interfaces the rear side of Central City Brewers + Distillers.
- The proposed variance to allow off-street parking within the front yard (west) setback and the flanking (north) side yard setback is to accommodate a secondary parking lot with access to 128 Street only.
- The proposed fascia sign is high-quality and of an appropriate size and scale in relation to the building, and are not expected to negatively impact the adjacent property owners.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the majority of the subject site and portions of road allowance identified as Blocks A, B and C on the Survey Plan attached in Appendix I, from "Single Family Residential Zone (RF)" to "Assembly Hall 2 Zone (PA-2)" and a date be set for Public Hearing.
2. Council approve Development Variance Permit No. 7916-0163-00 (Appendix V) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum front yard (west) setback of the PA-2 Zone for the principal building from 11.4 metres (37.5 ft.) to 6.0 metres (20 ft.);
 - (b) to reduce the minimum north side yard setback of the PA-2 Zone for the principal building from 11.4 metres (37.5 ft.) to 7.5 metres (25 ft.);
 - (c) to reduce the minimum south side yard setback of the PA-2 Zone for the principal building from 11.4 metres (37.5 ft.) to 6.0 metres (20 ft.);
 - (d) to increase the maximum height of the principal building of the PA-2 Zone for the sanctuary portion of the proposed church from 9.0 metres (30 ft.) to 11.4 metres (37.5 ft.);
 - (e) to reduce the minimum 3.0-metre (10-ft.) wide landscaping strip along the east property line (129 Street) to a minimum of 1.5 metres (5.0 ft.);
 - (f) to vary the off-street parking provision in the PA-2 Zone to allow off-street parking to be located in the front yard (west) setback and the flanking (north) side yard setback; and
 - (g) to increase the maximum sign area of the proposed fascia sign in an institutional zone of the Sign By-law from 3.0 square metres (32 sq.ft.) to 30 square metres (320 sq.ft.).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;

- (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
- (g) completion of the road closure and acquisition of the east portion of 113B Avenue and 114 Avenue;
- (h) completion of the required acquisition of the City lands;
- (i) the applicant enter into a parking agreement with an appropriate property in the area to provide additional / overflow parking to the satisfaction of the General Manager, Engineering;
- (j) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
- (k) registration of a Section 219 Restrictive Covenant to require a minimum building elevation of 5.0 metres (16.5 ft.) geodetic;
- (l) registration of a Section 219 Restrictive Covenant to require that all of the parking areas on the subject site be paved with asphalt or an acceptable material in the future, to the satisfaction of the Planning and Development Department; and
- (m) the applicant enter into a Good Neighbour Agreement to ensure that the operation of the church is undertaken in a manner that does not negatively impact the adjacent single family neighbourhood, including parking management.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

Parks, Recreation & Culture: No concerns.

Ministry of Transportation & Infrastructure (MOTI): No concerns.

SITE CHARACTERISTICS

Existing Land Use: Vacant, City-owned lands.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across 114A Avenue):	Single family dwellings.	Urban	RF
East (Across unopened 129 Street):	Central City Brewers + Distillers.	Industrial	CD (By-law No. 18337)
South (Across Bridgeview Drive):	Vacant industrial lot.	Industrial	IL
West (Across 128 Street):	Single family dwellings.	Urban	RF

DEVELOPMENT CONSIDERATIONSBackground

- The subject site is irregular in shape and consists of seven (7) properties located in the Bridgeview area. The site is bounded by 114A Avenue to the north and Bridgeview Drive to the south, and 128 Street to the west and unconstructed 129 Street to the east.
- The seven properties comprise approximately 1.6 hectares (3.9 acres) of land, are designated Urban in the Official Community Plan (OCP) and zoned "Single Family Residential Zone (RF)". The site is currently vacant, but treed.
- A triangular remnant portion of land that is "hooked" to one of the subject properties (12851 Bridgeview Drive) across 128 Street, is not included as part of the subject development application. This "hooked" remnant is bounded by Bridgeview Drive, 128 Street (collector road) and 128 Street (local road), and is approximately 1,025 square metres (0.25 acre) in size.
- The area directly to the north and west of the subject site is designated Urban in the OCP and consists mainly of undersized, single family RF lots, some of which are undeveloped. The area to the east and south of the subject site is designated Industrial in the OCP and consists of vacant and developing industrial lots. The Central City Brewers + Distillers is located directly east of the subject site, across unconstructed 129 Street.

Current Proposal

- The subject site (7 properties) is currently owned by the City. The applicant is proposing to purchase and rezone the subject site from "Single Family Residential Zone (RF)" to "Assembly Hall 2 Zone (PA-2)" in order to construct a church (Calvary Worship Centre).

- A Development Variance Permit (DVP) is also requested (see By-law Variances section) to:
 - Reduce the front yard (west) and north and south side yard setbacks on a flanking street;
 - Increase the maximum height of the proposed building;
 - Reduce the minimum width of the required landscape strip along east property line;
 - Allow off-street parking to be located in the front yard (west) setback and the flanking (north) side yard setback; and
 - Allow an increase in the maximum sign area of the proposed fascia signs.
- The proposed church is to be located at the southwest corner of the subject site at Bridgeview Drive and 128 Street (collector road), and is approximately 3,830 square metres (41,215 sq.ft.) in gross floor area. The proposed floor area ratio (FAR) is 0.22, which complies with the maximum FAR of 0.50 permitted in the PA-2 Zone.
- The proposed church is a single building, but is divided into two sections – the main sanctuary, and the offices / classrooms area. The sanctuary is a single storey with a floor area of 1,885 sq.m. (20,290 sq.ft.), while the office / classroom section is two storeys high and represents just over 50% (1,945 sq.m. / 20,925 sq.ft.) of the total gross floor area of the proposed church.
- The sanctuary is a single storey, but at a proposed height of 11.4 metres (37.5 ft.) is taller than the two-storey office / classroom section of the church, which is 7.5 metres (25 ft.) high.
- The sanctuary consists of the main sanctuary hall, a stage and several small rooms (prayer, media, pastoral and counselling). The two-storey section of the building will consist of a large entry foyer, two (2) multi-purpose rooms, five (5) classrooms including a large room for Sunday School, leisure rooms, a small kitchen and several office spaces.
- The proposed church (Calvary Worship Centre) is an interdenominational facility with a congregation of approximately 750 people. The church was originally based in Burnaby, but moved to New Westminster in 2003. In 2012, with the approval of Temporary Use Permit No. 7912-0237-00, it was relocated to the building at 11125 – 124 Street (former Rona Home Centre) in Surrey. The New Westminster facility still remains open, while the Calvary Worship Centre also has secondary churches in Langley and Victoria.
- On October 20, 2015, Council approved a 3-year extension to the TUP (File No. 7915-0203-00).
- The applicant has stated that the facility will be used as follows:

REGULAR (WEEKLY) USES	INFORMATION AND DETAILS
Sunday church service	Two (2) services between 9:30 a.m. and 2:00 p.m., and includes Sunday School (children's bible teaching and play sessions).
Friday prayer service	One (1) service between 6:00 p.m. and 9:00 p.m.
Church office	Office open weekdays from 9:00 a.m. to 5:00 p.m.
Group meetings	Small group meetings are held Monday to Thursday evenings from 6:00 p.m. to 8:30 p.m.

OCCASIONAL USES	INFORMATION AND DETAILS
Weddings, memorial services/funerals	Occur as requested/needed.
Events (music concerts, drama plays, church socials)	No set dates, often 3 or 4 times a year and typically are on a Friday or Saturday evening.
Special programs and occasions (children/family programs, family/bible school fun days)	No set dates, usually weekdays during the day in the summer or during holidays. Typically there are 4 or 5 family/children's events per year.
FUTURE USES	INFORMATION AND DETAILS
Child care centre	A child care centre is a permitted use under the PA-2 Zone. The church plans to offer a child care program, but have not confirmed any details at this time.

- Planning staff expressed some concerns to the applicant regarding the irregular shape of the subject site, which has resulted in the main parking lot being located a considerable distance from the proposed church building. The applicant was strongly encouraged to purchase additional properties in the area, particularly the lots at the east end of 113B Avenue, in order to consolidate them with the subject site and improve the functionality of the site. However, the applicant has indicated that they have been unable to reach a mutual agreement with any of the neighbouring property owners and feels that the parking location and configuration can be managed.
- Although no additional properties have been included in the subject development application at this time, this does not preclude the possibility of the applicant purchasing additional properties in the future. The applicant however, will need to submit a rezoning application in order to consolidate additional lots with the subject site.
- The subject site is located within the 200-year floodplain and has soft peat soil, which is typical of most properties in the Bridgeview area. As a result, the applicant will need to apply for a fill permit to pre-load and fill the subject site, in order to stabilize the soil and raise the grades above the 200-year flood level.
- Given its context, with industrial lands to the east and residential lands to the north and west, the proposed church provides a good transition.

Road Requirements and Road Closure

- The applicant will dedicate 1.0 metre (3 ft.) along the south lot line, including along the triangular remnant that is "hooked" to 12851 Bridgeview Drive, for the widening of Bridgeview Drive.
- Road dedication is also required at the east end of 113B Avenue to accommodate the cul-de-sac. The applicant will construct the boulevard, curb and gutter, as well as install street lighting, street trees and a 1.5-metre (5-ft.) wide concrete sidewalk along the south side of 113B Avenue, adjacent to the subject site. The construction of the sidewalk is contingent on the tree retention as well as the pre-loading and lot grading of the site, and will be determined as part of the review of the detailed Engineering drawings.

- As part of the subject development application, the applicant will construct 129 Street from Bridgeview Drive to the driveway letdown to the proposed main parking lot. The remainder of 129 Street, north of the driveway letdown, will not be constructed as part of the subject development and will remain as unopened road allowance.
- As part of the development application, the applicant proposes to close and acquire the eastern portions of unopened 113B Avenue and 114 Avenue (see Survey Block Plan in Appendix I), in order to incorporate these portions of the unopened roads with the subject site. The subject site increases from approximately 1.6 hectares (3.9 acres) to 1.86 hectares (4.6 acres) in size, after the closure and acquisition of these portions of unopened road.
- The City's Transportation Division and Realty Services Division confirm that there are no concerns with the closure and acquisition of these unopened portions of 113B Avenue and 114 Avenue.

Parking

- The applicant proposes two (2) surface parking lots on the subject site. The main parking lot, located to the northeast of the entrance to the proposed church, consists of 276 parking spaces with vehicle access to 129 Street, which will be constructed as part of the subject development application. The smaller parking lot, which is located directly northwest of the proposed building, consists of fourteen (14) parking spaces with vehicle access to 128 Street. Based on the parking requirement for churches in the Zoning By-law (7.5 parking spaces per 100 square metres (1,075 sq.ft.) of gross floor area), 289 parking spaces are required for the proposed church on the subject site. A total of 290 parking spaces are currently proposed.
- The applicant has indicated that some of their congregation will ride public transit to the church. A bus stop is located along 128 Street less than 75 metres (250 ft.) from the subject site, while Scott Road SkyTrain station is located less than 1 kilometre (0.60 mile) away or about a 20-minute walk to the southwest, across King George Boulevard.
- The applicant also proposes to arrange a shuttle bus service to transport congregation members to / from the Scott Road SkyTrain station in order to further encourage patrons to utilize public transit.
- Additionally, the applicant has agreed to negotiate a parking agreement with a suitable property in the area, in order to utilize their parking lot during large events or busy periods. The applicant has agreed to have the parking agreement in place, prior to consideration of final adoption of the rezoning of the subject site.
- As part of the development application, the applicant is required to fully pave all parking areas on the subject site with asphalt. The applicant has requested to pave the northern two-thirds of the main parking lot with crushed asphalt in the interim (Appendix VI). The southwest portion of the main parking lot and the entirety of the secondary parking lot will be fully paved with asphalt.
- Crushed asphalt is a durable, eco-friendly material that is comprised of recycled asphalt and produces minimal noise and dust, but is not equivalent to a paved asphalt surface which is flat and even.

- Due to flood proofing-requirements and soft soils, the subject site must be pre-loaded and allotted time for the fill to settle. This process may take a significant period of time, and therefore, fully paving the parking areas with asphalt at this time before the fill settles, may result in significant costs for maintenance and re-paving.
- As part of the subject development application, the applicant will be required to register a Section 219 Restrictive Covenant to ensure that all of the parking area on the subject site will be paved with asphalt or an acceptable material in the future. A bond or security may also be held to ensure this is completed.

PRE-NOTIFICATION AND PUBLIC INFORMATION MEETING

Pre-notification letters were sent out to the neighbourhood on September 14, 2016, and staff received eight (8) telephone calls and five (5) e-mails in opposition to the proposed church.

Public Information Meeting

- The applicant held a Public Information Meeting (PIM) on Thursday, October 20, 2016 at the Bridgeview Community Centre. A total of 41 individuals signed-in and attended the PIM, and a total of 21 comment sheets were submitted. Staff representatives from the Area Planning Division and the Transportation Engineering Division were in attendance at the PIM.
- A total of 21 comment sheets were received as follows:
 - Five (5) Bridgeview residents expressed support for the proposal;
 - Five (5) non-Bridgeview residents expressed support for the proposal;
 - Two (2) individuals expressed an indifference to the proposal; and
 - Nine (9) Bridgeview residents expressed concerns and/or non-support for the proposal.

Community Concerns to Proposal

- The responses expressed at the Public Information Meeting were consistent with comments received in response to the pre-notification letters, and are summarized below.
- Assembly Hall / Church Use: The proposed rezoning of the subject site to PA-2 to allow a church on the subject site is a concern for some area residents. Some residents felt that the site should not be developed since it has remained vacant for many years, while others believed that if the site is developed, it should be developed as single family lots consistent with the immediate Bridgeview neighbourhood to the west and north.

Applicant's response:

- The subject site borders both residential and industrial areas, and is therefore compliant with the existing uses in the neighbourhood. The proposed church is also compliant with the Urban designation in the Official Community Plan (OCP).

Staff comments:

- The subject site is designated Urban in the Official Community Plan (OCP) and has remained undeveloped for many years due to capacity issues with the Bridgeview vacuum sewer system (VSS). The subject site is located in Phase 4 of the City-initiated plan to replace the VSS with a low-pressure sewer system (LPS). Phases 3 and 4 are expected to be completed by Summer of 2017. As a result of the completion of the LPS, development of the subject site will be possible.
- The subject site is currently vacant and is located between an established single family neighbourhood to the west and north, and a developing light-impact industrial area to the east and southeast. The proposed institutional use (church) is a suitable transition between the residential and industrial land uses.
- An expansion of the single family neighbourhood on the subject site could generate some conflict with the existing and future industrial uses in the area. Bridgeview Drive is a truck route and acts as a major road connection between King George Boulevard and the South Fraser Perimeter Road (SFPR), and therefore, single family residential development is not ideal on the subject site.
- Traffic / Parking: The proposed church will generate additional traffic and parking problems for the residential streets in the Bridgeview neighbourhood.

Applicant's response:

- The peak traffic for the church will be during Sunday service, which is spread out over two (2) services between 9:30 a.m. and 2:00 p.m. A Friday service is also proposed between 6:00 p.m. and 9:00 p.m. At other times, traffic flow to and from the church will be minimal.
- A single vehicle access point to the main parking lot is via 129 Street. The smaller, secondary parking lot is accessed from 128 Street only. No vehicle access is permitted from 113B Avenue, 114 Avenue or 114A Avenue within the residential area.
- The proposal meets the minimum parking requirements of the PA-2 Zone. A shuttle service will be arranged between the Scott Road SkyTrain Station and the subject site to further encourage congregation members to take public transit.
- Due to the irregular shape of the subject site, there is a significant distance between the church entrance and the main parking lot. A shuttle service may be provided for congregation members within the main parking lot, if needed. Four (4) short-term parking stalls are also located adjacent to the church entrance plaza for pick-up/drop-off purposes.

