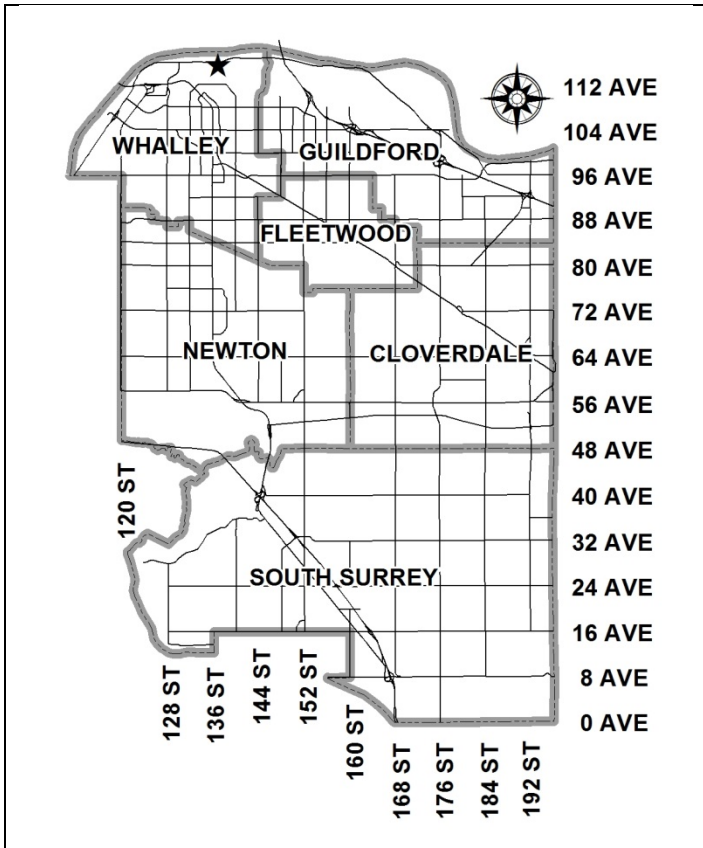


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0160-00

Planning Report Date: June 11, 2018



PROPOSAL:

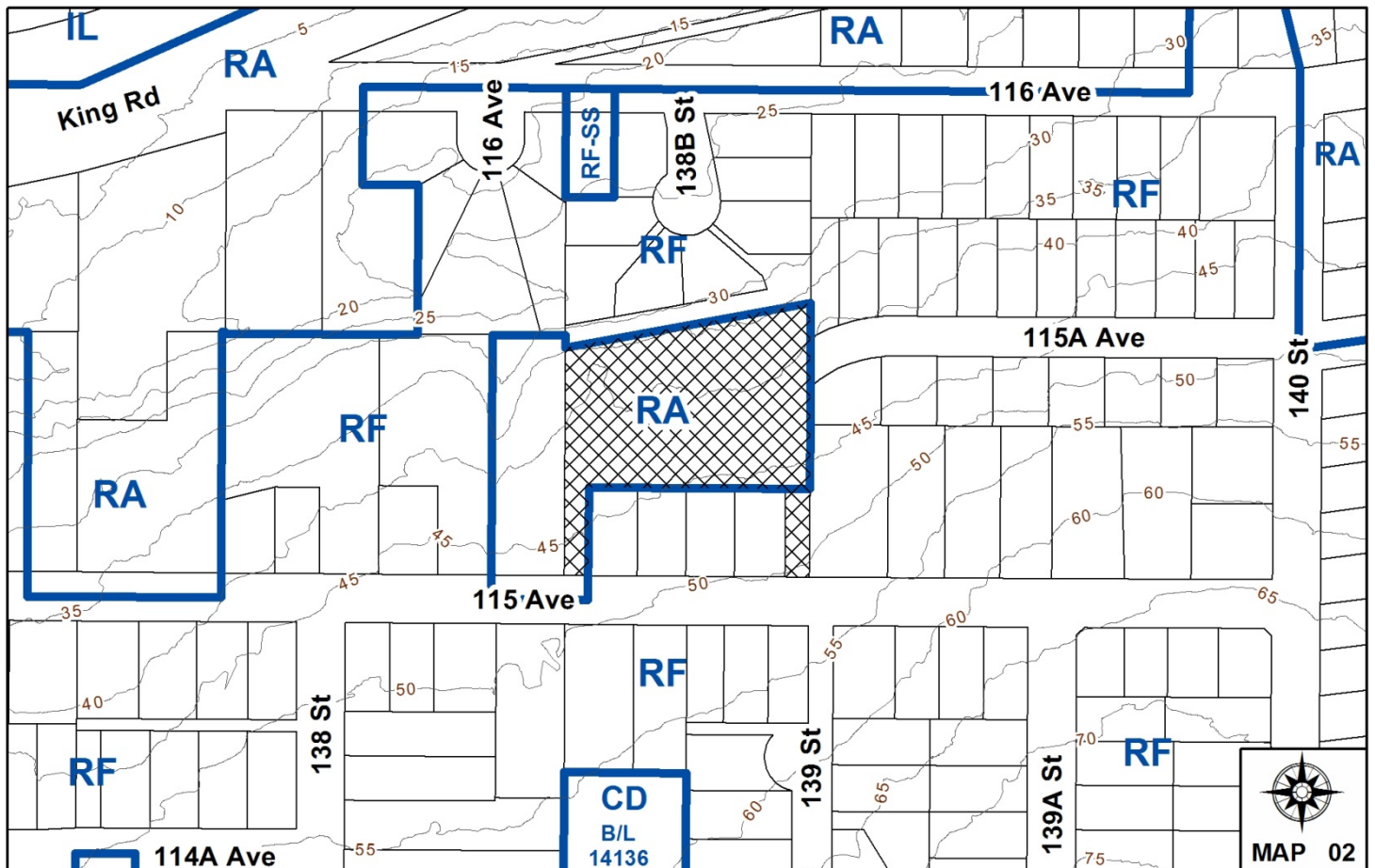
- **Rezoning** a portion from RA to RF
- **Development Permit**
- **Development Variance Permit**

to allow subdivision into 6 single family lots and 3 park lots.

LOCATION: 13851 - 115 Avenue

ZONING: RA

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning of a portion.
- Approval to draft Development Permit for Sensitive Ecosystems and Hazard Lands.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking to reduce the front yard setback of the RF Zone for principle building on proposed Lot 2.

RATIONALE OF RECOMMENDATION

- Complies with the Urban Designation in the Official Community Plan (OCP).
- The proposed density and building form are appropriate for this part of Whalley.
- The proposal includes conveyance of three park lots along the eastern and western portions of the site, with a combined area of 1,455 square metres (15,554 sq.ft.), and amounting to 19% of the gross area of the parent property. These lots will provide connectivity between the existing green belt to the north and 115 Avenue to the south with one lot (Lot 9) conveyed for riparian area protection.
- The applicant has requested a variance to the front yard setback on proposed Lot 2 to ensure a functional building envelope on this unconventional shaped lot.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the portion of the subject site as shown as Block A on the attached Survey Plan from "One-Acre Residential Zone (RA)" to "Single Family Residential Zone (RF)" and a date be set for Public Hearing.
2. Council authorize staff to draft Sensitive Ecosystems and Hazard Lands Development Permit No. 7916-0160-00 generally in accordance with the Ecosystem Development Plan prepared by Rolf Sickmuller, *R.P. Bio.*, of Envirowest Consultants Inc. and dated February 9, 2017.
3. Council approve Development Variance Permit No. 7916-0160-00 (Appendix VIII), to reduce the minimum front yard setback of the RF Zone from 7.5 metres (25 ft.) to 4 metres (13 ft.) for 50% of the width of the principle building when the attached garage is set back 6 metres (20 ft.) from the front lot line for proposed Lot 2, to proceed to Public Notification.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) the applicant address the concern that the development will place additional pressure on existing park facilities to the satisfaction of the General Manager, Parks, Recreation and Culture;
 - (g) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (h) finalization of an Ecosystem Development Plan;
 - (i) registration of a Section 219 Restrictive Covenant to protect a larger north side yard setback area on proposed Lot 2 to address grading conditions by increasing the north side yard setback from 1.8 metres (6 ft.) to 4.65 metres (15 ft.);
 - (j) registration of a Section 219 Restrictive Covenant to ensure that any future construction on proposed Lot 1 will undergo a geotechnical stability assessment; and

- (k) registration of a Section 219 Restrictive Covenant to specify the geotechnical requirements related to setbacks, groundwater collection and roof leaders for proposed Lot 2.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

2 Elementary students at James Ardiel Elementary School
 1 Secondary student at Kwantlen Park Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Spring 2019.

Parks, Recreation & Culture: Parks have some concerns about the pressure this project will place on existing Parks, Recreation and Culture facilities in the neighbourhood. The applicant has volunteered a \$550/lot Parks Amenity Contribution, totaling \$3,300 for the six (6) newly created lots, and Parks has accepted this amount to address these concerns.

