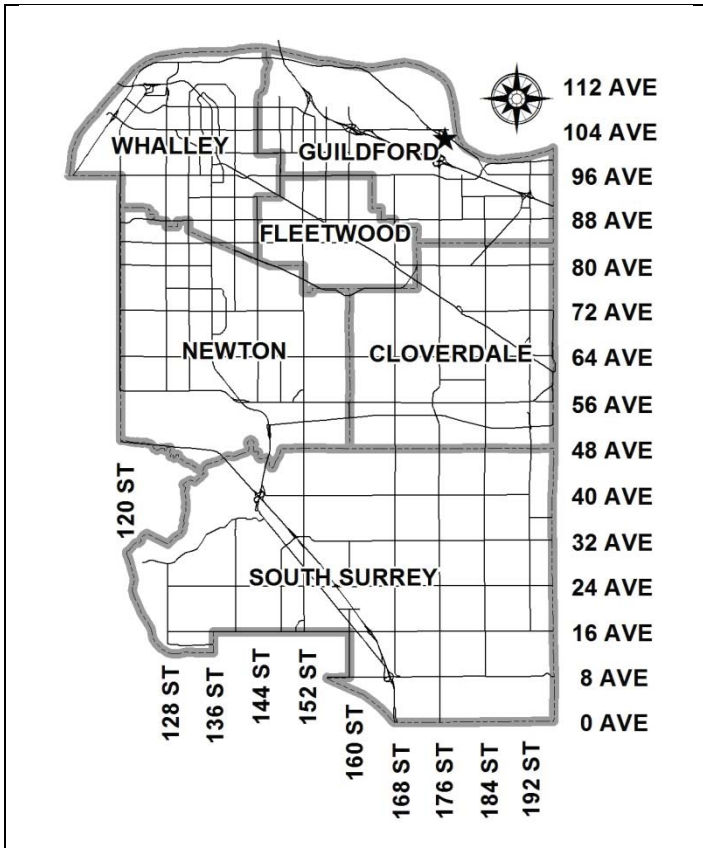


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7916-0067-00

Planning Report Date: October 23, 2017



**PROPOSAL:**

- Development Permit
- Development Variance Permit

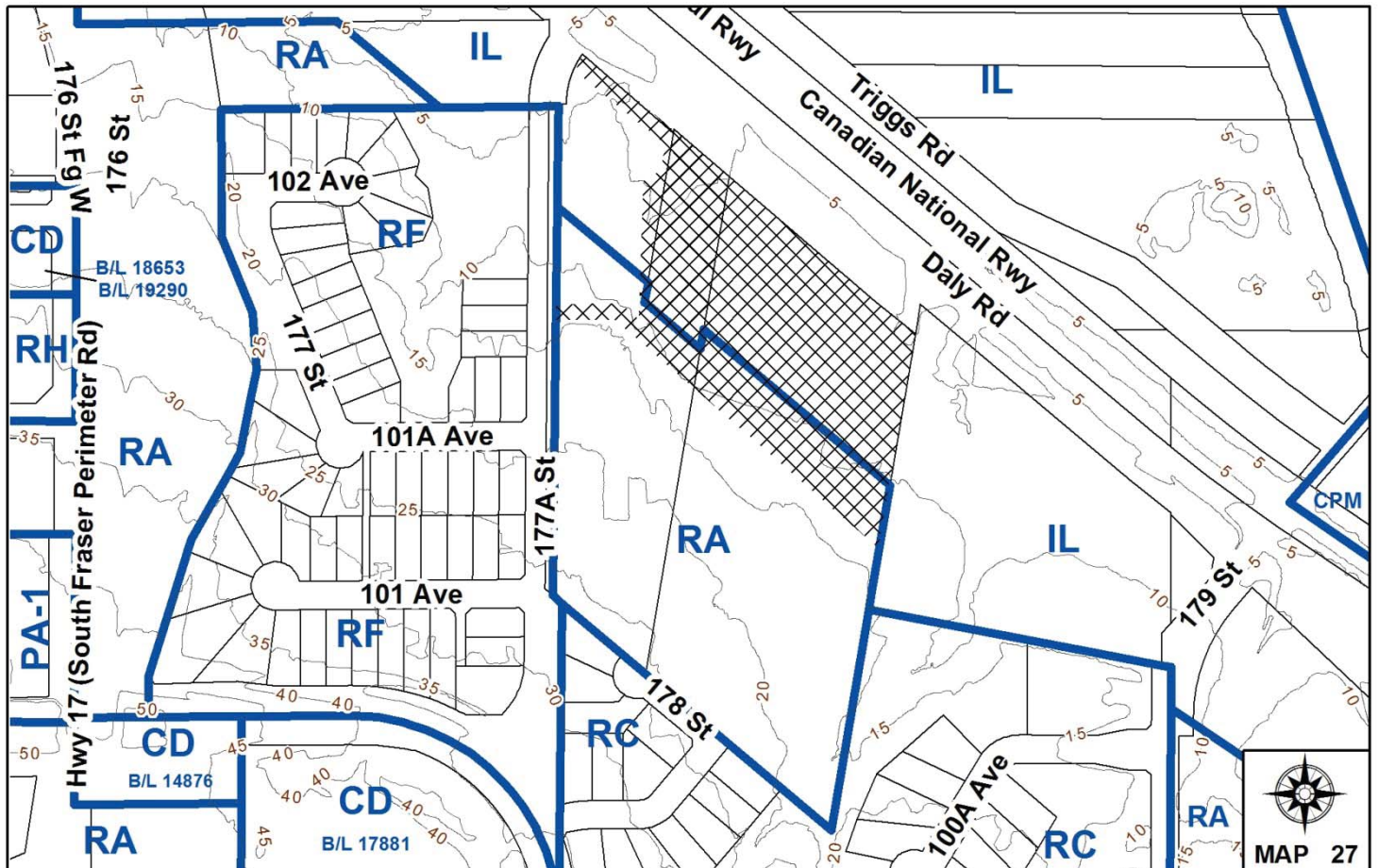
to permit the development of an industrial building on a portion of the site.

**LOCATION:** 17780, 17850 and 17770 - Daly Road

**ZONING:** IL and RA

**OCP DESIGNATION:** Industrial and Suburban

**LAP DESIGNATION:** Industrial



### RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking to reduce the south side yard setback of the IL Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.).
- The applicant is seeking to reduce the rear (east) yard setback of the IL Zone from 7.5 metres (25 ft.) to 0 metre (0 ft.).

### RATIONALE OF RECOMMENDATION

- The proposal is consistent with the in-process Development Application No. 7915-0166-00, which proposes an OCP Amendment of a portion of the parent site from Suburban to Industrial and Rezoning of a portion of the parent site from “One-Acre Residential Zone (RA) to “Light Impact Industrial (IL)” to permit subdivision into 2 industrial lots and 1 large suburban remnant lot. The proposed OCP Amendment and Rezoning By-laws have received Third Reading and are scheduled for Final Adoption on October 23, 2017. The subject proposal is to permit construction of an industrial building on one of the proposed industrial lots (Lot 2).
- Complies with the proposed Industrial designation in the OCP and LAP and supports the City’s Employment Lands Strategy through the more efficient use of industrial land.
- The proposed phasing allows for the applicant to transition into the new building with minimal impact to existing business operations.
- The proposed building incorporates high quality materials and design, which is appropriate as Daly Road is considered a gateway location into the City.
- The applicant has created a high quality 10-metre (33 ft.) landscaped interface between the subject site and potential future multi-family development to the south.
- The proposed variances allows for a more efficient industrial layout.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Form and Character and Hazard Lands Development Permit No. 7916-0067-00 generally in accordance with the attached drawings (Appendix II).
2. Council approve Development Variance Permit No. 7916-0067-00 (Appendix IV) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum south side yard setback of the IL Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.); and
  - (b) to reduce the minimum rear (east) yard setback of the IL Zone from 7.5 metres (25 ft.) to 0 metre (0 ft.).
3. Council instruct staff to resolve the following issues prior to approval:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) input from the Ministry of Transportation & Infrastructure;
  - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (f) completion of corresponding Development Application No. 7915-0166-00 proposing an OCP amendment, rezoning, and subdivision of the subject site to facilitate the proposed development;
  - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
  - (h) registration of a Section 219 “no-build” Restrictive Covenant and corresponding access easement, along with payment of financial securities, to ensure the installation and maintenance of a landscaped buffer on proposed Lot 3 of the 3-lot subdivision under corresponding Development Application No. 7915-0166-00; and
  - (i) Registration of a shared access easement for driveway access and encroachment of parking spaces between proposed Lots 1 and 2 of the 3-lot subdivision under corresponding Development Application No. 7915-0166-00.

REFERRALS

Engineering: Engineering requirements are being completed under Servicing Agreement 7815-0166-00.

Ministry of Transportation & Infrastructure (MOTI): MOTI has no objections to this project.

SITE CHARACTERISTICS

Existing Land Use: Existing steel manufacturing business (Solid Rock Steel). The site is currently under Development Application No. 7915-0166-00 proposing an OCP amendment and rezoning of a portion of the site, currently at Third Reading and scheduled for Final Adoption on October 23, 2017. Subdivision of the subject site to create 3 lots is expected to be completed shortly thereafter (see Appendix II for subdivision plan).

Adjacent Area:

Direction	Existing Use	LAP Designation	Existing Zone
North (Across Daly Road):	Lumber mill.	Industrial in the OCP.	IL
East:	Parkland for creek protection, single family dwellings and industrial site.	Industrial	RC and IL
South:	Single family dwellings and parkland for creek protection.	Low Density Townhouse 12 – 15 UPA	RA
West (Across 177A Street):	Single family dwellings, greenbelt and vacant remnant lots from South Fraser Perimeter Road/Highway No. 17 construction.	Existing Natural Area and Single Family Residential 4-6 UPA	RF and IL

DEVELOPMENT CONSIDERATIONS

- On February 1, 2016, Development Application No. 7915-0166-00 was presented to Council proposing an OCP amendment of a portion of the parent site from Suburban to Industrial and a Rezoning of a portion of the parent site from RA to IL to facilitate a 3-lot subdivision. The OCP Amendment and Rezoning By-laws (No. 18655 and 18666) subsequently received Third Reading from Council on February 22, 2016. The subdivision plan has changed slightly from the one previously presented to Council to include a panhandle for proposed Lot 2 (Appendix II).
- Under Development Application No. 7915-0166-00 proposed Lots 1 and 2 are proposed to be zoned “Light Impact Industrial (IL)” and designated Industrial in the OCP to accommodate

industrial development. The area comprising proposed Lots 1 and 2 is designated Industrial in the Abbey Ridge Local Area Plan (LAP). Proposed Lot 3 is proposed to be zoned “One-Acre Residential Zone (RA)” and designated “Suburban” in the OCP. The area comprising proposed Lot 3 is designated “Low Density Townhouse 12-15 UPA Gross” and “Single Family Residential 4-6 UPA” in the Abbey Ridge LAP and as such is anticipated for townhouses and single family residential lots subject to a future rezoning application.

- The OCP Amendment and Rezoning By-laws under Application No. 7915-0166-00 are scheduled to be considered for Final Adoption by Council on October 23, 2017. Should Council grant Final Adoption, the corresponding subdivision plans can be executed by the Approving Officer shortly thereafter.
- The subject Development Application comprises Lot 2 of the proposed 3-lot subdivision under Development Application No. 7915-0166-00 (see Appendix II for application area) and has a total area of 1.654 hectares (4 acres).
- The application proposes a Development Permit to permit construction of a 4,597 square metres (49,487 sq. ft.) industrial building on proposed Lot 2. The proposed development complies with all requirements of the IL Zone on the future Lot 2 with the exception of the south side yard and rear (east) yard setbacks, which are proposed to be reduced from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) and 0 metres (0 ft.), respectively. See By-law Variances Section.
- The applicant is Solid Rock Steel, a manufacturer that specializes in the fabrication and erection of structural steel. The applicant proposes to construct a new industrial building to replace their existing building which needs to be replaced due to impacts of the widening and construction of Daly Road/South Fraser Perimeter Road.

#### Phasing of Construction

- To minimize the impact on existing production and operations during construction and transition into the new building, the proposed construction is proposed to be undertaken in three phases (Appendix V) as follows:
  - Phase 1 - the applicant will construct approximately 90% of the proposed new building, with a 373 square metre (4,013 sq. ft.) western portion remaining to be constructed as part of Phase 3. The applicant will then shift business operations from the old building into the new building;
  - Phase 2 - upon relocation of the business, the application will demolish an approximate 2,049 square metre (22,054 sq. ft.) portion of the existing building and convert the 1,029 square metre (11,076 sq. ft.) remaining building to industrial space for lease; and
  - Phase 3 - the applicant will complete the remaining 373 square metre (4,013 sq. ft.) western portion of the new building.

## PRE-NOTIFICATION

- A development proposal sign for the subject Development Permit application was erected on the site on August 23, 2017. Staff did not receive any comments.