Staff comments:

- The applicant has proposed 290 parking spaces on the subject site, which exceeds the minimum parking requirement of 289 parking stalls as per the Zoning By-law.
 - There will not be any direct vehicle or pedestrian access to the subject site from the adjacent residential streets (113B Avenue, 114 Avenue and 114A Avenue). In particular, the subject site will be landscaped and fenced off to prevent vehicle or pedestrian access from 113B Avenue and 114 Avenue, reducing the likelihood of congregation members parking on the adjacent residential streets.
 - The applicant has also agreed to negotiate a parking agreement with a suitable neighbouring property, such as the Central City Brewers + Distillers site to the east, in order to utilize their parking lot during large events or busy periods, prior to consideration of final adoption of the rezoning of the subject site.
 - In order to improve traffic flow, a new northbound left turn lane from Bridgeview Drive to 129 Street is proposed. This will provide direct access to the main parking lot for congregation members travelling to the site from the south.
- Tree removal / Loss of greenspace: Area residents have expressed concerns regarding the removal of a large number of trees on the subject site. Many residents believe that the site should be a public park.

Applicant's response:

- A number of existing trees and landscaping will be preserved along the north side of the subject site adjacent to 113B Avenue. As many on-site trees as possible will be retained as part of this development through site design. Some on-site trees are in poor condition and need to be removed as part of the development application.
- The landscaping plans show that 159 replacement trees will be planted as part of the subject development application, including maples, hemlock, magnolias, oak and cherry.

Staff comments:

- Planning staff encouraged the applicant to retain as many trees as possible on the subject site. In particular, the majority of the trees along the north side of the subject site adjacent to 113B Avenue will be preserved in order to retain a naturalized landscape buffer adjacent to the existing single family dwellings to the immediate north.
- Tree retention is a significant challenge on the subject site due to the parking requirements and the pre-loading of the site, which will greatly impact many of the existing mature trees. The applicant proposes to replant over 150 trees throughout the site, including the main parking lot.

- Drug Recovery House / Shelter: Many local residents expressed concerns that the church will be utilized as a drug recovery house or homeless shelter.

Applicant's response:

- The inclusion of a homeless shelter or drug recovery house is not proposed, and a drug-recovery house is not permitted under the PA-2 Zone.

Staff comments:

- The PA-2 Zone does not allow a drug recovery house, and therefore, this use is not permitted on the subject site as part of the church. A shelter is considered a community service use in the Zoning By-law No. 12000, which is a permitted use in the PA-2 Zone. As such, a shelter would be a permitted ancillary use on this site, similar to other churches zoned PA-1 or PA-2 throughout the City. However, the applicant has advised that they have no intentions of providing shelter services.

DESIGN PROPOSAL AND REVIEW

Site Layout

- The proposed church is situated at the southwest corner of the subject site with the main parking lot, with access to 129 Street, located to the northeast of the building. A smaller parking lot is located northwest of the proposed church, with access to 128 Street. The subject site will be fenced, and therefore, no direct vehicle or pedestrian access is permitted to the site from the adjacent residential streets: 113B Avenue, 114 Avenue and 114A Avenue.
- The applicant is required to dedicate 1.0 metre (3 ft.) along Bridgeview Drive and to construct the southern portion of 129 Street to the drive aisle letdown to the proposed main parking lot.

Proposed Building Design

- The proposed church incorporates a uniform masonry brick finish (beige in colour) along the lower third of the sanctuary and along the lower half of the office / classroom section of the building.
- Above the masonry brick, the building includes metal cladding panels (painted grey). The proportions of the panels have been designed to provide consistency between the two (2) sections of the building. Metal trims painted red / brown have been incorporated to provide further building articulation.
- The building design includes strategically located panels of aluminum glazing (windows and spandrel glass), including floor to roof glazing on the office / classroom section of the building. This is particularly evident along the south building elevation, facing Bridgeview Drive. Solar shades are proposed over sections of the building as well.
- Lighting is to be installed within the parking lot for improved safety and visibility. The proposed lighting will be downward facing and not create a significant glare on the neighbouring single family dwellings.

- The proposed garbage enclosure is located at the east end of the secondary parking lot, north of the proposed building. The enclosure will be constructed of brick with metal gates.

Proposed Signage

- One (1) fascia sign is proposed along the south building elevation, facing Bridgeview Drive. The proposed sign is approximately 3.65 metres (12 ft.) high and 8.14 metres (26.5 ft.) wide, resulting in a sign area of 29.7 square metres (320 sq.ft.).
- The proposed fascia sign is comprised of non-illuminated channel letters on a galvanized metal sign panel designed to match the metal cladding panels on the building.
- The maximum permitted sign area of all fascia signs on a building in an institutional zone is 3.0 square metres (32 sq.ft.). Therefore, the proposed sign exceeds the maximum permitted sign area and a variance is required (see By-law Variance section).

TREES

- Andrew Connell, ISA Certified Arborist of Diamond Head Consulting prepared an Arborist Assessment for the subject property. The following table provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	8	8	0
Cottonwood	25	25	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Black Locust	13	13	0
Bitter Cherry	3	3	0
Cherry	3	2	1
European Birch Cherry	2	2	0
Hazelnut	6	6	0
Horse Chestnut	11	11	0
Lombardy Poplar	20	20	0
Norway Maple	2	2	0
Pacific Crabapple	1	1	0
Paper Birch	52	46	6
Scouler's Willow	2	2	0
Western Catalpa	2	2	0
Coniferous Trees			
Douglas Fir	1	0	1
Grand Fir	2	2	0
Shorepine	3	2	1
Western Hemlock	7	5	2
Western Red Cedar	17	6	11

Total (excluding Alder and Cottonwood Trees)	147	125	22
Total Replacement Trees Proposed (excluding Boulevard Street Trees)	159		
Total Retained and Replacement Trees	181		
Contribution to the Green City Fund	\$49,600		

- The Arborist Assessment states that there are a total of 147 mature trees on the site, excluding Alder and Cottonwood trees. A total of thirty-three (33) existing trees, approximately 18% of the total trees on the site, are Alder and Cottonwood trees. It was determined that twenty-two (22) trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the building footprints, parking requirements and the proposed pre-loading and lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 283 replacement trees on the site. Since only 159 replacement trees can be accommodated on the site, the deficit of 124 replacement trees will require a cash-in-lieu payment of \$49,600, representing \$400 per tree, to the Green City Fund, in accordance with the City’s Tree Protection By-law.

Landscaping

- The landscape plan shows a total of 159 trees to be planted throughout the subject site with additional landscaping throughout the parking lot and around the proposed building. Proposed trees include maples, hemlock, magnolias, oak and cherry.
- A significant number of shrubs and ground cover species are proposed throughout the subject site, including azaleas, rhododendrons, juniper, laurels, roses and decorative grasses and shrubs.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on October 31, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The subject site is located between a residential area and an industrial area in Bridgeview along Bridgeview Drive, near King George Boulevard.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed density is 0.22 FAR.

Sustainability Criteria	Sustainable Development Features Summary
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The following Low Impact Development Standards are utilized: <ul style="list-style-type: none"> ○ Infiltration trenches, and swales for on-site stormwater management and detention; and ○ Natural landscaping
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • A bus stop is located along 128 Street less than 75 metres (250 ft.) from the subject site. The Scott Road SkyTrain Station is located less than 1 kilometre (0.60 mile) to the southwest, across King George Boulevard.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • The proposed building incorporates CPTED principles including: well-lit entries/exits, passive surveillance on the street, and appropriate pedestrian linkages and lighting.
6. Green Certification (F1)	<ul style="list-style-type: none"> • No green rating or certification is proposed.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • Pre-notification letters were mailed to area residents and a development proposal sign was installed on subject site. A Public Information Meeting was also held.

BY-LAW VARIANCES AND JUSTIFICATION

(a) Requested Variances:

- To reduce the minimum front yard (west) setback of the PA-2 Zone for the principal building from 11.4 metres (37.5 ft.) to 6.0 metres (20 ft.);
- To reduce the minimum north side yard setback of the PA-2 Zone for the principal building from 11.4 metres (37.5 ft.) to 7.5 metres (25 ft.); and
- To reduce the minimum south side yard setback of the PA-2 Zone for the principal building from 11.4 metres (37.5 ft.) to 6.0 metres (20 ft.).

Applicant's Reasons:

- The proposed front yard (west) setback (128 Street) is appropriately landscaped and the proposed building is not expected to negatively impact the neighbouring properties to the west, across 128 Street.
- The proposed north side yard setback (113B Avenue) of 7.5 metres (25 ft.) applies to the eastern one-third of the proposed church building. The proposed setback progressively increases along the remaining west portion of the building to over 30 metres (100 ft.).
- The proposed south side yard setback (Bridgeview Drive) of 6.0 metres (20 ft.) is consistent with the adjacent Central City Brewers + Distillers building setback to the east, along Bridgeview Drive. The proposed 6.0 metre setback applies to the eastern portion of the church building only, as the setback increases further west to 11 metres (36 ft.).

Staff Comments:

- The subject site is irregularly-shaped and creates a reduced building envelope. Therefore, the applicant has requested setback relaxations in order to construct a church that will accommodate the size of the congregation.
- The applicant's proposed front yard (west) setback of 6.0 metres (20 ft.) is not expected to negatively impact the adjacent properties to the west, across 128 Street. The properties closest to the subject site, across 128 Street, are located at least 23 metres (75 ft.) away and are currently vacant.
- Planning staff worked with the applicant's architect and arborist to retain a number of mature trees along 113B Avenue, directly north of the proposed church building. The existing trees and vegetation will create a natural buffer between the proposed building and the existing single family dwellings across 113B Avenue to the north.
- The proposed south side yard setback of 6.0 metres (20 ft.) along Bridgeview Drive is similar to the existing setback for the Central City Brewers + Distillers building of 6.5 metres (21 ft.) along Bridgeview Drive, and will provide a continuity for the streetscape.
- Staff support the proposed variances.

(b) Requested Variance:

- To increase the maximum building height of the PA-2 Zone for the sanctuary portion of the proposed church from 9.0 metres (30 ft.) to 11.4 metres (37.5 ft.).

Applicant's Reasons:

- The proposed building height of 11.4 metres (37.5 ft.) is a consequence of the required height of the church sanctuary, with the internal height clearances and structural finishes.
- The sanctuary portion of the building at 11.4 metres (37.5 ft.) is lower than the adjacent Central City Brewers + Distillers building, which is approximately 14 metres (46 ft.) tall.

Staff Comments:

- The maximum height of buildings in the PA-2 Zone is 9.0 metres (30 ft.). The proposed building height increase to 11.4 metres (37.5 ft.) pertains to the sanctuary portion of the building only. The remaining two-storey portion of the building, which will encompass about half of the proposed building, will only be 7.5 metres (25 ft.) high.

- The 11.4-metre (37.5-ft.) high sanctuary portion of the proposed building has been designed to be located furthest away from the existing single family dwellings to the north, across 113B Avenue. The retention of most of the existing trees and landscaping on the subject site, along the south side of 113B Avenue, will result in a natural, mature landscape buffer. Therefore, the proposed increase in the building height is not expected to negatively impact the neighbouring residential properties.
- Staff support the proposed variance.

(c) Requested Variance:

- To relax the minimum 3.0-metre (10-ft.) wide landscaping strip requirement of the PA-2 Zone along the east property line (129 Street) to a minimum of 1.5 metres (5.0 ft.).

Applicant's Reason:

- The reduced landscaping of 1.5 metres (5.0 ft.) along the east property line is appropriate since this is a future street edge, located away from any residential properties.

Staff Comments:

- The proposed reduction in the landscaping is along the east property line only, adjacent to 129 Street. A minimum 3.0-metre (10-ft.) wide landscape strip is proposed along all other property lines of the subject site, which complies with the PA-2 Zone.
- The reduced landscaping along the east property line is adjacent to a local road (129 Street) and will interface the rear elevation of the Central City Brewers + Distillers building to the east.
- The reduced 1.5-metre (5.0 ft.) wide landscaping strip will still allow a row of maple trees to be planted.
- Staff support the proposed variance.

(d) Requested Variance:

- To vary the off-street parking provision in the PA-2 Zone to allow off-street parking to be located in the front yard setback and the flanking side yard setback.

Applicant's Reason:

- The irregular shape of the subject site creates a challenge in the siting of the building and parking. In order to make use of the full site, a small 14-stall parking lot is proposed directly northwest of the proposed church building.

Staff Comments:

- The subject site is irregularly-shaped, and in order to accommodate the proposed parking areas a relaxation to the front yard setback and the flanking side yard setback is required.
- The parking areas on the subject site have been designed to maximize the use of the site, while still providing landscaping along all property lines, including a naturalized buffer along the south side of 113B Street.
- Staff support the proposed variance.

(e) Requested Variance:

- To increase the maximum sign area of the proposed fascia signs in an institutional zone in the Sign By-law from 3.0 square metres (32 sq.ft.) to 30 square metres (320 sq.ft.).

Applicant's Reason:

- The proposed fascia sign forms an integral part of identifying the church.

Staff Comments:

- The proposed fascia sign is high-quality and of an appropriate size and scale in relation to the building.
- The proposed fascia sign is located along the south building elevation facing Bridgeview Drive, and consists of channel letters and is non-illuminated.
- Staff support the proposed variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary, Project Data Sheets and Survey Plans
Appendix II.	Site Plan, Building Elevations, Landscape Plans
Appendix III.	Engineering Summary
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	Development Variance Permit No. 7916-0163-00
Appendix VI.	Parking Lot Paving

Original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

DN/dk

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Roger Jawanda
 Citiwest Consulting Ltd.
 Address: 9030 - King George Boulevard, Suite 101
 Surrey, BC V3V 7Y3

2. Properties involved in the Application
 - (a) Civic Addresses: 12861 – 114 Avenue
 11348 – 128 Street
 12881 – 113B Avenue
 12848 – 114 Avenue
 12851 – 114 Avenue
 12869 – 114 Avenue
 12851 Bridgeview Drive

 - (b) Civic Address: 12861 – 114 Avenue
 Owner: City of Surrey
 PID: 011-587-661
 Lot 33 Block 5 Section 9 Block 5 North Range 2 West New Westminster District Plan 480

 - (c) Civic Address: 11348 – 128 Street
 Owner: City of Surrey
 PID: 005-792-118
 Lot 66 Except Part in Plan LMP34688 Section 9 Block 5 North Range 2 West New Westminister District Plan 59625

 - (d) Civic Address: 12881 – 113B Avenue
 Owner: City of Surrey
 PID: 017-258-553
 Lot "G" (BE12942) Block 6 Section 9 Block 5 North Range 2 West New Westminister District Plan 480

 - (e) Civic Address: 12848 – 114 Avenue
 Owner: City of Surrey
 PID: 017-263-433
 Lot "H" (BE12940) Block 6 Section 9 Block 5 North Range 2 West New Westminister District Plan 480

 - (f) Civic Address: 12851 – 114 Avenue
 Owner: City of Surrey
 PID: 017-241-235
 Lot "K" (BE12934) Block 5 Section 9 Block 5 North Range 2 West New Westminister District Plan 480

- (g) Civic Address: 12869 – 114 Avenue
Owner: City of Surrey
PID: 017-253-276
Lot "L" (BE12937) Block 5 Section 9 Block 5 North Range 2 West New Westminster District Plan 480
- (h) Civic Address: 12851 - Bridgeview Drive
Owner: City of Surrey
PID: 025-257-331
Lot 1 Section 9 Block 5 North Range 2 West New Westminster District Plan LMP52739
- (i) Portions of 113B Avenue and 114 Avenue.

