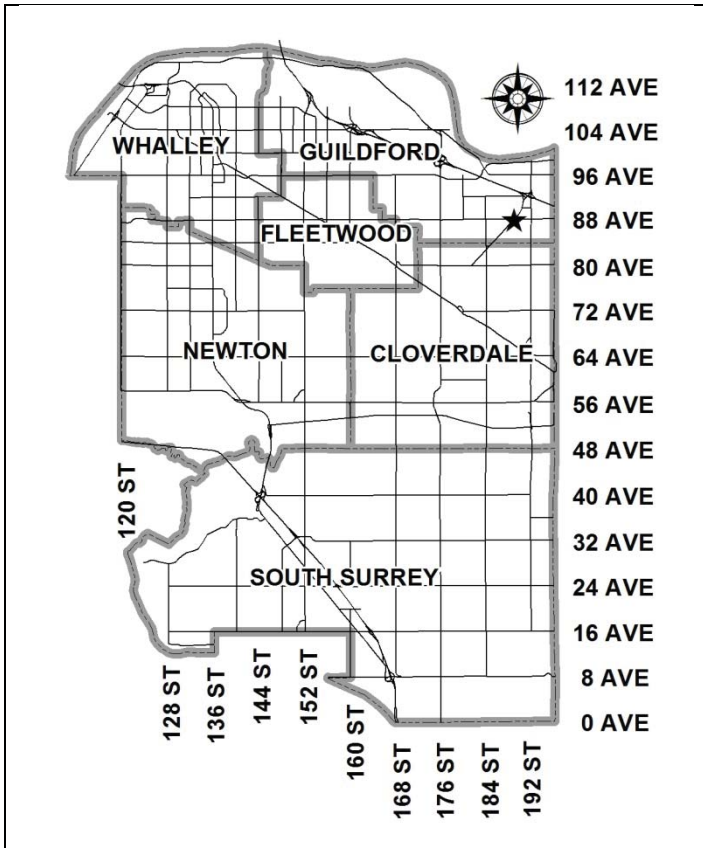


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0143-00

Planning Report Date: May 29, 2017

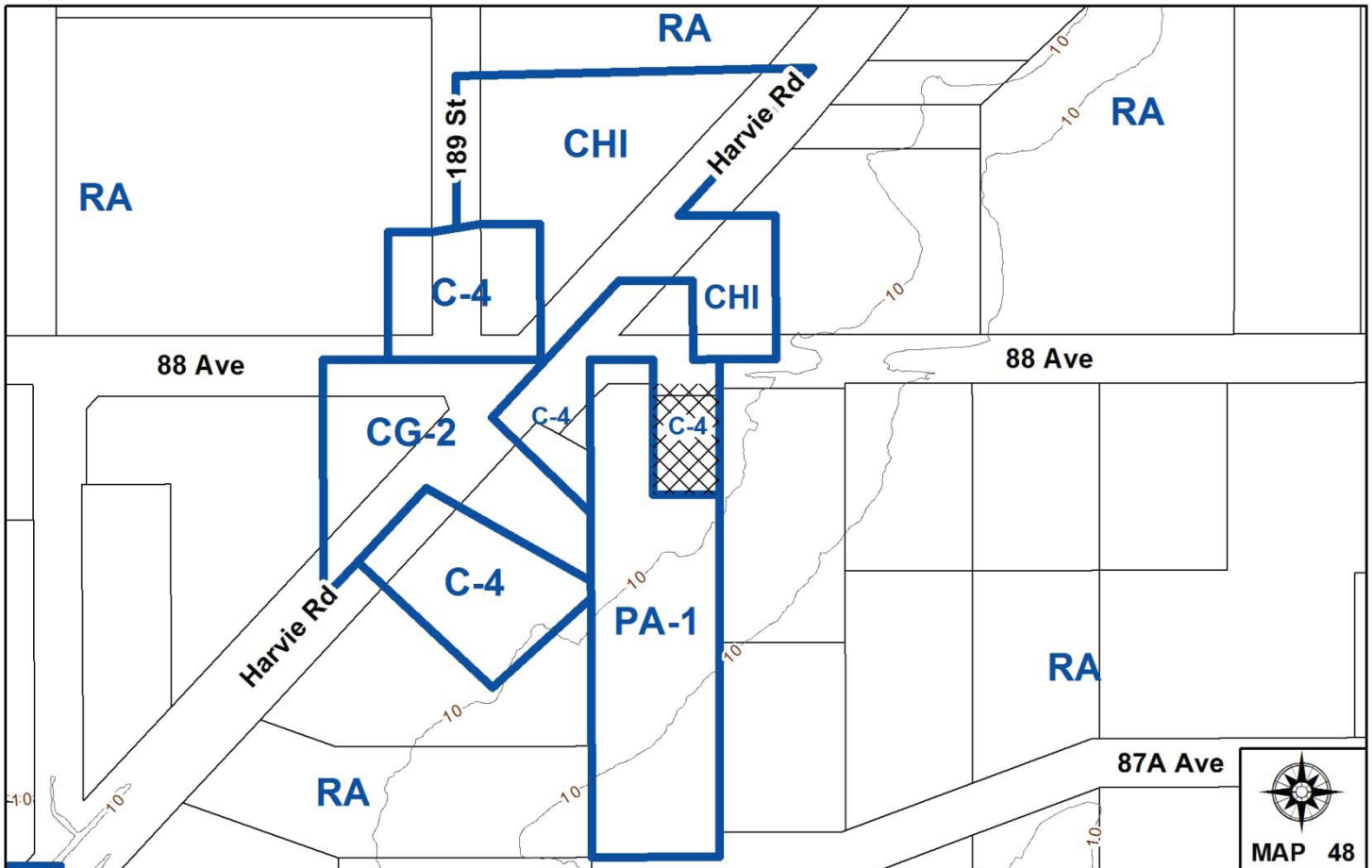


PROPOSAL:

- **Heritage Revitalization Agreement**

to permit renovations and a 2-storey addition to the rear of Port Kells Fire Hall No. 7 and to allow for additional uses including a heritage museum, union office, and event hall.

LOCATION: 18922 - 88 Avenue
OWNER: City of Surrey
ZONING: C-4
OCP DESIGNATION: Suburban - Urban Reserve



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Heritage Revitalization Agreement (HRA).

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- By-law variations included in the proposed HRA are as follows:
 - Expand upon the uses permitted in the C-4 Zone to include cultural use, union office, and assembly halls;
 - Increase the floor area ratio (FAR) in the C-4 Zone from 0.40 FAR to 0.50 FAR;
 - Reduce the streamside setback to a Natural Class A (red-coded) Stream from 30 metres (98 ft.) to 20.3 metres (67 ft.) to the building face, 14.8 metres (49 ft.) to the parking spaces, and 12.3 metres (40 ft.) to the septic system, as measured from the top-of-bank;
 - Reduce the off-street parking requirements from 41 parking spaces to 8 parking spaces including 4 small car spaces, each 4.8 metres (16 ft.) in length;
 - Permit the drive-aisle and parking area on the site to be surfaced with gravel rather than paved;
 - Reduce the required width of a two-way drive-aisle from 6.1 metres (20 ft.) to 5.8 metres (19 ft.);
 - Waive the landscaping requirements along the 88 Avenue frontage and only require a solid decorative fence at least 1.5 metres (5 ft.) high along the east lot line separating the developed portion of the lot from any residential lot; and
 - Reduce the minimum lot size for lots permitted septic systems from 0.81 ha (2 acres) to 0.11 ha (0.25 acre).

RATIONALE OF RECOMMENDATION

- Complies with the OCP and the South Port Kells General Land Use Plan (GLUP).
- The applicant is proposing to retain and restore the Port Kells Fire Hall heritage building, which has been listed on the Surrey Heritage Register since 2000. The requested By-law relaxations, allow for the adaptive re-use of the existing heritage building and provide for the building's protection. The Heritage Advisory Commission supports the proposed Heritage Revitalization Agreement (HRA).
- The requested variance to the Subdivision and Development By-law in the HRA relaxes the sanitary sewer requirement and allows for an alternate sewage disposal system. The extension of sanitary sewer to this location would make the proposed development uneconomical.
- The applicant has consent from the nearby library and school, to provide additional overflow parking to help offset the shortfall in parking during peak periods.
- The proposed watercourse setbacks have been verified to be Riparian Areas Regulation (RAR) compliant by a certified environmental professional.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to allow the property owner and the City of Surrey to enter into a Heritage Revitalization Agreement for the reuse of the Port Kells Fire Hall No. 7 and a date be set for Public Hearing.
2. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) the applicant enter into a highway license agreement for parking spaces located within the 88 Avenue road allowance; and
 - (h) execution of a Good Neighbour Agreement with the City to address any potential parking conflicts in the community.

REFERRALS

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
Parks, Recreation & Culture:	Parks has no concerns with the proposed project.
Heritage Advisory Commission (HAC):	The proposal was presented at the February 22, 2017 HAC meeting. No concerns were raised and support was given for the proposed Heritage Revitalization Agreement (Appendix IV).

SITE CHARACTERISTICS

Existing Land Use: Fire Hall No. 7, which is currently being used as a union hall.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across 88 Avenue):	Building supply business.	Commercial	C-4 and CHI
East:	Single family dwelling on acreage.	Suburban-Urban Reserve	RA
South:	Port Kells Community Centre on park site, bisected by Old Sawmill Creek.	Suburban-Urban Reserve	PA-1
West:	Park site with Port Kells Community Centre and parking lot.	Suburban-Urban Reserve	PA-1

DEVELOPMENT CONSIDERATIONS

- The subject site is located at 18922 - 88 Avenue in Port Kells and is 1,118-square metres (0.28 acre) in area. The subject site is zoned "Local Commercial Zone (C-4)" and is designated "Suburban - Urban Reserve" in the Official Community Plan (OCP).
- In 2016, the subject property was created by consolidating two long narrow lots into one lot and road widening along 88 Avenue was provided.
- The existing fire hall was decommissioned in 2016 and is currently being used by the firefighters as a union hall. The site is currently owned by the City of Surrey and the Surrey Firefighters Union is in negotiations with the City to purchase the property and to restore and expand the existing structure for use as a heritage museum, union office, and event hall.

Background on the Port Kells Fire Hall

- Port Kells Fire Hall No. 7 is listed on Surrey's Community Heritage Register and has been given a rating of 70% on the Surrey Heritage Evaluation Worksheet (Appendix VI).
- Port Kells Fire Hall No. 7 is a one and two-storey wood frame building located on 88 Avenue, to the east of the Port Kells Community Hall.
- The main building was erected in 1923 by the Surrey Farmers Institute for use as an Agricultural Hall. The Institute then leased the building to the Port Kells Congregation of the United Church of Canada from 1935 to 1947 when it was then leased to the District of Surrey for use as a fire hall. A single-storey, flat roof addition with two vehicle bays on the east side was designed by architect and Surrey Planning Manager Louke B. Kleyne, and constructed in 1967.

- The value of Port Kells Fire Hall No. 7 lies in the social and historical significance of its integral role in the growth of Port Kells from an outlying village to a suburban community of Surrey. Port Kells Fire Hall No. 7 is also valued for its architectural significance as a vernacular agricultural hall design, as there are very few of these buildings remaining. It was later adapted to a fire hall with the east addition and hose tower.
- The original character-defining elements of the Port Kells Fire Hall No. 7 include:
 - Location in the heart of Port Kells, across Harvie Road and 189 Street from the Port Kells Library;
 - Its distinctive massing of two discernable forms – the rectangular, two-storey, gabled-roofed original building, and the rectangular, one-storey, flat roof east addition;
 - Original wood window frames with projecting sills at the second floor;
 - The original fixed, muntined, vertical three-pane windows (2) at the ground floor, west façade;
 - The original overhead, wood-paneled garage door with 12 lites in the west bay and upper glazed panels;
 - The gabled hose tower, which extends above the original hall roof line;
 - The fireman’s pole, extending between the first and second floor.
- Photos of the Fire Hall are included in the HRA (see Appendix VII).

Proposed Heritage Revitalization Agreement (HRA)

- The proposed Heritage Revitalization Agreement (HRA) (Appendix VII) prescribes the terms and conditions of continuing protection for the heritage value and heritage character of the Port Kells Fire Hall and its environs. The HRA contains a detailed conservation plan that outlines the changes that can be made to elements including garage doors, cladding, windows, fascia and trim, soffits, and hose tower.
- The proposed HRA includes a compensation requirement in the amount of \$28,890.65 for the loss in heritage value and construction of a replica in the event that the existing structure is destroyed in the future (except if due to natural causes).
- To ensure future owners are aware of the HRA after the Heritage Revitalization Agreement By-law is approved by Council, a notice (not the by-law) will be registered on the title of the property in the Land Title Office.
- The proposed HRA will allow for:
 - The preservation of the original 1923 hall and later addition’s form, scale and massing;
 - The construction of a significant rear addition in accordance with the McGinn Engineering & Preservation Ltd. Plan;
 - The reinstatement of the Fire Hall’s original three-door configuration with the two new doors to match the existing original. The garage doors on the flat-roof addition are not originals and would be upgraded to contemporary glazed doors;
 - The removal of the existing vinyl siding from the original Fire Hall building and replacement with new wood siding in an off-white colour;

- The removal of the existing vinyl siding from the flat-roof addition and replacement with vertical cladding, hardie-panel or similar, in a dark brown or charcoal colour;
 - The reinstatement and/or restoration of wood casement windows on the original Fire Hall building;
 - The repainting of fascia and trim;
 - The removal of existing contemporary aluminum soffits to expose the rafters and roof boards, which are to be repainted;
 - The replacement of the roof with a new tab composite asphalt shingle roof surface;
 - The repainting of louvers, fascia, trim, soffit and rafter ends on the Hose Tower and replacement of the roof with a new composite asphalt tab shingle roof surface;
 - The replacement of the west door with a wood, frame and panel half-light door;
 - The retention of the existing fire pole; and
 - The exterior painting of the Hall in accordance with the Conservation Plan prepared by McGinn Engineering & Preservation Ltd..
- Interior works are also proposed but are not subject to the HRA.
 - In order to accommodate the proposed restoration and expansion of the existing structure for use as a heritage museum, union office, and event hall, several variations to the Zoning By-law and Subdivision and Development By-law are proposed to be included in the HRA.
 - Section 966(2)(b) of the *Local Government Act* permits the variation of City by-laws within a Heritage Revitalization Agreement (HRA). When an HRA proposes to vary use or density, as is the case for the subject proposal, a Public Hearing is required.

Changes to Use and Density

- The Surrey Firefighters Union is seeking to expand the uses permitted in the C-4 Zone to accommodate their proposed use of the building as a heritage museum, union office, and event hall. The following additional uses are proposed:
 - Cultural Uses;
 - Union office; and
 - Assembly hall, excluding church.
- The existing building is 325 square metres (3,500 sq. ft.) in size and the applicant is proposing a 232-square metre (2,500 sq. ft.) 2-storey addition at the rear of the building for a total building area of 557 square metres (6,000 sq. ft.). The addition will include space for a fire truck museum, kitchen, washrooms, office space, meeting room, and rooftop deck.
- The proposed lot coverage is 20%, which complies with the 40% lot coverage permitted in the C-4 Zone. The proposed floor area ratio (FAR) is increasing from the existing 0.29 to 0.50, which is above the 0.40 FAR allowed within the C-4 Zone. As such, the allowable density (FAR) is proposed to be increased through the HRA from 0.40 to 0.50.

Other Variances Requested

- Other variances are proposed as part of the HRA, and they are as follows:

- To reduce the streamside setback to a Natural Class A (red-coded) Stream from 30 metres (98 ft.) to 20.3 metres (67 ft.) to the building face, 14.8 metres (49 ft.) to the parking spaces, and 12.3 metres (40 ft.) to the septic system, as measured from the top-of-bank;
 - To reduce the off-street parking requirements from 41 parking spaces to 8 parking spaces including 4 small car spaces each 4.8 metres (16 ft.) in length;
 - To permit the drive-aisle and parking area on the site to be surfaced with gravel rather than paved;
 - To reduce the required width of a two-way drive-aisle from 6.1 metre (20 ft.) to 5.8 metres (19 ft.);
 - To waive the landscaping requirements along the 88 Avenue frontage and only require a solid decorative fence at least 1.5 metres (5 ft.) high along the east lot line separating the developed portion of the lot from any residential lot; and
 - To reduce the minimum lot size for lots permitted septic systems from 0.81 ha (2 acres) to 0.11 ha (0.25 acre).
- See the By-law Variances section of this report for further details on each of the proposed variances.

Parking and Circulation

- The renovated and expanded building will include 252 square metres (2,712 sq. ft.) of assembly hall space, 182 square metres (1,960 sq. ft.) of cultural use (museum) space and 182 square metres (1,960 sq. ft.) of union office space. Based on the Zoning By-law requirements for the combination of uses proposed, a total of 41 parking spaces are required.
- The applicant is only able to provide 8 onsite parking spaces and an additional 6 spaces within the 88 Avenue right-of-way, for a total of 14 parking spaces. The 6 parking spaces to be located within the boulevard will be secured through a highway license agreement.
- In total 14 parking spaces will be provided with 12 parking spaces located in front of the building and 2 parking spaces located at the rear of the building. The existing drive-aisle along the east side of the building will be retained to provide access to the rear parking spaces. The front parking area will be paved with asphalt, but the rear parking lot and access drive-aisle are proposed to remain as gravel.
- The two overhead doors along the front elevation of the building will be used for accessing the firetrucks in the museum portion of the building. The trucks are removed from the museum several times a year for parades and other community events which requires maneuverability within the parking area. As such, the applicant will not be installing frontage upgrades such as boulevard, sidewalk and curbs.
- The Port Kells Community Hall has voiced concerns as parking is currently limited in the area. The applicant has reached an agreement with the Port Kells Community Hall that they will rent the entire Port Kells Community Hall during events to avoid parking conflict. The applicant will also be able to use parking spaces from the Port Kells Library and Port Kells Elementary School (see By-law Variances section of this report for more details). The applicant will enter into a Good Neighbour Agreement with the City to demonstrate their commitment to minimize parking conflicts.

PRE-NOTIFICATION

Pre-notification letters were sent January 16, 2017 and a development proposal sign was installed on February 1, 2017. Staff received comments from 3 residents and from the Port Kells Community Association, as described below:

- Residents indicated that there are currently serious parking deficiencies on site especially when the firefighters have their meetings. Although, the firefighters have agreed to secure parking by renting out the Port Kells Community Hall on nights of union meetings, this may not be possible as the hall is often booked more than a year in advance. Double booking of the two sites is inevitable.

(The firefighters have agreed to rent the Port Kells Community Hall on nights when the fire hall is expected to be used for events. The firefighters have also been able to secure parking spaces from the Port Kells Elementary School and Port Kells Library. The applicant will enter into a Good Neighbour Agreement with the City to demonstrate their commitment to minimize parking conflicts.)

- The Port Kells Community Association representative asked whether it is possible to provide additional parking on the south portion of the Port Kells Community Hall lot across Old Sawmill Creek and provide a pedestrian bridge.

(Staff explored the construction of a pedestrian bridge which would be required to span the top-of-bank on both sides of Old Sawmill Creek which is roughly 60 metres (197 ft.) in length. The proposed costs would not make the parking feasible.)

- The Port Kells Community Association representative asked whether it is possible for the site to the immediate west of the Port Kells Community Hall (8782 - Harvie Road) to be purchased and converted to a parking lot.

(The purchase of the CG-2 zoned lot to the west has been explored and it is not financially feasible to purchase this lot for parking purposes.)

- Residents requested sidewalk upgrades along the frontage of the site.

(Due to the provision of parking spaces within the 88 Avenue road right-of-way and the firefighter's requirements to be able to access the museum's fire trucks for parades and community events, no boulevard upgrades to 88 Avenue, including a sidewalk, are proposed.)

- Resident questioned why a museum was needed and how is the project being funded.

(The proposed museum is proposed by the firefighters for display and storage of antique fire trucks. The museum will be funded by the firefighters union.)

TREES

- Glenn Murray, ISA Certified Arborist of Froggers Creek Tree Consultants prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder Tree			
Alder	1	0	1
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Black Locust	4	1	3
Coniferous Trees			
Douglas Fir	2	0	2
Total (excluding Alder Tree)	6	1	5
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		2	
Total Retained and Replacement Trees		8	

- The Arborist Assessment states that there are a total of 6 mature trees on the site, excluding Alder and Cottonwood trees. One (1) existing tree, approximately 14% of the total trees on the site, is an Alder tree. It was determined that 6 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, drive-aisles, parking area, building footprints and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 2 replacement trees on the site. The applicant is proposing 2 replacement trees, meeting City requirements.
- In summary, a total of 8 trees are proposed to be retained or replaced on the site.

BIODIVERSITY CONSERVATION STRATEGY AND STREAMSIDE PROTECTION

- In July 2014, Council endorsed the Biodiversity Conservation Strategy (BCS). The BCS included implementation measures to protect Surrey's streamside areas, natural habitats and sensitive ecosystems. The document identifies the use of a Development Permit Area (DPA) as an effective means to protect Surrey's natural environmental assets.

- On September 12, 2016, Council approved amendments to the Official Community Plan (OCP) and Zoning By-law No. 12000 to implement a Sensitive Ecosystem DPA and Streamside Protection Measures, collectively known as Surrey's Ecosystem Protection Measures, for the protection of the natural environment, including riparian areas. These changes were detailed in Corporate Report No. R188, which was approved by Council on July 25, 2016.
- The OCP is used to identify the specific types of ecosystems that are intended to be protected including Class A, A/O or B streams, and the Zoning By-law (Part 7A Streamside Protection) is used to identify the specific protection areas that are required to be established for Streamside Setback Areas.
- The applicant is seeking a variance to reduce the streamside setback area for a 'Natural Class A (red-coded) Stream' (Old Sawmill Creek), as measured from the top-of-bank, from 30 metres (98 ft.) to a minimum of 20.3 metres (67 ft.) to the building face, 14.8 metres (49 ft.) to edge of the parking lot, and 12.3 metres (40 ft.) to the edge of the septic field. See By-law Variances section for more details.
- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies a Local BCS Corridor, located entirely off the property, to the southeast of the subject site, in the Tynehead BCS Management Area, with a medium ecological value.
- The BCS further identifies the GIN area of the subject site as having a Moderate habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories. The BCS recommends a target Corridor width of 60 metres (200 ft.).
- The applicant retained a certified environmental professional who confirmed that the targeted 60-metre (200 ft.) wide BCS corridor is located entirely offsite and will not be adversely impacted by the proposed works.

Sensitive Ecosystem Development Permit

- An Ecosystem Development Plan and Impact Mitigation Plan dated March 8, 2017 was prepared by Ian Whyte of EnviroWest Consultants Inc. and found to be generally acceptable by staff. The finalized report recommended that no measures were required and therefore, a Development Permit was not required as part of the subject application.

BY-LAW VARIANCES IN HRA AND JUSTIFICATION

Section 966(2)(b) of the *Local Government Act* permits the variation of City by-laws within a Heritage Revitalization Agreement (HRA). In addition to the use and density variations described above the following relaxations have been incorporated in the HRA, with the applicant's rationale and staff comments provided accordingly:

(a) Requested Variance:

- To vary Part 7A Streamside Protection of the Zoning By-law to reduce the minimum required streamside setback area for a 'Natural Class A (red-coded) Stream' (Old Sawmill Creek), measured from the top-of-bank, from 30 metres (98 ft.) to 20.3 metres (67 ft.) to the building face, 14.8 metres (49 ft.) to the parking spaces, and 12.3 metres (40 ft.) to the septic system.