## DESIGN PROPOSAL AND REVIEW

### Proposed new building

- The proposed building is designed to provide manufacturing and office space for Solid Rock Steel, who specializes in the fabrication and erection of structural steel for the construction industry. The proposed building is 4,597 square metres (49,487 sq. ft.) in area with a main floor of 4,143 square metres (44,591 sq. ft.) and a second floor of 455 square metres (4,896 sq. ft.). Approximately 508 square metres (5,474 sq. ft.) of the building is proposed for office space with the remaining 4,089 square metres (44,013 sq. ft.) proposed to be industrial manufacturing space.
- The proposed building is located towards the south end of the property, with a south yard setback of approximately 4.5 metres (15 ft.). The proposed building is approximately 149 metres (489 ft.) wide, which is required to facilitate the assembly line form of manufacturing where steel beams are moved from west to east through the building.
- The northern portion of the building steps forward with the two-storey office portion being closest to Daly Road.
- The proposed building design incorporates substantial amounts of steel in the building façade to incorporate Solid Rock Steel's products. The design of the building will include grey concrete tilt-up, accented with metal canopies and red trim with substantial glazing along the north facade.
- The north elevation is highly visible from Daly Road/South Fraser Perimeter Road and includes the primary entrance for the office portion of the building. The two-storey office component is primarily glazed with red trim. The main floor of the office component is comprised of textured concrete painted grey. The industrial portion of the north elevation is primarily grey with red trim and includes seven large overhead doors.
- The industrial portion of the west elevation is grey with red trim and includes two large overhead doors. The office portion includes a second floor balcony with windows and a main floor which is primarily painted grey with man doors.
- The south elevation faces the south property line and will be completely screened by a 10-metre (33 ft.) wide landscape buffer that will be located on the neighbouring property (proposed Lot 3). A walkway extends the full length of the building with seven doors exiting onto the walkway. The applicant is proposing rooftop mechanical screening along the south elevation to screen the units from future upslope residential development.
- The east elevation is not visible from Daly road and will be screened by an existing treed creek area. The industrial portion of the east elevation is primarily grey and includes three fume stacks that rise 4.5 metres (15 ft.) above the roofline and a covered loading area. The office

portion includes glazing along the second floor with red trim. The main floor is screened by the garbage compound.

#### Existing Building

- Solid Rock Steel is currently located within an existing building on proposed Lot 2 and intends to remain in the building until the new building is completed.
- The applicant proposes to remove approximately 2,044 square metres (22,054 square feet) of the existing building leaving approximately 1,029 square metres (11,080 square feet) of building area remaining. Of the remaining 1,029 square metres (11,080 sq.ft.), approximately 210 square metres (2,265 square feet) is on the second floor and intended for office space and 819 square metres (8,815 square feet) is on the main floor and is intended for industrial manufacturing space. The building's height will remain at 7.75 metres (25 ft.).
- The existing building is proposed to ultimately have a 9-metre (30 ft.) setback along Daly Road and a 12.8 metre (42 ft.) setback from the south property line. The existing building will ultimately be separated 1.67 metres (5.5 ft.) from the new building.

#### Concept Lot 1 - Future Building

- The applicant has provided a concept showing a potential future industrial building on proposed Lot 1 of the 3-lot subdivision. The proposed concept includes two driveways, one from 177A Street and another from Daly Road, through the subject proposed Lot 2. Future parking spaces are also illustrated encroaching into the panhandle portion of proposed Lot 2. The applicant will register an access easement to facilitate the future shared access and encroachment of parking spaces into Lot 2.

#### Concept Lot 3 - Townhouses and Single Family

- The applicant has provided a concept for proposed Lot 3 showing a 10-metre (33 ft.) landscaped buffer and townhouses as well as single family dwellings, which complies with the Abbey Ridge LAP designations of Low Density Townhouse 12-15 UPA Gross and Single Family Residential 4-6 UPA.

#### Parking, Access and Circulation

- The applicant proposes to retain the two existing driveway entrances along Daly Road. The eastern access is shared with the neighbouring industrial property at 10097 - 179 Street and is protected by a shared access easement. The western access is proposed to be shared with proposed Lot 1 (as described above).
- The applicant has provided truck turning illustrations to demonstrate how trucks will access and maneuver on site. The primary entrance and egress for large trucks will be the eastern driveway but the western driveway can also be used if needed.
- The western driveway will primarily serve passenger vehicles for the subject site and neighbouring property to the west (proposed Lot 1). The applicant proposes to demolish a 6.3-metres (21 ft.) northern portion of the existing building to create a 9-metre (30 ft.) wide drive aisle.

- The applicant proposes 67 parking stalls on the lot, which exceeds the 66 stalls required under the Zoning By-law No. 12000. The applicant proposes two rows of parking in front of the building and along the boulevard with a large approximate 10 metre (33 ft.) to 30 metre (98 ft.) wide drive aisle to facilitate truck maneuvering, loading and product staging.
- The applicant requires significant flexibility within the front yard of the site to allow for loading and maneuvering of product orders. Trucks leaving the site are often oversized loads. The majority of trucks will deliver loads along the western portion of the building and receive loads along the eastern portion of the site or within the parking lot.
- Loading doors are proposed along the north and west elevations of the building.

#### Trees, Landscaping and Retaining Walls

- The applicant proposes a landscaped buffer with 6 landscape islands along Daly Road, which includes 20 trees and a mix of shrubs. The proposed buffer is 1.5 metres wide along the western driveway entrance and widens to between 3-metres (10 ft.) and 4-metres (13 ft.) along the remainder of the northern property line. The landscaping within the panhandle portion of the lot is 3 metres (10 ft.) wide and will screen future industrial development on proposed Lot 1.
- The applicant proposes 1.5-metre (5 ft.) high black chain link fencing within the landscaping buffer along Daly Road with both a swing gate and sliding gate at the eastern entrance and a swing gate along the western entrance.
- Within the parking lot, the landscaping plan proposes 4 landscape islands between parking spaces in front of the building entrance. Each landscape island will require 10 cubic metres (353 cubic feet) of structural soil to support a tree.
- Retaining walls are proposed along the south property line and southeast portion of the site. None of the proposed 1-metre (3 ft.) tall retaining walls will be visible from the public realm.

#### Southern Residential Landscape Buffer

- The applicant proposes a 10-metre (33 ft.) wide landscape buffer that will be entirely located on the future Lot 3 to the south. The proposed buffer will be planted in phases with Phase 1 to coincide with the new building construction, Phase 2 – coinciding with the demolition of the existing building and Phase 3 – coinciding with the future industrial development of Lot 1.
- The proposed 10 metre (33 ft.) wide landscape buffer will ultimately extend the entire length of the lot to the south which is approximately 218 metres (715 ft.) in total width.
- The 10 metre (33 ft.) wide landscape buffer will begin at the south lot line, however, additional landscaping is proposed within the 4.5 metre (15 ft.) setback area between the proposed industrial building and the south lot line. This 4.5 metre (15 ft.) wide setback area includes landscaping along with an exit walkway and the approximate 1 metre (3 ft.) tall retaining wall. The buffer rises approximately 6 metres (20 ft.) from the top of the retaining wall to the southern edge of the buffer with a slope of approximately 30%. Chain link fencing will be installed on either side of the buffer with gates for access.



- The buffer is comprised of approximately 98 trees, which include vine maple, firs and pine trees.
- Although located on the future neighbouring property (Lot 3), the buffer will be maintained by the owners of the subject lot (Lot 2) until the property to south ultimately redevelops in accordance with the Abbey Ridge LAP. Installation and maintenance of the buffer will be secured through the registration of a restrictive covenant and access easement as well as the submission of financial securities that will be held for 5 years to ensure a healthy buffer.

### Signage

- At this time no fascia signage is proposed for the building and only the location of a free-standing sign has been identified just west of the eastern driveway entrance. The applicant intends to submit a separate Development Permit application for signage in the future.

### Development Permit for Hazard Lands

- The subject site has portions of land that are within the Hazard Lands Development Permit area for steep slopes. A geotechnical report has been submitted, and will be incorporated into the Development Permit. Proposed lot grading and site construction will be undertaken in accordance with the recommendations of the geotechnical report.

### TREES

- Michael Harray, ISA Certified Arborist of Diamond Head Consulting Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Alder	10	10	0
Cottonwood	12	12	0
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Bitter Cherry	2	2	0
Lombardy poplar	2	2	0
Scouler's Willow	3	3	0
Bigleaf Maple	1	0	1
<b>Coniferous Trees</b>			
Douglas Fir	6	5	1
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>15</b>	<b>13</b>	<b>2</b>

<b>Total Replacement Trees Proposed</b> (excluding Boulevard Street Trees)	<b>123</b>
<b>Total Retained and Replacement Trees</b>	<b>125</b>

- The Arborist Assessment states that there are a total of 15 protected trees on the site, excluding Alder and Cottonwood trees. Twenty-two (22) existing trees, approximately 60% of the total trees on the site, are Alder and Cottonwood trees. It was determined that 2 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 48 replacement trees on the site. The applicant is proposing 123 replacement trees, exceeding City requirements.
- The new trees on the site will consist of a variety of trees including vine maples, pines, firs and ash with 98 trees within the buffer area and 27 trees proposed within the developable portion of the site.
- In summary, a total of 125 trees are proposed to be retained or replaced on the site.

#### SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on October 17, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	• Site is located within the Abbey Ridge Local Area Plan.
2. Density & Diversity	• N/A
3. Ecology & Stewardship	• Applicant will plant a large landscape buffer as part of the development.
4. Sustainable Transport & Mobility	• N/A
5. Accessibility & Safety	• N/A
6. Green Certification	• N/A
7. Education & Awareness	• N/A

BY-LAW VARIANCE AND JUSTIFICATION

## (a) Requested Variance:

- To reduce the south side yard setback of the IL Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.); and
- To reduce the rear (east) yard setback of the IL Zone from 7.5 metres (25 ft.) to 0 metres (0 ft.).

## Applicant's Reasons:

- Due to the inclusion of a panhandle for proposed Lot 2, all the lot line classifications have changed as the 177A Street frontage is now considered the front lot line.
- The neighbouring property owner to the east has no concerns with the proposed development.
- When the proposed 10 metre (33 ft.) landscape buffer is combined with the proposed 4.5 metre (15 ft.) setback, a 14.5 metre (48 ft.) separation is created between the subject industrial building and future residential development to the south.

## Staff Comments:

- Proposed Lot 2 requires a panhandle to support servicing. The panhandle has changed the east property line to a rear yard from previously a side yard and changed the south property line to a side yard from previously a rear yard.
- The rear (east) yard interfaces with a treed creek area and neighbouring industrial site and is not visible from the public realm.
- The neighbour to the east, who is most impacted by the proposed east yard relaxation, has provided a letter of support for the proposed development.
- The proposed south side yard setback will interface with a proposed 10-metre (33 ft.) wide landscaped buffer which screens the subject site from future residential development and provides 14.5 metres (48 ft.) of separation. The impacted property to the south is currently owned by the same owner.
- Staff support the requested variances.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Action Summary (Confidential) and Project Data Sheets
- Appendix II. Subdivision Plan, Site Plan, Building Elevations, and Landscape Plans
- Appendix III. Summary of Tree Survey and Tree Preservation
- Appendix IV. Development Variance Permit No. 7916-0067-00
- Appendix V. Phasing of Project and Demolition of Existing Building

*original signed by Ron Gill*

Jean Lamontagne  
General Manager  
Planning and Development

JKS/da

APPENDIX I HAS BEEN  
REMOVED AS IT CONTAINS  
CONFIDENTIAL INFORMATION

## DEVELOPMENT DATA SHEET

Existing Zoning: IL

Required Development Data	Minimum Required / Maximum Allowed	Proposed	
LOT AREA* (in square metres)			
Gross Total		16,540 m <sup>2</sup>	
Road Widening area			
Undevelopable area			
Net Total		16,540 m <sup>2</sup>	
LOT COVERAGE (in % of net lot area)			
Buildings & Structures	60%	32.5%	
Paved & Hard Surfaced Areas			
Total Site Coverage			
SETBACKS ( in metres)		<b>New Building</b>	<b>Existing Building</b>
Front (West)	7.5 m	27 m	23.81 m
Rear (East)	7.5 m	0.1 m *	126.1 m
Side (North)	7.5 m	34 m	8.94 m
Side (South)	7.5 m	4.58 m *	12.86 m
BUILDING HEIGHT (in metres/storeys)			
Principal	18 m	9.55 m	7.75 m
Accessory			
NUMBER OF RESIDENTIAL UNITS			
Bachelor			
One Bed			
Two Bedroom			
Three Bedroom +			
Total			
FLOOR AREA: Residential			
FLOOR AREA: Commercial			
Retail			
Office		508 m <sup>2</sup>	210 m <sup>2</sup>
Total			
FLOOR AREA: Industrial		4,088 m <sup>2</sup>	818 m <sup>2</sup>
FLOOR AREA: Institutional			
TOTAL BUILDING FLOOR AREA		4,597 m <sup>2</sup>	1,029 m <sup>2</sup>

\* requires development variance permit

**Development Data Sheet cont'd**

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)		
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial	18	18
Industrial	49	49
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	67	67
Number of accessible stalls	1	1
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