3. Summary of Actions for City Clerk's Office

- (a) Introduce a By-law to rezone the site and portions of road allowance.
- (b) Application is under the jurisdiction of MOTI.

MOTI File No. 2016-04667
- (c) Proceed with Public Notification for Development Variance Permit No. 7916-0163-00 and bring the Development Variance Permit forward for an indication of support by Council. If supported, the Development Variance Permit will be brought forward for issuance and execution by the Mayor and City Clerk in conjunction with the final adoption of the associated Rezoning By-law.

DEVELOPMENT DATA SHEET

Proposed Zoning: PA-2

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA		
Gross Total		18,649 sq.m.
Road Widening area		1,511 sq.m.
Net Total		17,138 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	40%	16.9%
Paved & Hard Surfaced Areas		56.4%
Total Site Coverage		73.3%
SETBACKS		
Front (west)	11.4 metres	6.0 metres*
Rear (east)	11.4 metres	11.5 metres
Side #1 (north)	11.4 metres	7.5 metres*
Side #2 (south)	11.4 metres	6.0 metres*
BUILDING HEIGHT (in metres/storeys)		
Principal	9.0 metres	11.4 metres*
Accessory	4.0 metres	N/A
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		N/A
FLOOR AREA: Residential		
		N/A
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
		N/A
FLOOR AREA: Institutional		
	8,569 sq.m.	3,855 sq.m.
TOTAL BUILDING FLOOR AREA		
	8,569 sq.m.	3,855 sq.m.

* *Variiances requested*

Development Data Sheet cont'd

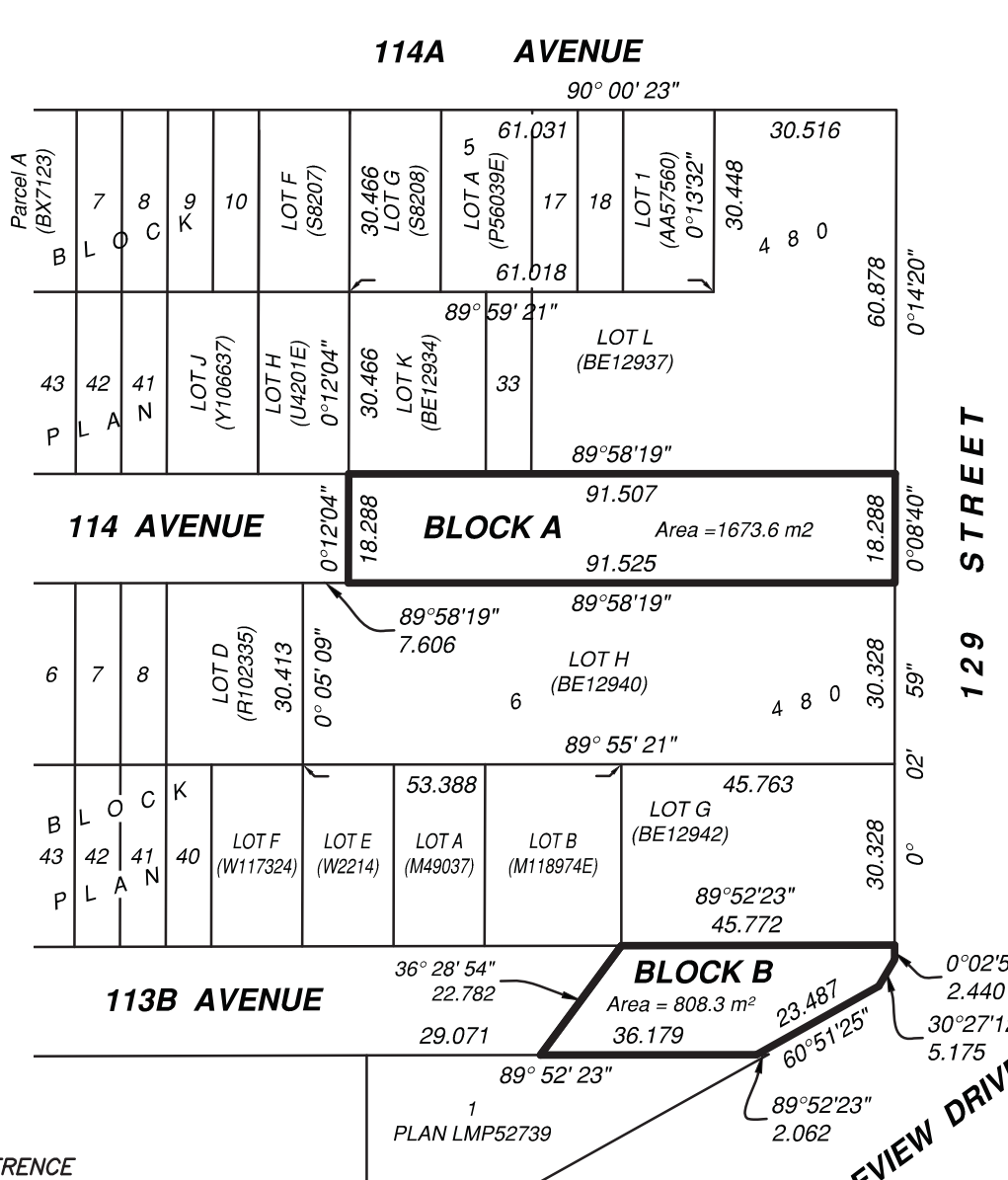
Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
FAR (gross)		
FAR (net)	0.5	0.22
AMENITY SPACE (area in square metres)		N/A
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		N/A
Industrial		N/A
Residential Bachelor + 1 Bedroom		N/A
2-Bed		
3-Bed		
Residential Visitors		N/A
Institutional	289	290
Total Number of Parking Spaces	289	290
Number of disabled stalls	3	11
Number of small cars		63
Tandem Parking Spaces: Number / % of Total Number of Units		N/A
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW NO. _ _ _ OVER PARTS OF ROADS DEDICATED ON PLAN 480 SECTION 23 TOWNSHIP 2 NEW WESTMINSTER DISTRICT

FOR THE PURPOSE OF REZONING

BCGS 92G.026



1
PLAN
BCP26909

REM B
PLAN
BCP29957

BOOK OF REFERENCE

ZONE	LEGAL DESCRIPTION	TOTAL AREA
BLOCK A	PART OF ROAD SECTION 9, BLOCK 5 NORTH, RANGE 2 WEST, NEW WESTMINSTER DISTRICT, PLAN 480	1673.6 m ²
BLOCK B	PART OF ROAD SECTION 9, BLOCK 5 NORTH, RANGE 2 WEST, NEW WESTMINSTER DISTRICT, PLAN 480	808.3 m ²

Certified Correct According to Field Survey
Dated this 24th day of November, 2016

1 : 1250



All distances are in metres and decimals thereof.

Plan Bearing and Distances are derived from field survey

G.A. HOL

B.C.L.S.

WSP
WSP Surveys (BC) Limited Partnership
300-65 Richmond St, New Westminster, BC

PROJECT REF./DRAWING No.
010055996-MCSK01-R00

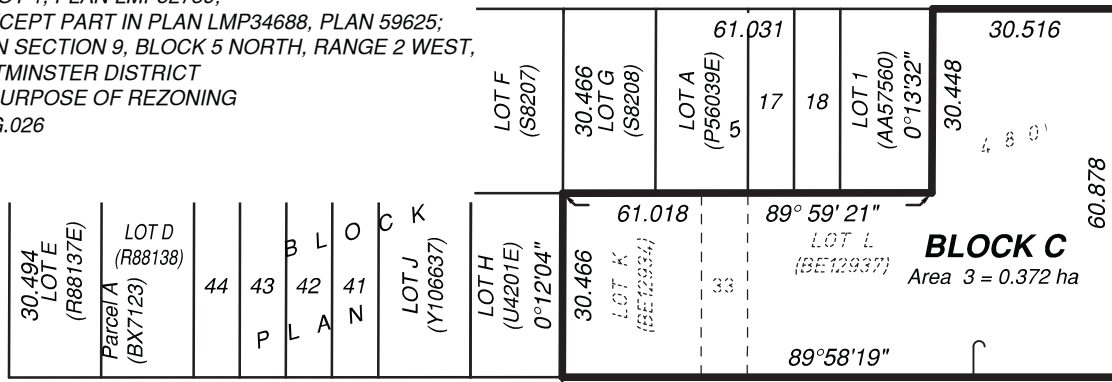
SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW NO. _____

OVER LOT 'G' (BE12942) AND LOT 'H' (BE12940), BLOCK 6, PLAN 480;
 LOT 'L' (BE12937), LOT 'K' (BE12934) AND LOT 33, BLOCK 5, PLAN 480;
 PART OF LOT 1, PLAN LMP52739;
 LOT 66, EXCEPT PART IN PLAN LMP34688, PLAN 59625;
 ALL WITHIN SECTION 9, BLOCK 5 NORTH, RANGE 2 WEST,
 NEW WESTMINSTER DISTRICT
 FOR THE PURPOSE OF REZONING
 BCGS 92G.026

114A AVENUE

90° 00' 23"

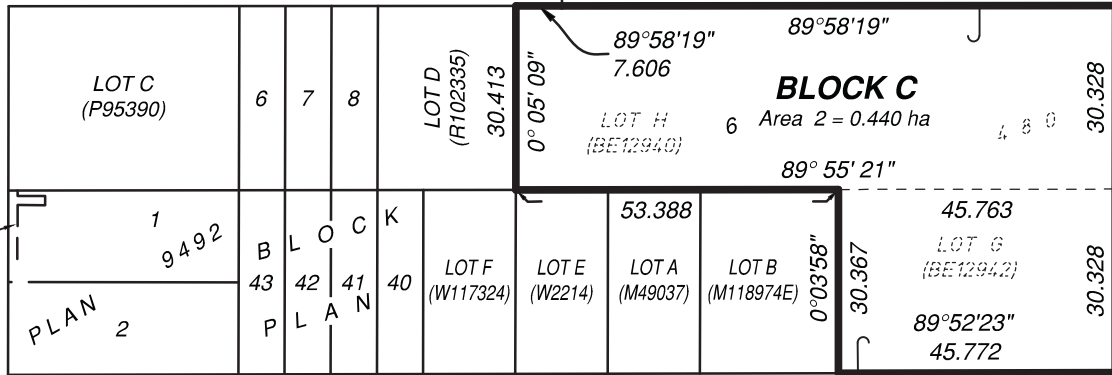
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 PLAN
 BCP26909



REM B
 PLAN
 BCP29957

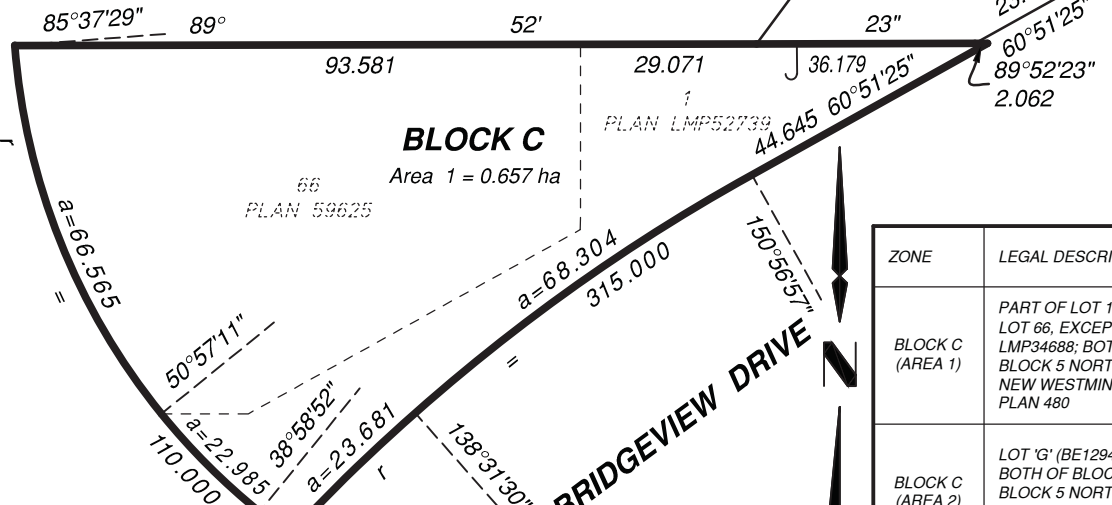
SRW
 PLAN
 EPP59305

114 AVENUE



129 STREET

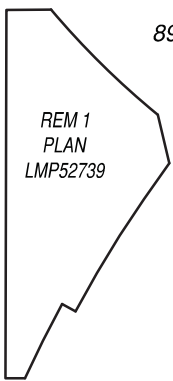
113B AVENUE



BOOK OF REFERENCE

ZONE	LEGAL DESCRIPTION	TOTAL AREA
BLOCK C (AREA 1)	PART OF LOT 1, PLAN LMP52739; LOT 66, EXCEPT PART IN PLAN LMP34688; BOTH OF SECTION 9, BLOCK 5 NORTH, RANGE 2 WEST, NEW WESTMINSTER DISTRICT, PLAN 480	0.657 ha
BLOCK C (AREA 2)	LOT 'G' (BE12942); LOT 'H' (BE12940); BOTH OF BLOCK 6, SECTION 9, BLOCK 5 NORTH, RANGE 2 WEST, NEW WESTMINSTER DISTRICT, PLAN 480	0.440 ha
BLOCK C (AREA 3)	LOT 'L' (BE12937); LOT 'K' (BE12934); LOT 33; ALL OF BLOCK 5, SECTION 9, BLOCK 5 NORTH, RANGE 2 WEST, NEW WESTMINSTER DISTRICT, PLAN 480	0.372 ha
Total Area		1.469 ha

DRAFT
DEC 1, 2016
 Certified Correct According to Field Survey
 Dated this 1st day of December, 2016
 Rory C. O'Connell, BCLS 876



1 : 1250



All distances are in metres and decimals thereof.