Applicant's Reasons:

- A certified environmental professional was retained to prepare a Riparian Areas Regulation (RAR) report recommending an RAR Streamside Protection and Enhancement Area (SPEA) of 5 metres (16 ft.) from the top of slope of Old Sawmill Creek, which does not engage the subject property.
- Without the streamside setback relaxations, the proposed building addition and associated parking and septic system cannot be accommodated on the site.

Staff Comments:

- Old Sawmill Creek, a natural Class 'A' (red-coded) watercourse, flows entirely through neighbouring properties to the south and east of the subject site. In accordance with the newly approved streamside setback areas in Part 7A of the Zoning By-law, the minimum required setback measured from top-of-bank is 30 metres (98 ft.).
- The applicant retained a certified environmental professional to prepare a Riparian Areas Regulation (RAR) report, which recommended an RAR Streamside Protection and Enhancement Area (SPEA) of 5 metres (16 ft.) from the top of slope of Old Sawmill Creek. This recommended SPEA is entirely outside of the subject property.
- Staff support the requested variance.

(b) Requested Variances:

- To vary the Zoning By-law to reduce the off-street parking requirements from 41 parking spaces to 8 parking spaces and to allow 4 of these parking spaces to each be 4.8 metres (16 ft.) in length.

Applicant's Rationale:

- The proposed development protects and is an adaptive reuse of a heritage building.
- An additional 6 parking spaces can be provided within the 88 Avenue road right-of-way, resulting in the provision of 14 parking spaces on and off site.
- Due to site constraints, which include the construction of a septic field in the rear of the site, it is not possible to include additional parking spaces on-site.

- Additional parking spaces can be secured from Port Kells Library and Port Kells Elementary School. The applicants intend to rent out the entire Port Kells Community Hall to secure parking on days of events at the Fire Hall.

Staff Comments:

- Staff explored the possibility of creating additional spaces across Old Sawmill Creek on the south end of the adjacent Port Kells Community Hall property. Access to the proposed parking area would require a cantilevered bridge across the creek which made providing the spaces uneconomical.
- Staff also explored the purchase of the CG-2 zoned property at 8782 - Harvie Road for parking purposes but this was also determined to be uneconomical.
- The applicant has been able to secure parking spaces from the Port Kells Library 100 metres (330 ft.) to the west, and the Port Kells Elementary School, 215 metres (700 ft.) to the east. The applicant also agreed to rent the adjoining Port Kells Community Hall on nights of union meetings and other events to avoid parking conflicts. There is also additional on-street parking available in the area.
- The applicant will enter into a Good Neighbour Agreement to demonstrate their commitment to addressing any concerns such as parking.
- The proposed parking relaxation is required to facilitate the adaptive reuse of the fire hall and to allow for the future protection of the building.
- Staff support the requested variance.

(c) Requested Variance:

- To vary the Zoning By-law to permit the rear parking area and access drive-aisle to be surfaced with gravel rather than paved.

Applicant's Rationale:

- The existing drive-aisle will be maintained in its current state and will only be used to access two parking spaces and the septic field in the rear of the building.
- Paving of the drive-aisle may require removal of several shared trees along the east property line.

Staff Comments:

- The drive-aisle will only be used to access two parking spaces and for the occasional maintenance of the septic system. Given this anticipated infrequent use, wear and tear of the gravel surface and resultant nuisance impacts are expected to be minimal.
- Paving of the drive-aisle and rear parking area would likely require removal of mature trees.

- Staff support the requested variance.

(d) Requested Variance:

- To vary the Zoning By-law to relax the width of a two-way drive-aisle from 6.1 metres (20 ft.) wide to 5.8 metres (19 ft.) wide;

Applicant's Rationale:

- The existing location of the fire hall dictates the reduced width of the drive-aisle.
- The majority of the drive-aisle is 6.4 metres (21 ft.) in width but it narrows to 5.8 metres (19 ft.) along the north portion of the site to facilitate parking spaces.

Staff Comments:

- The existing location of the fire hall will not allow for the widening of the drive-aisle.
- Only two parking spaces are located at the rear of the building and as such use of the drive-aisle will be infrequent. The reduced drive-aisle width will still facilitate safe vehicular access for the anticipated low demand usage.
- Staff support the requested variance.

(e) Requested Variance:

- To vary the C-4 Zone to waive landscaping requirements along the 88 Avenue frontage and to only require a solid decorative fence at least 1.5 metres (5 ft.) high along the east lot line separating the developed portion of the lot from the adjacent residential lot.

Applicant's Rationale:

- Landscaping along the 88 Avenue frontage is not proposed in order to accommodate access and egress of fire trucks from the museum. The fire trucks occasionally need to be moved off site for parades and community events.
- The residential property to the east is very well screened with an existing hedge and trees. A 1.5-metre (5 ft.) high fence will be installed to provide for additional screening along the residential property line.

Staff Comments:

- The applicants require maneuvering space within the front yard to access the fire trucks for community events and parades. Waiving of the frontage landscaping improvements also allows for the provision of additional parking spaces within the 88 Avenue road right-of-way.
- The proposed fence along the east lot line will provide screening for the residential property to the east.

- Staff support the requested variance.

(f) Requested Variance:

- To vary the Subdivision and Development By-law to reduce the minimum lot size for lots permitted septic systems from 0.81 hectare (2 acres) to 0.11 hectare (0.27 acre).

Applicant's Rationale:

- The applicants retained a qualified professional from Cleartech Consulting Ltd., who confirmed that a septic sanitary system plus backup system can be achieved on the 1,118-square metre (0.27 acre) lot.
- Extension of the sanitary main along the frontage of the site is not economically feasible.

Staff Comments:

- The nearest sanitary sewer is over a kilometer (.6 mile) away across Highway No. 1.
- Constructing a sanitary main extension is not economically feasible due to the scale of the project.
- The report prepared Cleartech Consulting Ltd., which states that a septic sanitary system plus backup system can be achieved on the 1,118-square metre (0.27 acre) lot has been reviewed by staff and found acceptable.
- Staff support the requested variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	Heritage Advisory Commission Minutes
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	Heritage Worksheet
Appendix VII.	Heritage Revitalization Agreement By-law

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

DEVELOPMENT DATA SHEET

Existing Zoning: C-4

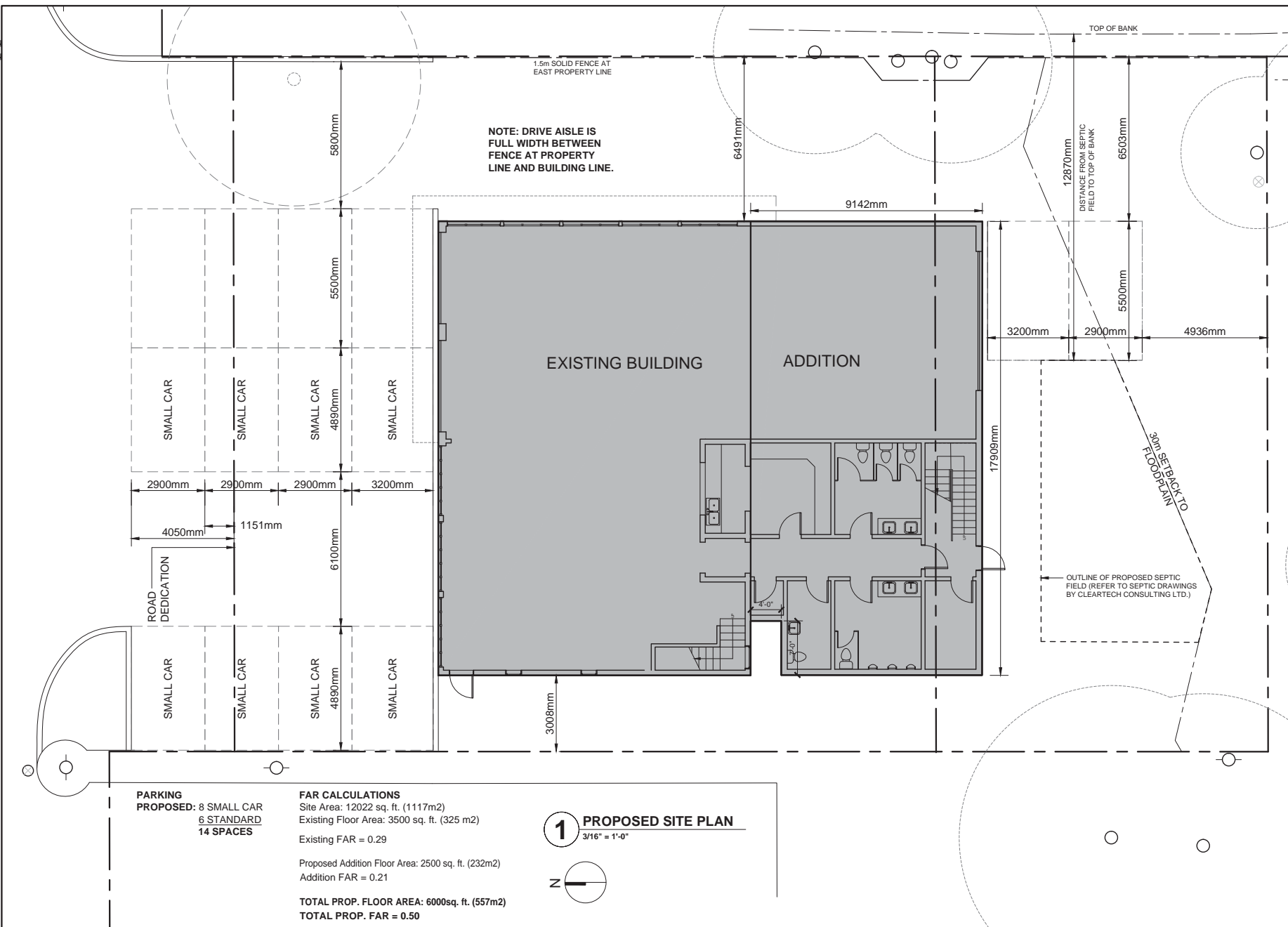
Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA (in square metres)		
Gross Total		1,117 m ²
Road Widening area		n/a
Undevelopable area		n/a
Net Total		1,117 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	40%	34%
Paved & Hard Surfaced Areas		20%
Total Site Coverage		54%
SETBACKS (in metres)		
Front	7.5 m	8.1 m
Rear	7.5 m	11.3 m
Side #1 (East)	6.0 m	6.4 m
Side #2 (West)	3.0 m	3.0 m
BUILDING HEIGHT (in metres/storeys)		
Principal	9 m	9.8 m existing building 7 m proposed expansion
Accessory		
NUMBER OF RESIDENTIAL UNITS		n/a
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		n/a
FLOOR AREA: Commercial		n/a
Retail		
Office		
Total		n/a
FLOOR AREA: Industrial		n/a
FLOOR AREA: Institutional		n/a
TOTAL BUILDING FLOOR AREA	447 m ²	557 m ²

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		n/a
# of units/ha /# units/acre (net)		n/a
FAR (gross)		
FAR (net)	0.40	0.50 *
AMENITY SPACE (area in square metres)		
Indoor		n/a
Outdoor		n/a
PARKING (number of stalls)		
Commercial (office)	5	5
Cultural (museum)	6	3
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Assembly Hall	30	0
Total Number of Parking Spaces	41 spaces	8 on-site spaces and 6 off-site spaces for total of 14 spaces *
Number of accessible stalls		
Number of small cars		8 *
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		n/a

* Seeking variance through HRA By-law.

Heritage Site	YES	Tree Survey/Assessment Provided	YES
---------------	-----	---------------------------------	-----



McGinn Engineering & Preservation Ltd.
Barry McGinn Architect.
#803-402 West Pender St. Vancouver, B.C.
Tel: 604-473-9866 Fax: 604-473-9877
Web: www.mcginn-engineering.com

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REV.	DESCRIPTION	DATE
1	FOR CONSULTANTS	2017-04-18

PROJECT:
**PORT KELLS
FIRE HALL NO. 7**
18922 88 AVE, SURREY, BC

TITLE:
SITE PLAN

DRAWN BY: **KDV**
DATE: **01/18/2017**
SCALE: **3/16" = 1'-0"**

DWG#: **0-01**

**PARKING
PROPOSED: 8 SMALL CAR
6 STANDARD
14 SPACES**

FAR CALCULATIONS
Site Area: 12022 sq. ft. (1117m²)
Existing Floor Area: 3500 sq. ft. (325 m²)
Existing FAR = 0.29

Proposed Addition Floor Area: 2500 sq. ft. (232m²)
Addition FAR = 0.21

**TOTAL PROP. FLOOR AREA: 6000sq. ft. (557m²)
TOTAL PROP. FAR = 0.50**

1 PROPOSED SITE PLAN
3/16" = 1'-0"





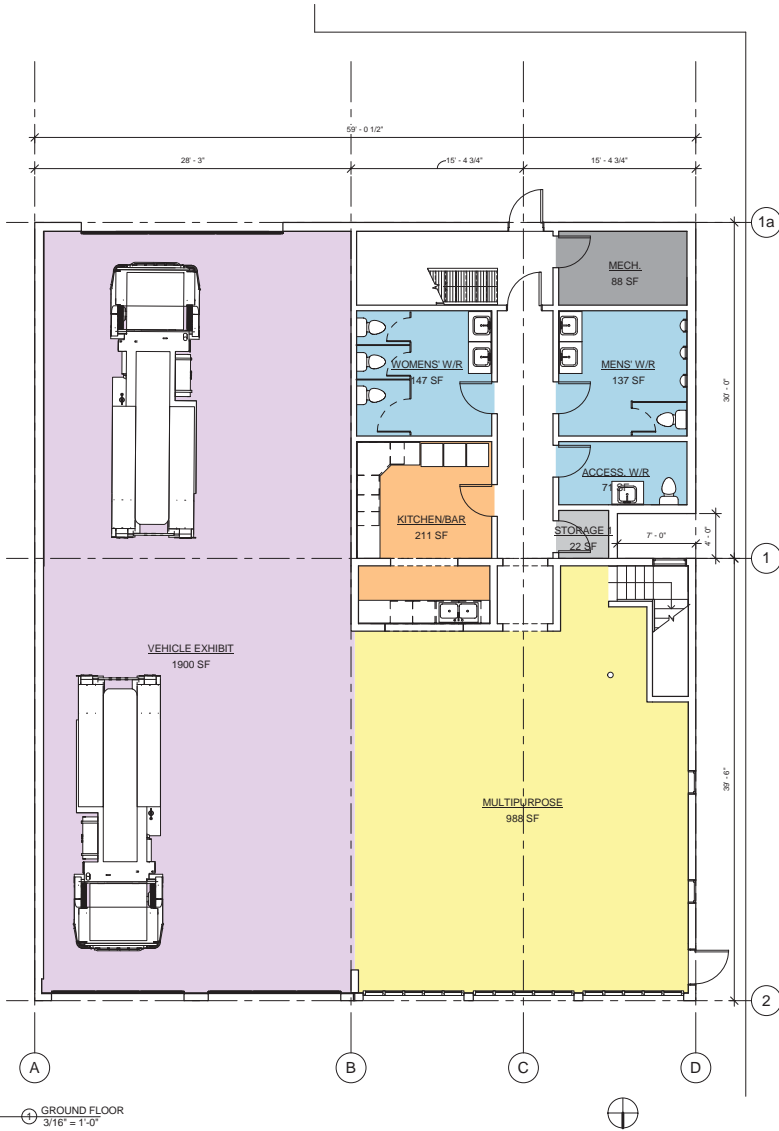




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AREA SCHEDULE			
Name	Level	Area (SF)	Area (m ²)
VEHICLE EXHIBIT	GROUND	1900 SF	177 m ²
MULTIPURPOSE	GROUND	988 SF	92 m ²
MENS' W/R	GROUND	137 SF	13 m ²
WOMENS' W/R	GROUND	147 SF	14 m ²
MECH.	GROUND	88 SF	8 m ²
STORAGE 1	GROUND	22 SF	2 m ²
KITCHENBAR	GROUND	211 SF	20 m ²
ACCESS' W/R	GROUND	71 SF	7 m ²
LOUNGE	SECOND	533 SF	50 m ²
OFFICE 2	SECOND	149 SF	14 m ²
OFFICE 1	SECOND	105 SF	10 m ²
KITCHEN	SECOND	208 SF	19 m ²
W/R	SECOND	48 SF	4 m ²
DECK	SECOND	860 SF	80 m ²
MEETING ROOM	SECOND	486 SF	45 m ²
STORAGE 2	SECOND	80 SF	7 m ²

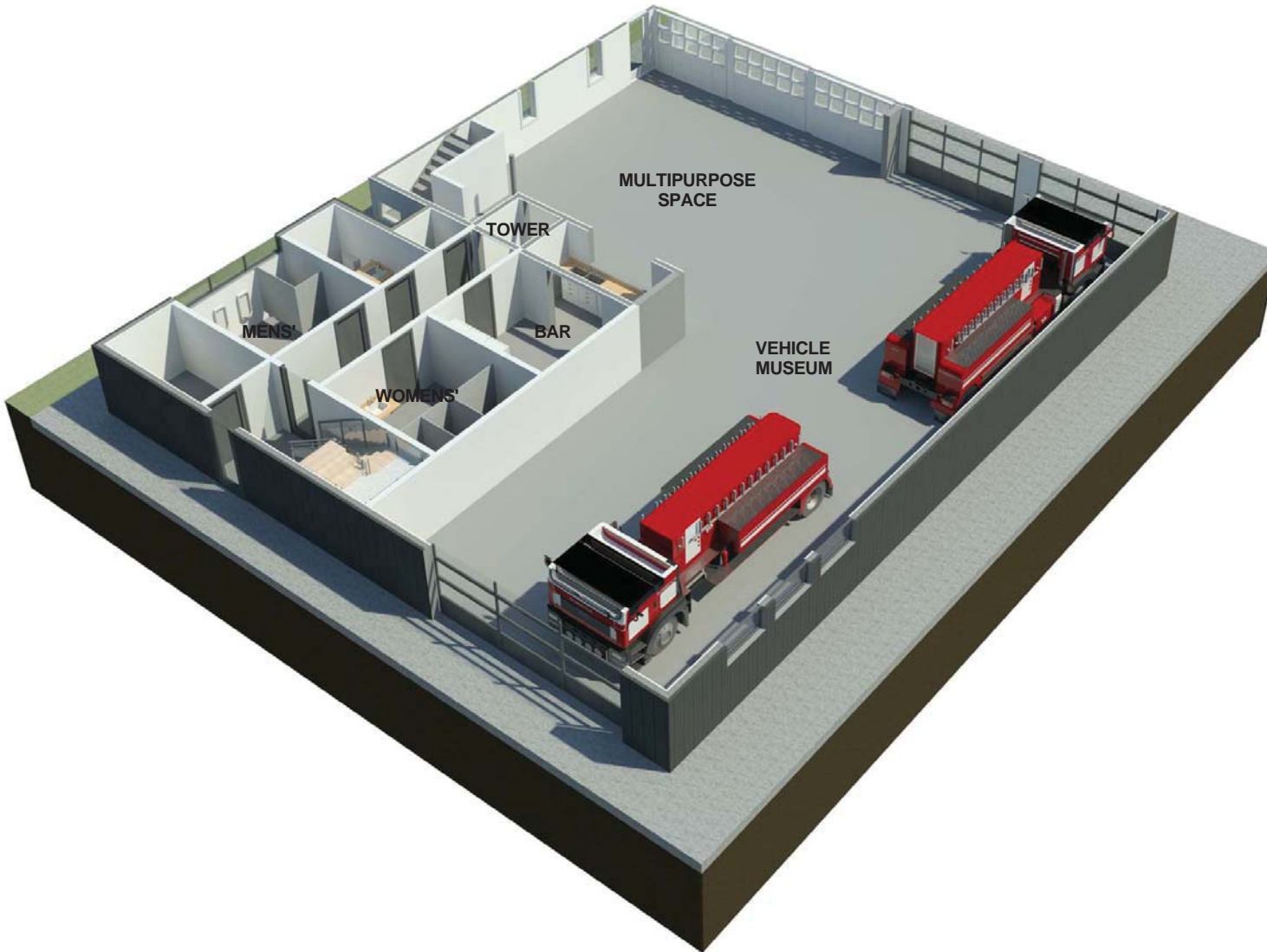
No.	Description	Date

PORT KELLS HISTORIC FIRE HALL NO. 7

PROPOSED FLOOR PLANS

Date: 02/24/2016
Drawn By: KV
Scale: 3/16" = 1'-0"

A100



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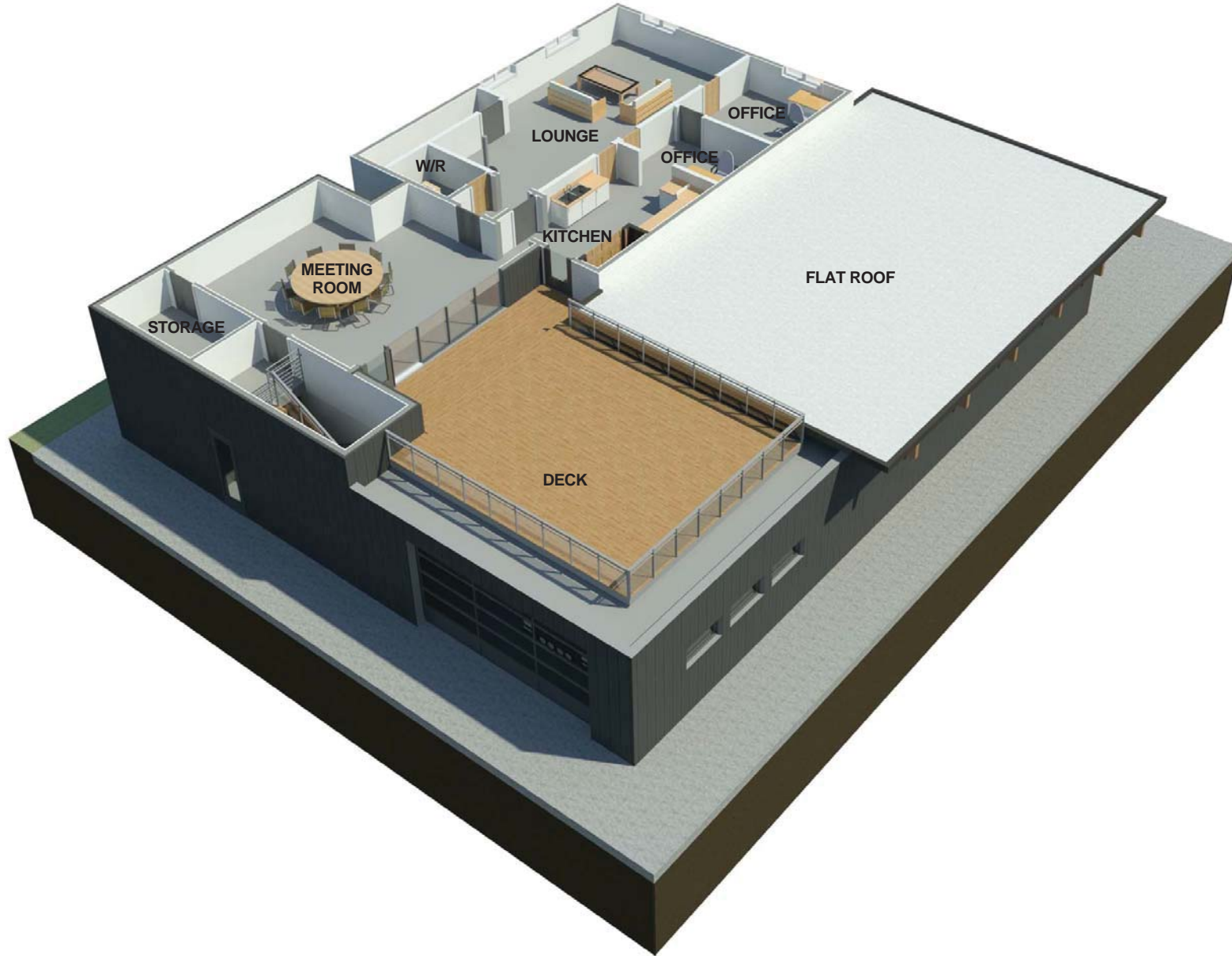
No.	Description	Date