Ministry of Transportation & Infrastructure (MOTI): Preliminary approval of the rezoning is granted for one year by MOTI.

SITE CHARACTERISTICS

Existing Land Use: Acreage lot with existing single family dwelling to be retained.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Single family dwellings.	Urban	RF
East:	Single family dwellings.	Urban	RF
South (Across 115 Avenue):	Single family dwellings.	Urban	RF
West:	Single family dwelling.	Urban	RA

DEVELOPMENT CONSIDERATIONS

Background & Context

- The 0.75-hectare (1.9-acre) subject site is comprised of one lot located on the north side of 115 Avenue at 139 Street in Whalley. The subject site is designated Urban in the Official Community Plan (OCP) and is currently split-zoned "One-Acre Residential Zone (RA)" and "Single Family Residential Zone (RF)".
- The subject site consists of one single family dwelling which takes access from 115 Avenue via a panhandle driveway at the western edge of the site. The site has an additional 10-metre (33-ft.) wide panhandle frontage four lots to the east; however, there is no existing driveway at this location. Currently, 115A Avenue terminates at the northeast corner of the site.
- The site is encumbered by a 3-metre (10-ft.) wide municipal sanitary right-of-way along the southern property line, as well as an 18-metre (59-ft.) wide Transmountain Oil Pipeline right-of-way along the east property line.
- The site is subject to the Hazard Lands Development Permit Area and Sensitive Ecosystem Development Permit Area requirements of the Official Community Plan (OCP), given the on-site grades and the off-site Class B watercourse to the west. There is an existing Greenbelt adjacent to the site, along the north property line.

Current Proposal

- The applicant is proposing to rezone a portion of the subject site from "One-Acre Residential Zone (RA)" to "Single Family Residential Zone (RF)" in order to allow subdivision into 6 single family lots.
- All of the proposed lots meet the minimum area and dimensional requirements of the RF Zone.
- The applicant is proposing to retain the existing house on proposed Lot 1. The applicant will be required to provide a Location Certificate confirming that the existing house conforms to the requirements of the RF Zone.

Hazard Lands (Steep Slopes) Development Permit Requirement

- The subject property falls within the Hazard Lands (Steep Slopes) Development Permit Area (DPA) in the OCP.
- The topography of the lot is sloped at an approximate grade of 18%. The slope steepens significantly at the northern portion of the property as the subject site meets the top of a natural bluff area.
- A geotechnical report, prepared by Thanh Le, *P. Eng.*, of Terran Geotechnical Consultants Ltd., and dated September 12, 2016 and amended March 2, 2018, investigated issues related to slope stability and natural storm water drainage, from a geotechnical perspective, to determine the feasibility of developing the site:

- The consultant has determined that the development is feasible provided that the recommendations in their report are incorporated into the overall design of the site, including a minimum 3-metre (10-ft.) building setback from the north lot line for proposed Lot 2;
- The report was peer-reviewed Hequing Jian, *P. Eng.*, of Geocan Engineering Inc., on January 23, 2018, and they did not have any significant objections or disagreements with the original report; and
- The geotechnical report recommendations will be incorporated into the Hazard Lands Development Permit.

Sensitive Ecosystems (Streamside Area) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems (Streamside Areas) Development Permit Area (DPA) in the OCP. There is an existing unnamed Class B (yellow-coded) stream that extends northward immediately west of the subject property.
- In accordance with Part 7A Streamside Protection setbacks of the Zoning By-law, a "Class B (yellow-coded) Stream" requires a minimum streamside setback of 15 metres (49 ft.), as measured from the top of bank.
- The applicant is proposing to convey land (lot 9) at the northwest corner of the subject site to the City in order to protect the riparian area to meet the 15-metre (49-ft.) setback requirement. A three rail split-wood fence will be required along the riparian area boundary in compliance with City standards.
- An Ecosystem Development Plan, prepared by Rolf Sickmuller, *R.P. Bio.*, of Envirowest Consultants Inc. and dated February 9, 2017 was reviewed by staff and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

Access, Road Dedication and Engineering Requirements

- Proposed Lot 1 will continue to have access from the western panhandle.
- Proposed Lots 2-6 will have driveway access from the 115A Avenue cul-de-sac. The applicant will be required to complete the construction of the cul-de-sac and the extension of 115A Avenue to the Limited Local Standard.

Parkland Dedication

- The proposal includes dedication of two additional park lots along the eastern portion of the site, with a combined area of 1,355 square metres (14,585 sq.ft.), amounting to 18% of the gross area of the parent property. These lots will provide connectivity between the existing green belt to the north and 115 Avenue to the south. Large portions of the dedicated park areas are encumbered by the Trans Mountain Oil Pipeline right-of-way. No structures are allowed on this right-of-way.

- Parks, Recreation and Culture have accepted the conveyance of these portions of the parent property to the City as parkland, toward satisfying the 5% parkland dedication requirements of Section 510 of the Local Government Act. For purposes of calculating the parkland dedication, the portions of the park area which are encumbered by the Trans Mountain Oil Pipeline right-of-way have been discounted at a rate of 50%.
- The portions of park dedication which are unencumbered, total an area of 311 square metres (3,348 sq.ft.), representing 4.1% of gross site area.
- Applying the 50% discount to the encumbered portions results in a total area of 522 square metres (5,619 sq.ft.), representing an additional 6.9% of gross site area. In total, the applicant is providing 11% parkland after the discount is applied. The additional 6% is being volunteered by the applicant because the land is encumbered.

Neighbourhood Character Study and Building Scheme

- Mike Tynan, of Tynan Consulting Ltd., prepared the Neighbourhood Character Study and Building Scheme for the subject site. The Character Study involved reviewing a number of existing homes in the neighbourhood in order to establish suitable design guidelines for the proposed subdivision.
- The Character Study found that there are two homes in the immediate neighbourhood that could be considered to provide acceptable architectural context for future redevelopment. The guidelines, a summary of which is attached (Appendix V), propose "mid-scale" proportional massing, as well as high trim and construction material standards in line with post-2016 RF standards. Preferred styles for dwellings constructed on the subject site include a "Neo-Traditional", "Neo-Heritage" and compatible forms of "West Coast Contemporary".
- In order to achieve a smooth massing transition from the dwelling on proposed Lot 2 and the sloped parkland to the north, the Design Consultant has incorporated a provision whereby the main floor on the north wall shall be offset 1.2 metres (4 ft.) toward the south from the north basement wall face, and the north upper floor shall be offset 1.2 metres (4 ft.) toward the south from the north main floor wall face (Appendix VI).
- The Design Consultant has incorporated provisions within the Building Scheme for dwellings on proposed Lots 1, 2 and 6 in order to address safety and the overall pedestrian experience within the adjacent existing and proposed parkland:
 - Fencing along the park boundary (north lot line of proposed Lots 1 and 2, as well as the east lot lines of proposed Lots 2 and 6) shall be view-permeable with a height of no more than 1.2 metres (4 ft.); and
 - Landscaping installed along lot lines shared with existing and proposed parkland to the north and east shall consist solely of species with a mature height of 1.2 metres (4 ft.) or less, in order to protect lines of sight.

Proposed Lot Grading

- Preliminary lot grading plans were prepared and submitted by Hub Engineering Inc. and the plans have been reviewed by staff and are generally acceptable.

- The applicant is proposing fill in excess of 0.5 metres (1.5 ft.) in depth on the northern portion of proposed Lot 2. A maximum 3-metre (10-ft.) high retaining wall is proposed at a 3-metre (10-ft.) off-set from the north property line, which will ensure that no disturbance to parkland will occur during construction and maintenance of the retaining wall. Installation of the proposed retaining wall will take place under the supervision of a Qualified Geotechnical Engineer.
- Parks, Recreation and Culture have reviewed the proposed location of the retaining wall adjacent to existing parkland and have no objections.
- The applicant will be required to install landscaping at the base of the north side of the wall. The landscaping will be low-lying in order to allow for clear site lines to the adjacent parkland.
- Basements are proposed for proposed Lots 2-6. Final confirmation on whether in-ground basements are achievable will be determined once final Engineering drawings have been reviewed and accepted by the City's Engineering Department.

PRE-NOTIFICATION

Pre-notification letters were sent on February 2, 2018 and a Development Proposal Sign was installed on January 17, 2017. Staff received two (2) responses from neighbouring residents requesting further information but had no concerns.

