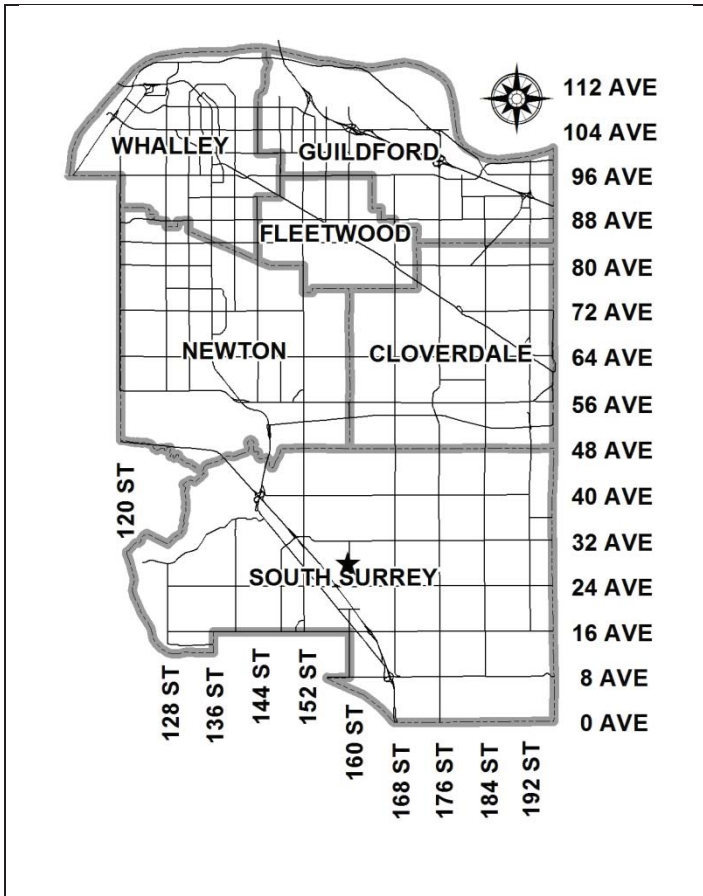


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0161-00

Planning Report Date: April 24, 2017

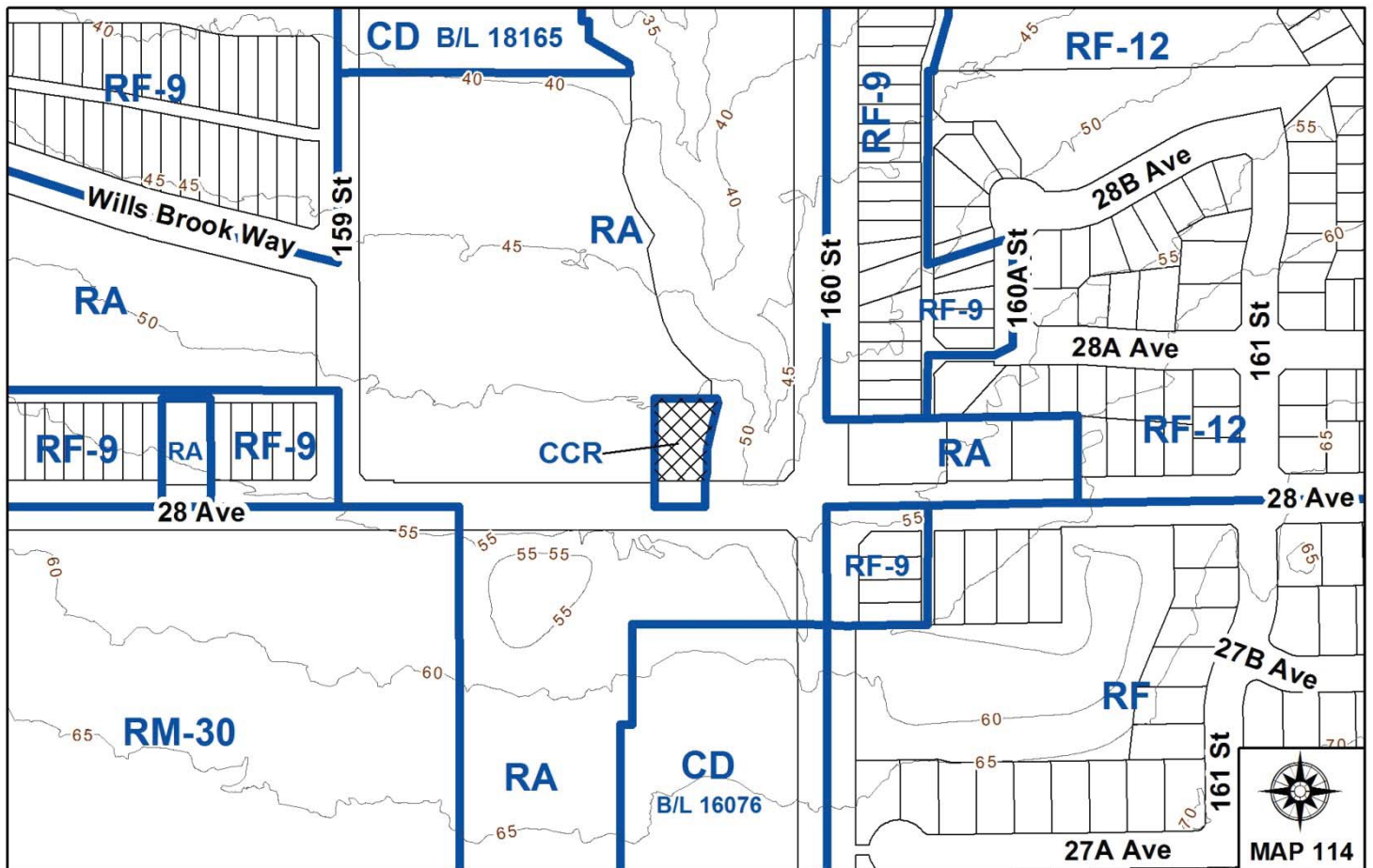


PROPOSAL:

- **NCP Amendment** from "Cluster Residential (6 – 8 u.p.a.)" to a new land use designation "Commercial"
- **Rezoning** from CCR to CD (based on PA-1)
- **Development Permit**
- **Development Variance Permit**

to permit the development of a three-storey building to accommodate a childcare facility for up to 66 children.

LOCATION: 15977 – 28 Avenue
OWNER: Petite Girafe Montessori Preschool & Daycare Inc.
ZONING: CCR
OCP DESIGNATION: Urban
NCP DESIGNATION: Cluster Housing (6 – 8 u.p.a.)



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposed amendment to the North Grandview Heights Neighbourhood Concept Plan (NCP) from "Cluster Residential (6 – 8 u.p.a.) to a new land-use designation "Commercial".
- Seeking a variance to reduce the minimum setback requirement from top-of-bank for a Class A watercourse.

RATIONALE OF RECOMMENDATION

- Complies with the Urban designation in the OCP.
- To accommodate the proposed commercial childcare facility, an amendment to the North Grandview Heights NCP is also required to re-designate the site from "Cluster Residential (6-8 u.p.a.)" to a new land-use designation "Commercial".
- Complies with the City's location and siting guidelines for childcare facilities.
- The proposed three-storey building is considered attractive, well-designed and provides an appealing addition to the North Grandview Heights Neighbourhood Concept Plan (NCP).
- The subject property was created under Development Application No. 7911-0269-00. At the time, the Environmental Review Committee (ERC) approved a setback of 15 metres (49 ft.) from top-of-bank for the west side of Wills Brook. The applicant conveyed the riparian area located at 15999 – 28 Avenue to the City as part of Development Application No. 7911-0269-00. As such, the eastern boundary of the subject property corresponds with the 15 metre setback from top-of-bank previously established by ERC for the Class A watercourse (Wills Brook).
- The development application was in process before Council adopted Part 7A Streamside Protection and amended the Zoning By-law.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "Child Care Zone (CCR)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7916-0161-00 for the following:
 - (a) Form and Character Development Permit;
 - (b) Hazard Lands Development Permit, generally in accordance with the geotechnical assessment prepared by GeoPacific Consultants Ltd. and lot grading plan prepared by Aplin & Martin Consultants Ltd.; and
 - (c) Sensitive Ecosystemsgenerally in accordance with the attached drawings (Appendix II).
3. Council approve Development Variance Permit No. 7916-0161-00 (Appendix VI), to reduce the minimum setback requirement from the top-of-bank for a Class A watercourse from 30 metres (100 ft.) to 15 metres (49 ft.) at the closest point to accommodate the proposed development, to proceed to Public Notification.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (c) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (d) submission of a finalized lot grading plan to the satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) registration of a Section 219 Restrictive Covenant that requires all fencing adjacent to parkland and/or riparian areas be permeable, no higher than 1.2 metres (4 ft.) and located on private property;
 - (h) the applicant modify the existing statutory right-of-way registered on title (BB625963) for the multi-use pathway on 28 Avenue to reflect on-site conditions;

- (i) completion of a Development Permit for Hazard Lands to the satisfaction of the General Manager, Planning & Development Department; and
 - (j) completion of a Sensitive Ecosystem Development Permit to the satisfaction of the General Manager, Planning & Development Department.
5. Council pass a resolution to amend the North Grandview Heights Neighbourhood Concept Plan (NCP) to create a "Commercial" designation, and re-designate the subject property from "Cluster Residential (6 – 8 u.p.a.)" to "Commercial", as illustrated in Appendix V, when the project is considered for final adoption.

REFERRALS

- Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
- Parks, Recreation & Culture: No concerns.
- Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Vacant parcel.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North and West:	Sunnyside Elementary School	Urban/Elementary School	RA
East:	Wills Brook Park	Urban/Environmental Area	RA
South (Across 28 Avenue):	Oliver Park	Urban/Park/Open space	RA

JUSTIFICATION FOR PLAN AMENDMENT

- The subject property is designated "Cluster Residential (6 – 8 u.p.a.)" in the North Grandview Heights Neighbourhood Concept Plan (NCP). This land-use designation can accommodate the existing zoning ("Child Care Zone (CCR)") given it allows a childcare facility, with a maximum of 25 children, to operate in association with a single family residential dwelling.

- The applicant is proposing a commercial childcare facility that can accommodate a maximum of 66 children at any one time. Given the proposal excludes a single family residential component, an amendment to the North Grandview Heights NCP is required to re-designate the site from "Cluster Residential (6 – 8 u.p.a.)" to a new land-use designation "Commercial".

DEVELOPMENT CONSIDERATIONS

Background

- The property at 15977 – 28 Avenue is designated "Urban" in the Official Community Plan (OCP) and "Cluster Housing (6 – 8 u.p.a.)" in the North Grandview Heights Neighbourhood Concept Plan (NCP). The property is zoned "Child Care Zone (CCR)" which permits a childcare facility that accommodates a maximum of 25 children, at any one time, to operate in association with a single family dwelling.
- The subject property was created under Development Application No. 7911-0269-00 which resulted in the creation of 78 single family small lots, a child care centre lot and 3 townhouse parcels. The application received Final Adoption in May, 2014.

Current Proposal

- The applicant proposes to rezone the subject property from "Child Care Zone (CCR)" to "Comprehensive Development Zone (CD)" (based on "Assembly Hall 1 Zone (PA-1)") for a childcare facility that accommodates a maximum of 66 children at any one time.
- In order to accommodate the proposed commercial childcare facility, the applicant proposes to amend the North Grandview Heights NCP from "Cluster Residential (6 – 8 u.p.a.) to a new land-use designation "Commercial".
- The facility will be accommodated within a proposed three-storey building with 470 square metres (5,060 sq. ft.) of child care space that includes three classrooms for children aged 30 months to school age.
- The facility will operate Monday to Friday from 7:00 a.m. to 6:00 p.m. with group child care, pre-school and after-school programs. The group child care program will operate from 7:00 a.m. to 2:00 p.m. The pre-school program will operate from 8:30 a.m. to 11:30 a.m. and from 12:30 p.m. to 3:30 p.m. In contrast, the after-school program will operate only from 3:00 p.m. to 6:00 p.m.
- The applicant is working with Fraser Health to obtain the necessary approvals and childcare license required to operate the proposed childcare facility. Fraser Health previously reviewed the site plan and architectural drawings. Any concerns identified by Fraser Health have been satisfactorily addressed before proceeding to Council.

Proposed CD By-law

- The proposed CD By-law (Appendix VII) is based on the "Assembly Hall 1 Zone (PA-1)" with modifications to the permitted land-uses, density, lot coverage, setbacks, building height, off-street parking, landscaping, special regulations and subdivision requirements. The proposed changes are noted in the table below:

By-law Comparison	PA-1 Zone	Proposed CD Zone
Permitted Uses	Assembly hall uses including churches, private schools, community services and child care centres provided the enrollment not exceed 50 students at any one time. The PA-1 Zone also permits one or two dwelling units as an accessory land-use.	Child care centres provided the enrollment not exceed 66 students at any one time.
Density	Floor area ratio of 0.35 if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000.	Maximum floor area ratio of 0.50
Lot coverage	Maximum lot coverage is 35%	Maximum lot coverage is 30%
Setbacks	<u>Principal Building</u> Rear = 7.5 m. (25 ft.) Side = 3.6 m. (12 ft.)	<u>Principal Building</u> Rear = 1.2 m. (4 ft.) Side [West] = 1.2 m. (4 ft.)
Building Height	<u>Principal Building</u> 9 m. (30 ft.)	<u>Principal Building</u> 10.3 m. (34 ft.)
Off-Street Parking and Loading/Unloading	No off-street parking is permitted within the front yard setback.	N/A
Landscaping	Along all lot lines of the developed portion of the lot, a 3 metre (10 ft.) wide landscape strip shall be provided, consisting of hedges, ground cover or a decorative fence or a combination thereof.	Along the developed sides of the lot which abut a highway, a continuous landscaping strip of not less than 1.5 metres (5 ft.) in width shall be provided within the lot. Garbage containers and passive recycling containers shall be screened to a height of at least 2.5 metres (8 ft.) by buildings, a landscaping screen, a solid decorative fence, or a combination thereof.