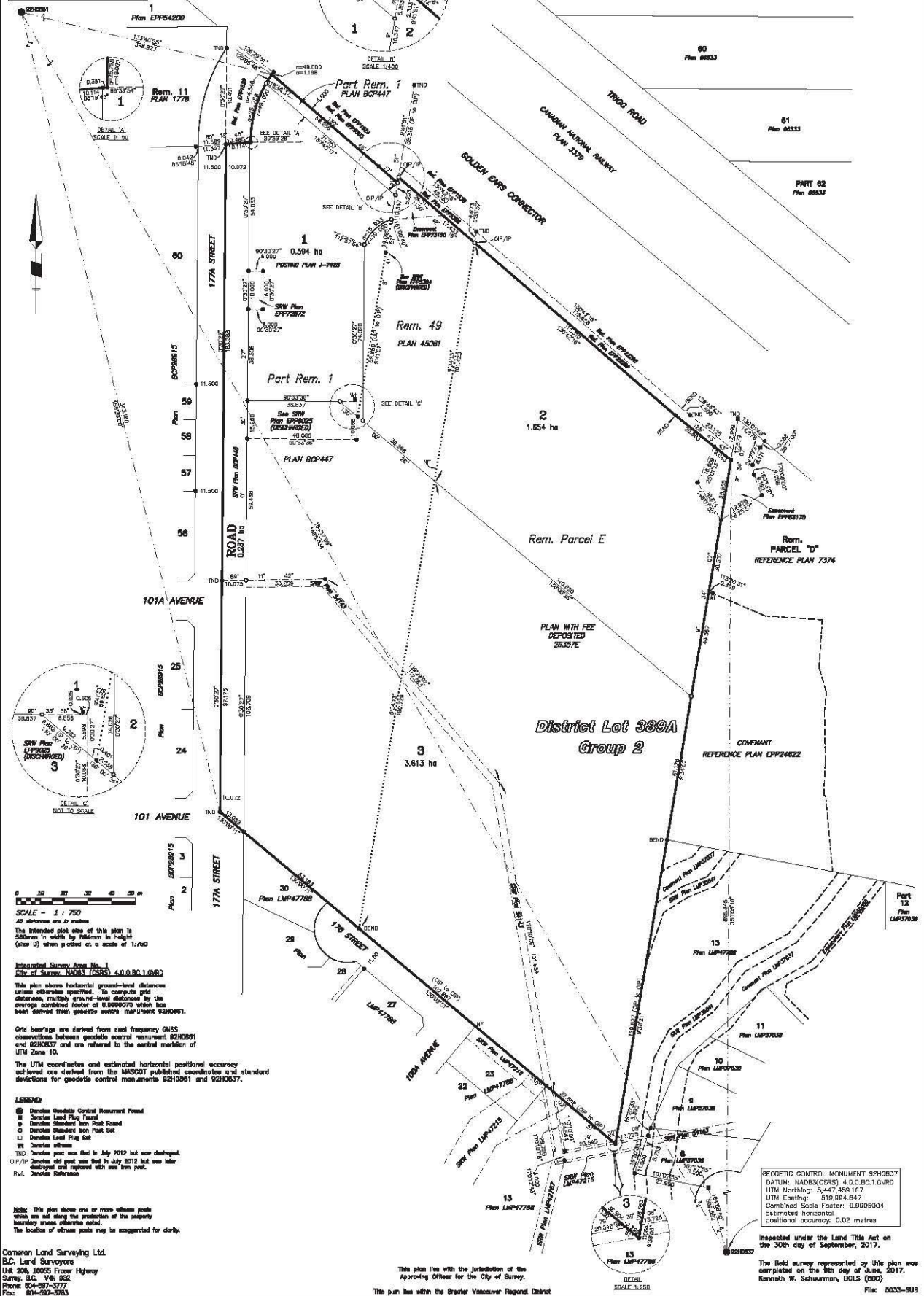
Heritage Site	NO	Tree Survey/Assessment Provided	YES
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SUBMISSION PLAN OF

- 1) LOT 1, PLAN BCP447 EXCEPT PART DEDICATED ARTERIAL HIGHWAY BY PLAN EPP1529 AND PART DEDICATED ROAD BY PLAN EPP5303;
  - 2) LOT 49, PLAN 45081 EXCEPT PART DEDICATED ARTERIAL HIGHWAY BY PLAN EPP1530 AND PART DEDICATED ROAD BY PLAN EPP5305;
  - 3) PARCEL "E" (PLAN WITH FEE DEPOSITED 26357E) EXCEPT PART DEDICATED ARTERIAL HIGHWAY BY PLAN EPP22298 AND PART DEDICATED ROAD BY PLAN EPP22299;
- ALL OF DISTRICT LOT 389A, GROUP 2, NEW WESTMINSTER DISTRICT

BCS MAP SHEET 826.017

GEODETIC CONTROL MONUMENT 82H0861  
 DATUM: NAD83(CRS) 4.0.D.BC.1.0.VRD  
 UTM Northing: 5,449,778.598  
 UTM Easting: 919,259.274  
 Combined Scale Factor: 0.9999070  
 Estimated horizontal positional accuracy: 0.02 metres



SCALE - 1 : 750  
 All distances are in metres  
 The intended plot size of this plan is 280mm in width by 854mm in height (size D) when printed at a scale of 1:750

Integrated Survey Area No. 1  
 City of Surrey, M083 (SSS) 4.0.D.BC.1.0.VRD

This plan shows horizontal ground-level distances unless otherwise specified. To compare with observations, multiple ground-level distances by the average combined factor of 0.9999070 which has been derived from geodetic control monument 82H0861.

Grid bearings are derived from dual frequency GNSS observations between geodetic control monument 82H0861 and 82H0837 and are referred to the central meridian of UTM Zone 10.

The UTM coordinates and estimated horizontal positional accuracy achieved are derived from the IAGSO20 published coordinates and standard deviations for geodetic control monuments 82H0861 and 82H0837.

- LEGEND
- Geodetic Control Monument Found
  - Geodetic Land Plan Tied
  - Geodetic Standard Iron Post Found
  - Geodetic Standard Iron Post Set
  - Geodetic Land Plan Set
  - Geodetic Land Plan Set
  - TIO Geodetic point was tied in July 2012 but was later destroyed and replaced with new iron post.
  - OP/IP Geodetic old post was tied in July 2012 but was later destroyed and replaced with new iron post.
  - Ref. Geodetic Reference

Note: This plan shows one or more offset points which are not along the production of the property boundary lines otherwise noted. The location of offset points may be suggested for clarity.

Cameron Land Surveying Ltd.  
 BC Land Surveyors  
 146 305 Fraser Highway  
 Surrey, BC V4A 6S2  
 Phone: 604-587-5777  
 Fax: 604-587-3503

This plan is with the jurisdiction of the Approving Officer for the City of Surrey.  
 The plan is with the Greater Vancouver Regional District

GEODETIC CONTROL MONUMENT 82H0837  
 DATUM: NAD83(CRS) 4.0.D.BC.1.0.VRD  
 UTM Northing: 5,447,458.167  
 UTM Easting: 919,934.847  
 Combined Scale Factor: 0.9999004  
 Estimated horizontal positional accuracy: 0.02 metres

Inspected under the Land Title Act on the 30th day of September, 2017.  
 The field survey represented by this plan was completed on the 30th day of June, 2017.  
 Kenneth W. Schuurman, GCLS (800)  
 Lic: 0033-918



# RESUME

## LEGAL DESCRIPTION

LOT 2, DISTRICT LOT 304A GROUP 2 NPD PLAN \_\_\_\_\_ (NO PID NUMBER)

## CIVIC ADDRESS

17180 & 17850 DALY ROAD, SURREY, B.C.

## ZONING

I - LIGHT IMPACT INDUSTRIAL ZONE

## SITE AREA

17,819 S.F. ± [ 1,632.4 S.M. ]

## BUILDING AREA

NEW BUILDING 45,061 S.F. ± [ 4,187 S.M. ]  
EXISTING BUILDING 12,815 S.F. ± [ 1,191 S.M. ]  
57,876 S.F. ± [ 5,377 S.M. ]

## SITE COVERAGE

PROPOSED 57,882 S.F. / 17,819 S.F. = 323%  
MAX. SITE COVERAGE ALLOWED 60.0%

## FLOOR AREAS

### NEW BUILDING - FLOOR AREAS

	INDUSTRIAL	OFFICE	TOTAL
MAIN FLOOR	44,019 S.F.	370 S.F.	44,389 S.F.
SECOND FLOOR	-	4,846 S.F.	4,846 S.F.
NEW BLDG. TOTAL	44,019 S.F.	5,216 S.F.	49,235 S.F.

### EXISTING BUILDING - FLOOR AREAS (AFTER DEMOLITION)

	INDUSTRIAL	OFFICE	TOTAL
MAIN FLOOR	8,815 S.F.	-	8,815 S.F.
SECOND FLOOR	-	2,265 S.F.	2,265 S.F.
EXISTING BLDG. TOTAL	8,815 S.F.	2,265 S.F.	11,080 S.F.

TOTAL	32,834 S.F.	7,481 S.F.	40,315 S.F.
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EXISTING BUILDING EXTERIOR COVERED AREA 4,000 S.F.

## FLOOR AREA RATIO

MAXIMUM ALLOWABLE PROPOSED 60.361 S.F. / 17,819 S.F. = 0.34

## SETBACKS

	REQUIRED	EXISTING BUILDING	NEW BUILDING
FRONT YARD [ WEST ]	24.61' [ 7.5m ]	80.70' [ 24.6m ]	78.11' [ 23.8m ]
SIDE YARD [ NORTH ]	24.61' [ 7.5m ]	29.59' [ 8.94m ]	109.75' [ 33.45m ]
SIDE YARD [ SOUTH ]	24.61' [ 7.5m ]	42.18' [ 12.86m ]	15.01' [ 4.58m ] - VARIANCE REQUIRED
REAR YARD [ EAST ]	24.61' [ 7.5m ]	48.72' [ 14.81m ]	0.59' [ 0.18m ] - VARIANCE REQUIRED

## HEIGHT

MAXIMUM ALLOWABLE PROPOSED 60'-0" [ 18.0 M. ]  
31'-4" [ 9.58 M. ]

## PARKING

REGULAR STALLS 8'-6" X 18'-0"  
SMALL CAR STALLS ( MAX 95% ) 8'-8" X 16'-0"  
H/C STALL 12'-0" X 18'-0"

### REQUIRED

EXISTING BUILDING: 1 STALL PER 100 SQ. M. (1,075 S.F.) OF FLOOR AREA  
11,080 S.F. / 1,075 S.F. = 10.3 STALLS

EXISTING BUILDING NEW BY-LAW REQUIREMENTS: ADDITIONAL  
15 STALLS PER 100 SQ. M. (1,075 S.F.) OF OFFICE FLOOR AREA  
2,265 S.F. / 1,075 S.F. = 2.11 X 15 = 31.7 STALLS

NEW BUILDING INDUSTRIAL: 1 STALL PER 100 SQ. M. (1,075 S.F.)  
44,019 S.F. / 1,075 S.F. = 40.9 STALLS

NEW BUILDING OFFICE: 2.5 STALLS PER 100 SQ. M. (1,075 S.F.)  
5,216 S.F. / 1,075 S.F. = 4.85 X 2.5 = 12.1 STALLS

67 STALLS

### PROVIDED

REGULAR STALLS 64 STALLS  
SMALL CAR STALL 2 STALLS  
H/C STALL 1 STALL  
TOTAL STALLS 67 STALLS

## LOADING

LOADING BAY 11.48' X 60.37' LARGE SIZE  
4.84' X 24.85' MEDIUM SIZE

### REQUIRED

### PROVIDED

## LEGEND



## ABBREVIATIONS

B.E.R. - BASEMENT ELEVATION RESTRICTION  
C.B. - CATCH BASIN  
D.D. - DRAIN DRAIN  
E.C. - EXISTING  
F.C.B. - FUTURE CATCH BASIN  
F.H. - FIRE HYDRANT  
I.C. - IN CONTRACT  
L.B. - LAWN BASIN  
L.B.L. - LANDSCAPE BOLLARD LIGHT  
L.S. - LIGHT STANDARD  
M.H. - MANHOLE  
M.E.L. - MIN. BASEMENT ELEVATION  
H.F.B. - HOSE BIB (NON-FREEZE TYPE)  
N.I.C. - NOT IN CONTRACT  
O.I. - OIL INTERCEPTOR  
P.P. - POWER POLE  
R.D. - ROOF DRAIN  
R.S. - ROOF SCUPPER  
S.C. - SMALL CAR PARKING  
S.W. - SIDE WALK

SURVEY INFORMATION PER SURVEY PLAN BY:  
CAMERON LAND SURVEYING LTD.  
UNIT 208 - 18055 FRASER HIGHWAY, SURREY, B.C. V4N 0X2 Ph: 804-587-3777  
IT IS THE OWNER / DEVELOPER'S RESPONSIBILITY TO NOTIFY THE OWNER OF ALL RIGHT OF WAY, EASEMENTS, AND COVENANTS PRIOR TO CONSTRUCTION.  
FILE NO. 2844-1P

# CODE ANALYSIS B.C.B.C. 2012

## 3.2.2.68. Group F, Division 1, up to 4 Storeys, Sprinklered

1) Except as permitted by Articles 3.2.2.69, to 3.2.2.71., a building classified as Group F, Division 1 shall conform to Sentence (2) provided

- a) it is not more than 4 storeys in building height, and
- b) it has a building area not more than
  - i) 9 000 m<sup>2</sup> if 1 storey in building height,
  - ii) 4 500 m<sup>2</sup> if 2 storeys in building height, or 1 484 m<sup>2</sup> S.F. ]
  - iii) 3 000 m<sup>2</sup> if 3 storeys in building height, or
  - iv) 2 250 m<sup>2</sup> if 4 storeys in building height.

2) Except as permitted by Article 3.2.2.16., the building referred to in Sentence (1) shall be of noncombustible construction, and

- a) except as permitted by Sentences 3.2.2.7.(1) and 3.2.2.18.(2), the building shall be sprinklered throughout,
- b) floor assemblies shall be fire separations with a fire-resistance rating not less than 2 h,
- c) mezzanines shall have a fire-resistance rating not less than 1 h, and
- d) loadbearing walls, columns and arches shall have a fire-resistance rating not less than that required for the supported assembly.

## 3.2.2.59. Group D, up to 3 Storeys, Sprinklered

1) 1) A building classified as Group D is permitted to conform to Sentence (2) provided

- a) except as permitted by Sentences 3.2.2.7.(1) and 3.2.2.18.(2), the building is sprinklered throughout,
- b) it is not more than 3 storeys in building height, and
- c) it has a building area not more than
  - i) 14 400 m<sup>2</sup> if 1 storey in building height,
  - ii) 7 200 m<sup>2</sup> if 2 storeys in building height, or [ 7500 S.F. ]
  - iii) 4 800 m<sup>2</sup> if 3 storeys in building height.

2) The building referred to in Sentence (1) is permitted to be of combustible construction or noncombustible construction used singly or in combination, and

- a) floor assemblies shall be fire separations and, if of combustible construction, shall have a fire-resistance rating not less than 45 min,
- b) mezzanines shall have, if of combustible construction, a fire-resistance rating not less than 45 min, and
- c) loadbearing walls, columns and arches supporting an assembly required to have a fire-resistance rating shall
  - i) have a fire-resistance rating not less than 45 min, or
  - ii) be of noncombustible construction.