TREES

- Terry Thrale, ISA Certified Arborist of Woodridge Tree Consulting Arborists Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	29	27	2
Cottonwood	4	1	3
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Paper Birch	1	0	1
Wild Cherry	2	1	1
Bigleaf Maple	9	4	5
English Walnut	1	1	0
Coniferous Trees			
Douglas Fir	3	0	3
Western Red Cedar	6	0	6

Total (excluding Alder and Cottonwood Trees)	22	6	16
Total Replacement Trees Proposed (excluding Boulevard Street Trees)	11		
Total Retained and Replacement Trees	32		
Contribution to the Green City Fund	\$11,600		

- The Arborist Assessment states that there are a total of 22 protected trees on the site, excluding Alder and Cottonwood trees. Thirty-three (33) existing trees, approximately 60 % of the total trees on the site, are Alder and Cottonwood trees. It was determined that 16 trees, excluding Alder and Cottonwood trees, can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 40 replacement trees on the site. Since only 11 replacement trees can be accommodated on the site (based on an average of 2 or 3 trees per lot), the deficit of 29 replacement trees will require a cash-in-lieu payment of \$11,600, representing \$400 per tree, to the Green City Fund, in accordance with the City’s Tree Protection By-law.
- In summary, a total of 32 trees are proposed to be retained or replaced on the site with a contribution of \$11,600 to the Green City Fund.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant submitted a sustainable development checklist for the subject site on April 7, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • Consistent with the Urban designation in the Official Community Plan.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • Secondary suites are permitted.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The development incorporates Low Impact Development Standards. • Absorbent soils are proposed. • Garbage, recycling and organics pickup available. • The applicant is dedicating the riparian area associated with the Class B stream to the west of the site. • The applicant is dedicating 19% of the gross site area as parkland.
4. Sustainable	<ul style="list-style-type: none"> • N/A

Sustainability Criteria	Sustainable Development Features Summary
Transport & Mobility (D1-D2)	
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> The fencing and landscaping along the park boundaries will be view-permeable with a height of no more than 1.2 metres (4 ft.).
6. Green Certification (F1)	<ul style="list-style-type: none"> N/A
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> Development Proposal Signs were installed and pre-notification letters were sent.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To reduce the minimum front yard setback of the RF Zone from 7.5 metres (25 ft.) to 4 metres (13 ft.) for 50% of the width of the building when the attached garage is setback 6 metres (20 ft.) from the front lot line for proposed Lot 2.

Applicant's Reasons:

- The retaining wall is to be located 3 metres (10 ft.) from the north property line on proposed Lot 2. Accounting for the 0.75-metre (2.5-ft) thickness of the retaining wall and a 0.9-metre (3-ft) allowance for passage between the house and the retaining wall, the house on proposed Lot 2 must be setback a minimum 4.65 metres (15 ft.) from the north property line.
- Given the increased setback from the north property line and the geometry of the lot, the owner is only able to achieve a maximum house size of approximately 356 square metres (3,834 sq. ft.) on proposed Lot 2, which is 90 square metres (969 sq.ft.) less than the maximum permitted floor area. With the proposed variance, the owner can achieve a slightly larger house size by gaining an additional floor area of 53 square metres (570 sq. ft.), excluding basement, as shown in the table below:

RF Zone House Size	Maximum Permitted Floor Area Based on RF Zone (excluding the basement)	Achievable Floor Area (no DVP and excluding the basement)	Achievable Floor Area (with DVP and excluding basement)
Subject lot 832 sq.m. (8,956 sq.ft.) in size	446 square metres (4,798 sq.ft.)	356 square metres (3,834 sq.ft.)	409 square metres (4,402 sq.ft.)

- With the proposed variance, the owner is still not able to achieve the maximum house size by approximately 36 square metres (393 sq. ft.).

Staff Comments:

- The lot geometry and the location of the retaining on proposed Lot 2 impacts the buildability of the lot. The proposed reduced front yard setback will allow for a slightly larger house, which is still 36 square metres (393 sq. ft.) less than the maximum house size permitted in the RF Zone.
- The applicant has submitted sample house plan drawings, demonstrating how a functional floor plan can be achieved while maintaining adequate yard space and parking.
- Staff support the requested variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary (Confidential), Project Data Sheets and Survey Plan
Appendix II.	Proposed Subdivision Layout
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Building Design Guidelines Summary
Appendix VI.	Lot 2 Building Analysis
Appendix VII.	Summary of Tree Survey and Tree Preservation
Appendix VIII.	Development Variance Permit No. 7916-0160-00

INFORMATION AVAILABLE ON FILE

- Geotechnical Study Prepared by Thanh Le, *P. Eng.*, of Terran Geotechnical Consultants Ltd., and dated March 2, 2018
- Ecosystem Development Plan Prepared by Rolf Sickmuller, *R.P. Bio.*, of Envirowest Consultants Inc. and dated February 9, 2017

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

LM/da

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

SUBDIVISION DATA SHEET

Proposed Zoning: RF

Requires Project Data	Proposed
GROSS SITE AREA	
Acres	1.86 acres
Hectares	0.75 hectares
NUMBER OF LOTS	
Existing	1
Proposed	6 (plus 2 Park lots)
SIZE OF LOTS	
Range of lot widths (metres)	7.59 m – 26.17 m
Range of lot areas (square metres)	560 m ² – 1,725 m ²
DENSITY	
Lots/Hectare & Lots/Acre (Gross)	8 uph & 3.2 upa
Lots/Hectare & Lots/Acre (Net)	9.2 uph & 3.7 upa
SITE COVERAGE (in % of gross site area)	
Maximum Coverage of Principal & Accessory Building	40%
Estimated Road, Lane & Driveway Coverage	25%
Total Site Coverage	65%
PARKLAND	
Area (square metres)	1,355 m ²
% of Gross Site	18%
	Required
PARKLAND	
5% money in lieu	NO
TREE SURVEY/ASSESSMENT	YES
MODEL BUILDING SCHEME	YES
HERITAGE SITE Retention	NO
FRASER HEALTH Approval	NO
DEV. VARIANCE PERMIT required	
Road Length/Standards	NO
Works and Services	NO
Building Retention	NO
Setbacks	YES

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY
 BYLAW NO. _____ OVER PART OF LOT 145 SECTION 11
 B5N R2W NEW WESTMINSTER DISTRICT PLAN 67522**