PORT KELLS
HISTORIC FIRE HALL NO. 7

**PROPOSED
GROUND FLOOR**

Date	02/29/16
Drawn By	Author
Scale	12" = 1'-0"

A101



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No.	Description	Date

PORT KELLS
HISTORIC FIRE HALL NO. 7

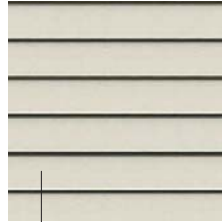
**PROPOSED
SECOND FLOOR**

Date	02/29/16
Drawn By	Author
Scale	12" = 1'-0"

A102



**LATER GARAGE ADDITION,
HARDIEPANEL SIDING**
TEXTURE: SMOOTH
COLOUR: IRON GREY



**ORIGINAL BUILDING,
PERIOD WOOD DROP SIDING**
SIDING COLOUR:
CC-80 "Gray Mist"
Benjamin Moore

TRIM COLOUR:
OC-17 "White Dove"
Benjamin Moore



REAR ADDITION CLADDING
HARDIEPANEL SIDING
TEXTURE: SMOOTH
COLOUR: IRON GREY



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**CONTEMPORARY GLAZED
GARAGE DOORS**

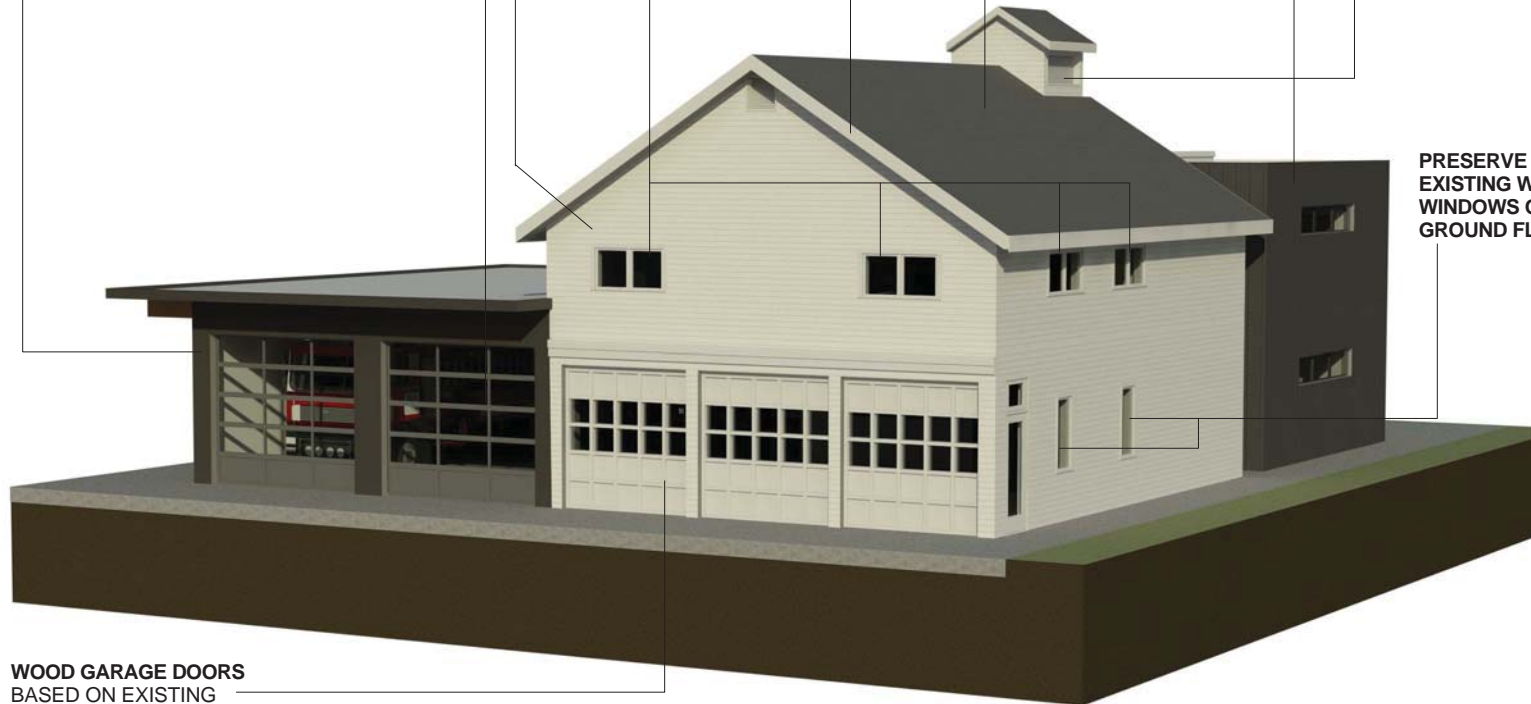
**NEW WOOD CASEMENT
WINDOWS IN EXISTING
REFURBISHED FRAME**

**REMOVE ALUMINUM
SOFFITS & REPAINT
RAFTERS & BOARDS**

**NEW TAB ASPHALT
SHINGLE ROOF SURFACE**
COLOUR:
"Weathered Grey" GAF
or approved alternate

**REPAINT HOSE TOWER
LOUVERS, FASCIA AND
RAFTERS**

**PRESERVE THE
EXISTING WOOD
WINDOWS ON THE
GROUND FLOOR**



**WOOD GARAGE DOORS
BASED ON EXISTING
ORIGINAL ON RIGHT SIDE**

No.	Description	Date

PORT KELLS
HISTORIC FIRE HALL NO. 7

**AERIAL VIEW FROM
SOUTHEAST**

Date	07/07/15
Drawn By	KV
Scale	12" = 1'-0"

A500



REAR ADDITION CLADDING
HARDIEPANEL SIDING
 TEXTURE: SMOOTH
 COLOUR: IRON GREY



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No.	Description	Date

PORT KELLS
 HISTORIC FIRE HALL NO. 7

**AERIAL VIEW FROM
 NORTHWEST**

Date REV. 2017/01/18
 Drawn By KV
 Scale 1/2" = 1'-0"

A501

CONCRETE CURB (TYP.)

EXISTING TREE TO BE REMOVED

GRAVEL

GRAVEL

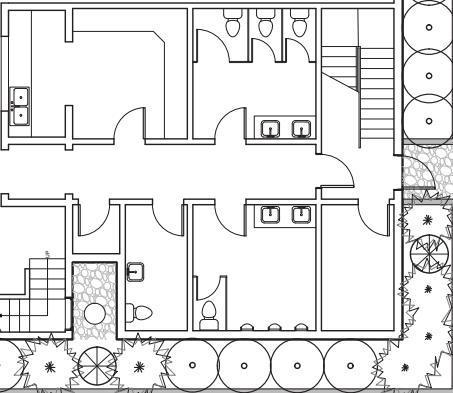
ASPHALT PARKING

LAWN

PLANT LIST			
BOTANICAL NAME	COMMON NAME	SIZE	QTY
<i>Cornus stolonifera</i> 'Arctic Fire'	Arctic Fire Dogwood	#5 Pot	14
<i>Juniperus sabina</i> 'Blue Danube'	Blue Danube Juniper	#3 Pot	10
<i>Juniperus scopulorum</i> 'Skyrocket'	Skyrocket Juniper	1.5m B&B	5

NOTES:
 1) The following substitutions may be used if the above are not available:
 1.1 - *Cornus stolonifera* 'Kelsey' in lieu of *Cornus stolonifera* 'Arctic Fire'
 1.2 - *Juniperus horizontalis* 'Plumosa Youngstown' in lieu of *Juniperus sabina* 'Arctic Fire'
 1.3 - NO substitute for *Juniperus scopulorum* 'Skyrocket'
 2) All plantings in accordance with BCSLA/BCNLA B.C. Landscape Standard and the CNTA 'Canadian Standards for Nursery Stock'
 3) All planting beds to be mulched with minimum 2" depth cedar bark mulch, not to exceed 3" depth.

LEGEND		
COMMON NAME	SYMBOL	PHOTO REFERENCE
Arctic Fire Dogwood		
Blue Danube Juniper		
Skyrocket Juniper		



CONCRETE PAD

GRAVEL WALK (5'-0" WIDE)

1 PROPOSED LANDSCAPE PLAN

3/16" = 1'-0"



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REV.	DESCRIPTION	DATE
1	FRONT LANDSCAPE REV.	2017-04-18

PROJECT:
PORT KELLS FIRE HALL NO. 7
18922 88 AVE, SURREY, BC

TITLE:
LANDSCAPE PLAN

DRAWN BY: **D.RNK**
DATE: **03/09/2017**
SCALE: **3/16" = 1'-0"**

DWG#:

L-1

**SITE PLAN OF LOT 1 SECTION 28
TOWNSHIP 8 NEW WESTMINSTER
DISTRICT PLAN EPP60921**

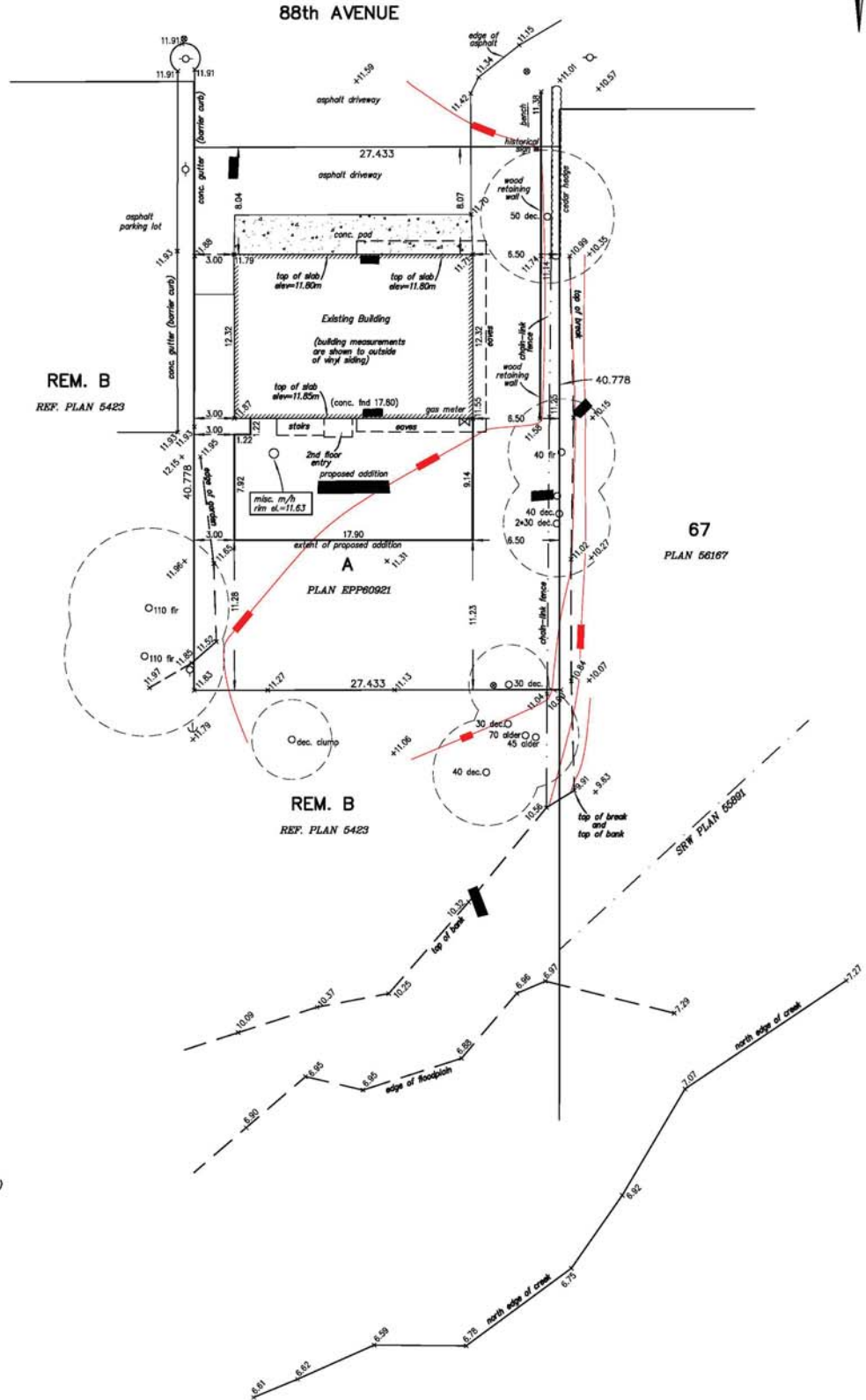


All Distances are in Metres.
The intended plot size of this plan is
560mm in height by 432mm in width
(C size) when plotted at a scale of 1:250



CIVIC ADDRESSES:
18922 88th AVENUE
SURREY, B.C.
P.I.D.: 029-845-793

SURVEY LEGEND	
⊙	STREET SIGN
○	UTILITY POLE
—	GUY WIRE
dec	DECIDUOUS TREE



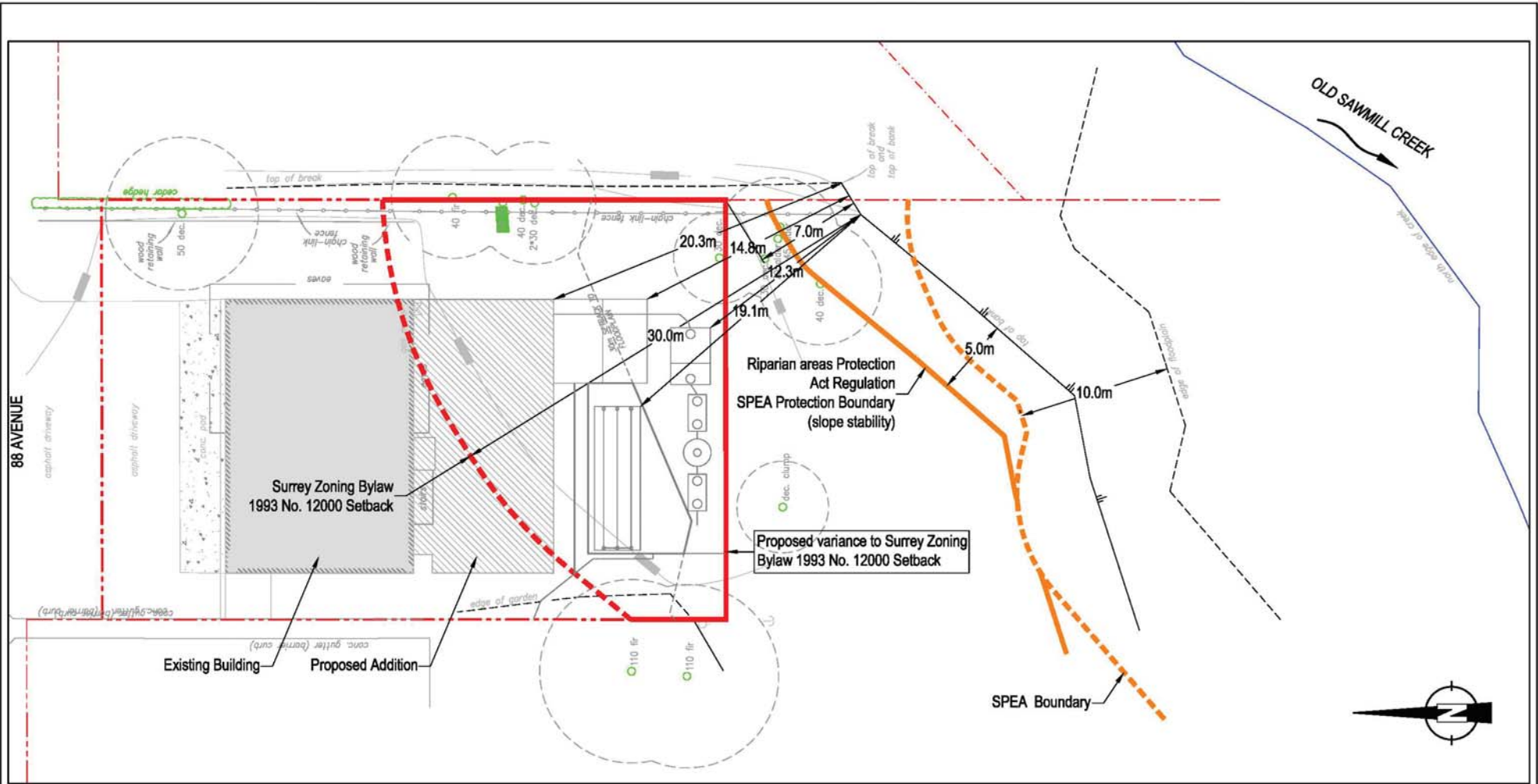
NOTES:

- 1) Elevations are in metres and are geodetic. (CVD28/GWRD2005)
- 2) Elevations are derived from OGM 5671, $el.=12.175m$ located at the intersection of 88th Avenue and Harvie Road.
- 3) This Plan was prepared for architectural design and site servicing purposes, and is for the exclusive use of our client. The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of reproduction, transmission or alteration to this document without consent of the signatory.
- 4) Prior to any construction, underground services are to be confirmed by Municipal Engineering Dept.
- 5) If there is any conflict in information between the hard copy of this Plan and the digital data provided, the hard copy shall be taken to be correct. Any information taken from digital data shall be confirmed by information shown on the hard copy of this plan.
- 6) Tree diameters are taken at 1.4m above grade and are shown in cm. All trees 30cm and larger on project and any trees required by Surrey's Tree Preservation By-law are shown. Tree canopy locations are approximate and root protection zones should be determined by a qualified arborist.
- 7) Building offsets are shown to outside of siding.

Onderwater Land Surveying Ltd.
B.C. Land Surveyors
#104 - 5830 176 'A' Street
Cloverdale, B.C.
FILE: JS15115_TP2

Plan updated January 17, 2017
Certified correct, completed on
the 25th day of November, 2015.

DATE: 2017-05-30 - 11:13am
 PATH: N:\ENV-FS-R\Night\Environmental Files\2017\Surrey-White Rock\2164-01-01\2164-01-02.dwg
 LAYOUT: 2164-01-02



SURREY FIREFIGHTERS ASSOCIATION

envirowest consultants inc.
 Suite 101 - 1515 Broadway Street
 Port Coquitlam, British Columbia
 Canada V3C 6M2
 office: 604-944-0502
 facsimile: 604-944-0507
 www.envirowest.ca

BYLAW SETBACK

- REFERENCE DRAWINGS**
1. Email: 2017-02-10_FireHall7 FINAL feb 10.dwg, Received March 10, 2017 from City of Surrey.
 2. Email: 316-0079 Septic Drawings.dwg, Received May 02, 2017, City of Surrey.
 3. 2014 Legal Base From City of Surrey.

FIRE HALL 7
 Surrey, BC

DESIGN: RWS	DRAWN: SCM	CHECKED: IWW	REVISION: 02	REVISION DATE: May 03, 2017
SCALE: 1:250			DRAWING NUMBER: 2164-01-02	
DATE: December 16, 2016				

INTER-OFFICE MEMO

**TO: Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: May 1, 2017 **PROJECT FILE: 7816-0143-00**

**RE: Engineering Requirements (Commercial)
Location: 18922 88 Avenue**

HERITAGE REVITALIZATION AGREEMENT

Property and Right-of-Way Requirements

- Provide a 0.50 m Statutory Right-of-Way along the 88 Avenue frontage.

Works and Services

- Construct asphalt curb returns for driveway access.
- Enter into a Highway License Agreement to allow for parking within the road allowance.
- Construct a storm sewer along 88 Avenue.
- Construct on-site stormwater management features.
- Provide water and storm service connections to service the proposed development.
- Construct an on-site sewage disposal system to service the proposed development. The system must meet a minimum Type 2 discharge criteria and provide additional nitrogen reduction treatment.
- Register restrictive covenants on title for the on-site stormwater mitigation, water quality features, and on-site sanitary system, as determined through detailed design.

A Servicing Agreement is required prior to finalization of the Heritage Revitalization Agreement.



Rémi Dubé, P.Eng.
Development Services Manager
CE4

- **Storyboard Update** - Staff noted that there were 10 story boards to be replaced (and installed) using the superior product that the Commission has endorsed; all the storyboards will be installed by February 23-24, 2017. This item can be removed from the Task List.

It was Moved by Commissioner Priddy
Seconded by Commissioner Plug
That the Surrey Heritage Advisory
Commission (SHAC) receive the "SHAC Task List" as information.
Carried

- (d) **Port Kells Fire Hall No. No. 7 18922 - 88 Avenue - Proposed Heritage Revitalization Agreement (HRA)**
File: 6800-10

The following comments were made:

- The Commission noted that the Fire Hall has been a gathering point and it has been very historically special because of the various purposes it has served within the community.
- The Commission noted that any future storyboard on the property should include how the uses have changed over the years to support the needs of the Community.
- Staff noted that this project would be a very positive story that members of the Commission can share with members of the Public. It is currently a City owned property and prior to the sale; the City is ensuring there are protection measures in place.
- The Chair noted that this building is an excellent example of heritage preservation in a modern-day environment.

The Chair requested that creation and installation of storyboard to denote the historical significance of the site be placed on the SHAC Task List for future discussion as the project gets closer to completion.

It was Moved by Commissioner Tannen
Seconded by Commissioner Priddy
That the Surrey Heritage Advisory
Commission (SHAC):

1. Receive the "Port Kells Fire Hall No. No. 7 18922 - 88 Avenue - Proposed Heritage Revitalization Agreement (HRA)" report as information; and

2. Recommend to the General Manager, Planning and Development that the proposed HRA for Port Kells Fire Hall No. 7 be forwarded to Council for consideration following City Architect and Legal Review and the finalization of proposed variances related to use, density, building setbacks, streamside setbacks, parking, landscaping, and sanitary servicing requirements, as described in Appendix IV of the report.

Carried

2. PARKS, RECREATION & CULTURE

- (a) **2017 Surrey Civic Treasure Awards Program**
File: 0290-20

It was Moved by Commissioner Tannen
Seconded by Commissioner Priddy
That the Surrey Heritage Advisory

Commission (SHAC):

1. Receive the **2017 Surrey Civic Treasure Awards Program** memo as information; and
2. The Commission nominate **Commissioner Evans** as the SHAC representative to the 2017 Surrey Civic Treasure Awards Selection Committee.