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STEEL**

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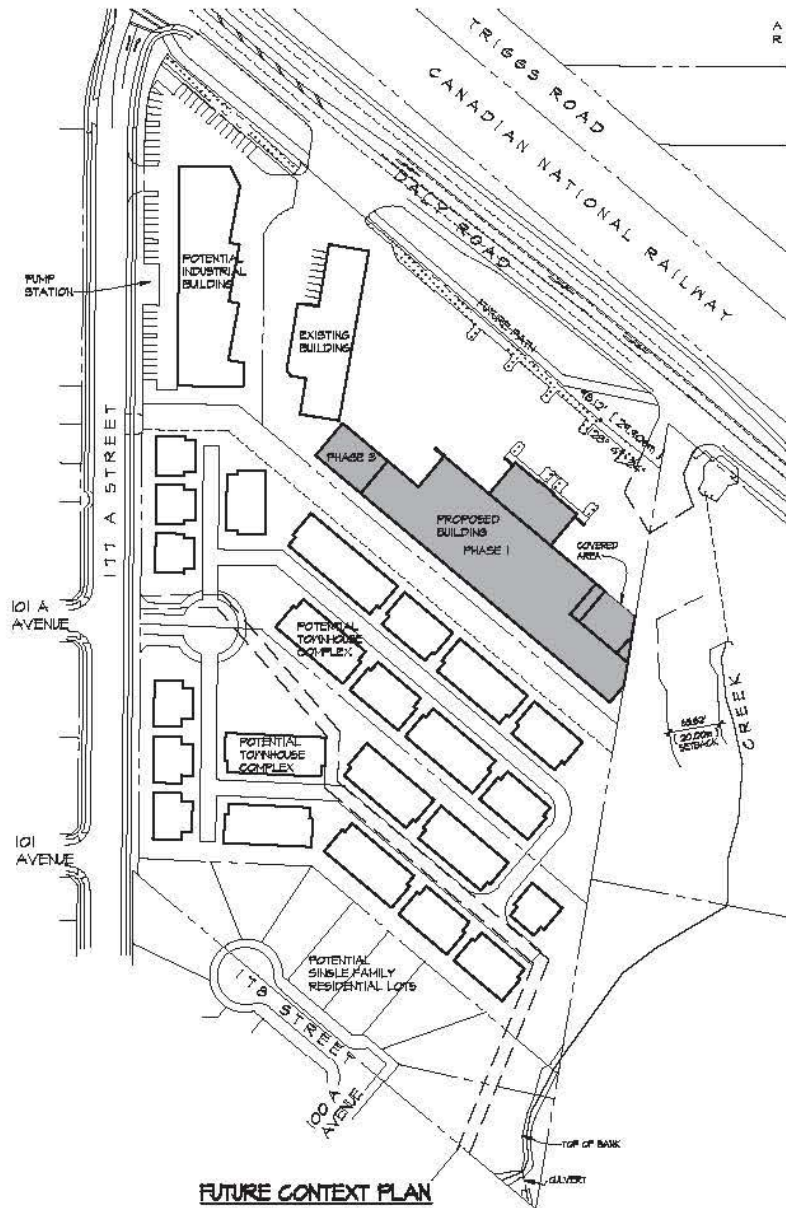
mighty oak holdings  
17180 & 17850 DALY ROAD, SURREY, BC

SCALE: N.T.S.  
DATE: OCT. 13, 2017

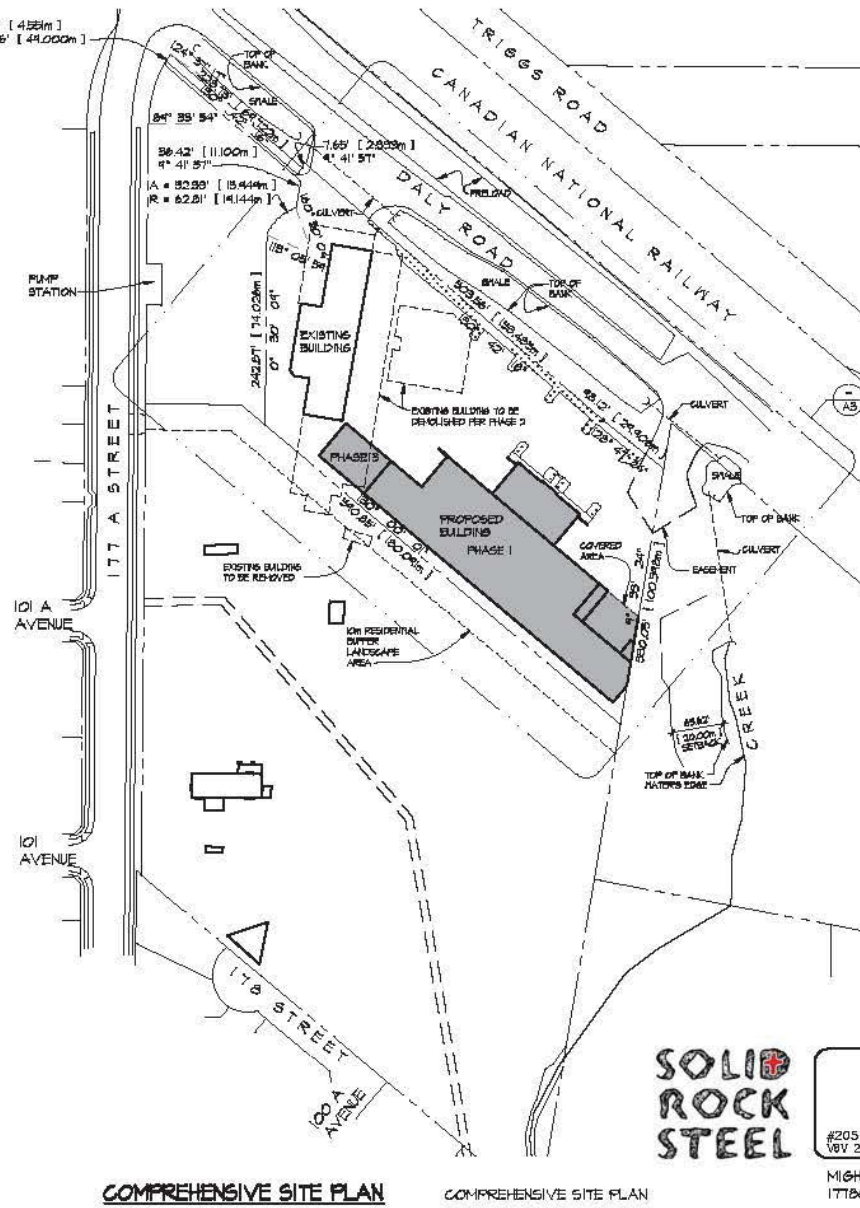
PROJECT DATA

RE-ISSUED FOR DEVELOPMENT PERMIT

AI



A = 14.43' [4.39m]  
 R = 160.76' [49.00m]



COMPREHENSIVE SITE PLAN

RE-ISSUED FOR DEVELOPMENT PERMIT

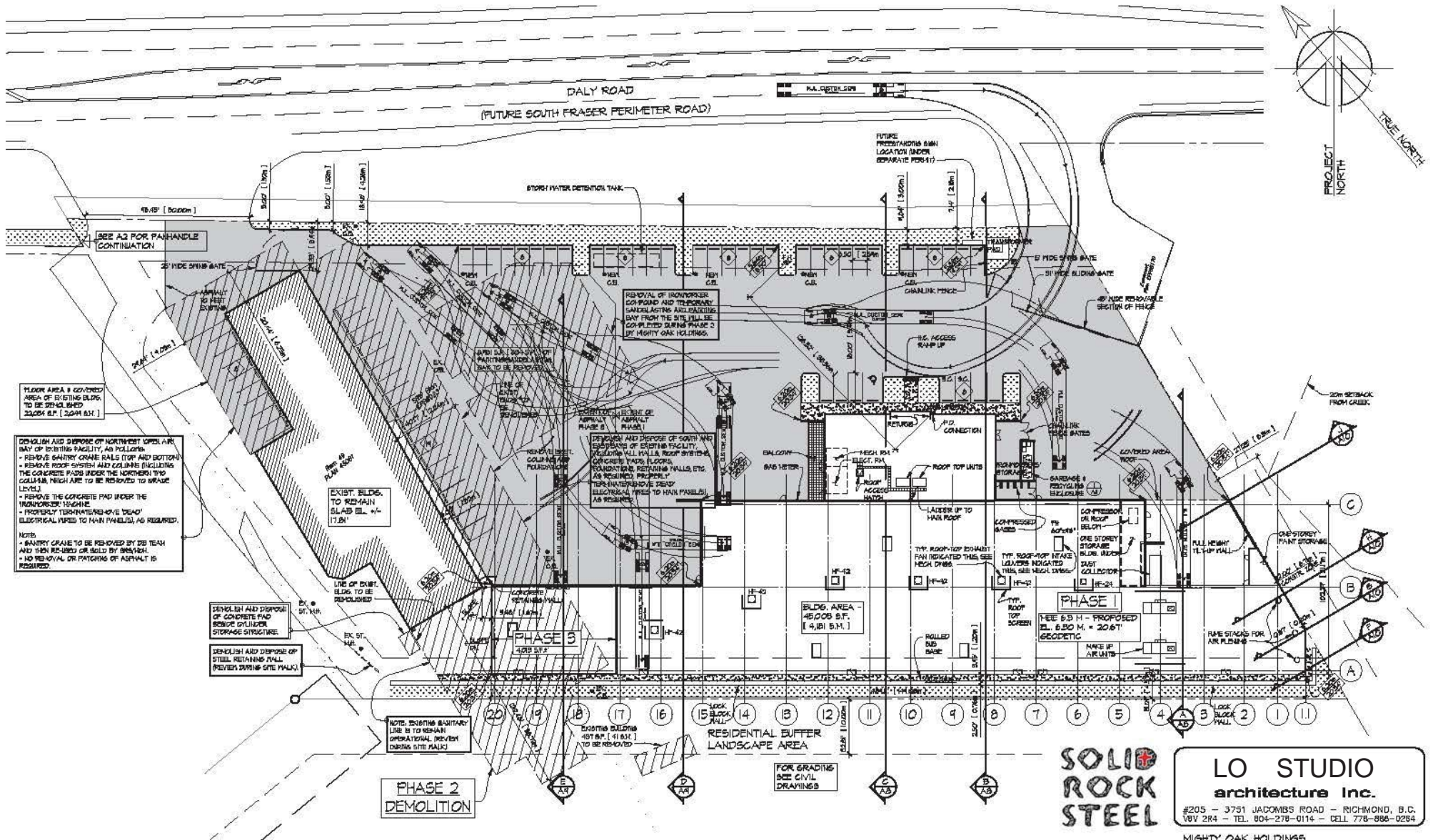
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DEMOLISH AND DISPOSE OF NORTHWEST CORNER BAY OF EXISTING FACILITY AS FOLLOWS:

- REMOVE GALLERY CRANE RAILS (TOP AND BOTTOM)
- REMOVE ROOF SYSTEM AND COLUMNS INCLUDING THE CONCRETE PADS UNDER THE NORTHERN TWO COLUMNS WHICH ARE TO BE REMOVED TO GRADE LEVEL
- REMOVE THE CONCRETE PAD UNDER THE IRONWORKER'S YOGA HALL
- PROPERLY TERMINATE/REMOVE DEAD ELECTRICAL WIRES TO MAIN PANELS, AS REQUIRED.

NOTE:

- GALLERY CRANE TO BE REMOVED BY 2ND YEAR AND THEN REUSE OR SOLD BY MIGHTY OAK
- NO REPAIR OR PATCHING OF ASPHALT IS REQUIRED.

DEMOLISH AND DISPOSE OF CONCRETE PAD UNDER CYLINDER STORAGE STRUCTURE

DEMOLISH AND DISPOSE OF STEEL RETAINING WALL (PREVENT SWAMP SITE FLOOD)

PHASE 2 DEMOLITION

NOTE: EXISTING SANITARY LINE B IS TO REMAIN OPERATIONAL (REVIEW DURING SITE FLOOD)

EXISTING BUILDING 407 S.F. [4,181] TO BE REMOVED

FOR GRADING SEE CIVIL DRAWINGS

**SOLID ROCK STEEL**

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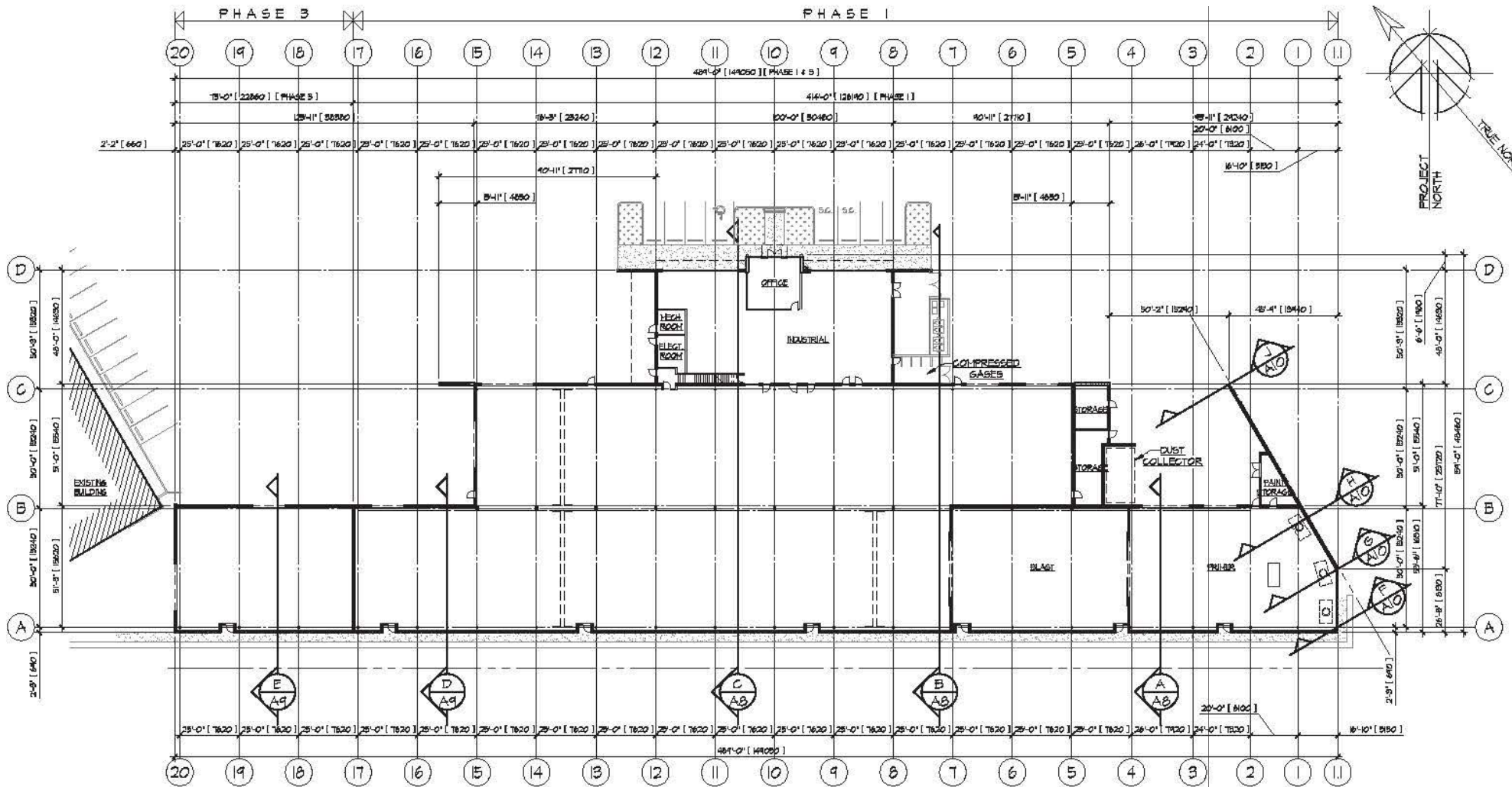
SITE PLAN