By-law Comparison	PA-1 Zone	Proposed CD Zone
Special Regulations	Child care centres shall be accessed from a highway, independent from the access to other uses permitted under the PA-1 Zone.	N/A
Subdivision	Minimum lot width of 30 metres (100 ft.)	Minimum lot width of 20 metres (65 ft.)

- All other aspects of the proposed CD By-law comply with the provisions of the PA-1 Zone.

Hazard Lands Development Permit (Steep Slopes)

- The property is subject to a Development Permit for Hazard Lands, per the OCP, given the proximity of the existing ravine to the east of the site. In order to address this requirement, the applicant has submitted a geotechnical report that confirms the site can accommodate the proposed development.
- The geotechnical report, prepared by GeoPacific Consultants Ltd. dated October 13, 2016, states that the subject site is considered safe for its intended use and that the subsurface investigation has found satisfactory soil conditions for the proposed childcare facility.
- The geotechnical report makes several recommendations on subgrade preparation, building foundations, pavement details, structural fill, utility excavation methods as well as backfill.
- Staff have reviewed the geotechnical report and found it to be generally acceptable, subject to the project geotechnical engineer reviewing and accepting the final building and lot grading design.
- The geotechnical report and recommendations contained therein will be incorporated into the requirements of the Hazard Lands Development Permit (DP).

Sensitive Ecosystem Development Permit (DP)

- The subject property is located within the Sensitive Ecosystem Development Permit Area for Wills Brook. In accordance with Part 7A of the Zoning By-law, the minimum setback required from top-of-bank for a Class A watercourse is 30 metres (100 ft.). The applicant is requesting a variance to reduce the minimum setback requirement measured from top-of-bank to 15 metres (49 ft.) in order to accommodate the proposed development.
- The riparian area to the east of the subject property was conveyed to the City for the purposes of riparian protection in 2014 under Development Application No. 7911-0269-00. The riparian protection area was established as part of the Environmental Review Committee (ERC) process which included a representative from the Department of Fisheries and Oceans (DFO).
- As part of the original conditions of approval for Development Application No. 7911-0269-00, the applicant entered into a P-15 agreement for monitoring and maintenance of the replanting proposed within the riparian area. In addition, the applicant removed the existing single family dwelling on the subject property which significantly encroached into the riparian area in 2014.

- The current development application on the subject property at 15977 – 28 Avenue was in process at the time the Streamside Protection regulations in Part 7A of the Zoning By-law were adopted by Council on September 12, 2016 (Corporate Report No. R188).
- The applicant submitted a supplementary environmental report from Enkon Environmental Ltd. (dated January 7, 2016) which confirms the existing 15 metre (49 ft.) setback from top-of-bank previously established as part of File No. 7911-0269-00 is compliant with Riparian Areas Regulations (RAR) and will meet the objectives outlined in the Official Community Plan (OCP) for protecting sensitive ecosystems.
- The supplementary environmental report submitted by Enkon Environmental Ltd. indicates the riparian setback previously established under Development Application No. 7911-0269-00 is sufficient to accommodate a 5 metre (16 ft.) wide geotechnical setback measured from top-of-bank, as a slope stability measure. In addition, the existing setback provides for emergency drainage maintenance access over and above the previously established Streamside Protection and Enhancement Area (SPEA) requirement identified as part of Development Application No. 7911-0269-00.

DESIGN PROPOSAL AND REVIEW

Proposed Building

- The proposed childcare facility will provide approximately 470 square metres (5,060 sq. ft.) of child care space on three levels, and includes three classrooms for children aged 30 months to school age. Due to site slopes, which fall from south to north, the southern building elevation along 28 Avenue is two stories high, and three stories at the rear (northern elevation). The ground-floor will provide direct access to a large outdoor play area located adjacent to Wills Brook Park to the east.
- The building materials include corrugated galvanized aluminum cladding with vertical cedar siding, painted steel columns and pre-finished black anodized metal sunshades. In addition, the building façade includes black anodized aluminum windows, a black anodized aluminum curtain wall on the southern and eastern building elevations, a concrete block wall along the northern façade with an anti-graffiti protective coating and painted yellow spandrel panels to enhance visual interest. The building promotes an attractive southerly façade with significant glazing elements that wrap around the southeast corner of the proposed building to provide views of the outdoor play space and riparian area as well as abundant interior natural lighting.
- The proposed building is considered attractive, well-designed and provides an appealing addition to the North Grandview Heights Neighbourhood Concept Plan (NCP).

Driveway Access and On-site Parking

- The subject property will retain driveway access from 28 Avenue. A wider driveway will be required to meet the demands of the proposed land-use.

- The Engineering Department – Transportation Division has expressed concerns about the pressure pick-up/drop-off requirements for the proposed childcare facility might pose given its proximity to Sunnyside Elementary School. The applicant has confirmed a maximum of 6 employees are required, at any one time, and sufficient on-site parking will be provided for employee as well as parent pick-up/drop-off, per the Zoning By-law.
- Under the Zoning By-law, the applicant is required to provide one parking space per employee with an equal number of pick-up/drop-off spaces, or a minimum of two parking spaces on-site, whichever is greater.
- The childcare licensing requirements of Fraser Health indicate that 6 employees are required for the proposed childcare facility based on the age range of children and number of programs offered. As such, a total of 12 parking stalls would be required on-site. The applicant proposes a total of 12 parking spaces which complies with the minimum on-site parking requirement in the Zoning By-law.

Proposed Fascia Signage

- The applicant is proposing one fascia sign along the southern building façade. The fascia sign will consist of individual channel letters with background illumination and complies with the maximum allowable combined sign area per linear foot of premise frontage. The fascia signage will not extend more than 0.5 metre (1.6 ft.) from the building façade, in keeping with the Sign By-law.

Proposed Landscaping

- The applicant will provide additional landscaping along the 28 Avenue frontage and proposes to modify the existing statutory right-of-way for the multi-use pathway (BB625963) to reflect existing conditions and replant the area to provide additional screening for the on-site parking.
- A variety of trees, shrubs and groundcover is proposed along 28 Avenue as well as in front of the proposed building to provide additional screening of the on-site parking, retaining wall on the northeast property line and staircase leading to the outdoor play area on the ground-floor.
- Decorative paving materials are proposed at the driveway entrance off 28 Avenue.

Locational Siting Criteria for Child Care Centres

- In 1990, the City completed a report entitled "Guidelines for the Location and Siting of Child Care Centres". The following illustrates how the proposed application adheres to the various locational and siting guidelines outlined in the report:
 - Locate centres close to child-oriented facilities (e.g. schools, parks, playgrounds, open space, community or recreation centres, libraries, etc.).
 - Locating childcare facilities adjacent to an elementary school provides ease of access for caregivers and the opportunity for caregivers to walk children to the child care centre;

- The subject site is located directly adjacent to Sunnyside Elementary School; and
- The subject property is located within walking distance of Wills Brook Park and Oliver Park which includes an outdoor playground.
- Locate childcare facilities with maximum enrollments exceeding 25 children in close proximity to multi-family residential developments, community facilities and public amenities such as a school, a community or district park, etc.
 - The surrounding neighbourhood includes a number of larger multi-family and single family small lot developments in need of additional childcare facilities.
- Avoid siting child care centres along arterial roads.
 - The subject property is located on 28 Avenue which is a collector road.
- Avoid undue concentration of child care centres.
 - The guidelines recommend that childcare facilities should be located in areas that are currently underserved to avoid an undue concentration of facilities;
 - According to information available on-line from Fraser Health, one licensed childcare facility is operating within 0.5 kilometer (500 metres) of the subject property. The childcare facility is operating within a single family residential dwelling. The property is zoned "Single Family Residential Zone (RF)" which permits a maximum of 8 children; and
 - With approval of the subject application, child care space for an additional 66 children would be provided in the surrounding neighbourhood. As such, it is anticipated the proposed childcare facility will experience a higher volume of enrollment.
- Provide adequate on-site parking for employees and parents.
 - The applicant will provide a total of 12 parking spaces on-site which complies with the minimum parking requirement under the Zoning By-law.
- Provide adequate fencing, screening, setbacks and outdoor play areas.
 - As the attached layout (Appendix II) illustrates, the childcare facility is setback from 28 Avenue and located at the northwest corner of the subject site thereby creating a spacious outdoor play area along the eastern building façade; and
 - The ground-floor of the proposed building will provide direct access to a large outdoor play space located adjacent to Wills Brook Park. The play space will include a playhouse, art studio area and natural play area beneath a large off-site tree proposed to be retained. The play area is enclosed by a wooden fence along the northern and eastern property lines.

TREES

- Stuart Goode, ISA Certified Arborist of Goode Arboriculture Consulting prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Coniferous Trees			
Grand Fir	1	0	1
Western Red Cedar	1	1	0
Total	2	1	1
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		2	
Total Retained and Replacement Trees		3	

- The Arborist Assessment states that there are a total of 2 protected trees on the site. It was determined that 1 tree can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, proposed lot grading, road dedication and building footprints.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 2 replacement trees on the site. The applicant is proposing 2 replacement trees, thereby meeting City requirements.
- The new trees on-site will consist of Forest Pansy Redbud and Sweet Gum.
- In summary, the applicant proposes to retain 1 on-site tree and provide an additional 2 replacement trees which meets City requirements based on a 2 to 1 replacement ratio.

PRE-NOTIFICATION

Pre-notification letters were mailed to 178 property owners within one-hundred metres (300 ft.) of the subject property on September 20, 2016. To date, staff have not received any responses.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on April 12, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> The subject property is located in the North Grandview Heights NCP.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> N/A
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> The proposed development will have access to recycling pick-up.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> The project is connected to off-site pedestrian and multi-use pathways.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> The proposal includes suitable exterior lighting and a fenced outdoor play space that includes a 1.5 metre (5 ft.) high solid wood fence with appliques located adjacent to Wills Brook Creek, in accordance with Crime Prevention Through Environmental Design (CPTED) principles. The proposal includes additional child care spaces and an outdoor play area with playground equipment suitable for different age ranges from 30 months to school age.
6. Green Certification (F1)	<ul style="list-style-type: none"> N/A
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> N/A

ADVISORY DESIGN PANEL

The proposal was not forwarded to the Advisory Design Panel (ADP) for comment but reviewed internally by City staff and deemed generally acceptable in terms of form, design and character.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To reduce the minimum setback requirement from the top-of-bank for a Class A watercourse from 30 metres (100 ft.) to 15 metres (49 ft.) at the closest point to accommodate the proposed development.

Applicant's Reasons:

- The existing riparian setbacks for the west side of Wills Brook were previously approved by the Environmental Review Committee (ERC) under Development Application No. 7911-0269-00.

Staff Comments:

- According to the streamside setbacks established under Part 7A of the Zoning By-law, the minimum setback requirement from top-of-bank for a Class A watercourse is 30 metres (100 ft.).
- The riparian area to the east of the subject property was conveyed to the City for the purposes of riparian protection in 2014 as part of Development Application No. 7911-0269-00. The riparian protection areas was established as part of the Environmental Review Committee (ERC) process which, at the time, included a representative from the Department of Fisheries and Oceans (DFO).
- As part of the original conditions of approval under Development Application No. 7911-0269-00, the applicant entered into a P-15 agreement for monitoring and maintenance of the replanting proposed within the riparian area.
- The development application on the subject property was in process at the time the Streamside Protection regulations were adopted by Council on September 12, 2016 (Corporate Report No. R188).
- The applicant submitted a supplementary environmental report which confirms the existing 15 metre (49 ft.) setback from top-of-bank previously established as part of Development Application No. 7911-0269-00 is compliant with RAR and will meet the objectives outlined in the OCP for protecting sensitive ecosystems.
- Given the various protection measures previously employed, the riparian setbacks approved by ERC for the west side of Wills Brook and recent environmental report from Enkon Environmental Ltd. (dated January 7, 2016), staff support the proposed variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Site Plan, Building Elevation Drawings and Landscape Plans
Appendix III.	Engineering Summary
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	Proposed NCP Amendment Map
Appendix VI.	Development Variance Permit No. 7916-0161-00
Appendix VII.	Proposed CD By-law

INFORMATION AVAILABLE ON FILE

- Geotechnical Study Prepared by GeoPacific Consultants Ltd. dated October 13, 2016.
- Environmental Report Prepared by Enkon Environmental Ltd. dated January 7, 2016.
- Complete Set of Architectural and Landscape Plans prepared by Aplin & Martin Consultants Ltd. and PMG Landscape Architects, dated April 13, 2017.