Carried

3. ENGINEERING

4. LEGISLATIVE SERVICES

E. CORRESPONDENCE

TREE PROTECTION PLAN

88th AVENUE

SCALED TO FIT



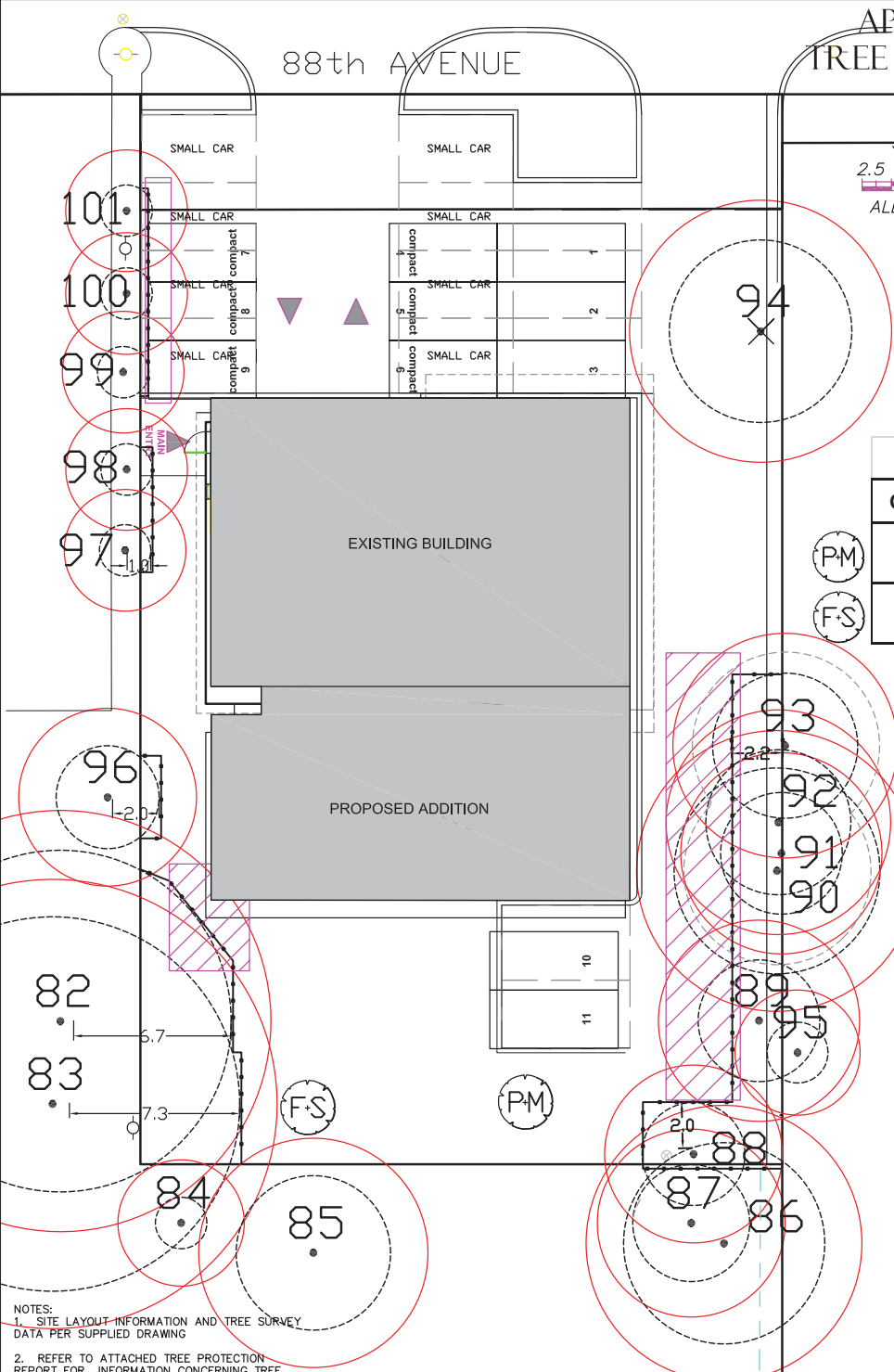
ALL DISTANCES ARE IN METRES



REPLACEMENT TREES		
QTY	Type	Size
1	Paperbark Maple	6cm
1	Fragrant Snowbell	6cm

NOTES:
 PLANTS IN THE PLANT LIST ARE SPECIFIED ACCORDING TO THE LANDSCAPE CANADA GUIDE SPECIFICATIONS FOR NURSERY STOCK AND THE BCNTA STANDARD FOR CONTAINER GROWN PLANTS.

ALL LANDSCAPING AND LANDSCAPE MATERIALS CONFORM TO THE LATEST EDITION OF THE BCNTA/BCSLA "LANDSCAPE STANDARDS".



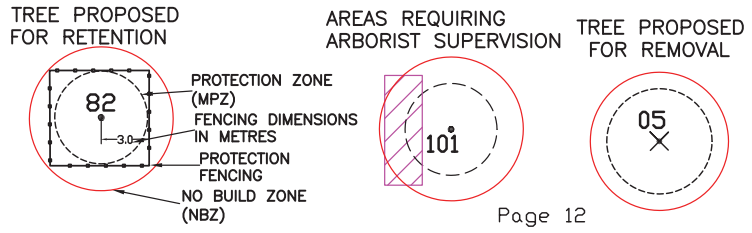
- NOTES:
 1. SITE LAYOUT INFORMATION AND TREE SURVEY DATA PER SUPPLIED DRAWING
 2. REFER TO ATTACHED TREE PROTECTION REPORT FOR INFORMATION CONCERNING TREE SPECIES, STEM DIAMETER, HEIGHT, CANOPY SPREAD AND CONDITION.
 3. ALL MEASUREMENTS ARE METRIC

Froggers Creek
 Tree Consultants Ltd
 7763 McGregor Avenue Burnaby BC V5H 4H4
 Telephone: 604-721-6002 Fax: 604-437-0970
 18922 88th Avenue, Surrey
TREE PROTECTION DRAWING
 THE DRAWING PLOTS ALL TREES, PROPOSED FOR RETENTION, THEIR PROTECTION ZONES AND PROTECTION FENCING IN RELATION TO PROPOSED LAYOUT
 March 7, 2017

TREE PROTECTION FENCING				
Minimum Radial Distance from trunk				
#	Type	DBH	Metres	Feet
82	Douglas Fir	112cm	6.7m	22.0ft
83	Douglas Fir	122cm	7.3m	24.0ft
88	Black Locust	33cm	2.0m	6.6ft
96	Japanese Maple	9/9/9cm	2.0m	6.6ft
97	Hawthorne	13cm	1.0m	3.3ft
98	Hawthorne	13cm	1.0m	3.3ft
99	Hawthorne	14cm	1.0m	3.3ft
100	Hawthorne	15cm	1.0m	3.3ft
101	Hawthorne	15cm	1.0m	3.3ft

TREE INVENTORY					
#	Type	Action	DBH	MPZ	NBZ
82	Douglas Fir	Retain	112cm	6.7m	8.2m
83	Douglas Fir	Retain	122cm	7.3m	8.8m
84	Honey Locust	Retain	17cm	1.0m	2.5m
85	Portuguese Laurel	Retain	30/25/25	3.0m	4.5m
86	Red Alder	Retain	55/45cm	4.0m	5.5m
87	Cherry	Retain	38cm	2.3m	3.8m
88	Black Locust	Retain	33cm	2.0m	3.5m
89	Red Alder	Retain	40cm	2.4m	3.9m
90	Black Locust	Retain	40/35/30	4.0m	5.5m
91	Laurel	Retain	40cm	2.4m	3.9m
92	Douglas Fir	Retain	48cm	2.9m	4.4m
93	Douglas Fir	Retain	48cm	2.9m	4.4m
94	Black Locust	Remove	60cm	3.6m	5.1m
95	J. Maple	Retain	20cm	1.2m	2.7m
96	Japanese Maple	Retain	9/9/9cm	2.0m	3.5m
97	Hawthorne	Retain	13cm	1.0m	2.5m
98	Hawthorne	Retain	13cm	1.0m	2.5m
99	Hawthorne	Retain	14cm	1.0m	2.5m
100	Hawthorne	Retain	15cm	1.0m	2.5m

LEGEND



DBH-trunk diameter, MPZ-protection zone, NBZ-no build zone

Tree Preservation Summary

Surrey Project No:

Address: 18922 88th Avenue Surrey

Registered Arborist: Glenn Murray

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	7
Protected Trees to be Removed	1
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	6
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u> 0 </u> X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio <u> 1 </u> X two (2) = 2	2
Replacement Trees Proposed	2
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u> 0 </u> X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio <u> 0 </u> X two (2) = 0	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

Summary, report and plan prepared and submitted by:



(Signature of Arborist)

7-Mar-17

Date

SURREY'S HERITAGE EVALUATION WORKSHEET

Address	18922 - 88 Avenue
Local Area	Port Kells
Building / Natural Feature	Port Kells Fire Hall No. 7
Construction Date	1923
Current Owner / Applicant	City of Surrey
Evaluated By	Hugh McLean
Inspection Date	September 1998

SECTION 1 - HISTORY (If Known)

Excellent = 9-10 Very Good = 7-8 Good = 5-6 Fair = 3-4 Poor = 1-2

<p>Historical Context / Association with Events/People: The building has been associated with volunteer fire fighters and has played an extremely important role in the growth of Port Kells, in its development from an outlying village to a suburban community of Surrey.</p> <p>Cultural Association / Community Importance: In 1935, the building was leased for a 30-year term to the Port Kells Congregation of the United Church of Canada. Church services were held in the Hall until 1947, when it was leased to the District for use as a Fire Hall.</p>	8 / 10
--	--------

<p>Ownership / Construction History: The Hall was built by the Surrey Farmers Institute sometime around 1923. Two bay extensions were added on the east side in the fall of 1967. The site was owned by the Port Kells Progressive Society (Farmers Institute) from 1923 to 1956, and since then has been owned by the City.</p> <p>Designer / Builder (If Known): The original designer and builder are not known. The addition was designed by Louke B. Kleyn, Architect, and built by Timm Construction Company.</p>	7 / 10
---	--------

SECTION 2 - SITE AND CONTEXT EVALUATION

Excellent = 7-8 Very Good = 5-6 Good = 3-4 Fair = 1-2 Poor = 0

<p>Landmark Value: There is an unobscured view of the Fire Hall from 88 Avenue.</p>	8 / 8
--	-------

Excellent = 4 Very Good = 3 Good = 2 Fair = 1 Poor = 0

<p>Context / Streetscape: The Hall is placed near the intersection of 88 Avenue and Harvie Road. Commercial uses are located on the north side of 88 Avenue. A park and other commercial uses are located to the west. It is the central point for Port Kells activity.</p>	3 / 4
--	-------

<p>Setting / Site Description and Features: There is an asphalt driveway, and gravel surface at the sides and rear. It has not been landscaped due to space constraints and the need to have easy access for emergency vehicles.</p>	2 / 4
---	-------

<p>Environmental Value: The site has little environmental value, except for trees and shrubs around the periphery.</p>	0 / 4
---	-------

SECTION 3 - ARCHITECTURAL EVALUATION

Excellent = 9-10 Very Good = 7-8 Good = 5-6 Fair = 3-4 Poor = 1-2

Stylistic Influence: Vernacular

<p>Design Features: <i>Exterior (Cladding, Trim, etc.):</i> The building is a bulky two storey massing, a rectangular main building with two bay additions on the east side. It is covered in aluminum siding, which replaced the original cladding. The north side of the upper gabled roof vent is clad in older wood. An outdoor staircase leads up to the upper floor door with enclosed portico. Another door is located directly below on the main floor. <i>Windows - Type, Assembly:</i> The upper floor has paired wood frame casement windows, with double panes split by a horizontal muntin. Two pairs are at the front, two pairs at the west side and a single casement window is at the rear. The lower floor has a triple pane fixed or casement window split by horizontal muntins. <i>Roof Type, Material:</i> The hipped roof of the original Hall is covered in asphalt shingles, while the flat roof of the east addition is covered in tar and gravel.</p>	7 /10
---	-------

<p>Unique Details or Design Elements: <i>Exterior:</i> The glazing patterns and lack of detail indicate the influence of Modernism. The window types appear in 'Moderne' structures of the late 1930's and 1940's, with horizontal split panes. A louvered vent is placed in the upper front gable. There is a louvered roof vent at the rear apex with a chamfered gable peak. <i>Interior:</i> Not assessed.</p>	6 /10
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SECTION 4 - PHYSICAL ASSESSMENT

Excellent = 9-10 Very Good = 7-8 Good = 5-6 Fair = 3-4 Poor = 1-2

<p>Architectural Integrity: <i>Exterior:</i> The entire ground floor has been altered with new doors, and garage doors. It has been modernized and improved with aluminum siding which from a distance is a good reproduction of wood siding. The upper floor is much to the original form. <i>Interior (Where Applicable):</i> Not assessed.</p>	6 /10
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Excellent = 5 Very Good = 4 Good = 3 Fair = 1-2 Poor = 0

<p>Architectural Condition: <i>Foundation / Structure:</i> The concrete foundation and wood frame (original section of Hall) and post and beam laminated beams (extension) are in very good condition.</p>	4 /5
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Excellent = 5 Very Good = 4 Good = 3 Fair = 1-2 Poor = 0

<p>Additions / Alterations: A significant number of alterations, and one major addition, have taken place. The building did not have a great deal of original detail to remove, but the most significant alterations have been replacement of siding on the original structure and vertical cedar siding on the main side and replacement of vehicle doors and entrance doors. The addition on the east side is done in a very different style, but it does not obscure the massing of the original Hall.</p>	2 /5
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SECTION 5 - USABILITY

Excellent = 9-10 Very Good = 7-8 Good = 5-6 Fair = 3-4 Poor = 1-2

Compatibility With Context: The Fire Hall is located adjacent to commercial and community facilities. It is in a central location, which is appropriate for such a facility.	9 /10
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Potential for Use / Future Use (If Known): The building appears to have good potential for continued use as a fire hall, given the adaptations that have been done over the years.	8 /10
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SECTION 6 - OVERALL HERITAGE SIGNIFICANCE

Summary and Recommendations: The Fire Hall has primarily historical significance in the post-war development of Port Kells as a suburban community. Recommended for addition to Heritage Register.
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Documentation and Reference Material: Surrey's Heritage, Volume 4. Site visit and photographs.
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**TOTAL: 70/100¹
or 70%**

¹ Where information is not available or not applicable, scoring must be left blank and the maximum of 100 must be discounted by an equivalent amount. A site may be considered for the Heritage Register with a score of at least 70/100 or equivalent percentage if discounted.

CITY OF SURREY

BY-LAW NO.

A by-law to enter into a heritage revitalization agreement

.....

WHEREAS:

- A. The Council may by by-law pursuant to Part 15 of the Local Government Act, R.S.B.C. 2015, Chapter 1, as may be amended from time to time, enter into a heritage revitalization agreement with the owner of heritage property;

- B. The Council considers that certain lands, premises and improvements have *heritage value* and *heritage character* and ought to be conserved, which are situate within the City and described as:

Parcel Identifier: 029-845-793
 Lot 1 Section 28 Township 8 New Westminster District Plan EPP60921

18922 88 Avenue

(the "Lands");

- C. The owner of the Lands and the City of Surrey have agreed on the nature, character and extent of the *heritage value* and *heritage character* of the Lands and on the nature, extent and form of conservation necessary to protect the *heritage value* and *heritage character* of the Lands;

NOW THEREFORE, the City Council of the City of Surrey, in open meeting assembled, enacts as follows:

- 1. The City is authorized hereby to enter into that certain Heritage Revitalization Agreement appended to this By-law as Schedule "I" (the "Heritage Revitalization Agreement") in respect of the Lands.

- 2. The Mayor and the City Clerk are authorized on behalf of the Council to sign the Heritage Revitalization Agreement and to register a notice on the title of the Lands.

3. Schedule "I" forms a part of this By-law.

4. This By-law may be cited for all purposes as "City of Surrey Heritage Revitalization Agreement By-law, 20 , No._____."

READ A FIRST AND SECOND TIME on the ____ day of ____ 20 .

PUBLIC HEARING HELD thereon on the ____ day of ____ 20 .

READ A THIRD TIME on the ____ day of ____ 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the ____ day of ____ 20 .

_____ MAYOR

_____ CLERK

SCHEDULE "I"

[To City of Surrey Heritage Revitalization Agreement By-law, 20 , No._____]

HERITAGE REVITALIZATION AGREEMENT

This Agreement made the ___ day of _____, 20

BETWEEN:

CITY OF SURREY,
as represented by Realty Section, Engineering Department
13450 104 Avenue
Surrey, British Columbia V3T 1V8

(the "Owner")

OF THE FIRST PART

AND:

CITY OF SURREY, a municipal corporation,
and having offices at 13450 104 Avenue
Surrey, British Columbia V3T 1V8

(the "City")

OF THE SECOND PART

WHEREAS:

- A. The Owner is the registered owner in fee simple of the following lands and premises situate in the City of Surrey, British Columbia and described as:

Parcel Identifier: 029-845-793
Lot 1 Section 28 Township 8 New Westminster District Plan EPP60921

18922 88 Avenue

(the "Lands");

- B. The Owner and the City consider that the Lands, including the improvements and features on the Lands, have *heritage value* and *heritage character*;
- C. The Owner and the City desire to conserve the *heritage value* and *heritage character* of the Lands;
- D. For the purpose of conservation of the *heritage value* and *heritage character* of the Lands, the Owner and the City have agreed to enter into this Agreement setting out the terms and conditions of continuing protection for the *heritage value* and *heritage character* of the Lands;

- E. The Owner has agreed to the terms for compensating the City for the loss in *heritage value* in accordance with Section 2(f) of this Agreement in the event the heritage improvements or features on the Lands are moved or destroyed other than through natural causes;
- F. The improvements or features on the Lands which have *heritage value* and *heritage character* which both the Owner and City desire to conserve have been described by text, photographs, plans and drawings attached to this Agreement as Appendix "A" (the "Conservation Plan") and Appendix "B" (the "McGinn Engineering & Preservation Ltd. Plan");
- G. The improvements or features identified in the Conservation Plan as the Port Kells Fire Hall No. 7 (the "Fire Hall") is listed on the Surrey Heritage Register and the Owner and the City consider that the Fire Hall has *heritage value* and *heritage character* such that all provisions of this Agreement applicable to the Lands also apply to the Fire Hall; and
- H. The Lands are subject to variances contained in Appendix "C".

NOW THEREFORE THIS AGREEMENT WITNESSES that in consideration of the mutual premises of the parties hereto and for other good and valuable consideration (the receipt and sufficiency of whereof is hereby by the parties acknowledged) the Owner and the City covenant and agree with one another pursuant to Section 610 of the Local Government Act, R.S.B.C. 2015, Chapter 1, as amended, re-enacted or consolidated from time to time and any successor statute (the "Local Government Act"), as follows:

Conservation Plan

- 1. (a) The Conservation Plan and the McGinn Engineering & Preservation Ltd. Plan form part of this Agreement. To the extent that the text, photographs, plans and drawings constituting the Conservation Plan or McGinn Engineering & Preservation Ltd. Plan require interpretation, the City shall be, in the first instance, the interpreter of the Conservation Plan and McGinn Engineering & Preservation Ltd. Plan and shall determine the matter. If the Owner is dissatisfied with the City's interpretation, then Section 15 of this Agreement shall apply.
- (b) Part I of the Conservation Plan identifies, details and describes the character, extent and nature of the improvements and features on the Lands that have *heritage value* and *heritage character*. Part II of the Conservation Plan sets out the maintenance strategy, general standards and exemptions for the *conservation* and maintenance of all improvements and features on the Lands that have *heritage value* and *heritage character*. Part III of the Conservation Plan sets out the standards and specifications for restoration, rehabilitation, replication, repair, replacement or maintenance of the Fire Hall and Lands to be undertaken and completed pursuant to this Agreement, including, but not limited to: form, scale and massing; garage doors; cladding; windows; fascia and trim; soffits; roof surface; and hose tower.

Owner's Obligations to Protect, Conserve, Maintain and Rebuild

2. The Owner covenants and agrees that:
- (a) No improvements on the Lands identified in the Conservation Plan as having *heritage value* or *heritage character* shall be *altered*, including alterations required or authorized by this Agreement, except as agreed to in writing by the City.
 - (b) Each action of restoration, rehabilitation, replication, repair, replacement or maintenance required by Parts I, II, and III of the Conservation Plan and the McGinn Engineering & Preservation Ltd. Plan shall be commenced and completed in accordance with the timing, phasing, standards and specifications set out the Conservation Plan.
 - (c) All improvements identified in the Conservation Plan as having *heritage value* and *heritage character* shall be maintained to the minimum standards and in accordance with the guidelines and requirements set out in the Conservation Plan and the McGinn Engineering & Preservation Ltd. Plan.
 - (d) In the event the Fire Hall is damaged, the Owner of the Lands accepts the obligation to undertake all necessary construction to restore the damaged portion or portions of the Fire Hall to its original condition. The Owner is required to apply for and to hold a heritage alteration permit specifying the measures to be taken to restore the damaged portion or portions of the Fire Hall. The heritage alteration permit shall be subject to review and approval by the Heritage Advisory Commission. The restoration of the Fire Hall shall reflect the character-defining elements and design components including, but not limited to: distinctive massing of two discernable forms – the rectangular, two storey, gabled roofed original building, and the rectangular, one storey, flat roof east addition; original wood window frames with projecting sills at the second floor; original fixed, muntined, vertical three-paned windows (2) at the ground floor, west façade; gabled hose towner which extends above the original roof line; surviving wood overhead with upper glazed panels at the west original fire hall overhead door opening; and the fireman's pole, extending between the first and second floor, all as subject to approval by the City Architect or designate.
 - (e) In the event the Fire Hall is destroyed, the Owner of the Lands accepts the obligation to undertake all necessary construction to create a replica of the Fire Hall. The Owner is required to apply for and to hold a heritage alteration permit specifying the measures to be taken to create a replica of the Fire Hall. The heritage alteration permit shall be subject to review and approval by the Heritage Advisory Commission. The construction of the replica of the Fire Hall shall reflect the character-defining elements and design components as described in Section 2(d), all as subject to approval by the City Architect or designate.

- (f) In the event that the Fire Hall is destroyed, in addition to the construction of a replica described in 2(e), the Owner covenants and agrees to compensate the City for the loss in *heritage value* to the community in the amount of \$28,890.65 indexed to the Vancouver Consumer Price Index (CPI) with 2017 being the base year, except that if the Fire Hall is destroyed through natural causes, including but not limited to, flood, earthquake and accidental fire as determined by the City in its sole discretion, and a replica is constructed by the Owner that is acceptable to the Heritage Advisory Commission or any successor decision making body in its sole discretion, then payment of compensation by the Owner to the City is not required.
- (g) Should the Fire Hall become vacant and unoccupied, the Owner of the Lands agrees to maintain the integrity and security of the Fire Hall and Lands including, but not limited to, on-site security, monitored security alarm system, perimeter fencing and lighting, and boarding of windows and doors. The Owner of the Lands must provide to the City in writing a 24-hour emergency contact number and confirm the security measures are in place. If the Owner fails to secure the Fire Hall, the City may and is authorized to enter onto the Lands to undertake the necessary works to secure the Fire Hall, and the cost shall be at the expense of the Owner and the City shall be at liberty to recover the costs in a like manner as City property taxes on the Lands and to conduct inspections to determine that the security measures continue to be in place.
- (h) Should the Fire Hall become vacant and unoccupied during construction or other redevelopment of the Lands, the Owner agrees to post a sign that reads as follows:

PROTECTED HERITAGE SITE
No Vandalism or Removal of Materials
(Maximum individual penalty: \$50,000 and 2 years Imprisonment)

If the Owner fails to post the required sign, the City may and is authorized to post the sign, and the cost shall be at the expense of the Owner and the City shall be at liberty to recover the costs in a like manner as City property taxes on the Lands.

- (i) Once the Fire Hall is occupied, there must be appropriate security measures in place to maintain the integrity and security of the Fire Hall and Lands. Should the Fire Hall become vacant and unoccupied for a period of 30 days or more, the requirements in 2(g) apply, including the right of the City to enter onto the Lands to carry out the necessary works at the expense of the Owner and confirm that security measures are in place, unless otherwise agreed to in writing by the City. The Owner of the Lands must also provide to the City in writing a 24-hour emergency contact number.
- (j) The Owner shall do or cause to be done all such things, and shall take or cause to be taken all such actions, as are necessary to ensure that the restrictions and requirements set out in Parts II and III of the Conservation Plan and in the McGinn Engineering & Preservation Ltd. Plan are fully observed, and the Owner shall not do, cause or allow to be done anything

that would be in breach of the restrictions and requirements of this Agreement.