Plan Bearing and Distances are derived from field survey













WSP Surveys (BC) Limited Partnership
 300-65 Richmond St, New Westminister, BC

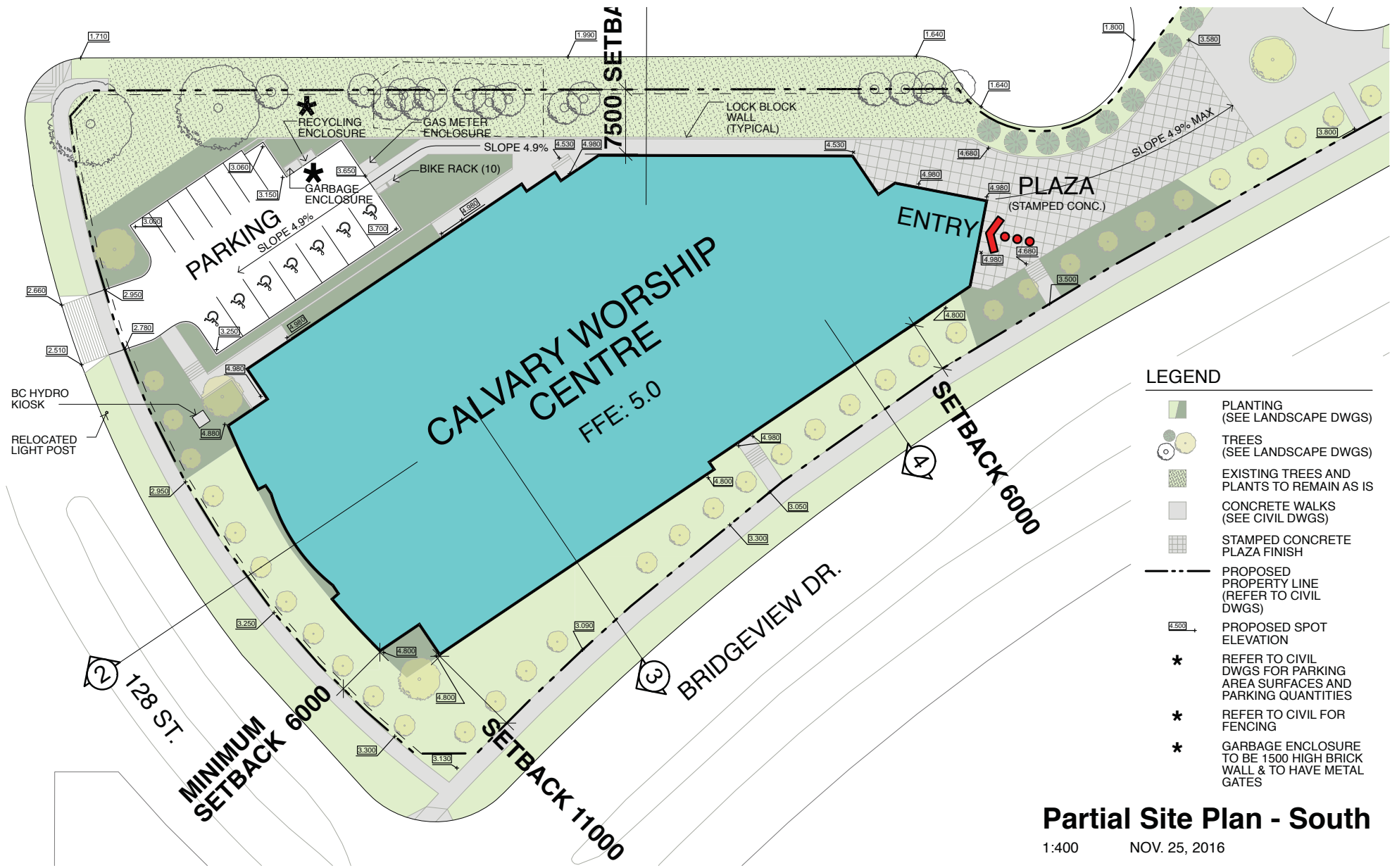
PROJECT REF./DRAWING No.
 010055996-MCSK02-R00



Site Plan
1:800 NOV. 25, 2016

LEGEND

-  PLANTING (SEE LANDSCAPE DWGS)
-  TREES (SEE LANDSCAPE DWGS)
-  EXISTING TREES AND PLANTS TO REMAIN AS IS
-  CONCRETE WALKS (SEE CIVIL DWGS)
-  STAMPED CONCRETE PLAZA FINISH
-  PROPOSED PROPERTY LINE (REFER TO CIVIL DWGS)
-  PROPOSED SPOT ELEVATION
-  REFER TO CIVIL DWGS FOR PARKING AREA SURFACES AND PARKING QUANTITIES
-  REFER TO CIVIL FOR FENCING
-  GARBAGE ENCLOSURE TO BE 1500 HIGH BRICK WALL & TO HAVE METAL GATES



- LEGEND**
- PLANTING (SEE LANDSCAPE DWGS)
 - TREES (SEE LANDSCAPE DWGS)
 - EXISTING TREES AND PLANTS TO REMAIN AS IS
 - CONCRETE WALKS (SEE CIVIL DWGS)
 - STAMPED CONCRETE PLAZA FINISH
 - PROPOSED PROPERTY LINE (REFER TO CIVIL DWGS)
 - PROPOSED SPOT ELEVATION
 - REFER TO CIVIL DWGS FOR PARKING AREA SURFACES AND PARKING QUANTITIES
 - REFER TO CIVIL FOR FENCING
 - GARBAGE ENCLOSURE TO BE 1500 HIGH BRICK WALL & TO HAVE METAL GATES

Partial Site Plan - South

1:400 NOV. 25, 2016

DEVELOPMENT DATA SHEET

Proposed/Existing Zoning **RF/PAZ**

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total	---	18,649
Road Widening area	---	1,511
Undeveloped area	---	---
Net Total	---	17,138
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	MAX 40%	16.9%
Paved & Hard Surfaces Areas		56.4%
Total Site Coverage		73.3%
SETBACKS (in metres) * SEE SITE PLAN		
Front 128th St		MIN. 6.0 m
Rear 113B Ave		MIN. 7.5 m
Side #1 (N,S,E or W) Bridgeview Dr		MIN. 6.0 m
Side #2 (N,S,E or W)		
Side #3 (N,S,E or W)		
BUILDING HEIGHT (in metres/storeys)		
Principal 2 Storey	---	7.5 m
Sanctuary	---	11.4 m
NUMBER OF RESIDENSIAL UNITS		
Bachelor		N/A
One Bed		
Two Bed		
Three Bed		
Total		
FLOOR AREA: Residential		
		N/A
FLOOR AREA: Commercial		
Retail		N/A
Office		
Total		
FLOOR AREA: Industrial		
		N/A
FLOOR AREA: Institutional		
		3,855 SQM
TOTAL BUILDING FLOOR AREA		
		3,855 SQM

**If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acres (gross)		N/A
# of units/ha /# units/acres (net)		
Far (gross)		20.67 %
Far (net)		22.49 %
AMENITY SPACE (area in square metres)		
Indoor		N/A
Outdoor		
PARKING (number of stalls)		
Commercial		---
Industrial		---
Residential Bachelor + 1 Bedroom		---
2-Bed		
3-Bed		
Residential Visitors		---
Institutional		290
Total Number of Parking Spaces	293	290
Number of disables stalls	3	11
Number of small cars	73	63
Tandem Parking Spaces: Number / %	---	---
Of Total Number of Units		
Size of Tandem Parking Spaces width/length	---	---

Heritage Site	YES / NO	Tree Survey / Assessment Provided	YES / NO
---------------	-----------------	-----------------------------------	-----------------

I hereby certify that all the above information is true and correct. I acknowledge that any error or omissions are the sole responsibility of the applicant and not the Planning & Development Department.

Owner/Agent _____ Signature _____ Name: (Please Print) _____

DEVELOPMENT DATA SHEET

NOV. 24, 2016

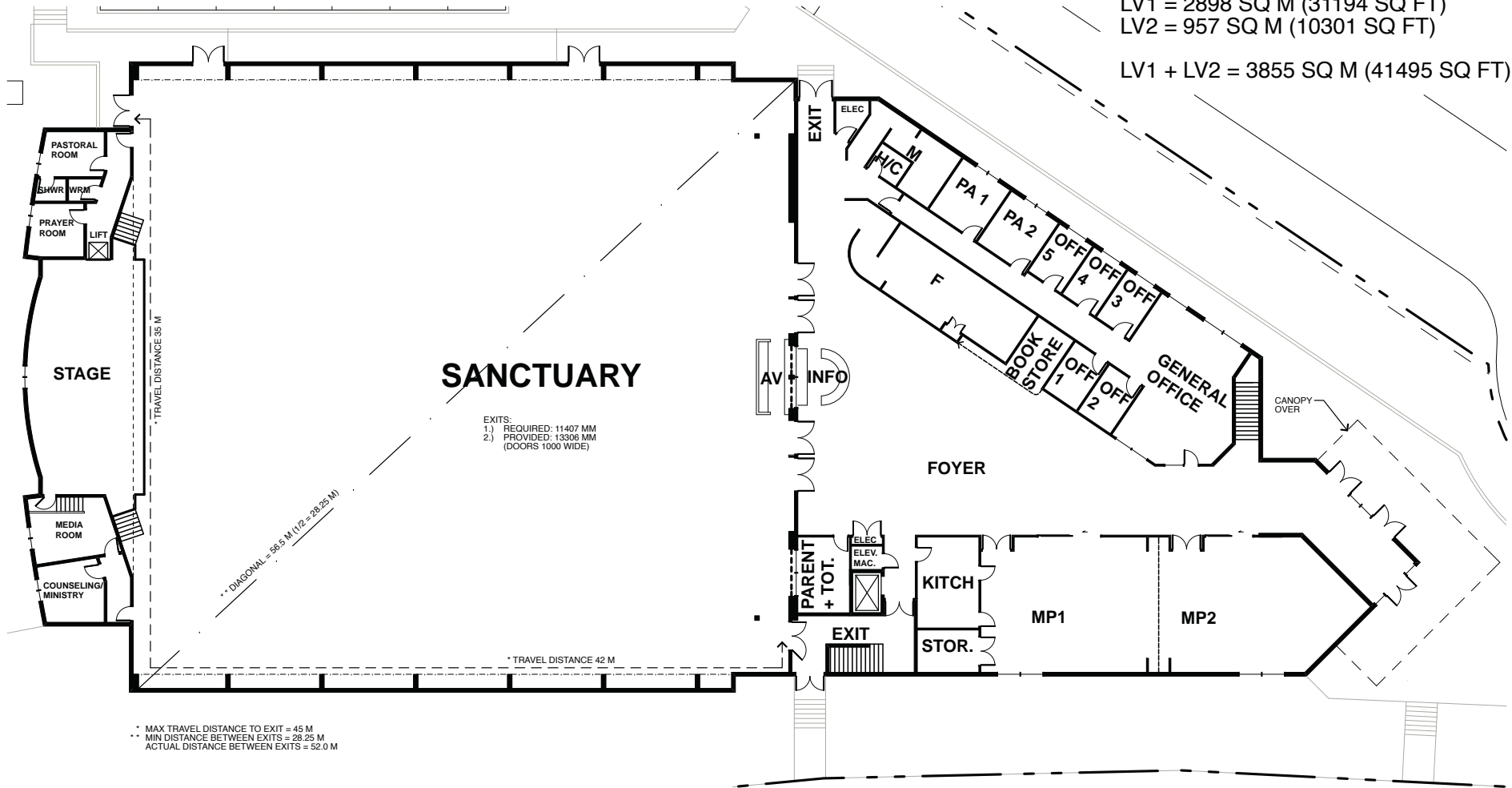


TOTAL GROSS FLOOR AREA

LV1 = 2898 SQ M (31194 SQ FT)

LV2 = 957 SQ M (10301 SQ FT)

LV1 + LV2 = 3855 SQ M (41495 SQ FT)



CWC GROUND LEVEL SCHEMATIC

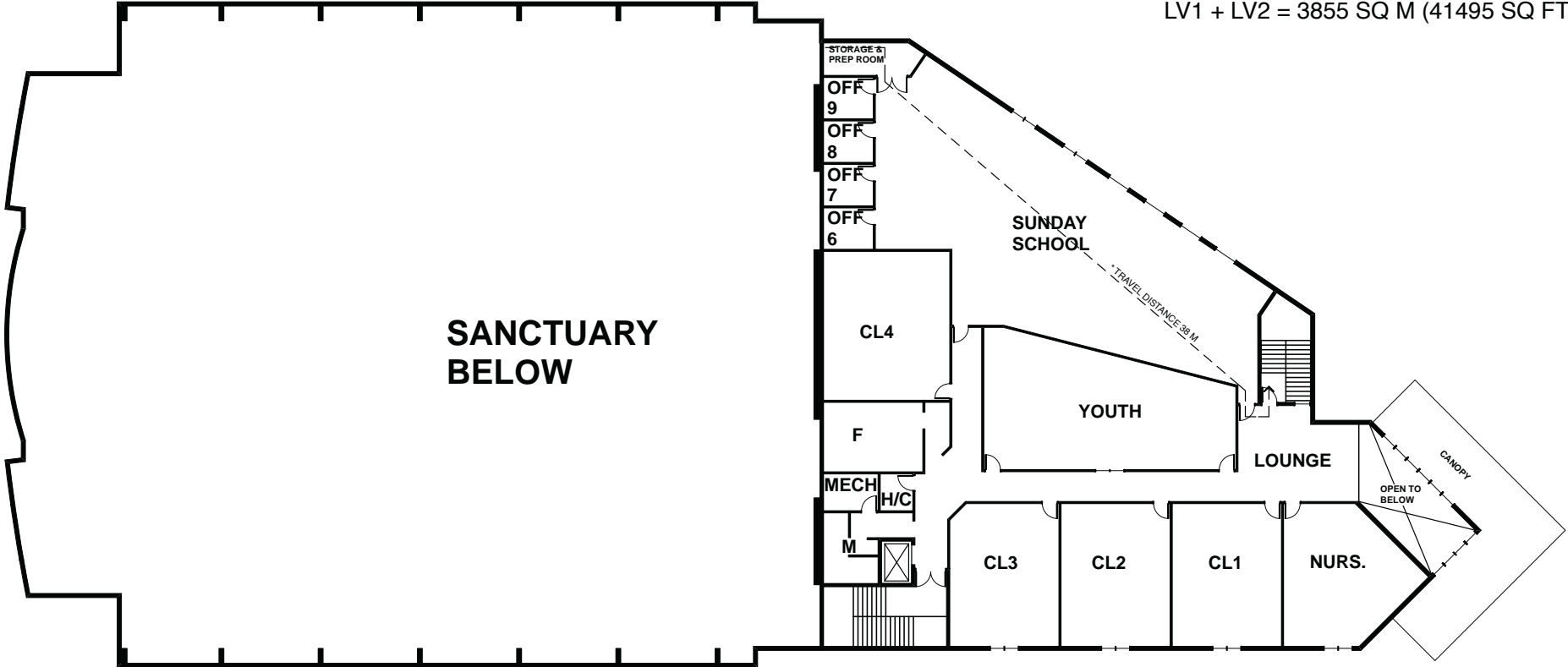
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NOV. 1, 2016

TOTAL GROSS FLOOR AREA

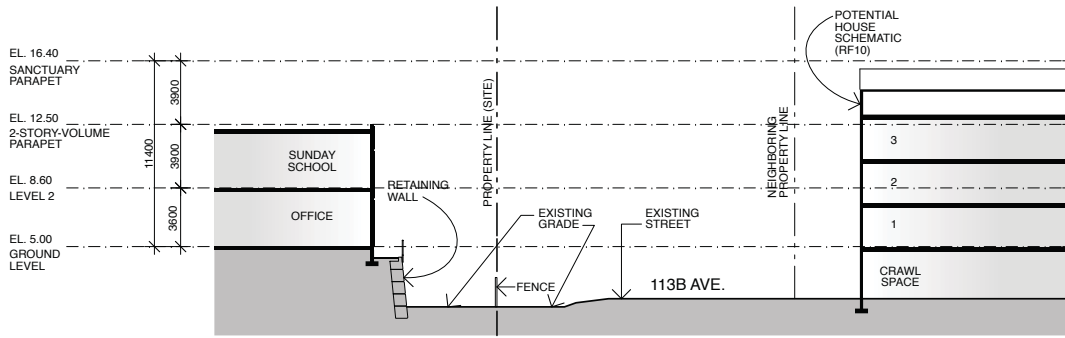
LV1 = 2898 SQ M (31194 SQ FT)
LV2 = 957 SQ M (10301 SQ FT)

LV1 + LV2 = 3855 SQ M (41495 SQ FT)