Original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

MRJ/da

DEVELOPMENT DATA SHEET

Proposed Zoning: CD

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total	N/A	N/A
Road Widening area		
Undevelopable area		
Net Total	1,001 sq. m.	N/A
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	N/A	N/A
Paved & Hard Surfaced Areas	N/A	N/A
Total Site Coverage	30%	30%
SETBACKS (in metres)		
Front (South)	7.5 m.	23.3 m.
Rear (North)	1.2 m.	1.2 m.
Side #1 (East)	7.5 m.	12.41 m.
Side #2 (West)	1.2 m.	1.2 m.
BUILDING HEIGHT (in metres/storeys)		
Principal	10.3 m.	10.3 m.
Accessory	4 m.	N/A
FLOOR AREA: Residential	N/A	N/A
FLOOR AREA: Commercial		
Ground-floor	N/A	163.21 sq. m.
Main-floor	N/A	133.45 sq. m.
Second-floor	N/A	173.45 sq. m.
Total	N/A	470.11 sq. m.
FLOOR AREA: Industrial	N/A	N/A
FLOOR AREA: Institutional	N/A	N/A
TOTAL BUILDING FLOOR AREA		

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

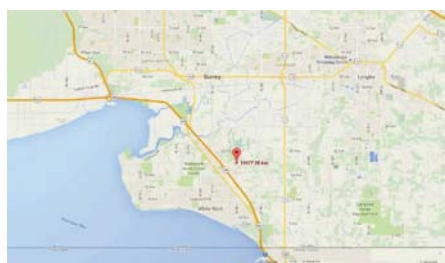
Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed	
DENSITY			
# of units/ha /# units/acre (gross)	N/A	N/A	
# of units/ha /# units/acre (net)	N/A	N/A	
FAR (gross)	N/A	N/A	
FAR (net)	0.50	0.50	
AMENITY SPACE (area in square metres)	N/A	N/A	
Indoor			
Outdoor			
PARKING (number of stalls)			
Commercial	12 spaces	12 spaces	
Industrial	N/A	N/A	
Residential	N/A	N/A	
Institutional	N/A	N/A	
Total Number of Parking Spaces	12 spaces	12 spaces	
Number of accessible stalls	N/A	1 space	
Number of small cars	N/A	N/A	
Tandem Parking Spaces	N/A	N/A	
Size of Tandem Parking Spaces	N/A	N/A	
Heritage Site	NO	Tree Survey/Assessment Provided	YES



PETITE GIRAFE DAYCARE

15977 28 AVE
SURREY, BC

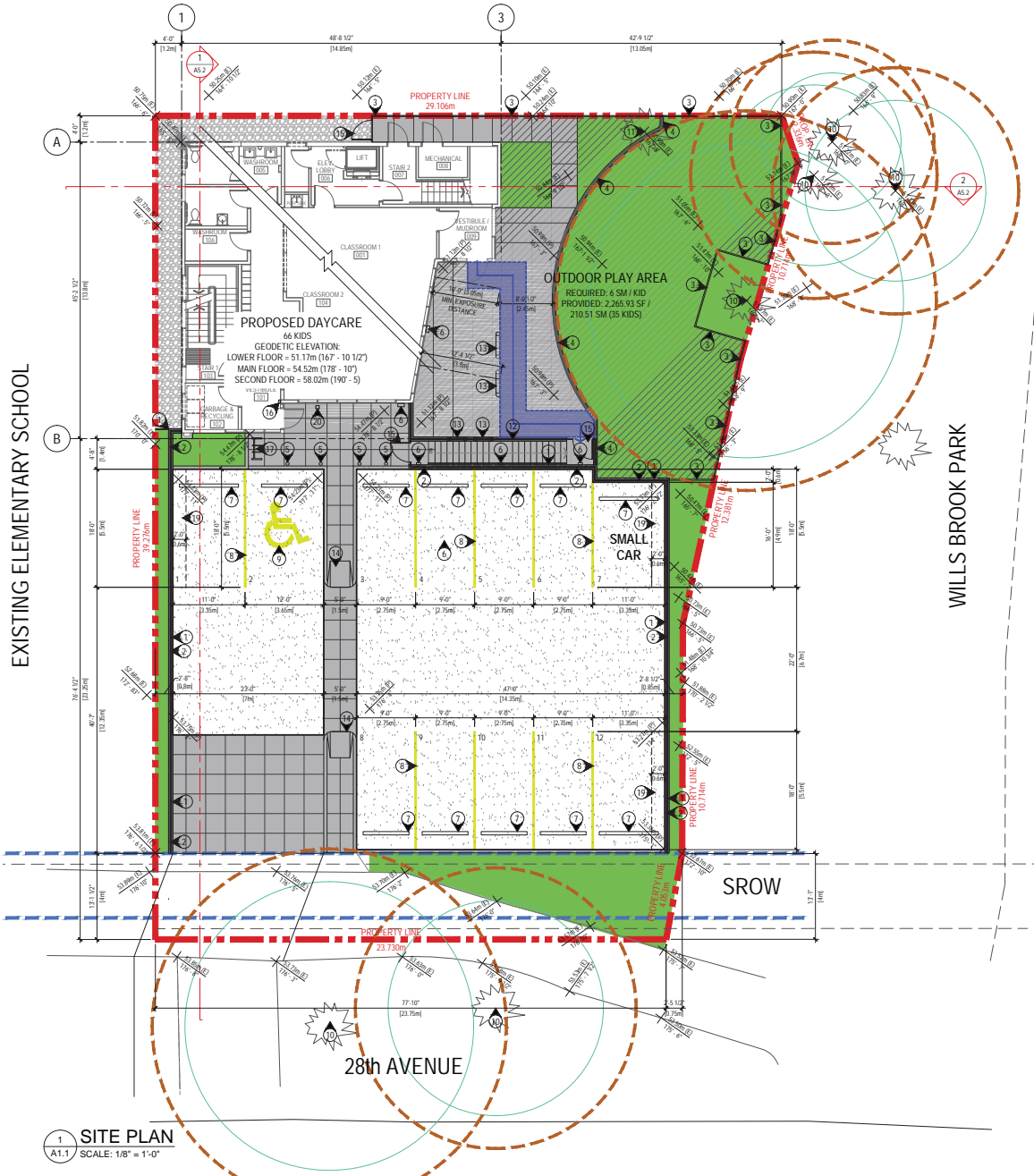
GENERAL NOTES	SHEET DIRECTORY	CONTRACT REQUIREMENTS
<p>ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AS ADOPTED AND AMENDED BY THE AUTHORITY HAVING JURISDICTION.</p> <p>THESE DRAWINGS ARE SUPPLIED TO THE CONTRACTOR AND OTHERS FOR THEIR USE FOR THIS SPECIFIC PROJECT. ALL COPIES OF THESE DRAWINGS SHALL REMAIN THE PROPERTY OF APLIN & MARTIN AND SHALL NOT BE REPRODUCED OR REPRODUCED WITHOUT PERMISSION OF APLIN & MARTIN.</p> <p>THE ORGANIZATION OF DOCUMENTS ARE NOT INTENDED TO CONTROL THE DIVISION OF WORK. DIVISION OF WORK SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.</p> <p>THE ORGANIZATION OF DOCUMENTS ARE NOT INTENDED TO CONTROL THE DIVISION OF WORK. DIVISION OF WORK SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.</p> <p>DIMENSIONS ARE TO FACE OF STUD, FACE OF MASONRY, FACE OF CONCRETE OR GRID LINE AT NEW CONSTRUCTION AND FACE OF EXISTING FINISH AT EXISTING CONSTRUCTION UNLESS OTHERWISE NOTED.</p> <p>CONTRACTOR SHALL VERIFY DIMENSIONS, REQUIRED CLEARANCES, AND POWER AND PLUMBING REQUIREMENTS. FOR ALL OWNER AND NIC ITEMS, NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.</p> <p>EXISTING CONDITIONS SHOWN ARE BASED ON RECORD DRAWINGS AND/OR ORIGINAL CONSTRUCTION DRAWINGS. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.</p> <p>ALL CONSULTANTS AND ARCHITECT'S DRAWINGS AND SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH EACH OTHER.</p> <p>CONTRACTOR TO KEEP AS-BUILT RECORDS OF CONSTRUCTION AND MAKE AVAILABLE TO THE ARCHITECT AT PROJECT CLOSE.</p>	<p>ARCHITECTURAL</p> <p>A00 COVER SHEET A01 SITE SURVEY A11 SITE PLAN A12 SITE CONTEXT & PRECEDENT PHOTOGRAPHS A13 PRECEDENT SITE PHOTOGRAPHS A14 STREETSCAPE ELEVATION A15 AERIAL PHOTOGRAPHS A16 SITE ANALYSIS & SHADOW DIAGRAM A17 SITE PLAN (SHOWING T.O.B. SETBACK) A21 LOWER FLOOR PLAN A22 MAIN FLOOR PLAN A23 SECOND FLOOR PLAN A24 ROOF PLAN A41 EXTERIOR ELEVATIONS A42 EXTERIOR ELEVATIONS A43 EXTERIOR ELEVATIONS A44 EXTERIOR ELEVATIONS A51 BUILDING SECTIONS A52 BUILDING & SITE SECTIONS A90 PERSPECTIVE DRAWING</p> <p>LANDSCAPING</p> <p>L1 LANDSCAPE PLAN L2 LANDSCAPE GRADING L3 LANDSCAPE DETAILS</p> <p>CIVIL</p> <p>C01 COVER SHEET C02 NOTES C03 GRADING PLAN C04 SERVING PLAN C05 SECTIONS</p>	<p>CORRESPONDENCE</p> <p>ALL CORRESPONDENCE MUST GO THROUGH THE ARCHITECT SO THAT ALL INFORMATION RELATIVE TO THE PROJECT CAN BE PROPERLY DOCUMENTED, COORDINATED AND TRACKED. ANY PERTINENT CORRESPONDENCE NOT INCLUDING THE ARCHITECT SHALL BE SUBMITTED TO THE ARCHITECT IN THE FORM OF WRITTEN MEETING MINUTES.</p> <p>RFPs (REQUEST FOR INFORMATION)</p> <p>ANY QUESTIONS / CLARIFICATIONS REQUIRED BY THE CONTRACTOR SHALL BE SUBMITTED IN WRITING (EMAIL) TO THE ARCHITECT IN THE FORM OF A RFI (REQUEST FOR INFORMATION). CONTRACTOR SHALL NUMBER HIGHER RFPs SEQUENTIALLY AND INCLUDE ANY SUB-CONTRACTOR RFPs WITHIN THEIR NUMBERING SYSTEM. SEPARATE SUB-CONTRACTOR RFPs FORWARDED DIRECTLY TO THE ARCHITECT WILL NOT BE ACCEPTED. THE ARCHITECT MAY ALSO ASK QUESTIONS/CLARIFICATIONS FROM THE CONTRACTOR IN THE FORM OF A RFI.</p> <p>ASPI'S (ARCHITECTURAL SUPPLEMENTAL INFORMATION)</p> <p>THE ARCHITECT MAY SUBMIT ADDITIONAL DESIGN INFORMATION DURING THE COURSE OF CONSTRUCTION IN THE FORM OF AN ASPI. IF THE CONTRACTOR BELIEVES THE ADDITIONAL INFORMATION CONSTITUTES A CHANGE IN PROJECT COST OR TIME, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.</p> <p>ASPI'S (ARCHITECTURAL SKETCHES)</p> <p>ARCHITECTURAL SKETCHES MAY BE ISSUED DURING THE COURSE OF CONSTRUCTION. THEY WILL ACCOMPANY RFPs, ASPIs, PCOS OR CO'S (CHANGE ORDERS) BUT WILL NOT BE ISSUED ON THEIR OWN. SIMILARLY STRUCTURAL, EME, MECHANICAL WORK OR ELECTRICAL, ESK..., MAY BE ISSUED.</p> <p>PROGRESS DRAWINGS</p> <p>PROGRESS DRAW APPLICATIONS SHALL BE SUBMITTED TO THE ARCHITECT PER THE REQUIREMENTS OF THE C0302 CONTRACT.</p> <p>CHANGES</p> <p>CHANGES IN THE PROJECT WILL BE ISSUED AS A: CO (CHANGE ORDER) CD (CHANGE DIRECTIVE)</p> <p>PROPOSED CHANGES WILL BE INITIATED BY THE ARCHITECT FOR THE CONTRACTOR TO PRICE AND WILL BE ISSUED AS A: PCO (PROPOSED CHANGE ORDER)</p> <p>SUBMITTALS</p> <p>EMAIL SUBMITTALS ARE ACCEPTABLE AND ENCOURAGED. CONTRACTOR TO IDENTIFY LONG LEAD ITEMS AT START OF PROJECT. TURN AROUND TIME FOR SUBMITTAL REVIEWS BY THE ARCHITECT SHALL BE MAXIMUM 5 DAYS UNLESS OTHERWISE AGREED. ARCHITECT WILL SUPPLY THE CONTRACTOR WITH A LIST OF SUBMITTALS AT THE CONSTRUCTION KICK-OFF MEETING.</p> <p>SCHEDULES</p> <p>CONTRACTOR TO KEEP A CURRENT CONSTRUCTION SCHEDULE AND MAKE AVAILABLE TO THE ARCHITECT. GANTT CHARTS ARE PREFERRED.</p> <p>MEETING MINUTES</p> <p>CONTRACTOR TO KEEP MEETING MINUTES OF ALL CONSTRUCTION MEETINGS INCLUDING MEETINGS WHERE THE ARCHITECT IS NOT PRESENT. MINUTES TO BE EMAILED TO PROJECT TEAM WITHIN 3 DAYS.</p> <p>RECORD DIMS (AS-BUILTS)</p> <p>THE CONTRACTOR SHALL KEEP A RECORD OF ALL AS-BUILT CONDITIONS AND MAKE AVAILABLE TO THE CONSULTANT AT PROJECT CLOSE. ALL UNDERGROUND PIPING, CONDUITS, ... SHALL BE DIMENSIONED TO GRIDLINES OR SUITABLE REFERENCE POINTS.</p> <p>INSPECTIONS</p> <p>AT CONSTRUCTION COMMENCEMENT THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO DETERMINE WHAT INSPECTIONS HE/SHE WILL REQUIRE TO PERFORM DURING THE COURSE OF THE PROJECT (REQUIREMENTS DIFFER FROM JURISDICTION TO JURISDICTION). THE CONTRACTOR SHALL THEN BE RESPONSIBLE FOR NOTIFYING THE CITY INSPECTOR WHEN THE WORK IS READY TO BE INSPECTED USUALLY ONE DAY BEFORE THE REQUIRED INSPECTION - CONFIRM WITH JURISDICTION. THE CONSULTANT SHALL ALSO BE NOTIFIED AT SUCH TIMES BY WRITING (EMAIL). ALL INSPECTOR CERTIFICATES SHALL BE FILED BY THE CONTRACTOR AND HANDED OVER TO THE CONSULTANT AT SUBSTANTIAL COMPLETION.</p> <p>SUBSTANTIAL COMPLETION</p> <p>SUBSTANTIAL COMPLETION WALK THRU SHALL BE SCHEDULED MINIMUM 1 WK PRIOR TO PROJECT COMPLETION/CLIENT MOVE-IN. THIS WILL ALLOW ADEQUATE TIME TO CORRECT ALL DEFICIENCIES. ARCHITECT WILL PREPARE A DEFICIENCY LIST AT TIME OF FINAL WALK THRU AND DISTRIBUTE. CONTRACTOR TO HAND OVER ALL REQUIRED FINAL DOCUMENTATION TO THE ARCHITECT AT FINAL WALK THRU.</p>
<p>CONTACTS</p> <p>OWNER:</p> <p>PETITE GIRAFE MONTESSORI PRESCHOOL & DAYCARE INC. 1271 ELDON ROAD NORTH VANCOUVER, BC V7R 1T5 CONTACT: ETRIAN CHANG 778-898-8359 etrchang@outlook.com</p> <p>ARCHITECTURAL:</p> <p>APLIN & MARTIN LTD. SUITE 1488 - 1390 102 AVENUE SURREY, BC V3T 0Z5 CONTACT: ANDY IGEL, ARCHITECT ABC 604-249-3454 X107 agil@aplinmartin.com</p> <p>LANDSCAPE ARCHITECT:</p> <p>PMG LANDSCAPE ARCHITECTS LTD. C108 4185 STILL CREEK DRIVE BURNABY, BC V5C 4G9 CONTACT: MARY EMMA YIP 604-294-0011 mary@pmlandscape.com</p> <p>CIVIL:</p> <p>APLIN & MARTIN LTD. P# - 2611 - 37 AVENUE NE CALGARY, AB T1Y 5V7 CONTACT: Ryan Wood, P.Eng 403-250-8199 Calry@aplinmartin.com</p>	<p>CONTACTS</p> <p>ARCHITECTURAL:</p> <p>APLIN & MARTIN LTD. SUITE 1488 - 1390 102 AVENUE SURREY, BC V3T 0Z5 CONTACT: ANDY IGEL, ARCHITECT ABC 604-249-3454 X107 agil@aplinmartin.com</p> <p>LANDSCAPE ARCHITECT:</p> <p>PMG LANDSCAPE ARCHITECTS LTD. C108 4185 STILL CREEK DRIVE BURNABY, BC V5C 4G9 CONTACT: MARY EMMA YIP 604-294-0011 mary@pmlandscape.com</p> <p>CIVIL:</p> <p>APLIN & MARTIN LTD. P# - 2611 - 37 AVENUE NE CALGARY, AB T1Y 5V7 CONTACT: Ryan Wood, P.Eng 403-250-8199 Calry@aplinmartin.com</p>	<p>LOCATION PLAN</p> <p>PROPERTY INFORMATION</p> <p>ADDRESS: 15977 28 AVE SURREY, BC</p> <p>LEGAL DESCRIPTION: LOT 6 SECTION 23 TOWNSHIP 1 PLAN EPP939441 N100</p> <p>PID: 029-328-292</p> 