FOR THE PURPOSE OF REZONING

B.C.G.S. 92G026

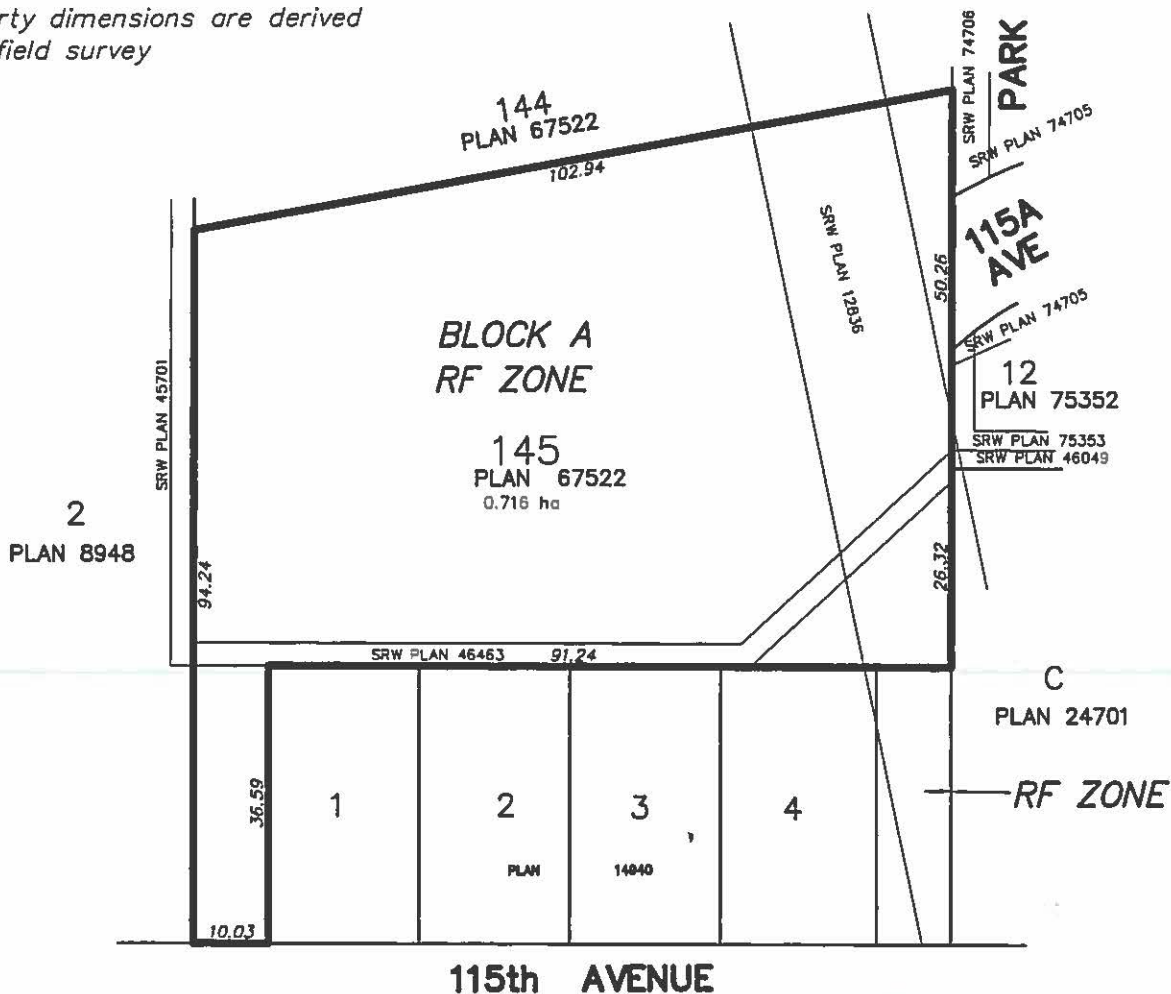
CITY OF SURREY

LEGEND

SCALE

1:1000

-property dimensions are derived
 from field survey



Date of Survey
 30th day of MAY 2018

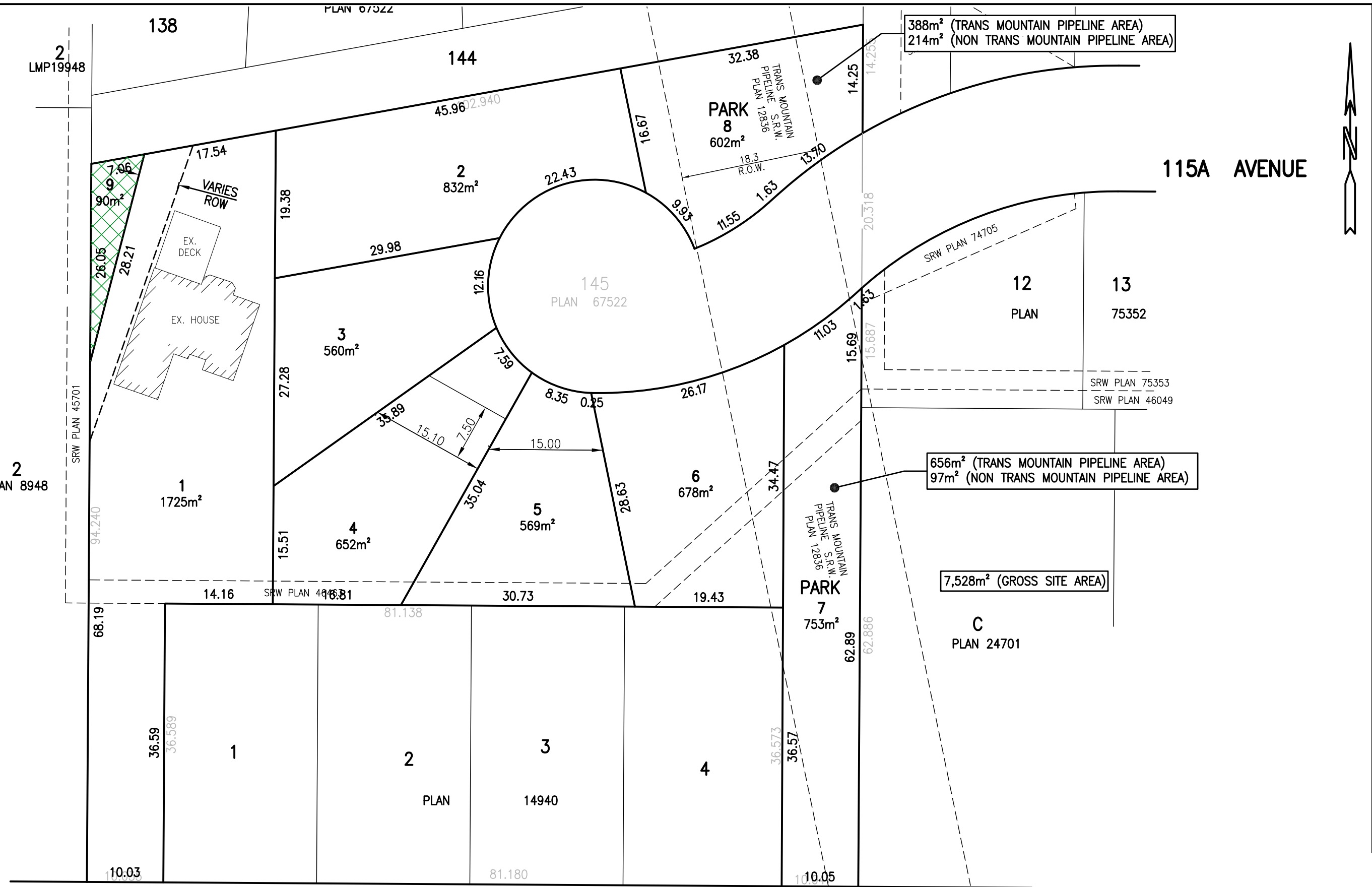
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 DHALI WAL & ASSOCIATES
 LAND SURVEYING INC.
 216-12899 76th Avenue
 Surrey, B.C.
 V3W 1E6
 (ph) 501-6188
 email: info@dhaliwalsurvey.com
 FILE: 1203002-Z01

BRITISH COLUMBIA LAND SURVEYOR
 Mark J.R. Dailey
 No. 867
 MARK J.R. DAILEY BCLS 867

THIS PLAN LIES WITHIN THE
 METRO VANCOUVER REGIONAL DISTRICT

THIS DOCUMENT IS NOT VALID UNLESS
 ORIGINALLY SIGNED AND SEALED

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CLIENT:	TEJPAL SANGHERA	PROJECT:	13851 - 115 AVENUE, SURREY		
DRAWING TITLE:	RESIDENTIAL SUBDIVISION				
PROJECT No.	11035	DATE:	APR 2018	LEGAL:	
		SCALE:	1:500	MUNICIPAL PROJECT No.:	7911-0294-00
PRELIMINARY PLAN - SUBJECT TO APPROVAL(S) FROM FEDERAL, PROVINCIAL AND LOCAL AUTHORITIES					

Hub Engineering Inc.
 Engineering and Development Consultants
 Suite 212, 12992 - 76 Avenue, Surrey, B.C. V3W 2V6
 tel: 604-572-4328 | fax: 604-501-1625 | mail@hub-inc.com | www.hub-inc.com

Member
PACIFIC LAND GROUP

**TO: Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: Development Engineer, Engineering Department

DATE: Jun 04, 2018 **PROJECT FILE: 7816-0160-00**

**RE: Engineering Requirements
Location: 13851 115 Avenue**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 16.5 m for 115A Avenue for the ultimate Limited Local Road Standard and necessary lands to complete the 14.0 m radius cul-de-sac.

Works and Services

- Provide cash-in-lieu for the construction of the north half of 115 Avenue to the Local Road Standard.
- Construct 115A Avenue to the Limited Local Road Standard including the cul-de-sac.
- Remove temporary asphalt bulb and restore with topsoil and sod fronting 13903 115A Avenue with cash-in lieu provided under Project 7881-5620.
- Construct 6.0 m concrete letdowns to each lot.
- Construct water, storm, and sanitary mains to service the development.
- Provide water, storm, and sanitary service connections to each lot.
- Provide sustainable drainage in accordance to the Bridgeview North Slope Integrated Stormwater Management Plan.
- Register applicable Statutory Rights of Ways for various City mains to meet current standards.
- Register applicable legal documents as determined through detailed design.
- Provide a copy of the Kinder Morgan Permit as part of detailed design.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT AND DEVELOPMENT VARIANCE PERMIT

There are no additional engineering requirements beyond the above relative to issuance of the Development Permit and Development Variance Permit.



Tommy Buchmann, P.Eng.
Development Engineer

CE4

NOTE: Detailed Land Development Engineering Review available on file



Planning February-05-18

THE IMPACT ON SCHOOLS

APPLICATION #: 16 0160 00

SUMMARY

The proposed 6 single family lots are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	2
Secondary Students:	1

September 2017 Enrolment/School Capacity

James Ardiel Elementary	
Enrolment (K/1-7):	44 K + 381
Operating Capacity (K/1-7)	38 K + 442
Kwantlen Park Secondary	
Enrolment (8-12):	1459
Capacity (8-12):	1200
Maximum Operating Capacity*(8-12):	1296

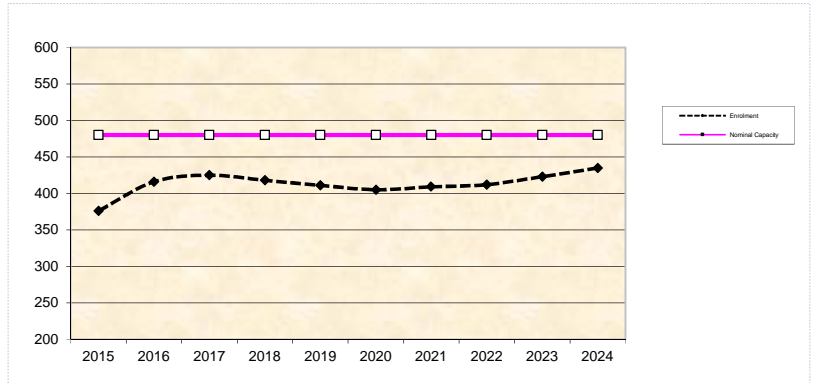
School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