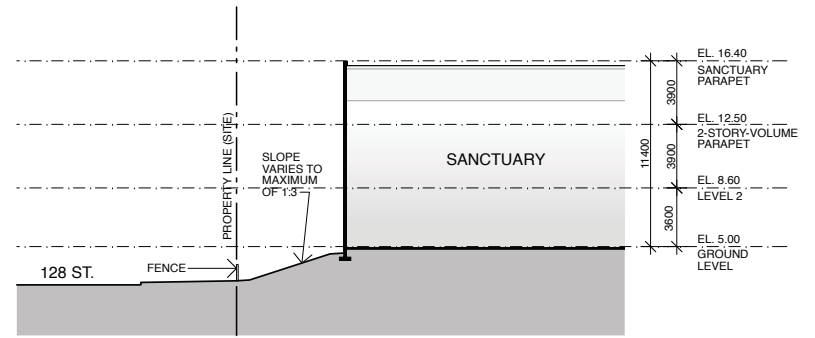


CWC LEVEL 2 SCHEMATIC

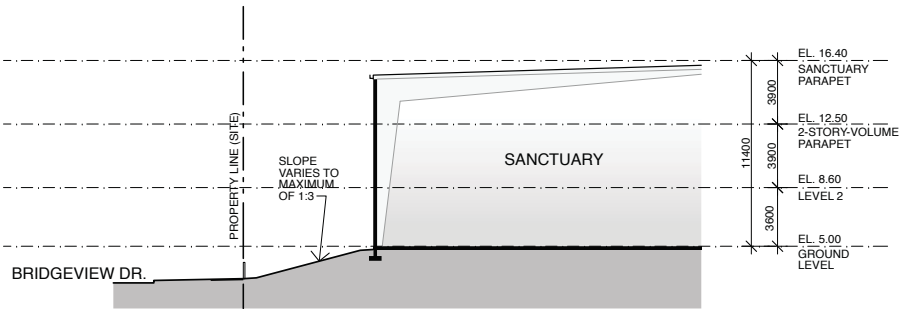
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NOV. 1, 2016



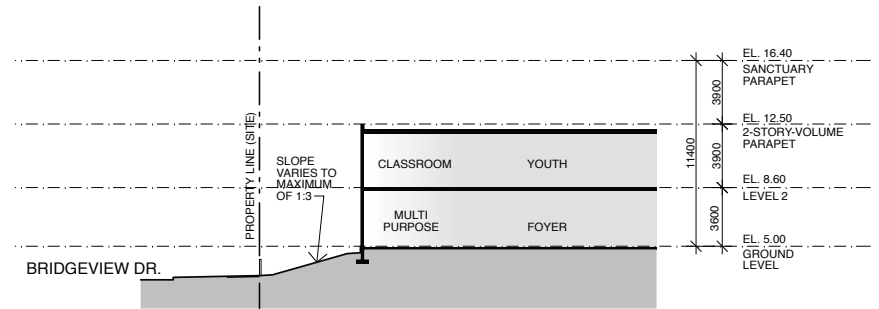
SITE SECTION 1 : 113B AVE.
1:300



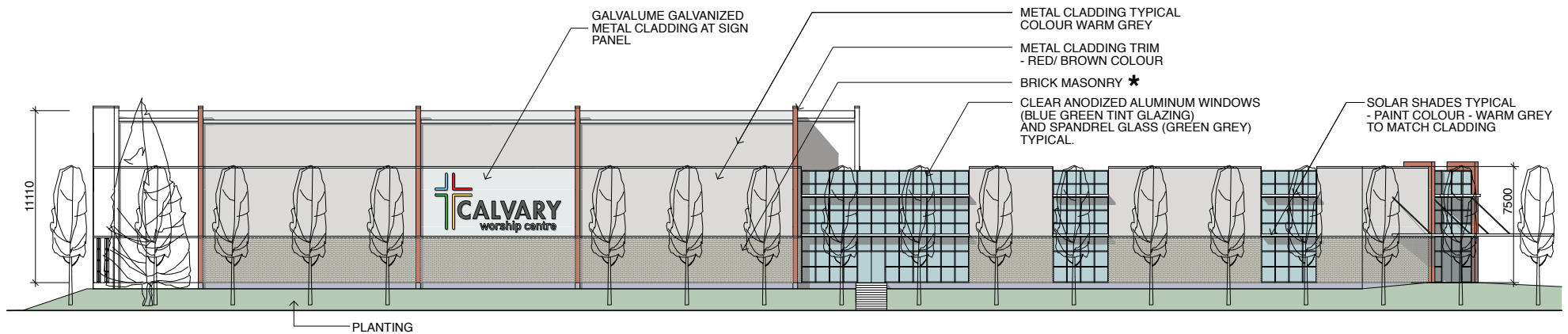
SITE SECTION 2 : 128 ST.
1:300



SITE SECTION 3 : BRIDGEVIEW DR.
1:300



SITE SECTION 4 : BRIDGEVIEW DR.
1:300



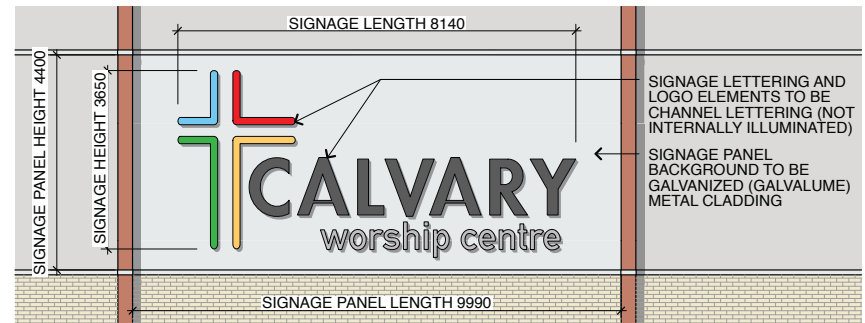
1. ELEVATION: BRIDGEVIEW DRIVE

1:250

NOV. 24, 2016

CWC Exterior Design Description & Rationale:

- The church has two components; a single story high sanctuary space and a two storey Education, Multipurpose, Admin and Support area.
- In order to create a unified design appearance, the two masses are given a similar, coordinated treatment of materials and form.
- The lower 3.0 metres of the whole building has a uniform masonry brick finish. This provides a visual foundation for the building, as well as being a durable surface. In addition, it evokes an institutional character.
- Above the masonry, the wall is divided in to panels of metal cladding. The proportions of the panels have been laid out to provide as much unit as possible between the two structures. The boundaries of the cladding panels are contrasting colour metal trim.
- At the centre of the Sanctuary wall length, one panel is designated to contain a modest low-key sign for the church. This panel will have a galvanized cladding as background to the signage.
- in addition to the main exterior finishes, the design incudes strategically located panels of window wall glazing, from grade up to the roof of the two storey structure. These panels incorporate tinted vision glazing located in functional space in the building, as well as coloured spandrel panels to areas which are not vision glazing. The colour of the spandrel panels is on tone and hue with the vision glass tint.
- Along Bridgeview Drive, a major landscape feature provides unity to this façade. It is an arching row of Skyrocket Oak trees, which is intended to evoke the historic windbreak of poplar trees originally on the site.



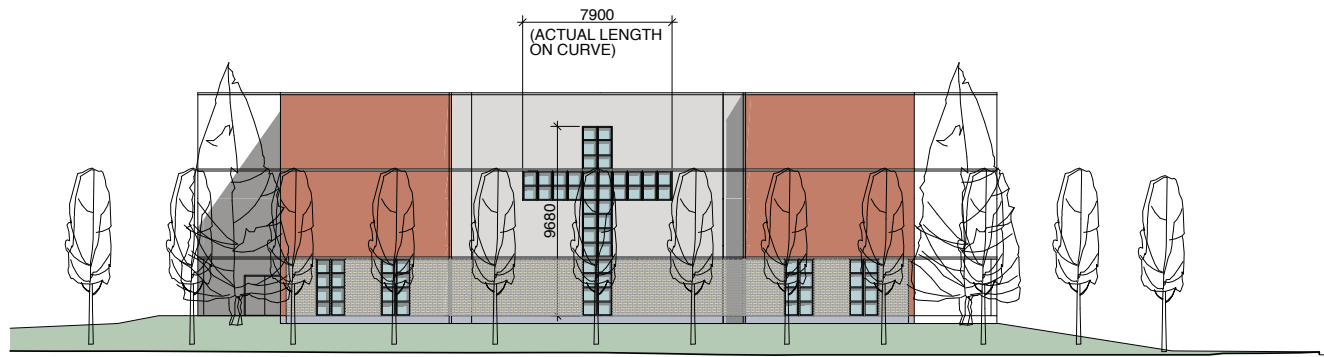
SIGN DETAIL

1:100



★ BRICK MASONRY COLOUR

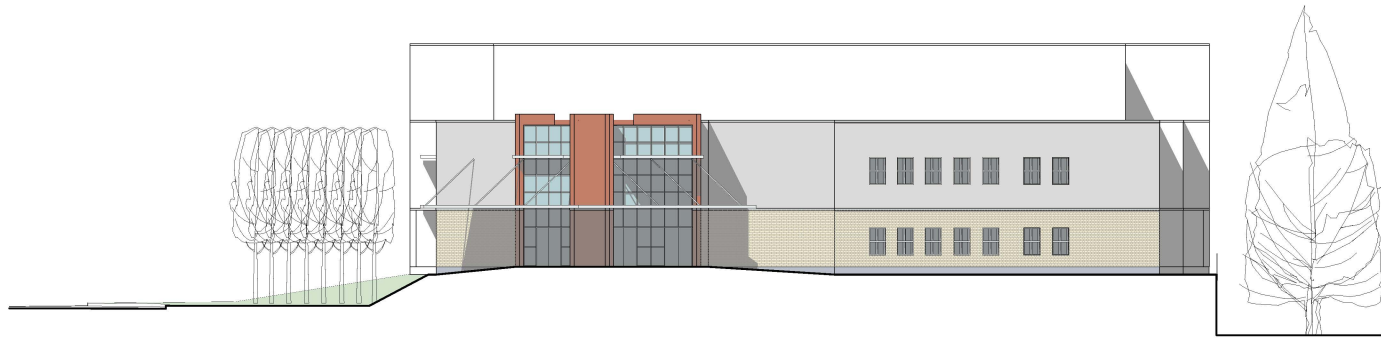




2. ELEVATION: 128 STREET

1:250

NOV. 25, 2016



3. ELEVATION: EAST

1:250

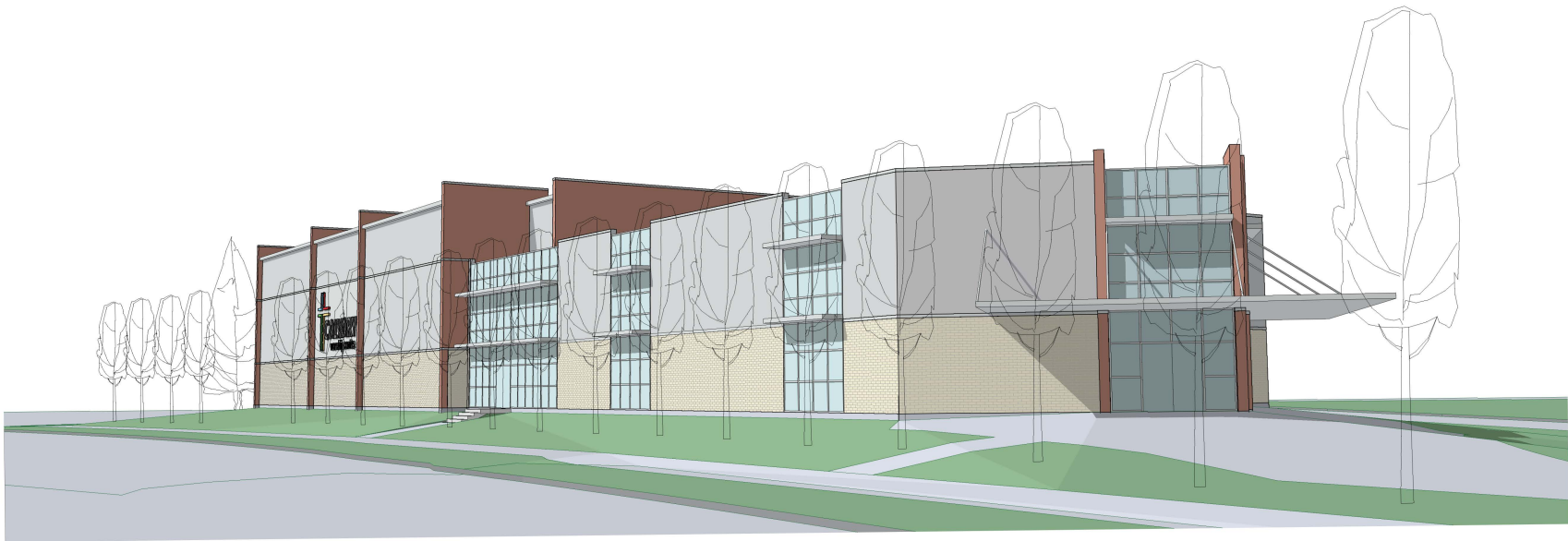
NOV. 1, 2016



4. ELEVATION: 113B AVE.

1:250

NOV. 1, 2016



1. 3D MASSING ALONG BRIDGEVIEW DRIVE

NOV. 2, 2016



2. 3D MASSING ALONG BRIDGEVIEW DRIVE

NOV. 2, 2016

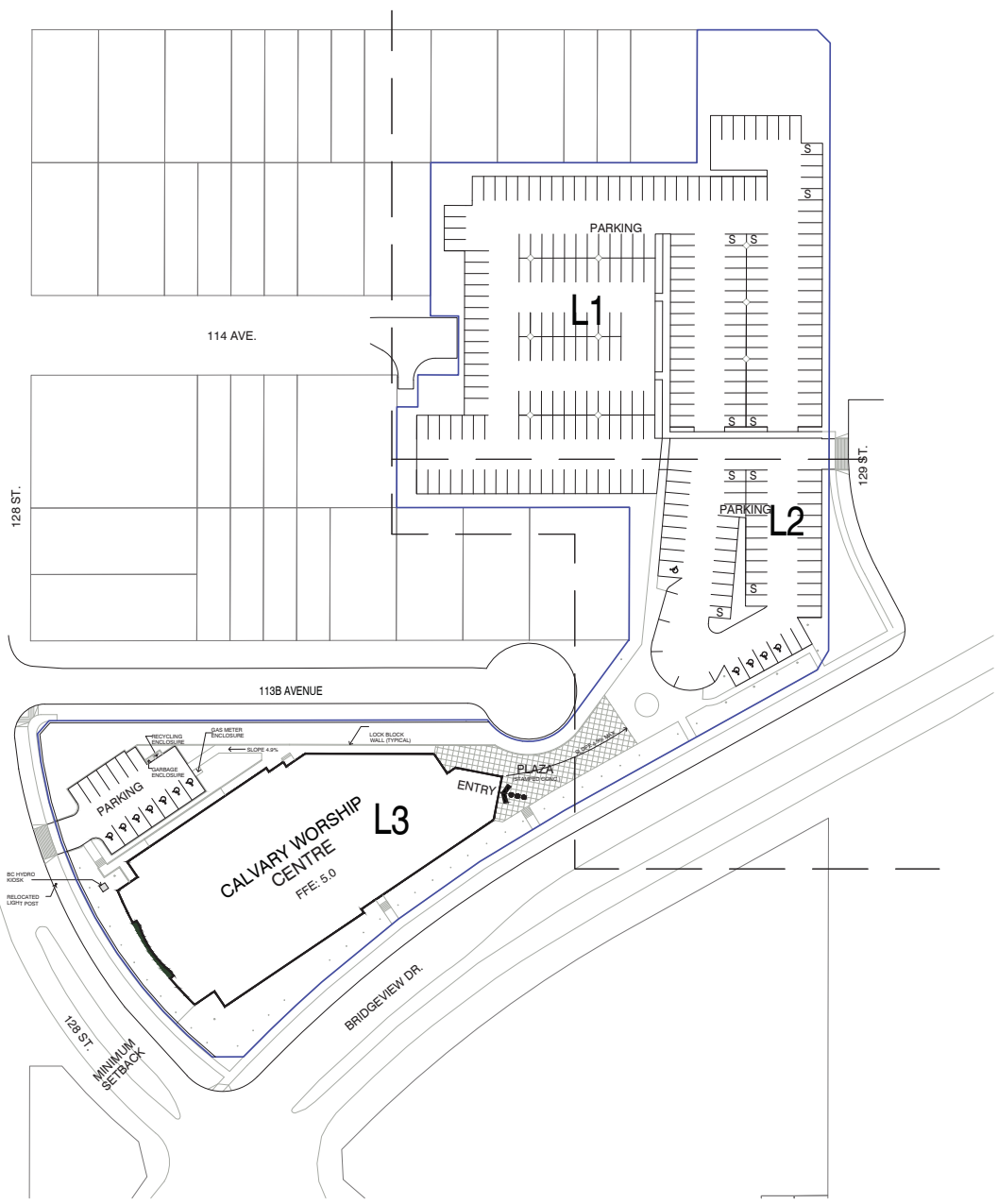


3. 3D MASSING ALONG BRIDGEVIEW DRIVE

NOV. 2, 2016



bingham+hill
architects



DATE	REVISIONS	NO.
	REVISIONS	

C.KAVOLINAS & ASSOCIATES INC.
 BCSLA CSLA
 2462 JONGHUI COURT
 ABBOTSFORD, B.C.
 V3G 3E8
 PHONE (604) 857-2376

CLIENT
 CALVARY WORSHIP CHURCH
 c/o REP. CANADA INC.
 SUITE #300
 65 RICHMOND STREET
 NEW WESTMINSTER, B.C.
 V3L 5P5
 604-525-4651

TITLE
 PLAN VIEW
 CONTEXT PLAN
 PROPOSED
 CALVARY WORSHIP CHURCH
 11125 - 124 STREET
 SURREY, B.C.