SURREY FILE: 7916-0161-00

REV	DATE	DESCRIPTION	DR	RY
5	APR 11 11	REVISIONS FOR DEVELOPMENT PERM	AC	AI
4	JAN 04 11	REVISIONS FOR DEVELOPMENT PERM	AC	AI
3	NOV 02 10	REVISIONS FOR PERM	AC	AI
2	SEPT 02 10	REVISIONS FOR DEVELOPMENT PERM	AC	AI
1	APR 12 10	REVISIONS FOR DEVELOPMENT PERM	AC	AI

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PROJECT:	PETITE GIRAFE DAYCARE
15977 28 AVE SURREY, BC	
SHEET TITLE:	COVER SHEET
SCALE:	AS NOTED
DRAWING NO.:	A0.0



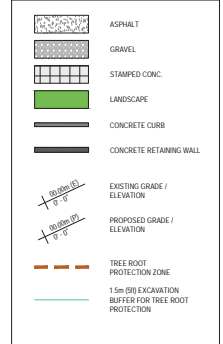
ZONING INFORMATION

PROPERTY INFORMATION		PROPOSED SETBACKS:	
ADDRESS:	15977 28 AVENUE SURREY, BC	FRONT YARD:	23.30m (76'-4 1/2")
LEGAL DESCRIPTION:	LOT 6 SECTION 23 TOWNSHIP 1 PLAN EPP39641 NWD	REAR YARD:	1.2m (4'-0")
PID:	029-328-292	EAST SIDE YARD:	12.41m (40'-8 1/2")
SITE AREA:	1,000.87 sq.m / 10,773.24 sq.ft.	WEST SIDE YARD:	1.2m (4'-0")
ZONING INFORMATION		FLOOR AREA:	
EXISTING DESIGNATIONS:	CCR NORTH GRANDVIEW HEIGHTS CLUSTER HOUSING (6-8 u.p.a.) URBAN	LOWER FLOOR:	163.21 sq.m / 1,756.83 sq.ft.
PROPOSED DESIGNATIONS:	CD (BASED ON PA-1)	MAIN FLOOR:	133.45 sq.m / 1,436.5 sq.ft.
ZONING:		SECOND FLOOR:	173.45 sq.m / 1,867.0 sq.ft.
NCP:		TOTAL AREA:	470.11 sq.m / 5,060.33 sq.ft.
OCF:		BUILDING HEIGHT:	
FLOOR AREA RATIO:		ALLOWABLE:	10.30m (33'-9") PRINCIPAL 4m (13'-0") ACCESSORY
ALLOWABLE FAR:	0.50	PROPOSED:	10.30m (33'-9") PRINCIPAL
PROPOSED FAR:	0.47	PARKING:	
SITE COVERAGE:		REQUIRED SPACES:	1 PER STAFF MEMBER FOR STAFF PARKING 1 PER STAFF MEMBER FOR DROP OFF
ALLOWABLE SITE COVERAGE:	30%	PARKING COUNT:	6 SPACES = 6 STAFF MEMBERS 6 SPACES = 6 STAFF MEMBERS FOR DROP OFF
PROPOSED SITE COVERAGE:	21.32%	TOTAL PARKING STALLS REQUIRED:	12 SPACES (INCLUDING 1 ACCESSIBLE STALL)
		PROVIDED SPACES:	12 SPACES (INCLUDING 1 ACCESSIBLE STALL) IN CURRENT SCHEME

CONSTRUCTION NOTES:

- 1 CONCRETE RETAINING WALL. REFER TO CIVIL, STRUCTURAL AND LANDSCAPE.
- 2 3'-4" (1.0m) HIGH METAL FENCE. TO BE INSTALLED ON TOP OF RETAINING WALL. CONFIRM EXTENT ON SITE. REFER TO LANDSCAPE.
- 3 5'-0" (1.5m) HIGH WOOD FENCE. CONFIRM EXTENT ON SITE. REFER TO LANDSCAPE.
- 4 6" HIGH CONCRETE RETAINING CURB. REFER TO CIVIL AND LANDSCAPE.
- 5 EXTERIOR LIT BOLLARD. REFER TO LANDSCAPE.
- 6 EXTERIOR WALL-MOUNT LIGHTING FIXTURE. REFER TO LANDSCAPE & ELECTRICAL.
- 7 TIRE STOP ANCHORED TO ASPHALT.
- 8 4" WIDE PAINTED PARKING STALL LINES. TYPICAL TRAFFIC WHITE PAINT.
- 9 PAINTED DESIGNATED ACCESSIBLE PARKING SYMBOL. TRAFFIC WHITE PAINT.
- 10 EXISTING TREE TO REMAIN. REFER TO ARBORIST.
- 11 EXISTING TREE TO BE REMOVED. REFER TO ARBORIST.
- 12 CONCRETE STAIRS, C/W 3'-6" (1.0m) HIGH GUARDRAIL & HANDRAIL.
- 13 STRUCTURAL METAL COLUMN FEATURE.
- 14 ACCESSIBLE SIDEWALK LETDOWN WITHIN CONCRETE SIDEWALK C/W MAXIMUM 1:12 SLOPE.
- 15 LOCKABLE GATE ON METAL FENCE.
- 16 AUTOMATIC DOOR OPERATOR WALL SWITCH.
- 17 BIKE RACK. REFER TO LANDSCAPE.
- 18 LOCKABLE GATE ON WOOD FENCE.
- 19 2'-0" (0.6m) ADDITIONAL CLEARANCE TO EASE VEHICLE MANEUVERABILITY, AS PER THE ZONING BYLAW.
- 20 AUTOMATIC DOOR OPERATOR BOLLARD SWITCH.

LEGEND



SURREY FILE: 7916-0161-00

REV	DATE	DESCRIPTION	DR	RY
5	APR 13 17	REVISIONS FOR DEVELOPMENT FIRM	AC	AI
4	JAN 11 17	REVISIONS FOR DEVELOPMENT FIRM	AC	AI
3	NOV 02 16	REVISIONS FOR DEVELOPMENT FIRM	AC	AI
2	SEPT 02 16	REVISIONS FOR DEVELOPMENT FIRM	AC	AI
1	APR 12 16	REVISIONS FOR DEVELOPMENT FIRM	AC	AI

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PROJECT: **PETITE GIRAFE DAYCARE**
 15977 28 AVE
 SURREY, BC

SHEET TITLE: **SITE PLAN**

1 SITE PLAN
 A1.1 SCALE: 1/8" = 1'-0"

SCALE: AS NOTED	REVISION:
DRAWING NO: A1.1	PROJECT NO: 15-549A



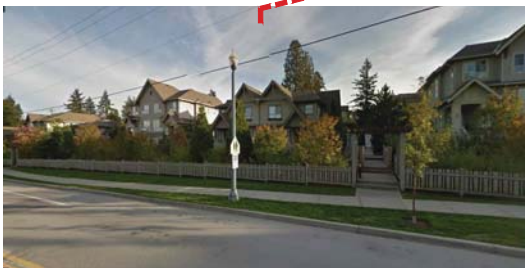
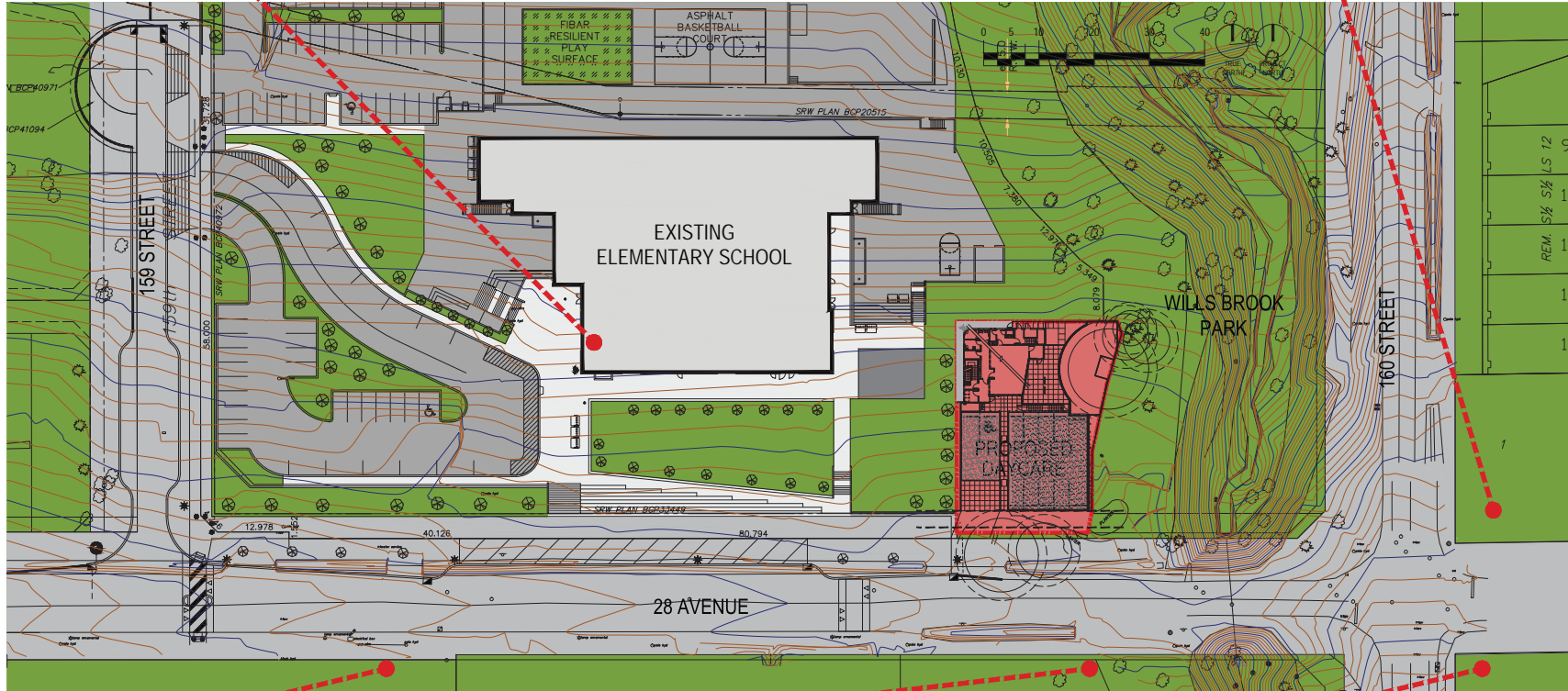
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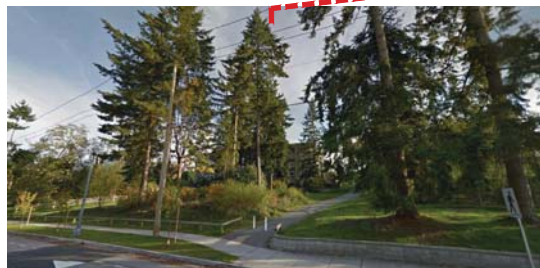
AERIAL PHOTO



160 STREET CORNER 28 AVE



RESIDENTIAL ALONG 28 AVENUE



MORGAN HEIGHTS CARE - ALONG 28 AVE, RIGHT ACROSS THE PROPOSED DAYCARE SITE



RESIDENTIAL ALONG 160 STREET CORNER 28 AVE

SURREY FILE: 7916-0161-00

REV	DATE	DESCRIPTION	DR	RY
3	APR 13 17	REISSUE PERMISSIVE/DEVELOPMENT	AC	AI
2	JAN 14 17	REISSUE PERMISSIVE/DEVELOPMENT	AC	AI
1	NOV 10 16	ISSUE FOR AIP	AC	AI