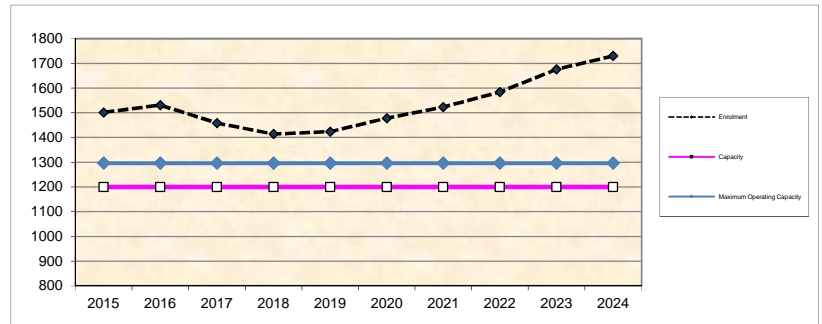
James Ardiel Elementary 10 year projections indicate a catchment that is in the final stage of its build out and that the neighbourhood will start to mature over time. Enrollment is constant and can be accommodated by the existing capacity of the school. However, there is currently a development permit application which is considering a consolidation in zoning to allow for a future 1000 unit residential tower. The timing of this future high rise development, with good market conditions could impact the enrolment growth upwards from the projections below.

Kwantlen Park Secondary is currently operating at 122% and is projected to grow by 300 students over the next 10 years. This school will also be impacted timing of future high rise development in the area. Currently there are no plans to expand the school, however, this facility will be reviewed, over the next year, to be considered for a future capital plan project request to the Ministry of Education, for an addition.

James Ardiel Elementary



Kwantlen Park Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students. Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

BUILDING GUIDELINES SUMMARY

Surrey Project no: 16-0160-00
Project Location: 13851 - 115 Avenue, Surrey, B.C.
Design Consultant: Tynan Consulting Ltd., (Michael E. Tynan)

The draft Building Scheme proposed for this Project has been filed with the City Clerk. The following is a summary of the Residential Character Study and the Design Guidelines which highlight the important features and form the basis of the draft Building Scheme.

1. Residential Character

1.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site:

The subject site is located within an old urban (late 1980's) development area. Although the lot frontage is technically on 115 Avenue, the entire site will be accessible through an extension of 115A Avenue to the west. The relevant character area for this site is therefore the 13900 block of 115 A Avenue.

Site topography is an important influence with respect to housing forms, retaining requirements, and view amenity considerations (significant views to the Fraser River and to the North Shore mountains). The lot slopes steeply down to the north at an average grade of approximately 15 percent.

For lots in this area that slope up to the rear, homes are configured with the garage at the lowest floor level, either as a Basement Entry type home with the basement and garage at the top of a steep upsloping driveway, or as a Two-Storey with in-ground basement with three floors fully visible from the street and the garage at the basement level. These lots have substantial retaining in the rear yards to drop the grades to achieve usable flat area.

For lot that slope down the rear, homes are configured either as Bungalows with walk out basement, or as Two-storey homes with walk out basements. These homes have negatively sloping driveways with main floors below the street level. These lots have above-grade retaining in the rear yards.

The style of most homes can be described as "West Coast Traditional" or "Old urban" or "Neo-Traditional". Home types include Bungalows (typically 1100-1400 sq.ft. plus basement), Two-Storey (2400 - 3500 sq.ft. plus basement), and Basement Entry (2200 - 3000 sq.ft. on two levels).

Most homes are configured with either an all-common-hip roof or as a main common hip roof with one or more street facing common gable projections. Roof slopes range from 4:12 - 7:12. Roof surfaces include asphalt shingles (clearly dominant), cedar shingles, and shake profile concrete roof tiles.

Wall cladding materials include stucco and vinyl in a colour range that includes neutral, natural, and primary colours. Some homes have a brick or stone accent, but there are homes that are

vinyl-only, and homes that are stucco-only. Trim and detailing standards are typical of those found on most homes from the 1980's.

Overall, landscaping standards are considered modest-to-average for 1980's era homes.

1.2 Features of Surrounding Dwellings Significant to the Proposed Building Scheme:

- 1) **Context Homes:** There are two homes in this area that could be considered to provide acceptable architectural context; homes at 13918 - 115A Avenue and 13927 - 115A Avenue. However, massing design, construction materials, and trim and detailing standards for new homes constructed in RF zone subdivisions now exceed standards evident on the context homes. The recommendation therefore is to adopt standards commonly found in post year 2016 RF zoned subdivisions, rather than to emulate specific components of the aforesaid context homes.
- 2) **Style Character :** Most neighbouring homes can be classified as old urban homes that have massing designs and exterior trim and detailing standards that do not meet modern standards. Rather than emulating the existing homes, the recommendation is to utilize *compatible* styles including "Neo-Traditional", "Neo-Heritage", and compatible styles which could include compatible manifestations of the "West Coast Contemporary" style as determined by the consultant. Note that style range is not specifically restricted in the building scheme. However, the consultant refers to the character study when reviewing plans for meeting style-character intent.
- 3) **Home Types :** There are a wide range of home types evident, and so some flexibility is justified. Home type (Two-Storey, Bungalow, Basement Entry, Split Level, etc..) will not be regulated in the building scheme.
- 4) **Massing Designs :** Massing designs should meet new standards for RF zoned subdivisions. New homes should exhibit "mid-scale" massing. Various elements and projections on the front of the home should be interesting architecturally, and should be in pleasing natural proportions to one another. These elements and projections should be located so as to create balance across the façade.
- 5) **Front Entrance Design :** Front entrance porticos all one storey in height. The recommendation however is to limit the range of entrance portico heights to between one storey and 1 ½ storeys to ensure there is not proportional overstatement of this one element, but also in recognition that 1 ½ storey front entrance will be proportional to the expected larger home sizes.
- 6) **Exterior Wall Cladding :** Stucco and vinyl are the only main wall cladding materials used in this area, in some cases without the addition of feature masonry accents. Reasonable flexibility should therefore be permitted, including the use of vinyl siding, provided the overall quality of wall cladding materials meets or exceeds common standards for post 2016 developments.
- 7) **Roof surface :** A wide range of roof surfacing materials have been used in this area including cedar shingles, concrete roof tiles, and asphalt shingles. The roof surface is not a uniquely recognizable characteristic of this area and so flexibility in roof surface materials is warranted. The recommendation is to permit cedar shingles, shake profile concrete roof tiles, shake profile asphalt shingles with a raised ridge cap, and new environmentally sustainable roof products that have a strong shake profile. Where required by the BC Building Code for lower slope applications membrane roofing products can be permitted subject to consultant approval. Small decorative metal roofs should also be permitted.

- 8) **Roof Slope :** The recommendation is to set the minimum roof slope at flat (1:12) and the maximum roof slope at 7:12 in respect of view preservation objectives, and in consideration of maximum slopes already found in this area.

Streetscape: The subject site is located in an old growth RF zone area with an old urban (1980's) character. Most homes are 30 year old low mass Bungalows with walk out basements, or Basement Entry homes in which the upper floor is positioned directly above the floor below resulting in a high mass, box-like appearance. There are also two Two-Storey homes, one at 13918 - 115A Avenue and one at 13927 - 115A Avenue that provide desirable massing design context. Steep sloping site topography has dictated housing forms and resulted in the need for substantial use of retaining walls. The view amenity to the north toward the Fraser River and the north shore mountains is significant to this site.

2. Proposed Design Guidelines

2.1 Specific Residential Character and Design Elements these Guidelines Attempt to Preserve and/or Create:

- the new homes are readily identifiable as one of the following styles: "Traditional", "Heritage", "Neo-Traditional", "Neo-Heritage", compatible forms of "West Coast Contemporary", or other compatible styles with appropriate transitions in massing and character, as determined by the design *consultant*. Note that the proposed style range is not contained within the building scheme, but is contained within the residential character study which forms the basis for interpreting building scheme regulations.
- a new single family dwelling *constructed* on any *lot* meets year 2016's design standards, which include the proportionally correct allotment of mass between various street facing elements, the overall balanced distribution of mass within the front facade, readily recognizable style-authentic design, and a high trim and detailing standard used specifically to reinforce the style objectives stated above.
- trim elements will include several of the following: furred out wood posts, articulated wood post bases, wood braces and brackets, louvered wood vents, bold wood window and door trim, highly detailed gable ends, wood dentil details, stone or brick feature accents, covered entrance verandas and other style-specific elements, all used to reinforce the style (i.e. not just decorative).
- the development is internally consistent in theme, representation, and character.
- the entrance element will be limited in height (relative dominance) to 1 to 1 ½ storeys.