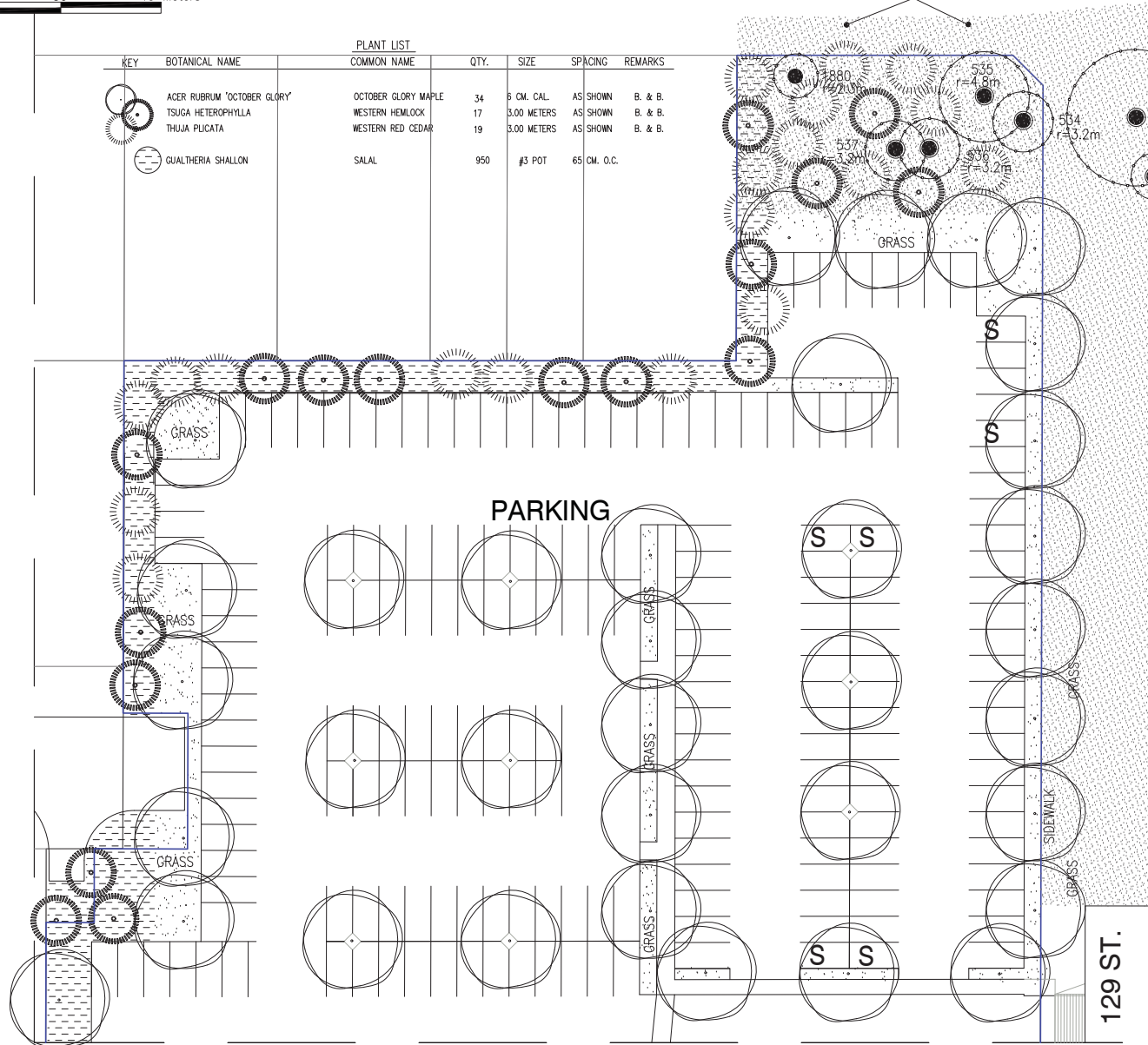
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DRAWN	CHD		
ENL.	CHD		
APPROV.	AS BUILT		

PRINTED	JOB No.	
	DRAWING No.	L-0

0 5 10 20 30 40 Meters

STIPPLED AREA TO REMAIN IN IT'S NATURAL STATE
POCKET PLANT NATIVE EVERGREENS

PLANT LIST						
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	REMARKS
	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	34	6 CM. CAL.	AS SHOWN	B. & B.
	TSUGA HETEROPHYLLA	WESTERN HEMLOCK	17	3.00 METERS	AS SHOWN	B. & B.
	THUJA PLICATA	WESTERN RED CEDAR	19	3.00 METERS	AS SHOWN	B. & B.
	GUALTHERIA SHALLON	SALAL	950	#3 POT	65 CM. O.C.	



DATE	REVISION	NO.
	REVISION	

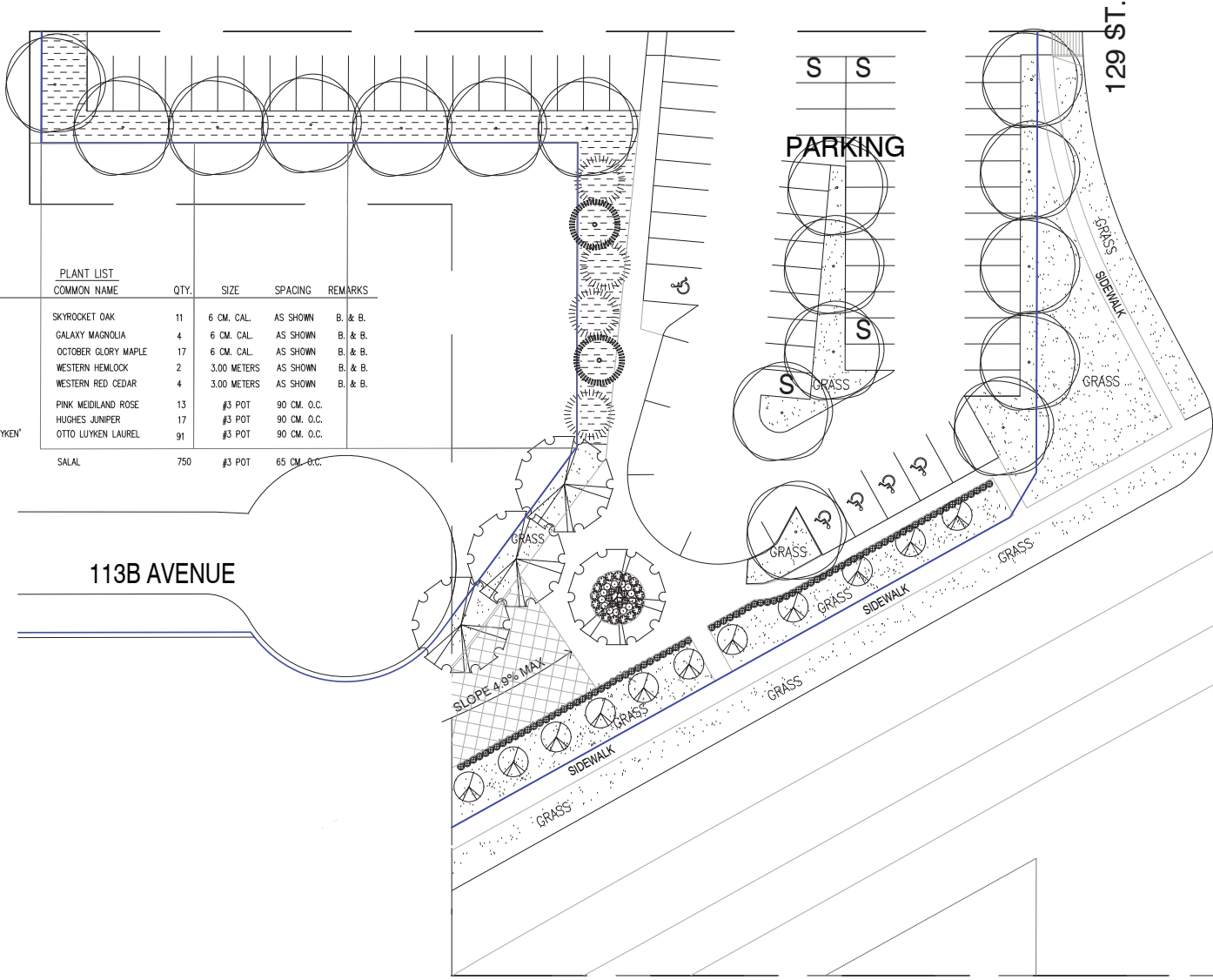
C.KAVOLINAS & ASSOCIATES INC.
BCSA CSA
2462 JONQUIE COURT
ABBOTSFORD, B.C.
V3G 2E8
PHONE (604) 857-2376

CLIENT
CALVARY WORSHIP CHURCH
c/o WSP CANADA INC.
SUITE #300
65 RICHMOND STREET
NEW WESTMINSTER, B.C.
V3L 5P5
604-525-4651


TITLE
PLAN VIEW
LANDSCAPE PLAN
PROPOSED
CALVARY WORSHIP CHURCH
11125 - 124 STREET
SURREY, B.C.

SCALE	1:200	DATE	MAY/16
DWY	CHW		
ENL	CHW		
APP'D	AS BUILT		

PRINTED: .08 No.
DRAWING No.
L-1



KEY	BOTANICAL NAME	PLANT LIST COMMON NAME	QTY.	SIZE	SPACING	REMARKS
	QUERCUS ROBUR 'SKYROCKET'	SKYROCKET OAK	11	6 CM. CAL.	AS SHOWN	B. & B.
	MAGNOLIA GALAXY	GALAXY MAGNOLIA	4	6 CM. CAL.	AS SHOWN	B. & B.
	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	17	6 CM. CAL.	AS SHOWN	B. & B.
	TSUGA HETEROPHYLLA	WESTERN HEMLOCK	2	3.00 METERS	AS SHOWN	B. & B.
	THUJA PLICATA	WESTERN RED CEDAR	4	3.00 METERS	AS SHOWN	B. & B.
	ROSA MEIDILAND 'PINK'	PINK MEIDILAND ROSE	13	#3 POT	90 CM. O.C.	
	JUNIPERUS HORIZONTALIS HUGHES	HUGHES JUNIPER	17	#3 POT	90 CM. O.C.	
	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	91	#3 POT	90 CM. O.C.	
	GUALTHERIA SHALLON	SALAL	750	#3 POT	65 CM. O.C.	




DATE	REVISIONS	NO.	

C.KAVOLINAS & ASSOCIATES INC.
 BESLA CSLA
 2462 JONQUIL COURT
 ABBOTSFORD, B.C.
 V3P 3E9
 PHONE (604) 857-2376

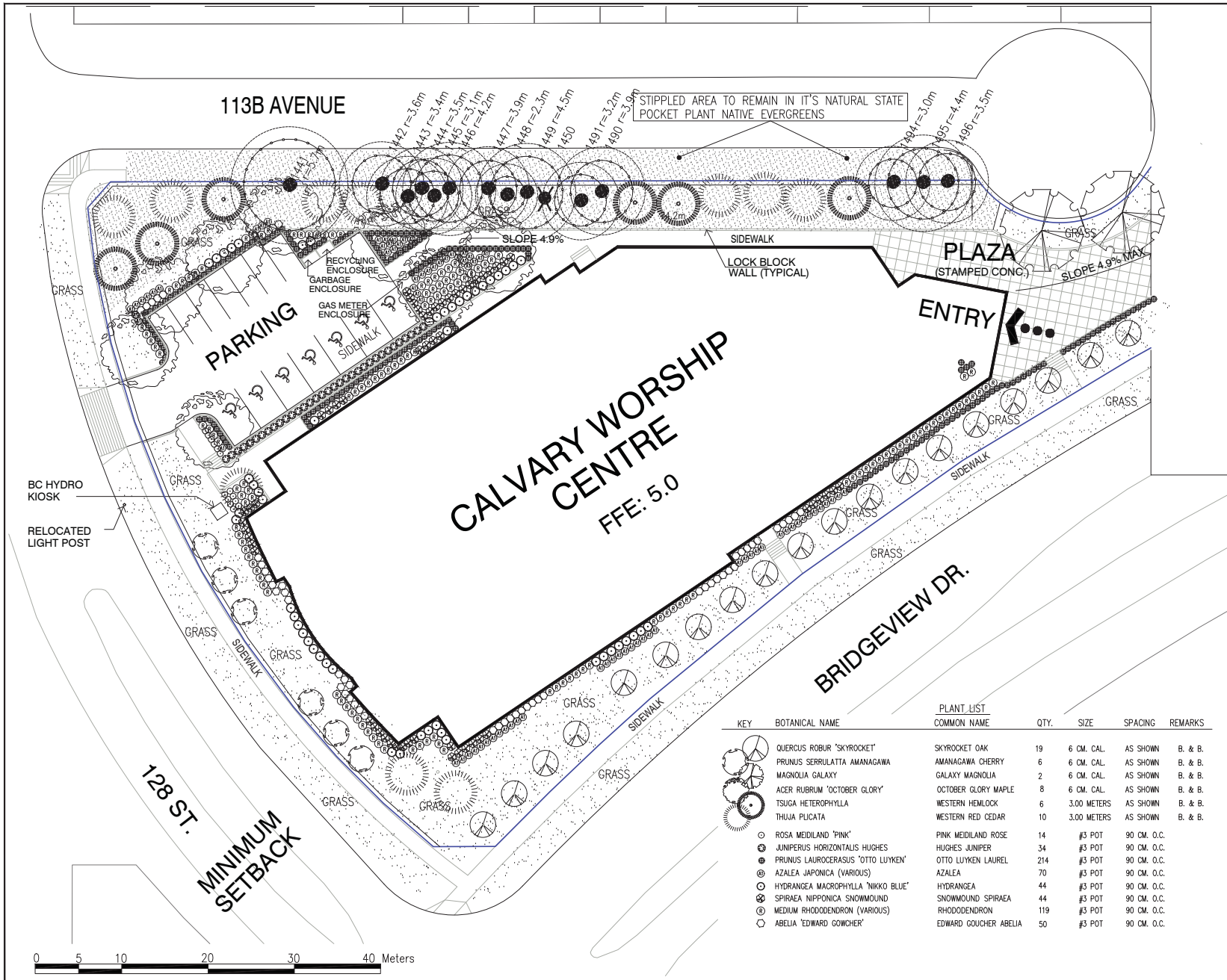
CLIENT
 CALVARY WORSHIP CHURCH
 c/o WSP CANADA INC.
 SUITE #300
 65 RICHMOND STREET
 NEW WESTMINSTER, B.C.
 V3L 5P5
 604-525-4651

TITLE
 PLAN VIEW
 LANDSCAPE PLAN
 PROPOSED
 CALVARY WORSHIP CHURCH
 11125 - 124 STREET
 SURREY, B.C.