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PROJECT: PETITE GIRAFE DAYCARE
15077 28 AVE SURREY, BC

SHEET TITLE: SITE CONTEXT & PRECEDENT SITE PHOTOS

SCALE	AS NOTED	REVISION
A1.2		15-549A



AERIAL PHOTOGRAPHS

SUBMISSION TO ADP
ADP MTG.: NOV. 10, 2016
SURREY FILE: 7916-0161-00

REV	DATE	DESCRIPTION	DR	RY
4	APR 13 17	REDESIGNED FOR DEVELOPMENT PERM	AC	AL
3	JAN 04 17	ISSUED FOR ADP	AC	AL
2	NOV 10 16	ISSUED FOR ADP	AC	AL
1	SEPT 02 16	REDESIGNED FOR DEVELOPMENT PERM	AC	AL

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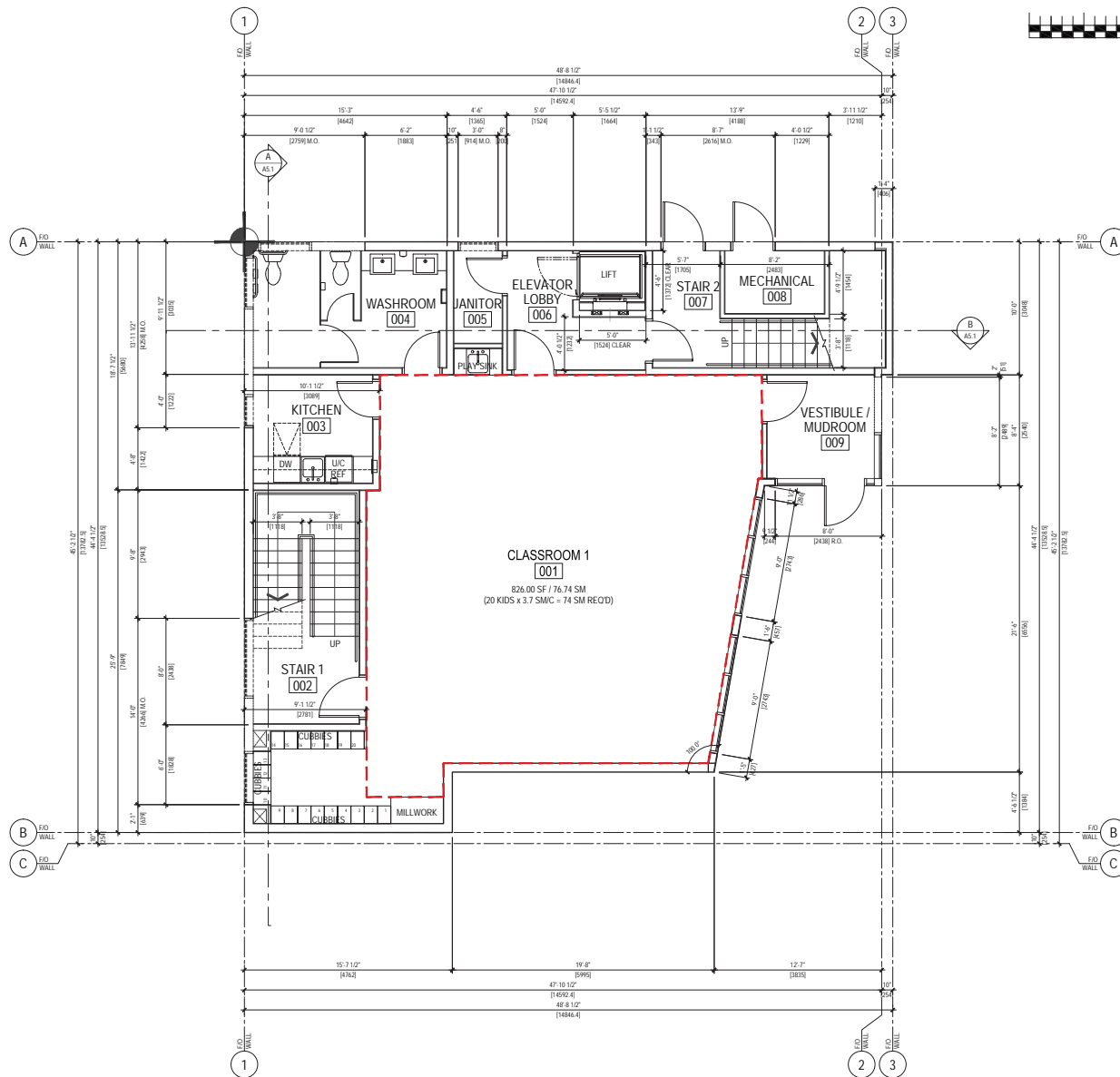
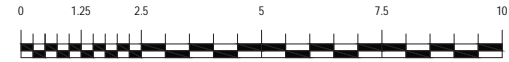
THE DRAWINGS HAVE NOT BEEN SCALED. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE COMMENCING WORK ON THE SITE AND SHALL BE RESPONSIBLE FOR ANY VARIATIONS TO THE DRAWINGS. THE CLIENT IS TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

PROJECT: **PETITE CIRAFÉ
DAYCARE**

15077 28 AVE
SURREY, BC

SHEET TITLE: **AERIAL PHOTOS**

SCALE	REVISION
NTS	
A1.5	PROJECT NO: 15-549A



LOWER FLOOR PLAN
 1 A2.1 SCALE: 1/4" = 1'-0"

SURREY FILE: 7916-0161-00

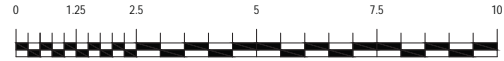
REV	DATE	DESCRIPTION	DR	RY
5	APR 11 17	RE-BID FOR DEVELOPMENT PERM	AC	AI
4	JAN 11 17	RE-BID FOR DEVELOPMENT PERM	AC	AI
3	NOV 02 16	BID FOR PERM	AC	AI
2	SEPT 02 16	RE-BID FOR DEVELOPMENT PERM	AC	AI
1	APR 12 16	BID FOR DEVELOPMENT PERM	AC	AI

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PROJECT: **PETITE GIRAFE DAYCARE**
 15077 28 AVE
 SURREY, BC

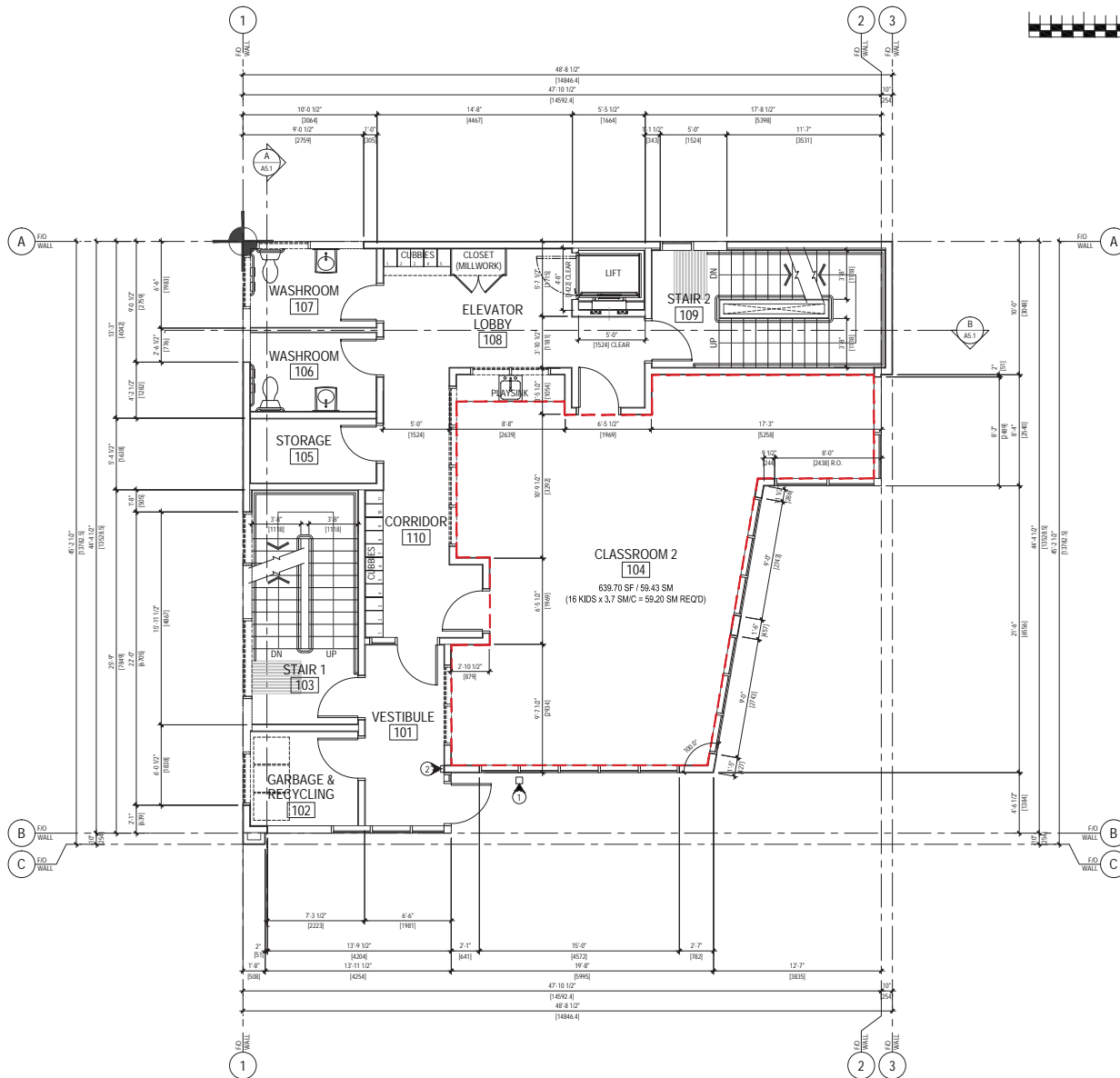
LOWER FLOOR PLAN

SCALE	REVISION
AS NOTED	
A2.1	15-549A



CONSTRUCTION NOTES:

- ① AUTOMATIC DOOR OPERATOR BOLLARD SWITCH.
- ② AUTOMATIC DOOR OPERATOR WALL SWITCH.



SURREY FILE: 7916-0161-00

REV	DATE	DESCRIPTION	DR	RY
5	APR 11 17	REVISED FOR DEVELOPMENT	AC	AI
4	JAN 11 17	REVISED FOR DEVELOPMENT	AC	AI
3	NOV 02 16	REVISED FOR AP	AC	AI
2	SEPT 02 16	REVISED FOR DEVELOPMENT	AC	AI
1	APR 12 16	REVISED FOR DEVELOPMENT	AC	AI

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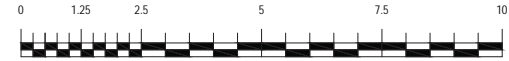
PROJECT: **PETITE GIRAFE DAYCARE**
15077 28 AVE
SURREY, BC

MAIN FLOOR PLAN



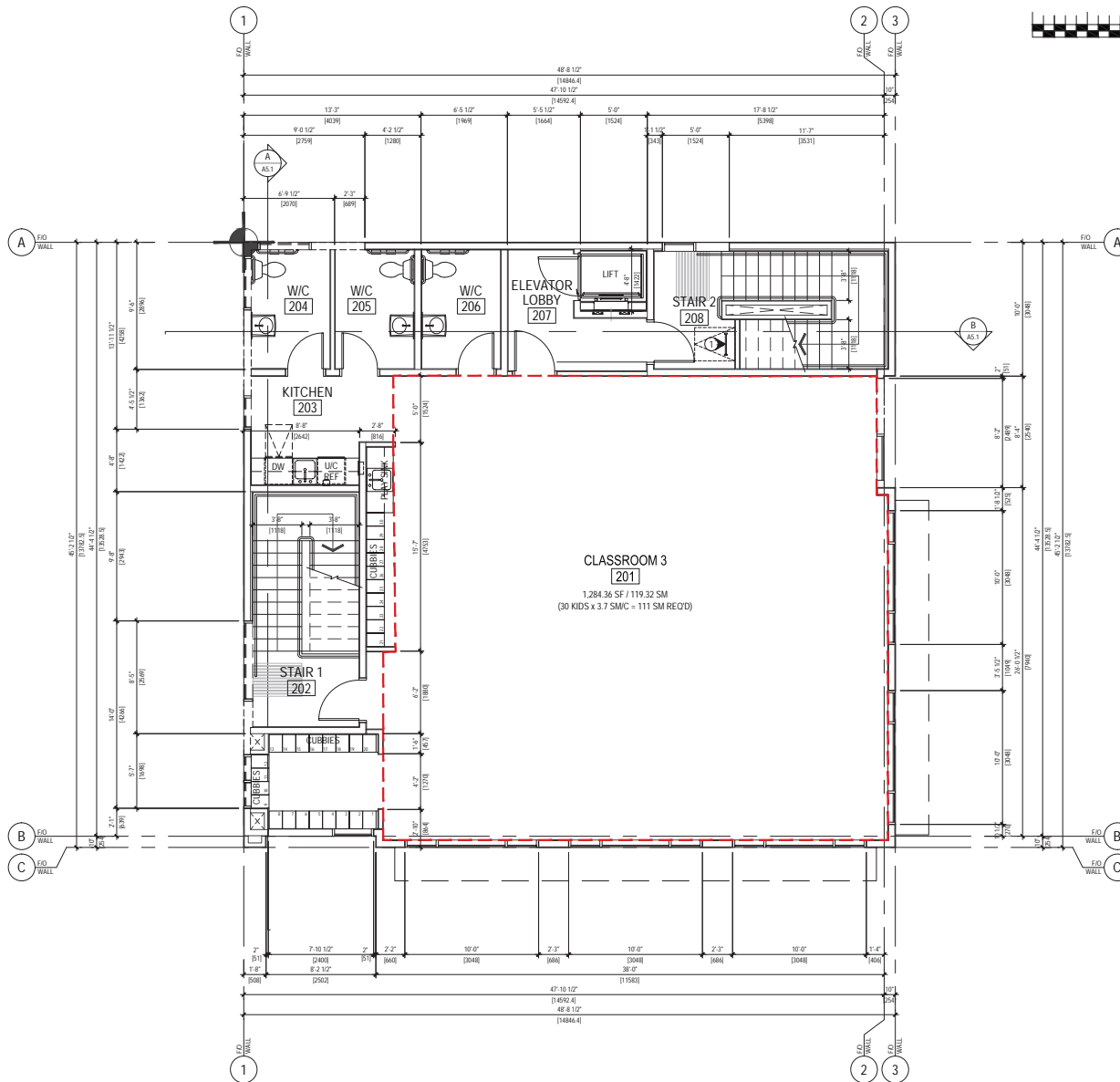
1 MAIN FLOOR PLAN
A2.2 SCALE: 1/4" = 1'-0"

SCALE	AS NOTED	REVISION
A2.2		



CONSTRUCTION NOTES:

- 1 VERTICAL ACCESS LADDER CW LOCKABLE SECURITY DOOR/PANEL AND LOCKABLE ROOF ACCESS HATCH.