- (k) Where required by the City in a heritage alteration permit, the Owner shall provide security to the City to guarantee the performance of the terms, requirements and conditions contained in the Conservation Plan and the McGinn Engineering & Preservation Ltd. Plan.
- (l) The Owner may apply to the City for funding including, but not limited to, monies for exemption from taxes, or any provision for assistance as specified in Section 25 of the Community Charter, S.B.C. 2003, c.26 (the "Community Charter").

Variations to By-laws

- 3. The Lands are subject to variances contained in Appendix "C".

Construction and Maintenance

- 4. Wherever under this Agreement the Owner relocates, restores, rehabilitates, replicates, repairs, replaces, maintains or in any way alters improvements on, or features of the Lands identified in the Conservation Plan as having *heritage value* and *heritage character* or constructs or maintains other works to protect or conserve such improvements or features, all such work shall be done at the Owner's sole expense strictly in accordance with the Conservation Plan and the McGinn Engineering & Preservation Ltd. Plan and as agreed by the City in writing and all improvements or features shall be diligently and continuously maintained in good repair and efficient operating condition by the Owner at the Owner's sole expense in accordance with good engineering, design, heritage and conservation practice.

No Liability to City

- 5. In no case shall the City be liable or responsible in any way for:
 - (a) any personal injury, death or consequential damage of any nature whatsoever, howsoever caused, that may be suffered or sustained by the Owner or by any other person who may be on the Lands; or
 - (b) any loss or damage of any nature whatsoever, howsoever caused to the Lands or any improvements or personal property thereon belonging to the Owner or to any other person,arising directly or indirectly from compliance with the restrictions and requirements of this Agreement, wrongful or negligent failure or omission to comply with its restrictions and requirements, or refusal, omission or failure of the City to enforce or require compliance by the Owner with the restrictions or requirements or with any other term, condition or provision of this Agreement.

Reasonable Care and Risk

6. The Owner shall at all times, in complying with the restrictions or requirements of this Agreement, take reasonable care not to injure any person or cause or allow damage to any property, and shall take reasonable care not to cause, suffer, permit or allow any condition to exist that might reasonably lead to, cause or result in injury to any person or property including persons and property on adjacent lands. It shall be the sole responsibility of the Owner to comply and maintain compliance with the restrictions and requirements in a safe manner, and without reasonably foreseeable risk to person or property. Compliance with the restrictions and requirements in this Agreement shall be at the sole and exclusive risk and cost of the Owner.

Modification

7. If, in fulfilling its responsibilities and obligations pursuant to this Agreement, the Owner perceives or becomes aware of any unreasonable risk of injury to persons or damage to property or other potential loss that cannot be reasonably avoided, alleviated, reduced or eliminated except by measures that would be a breach of the restrictions, requirements of this Agreement, the Owner shall notify the City in writing of the nature and extent of the risk and of the measures proposed by the Owner to be undertaken at its sole cost to reduce, alleviate, avoid or eliminate the risk. Risk shall remain with the Owner.

Indemnity

8. The Owner shall at all times indemnify and save harmless the City and its elected and appointed officials, employees, contractors and agents of and from all loss and damage, and all actions, claims, costs, demands, expenses, fines, liabilities and suits of any nature whatsoever by whomsoever brought for which the City shall or may become liable, incur or suffer by reason of existence and effect whether direct or indirect of the restrictions or requirements of this Agreement, or breach or nonperformance by the Owner of any covenant, term or provision hereof, or by reason of any work or action of the Owner in performance of this Agreement, or by reason of any work or action of the Owner in performance of its obligations, or by reason of any wrongful act or omission, default or negligence of the Owner.

Alternative Remedies

9. Any performance by the City pursuant to a statutory right to perform the obligations of an Owner arising out of this Agreement may be exercised fully in accordance with the Local Government Act and the Community Charter, and shall be without prejudice to any and all other remedies at law and equity available to the City, and no reference in this Agreement to, or exercise of any specific right or remedy by the City, shall preclude the City from exercising any other right or remedy.

Damages

10. The Owner covenants and agrees that the measure of damages for any breach of the restrictions or requirements of this Agreement shall include, but shall not be limited to, the actual cost and expense of all administration, labour, materials, equipment, services and work required for all remedial acts necessary to fully restore, rehabilitate, replace, repair or maintain the building, structure, improvements on or features of the Lands having *heritage value* and *heritage character* to be protected, conserved, preserved or kept in its natural state. The nature and extent of any breach of the said restrictions and requirements, and the nature and extent of any relocation, restoration, rehabilitation, replacement, maintenance or remedial work or action of any nature required to remedy such breach shall be determined by the City by reference to the Conservation Plan and the McGinn Engineering & Preservation Ltd. Plan, and Sections 2 and 4 of this Agreement.

No Waiver

11. No restrictions, requirements or other provisions in this Agreement shall be deemed to have been waived by the City unless a written waiver authorized by resolution of the Council and signed by an officer of the City has first been obtained, and without limiting the generality of the foregoing, no condoning, excusing or overlooking by the City on previous occasions of any default nor any previous written waiver shall be taken to operate as a waiver by the City of any subsequent default or in any way to defeat or affect the rights of remedies to the City.

Statutory Authority and Proprietary Rights

12. Nothing in this Agreement shall limit, impair, fetter, or derogate from the statutory powers of the City all of which powers may be exercised by the City from time to time and at any time to the fullest extent that the City is enabled and no permissive by-law enacted by the City, or permit, license or *approval*, granted, made or issued hereunder, or pursuant to statute, by the City shall stop, limit or impair the City from relying upon and enforcing this Agreement.

Compliance with Laws

13. Despite any provision of this Agreement, the Owner shall comply with all laws, including by-laws of the City and all regulations and orders of any authority having jurisdiction, and to the extent only that such laws, regulations and orders are mandatory and necessarily require the breach of any restriction or positive obligation of this Agreement to be observed or performed by the Owner, or less than strict compliance with the terms hereof, then the Owner upon sixty (60) days' written notice to the City shall be excused from complying with such restrictions or performing such obligation and such restriction or obligation shall be suspended but only to the extent and for the time that such mandatory law, regulation or order is inconsistent with compliance with the said restrictions or obligations.

Notice

14. Any notice to be given under this Agreement shall be in writing and may be either delivered personally or sent by prepaid registered mail and if so mailed shall be deemed to have been given five (5) days following the date upon which it was mailed. The address of the parties for the purpose of notice shall be as follows:

If to the City:

Attention: City Clerk
CITY OF SURREY
13450 104 Avenue
Surrey, British Columbia V3T 1V8

If to the Owner:

Attn: Realty Section, Engineering Department
CITY OF SURREY
13450 104 Avenue
Surrey, British Columbia V3T 1V8

Any party may at any time give notice in writing to the other of any change of address and after the third day of giving of the notice, the address specified in the notice shall be the address of the party for the giving of notices.

If title to the Lands is transferred to a new Owner, the new Owner shall provide notice in writing to the City within 15 days of such a transfer providing the name of the new Owner, the contact for notice if it is different than the Owner and the new Address to which notices are to be sent.

Arbitration

15. The Owner, if dissatisfied with the City's interpretation of the Conservation Plan and the McGinn Engineering & Preservation Ltd. Plan and any determination pursuant to Section 1(a) of this Agreement may require that the matter be decided and determined by binding arbitration as follows:
- (a) The Owner must, within thirty (30) days of any exercise of discretion by the City, give notice to the City of its intention to dispute and in such notice shall name a member in good standing of the Architectural Institute of British Columbia who has agreed to act as an arbitrator;
 - (b) The City shall within thirty (30) days of receipt of the aforesaid notice either accept the Owner's arbitrator, or name another with the same qualifications willing to act, and shall give notice of the same to the Owner;
 - (c) Where each of the Owner and the City have named an arbitrator, the two arbitrators shall within thirty (30) days of the City's notice pursuant to Section 15(b) appoint a third arbitrator having the same qualifications and the three arbitrators shall decide the dispute;
 - (d) Where the City accepts the arbitrator first selected by the Owner, that arbitrator shall act as a single arbitrator and forthwith decide the dispute;

- (e) Any arbitrator's decision in respect of the exercise of discretion by the City shall be final, conclusive and binding on all parties;
 - (f) The arbitrator shall award the prevailing party full compensation for all costs and expenses of the arbitrator, costs and fees of the proceedings and solicitor-client costs and expenses; and
 - (g) The arbitrator shall issue a final decision regarding the dispute within twenty-five (25) business days after the arbitrator's appointment, subject to extension of that time by agreement of the parties.
16. Without limiting the City's power of inspection conferred by statute and in addition to that power, the City shall be entitled at all reasonable times and with reasonable notice to enter onto the Lands from time to time for the purpose of ensuring that the Owner is fully observing and performing all of the restrictions and requirements in this Agreement to be observed and performed by the Owner, and wherever possible, when an inspection of the Lands is undertaken, the City shall provide reasonable notice to the Owner.

Headings

17. The headings in this Agreement are inserted for convenience only and shall not affect the construction of this Agreement or any of its provisions.

Schedules

18. All schedules to this Agreement are incorporated into and form part of this Agreement.

Number and Gender

19. Whenever the singular or masculine or neuter is used in this Agreement, the same shall be construed to mean the plural or feminine or body corporate where the context so requires.

Interpretation

20. Terms used in this Agreement that are italicized are defined in the Local Government Act, and the Heritage Conservation Act, R.S.B.C. 1996, Chapter 187, as amended, re-enacted or consolidated from time to time and any successor statute, and shall take their meaning from those Acts.

Successors Bound

21. All restrictions, rights and liabilities imposed upon or given to the respective parties under this Agreement shall extend to and be binding upon their respective heirs, executors, administrators, successors and assigns. When the Owner is more than one party they shall be bound jointly and severally by the terms, covenants and agreements on the part of the Owner.

Notice to be Filed

22. Notice of this Agreement and amendments to it will be filed in the Land Title Office and once filed, this Agreement and amendments will be binding on all persons who acquire an interest in the Lands.

IN WITNESS WHEREOF the Owner and the City have executed this Agreement as of the date first above written.



CITY OF SURREY

NICHOLAS RAWCLIFFE
Manager Realty Services

CITY OF SURREY

Linda Hepner
Mayor

Jane Sullivan
City Clerk

Appendix "A"

CONSERVATION PLAN

PART I – HISTORICAL AND ARCHITECTURAL BACKGROUND

1. Description of Historic Place

The Port Kells Fire Hall No. 7 (“Fire Hall”) is located at 18922 88 Avenue, Surrey. The two-storey wood framed building features a vernacular agricultural hall design. It was adapted to a Fire Hall with the east addition and hose tower.

2. Heritage Value of Historic Place

The Fire Hall is a two-storey wood frame building located on 88th Avenue, adjacent to the Port Kells Community Hall. The main building was erected in 1923 by the Surrey Farmers Institute for use as an Agricultural Hall. The Institute then leased the building to the Port Kells Congregation of the United Church of Canada from 1935 to 1947 when it was then leased to the District of Surrey for use as a fire hall. A one-storey, flat roof addition of two vehicle bays on the east side was designed by Louke B. Kleyne, Architect and constructed in 1967.

The value of the Fire Hall lies in the social and historical significance of its integral role in the growth of Port Kells, in its development from an outlying village to a suburban community of Surrey. The Fire Hall is also valued for its architectural significance as a vernacular agricultural hall design, as there are very few of these buildings remaining. It was later adapted to a fire hall with the east addition and hose tower.

3. Character Defining Elements

Key elements that define the heritage character of the Fire Hall include its:

- Location in the heart of Port Kells, adjacent to the Library,
- Its distinctive massing of two discernable forms – the rectangular, two-storey, gabled-roofed original building, and the rectangular, one-storey, flat roof east addition,
- Original wood window frames with projecting sills at the second floor,
- The original fixed, muntined, vertical three-pane windows (2) at the ground floor, west façade,
- The gabled hose tower, which extends above the original hall roof line,
- The surviving wood overhead, wood-paneled garage door with 12 lites in the west bay,
- The fireman’s pole, extending between the first and second floor.

PART II – MAINTENANCE STANDARDS AND PERMIT APPROVALS

1. General

A. Requirement to Commence Renovations

The restoration of the Fire Hall, including works that are consistent with Part III – Restoration Standards and Specifications, must commence within 60 days following the adoption of a by-law to enter into this Agreement.

B. Maintenance Strategy

The strategy to ensure ongoing conservation of the Fire Hall shall consist of a Maintenance Plan and a Funding Strategy.

The Maintenance Plan shall be prepared with input from a conservation architect or qualified heritage consultant that is acceptable to the City. Issues to be addressed in the Maintenance Plan include water penetration and damage from sun, wind, weather and animals. Maintenance includes, but is not limited to, painting or staining, sealing, weather-stripping and the like.

The Funding Strategy shall include, but is not limited to, whether or not the Owner intends to absorb all the costs, undertake fundraising or seek government financial incentives, including those available from the City.

The Owner shall submit a Maintenance Plan and Funding Strategy for review and approval by the General Manager, Planning and Development and the Heritage Advisory Commission within one (1) year of the adoption of a by-law to enter into this Agreement.

The Maintenance Plan and Funding Strategy for the Fire Hall shall include, but is not limited to, the following:

- (a) A description and a time schedule for the renovations, repair, and replacement of the exterior elements, *landscaping* or other identified works on the Lands that constitute the character-defining elements and as identified in Part III – Renovation Standards and Specifications;
- (b) A description and time schedule for the ongoing maintenance of the elements, *landscaping* or other identified works on the Lands and other relevant details. Maintenance includes: painting, staining and sealing of the exterior cladding and trims, weather stripping, re-roofing, replacement of windows, doors and exterior cladding or trims to match the existing materials;
- (c) Ongoing maintenance of *landscaping*;
- (d) A colour scheme for the exterior of the Fire Hall;
- (e) A description of any matters noted in Part III – Renovation Standards and Specifications or in the plans attached to this Agreement as requiring further details; and
- (f) A financial plan detailing the funding for the renovation and maintenance outlined above, including corporate sponsorships, annual budgets by the Owner or tenant, applications for government grants, strata fees, and other relevant details.

C. Amending an Established Maintenance Strategy

An Owner may apply to the City to amend an existing Maintenance Plan and Funding Strategy. Any amendment is subject to approval by the General Manager, Planning and Development and, if deemed necessary by the General Manager, Planning and Development, the Heritage Advisory Commission.

2. Standards

The "Standards and Guidelines for the Conservation of Historic Places in Canada", established under the Historic Places Program or successor guidelines as may be approved by the City are to apply to all construction, maintenance, restoration or renovation works undertaken under Parts II or III on the Fire Hall.

3. Timing and Phasing

With respect to the phasing or timing of commencement or completion of action applying to the Lands, restoration of the Fire Hall shall commence within 60 days following the adoption of a by-law to enter into this Agreement and be carried out pursuant to a building permit issued by the City authorizing the works. The Owner shall insure that the restoration of the Fire Hall shall be completed and a final occupancy permit or equivalent for the Fire Hall shall be issued within one year of the adoption of a by-law to enter into this Agreement.

4. Heritage Alteration Permit(s) Approval

A. Changes to the building, structure, exterior appearance of the Fire Hall, features on the Lands identified in the Conservation Plan, the McGinn Engineering & Preservation Ltd. Plan or character-defining elements may require the Owner to apply for a heritage alteration permit or obtain approval from the City.

Proposed changes shall be referred to the Planning & Development Department of the City prior to the commencement of any work to determine if the changes require or do not require a heritage alteration permit.

B. A heritage alteration permit may not be required for alterations including, but not limited to, the following:

(a) changes to the Conservation Plan or the McGinn Engineering & Preservation Ltd. Plan that are considered by the City Architect to be minor in nature and not affecting the character-defining elements of the Fire Hall;

(b) restorations considered by the City Architect to be consistent with the original design, being made to replace stylistically foreign elements and done in consultation with an independent conservation architect or qualified heritage consultant acceptable to the City; or

(c) simple repair and maintenance of existing elements not affecting the *building* structure, exterior or interior appearance of the Fire Hall.

C. A heritage alteration permit shall be required for all but minor alterations including, but not limited to, the following:

- (a) changes to the Fire Hall structure;
- (b) changes to the exterior appearance of the Fire Hall;
- (c) replacement of existing elements and/or construction of additions to the Fire Hall;
- (d) changes to the external appearance of the Fire Hall due to interior renovations.

If a heritage alteration permit is determined to be required, the Owner shall apply to the City for a heritage alteration permit before undertaking any of the works listed in this Section 4.C.

After the heritage alteration permit application is submitted, the heritage alteration permit will be considered for issuance by City Council upon the recommendation of the General Manager, Planning and Development and the Heritage Advisory Commission, or by a City official delegated by City Council.

5. Building Permit Approval

Construction, alterations or other actions to be authorized by a building permit shall be consistent with the provisions of the Conservation Plan, McGinn Engineering & Preservation Ltd. Plan, and with heritage alteration permits sanctioning construction, alterations or other actions.

As the Fire Hall is recognized as a historic site, Building Code equivalencies may be used to lessen visual impacts on the historical appearance or authenticity of the *building*. To utilize Building Code equivalencies, the Owner shall retain a qualified architect that is acceptable to the City Architect.

6. Conditions

- A. The works specified in Part III and attachments to this Conservation Plan shall be supervised by a conservation architect or qualified heritage consultant acceptable to the City.
- B. The works specified in Part III and attachments to this Conservation Plan shall be approved by a conservation architect or qualified heritage consultant acceptable to the City prior to the City granting final building approval.

PART III – RESTORATION STANDARDS AND SPECIFICATIONS

1. Form, Scale and Massing:

See Section 3.2.1 “Form, Scale and Massing” of the McGinn Engineering & Preservation Ltd. Plan.

2. Garage Doors:

See Section 3.2.2 “Garage Doors” of the McGinn Engineering & Preservation Ltd. Plan.

3. Cladding:

See Section 3.2.3 “Cladding” of the McGinn Engineering & Preservation Ltd. Plan.

4. Windows:

See Section 3.2.4 “Windows” of the McGinn Engineering & Preservation Ltd. Plan.

5. Fascia & Trim:

See Section 3.2.5 “Fascia & Trim” of the McGinn Engineering & Preservation Ltd. Plan.

6. Soffits:

See Section 3.2.6 “Soffits” of the McGinn Engineering & Preservation Ltd. Plan.

7. Roof Surface:

See Section 3.2.7 “Roof Surface” of the McGinn Engineering & Preservation Ltd. Plan.

8. Hose Tower:

See Section 3.2.8 “Hose Towers” of the McGinn Engineering & Preservation Ltd. Plan.

9. Doors:

See Section 3.2.9 “Doors” of the McGinn Engineering & Preservation Ltd. Plan.

10. Colour Schedule:

See drawing A500 “Aerial View from Southeast” of the McGinn Engineering & Preservation Ltd. Plan.

The exterior paint colour shall be subject to the prior written approval of the City. If the colour is to be changed, the change shall be done in consultation with the City and reflect as best as can be determined the original appearance of the Fire Hall or heritage colours appropriate for the period of the Fire Hall.

Changes to the exterior colour scheme shall not be undertaken without being reviewed and approved by the City Architect. The City Architect may consult with the Heritage Advisory Commission about the colour scheme.

Prior to final paint application, samples of the colours should be placed on the *building* to be viewed in natural light. Final colour selection can then be verified. Matching to any other paint company products should be verified by the heritage consultant.

11. Interior:

See Section 3.2.10 “Fire Pole” of the McGinn Engineering & Preservation Ltd. Plan.

Changes to the interior of the Fire Hall that do not affect the exterior appearance of the Fire Hall are permitted without prior issuance of a heritage alteration permit.

12. New Construction:

New construction not provided for in this Conservation Plan will be subject to a heritage alteration permit.

13. Trees and Landscaping:

All trees on the lot are subject to the provisions of the Surrey Tree Protection Bylaw, 2006, No. 16100.

14. Accessory Buildings and Structures:

Proposed accessory buildings are subject to this Conservation Plan.

No placement of *accessory buildings* or *structures* shall be permitted within 3 metres of the Fire Hall without first obtaining a heritage alteration permit.

15. Other:

The general intent is to promote restoration and retention of existing materials and elements wherever possible. If restoration is not feasible, replacements shall be constructed to match existing in terms of form, detailing and materials. Where original features have already been removed, altered or replaced by stylistically foreign elements, new replacements shall be consistent with the original design and done in consultation with an independent conservation architect or qualified heritage consultant acceptable to the City.

Minor changes to the provisions of Part III that do not affect the character defining elements or that improve the authenticity of the restorations, may be approved by the City Architect, in consultation with the Heritage Advisory Commission.

(Note: Terms used in Appendix "A" of this Agreement that are italicized are defined in Surrey Zoning By-law, 1993, No. 12000, as amended, and shall take their meaning from the By-law.)

Appendix "B"

HERITAGE CONSERVATION PLAN

Port Kells Fire Hall No. 7, 18922 – 88 Avenue, Surrey Conservation Plan
McGinn Engineering & Preservation Ltd., January 2017

(The "McGinn Engineering & Preservation Ltd. Plan")

(Attachment beginning on the next page)



conservation plan

PORT KELLS FIRE HALL NO. 7

18922-88 AVENUE, SURREY, BC



JANUARY 2017



TDM PROJECTS INC.
6420 Rosebery Ave.
West Vancouver, BC. V7W 2C6



McGinn Engineering &
Preservation Ltd.
Barry McGinn Architect.

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Early photograph of the Fire Hall with the original two-storey building to the right and the later addition to the left.

1 HERITAGE VALUE ASSESSMENT

1.1 History/Description of Port Kells Fire Hall No. 7

The Port Kells Fire Hall No. 7 is a two-storey wood frame building located on 88th Avenue, adjacent to the Port Kells Community Hall. The main building was erected in 1923 by the Surrey Farmers Institute for use as an Agricultural Hall. The Institute then leased the building to the Port Kells Congregation of the United Church of Canada from 1935 to 1947 when it was then leased to the District of Surrey for use as a fire hall. A one-storey, flat roof addition of two vehicle bays on the east side was designed by Louke B. Kleyne, Architect and constructed in 1967.



Early photograph of the Fire Hall, prior to the one-storey addition (c. 1947-1967)

1.2 Summary of Heritage Value

The value of Port Kells Fire Hall No. 7 lies in the social and historical significance of its integral role in the growth of Port Kells, in its development from an outlying village to a suburban community of Surrey. Port Kells Fire Hall No. 7 is also valued for its architectural significance as a vernacular agricultural hall design, as there are very few of these buildings remaining. It was later adapted to a fire hall with the east addition and hose tower.



The hall under construction c. 1923



Early photograph of the Fire Hall with an early fire engine



The Fire Hall, 1988

1.3 Character Defining Elements

The character-defining elements of the Port Kells Fire Hall No. 7 include:

- Location in the heart of Port Kells, adjacent to the Library,
- Proposed use by the Local Fire Fighters Union as a Union Hall,
- Its distinctive massing of two discernable forms – the rectangular, two-storey, gabled-roofed original building, and the rectangular, one-storey, flat roof east addition,
- Original wood window frames with projecting sills at the second floor,
- The original fixed, muntined, vertical three-pane windows (2) at the ground floor, west façade,
- The gabled hose tower, which extends above the original hall roof line,
- The surviving original overhead, wood-paneled garage door with 12 lites in the west bay
- The fireman’s pole, extending between the first and second floor.