RE-ISSUED FOR DEVELOPMENT PERMIT

MIGHTY OAK HOLDINGS  
17780 & 17850 DALY ROAD, SURREY, BC

SCALE: N.T.S.  
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A3



MAIN FLOOR PLAN

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STEEL**

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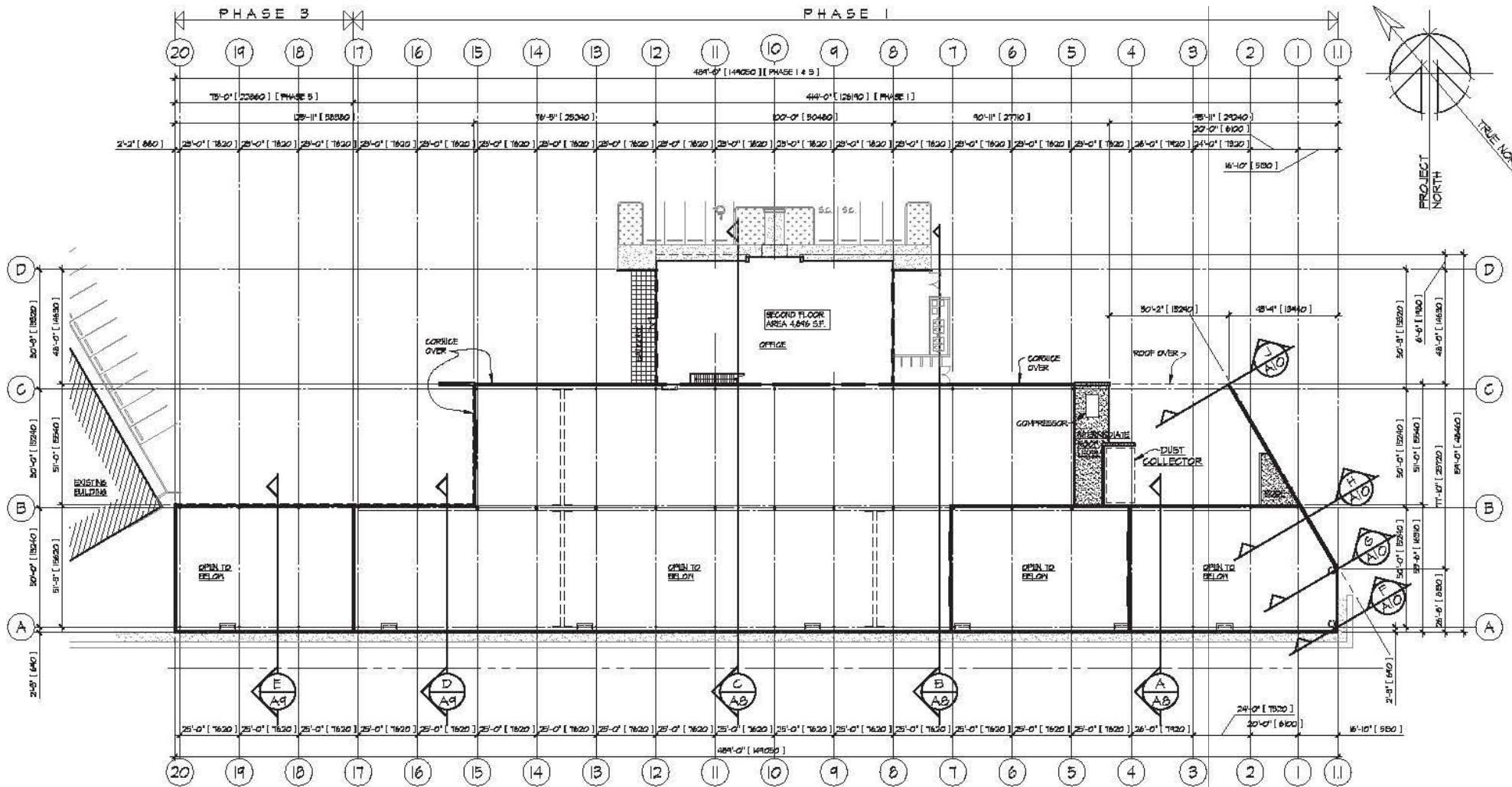
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MAIN FLOOR PLAN

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**SECOND FLOOR PLAN**

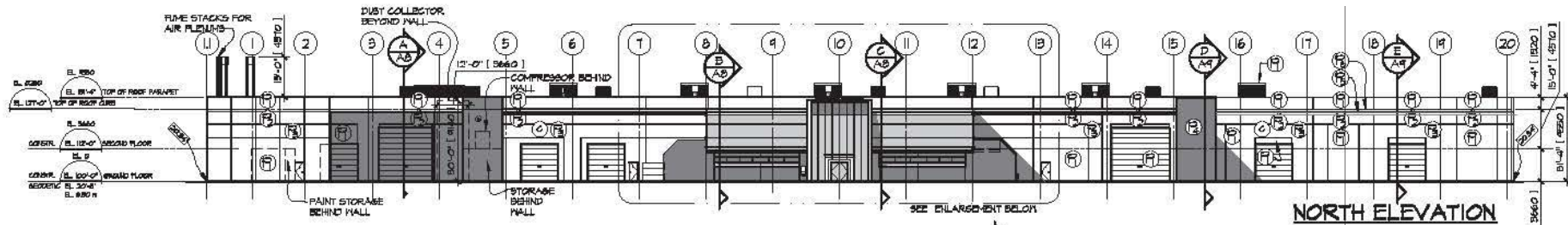


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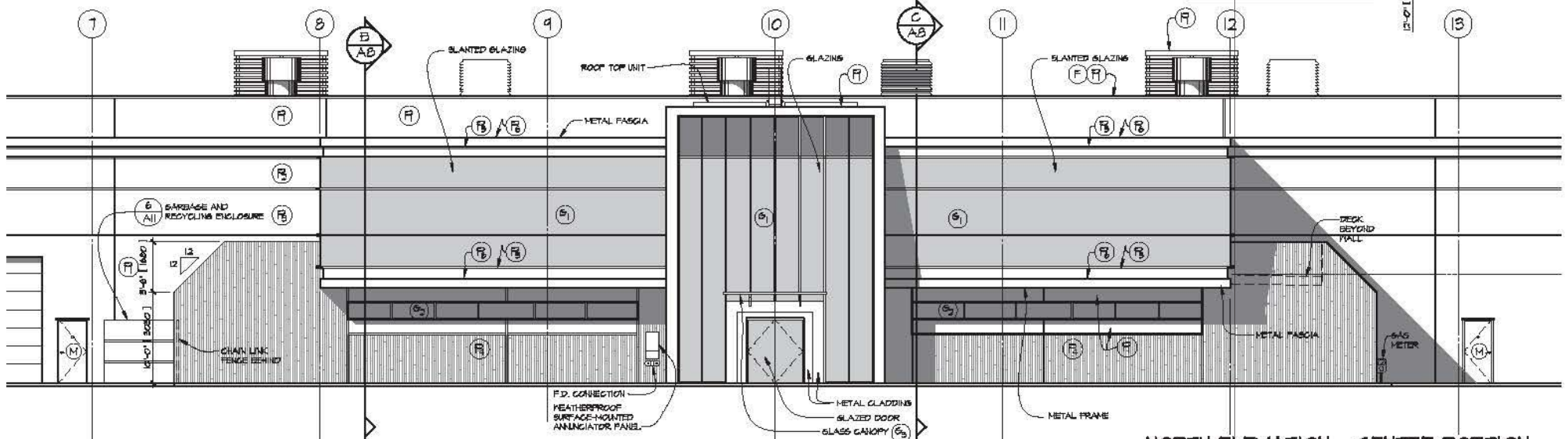
SECOND FLOOR PLAN

RE-ISSUED FOR DEVELOPMENT PERMIT

MIGHTY OAK HOLDINGS  
 17180 & 171850 DALY ROAD, SURREY, BC  
 SCALE: N.T.S.  
 DATE: OCT. 13, 2017



**NORTH ELEVATION**



**NORTH ELEVATION - CENTRE PORTION**

**PAINT REFERENCE COLOURS**

PAINT COLOR TO BE CONFIRMED WITH OWNER PRIOR TO CONSTRUCTION

- (C) CONCRETE FIELD "GREY TABBED" (DGN 16/000 - A2008)
- (F) GRADUATED FIELD "BRUNNEN'S GREY" (DGN 20/000 - A3001)
- (B) GRADUATED FIELD "SEAL GREY" (DGN 25/000 - A2018)
- (R) FORM-LIKE CONCRETE "GRANITE GREY" (DGN 31/000 - A3008)
- (B) AGENT "BLACK MICA" (DGN 08/022 - A2004)
- (B) AGENT "DRUM BEAT" (DGN 08/404 - A2024)

**EXTERIOR FINISH SCHEDULE**

- (C) CONCRETE TILT-UP WALL PANELS (F) OR (B)
- (F) PREFINISHED PRIME AND PAINTED METAL FLASHING TO MATCH CONCRETE WALL PANELS OR FASCIA CHANNELS
- (M) PREFINISHED O.H. DOORS, MAN DOORS AND FRAMES PRIME AND PAINTED TO MATCH ADJACENT CONC. (F)
- (P) PAINTED METAL CANOPIES
- (R) PAINTED METAL RAILINGS, MISC. METALS (R)

NOTE: PAINTING PROVIDE SAMPLES ON WALL AS PER GENERAL NOTES - ELEVATIONS

NOTE: ALL EXPOSED EXT. STEEL SHALL BE PAINTED AS PER GENERAL NOTES

**GLAZING SCHEDULE**

- (S1) EXTERIOR LITE - 6mm PPG SOLARSREY TEMPERED GLASS C/W VISTACOOOL REFLECTIVE COATING #2 SURFACE, 1/2" HERMETICALLY SEALED AIRSPACE, INTERIOR LITE - 6mm PPG CLEAR C/W SOLARBAN 60 LOW-E #8 SURFACE, IN 2' X 6' THERMALLY BROKEN ALUMINUM CURTAINWALL FRAMES (4' BACK SECTIONS)
- (S1) EXTERIOR LITE - 6mm PPG SOLARSREY TEMPERED GLASS C/W VISTACOOOL REFLECTIVE COATING #2 SURFACE, 1/2" HERMETICALLY SEALED AIRSPACE, INTERIOR LITE - 6mm PPG CLEAR C/W SANDEBLASTED #8 SURFACE, IN 2' X 6' THERMALLY BROKEN ALUMINUM CURTAINWALL FRAMES (4' BACK SECTIONS)
- (S2) EXTERIOR LITE - 6mm PPG SOLARSREY TEMPERED GLASS C/W VISTACOOOL REFLECTIVE COATING #2 SURFACE, 1/2" HERMETICALLY SEALED AIRSPACE, INTERIOR LITE - 6mm PPG CLEAR C/W SOLARBAN 60 LOW-E #8 SURFACE, IN 2' X 1/2" THERMALLY BROKEN ALUMINUM STOREFRONT FRAMES

- (S3) SMALLER INDIVIDUAL CANOPY - LAMINATED GLASS 6mm PPG SOLARSREY TEMPERED - TOP LAYER 0.080" CLEAR INTERLAYER 6mm CLEAR FLOAT GLASS TEMPERED C/W SOLARBAN 60 LOW-E ON #8 SURFACE
- NOTE: GLAZING SHOP DINGS MUST BE REVIEWED BY THE BUILDING ENVELOPE ENGINEER