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

SURREY FILE: 7916-0161-00

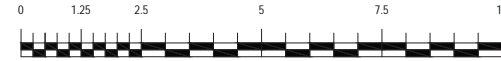
REV	DATE	DESCRIPTION	DR	RY
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4	JAN 24 17	REVISIONS FOR DEVELOPMENT PERMITS	AC	AI
3	NOV 02 16	REVISIONS FOR OP	AC	AI
2	SEPT 02 16	REVISIONS FOR DEVELOPMENT PERMITS	AC	AI
1	APR 12 16	REVISIONS FOR DEVELOPMENT PERMITS	AC	AI

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PROJECT: **PETITE GIRAFE DAYCARE**
15077 28 AVE
SURREY, BC

SECOND FLOOR PLAN

SCALE	AS NOTED	REVISION
1/4" = 1'-0"	A2.3	15-549A

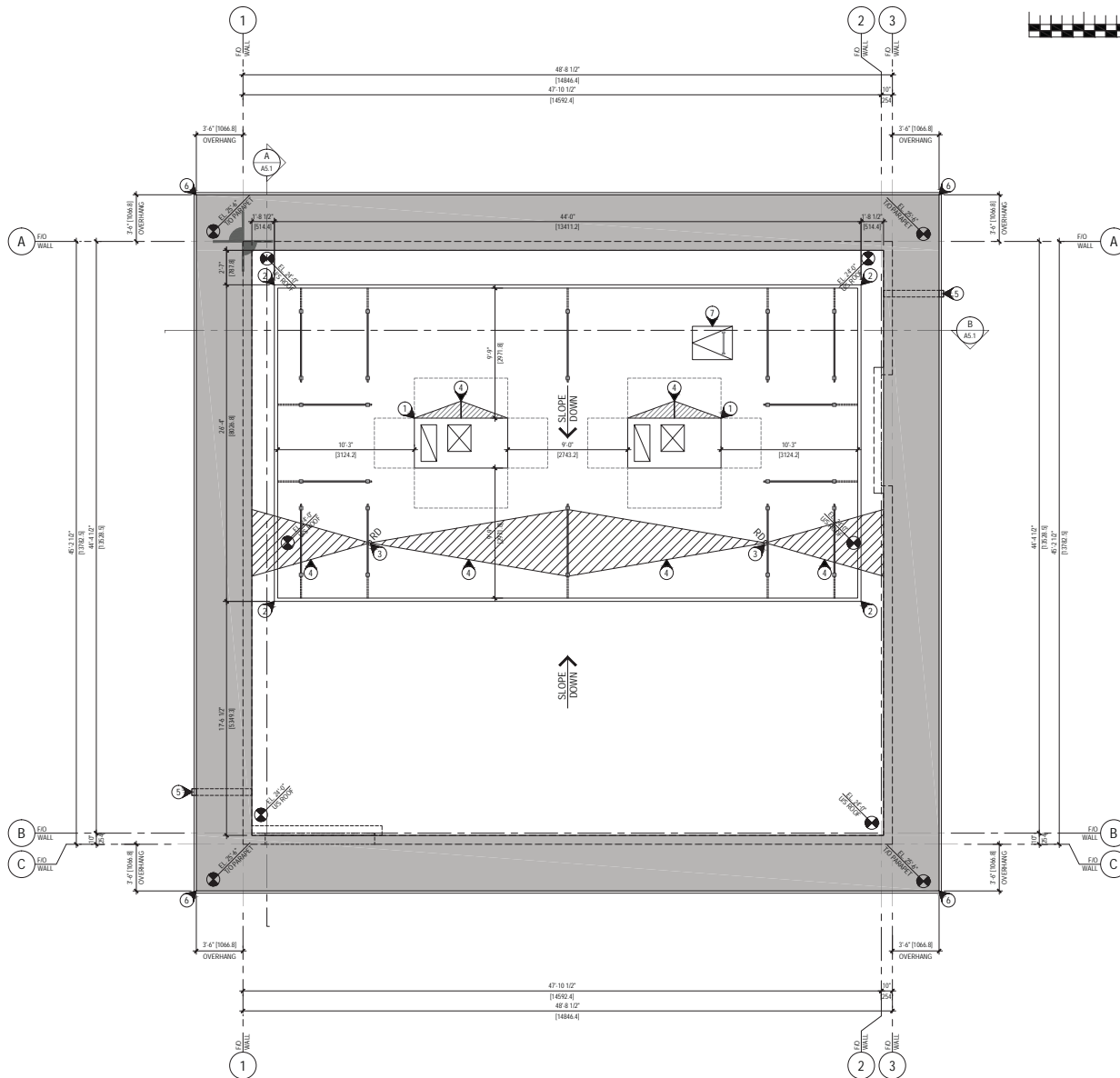


SYMBOL LEGEND:

- ROOF DRAIN
- BUILT-UP BACKSLOPE

CONSTRUCTION NOTES:

- 1 ROOF TOP MECHANICAL UNIT. DASHED LINES AROUND THE RTU REPRESENT SERVICE ACCESS. TO BE CONFIRMED BY MECHANICAL.
- 2 ROOF SCREEN, REFER TO DETAILS.
- 3 MECHANICAL ROOF DRAIN. TO BE CONFIRMED BY MECHANICAL.
- 4 HATCHED AREA INDICATES EXTENT OF ROOF BACKSLOPE WITH TAPERED INSULATION TO MECHANICAL ROOF DRAINS. MAINTAIN 2% SLOPE.
- 5 PRE-FINISHED ALUMINUM OVERFLOW ROOF DRAINAGE SCUPPER BOX. COLOUR TO MATCH ADJACENT FASCIA CLADDING COLOUR. CONFIRM COLOUR WITH ARCHITECT PRIOR TO FABRICATION. FABRICATE AND INSTALL AS PER ROOFING ASSOCIATION GUIDELINES. QUANTITY AND LOCATION TO BE CONFIRMED BY MECHANICAL.
- 6 PRE-FINISHED METAL ROOF PARAPET CAP FLASHING. COLOUR TO MATCH ADJACENT FASCIA CLADDING COLOUR. REFER TO A4.1 & A4.2.
- 7 LOCKABLE METAL ROOF ACCESS HATCH C/W ACCESS LADDER. COLOUR TO BE CONFIRMED.



1 ROOF PLAN
SCALE: 1/4" = 1'-0"

SURREY FILE: 7916-0161-00

REV	DATE	DESCRIPTION	DR	RY
5	APR 15 17	REVISION #4 FOR DEVELOPMENT PERM	AC	AM
4	JAN 24 17	REVISION #3 FOR DEVELOPMENT PERM	AC	AM
3	NOV 20 16	REVISION #2 FOR PERM	AC	AM
2	SEPT 20 16	REVISION #1 FOR DEVELOPMENT PERM	AC	AM
1	APR 12 16	BUILD FOR DEVELOPMENT PERM	AC	AM

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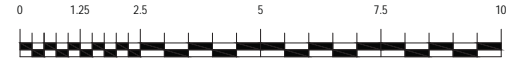
VERIFY ALL DRAWING DIMENSIONS AND LOCATIONS BEFORE CONSTRUCTION ON THE JOB AND MAKE NECESSARY CORRECTIONS TO THE DRAWINGS PRIOR TO THE START OF CONSTRUCTION. THE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE CONSULTANT.

PROJECT: **PETITE GIRAFE DAYCARE**

15077 28 AVE
SURREY, BC

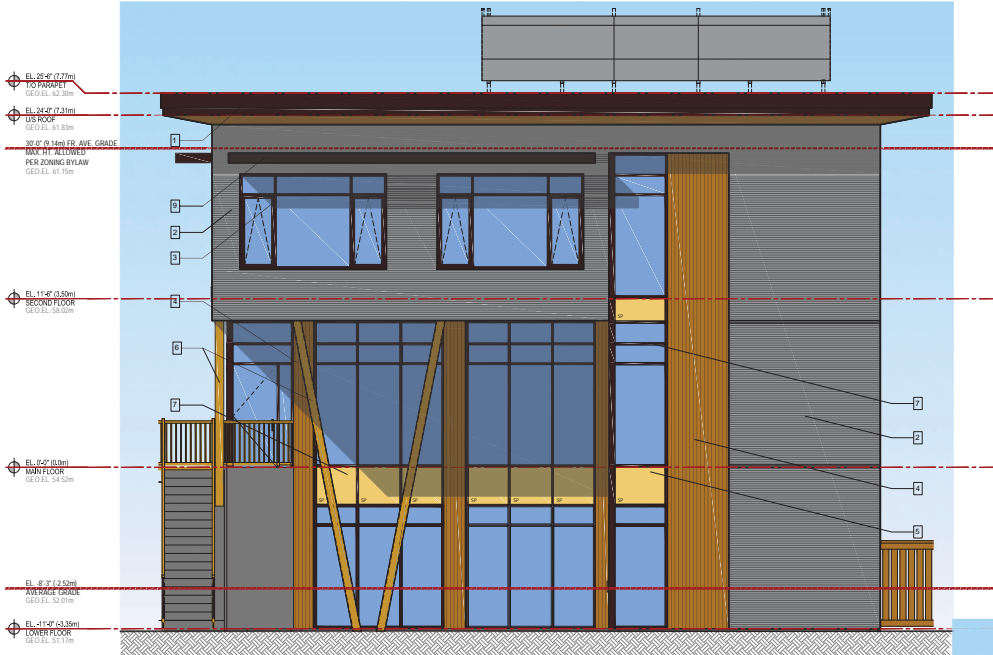
SHEET TITLE: **ROOF PLAN**

SCALE	REVISION
AS NOTED	
A2.4	15-549A



MATERIALS LEGEND:

- 1 PRE-FINISHED METAL FASCIA
BLACK ANODIZED, TO MATCH KAWNEER #29
- 2 CORRUGATED GALVANIZED ALUMINUM CLADDING
VICWEST - GALVALUME CORRUGATED SIDING
GALVALUME AZ-150
- 3 ALUMINUM WINDOW
BLACK ANODIZED, KAWNEER #29
- 4 VERTICAL CEDAR SIDING CW STAIN
SANSIN STAIN #24 BUTTERNUT
- 5 SPANDREL PANEL, PAINTED
BENJAMIN MOORE #2154-40 YORK HARBOR YELLOW
- 6 STEEL COLUMN, PAINTED
BENJAMIN MOORE #2154-20 SPICY MUSTARD
- 7 ALUMINUM CURTAIN WALL
BLACK ANODIZED, KAWNEER #29
- 8 CONCRETE BLOCK CW ANTI-GRAFFITI PROTECTIVE COATING
BC BRICK - GREY SPLIFFACE BLOCK
- 9 PRE-FINISHED METAL SUNSHADE
BLACK ANODIZED, TO MATCH KAWNEER #29
- 10 ALUMINUM PANEL / CAP
BLACK ANODIZED, TO MATCH KAWNEER #29
- 11 INSULATED HOLLOW METAL DOORS CW PRESSED STEEL FRAMES
COLOUR TO MATCH KAWNEER #29
- SP SPANDREL GLASS PANEL
BENJAMIN MOORE #2154-40 YORK HARBOR YELLOW



1 EAST ELEVATION
A4.1 / SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
A4.1 / SCALE: 1/4" = 1'-0"

SURREY FILE: 7916-0161-00

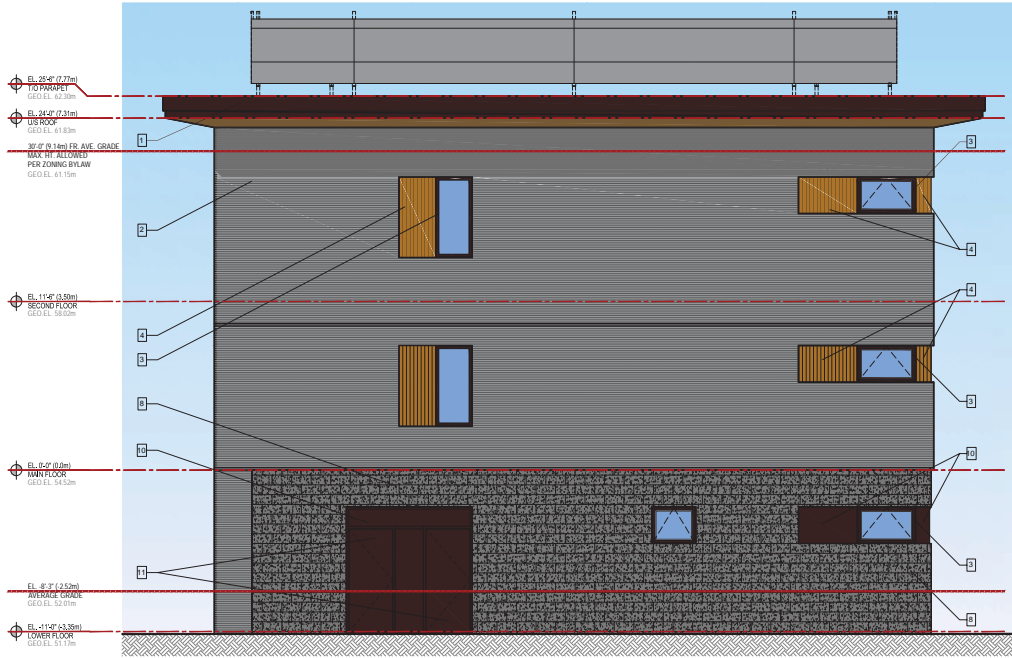
REV	DATE	DESCRIPTION	DR	RY
5	APR 13 11	REVISED FOR DEVELOPMENT	AC	AI
4	JAN 14 11	REVISED FOR DEVELOPMENT	AC	AI
3	NOV 10 10	REVISED FOR	AC	AI
2	SEPT 10 10	REVISED FOR DEVELOPMENT	AC	AI
1	APR 12 10	REVISED FOR DEVELOPMENT	AC	AI