2 POLICY FRAMEWORK

2.1 Heritage Designation

The building is currently listed in the Surrey’s Community Heritage Register as site number 206 with its significance classified as ‘Historical.’

2.2 Heritage Revitalization Agreement

Properties listed on Surrey’s Community Heritage Register may become protected heritage properties through a Heritage Revitalization Agreement (HRA).

An HRA is a by-law in the form of an agreement between the City and the owner of a registered heritage site. It has the flexibility to specify how a building or feature is to be restored and maintained. It can also be used to vary requirements found in other by-laws, either by being more restrictive or providing relaxations to by-law requirements.

This conservation plan is an integral part of the Heritage Revitalization Agreement.

2.3 Zoning Designation





The Port Kells Fire Hall No. 7 lies in the C-4 Local Commercial Zone. The use as a hall is a non-conforming use and must be conditionally approved by the City of Surrey. Below is a chart outlining the regulations for this zone:

	Regulation	Existing	Proposed (refer to section 4)
Density (Floor Surface Ratio)	0.40 max.	0.29	0.50
Lot Coverage	40% max.	19%	34%
Front Yard	25'-0" min.	26'-0"	no change proposed
Side Yards	20'-0" min.	9'-10" & 21'-0"	no change proposed
Rear Yard	25'-0" min.	64'-0"	37'-0"








3 CONSERVATION ASSESSMENT


3.1 Condition Assessment

CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
3.1.1	Form, Scale & Massing	The building has been altered overtime to suit its changing use. The original, two-storey, gabled hall structure remains visually distinguishable, and the later east, flat roof addition of two fire engine bays and the hose tower reflects its later use as a Fire Hall.	
3.1.2	Garage Doors	The western garage door is the only remaining original door. It is in good condition behind the contemporary aluminum cladding. The 3 other garage doors are contemporary aluminum in poor heritage character.	
3.1.3	Cladding	The original light stucco cladding on the hall portion and the vertical dark wood siding on the addition has been covered in same vinyl siding of poor heritage character, a treatment that does not reflect the difference in the additions. They were originally clad in different materials.	 



CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
3.1.4	Windows	New vinyl windows have been inserted in the existing wood frames with projecting sills at the north and west upper windows. The frames look in reasonable condition.	
		The original wood, fixed, muntined, three light windows at the ground floor exist on the west elevation and are in good condition.	
3.1.5	Fascia & Trim	The painted white fascia and window trim are in good condition.	
3.1.6	Soffits	A contemporary aluminum soffit in poor heritage character has been installed over the exposed rafters and roof board.	
3.1.7	Roof Surface	The asphalt tab shingle roof service is showing evidence of deterioration with curling up of the shingle edges and biological growth. It is estimated to have 3 to 5 years of service life remaining.	



CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
3.1.8	Hose Tower	The early addition hose tower remains in fair condition. The louvers, rafters and fascia are discoloured, and the asphalt tab shingle roof surface is at the end of its service life, evidenced by the extensive biological growth.	

3.2 Proposed Conservation Strategies

The Parks Canada Standards & Guidelines for the Conservation of Historic Places in Canada (2010) has been adopted by the Government of B.C. and most Federal agencies, for the assessment of the treatment of historic places. Under the Standards and Guidelines, the conservation strategies proposed for the proposed rehabilitation of Port Kells Fire Hall No. 7 may include aspects of preservation, restoration and rehabilitation, as defined below:

Preservation

The action or process of protecting, maintaining and/or stabilizing the existing materials, form and integrity of an historic place or of an individual component, while protecting its heritage value.

Restoration

The action or process of accurately revealing, recovering, or representing the state of a historic place, or of an individual component, as it appeared in a particular period in its history, while protecting its heritage value.

Rehabilitation

The action or process of making possible a continuing or compatible contemporary use of an historic place or an individual component, through repair, alterations, and/or additions, while protecting its heritage value.

In reality, all three of these conservation approaches will come into play in the proposed restoration and addition at the Port Kells Fire Hall No. 7.

3.2.1 Form, Scale & Massing

The original hall and later addition building's form, scale and massing will be preserved. The future users of the property are proposing a significant rear addition, which is addressed in section 4.0 Rear Addition.

3.2.2 Garage Doors

The existing original overhead door on the west side of the original Fire Hall building is to be restored. The hall would be brought back to its original three door configuration with the two new doors to match the existing original. The garage doors on the flat-roof addition are not originals and would be upgraded to contemporary glazed doors.

3.2.3 Cladding

The existing vinyl siding is to be removed and new period wood drop siding in an off-white to be installed on the original Fire Hall building. The flat-roof addition is to be clad in a darker vertical cladding, hardie-panel or similar, in a dark brown or charcoal.

3.2.4 Windows

On the front façade of the original Fire Hall building, wood casement sash matching the originals are to be installed in the original refurbished wood frames. On the west elevation, similar wood casements will be installed within the 2nd floor refurbished wood frames, and the original surviving fixed, muntined windows at the ground floor will be preserved.

3.2.5 Fascia & Trim

The fascia and trim are in good condition and just require repainting.

3.2.6 Soffits

The existing contemporary aluminum soffits are to be removed to expose the rafters and roof boards, which are to be repainted.



3.2.7 Roof Surface

The roof surface should be replaced with a new tab composite asphalt shingle roof surface, as the current roof surface is nearly at the end of its service life. The original agricultural hall likely had 1"X4" roof boards and a sawn cedar shingle roof surface, but was likely replaced with the tight 1"X6" roof boards for a composition asphalt shingle surface.

3.2.8 Hose Tower

The louvers, fascia, trim, soffit and rafter ends are to be prepped and repainted. The roof of the hose tower should be replaced with a new composition asphalt tab shingle roof surface.

3.2.9 Doors

The west door will be replaced with a wood, frame and panel half-light door.

3.2.10 Fire Pole

The existing fire pole is in good condition and should be retained as it is a character-defining element.

4 REAR ADDITION

The Local Firefighters' Union is contemplating purchasing Port Kells Fire Hall No. 7 from the City of Surrey for use as a Union Hall. In investigating this possible purchase, the Firefighters have determined they require a significant addition to accommodate their needs. The continued use of the building in any capacity by the Firefighters is considered a valuable asset by heritage standards as it ensures the memory of the historic place will not fade. Therefore, adapting of the historic place for this use is supported. However, from an architectural standpoint, it is important the addition comply with 3 principles:

1. The new addition is to be easily discernable from the original heritage building;
2. The addition is to be sensitive to the heritage character, and not overpower the original heritage building; and
3. The addition could, at some future date, be removed and not adversely affect the original heritage building.

The proposed addition would be at the rear of the building, largely obscured from the street by the heritage building. It's massing would be inset (horizontally & vertically) from the heritage building, both the gabled original hall building and the later, flat-roof addition. It is not simply an extrusion of the gable form, but a more distinct, contemporary cubic massing with contemporary cladding, allowing it to be clearly discernable from the heritage building.



above: 3D model of the proposed rehabilitation from the Southeast corner. The new addition is not prominently visible from the front of the building (seen to the right of the white heritage building).



above: 3D model of the proposed rehabilitation from the Northwest corner. The new addition steps in from the heritage building, and drops below the roofline. It is visibly discernable from the heritage building with its contemporary cladding and blocky massing.

5 CONSERVATION STANDARDS

The following are the standards that define the principles of good conservation practice, and an assessment of how they relate to the proposed interventions for Port Kells Fire Hall No. 7.

CONSERVATION STANDARD		CONSERVATION STRATEGY
GENERAL STANDARDS FOR ALL PROJECTS		
1	<i>Conserve the heritage value of a historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.</i>	The building is remaining in place and will be sensitively restored, rehabilitated and preserved in a manner that maintains and enhances its heritage character.
2	<i>Conserve changes to a historic place, which over time, have become character-defining elements in their own right.</i>	The low-quality metal garage doors at the later, flat-roof addition do not detract from the character, but cannot be considered character-defining elements.
3	<i>Conserve heritage value by adopting an approach calling for minimal intervention.</i>	The proposed interventions will restore the hall building to its original character and allow sensitive rehabilitation in keeping with the building's heritage value.



4	<i>Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historic development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.</i>	Proposed interventions will comply with this standard, but also allow respectful rehabilitation to meet modern standards for its continued use by the firefighters.
5	<i>Find a use for a historic place that requires minimal or not change to its character-defining elements.</i>	The proposed continued use by the firefighters will allow minimal change to the building's character-defining elements and will be enhanced by the proposed upgrades.
6	<i>Protect, and if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.</i>	The building is generally secure at this time.
7	<i>Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.</i>	This report identifies deficiencies and proposed interventions which retain or restore character-defining elements, and allow respectful rehabilitation to allow continuing use.
8	<i>Maintain character-defining on an on-going basis. Repair character-defining elements by reinforcing the materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.</i>	The worn tab asphalt shingle roof surface will be replaced, the wood rafter tails and soffit will be exposed and finished, and the original surviving wood overhead door will be restored, and augmented with two restored doors of the same material and character.
9	<i>Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable upon close inspection. Document any intervention for future reference.</i>	This conservation plan will provide guidance on future interventions to ensure maintenance of the building's heritage character-defining elements. Implementation measures will allow for the oversight of an independent heritage consultant.
ADDITIONAL STANDARDS RELATING TO REHABILITATION		
10	<i>Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials, and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.</i>	The proposed intervention approach will generally comply with this Standard. The most significant deviation from this Standard is the choice to clad the original hall in new wood drop siding, rather than in a cementitious stucco, which was the original cladding material. The new user group have a strong objection to a stucco cladding, so an alternative, compatible period cladding (wood drop siding, period profile) has been proposed.



11	<i>Conserve the heritage value and character defining elements when creating any new additions to a historic place and any related new construction. Make the new work physically and visually compatible with, subordinate to, and distinguishable from the historic place.</i>	The proposed new addition to the building is subordinate and physically discernable from the historic place through scale - it is smaller in size than the historic place; material - vertical contemporary hardiepanel; and architectural 'insets' both vertically and horizontally. The addition recedes behind the historic building when viewed from the street.
12	<i>Create any new additions or related new construction so that the essential form and integrity of a historic place will not be impaired if the new work is removed in the future.</i>	The new addition does not affect the east, west and south facades of the historic building. The form and massing of the historic building is still visually distinguishable.
ADDITIONAL STANDARDS RELATING TO RESTORATION		
13	<i>Repair rather than replace character-defining elements from the restoration period. Where character defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials, and detailing of sound versions of the same elements.</i>	The proposed intervention approach will generally comply with this Standard. As noted above, an alternative period cladding system is being proposed. Part of the rationale for this alternative cladding approach is the high likelihood of damage to the original stucco cladding resulting from the existing aluminum siding fasteners, hence, an entirely new cladding system is required in any event.
14	<i>Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.</i>	The new windows and drop siding are to be constructed with profiles typical of that era of construction. The two new garage doors will be constructed as replicas of the existing west door.



6 PRELIMINARY OPINION OF PROBABLE COST

Port Kells Fire Hall No. 7 Adaptive Re-use Preliminary Opinion of Probable Cost		
Heritage Building		
Structural Upgrades to Original Fire Hall – Gr. Fl. Open Span & Bldg. Seismic	Steel beams, post to foundation connections, seismic upgrade (hurricane tie downs, stud tie-downs, etc.) <i>REFER TO APPENDIX 8.3 – STRUCTURAL REPORT</i>	\$44,500
Heritage Hall Overhead Door Restoration	New Wood Sectional Overhead Doors/hardware, c/w upper section glazed – two required	\$8,000
Heritage Hall Cladding	Demolition existing aluminum cladding & install new wood period drop siding – 2360 sq.ft. X \$7.10/sq.ft.	\$16,756
Heritage Hall Window Rehabilitation	Refurbish existing upper window frames, new wood casements, prepare and paint lower fixed wood windows.	\$7,000
East Garage Addition Cladding	Demolition existing aluminum cladding & install new hardipanel vertical cladding – 576 sq.ft. X \$5.10/sq.ft.	\$2,938
East Garage New Glazed Overhead Doors	3 new aluminum double glazed aluminum overhead doors – 3 X \$3200/ea	\$9,600
Heritage Hall/East Garage Addition Prep. & Painting	3536 sq.ft. X \$2.00/sq.ft.	\$7,072
Heritage Hall New Tab Asphalt Roof Surface	2285 sq.ft. X \$5.50/sq.ft.	\$12,567
New Heritage Hall Entry Door	New west wood frame and panel wood entry ½ light door, supply & install	\$2,000
New Rear Addition to Heritage Hall		
New, One-storey Rear Addition to East Garage	2”X6” wood frame, gluelam beams, SBS roof surface, hardipanel vertical cladding, new aluminum double-glazed overhead doors - \$124/sq.ft. X 975 sq.ft.	\$120,900
New, Two-storey Rear Addition to Heritage Building	2”X6” wood frame, wood joist roof framing, hardipanel vertical cladding, SBS roof surface - \$190.00/sq.ft. X 1950 sq.ft.	\$370,500
New Roof Deck Wear Surface/Railings	Concrete pavers on rubber pads, aluminum glazed perimeter railing	\$14,000
Nanawall to Roof Deck	Eight Panel Nanawall System w/ door	\$25,000
Meeting Room Skylight	Pitched, side vented skylight, 4’X10’X \$99.38/sq.ft.	\$3,975
Preliminary Opinion of Probable Construction Costs		\$644,808

The above preliminary opinion of probable construction costs does not include soft costs (consulting, permits, insurance, contractor bonds, etc.). At this early planning stage, it is prudent to apply a 25 to 35% contingency factor to project cost estimates.

7 MAINTENANCE PLAN

Activity	Description	Frequency
Wood Siding, Fascia, and Trim.	Prepare and paint wood siding, fascia, window trim and window frames	Every 5 – 8 years, depending on exposure and condition
Window Sealant	Selective putty replacement at wood windows.	Every 5 – 6 years
Gutters & Downspouts	Remove debris from gutters & downspouts to prevent build-up and damage	Every 6 months



8 REFERENCES

City of Surrey. *Surrey Community Heritage Register: Port Kells Fire Hall No. 7*. Retrieved March, 2016 from <http://www.surrey.ca/city-services/3365.aspx>

City of Surrey. (1998). *Surrey's Heritage Evaluation Worksheet: Port Kells Fire Hall No. 7*. Hugh McLean

Parks Canada (2010). *Standards and Guidelines for the Conservation of Historic Places in Canada*. Her Majesty the Queen in Right of Canada

9 APPENDICES

9.1 Proposed Site Plan

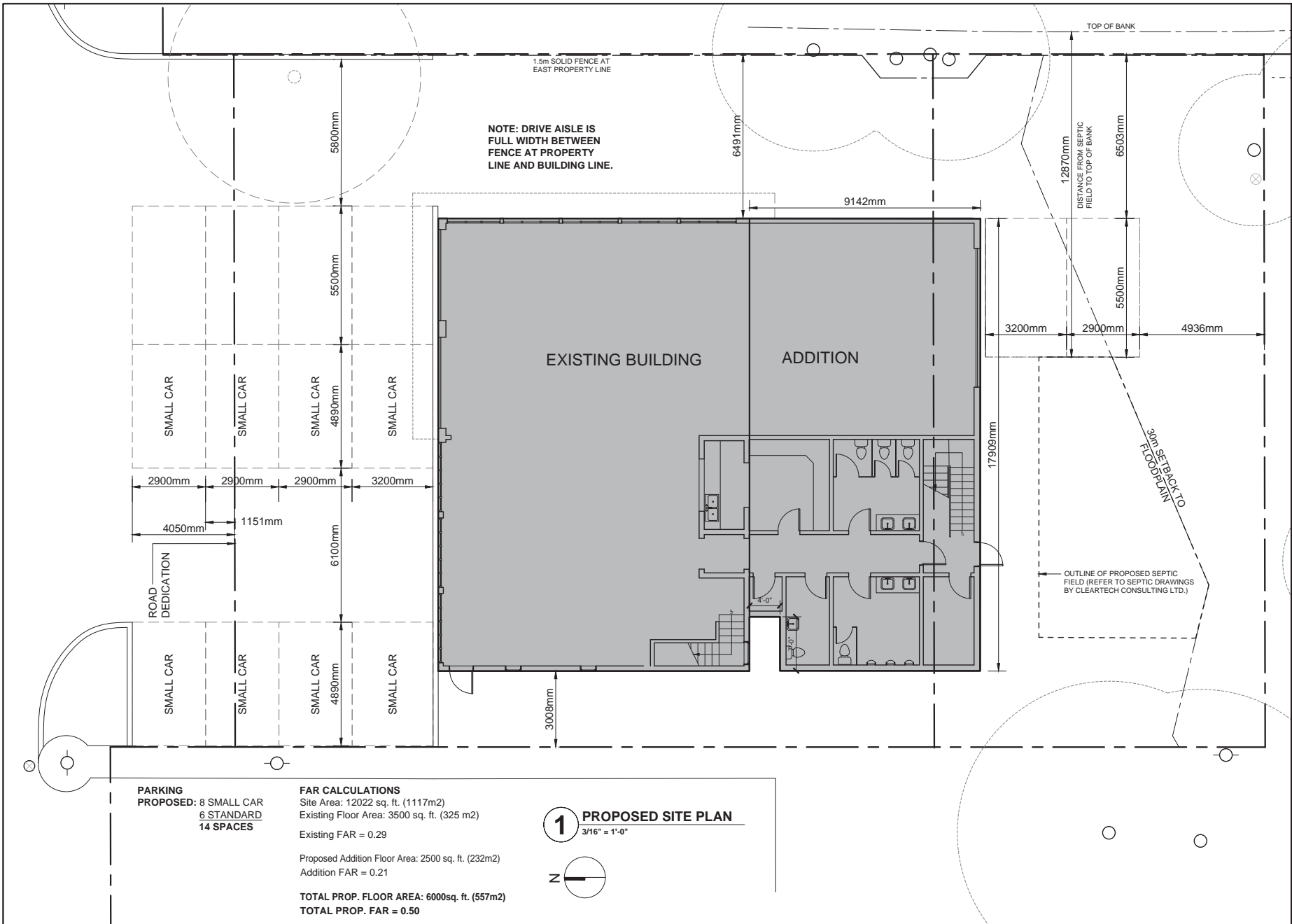
9.2 Existing Condition Drawings

9.3 Rehabilitation & New Addition Drawings

9.4 Structural Assessment

9.5 Heritage Evaluation Worksheet

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PARKING
PROPOSED: 8 SMALL CAR
6 STANDARD
14 SPACES

FAR CALCULATIONS
Site Area: 12022 sq. ft. (1117m²)
Existing Floor Area: 3500 sq. ft. (325 m²)
Existing FAR = 0.29
Proposed Addition Floor Area: 2500 sq. ft. (232m²)
Addition FAR = 0.21

TOTAL PROP. FLOOR AREA: 6000sq. ft. (557m²)
TOTAL PROP. FAR = 0.50

1 PROPOSED SITE PLAN
3/16" = 1'-0"



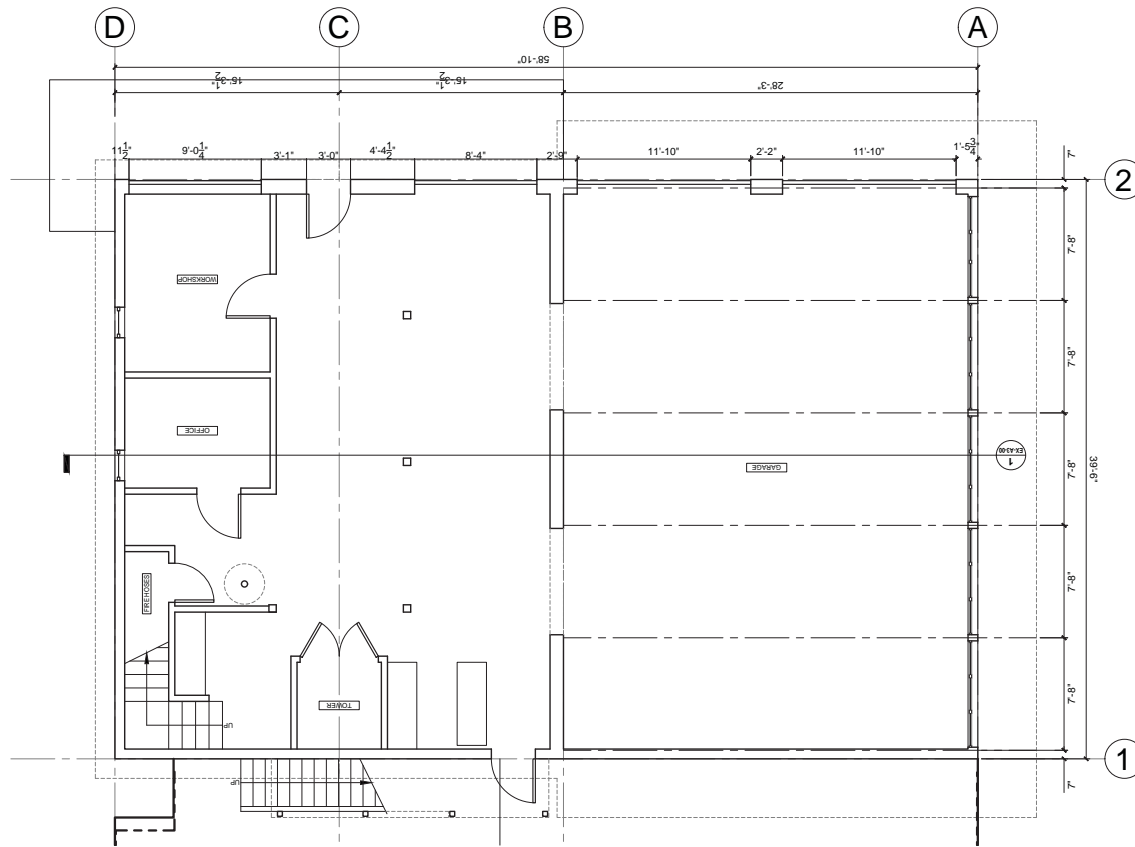
REV.	DESCRIPTION	DATE
1	FOR CONSULTANTS	2017-04-18

PROJECT:
**PORT KELLS
FIRE HALL NO. 7**
18922 88 AVE, SURREY, BC

TITLE:
SITE PLAN

DRAWN BY: KDV
DATE: 01/18/2017
SCALE: 3/16" = 1'-0"