SCALE: 1:200	DATE: MAY/16
DWGT: CH'D	
ENG: CH'D	
APPR: AS BUILT	

PRINTED	JOB No.
	DRAWING No.
	L-2 





DATE	REVISIONS	NO.

C.KAVOLINAS & ASSOCIATES INC.
 BOSSA CSLA
 2462 JONQUIL COURT
 ABSOTOSFORD, B.C.
 V3G 3E8
 PHONE (604) 857-2376

CLIENT
 CALVARY WORSHIP CHURCH
 c/o WSP CANADA INC.
 SUITE #300
 65 RICHMOND STREET
 NEW WESTMINSTER, B.C.
 V3L 5P5
 604-525-4651

TITLE
 PLAN VIEW
 LANDSCAPE PLAN
 PROPOSED
 CALVARY WORSHIP CHURCH
 11122 - 124 STREET
 SURREY, B.C.

SCALE 1:200	DATE MAY/16
DRAWN CHD	CHD
ENG. CHD	CHD
APPROV. AS BUILT	AS BUILT

PRINTED	JOB NO.
	DRAWING NO.
	L-3

KEY	BOTANICAL NAME	PLANT LIST COMMON NAME	QTY.	SIZE	SPACING	REMARKS
	QUERCUS ROBUR 'SKYROCKET'	SKYROCKET OAK	19	6 CM. CAL.	AS SHOWN	B. & B.
	PRUNUS SERRULATA AMANAGAWA	AMANAGAWA CHERRY	6	6 CM. CAL.	AS SHOWN	B. & B.
	MAGNOLIA GALAXY	GALAXY MAGNOLIA	2	6 CM. CAL.	AS SHOWN	B. & B.
	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	8	6 CM. CAL.	AS SHOWN	B. & B.
	TSUGA HETEROPHYLLA	WESTERN HEMLOCK	6	3.00 METERS	AS SHOWN	B. & B.
	THUJA PLICATA	WESTERN RED CEDAR	10	3.00 METERS	AS SHOWN	B. & B.
	ROSA MEIDILAND 'PINK'	PINK MEIDILAND ROSE	14	#3 POT	90 CM. O.C.	
	JUNIPERUS HORIZONTALIS HUGHES	HUGHES JUNIPER	34	#3 POT	90 CM. O.C.	
	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	214	#3 POT	90 CM. O.C.	
	AZALEA JAPONICA (VARIOUS)	AZALEA	70	#3 POT	90 CM. O.C.	
	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	HYDRANGEA	44	#3 POT	90 CM. O.C.	
	SPIRAEA NIPPONICA SNOWMOUND	SNOWMOUND SPIRAEA	44	#3 POT	90 CM. O.C.	
	MEDIUM RHODODENDRON (VARIOUS)	RHODODENDRON	119	#3 POT	90 CM. O.C.	
	ABELIA 'EDWARD GOUCHER'	EDWARD GOUCHER ABELIA	50	#3 POT	90 CM. O.C.	



**TO: Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: Development Project Engineer, Engineering Department

DATE: November 30, 2016

PROJECT FILE: 7816-0163-00

**RE: Engineering Requirements
Location: 11348 – 128 St, 12881 – 113B Ave, 12848/12851/12861/12869 – 114 Ave,
portion of 12851 Bridgeview Drive (excluding hooked portion across 128 St)**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 1.0m on Bridgeview Drive for a 32.0m arterial road;
- Dedicate 3.0m x 3.0m corner cuts at the intersections of 128 St and 113B Ave, 129 St and 113B Ave, and at the intersection of 129 St and 114A Ave;
- Dedicate 12.0m radius cul-de-sac for 113B Ave, and turnaround for 114 Ave;
- Confirm 5.0m x 5.0m corner cuts at the intersection of Bridgeview Drive and 128 St.;
- Provide 2.7m wide on-site SROW along Bridgeview Dr, including corner cut at 128 St;
- Provide 0.5m wide on-site SROW along 128 St, along 113B Ave, along 114A Ave, and along 129 St ; and
- Provide statutory rights-of-way for water main looping.

Works and Services

- Construct north bound left turn bay on Bridgeview Drive at 129 St.;
- Construct sidewalk along 128 St.;
- Construct west side of 129 Street to Through Local standard;
- Construct portions of 113B Ave, 114 Ave and 114A Ave to Limited Local standard;
- Construct storm main on 129 St, 113B Ave and improve ditches along 114 Ave and 114A Ave;
- Construct water main on 113B Ave to loop it with existing water main on Bridgeview Dr;
- Construct sanitary main works on 129 St associated with pre-loading, interim LPS connection to sanitary main on 112B Avenue and upgrade sanitary main (if required); and
- Pay sanitary local service charges.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Variance Permit.



Rémi Dubé, P.Eng.
Development Services Manager

HB4

NOTE: Detailed Land Development Engineering Review available on file

3.1 Summary of Tree Preservation by Tree Species

Table 2. Summary of Tree Preservation by Tree Species.

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Red Alder	8	8	
Black Cottonwood	25	25	
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Black Locust	13	13	
Bitter Cherry	3	3	
Cherry	3	2	1
European Birch Cherry	2	2	
Hazelnut	6	6	
Horse Chestnut	11	11	
Lombardy Poplar	20	20	
Norway Maple	2	2	
Pacific Crabapple	1	1	
Paper Birch	52	46	6
Scouler's Willow	2	2	
Western Catalpa	2	2	
Coniferous Trees			
Douglas-fir	1		1
Grand Fir	2	2	
Shorepine	3	2	1
Western Hemlock	7	5	2
Western Redcedar	17	6	11
Total (excluding Alder and Cottonwood Trees)	147	125	22
Additional Trees in the proposed Open Space/Riparian Area			
Total Replacement Trees Proposed (Excluding Boulevard Street Trees)		159	
Total Retained and Replacement Trees (Total + Total Replacement trees proposed)		180	

Table 3. Tree Preservation Summary.

TREE PRESERVATION SUMMARY

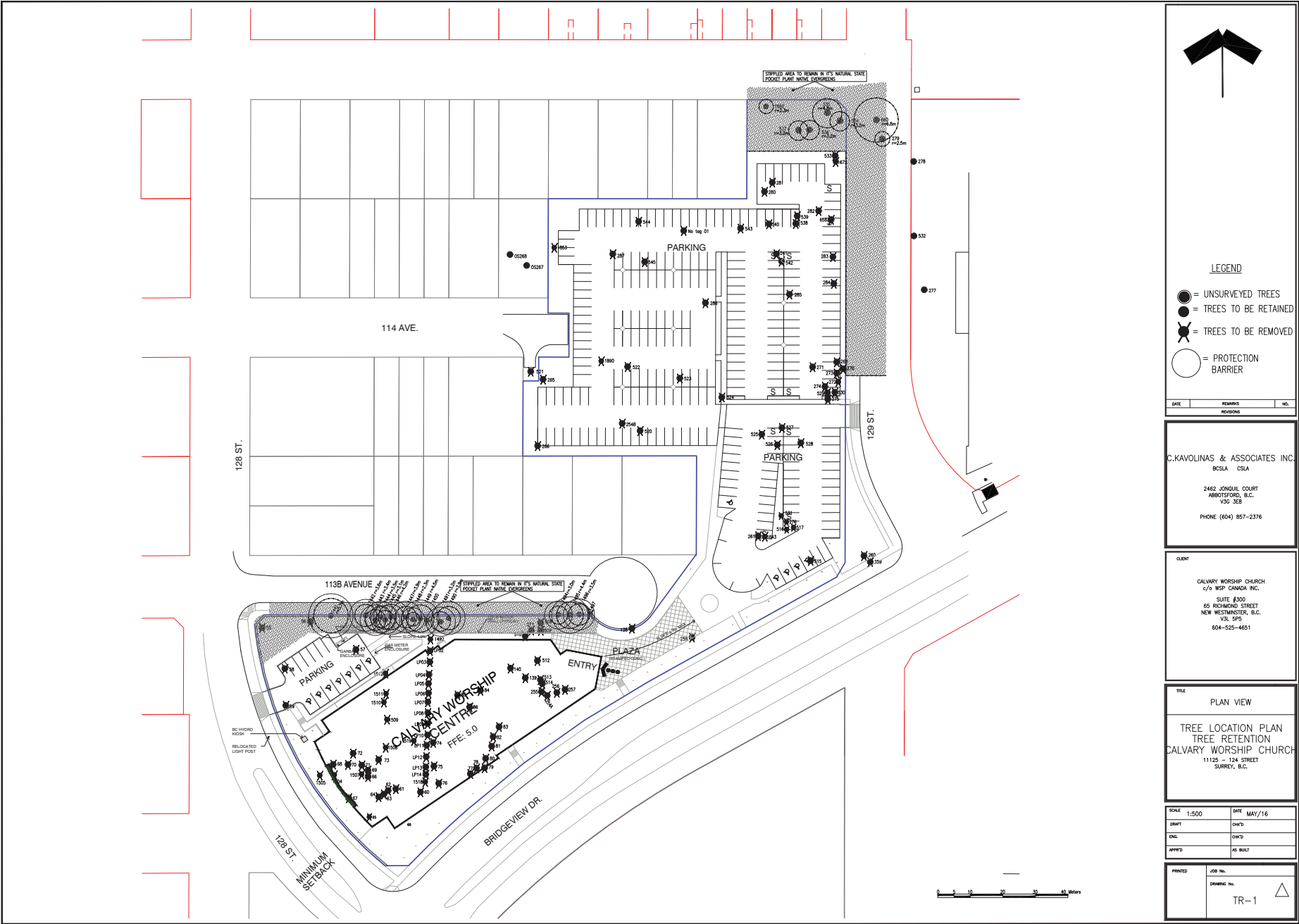
Surrey Project No:
 Address: 12851 Bridgeview Drive, 11348 128th Street, 12881 113B Avenue,
 12848, 12851, 12861 & 12869 114 Avenue,
 Surrey, BC
 Registered Arborist: Andrew Connell B.Sc.
 ISA Certified Arborist (PN6991A)
 ISA Qualified Tree Risk Assessor
 BC Parks Wildlife and Danger Tree Assessor
 Certified Landscape Technician

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	180
Protected Trees to be Removed	158
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	22
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\underline{33} \times \text{one (1)} = 33$	283
- All other Trees Requiring 2 to 1 Replacement Ratio $125 \times \text{two (2)} = 250$	
Replacement Trees Proposed	159
Replacement Trees in Deficit	124
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\underline{\quad} \times \text{one (1)} = 0$	0
- All other Trees Requiring 2 to 1 Replacement Ratio $\quad \times \text{two (2)} = 0$	
Replacement Trees Proposed	
Replacement Trees in Deficit	0

Summary prepared and submitted by:



October 31, 2016



LEGEND

- = UNSURVEYED TREES
- = TREES TO BE RETAINED
- ✕ = TREES TO BE REMOVED
- = PROTECTION BARRIER

DATE	REVISIONS	NO.
	REVISIONS	

C.KAVOLINAS & ASSOCIATES INC.
 BCALA CSLA
 2462 JONDUIL COURT
 ABBOTSFORD, B.C.
 V3C 3E8
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CLIENT
 CALVARY WORSHIP CHURCH
 c/o WSP CANADA INC.
 SUITE #300
 65 RICHMOND STREET
 NEW WESTMINSTER, B.C.
 V3L 5P5
 604-525-4651

TITLE
 PLAN VIEW
 TREE LOCATION PLAN
 TREE RETENTION
 CALVARY WORSHIP CHURCH
 11125 - 124 STREET
 SURREY, B.C.

SCALE	1:500	DATE	MAY/16
DRAFT	CHK'D		
ENL	CHK'D		
APPR'D	AS BUILT		

PRINTED	JOB NO.	
	DRAWING NO.	TR-1

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7916-0163-00

Issued To: CITY OF SURREY

("the Owner")

Address of Owner: 13450 – 104 Avenue
Surrey, BC V3T 1V8

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-587-661

Lot 33 Block 5 Section 9 Block 5 North Range 2 West New Westminster District Plan 480

12861 – 114 Avenue

Parcel Identifier: 005-792-118

Lot 66 Except Part in Plan LMP34688 Section 9 Block 5 North Range 2 West New Westminister District Plan 59625

11348 – 128 Street

Parcel Identifier: 017-258-553

Lot "G" (BE12942) Block 6 Section 9 Block 5 North Range 2 West New Westminister District Plan 480

12881 – 113B Avenue

Parcel Identifier: 017-263-433

Lot "H" (BC12940) Block 6 Section 9 Block 5 North Range 2 West New Westminister District Plan 480

12848 – 114 Avenue

Parcel Identifier: 017-241-235
Lot "K" (BE12934) Block 5 Section 9 Block 5 North Range 2 West New Westminster District
Plan 480

12851 – 114 Avenue

Parcel Identifier: 017-253-276
Lot "L" (BE12937) Block 5 Section 9 Block 5 North Range 2 West New Westminster District
Plan 480

12869 – 114 Avenue

Parcel Identifier: 025-257-331
Lot 1 Section 9 Block 5 North Range 2 West New Westminster District Plan LMP52739