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PROJECT: **PETITE GIRAFE DAYCARE**
 15077 28 AVE
 SURREY, BC

SHEET TITLE: **EXTERIOR ELEVATIONS**

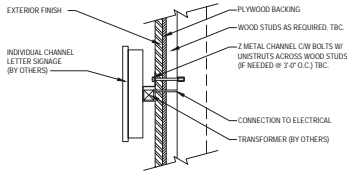
SCALE	AS NOTED	REVISION
A4.1	15-549A	



1 NORTH ELEVATION
A4.2 SCALE: 1/4" = 1'-0"



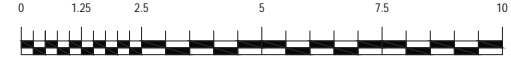
3 SIGNAGE DETAIL (FASCIA)
A4.2 SCALE: 1/2" = 1'-0"



4 SIGNAGE ATTACHMENT DETAIL
A4.2 SCALE: 1/2" = 1'-0"



2 SOUTH ELEVATION
A4.2 SCALE: 1/4" = 1'-0"



MATERIALS LEGEND:

- 1 PRE-FINISHED METAL FASCIA
BLACK ANODIZED, TO MATCH KAWNEER #29
- 2 CORRUGATED GALVANIZED ALUMINUM CLADDING
VICWEST - GALVALUME CORRUGATED SIDING
GALVALUME AZ-150
- 3 ALUMINUM WINDOW
BLACK ANODIZED, KAWNEER #29
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BENJAMIN MOORE #2154-40 YORK HARBOR YELLOW

SURREY FILE: 7916-0161-00

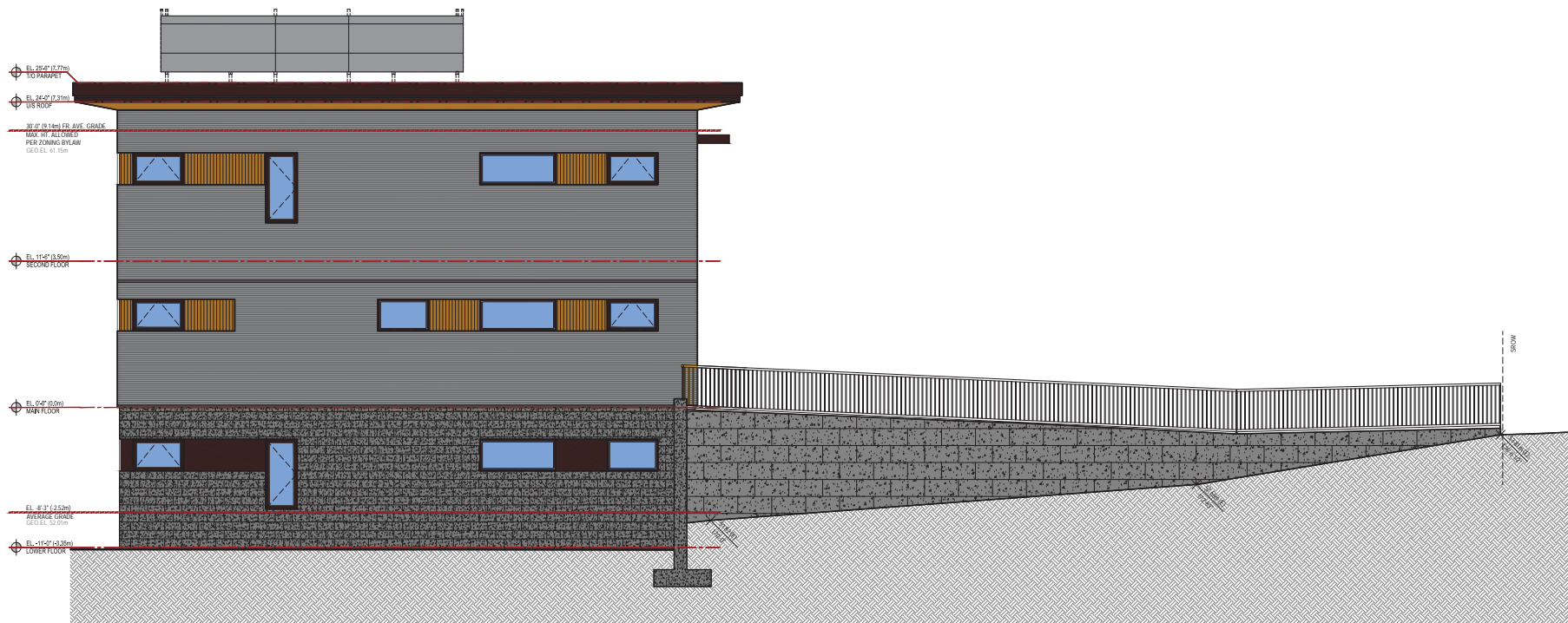
REV	DATE	DESCRIPTION	DR	RY
1	APR 11 17	REDAK FOR DEVELOPMENT PERM	AC	AI
2	JUNE 13 17	REDAK FOR DEVELOPMENT PERM	AC	AI
3	NOV 02 18	REDAK FOR PERM	AC	AI
4	SEPT 03 19	REDAK FOR DEVELOPMENT PERM	AC	AI
5	APR 12 19	REDAK FOR DEVELOPMENT PERM	AC	AI

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PROJECT: PETITE GIRAFE DAYCARE
15077 28 AVE SURREY, BC

EXTERIOR ELEVATIONS & SIGNAGE DETAIL

SCALE	AS NOTED	REVISION
A4.2	DRAWING NO.	PROJECT NO.
	A4.2	15-549A



1 WEST ELEVATION (SHOWING THE PARKING LOT RETAINING WALL)
A4.3 SCALE: 1/4" = 1'-0"

SURREY FILE: 7916-0161-00

REV	DATE	DESCRIPTION	DR	RY
5	APR 11 17	REVISED FOR DEVELOPMENT	AC	AI
4	JAN 24 17	REVISED FOR DEVELOPMENT	AC	AI
3	NOV 02 16	REVISED FOR RFP	AC	AI
2	SEPT 02 16	REVISED FOR DEVELOPMENT	AC	AI
1	APR 12 16	REVISED FOR DEVELOPMENT	AC	AI

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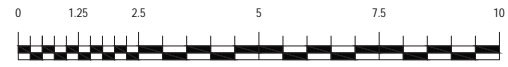
PROJECT:
**PETITE GIRAFE
DAYCARE**

15077 28 AVE
SURREY, BC

SHEET TITLE:
**EXTERIOR
ELEVATIONS**

SCALE	AS NOTED	REVISION
A4.3		

DRAWING NO: 15-549A PROJECT NO:



2 EAST ELEVATION (SHOWING THE PARKING LOT RETAINING WALL)
 A4.4 SCALE: 1/4" = 1'-0"

SURREY FILE: 7916-0161-00

REV	DATE	DESCRIPTION	DR	RY
5	APR 13 17	REVISED FOR DEVELOPMENT	AC	AI
4	JAN 11 17	REVISED FOR DEVELOPMENT	AC	AI
3	NOV 02 16	REVISED FOR AP	AC	AI
2	SEPT 02 16	REVISED FOR DEVELOPMENT	AC	AI
1	APR 12 16	REVISED FOR DEVELOPMENT	AC	AI

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PROJECT:
 PETITE GIRAFE
 DAYCARE
 15077 28 AVE
 SURREY, BC

SHEET TITLE:
**EXTERIOR
 ELEVATIONS**

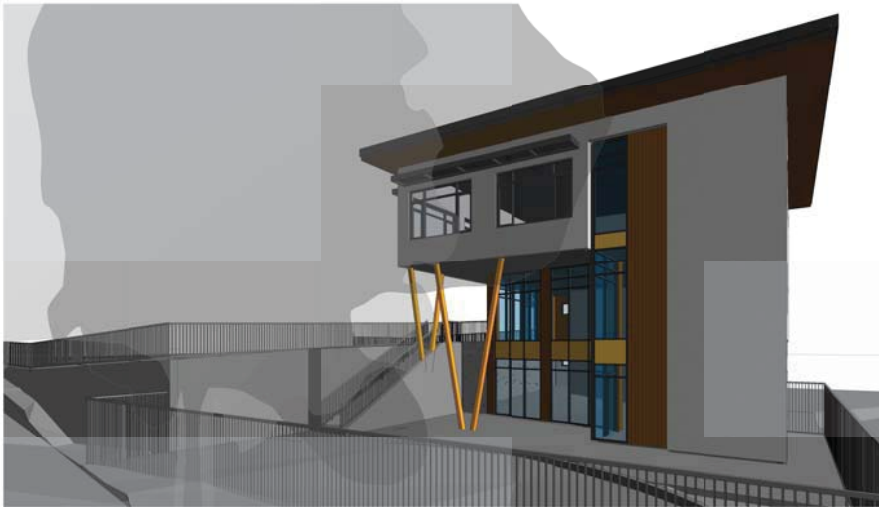
SCALE	REVISION
AS NOTED	
DRAWING NO. A4.4	PROJECT NO. 15-549A



① VIEW 1



② VIEW 2



③ VIEW 3



④ VIEW 4

REV	DATE	DESCRIPTION	CHK	BY

3	JAN 04 17	PERFORM ISSUED DEVELOPER REVIEW	AC	AK
2	SEPT 04 16	PERFORM ISSUED DEVELOPER REVIEW	AC	AK
1	APR 12 16	ISSUED FOR DP	AC	AK
REV	DATE	DESCRIPTION	CHK	BY

DESIGNED AND SPECIFIED FOR THE PROJECT. ALL DIMENSIONS OF BUILDING ARE AS SHOWN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES AND STRUCTURES ON THE SITE AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES ON THE SITE.

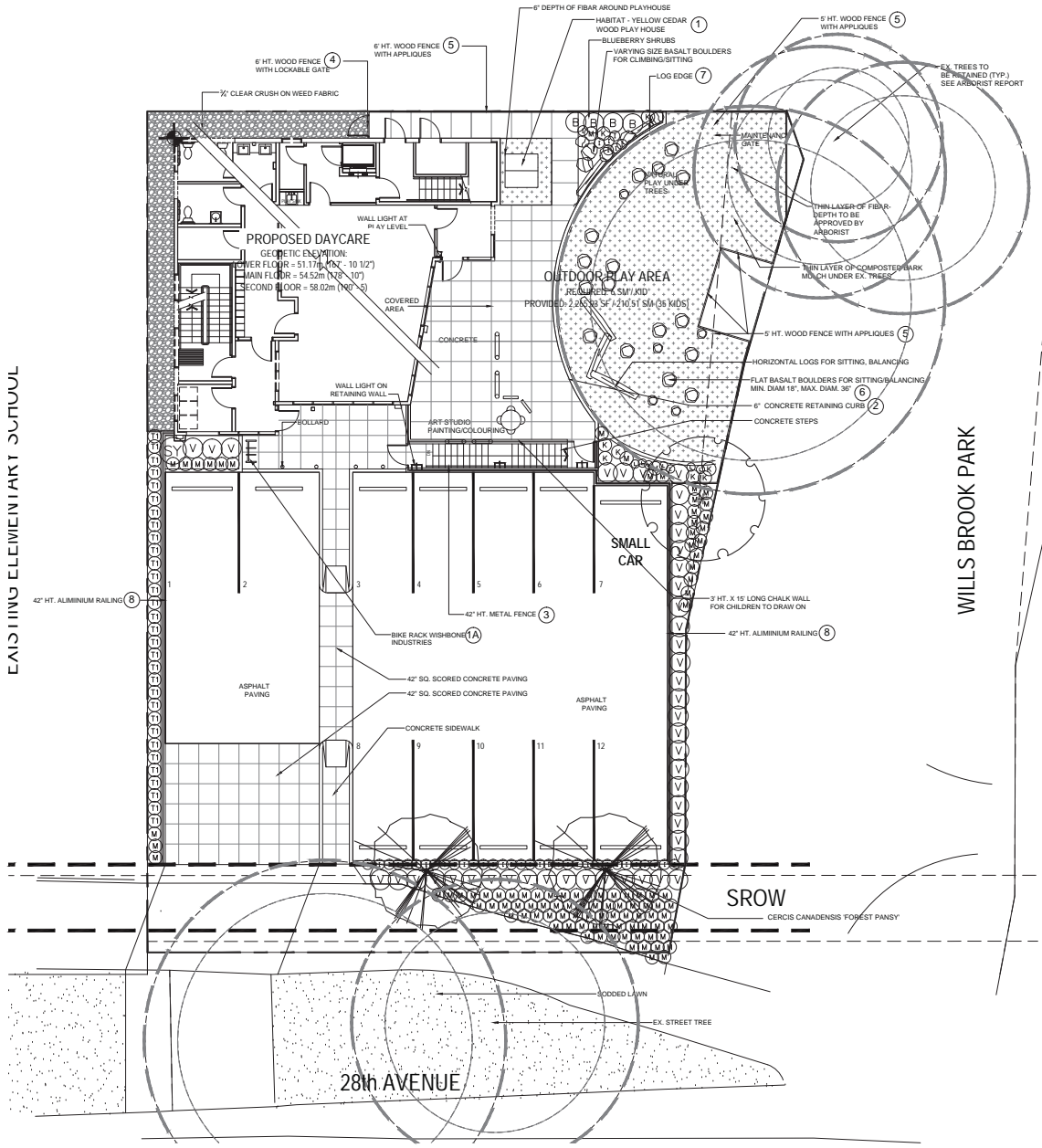
PROJECT:
PETITE GIRAFE DAYCARE

15877 28 AVE
SURREY, BC

SHEET TITLE:
PERSPECTIVES

PLAT DATE	PROJECT NO.
JAN.04.2017	15-549A
AS NOTED	REVISION
A9.0	<input type="checkbox"/>