DWG#: **0-01**



1 EXISTING GROUND FLOOR PLAN
1/4" = 1'-0"

REV.	DESCRIPTION	DATE

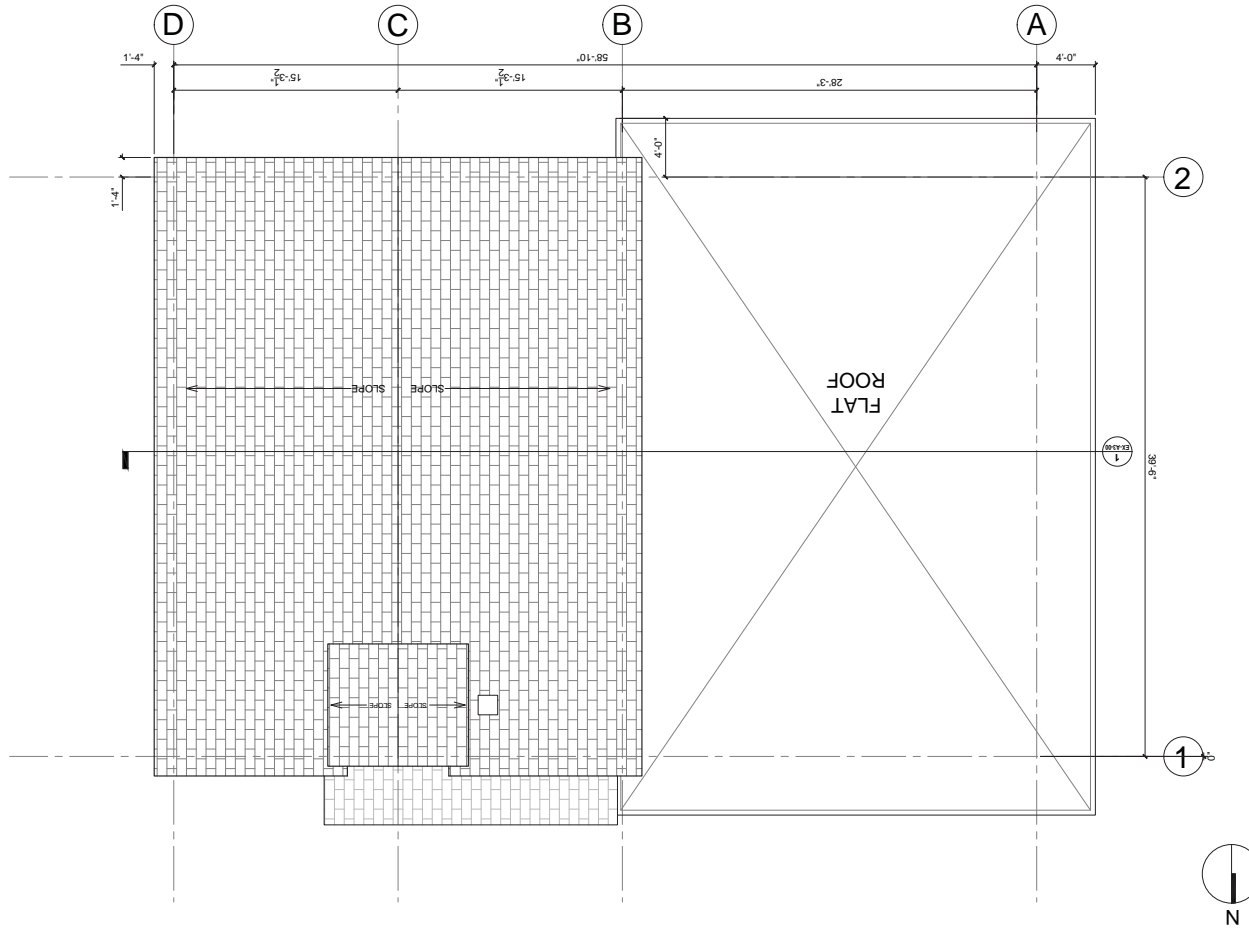
PROJECT:
**PORT KELLS
FIRE HALL NO. 7**
18922 88 AVE, SURREY, BC

TITLE:
**EXISTING GROUND
FLOOR PLAN**

DRAWN BY: KDV
DATE: 02/22/2016
SCALE: 1/4" = 1'-0"

DWG#: **EX-A1-00**

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1 EXISTING ROOF PLAN
1/4" = 1'-0"

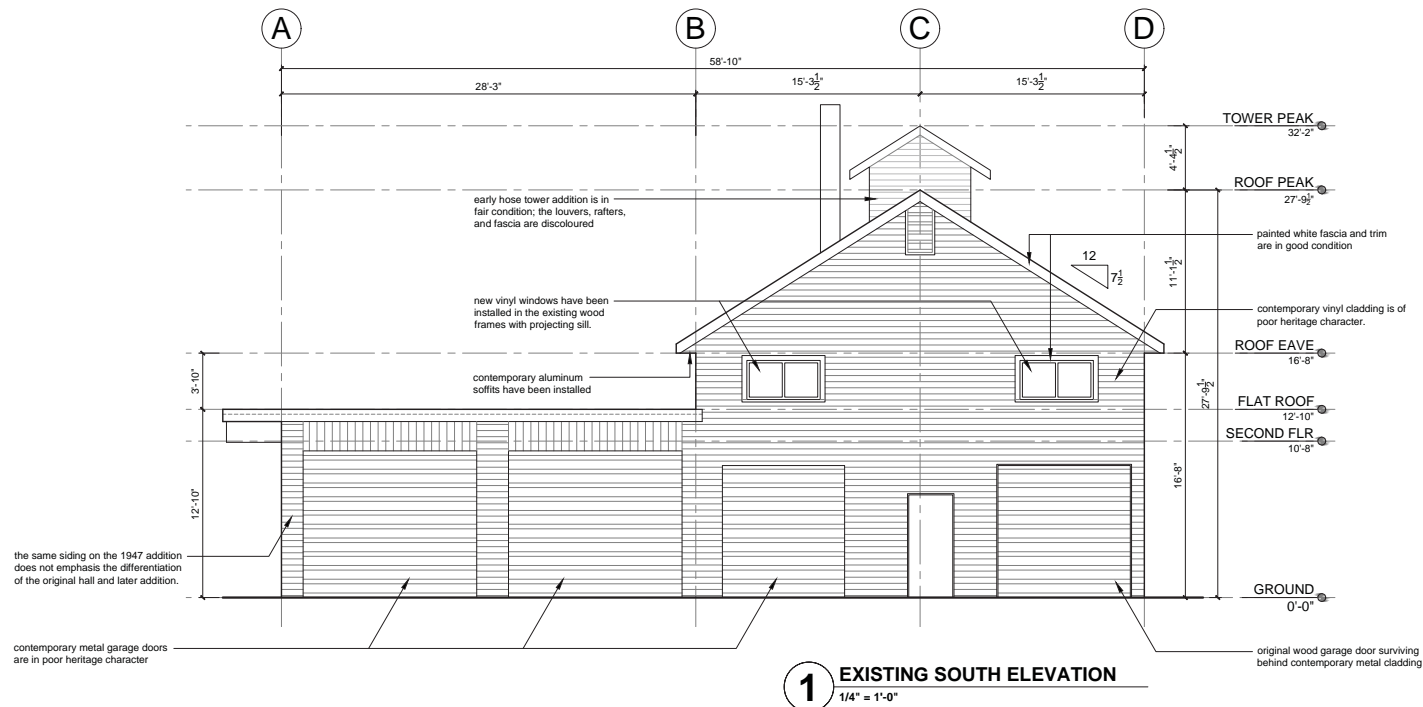
REV.	DESCRIPTION	DATE

PROJECT:
**PORT KELLS
FIRE HALL NO. 7**
18922 88 AVE, SURREY, BC

TITLE:
**EXISTING
ROOF PLAN**

DRAWN BY: **KDV**
DATE: **02/02/2016**
SCALE: **1/4" = 1'-0"**

DWG#: **EX-A1-02**



REV.	DESCRIPTION	DATE

PROJECT:
**PORT KELLS
FIRE HALL NO. 7**
18922 88 AVE, SURREY, BC

TITLE:
**EXISTING SOUTH
ELEVATION**

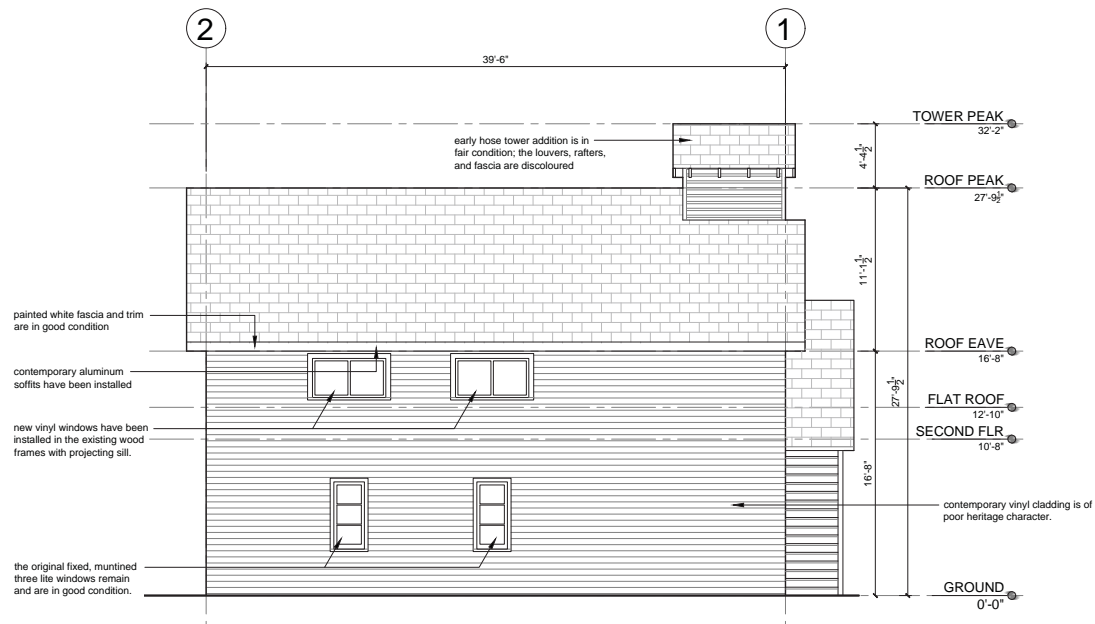
DRAWN BY: **KDV**

DATE: **02/02/2016**

SCALE: **1/4" = 1'-0"**

DWG#:

EX-A2-00



1 EXISTING EAST ELEVATION
1/4" = 1'-0"

REV.	DESCRIPTION	DATE

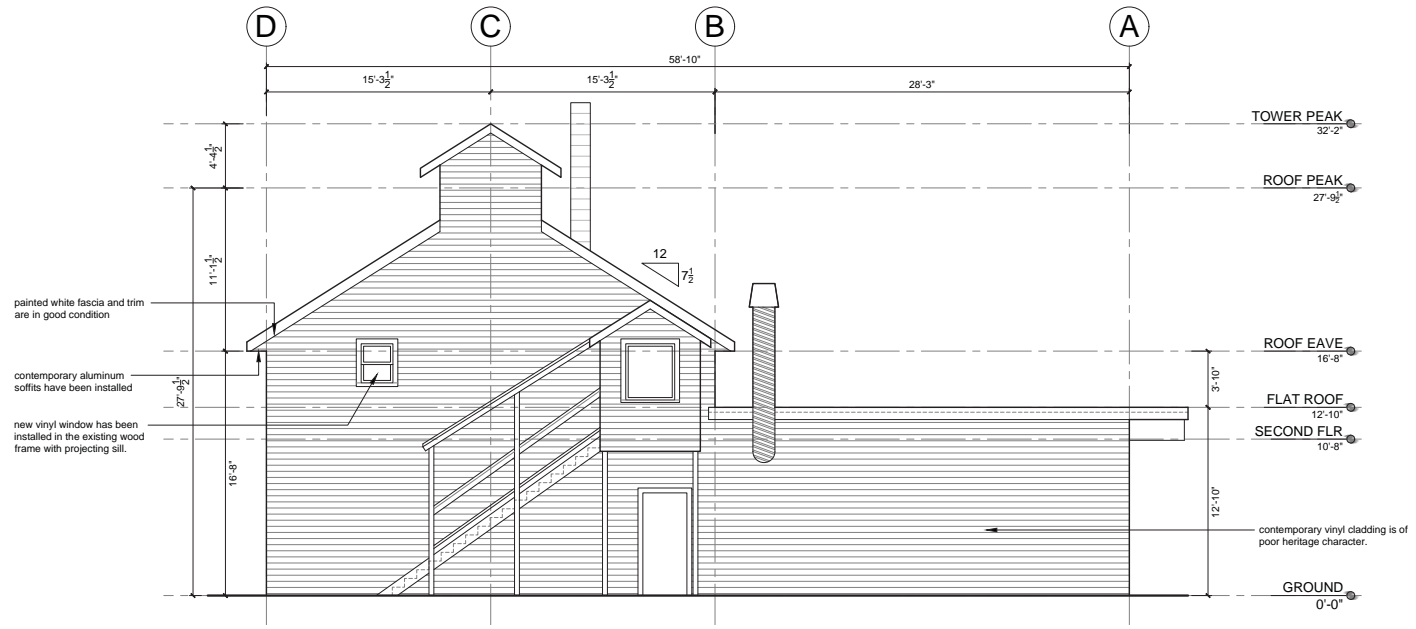
PROJECT:
**PORT KELLS
FIRE HALL NO. 7**
18922 88 AVE, SURREY, BC

TITLE:
**EXISTING EAST
ELEVATION**

DRAWN BY: **KDV**
DATE: **02/22/2016**
SCALE: **1/4" = 1'-0"**

DWG#: **EX-A2-01**

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1 EXISTING NORTH ELEVATION
1/4" = 1'-0"

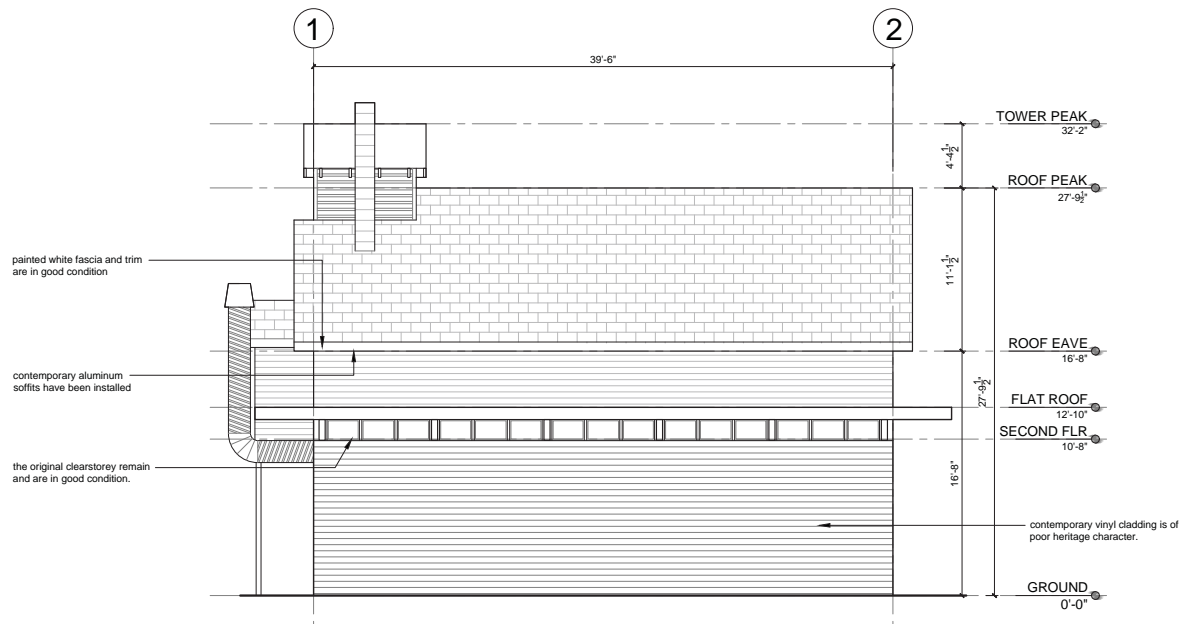
REV.	DESCRIPTION	DATE

PROJECT:
**PORT KELLS
FIRE HALL NO. 7**
18922 88 AVE, SURREY, BC

TITLE:
**EXISTING NORTH
ELEVATION**

DRAWN BY: **KDV**
DATE: **02/02/2016**
SCALE: **1/4" = 1'-0"**

DWG#: **EX-A2-02**



1 EXISTING WEST ELEVATION
1/4" = 1'-0"

REV.	DESCRIPTION	DATE

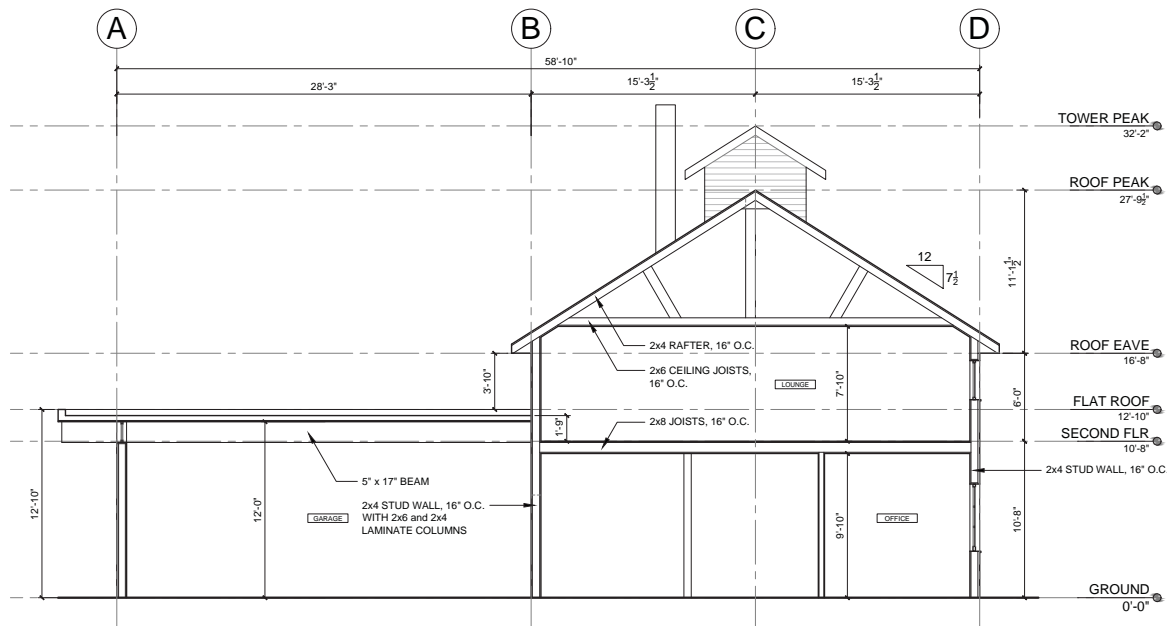
PROJECT:
**PORT KELLS
FIRE HALL NO. 7**
18922 88 AVE, SURREY, BC

TITLE:
**EXISTING WEST
ELEVATION**

DRAWN BY: **KDV**
DATE: **02/02/2016**
SCALE: **1/4" = 1'-0"**

DWG#: **EX-A2-03**

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1 EXISTING BUILDING SECTION
1/4" = 1'-0"

REV.	DESCRIPTION	DATE

PROJECT:
**PORT KELLS
FIRE HALL NO. 7**
18922 88 AVE, SURREY, BC

TITLE:
**EXISTING
BUILDING SECTION**

DRAWN BY: **KDV**
DATE: **02/09/2016**
SCALE: **1/4" = 1'-0"**

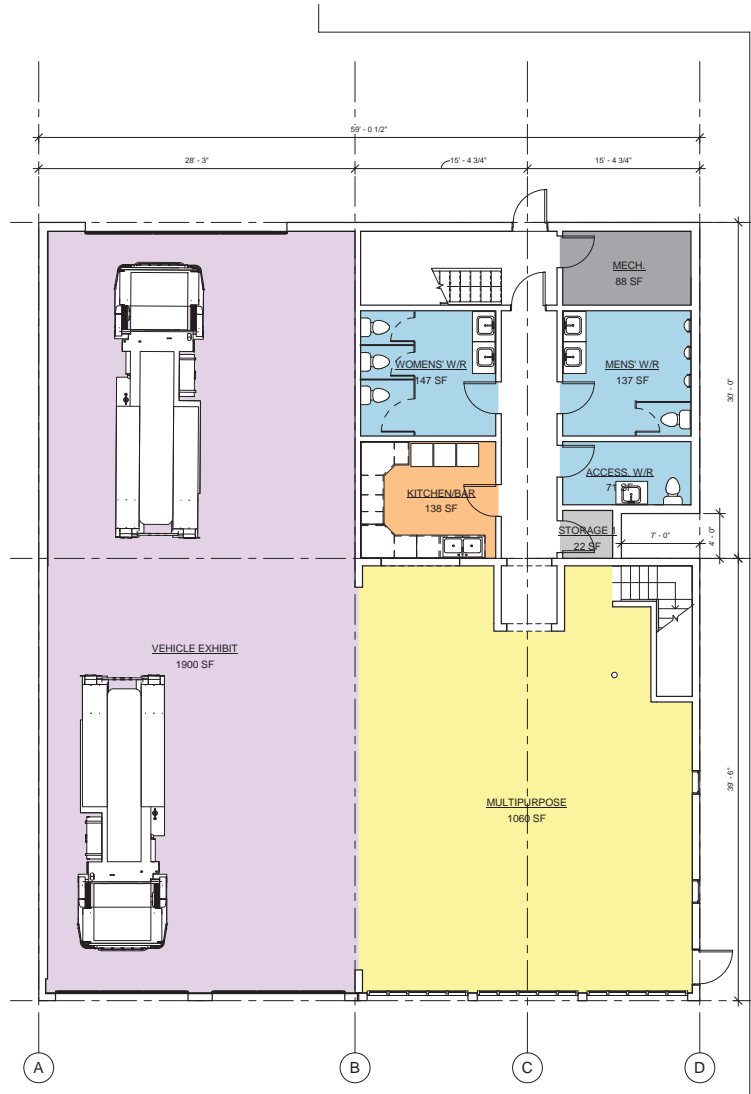
DWG#: **EX-A3-00**



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① GROUND FLOOR
3/16" = 1'-0"



② SECOND FLOOR
3/16" = 1'-0"

AREA SCHEDULE			
Name	Level	Area (SF)	Area (m ²)
VEHICLE EXHIBIT	GROUND	1900 SF	177 m ²
MULTIPURPOSE	GROUND	1060 SF	98 m ²
MENS W/R	GROUND	137 SF	13 m ²
WOMENS W/R	GROUND	147 SF	14 m ²
MECH.	GROUND	88 SF	8 m ²
STORAGE 1	GROUND	22 SF	2 m ²
KITCHEN BAR	GROUND	138 SF	13 m ²
ACCESS W/R	GROUND	74 SF	7 m ²
LOUNGE	SECOND	533 SF	50 m ²
OFFICE 2	SECOND	149 SF	14 m ²
OFFICE 1	SECOND	105 SF	10 m ²
KITCHEN	SECOND	208 SF	19 m ²
W/R	SECOND	48 SF	4 m ²
DECK	SECOND	860 SF	80 m ²
MEETING ROOM	SECOND	486 SF	45 m ²
STORAGE 2	SECOND	80 SF	7 m ²

No.	Description	Date

PORT KELLS HISTORIC FIRE HALL NO. 7

PROPOSED FLOOR PLANS

Date: 02/24/2016
Drawn By: KV
Scale: 3/16" = 1'-0"