2.2 Proposed Design Solutions:

Interfacing Treatment with existing dwellings)

There are homes in this area (13918 - 115A Avenue and 13927 - 115A Avenue) that could be considered to provide acceptable architectural context. However, massing design, construction materials, and trim and detailing standards for new homes constructed in most new (post year 2016) RF zone subdivisions now exceed standards evident on the context homes. The recommendation therefore is to adopt standards commonly found in post year 2016 RF zoned subdivisions, rather than to specifically emulate the aforesaid two context homes.

Exterior Materials/Colours: Stucco, Cedar, Vinyl, Fibre-Cement Board, Brick, and Stone.

“Natural” colours such as browns, greens, clays, and other earth-tones, and “Neutral” colours such as grey, white, and cream are permitted. “Primary” colours in subdued tones such as navy blue, colonial red, or forest green can be considered providing neutral trim colours are used, and a comprehensive colour scheme is approved by the consultant. “Warm” colours such as pink, rose, peach, salmon are not permitted. Trim colours: Shade variation of main colour, complementary, neutral, or subdued contrast only.

Roof Pitch: Minimum 1:12 (flat) for view preservation and Contemporary styling and maximum 7:12 to ensure the view amenity is reasonably protected.

Roof Materials/Colours: Cedar shingles, shake profile concrete roof tiles, shake profile asphalt shingles with a raised ridge cap, and new environmentally sustainable roofing products should be permitted, providing that the aesthetic properties of the new materials are equal to or better than that of the traditional roofing products. Greys, black, or browns only. Membrane roofs permitted where required by B.C. Building Code.

In-ground basements: In-ground basements are subject to determination that service invert locations are sufficiently below grade to permit a minimum 50 percent in-ground basement to be achieved. If achievable, basements will appear underground from the front.

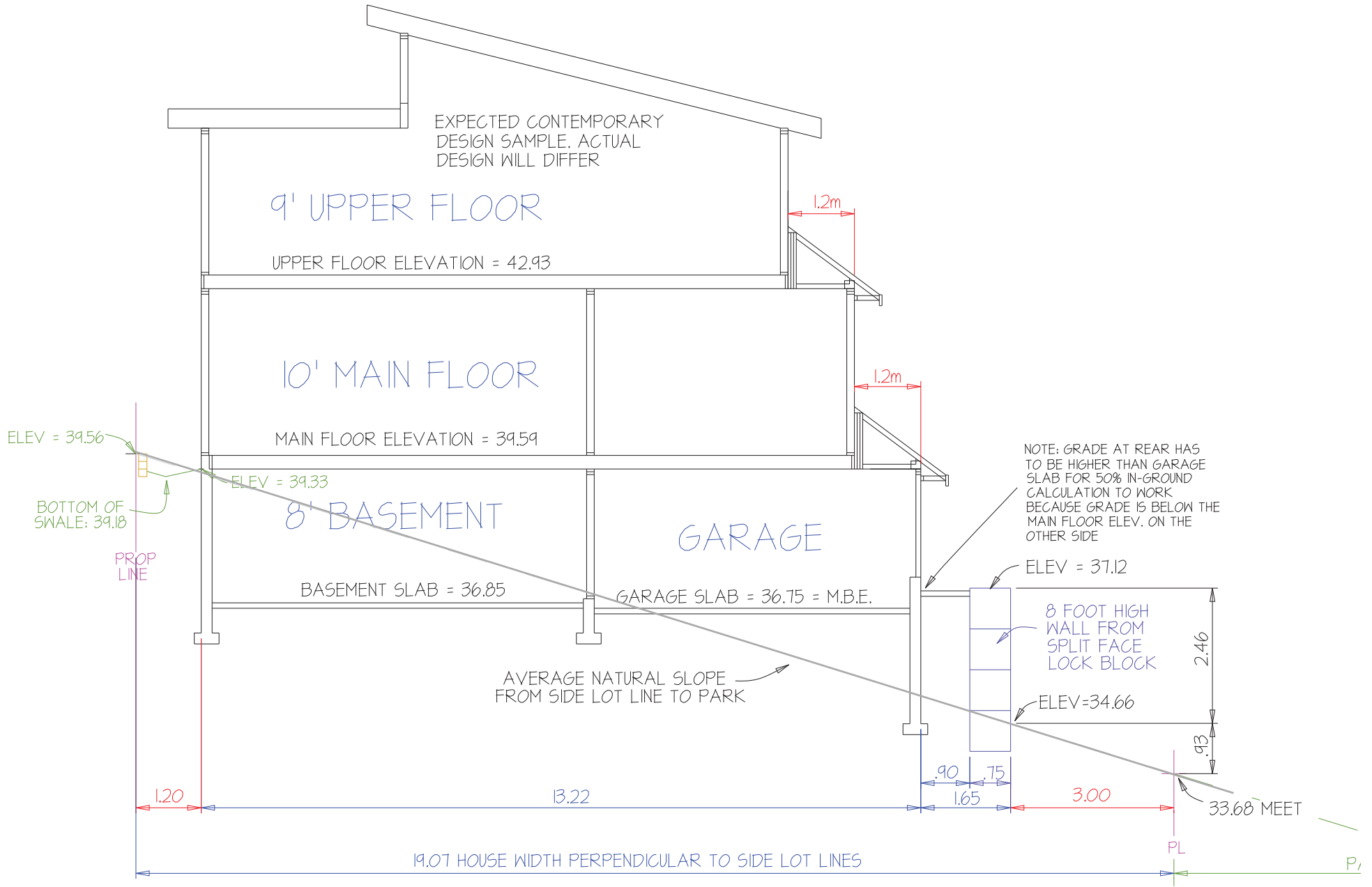
Treatment of Corner Lots: Not applicable - there are no corner lots

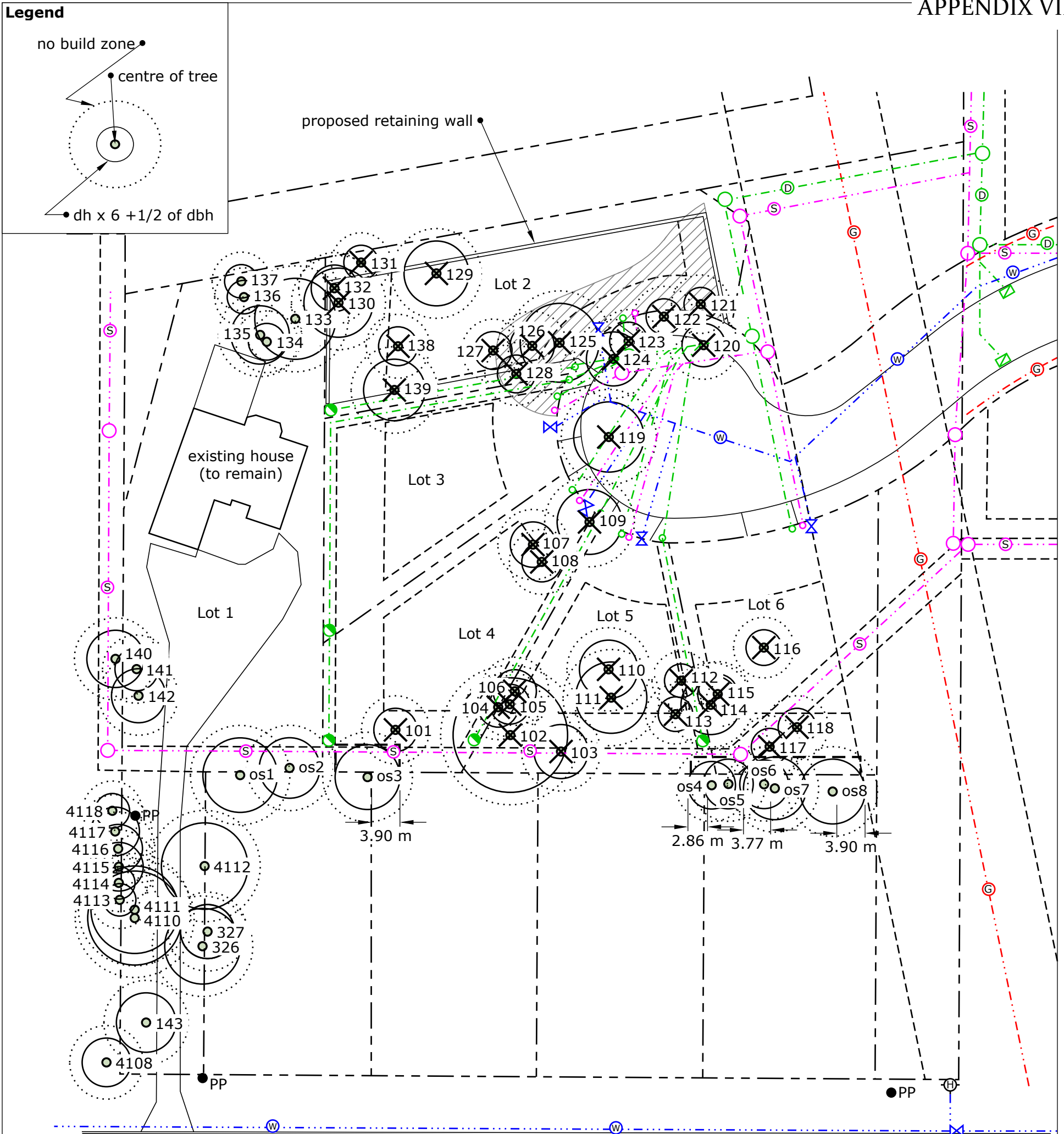
Landscaping: *Moderate modern urban standard:* Tree planting as specified on Tree Replacement Plan plus minimum 20 shrubs of a minimum 3 gallon pot size. Sod from street to face of home. Driveways: exposed aggregate, interlocking masonry pavers, coloured concrete (earth tones only), or stamped concrete. Fencing on lots 1, 2, 6 to be in accordance with CPTED principles for lots that share a common lot line with a public park,