12851 Bridgeview Drive

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

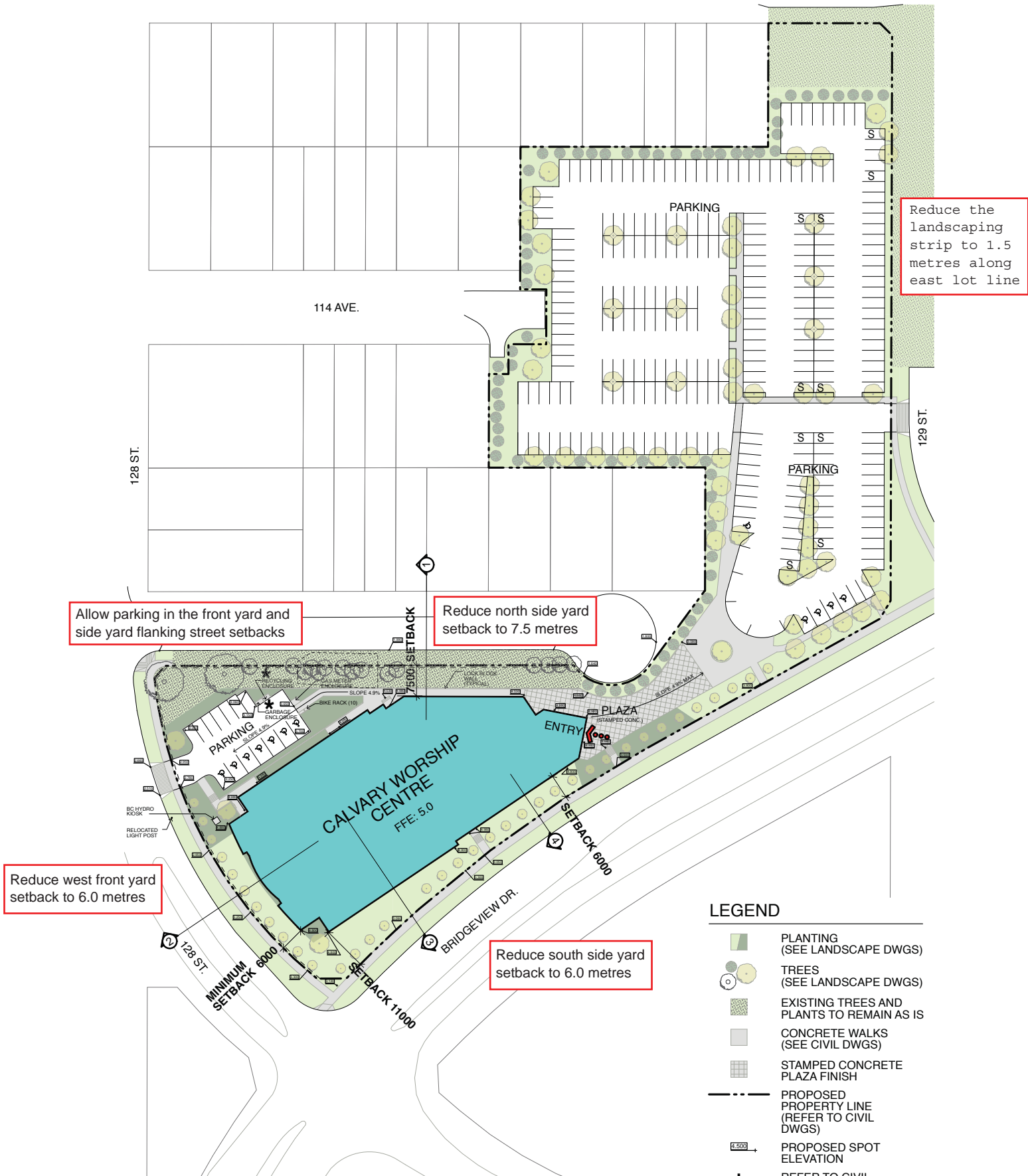
4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
- (a) to vary the PA-2 Zone to increase the maximum height of the PA-2 Zone for the sanctuary portion of the proposed church building from 9.0 metres (30 ft.) to 11.4 metres (37.5 ft.);
 - (b) to reduce the minimum front yard (west) setback of the PA-2 Zone for the principal building from 11.4 metres (37.5 ft.) to 6.0 metres (20 ft.);
 - (c) to reduce the minimum north side yard setback of the PA-2 Zone for the principal building from 11.4 metres (37.5 ft.) to 7.5 metres (25 ft.);
 - (d) to reduce the minimum south side yard setback of the PA-2 Zone for the principal building from 11.4 metres (37.5 ft.) to 6.0 metres (20 ft.);

- (e) to reduce the minimum width of the landscaping strip of the PA-2 Zone along the east property line adjacent to 129 Street, from 3.0 metres (10 ft.) to 1.5 metres (5 ft.); and
 - (f) to allow off-street parking to be located within the front yard (west) setback and the flanking (north) side yard setback, adjacent to the proposed church building.
5. Surrey Sign By-law, 1999, No. 13656, as amended is varied as follows:
 - (a) Sub-section 35(2)(b) of Part 7 Signs in Institutional Zones is varied to increase the maximum sign area of the proposed fascia sign from 3.0 square metres (32 sq.ft.) to 30 square metres (320 sq.ft.).
 6. This development variance permit applies to the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
 7. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
 8. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A, which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
 9. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
 10. This development variance permit is not a building permit.

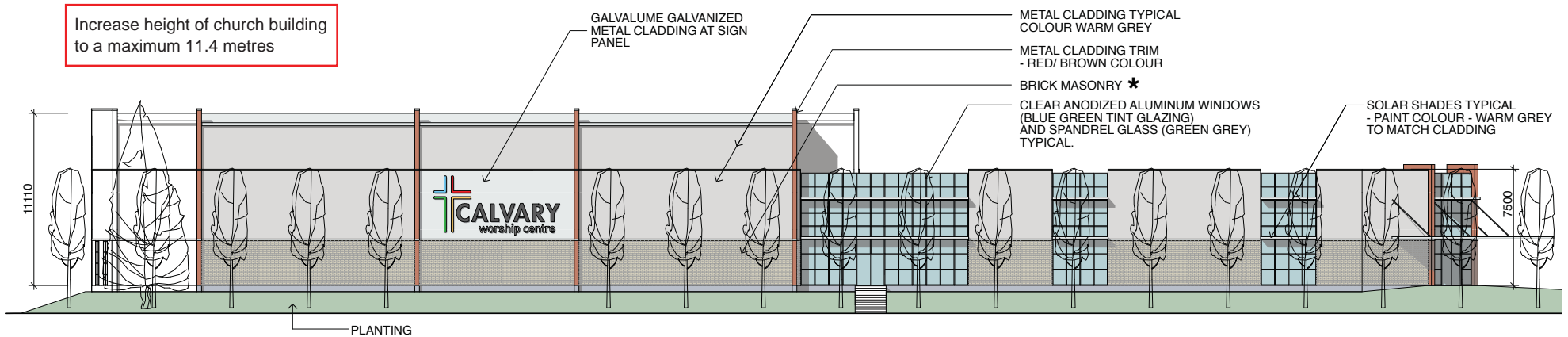
AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE _____ DAY OF _____, 20 ____ .
ISSUED THIS _____ DAY OF _____, 20 ____ .

Mayor – Linda Hepner

City Clerk – Jane Sullivan



Site Plan
1:800 NOV. 25, 2016



1. ELEVATION: BRIDGEVIEW DRIVE

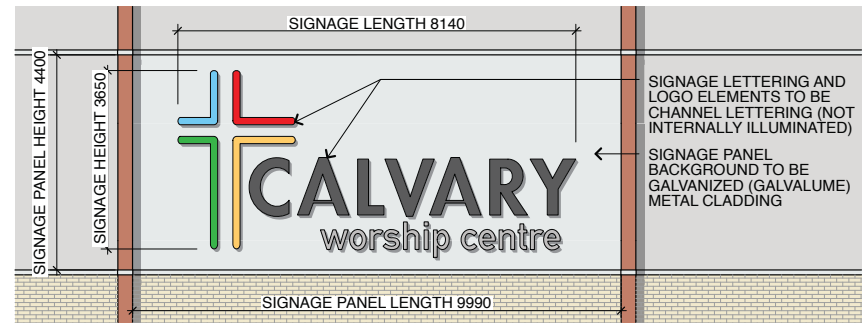
1:250

NOV. 24, 2016

CWC Exterior Design Description & Rationale:

- The church has two components; a single story high sanctuary space and a two storey Education, Multipurpose, Admin and Support area.
- In order to create a unified design appearance, the two masses are given a similar, coordinated treatment of materials and form.
- The lower 3.0 metres of the whole building has a uniform masonry brick finish. This provides a visual foundation for the building, as well as being a durable surface. In addition, it evokes an institutional character.
- Above the masonry, the wall is divided in to panels of metal cladding. The proportions of the panels have been laid out to provide as much unit as possible between the two structures. The boundaries of the cladding panels are contrasting colour metal trim.
- At the centre of the Sanctuary wall length, one panel is designated to contain a modest low-key sign for the church. This panel will have a galvanized cladding as background to the signage.
- in addition to the main exterior finishes, the design includes strategically located panels of window wall glazing, from grade up to the roof of the two storey structure. These panels incorporate tinted vision glazing located in functional space in the building, as well as coloured spandrel panels to areas which are not vision glazing. The colour of the spandrel panels is on tone and hue with the vision glass tint.
- Along Bridgeview Drive, a major landscape feature provides unity to this façade. It is an arching row of Skyrocket Oak trees, which is intended to evoke the historic windbreak of poplar trees originally on the site.

Increase fascia sign area to 30 square metres



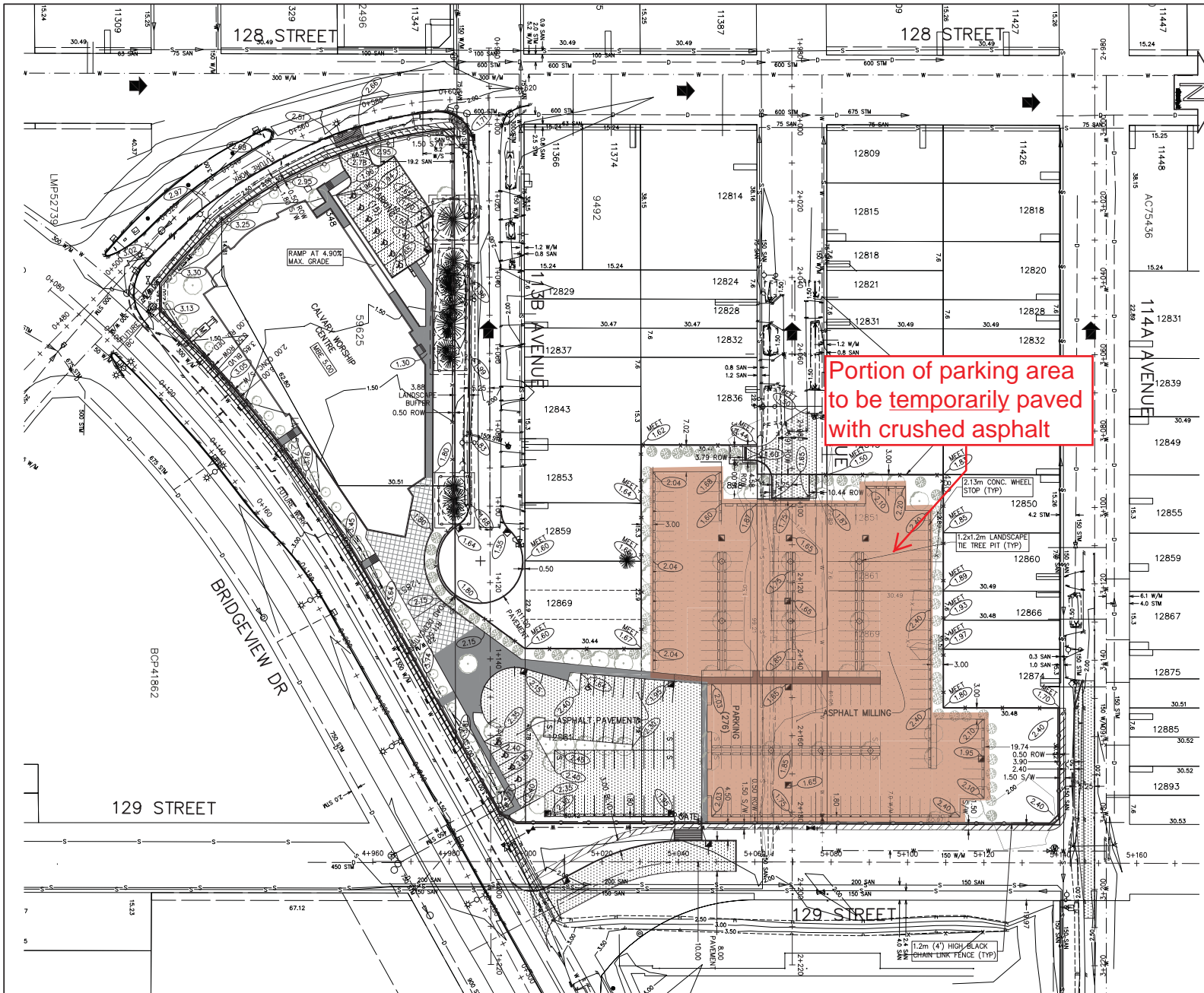
SIGN DETAIL

1:100



★ BRICK MASONRY COLOUR





BENCHMARK & CONTROL
 ALL ELEV. ARE GEODETIC AND REFER TO MON. NO. 5345 (GCM 585505) LOCATED AT THE INTERSECTION OF 128 STREET AND 111 AVENUE ELEV. 2.415m

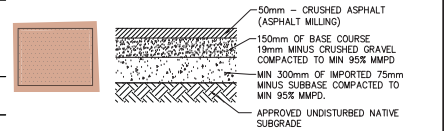
LEGAL DESCRIPTION OF PROPERTY
 LOT 66, PLAN 59625, LOT 1, PLAN LMP52739, BOTH SEC 9, RGE 2, NWD, LOTS C & H, BLK 5, SEC 9, RGE 2, PLAN 480, NWD LOTS K, 33, L, BLK 5, SEC 9, RGE 2, PLAN 480, NWD

TOPOGRAPHIC SURVEY PROVIDED BY WSP SURVEYS (BC) LIMITED PARTNERSHIP

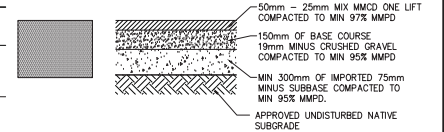
LEGEND

- MAJOR 100 YR. OVERLAND FLOOD ROUTE
- MAJOR 100 YR. FLOW ROUTE BELOW SURFACE
- MAJOR 100 YR. FLOW ROUTE IN PIPE
- EXIST GROUND ELEVATION
- PROPOSED GROUND ELEVATION
- FUTURE GROUND ELEVATION
- DIRECTION OF FLOW
- MINIMUM BUILDING ELEVATION
- EXIST SWALE
- BUILDERS SWALE
- CONTRACTORS SWALE
- CONTOURS (ORIGINAL GROUND)
- EXIST DITCH
- PROP DITCH
- MEET EXIST GROUND
- PROPOSED CATCHBASIN
- PROPOSED LAWNBASIN (4500 LB)
- FILL GREATER THAN 0.50m
- SANITARY SERVICE CONNECTION
- STORM SERVICE CONNECTION
- WATER SERVICE CONNECTION
- BLACK 1.8m HIGH CHAIN LINK FENCE
- BLACK 1.2m HIGH CHAIN LINK FENCE
- TREE PROTECTION BARRIER
- TREES TO BE RETAINED (REFER TO ARBORIST REPORT FOR ULTIMATE TREE PROTECTION)

Portion of parking area to be temporarily paved with crushed asphalt



ONSITE PAVEMENT STRUCTURE DETAIL
 ** STRUCTURE DETAILS TO BE CONFIRM WITH GEOTECH **
 N.T.S.



ONSITE PAVEMENT STRUCTURE DETAIL
 ** STRUCTURE DETAILS TO BE CONFIRM WITH GEOTECH **
 N.T.S.

PRELIMINARY SUBMISSION

No.	Date	Revision	Dr.	Ch.

CitiWest Consulting Ltd.
 No.101-9030 KING GEORGE BLVD., SURREY, BC, V3V 7Y3
 TELEPHONE 604-591-2213 FAX 604-591-5518
 E-MAIL: office@citiwest.com

CitiWest
 Since 1987

CALVARY WORSHIP CENTRE
 #102-1125 124 STREET, SURREY, B.C. V3V 4V2

PRELIMINARY GRADING PLAN
 SITE AT 11348-128 ST/12851-BRIDGEVIEW DR/12881-1138 AVE
 AND 12848/12851/12861/12869-114 AVE, SURREY, BC

Scale: 1:500	Mun. Proj. No. 7916-0163-00	Dwg. No. 3
Drawn: LC	Mun. Dwg. No.	
Designed: PY	Job No. 16-3327	Of X
P.W. P.W.	Date MAY/2016	Revision
Approved:		destroy all prints bearing previous number

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