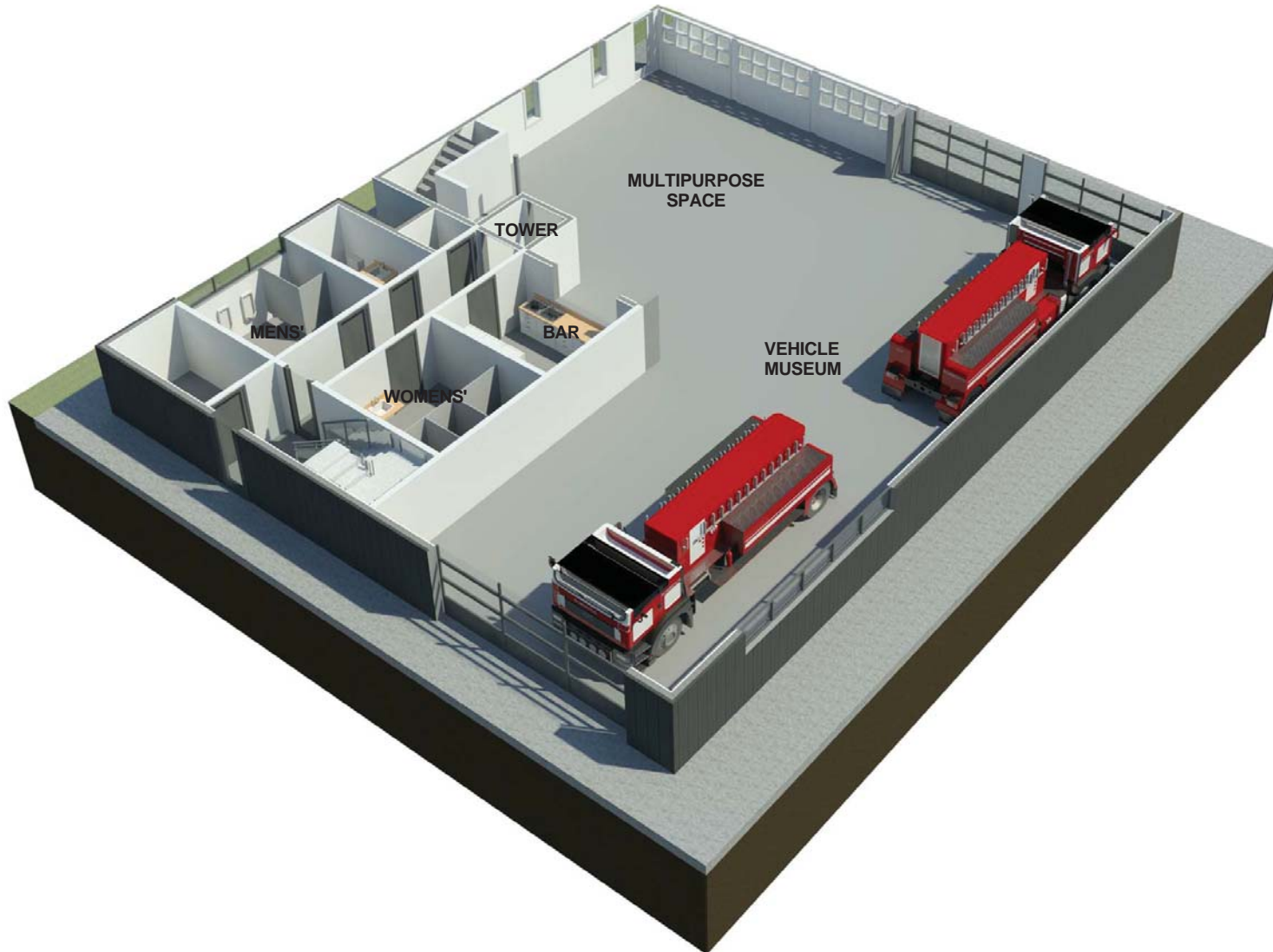
A100



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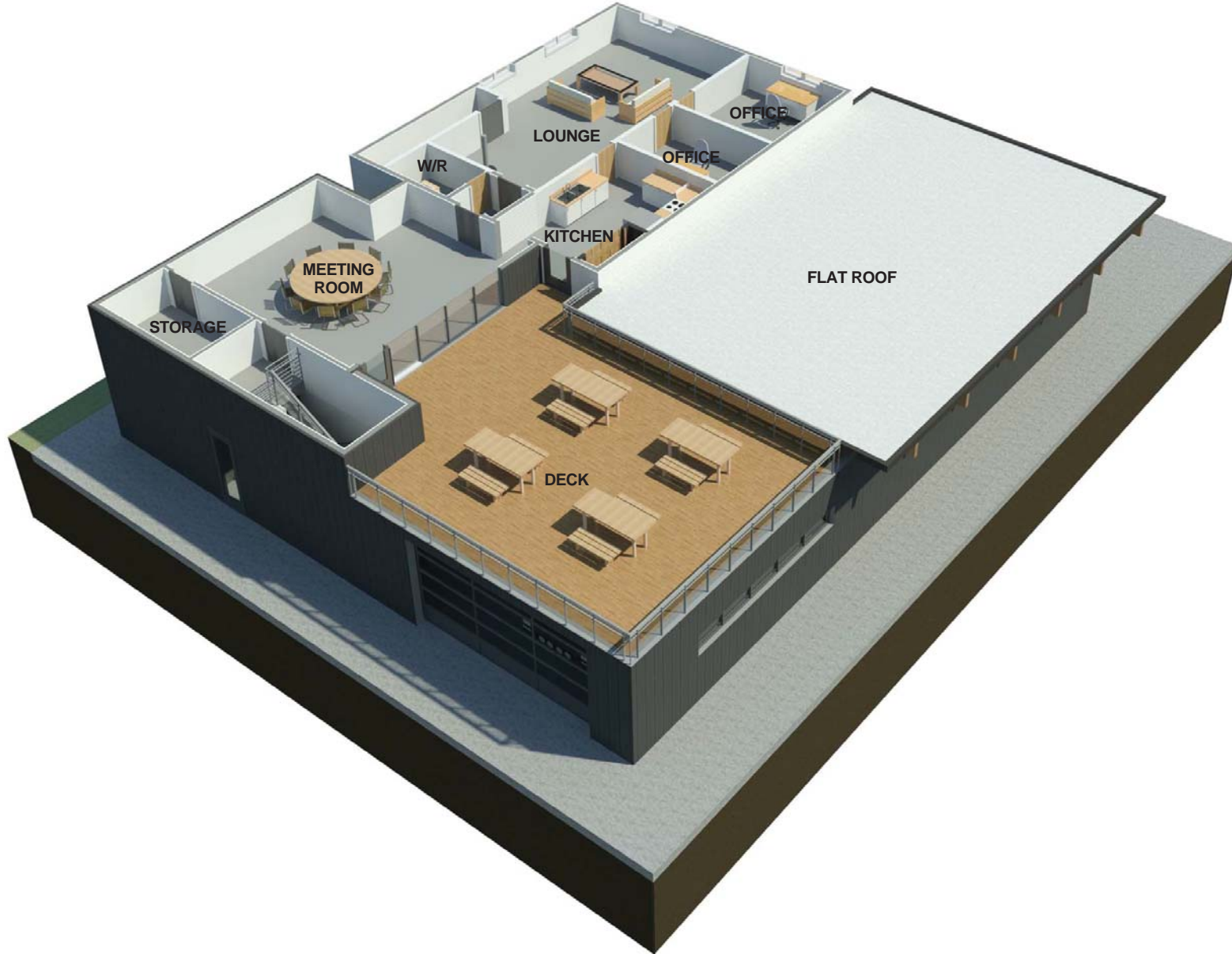
No.	Description	Date

PORT KELLS
HISTORIC FIRE HALL NO. 7

**PROPOSED
GROUND FLOOR**

Date	02/29/16
Drawn By	Author
Scale	12" = 1'-0"

A101



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No.	Description	Date

PORT KELLS
HISTORIC FIRE HALL NO. 7

**PROPOSED
SECOND FLOOR**

Date	02/29/16
Drawn By	Author
Scale	12" = 1'-0"

A102



LATER GARAGE ADDITION,
HARDIEPANEL SIDING
TEXTURE: SMOOTH
COLOUR: IRON GREY



ORIGINAL BUILDING,
PERIOD WOOD DROP SIDING
SIDING COLOUR:
CC-80 "Gray Mist"
Benjamin Moore

TRIM COLOUR:
OC-17 "White Dove"
Benjamin Moore



REAR ADDITION CLADDING
HARDIEPANEL SIDING
TEXTURE: SMOOTH
COLOUR: IRON GREY

CONTEMPORARY GLAZED
GARAGE DOORS

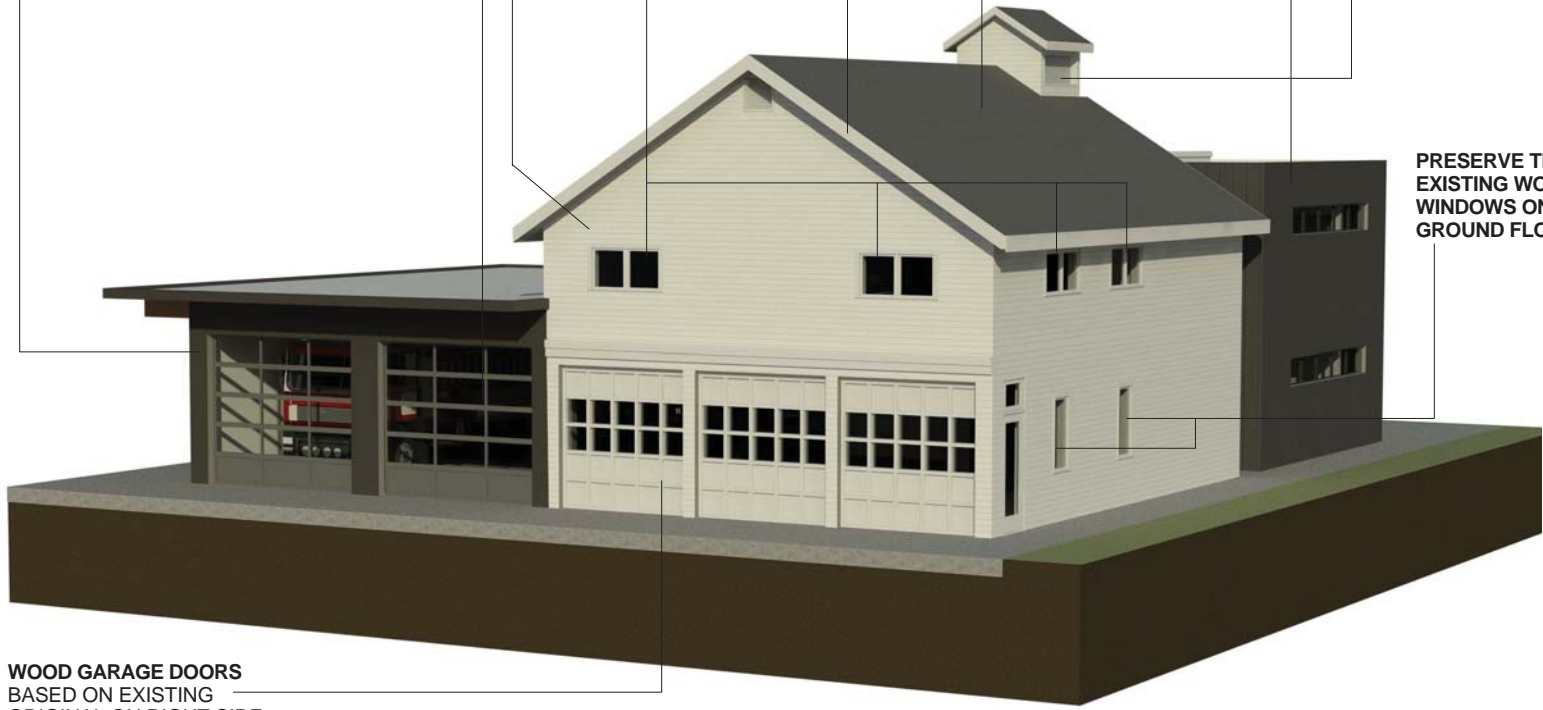
NEW WOOD CASEMENT
WINDOWS IN EXISTING
REFURBISHED FRAME

REMOVE ALUMINUM
SOFFITS & REPAINT
RAFTERS & BOARDS

NEW TAB ASPHALT
SHINGLE ROOF SURFACE
COLOUR:
"Weathered Grey" GAF
or approved alternate

REPAINT HOSE TOWER
LOUVERS, FASCIA AND
RAFTERS

PRESERVE THE
EXISTING WOOD
WINDOWS ON THE
GROUND FLOOR



WOOD GARAGE DOORS
BASED ON EXISTING
ORIGINAL ON RIGHT SIDE



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No.	Description	Date

PORT KELLS
HISTORIC FIRE HALL NO. 7

**AERIAL VIEW FROM
SOUTHEAST**

Date	07/07/15
Drawn By	KV
Scale	12" = 1'-0"

A500



REAR ADDITION CLADDING
HARDIEPANEL SIDING
 TEXTURE: SMOOTH
 COLOUR: IRON GREY



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No.	Description	Date

PORT KELLS
 HISTORIC FIRE HALL NO. 7

**AERIAL VIEW FROM
 NORTHWEST**

Date	REV. 2017/01/18
Drawn By	KV
Scale	12" = 1'-0"

A501



structural assessment

PORT KELLS FIRE HALL NO. 7

18922-88 AVENUE, SURREY, BC



March 2016



TDM PROJECTS INC.
6420 Rosebery Ave.
West Vancouver, BC. V7W 2C6

PORT KELLS FIRE HALL #7 | STRUCTURAL REPORT

PHOTOGRAPHIC DOCUMENTATION

Original Fire Hall Building

Attic – roof structure (12/7-1/2 pitch)



2x4 rafters @ 16" o.c. with 1x6 ridge beam and ridge collar tie with 1x6 crown post; twinned 2x6 queen struts connected to 2x6 @ 16" ceiling joists acting as tie beams.

Wall separating the building components



Opened west bearing wall of the addition attached to the original east exterior wall of 2x4 @ 16" framing on concrete strip footing. The wall is not anchored to the concrete footing.

Garage Addition



2x6 T&G ceiling over 5x17 glulams roof structure over the garage addition. The Glulams are not connected to the posts and the posts are not anchored to the concrete footings.



At the east wall of the garage addition the glulams are inserted into a steel framed window structure that is connected to the top of the bearing wall.



Original east bearing wall of the fire hall (2x4 @16"); the wall now also contains double 2x6 + 2x4 laminate columns supporting the glulam beams of the addition (The blue arrow points to the column).

Post-and-Beam of the Original Fire Hall – ground floor



Original 3x2x12 beam inside the workshop wall in the ground floor; the beam is not connected to the 6x6 posts.



Existing 6x6 timber post supporting 3x 2x12 ceiling beams.



The two ceiling beams are unevenly loaded and the easterly one was strengthened in 2014 in recognition of the additional roof load transferred onto it by second story interior bearing wall. Also lateral movement was fixed by adding proper connectors at interface with posts and at end seats (see photo below).



Shiplap rough subfloor over 2x8 joist @ 16" o. c. of the second floor

ASSESSMENTS

EXISTING STRUCTURE

The existing wood-frame structure of the fire hall constructed in 1923 had a post-and-beam garage addition constructed in late years of last century (seventies or eighties). In early 21st century a major water damage required repairs to the upper floor finishes in 2014. As this work was already done under the 2012 BC Building Code, major structural elements that were within the framework of the repairs were somewhat upgraded to meet the new code.

One can say that the upper and ground floors of the old fire hall building are generally safe and meeting the code for the current use save for some missing connectors from beams to posts and lack of anchoring the perimeter bearing walls to the foundation.

Also, the roof structure of the old fire hall is adequate for the snow and wind loads but installation of the “hurricane” connectors between the roof rafters and the top plate of the bearing walls would be desirable.

The garage addition has been constructed according to building code in force around 1980 and there is no evidence proper connectors were installed that a post-and-beam structure would require under the current code. However, as the current use appears to be garage and the fire hall is not used for the intended purpose any more, the non-adherence to the code may be tolerable. The structure is designed adequately to withstand current snow and wind loads.

FUTURE INTENDED USE

As the structure is considered to be converted into a union hall with office and meeting rooms including accommodating larger Union social gatherings, the loads for the upper floor of the original wood-frame structure change to 100 psi (4.8 kPa) for the proposed kitchen area, the remaining floor would maintain the live design load of 50 psi (2.4kPa).

Fire Hall

Major change will be the opening of the lower floor for social gatherings and displays of relevant historical artifacts requiring removal of the existing six posts and replacing the current two triple 2x12 lumber laminate beams with steel beams spanning the almost 29-foot length of the original building. The size of the beams would not undesirably reduce the head room as the existing floor joists can be connected with hangers to nailer plates attached to the sides of the beam. The beam top will be flush with the existing subfloor providing for head room clearance of some 9'-10". The beam self weight approaching 2,500 lbs. is however considerable and supporting posts would be 8x8 if using high quality wood products.

The bearing walls will have to be anchored to existing concrete foundation and the roof structure will have to be connected to the top plate of the bearing walls using one of the suitable hurricane ties.

Removal of the rear wall of the ground wall will require installation of stiffening members between the bearing walls and wall or post anchoring to concrete footings. The same would apply to the front wall with three openings for the overhead garage doors.

Garage Addition

The garage addition used as a gathering place would require installation of connectors between the glulam beams and the posts, anchoring of the posts to the footings and reinforcing of the building corners. This would particularly apply to the south wall as it is possible this wall will be removed to allow constructing a 20-foot extension to the addition.

In addition, the new function of the building would require enlarged opening in the common wall between the original fire hall and the garage addition. The wall functions as the bearing wall for both building components. The desirable opening would be some 23'-6" wide and would require a beam installation to transfer loads from two of the roof glulams plus loads from the original structure (roof and second floor) to the foundation with 8x8 inch posts.

Note that a geotechnical assessment for the new post footings (six in total) will be required as part of the design.

COST ESTIMATE

for structural consolidation of the building

	\$
Steel beams	13,000.00
Connectors	
Beam-to-post 10 ea.	5,000.00
Post (Wall)-to-foundation 20 ea.	4,000.00
Roof-to-wall 20 ea.	2,500.00
Structural seismic reinforcing	10,000.00
TOTAL ESTIMATED (for structural upgrades only)	44,500.00

SURREY HERITAGE DOCUMENTATION DATA WORKSHEET

Reference Number:

Name: Port Kells No. 7 Fire Hall

All or Portion of Property: All of Property

Single or Cluster: Single

Geographic Area: Port Kells

Tax Roll Number: PK085

Legal Description:

Municipality of Surrey
Parcel Identifier: 006-845-606
Parcel 'A' (Explanatory Plan 10441) Lot 28, North East Quarter, Section
28, Township 8, New Westminster District, Plan 1090

Map Page Number: 048

Civic Address:

18922 - 88 Avenue
Surrey, B.C.

Streetscape/Visibility:

Unobscured view of Fire Hall from 88 Avenue.



Present Owner:

Corporation of the District of Surrey
(since February 1956)

Mailing Address:

Telephone Number: Not listed.

Present Use: Fire Hall

Original Owner: Port Kells Progressive Society (Farmers Institute)

Original Use: Community Hall

Date of Construction: 1923

Architectural Assessment:

Foundation: Concrete

Structure: Wood frame (original structure).
Post and beam (extension) - glu-lam beams.

Cladding: Aluminum or vinyl siding (recent: 1989?) - replaced stucco siding (original structure) and vertical cedar siding (extension).

Windows:

Type - Upper Floor: rectangular, horizontally proportioned, paired wood sash.
Ground Floor: rectangular, vertically proportioned, wood sash.

Assembly - Casement and fixed.

Glazing - Double or triple pane - mullions divide panes horizontally - creates "streamlined" impression emphasizing horizontality - common in late 30's through 40's.

Plan Shape: Rectangular main building with two bay additions east side.

Dimensions: Original building - unknown - 40'0" x 28'6"

Storeys: Two plus one storey addition.

Basement: No basement.

Massing:

Bulky two storey envelope - accommodates two engine bays at ground level. One storey rectangular structure on east side accommodates an additional two engine bays - is a later addition.

Roof:

Type - Original structure: front-gabled - shallow to medium pitch.
Gabled roof vent on roof - ridge toward rear.
Extension: flat roof.

Material - Original structure: composition shingle.
Extension: built-up roof membrane (tar and gravel).

Design Details:

- Window glazing details described above.
- Louvered vent at apex of front gable-end.
- Louvered roof vent along roof ridge, at rear.
- Addition - cantilevered roof overhang.
- Overhead doors - engine bays.

Style:

Vernacular - Glazing patterns and lack of detail indicates influence of Modernism. Window types appear in 'Moderne' structure of late 1930's and 1940's.

Designer:

Original - Unknown

Extension: Louke B. Kleyn, Architect (Municipal Planner)

Builder:

Original: Unknown

Extension: Timm Construction Co.

Condition: Very good

Construction History:

- Built by Surrey Farmers Institute members sometime around 1923.
- Two bay extensions added, east side - Fall, 1967. Cedar siding onto ground front elevation to match addition.
- Wood garage doors replaced by metal doors (1967?)(LHS only)
- Aluminum or vinyl siding installed c.1989 (was stucco c.1986)
- "Port Kells No. 7 Fire Hall" lettering across front elevation, above engine bay. Doors appear to have been removed at time of siding installation.

Ownership History:

1923-1956 - Port Kells Progressive Society (Farmers Institute)

1956 - Present, Corporation of the District of Surrey

Historical Context:

This building was originally built as a meeting hall for the Port Kells Farmers Institute.

In 1935 it was leased for a term of thirty years to the Port Kells Congregation of the United Church of Canada. Obviously, church services were held in the Hall. The congregation worshipped in the Hall until 1947, when it was leased to the Corporation of the District of Surrey for use as a Fire Hall.

Documentation:

Photographic Record:

Roll #25, photo 14, black and white
Roll #076, photos #3-8, colour (6)

Reference Material:

1. Municipality of Surrey, Permits and Licenses Department, 18922 - 88 Avenue.

Status: Not designated

Comments:

Appendix "C"

VARIATION TO BY-LAWS

1. Section B Permitted Uses of Part 34 Local Commercial (C-4) Zone of the Surrey Zoning By-law, 1993, No. 12000, as amended is supplemented as follows:

The following uses are added to the uses already permitted in the C-4 Zone:

- “3. Office use limited to union office.
4. *Cultural use.*
5. *Assembly halls excluding churches.*”

2. Section D Density of Part 34 Local Commercial (C-4) Zone of the Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

Sections D.1 and D.2 are deleted and replaced with the following:

- “1. The maximum *density* shall not exceed a *floor area ratio* of 0.50.”

3. Section F Yards and Setbacks of Part 34 Local Commercial (C-4) Zone of the Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

The minimum east *side yard setback* for the *principal building* is reduced from 6.0 metres [20 ft.] to 5.0 metres [17 ft.].

4. Section H Off-Street Parking and Loading/Unloading of Part 34 Local Commercial (C-4) Zone of the Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

Sections H.1 and H.2 are deleted and replaced with the following:

- “1. A total of 8 off-street *parking spaces* are to be provided including 4 small car spaces with an allowable length of 4.8 metres [16 ft.].”

5. Section I Landscaping of Part 34 Local Commercial (C-4) Zone of the Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

Section I.2 is deleted.

Section I.4 is deleted and replaced with the following:

- “4. A solid decorative fence at least 1.5 metres [5 ft.] high shall be provided along the east *lot line* separating the developed portion of the *lot* from any *residential lot*.”

6. Section A.4(a)ii. of Part 5 Parking and Loading/Unloading of the Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

To permit the drive-aisle and *parking spaces* within the *side yard setback* and *rear yard setback* of the *building* to be surfaced with gravel.

7. Section B.1. of Part 5 Parking and Loading/Unloading of the Surrey Zoning By-law, 1993, No. 12000, as amended is varied or supplemented as follows:

To permit a two-way drive-aisle width of 4.9 metres [16 ft.].

8. Section B.1 of Part 7A Streamside Protection of the Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

The minimum setback of Class A Stream is reduced from 30 metres [100 ft.] to 15 metres [25 ft.] to *parking spaces* and to 19.7 metres [65 ft.] to the *building* face.

9. Table 1, Footnote 4 of the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended is varied as follows:

The minimum *lot* size for *lots* permitted septic systems is reduced from 0.81 hectare (2 acres) to 0.11 hectare (0.27 acre).

(Note: Terms used in Appendix "C" of this Agreement that are italicized are defined in the Surrey Zoning By-law, 1993, No. 12000, as amended, and shall take their meaning from the By-law.)