Compliance Deposit: \$5,000.00

Summary prepared and submitted by: Tynan Consulting Ltd. **Date:** January 13, 2018

Reviewed and Approved by:  **Date:** January 13, 2018





Summary

Tag	Species	DBH (cm)	Tag	Species	DBH (cm)	Tag	Species	DBH (cm)
101	Red Alder	40	122	Red Alder	33	143	Bigleaf Maple	55
102	Cottonwood	106	123	Red Alder	35	326	Douglas Fir	70
103	Red Alder	50	124	Red Alder	50	327	Douglas Fir	50
104	Red Alder	37	125	Red Alder	73	4108	Paper Birch	45
105	Red Alder	37	126	Red Alder	41	4110	Bigleaf Maple	87
106	Red Alder	40	127	Red Alder	35	4111	Bigleaf Maple	81
107	Bigleaf Maple	42	128	Red Alder	35	4112	Douglas Fir	80
108	Bigleaf Maple	37	129	Red Alder	60	4113	Western Red Cedar	30
109	Red Alder	60	130	Red Alder	64	4115	Western Red Cedar	30
110	Red Alder	54	131	Bigleaf Maple	32	4116	Western Red Cedar	45
111	Red Alder	66	132	Bigleaf Maple	43	4117	Western Red Cedar	45
112	Red Alder	31	133	Cottonwood	75	4118	Western Red Cedar	32
113	Red Alder	32	134	Cottonwood	34	os1	Horsechestnut	69
114	Red Alder	55	135	Cottonwood	54	os2	Western Hemlock	56
115	Red Alder	37	136	Wild Cherry	31	os3	Douglas Fir	60
116	Red Alder	33	137	Red Alder	31	os4	Sawara Cypress	44
117	Red Alder	34	138	Wild Cherry	36	os5	Sitka Spruce	46
118	Red Alder	35	139	English Walnut	57	os6	Sawara Cypress	45
119	Red Alder	65	140	Bigleaf Maple	53	os7	Sawara Cypress	58
120	Red Alder	40	141	Red Alder	40	os8	English Walnut	60
121	Red Alder	31	142	Bigleaf Maple	50			

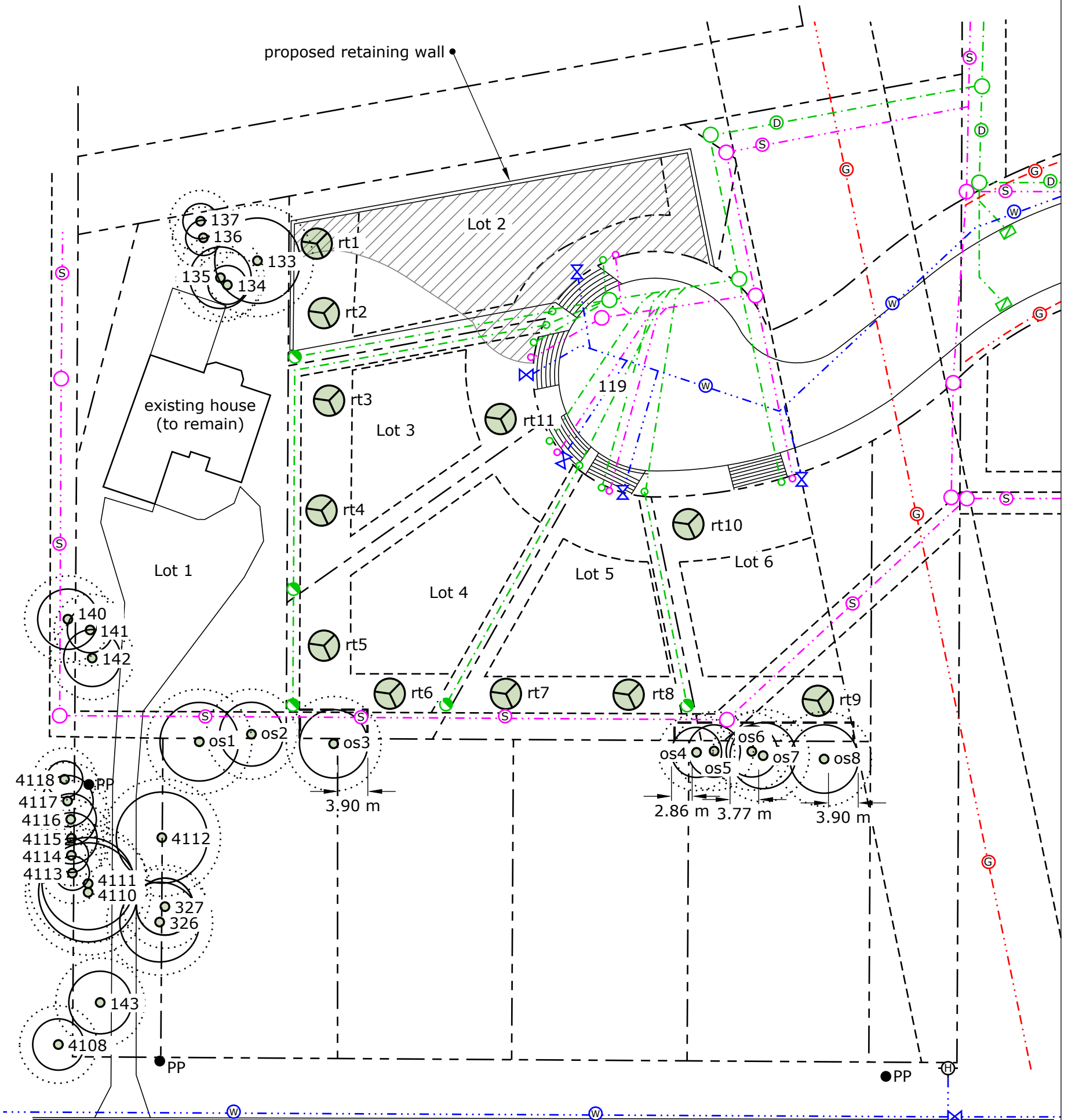


**Tree Plan for Subdivision at
13851 115 Avenue
Surrey, BC
Project # 7911-0294-00**

**Date: December 20, 2017
Updated: May 1, 2018**

Legend

- = good retention suitability
- x = remove tree
- [tree barrier]
- 1m 10m
1:500



Summary

note: replacement tree selection, planting and maintenance to meet or exceed BCLNA/BCSLA Landscape Standards

Tag	Species	Size
rt1	<i>Cornus</i> 'Eddie's White Wonder'	5cm cal.
rt2	<i>Chamaecyparis obtusa</i> 'Gracilis'	3m tall
rt3	<i>Cornus</i> 'Eddie's White Wonder'	5cm cal.
rt4	<i>Cercidiphyllum japonicum</i>	5cm cal.
rt5	<i>Cercidiphyllum japonicum</i>	5cm cal.
rt6	<i>Chamaecyparis obtusa</i> 'Gracilis'	3m tall
rt7	<i>Cercidiphyllum japonicum</i>	5cm cal.
rt8	<i>Chamaecyparis obtusa</i> 'Gracilis'	5cm cal.
rt9	<i>Cornus</i> 'Eddie's White Wonder'	5cm cal.
rt10	<i>Fagus sylvatica</i> 'Dawyck'	5cm cal.
rt11	<i>Fagus sylvatica</i> 'Dawyck'	5cm cal.