SEAL:



1 HABITAT SYSTEMS - YELLOW CEDAR WOOD PLAY HOUSE



1A WISHBONE INDUSTRIES, SFBRGGP-5, BENGAL TEXTURED SILVER

PLANT SCHEDULE				PMG PROJECT NUMBER: 16-052
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	2	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	6CM CAL; 1.8M STD; BAB
SHRUB	1	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	6CM CAL; 2M STD; BAB
(S)	1	SYRINGA PATULA 'MISS KIM'	MIDD KIM COMPACT LILAC	#3 POT; 60CM
(B)	31	TRILIA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	1.8M HT; BAB
(B)	4	VACCINIUM 'NORTH BLUE'	NORTH BLUE BLUEBERRY	#3 POT; 60CM
(B)	45	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	#3 POT; 60CM
(G)	8	CALAMAGROSTIS ACUTIFLORA KARL FOERSTER'	FEATHER REED GRASS	#1 POT
(M)	102	STIPA TENUISSIMA	MEXICAN FEATHER GRASS	#1 POT
PERENNIAL	7	LAVANDULA STOECHAS 'OTTO QUAST'	SPANISH LAVENDER, PURPLE	#1 POT
(G)	40	THYMUS PSEUDOLANIGINOSUS	WOOLLY THYME	9" POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. ** REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. *** SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED CANADIAN LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

NO.	DATE	REVISION DESCRIPTION	DR.
1	17 APRIL 13	NEW SITE PLAN, MAIN COMMENTS	MM
2	16 DEC 22	ISSUED FOR DP	MM
3	16 OCT 22	SUBMISSION TO CITY	MM
4	16 AUG 20	NEW SITE PLAN	MM
5	16 AUG 20	CLIENT COMMENTS OF SUBMISSION	MM
6	16 AUG 23	NEW SITE PLAN	MM

CLIENT:

PROJECT:

PETITE GIRAFE DAYCARE

15977 28TH AVE.
SURREY, B.C.

DRAWING TITLE: LANDSCAPE PLAN

DATE: 16 APR 11 DRAWING NUMBER:
SCALE: 1/8" = 1'-0"
DRAWN: MM
DESIGN: MM
CHKD: MM

L1

OF 3



SURREY FILE NO. 7916-0161-00
16052-6.2P

PMG PROJECT NUMBER: 16-052

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **April 19, 2017** PROJECT FILE: **7816-0161-00**

RE: **Engineering Requirements (Commercial)
Location: 15977 - 28 Avenue**

REZONE

Works and Services

- provide adequately sized service connections to the property.
- construct driveway to the property. Locate to maximize tree retention while maintaining safe sight lines.
- provide on-site stormwater management features.
- provide a Restrictive Covenant for sanitary sewer pump connection.
- ensure streamside setbacks are consistent with City by-laws and that the site's Ecosystem Development Plan is consistent the Sensitive Ecosystem Development Permit Area guidelines and Riparian Area Regulation guidelines as defined by a Qualified Environmental Professional.
- review existing Statutory Rights-of-way on the property and revise/amend as needed. At minimum, a 5 metre maintenance access right-of-way is required beyond the Riparian Setback.

A Servicing Agreement is required prior to Rezone.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements, beyond those noted above, relative to issuance of the Development Permit/Development Variance Permit.



Rémi Dubé, P.Eng.
Development Services Manager
LRi

This summary is based on the Arborists best judgment, trees expected to be unsafe, conflicting with the proposed development plans, of poor health or of minimal long term retaining value are recommended for removal shown in the Tree Inventory and Tree Preservation Summary. All trees can and will be retained accommodate the proposed development, Goode Arboriculture Consulting suggest the retention of the protected trees listed below in the Summary Tables and in the Tree Inventory Table.

Table 1. Tree Retention and Removal by Species Summary

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Deciduous Trees (excluding Alder & Cottonwood Trees)			
Coniferous Trees			
Douglas Fir <i>Pseudotsuga menziesii</i>	3	0	3
Grand Fir <i>Abies grandis</i>	2	0	2
Western Red Cedar <i>Thuja Plicata</i>	2	2	0
Total (excluding Alder & Cottonwood Trees)	7	2	5
Additional Trees in the proposed Open Space / Riparian Area			
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		4	
Total Retained and Replacement Trees		9	

Table 2. On-site Tree Protection and Replacement Summary

On-Site Trees	Number of Trees
Protected Trees Identified - on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas.	2
Protected Trees to be Removed	1
Protected Trees to be Retained – excluding trees within proposed open space or riparian areas.	1
Total Replacement Trees Required:	2
<ul style="list-style-type: none"> • Alder & Cottonwood Trees Requiring 1:1 Replacement Ratio = • All other Trees Requiring 2 to Replacement Ratio = 	
Replacement Trees Proposed	2
Replacement Trees in Deficit	0
Protected Trees to be retained in proposed open space /riparian areas	0

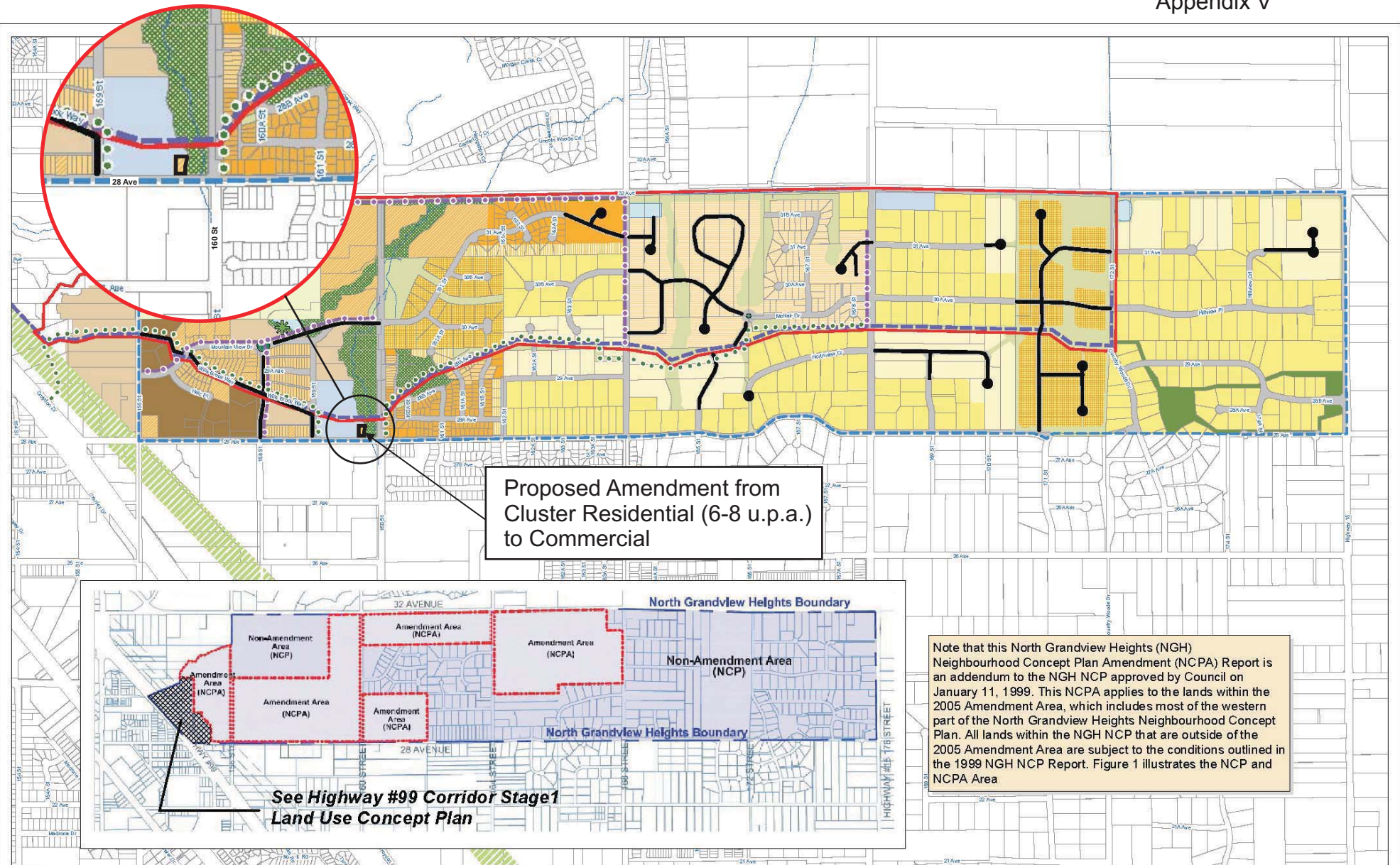
Table 3. Off-site Tree Protection and Replacement Summary

Off-Site Trees	Number of Trees
Protected Off-site Trees to be removed	1
Total Replacement Trees Required: <ul style="list-style-type: none">• Alder & Cottonwood Trees Requiring 1:1 Replacement Ratio =• All other Trees Requiring 2 to 1 Replacement Ratio =	2
Replacement Trees Proposed	2
Replacement Trees in Deficit	0

Summary and Plan Prepared by Goode Arboriculture Consulting



October 18, 2016



- Proposed One Acre Residential (RA)
- Proposed One Acre Residential Gross Density (RA-G)
- Single Detached (2 u.p.a.)
- Larger Transition Lots (2-3 u.p.a.)
- Single Detached (4-6 u.p.a.)
- Cluster Housing (6-8 u.p.a.)
- Single Detached (7 u.p.a.)
- Single Family Small Lots
- Multiple Residential (15-25 u.p.a.)
- Townhouse 15 u.p.a. max

- Environmental Area
- Proposed Open Space / Linear Open Space
- Existing One Acre & Half Acre Lots
- Existing Elementary School
- Existing Cemetery
- Proposed Detention / Sedimentation Ponds (size/location to be confirmed at detailed subdivision/rezoning stage)

- Study Area Boundary
- Plan Area-NCP Area Boundary
- Hydro Right of Way / Greenway
- Proposed North Grandview Interceptor
- Creeks
- Proposed Roads

- Enhanced Sidewalk/Walkway
- Linear Park / Multi-use Trail
- Round-About
- Neighbourhood Park (size/location to be confirmed at detailed subdivision/rezoning stage)



NORTH GRANDVIEW HEIGHTS LAND USE PLAN

CITY OF SURREY - PLANNING & DEVELOPMENT DEPARTMENT
 Approved by Council: January 11, 1999 Amended 3 October 2016

This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7916-0161-00

Issued To: PETITE GIRAFE MONTESSORI PRESCHOOL & DAYCARE INC.
(the "Owner")

Address of Owner: 1297 - Eldon Road
North Vancouver, BC V7R 1T5

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 029-328-292
Lot 6 Section 23 Township 1 New Westminster District Plan EPP39641

15977 - 28 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title has been issued, as follows:

Parcel Identifier:

- (b) If the civic address changes, the City Clerk is directed to insert the new civic address for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In the table in Section B.1 of Part 7A "Streamside Protection", the minimum setback measured from top-of-bank for a "Natural Class A Stream" is reduced from 30 metres (100 ft.) to 15 metres (49 ft.), at the closest point, along the east lot line of the subject property.

5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: CHILD CARE ZONE (CCR)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 029-328-292
Lot 6 Section 23 Township 1 New Westminster District Plan EPP39641

15977 - 28 Avenue

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate a neighbourhood-scale *child care centre*, subject to the Community Care and Assisted Living Act S.B.C., 2002, c.75, as amended, and the Child Care Licensing Regulation set out under B.C. Reg. 95/2009, as amended.

B. Permitted Uses

The *Lands* and *structures* shall be used for a *child care centre*, provided that the enrollment at any one time is limited to 66 children.

C. Lot Area

Not applicable to this Zone.

D. Density

The *floor area ratio* shall not exceed 0.50.

E. Lot Coverage

The *lot coverage* shall not exceed 30%.

F. Yards and Setbacks

Buildings and structures shall be sited in accordance with the following minimum setbacks:

Use	Setback	<i>Front</i> [South]	<i>Rear</i> [North]	<i>Side Yard</i> [West]	<i>Side Yard</i> [East]
<i>Principal Buildings and Accessory Buildings and Structures</i>		7.5 m [25 ft.]	1.2 m [4 ft.]	1.2 m [4 ft.]	7.5 m [25 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal building*: The *building height* shall not exceed 10.3 metres [34 ft.].
2. *Accessory buildings and structures*: The *building height* shall not exceed 4 metres [13 ft.].

H. Off-Street Parking

Parking spaces shall be provided in accordance with Table C.1 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.

2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping* screen, a solid decorative fence, or a combination thereof.

J. Special Regulations

Child care centres shall be located on the *lot* such that these centres have direct access to an *open space* and play area within the *lot*.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
1,000 sq. m. [0.25 acre]	20 metres [65 ft.]	30 metres [100 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the PA-1 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2016, No. 18664, as may be amended or replaced from time to time, and the development cost charges shall be based on the PA-1 Zone.
9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.
11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002, c. 75, as amended, and the Child Care Licensing Regulation set out under B.C. Reg. 95/2009, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20__.

PASSED SECOND READING on the _____ th day of _____, 20__.

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__.

PASSED THIRD READING on the _____ th day of _____, 20__.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__.

_____ MAYOR

_____ CLERK