**SOLID  
ROCK  
STEEL**

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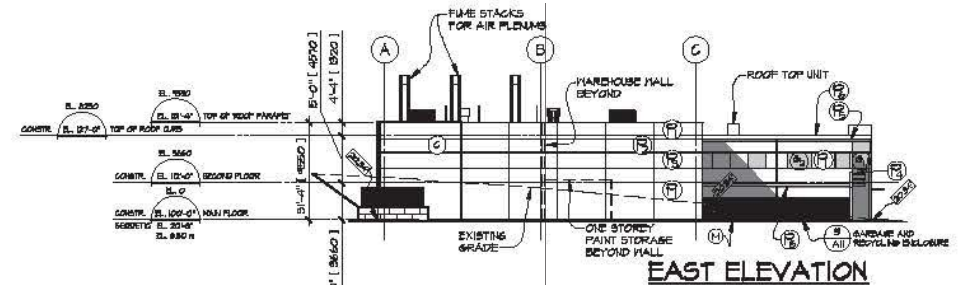
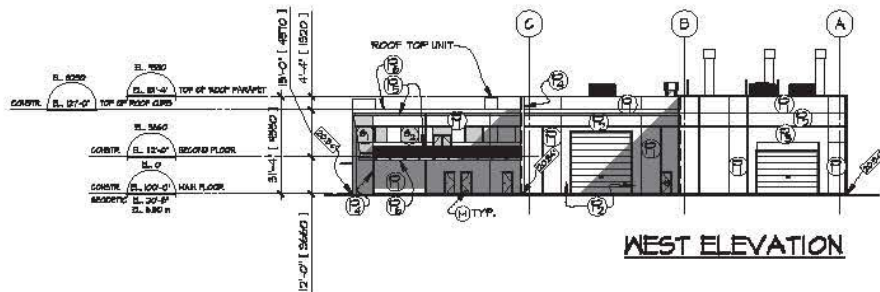
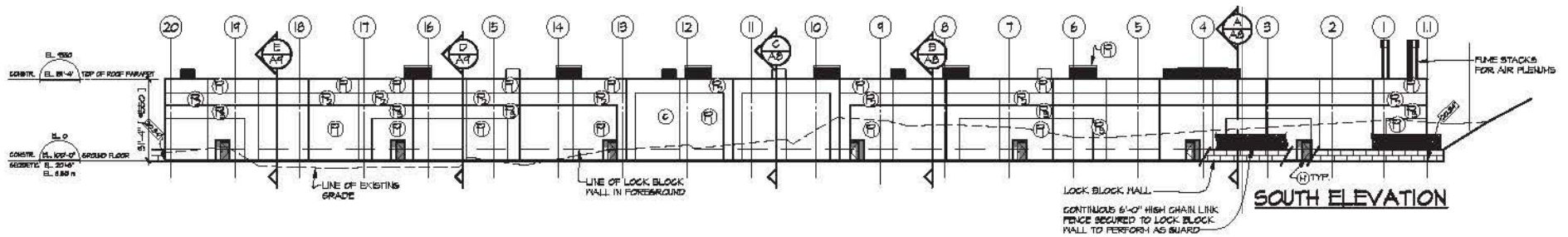
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NORTH ELEVATION

RE-ISSUED FOR DEVELOPMENT PERMIT

A7



### PAINT REFERENCE COLOURS

PAINT COLOR TO BE CONFIRMED WITH OWNER PRIOR TO CONSTRUCTION

- (C) CONCRETE FIELD  
"GREY TABBED" (DGNB 16/000 - A2008)
- (G) GRADUATED FIELD  
"WRIMMAY'S GREY" (DGNB 20/000 - A2007)
- (B) GRADUATED FIELD  
"SEAL GREY" (DGNB 28/000 - A2018)
- (R) FORM-LIKER CONCRETE  
"BRANITE GREY" (DGNB 37/000 - A2005)
- (P) AGGENT  
"BLACK MICA" (SOBB 09/022 - A2009)
- (B) AGGENT  
"TRUM BEAT" (DGYR 08/040 - A2274)

### EXTERIOR FINISH SCHEDULE

- (C) CONCRETE TILT-UP WALL PANELS (H) OR (R)
- (F) PREFINISHED PRIMED AND PAINTED METAL FLASHING TO MATCH CONCRETE WALL PANELS OR FASCIA CHANNELS
- (M) PREFINISHED OIL DOORS, MAIN DOORS AND FRAMES PRIMED AND PAINTED TO MATCH ADJACENT CONC. (H)
- (P) PAINTED METAL CANOPIES  
PAINTED METAL RAILINGS, MISG. METALS (R)

NOTE: PAINTING  
PROVIDE SAMPLES ON WALL AS  
PER GENERAL NOTES -  
ELEVATIONS

NOTE  
ALL EXPOSED EXT. STEEL  
SHALL BE PAINTED AS PER  
GENERAL NOTES

### GLAZING SCHEDULE

- (G1) EXTERIOR LITE - 6mm PPG SOLARSREY TEMPERED GLASS C/M VISTACOOOL REFLECTIVE COATING #2 SURFACE, 1/2" HERMETICALLY SEALED AIRSPACE  
INTERIOR LITE - 6mm PPG CLEAR C/M SOLARSBAN 60 LOW-E #3 SURFACE, IN 2' X 6' THERMALLY BROKEN ALUMINUM CURTAINWALL FRAMES (4" BACK SECTIONS)
- (G1) EXTERIOR LITE - 6mm PPG SOLARSREY TEMPERED GLASS C/M VISTACOOOL REFLECTIVE COATING #2 SURFACE, 1/2" HERMETICALLY SEALED AIRSPACE  
INTERIOR LITE - 6mm PPG CLEAR C/M SANDBLASTED #3 SURFACE, IN 2' X 6' THERMALLY BROKEN ALUMINUM CURTAINWALL FRAMES (4" BACK SECTIONS)
- (G2) EXTERIOR LITE - 6mm PPG SOLARSREY TEMPERED GLASS C/M VISTACOOOL REFLECTIVE COATING #2 SURFACE, 1/2" HERMETICALLY SEALED AIRSPACE  
INTERIOR LITE - 6mm PPG CLEAR C/M SOLARSBAN 60 LOW-E #3 SURFACE, IN 2' X 4' 1/2" THERMALLY BROKEN ALUMINUM STOREFRONT FRAMES

- (G3) SMALLER INDIVIDUAL CANOPY - LAMINATED GLASS  
6mm PPG SOLARSREY TEMPERED - TOP LAYER  
0.050" CLEAR INTER-LAYER  
6mm CLEAR FLOAT GLASS TEMPERED C/M  
SOLARSBAN 60 LOW-E ON #3 SURFACE  
NOTE: GLAZING SHOP DRWG. MUST BE REVIEWED  
BY THE BUILDING ENVELOPE ENGINEER

**SOLID  
ROCK  
STEEL**

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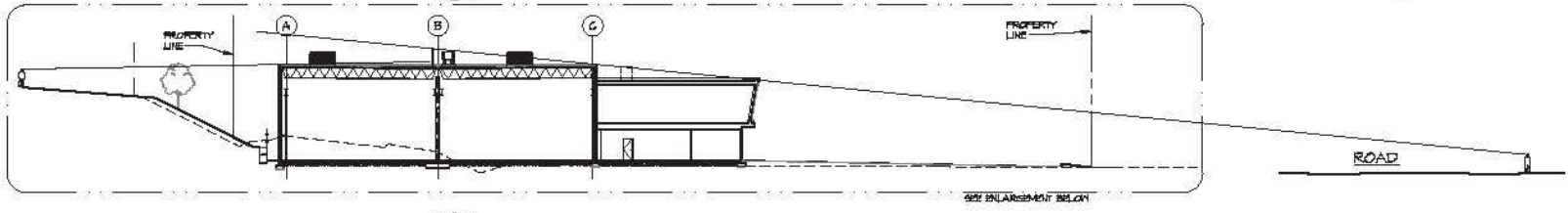
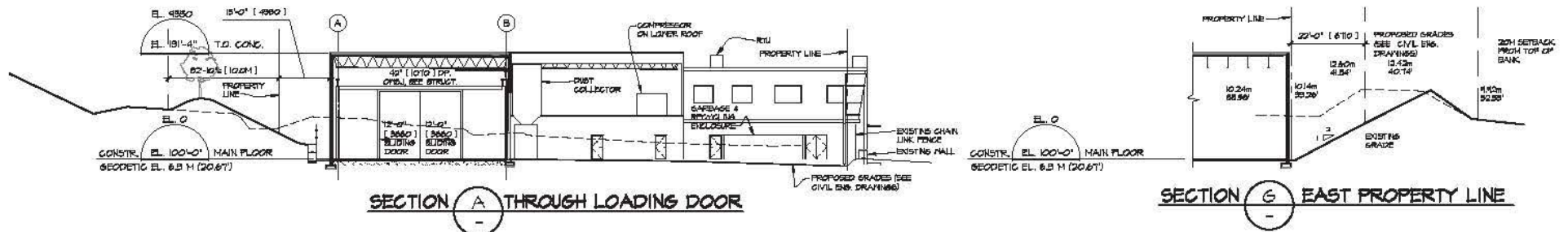
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DATE: OCT. 13, 2017

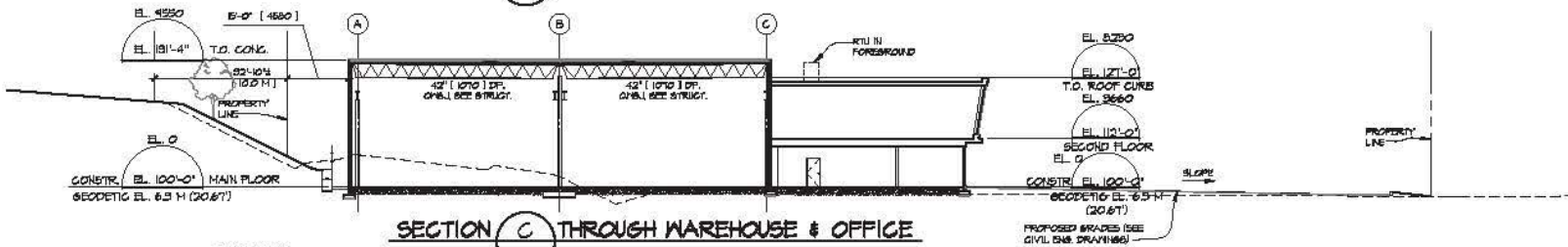
SOUTH, WEST & EAST ELEVATIONS

RE-ISSUED FOR DEVELOPMENT PERMIT

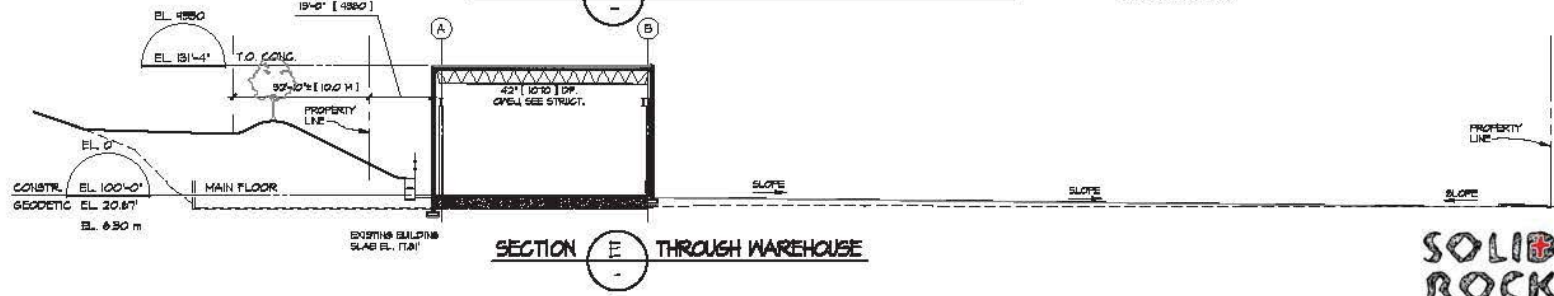
A9



SECTION C THROUGH WAREHOUSE & OFFICE



SECTION C THROUGH WAREHOUSE & OFFICE



SECTION E THROUGH WAREHOUSE

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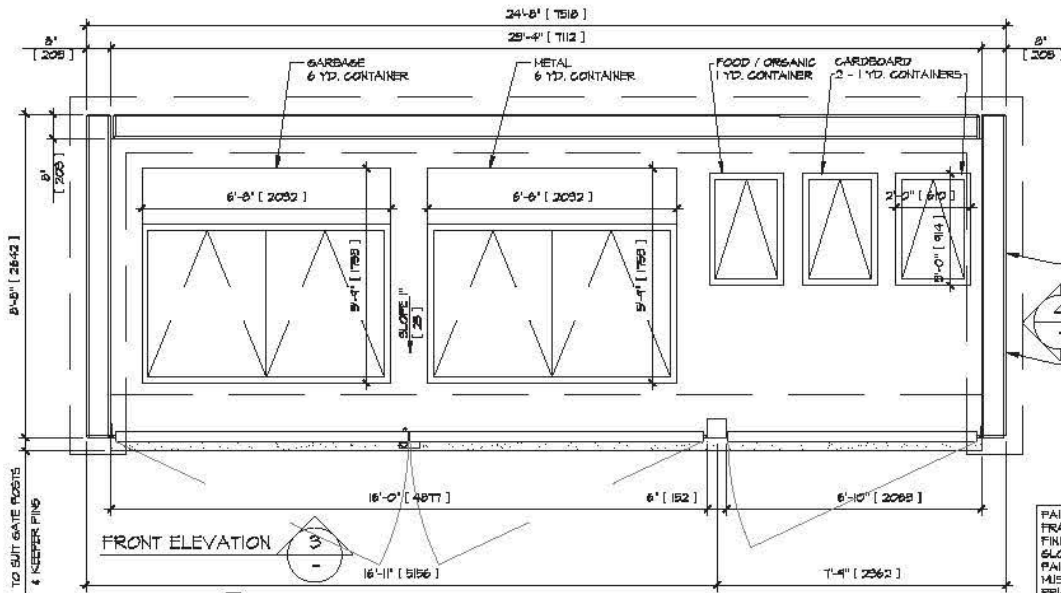
SCHEMATIC SECTIONS A-C