Replacement Tree Plan for Subdivision at 13851 115 Avenue Surrey, BC Project # 7911-0294-00

Date: May 2, 2018

Legend

↑ N

⊗ = replacement tree ⊙ = existing tree

1m 10m
1:500

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7916-0160-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 002-328-691
Lot 145 Section 11 Block 5 North Range 2 West New Westminster District Plan 67522

13851 - 115 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

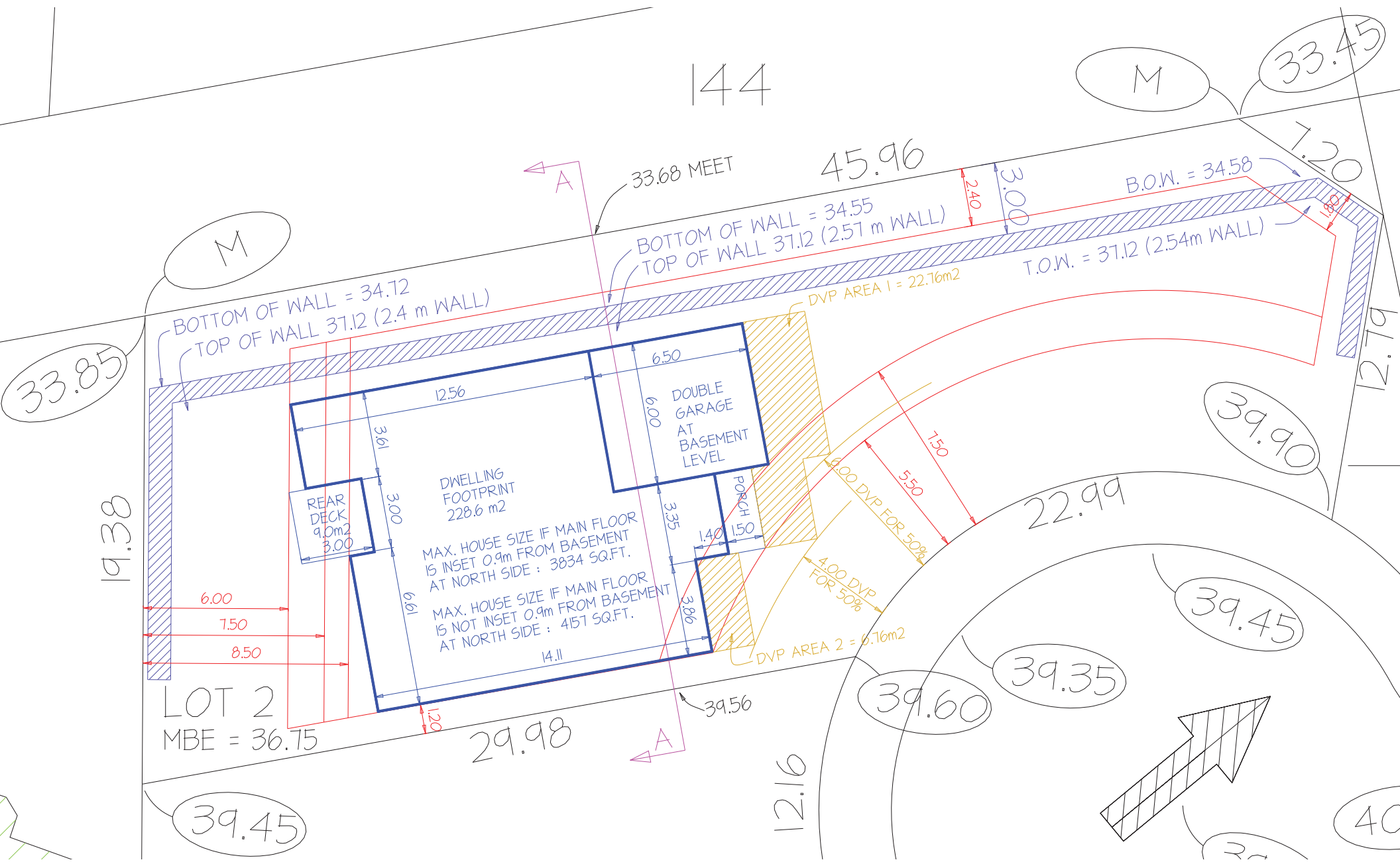
4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section F of Part 16 Single Family Residential Zone (RF), the minimum front yard setback of the RF Zone is reduced from 7.5 metres (25 ft.) to 4 metres (13 ft.) for 50% of the width of the building when the attached garage is set back 6 metres (20 ft.) from the front lot line for proposed Lot 2.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule B which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

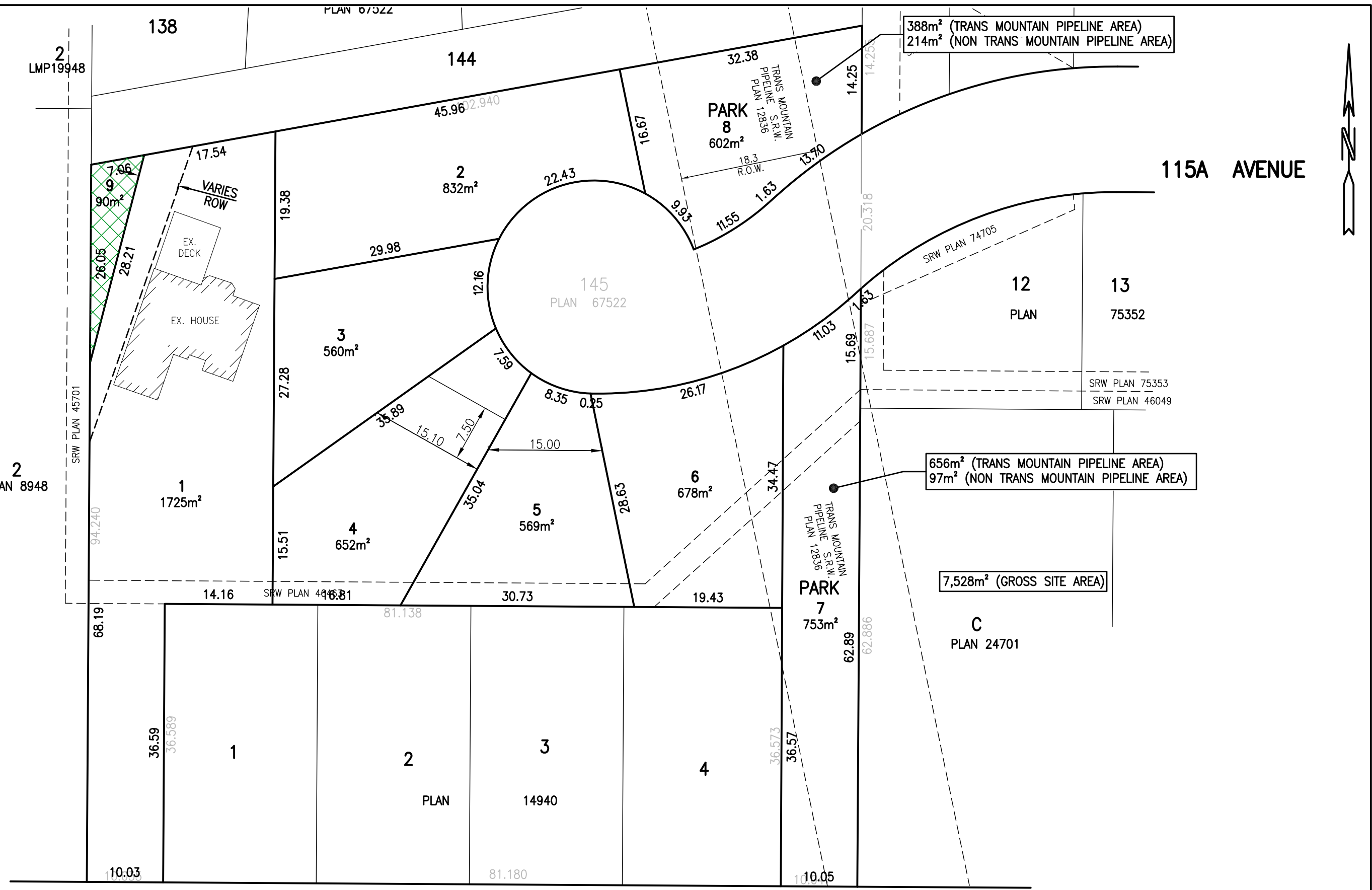
Mayor – Linda Hepner

City Clerk – Jane Sullivan

144



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CLIENT: TEJPAL SANGHERA		PROJECT: 13851 - 115 AVENUE, SURREY	
DRAWING TITLE: RESIDENTIAL SUBDIVISION			
PROJECT No. 11035	DATE: APR 2018	LEGAL:	SCALE: 1:500
MUNICIPAL PROJECT No: 7911-0294-00		PRELIMINARY PLAN - SUBJECT TO APPROVAL(S) FROM FEDERAL, PROVINCIAL AND LOCAL AUTHORITIES	

Hub Engineering Inc.
 Engineering and Development Consultants

Member
PACIFIC LAND GROUP

Suite 212, 12992 - 76 Avenue, Surrey, B.C. V3W 2V6
 tel: 604-572-4328 | fax: 604-501-1625 | mail@hub-inc.com | www.hub-inc.com