RE-ISSUED FOR DEVELOPMENT PERMIT

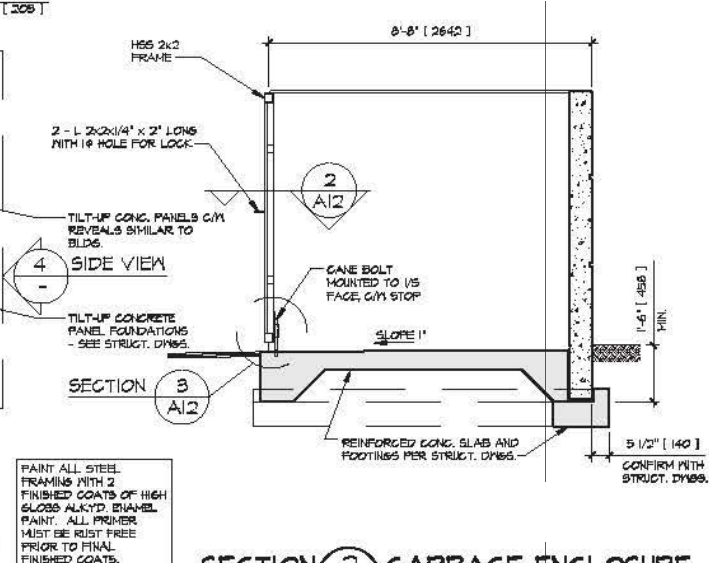
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DATE: OCT. 13, 2017

A10

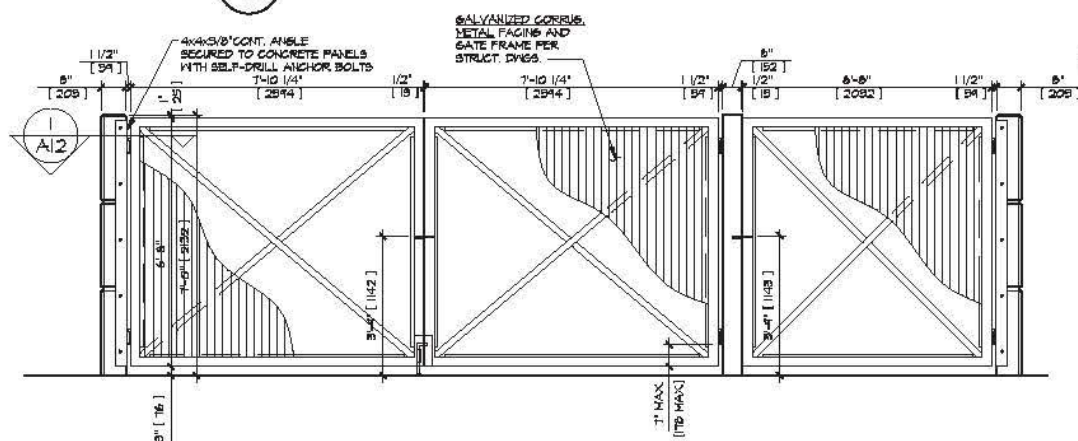




DETAIL 1 RECYCLING ENCLOSURE PLAN

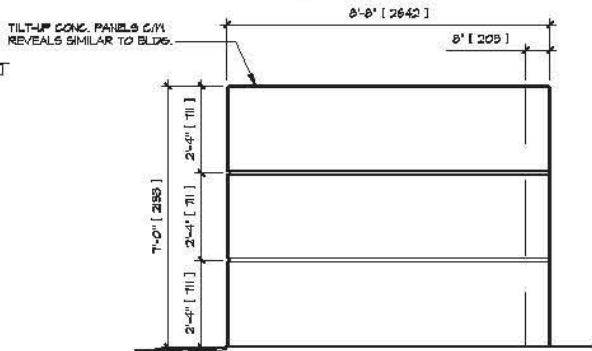


SECTION 2 GARBAGE ENCLOSURE



ELEVATION 3 FRONT

REFER TO STRUCTURAL DING FOR GATES AND CONC. PANEL CONSTRUCTION



ELEVATION 4 SIDE

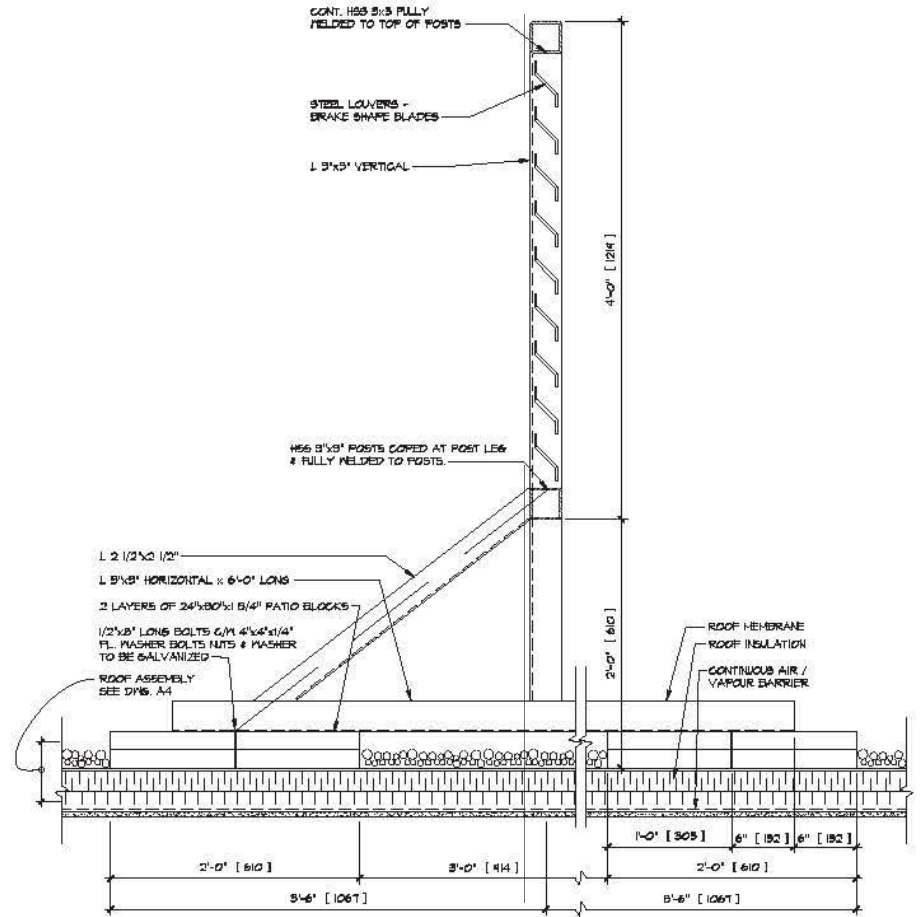
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ROCK  
STEEL**

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SCALE: N.T.S.  
DATE: OCT. 13, 2017

DETAILS  
RE-ISSUED FOR DEVELOPMENT PERMIT

All



DETAIL 4 TYP. EQUIPMENT SCREEN

**SOLID  
ROCK  
STEEL**

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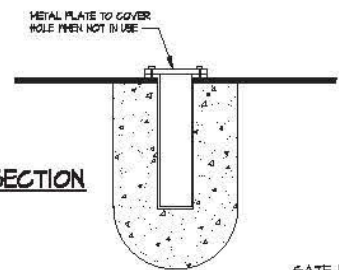
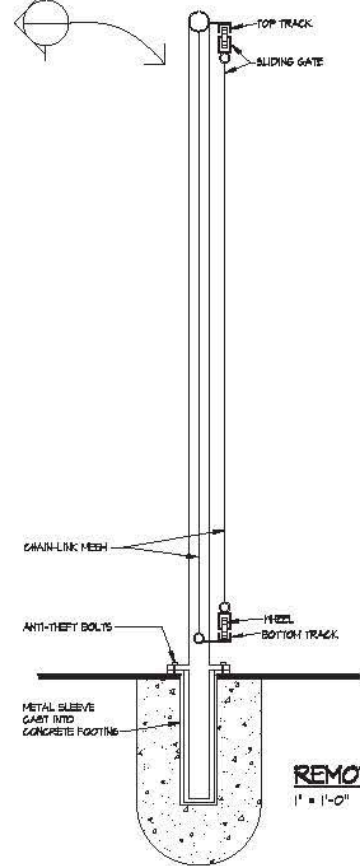
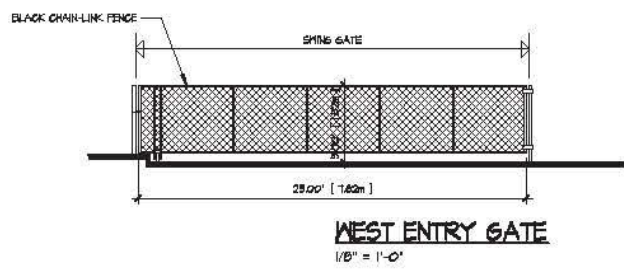
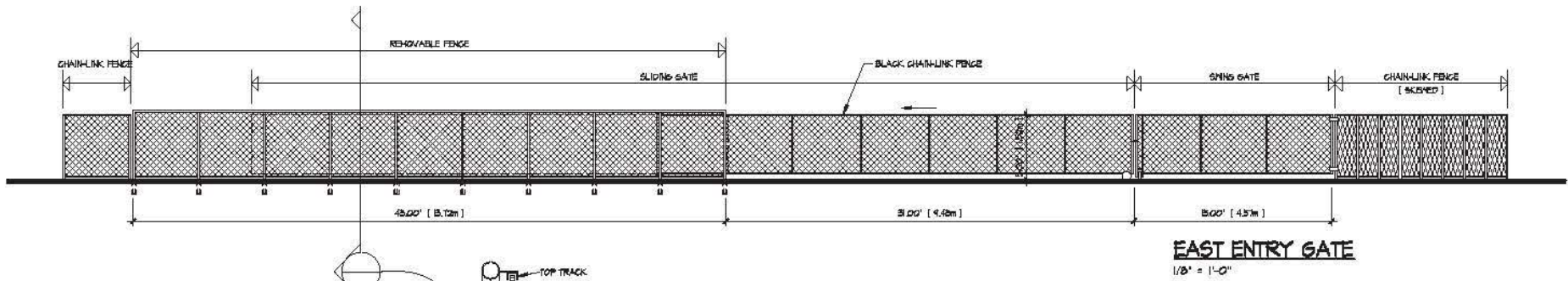
DETAILS

RE-ISSUED FOR DEVELOPMENT PERMIT

mighty oak holdings  
17750 & 17850 DALY ROAD, SURREY, BC

SCALE: N.T.S.  
DATE: OCT. 13, 2017

A12



GATE ELEVATIONS

RE-ISSUED FOR DEVELOPMENT PERMIT

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ROCK  
STEEL**

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architecture inc.  
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V6Y 2R4 - TEL. 804-278-0114 - CELL 778-866-0284  
MIGHTY OAK HOLDINGS  
17780 & 17850 DALY ROAD, SURREY, BC  
SCALE: N.T.S.  
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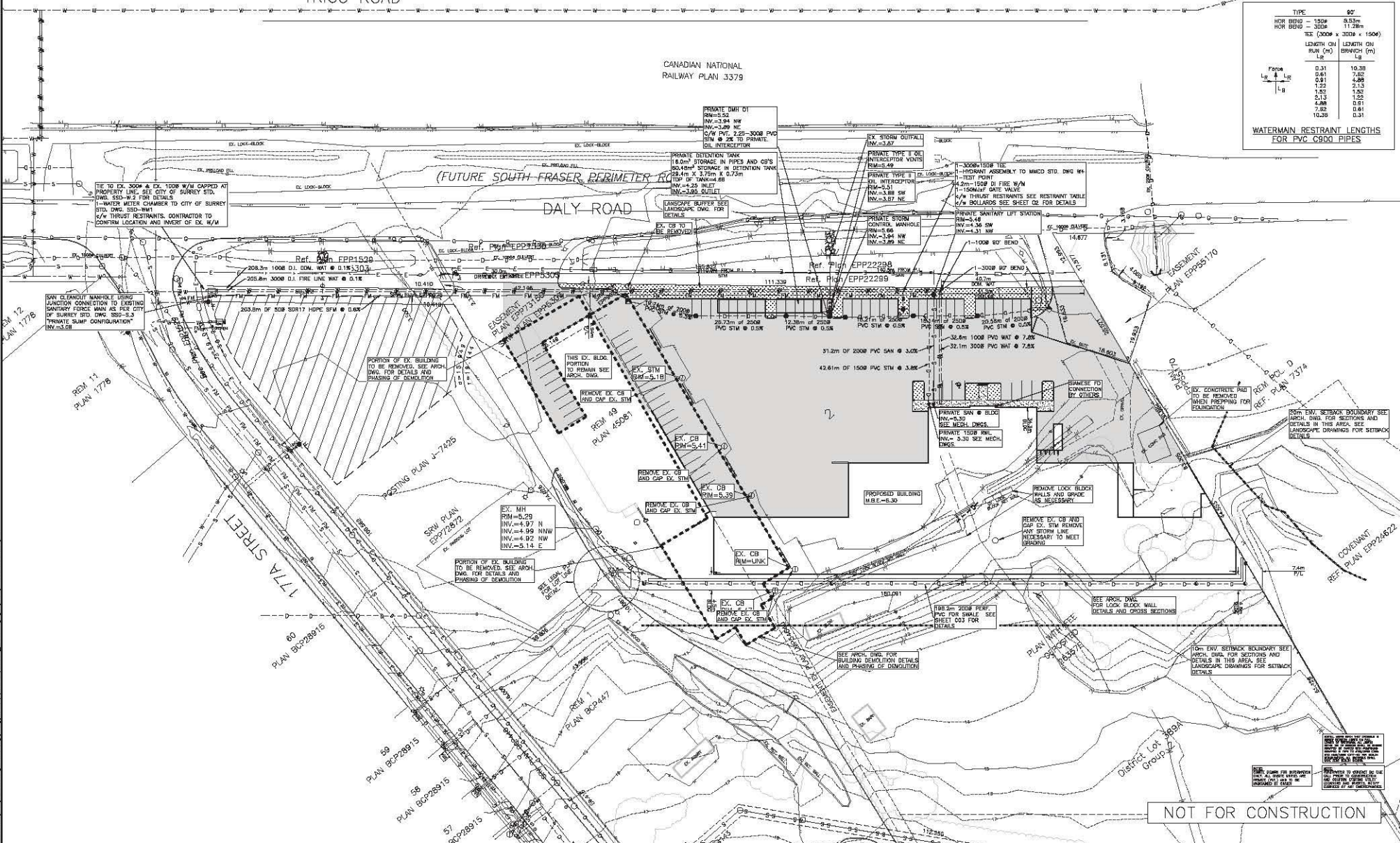
A13

TRIGG ROAD

CANADIAN NATIONAL  
RAILWAY PLAN 3379

TYPE		90°
HOR BEND	1000	8.53m
HOR BEND	3000	11.28m
		TEE (3000 x 3000 x 1500)
LENGTH ON LENGTH DW		
RUN (m)	BRANCH (m)	Lg
Force	Lp	10.39
	Lp	0.31
	Lp	7.82
	Lp	0.91
	Lp	4.88
	Lp	2.13
	Lp	1.52
	Lp	0.81
	Lp	7.82
	Lp	10.39
	Lp	0.81
	Lp	0.31

WATERMAIN RESTRAINT LENGTHS  
FOR PVC C900 PIPES



**MJL ENGINEERING LTD.**  
101-2313 WEST RAILWAY, ABSTSTRD, BC V2S 2E3  
Ph: 604-856-7765  
Fax: 604-856-7763  
E-mail: office@mjlengineering.com

BENCHMARK: GEODETIC CONTROL MONUMENT 8208851  
DATUM: NAD83(CSRS) UTM ZONE 10  
UTM N: 5448178.658  
UTM E: 518298.274  
ELEVATION: 44.65m

ALL DIMENSIONS ARE IN METRES  
ALL PIPE SIZES ARE IN MILLIMETRES

REVISION	DESCRIPTION	BY	DATE	APPROVAL
6	AS PER ARCH	US	15/12/17	NAL
5	AS PER CLIENT	US	15/09/17	NAL
7	AS PER CLIENT	US	4/09/17	NAL
8	AS PER ARCH	US	5/18/17	NAL
9	AS PER ARCH	US	5/23/17	NAL
4	AS PER CLIENT	US	3/21/17	NAL
5	AS PER CLIENT	US	3/15/17	NAL
6	AS PER CLIENT	US	4/07/17	NAL
1	ISSUED TO CLIENT	US	3/16/17	NAL

**CITY OF SURREY**

CLIENT: TITAN CONSTRUCTION COMPANY LIMITED  
ATTN: JOSH COLEMAN  
UNIT 1 - 27305 GLOUCESTER WAY  
LANGLEY, B.C. V3V 3Z8

PHONE: 604-856-8888  
FAX: 604-856-7483

TITLE: PROPOSED BUILDING  
SITE SERVICING / KEY PLAN  
LOT #2 DISTRICT LOT 398A, GROUP 2, NWD PLAN (NO PID#)

MJL Drawing No. 218020C02

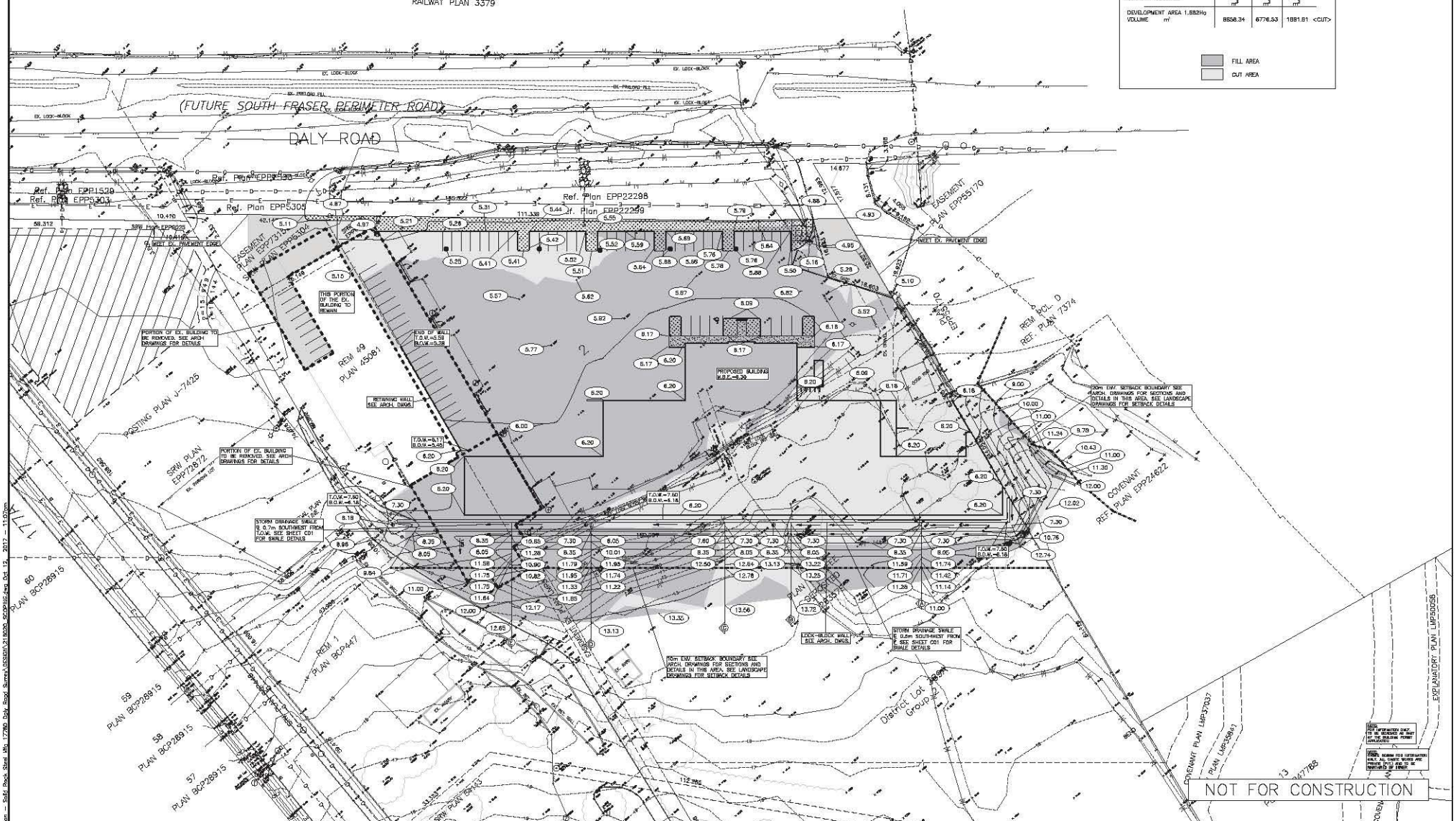
SCALE	DATE	SURVEY PROJECT NUMBER
1 : 500	AUGUST 2016	
DRAWN US	L.B.A.	SURVEY DRAWING NUMBER
CHECKED NAL		
DESIGNED MNL	CONTRACT	
CHECKED NAL		
PLANNING DMC		SHEET 2 OF 9
APPROVED	DESTROY ALL PRINTS BEARING PREVIOUS NUMBERS	REVISION 8

CANADIAN NATIONAL  
RAILWAY PLAN 3379

EARTHWORKS CALCULATIONS

SUMMARY VOLUMES	CUT m <sup>3</sup>	FILL m <sup>3</sup>	NET m <sup>3</sup>
DEVELOPMENT AREA 1.8820	858.34	876.53	1881.81 <CUT>
VOLUME m <sup>3</sup>			

■ FILL AREA  
□ CUT AREA



NOT FOR CONSTRUCTION

**MJL ENGINEERING LTD.**  
101-2313 WEST RAILWAY, ABETTSFORD, BC V2S 2E3  
Ph: 604-856-7765  
Fax: 604-856-7783  
E-mail: office@mjlengineering.com

BENCHMARK: GEODETIC CONTROL MONUMENT 820881  
DATUM: NAD83(CRS) UTM ZONE 10  
UTM N: 5448778.604  
UTM E: 518288.274  
ELEVATION: 445.62

ALL DIMENSIONS ARE IN METRES  
ALL PIPE SIZES ARE IN MILLIMETRES

REVISION	DESCRIPTION	BY	DATE	APPROVED
1	AS PER CLIENT	SS	15/04/13	NAL
2	AS PER CLIENT	SS	6/28/13	NAL
3	AS PER ADR31	SS	5/18/17	NAL
4	AS PER ADR31	SS	5/23/17	NAL
5	AS PER CLIENT	SS	3/21/17	NAL
6	AS PER CLIENT	SS	3/15/17	NAL
7	BASED FOR RECORD OF DP	SS	10/16/17	NAL
8	BASED TO CLIENT	SS	3/16/17	NAL



CLIENT: TITAN CONSTRUCTION COMPANY LIMITED  
ATTN: JOSH COLEMAN PHONE: 604-856-8888  
UNIT 1 - 27355 GLOUCESTER WAY FAX: 604-856-7483  
LANGLEY, B.C. V3V 3Z8

TITLE: PROPOSED BUILDING LOT GRADING

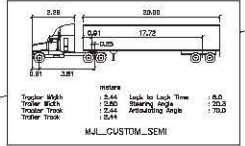
LOT #2 DISTRICT LOT 398A, GROUP 2, NWD PLAN (NO PID#)

MJL Drawing No. 218020C04

SCALE	DATE	SURREY PROJECT NUMBER
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DRAWN US	L.B.	SURREY DRAWING NUMBER
CHECKED NAL		
DESIGNED NAL	CONTRACT	
CHECKED NAL		
PLANNING		SHEET 4 OF 9
ENG		
APPROVED	DESTROY ALL PRINTS BEARING PREVIOUS NUMBERS	REVISION B

TRIGG ROAD

CANADIAN NATIONAL  
RAILWAY PLAN 3379



(FUTURE SOUTH FRASER PERIMETER ROAD)

DALY ROAD

SEMI TRUCK USED FOR TURN  
MODELING OF ENTRANCE TO  
SITE. SEE THIS SHEET FOR  
DETAILS

LANDSCAPE BUFFER  
SEE LANDSCAPE DRAWINGS  
FOR DETAILS

EASEMENT  
PLAN EPP95170

ROM 11  
PLAN 1778

177A STREET  
PLAN BC228915

POSTING PLAN J-7425

EX. MH  
RIM=5.29  
INV.=4.97 N  
INV.=4.98 NNW  
INV.=4.92 NW  
INV.=5.14 E

REV. 49  
PLAN 43081

EX. CB  
RIM=5.41

EX. CB  
RIM=5.39

EX. CB  
RIM=UNK

EX. CB  
RIM=5.47

04-51-04  
EASEMENT  
PLAN EPP85170

REM. 10  
REF. PLAN 7374

CONTRACT  
PLAN EPP24822

PLAN WITH TREE  
DEPOSITED  
263976

REV. 1  
PLAN 809447

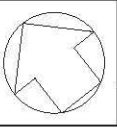
58  
PLAN BC228915

District Lot 389A  
Group 2

NOTE:  
THIS DRAWING IS  
FOR REFERENCE  
ONLY

NOT FOR CONSTRUCTION

REVISED  
11/20/13



**MJL ENGINEERING LTD.**  
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Ph: 604-856-7765  
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E-mail: office@mjlengineering.com

BENCHMARK: GEODETIC CONTROL MONUMENT 824881  
DATUM: NAD83(CSRS) UTM ZONE 10  
UTM N: 544873.606  
UTM E: 518289.274  
ELEVATION: 445.66

ALL DIMENSIONS ARE IN METRES  
ALL PIPE SIZES ARE IN MILLIMETRES

REVISION	DESCRIPTION	BY	DATE	APPROVED
2	AS PER ARCH	SS	10/16/12	NAL
4	AS PER CLIENT	SS	10/24/12	NAL
3	AS PER CLIENT	SS	04/26/12	NAL
2	ADDED ALL TRUCK PATH SIMULATIONS	SS	08/31/12	NAL
1	ADDED TO DRAWING SET FOR REFERENCE	SS	06/14/12	NAL



CLIENT: TITAN CONSTRUCTION COMPANY LIMITED  
ATTN: JOSH COLEMAN PHONE: 604-856-8888  
UNIT 1 - 27365 GLOUCESTER WAY FAX: 604-856-7483  
LANGLEY, BC V4W 3Z8

TITLE: TRUCK ENTRANCE SIMULATION  
THIS DRAWING IS FOR REFERENCE ONLY  
LOT #2 DISTRICT LOT 398A, GROUP 2, NWD PLAN \_\_\_\_\_ (NO PID#)

MJL Drawing No. 216020C09

SCALE	DATE	SURVEY PROJECT NUMBER
1 : 500	SEPTEMBER 2012	
DRAWN US	L.B.	SURVEY DRAWING NUMBER
CHECKED M.J.L.		
DESIGNED M.J.L.	CONTRACT	
CHECKED M.J.L.		
PLANNING		SHEET 8 OF 9
DWG		REVISION 7
APPROVED	DESTROY ALL PRINTS BEARING PREVIOUS NUMBERS	

21-03-01-0103-010301 - 504-1-000 - 17789-Daly Road - Survey - 2012-09-14 - 11:06am

# Proposed Fabrication Shop & Office For Mighty Oak Holdings

## LIST OF LANDSCAPE DRAWINGS

	COVER
L1	PLANT LISTS AND NOTES
L2	PH1 ON SITE PLANTING DESIGN /LANDSCAPE PLANN AND OVERALL REFERENCE PLAN
L3	PH1 ON SITE PLANTING DESIGN /LANDSCAPE PLANN AND OVERALL REFERENCE PLAN
L4	PH1 BUFFER AREA PLANTING DESIGN/LANDSCAPE PLAN AND OVERALL REFERENCE PLAN
L5	PH1 BUFFER AREA PLANTING DESIGN/LANDSCAPE PLAN AND OVERALL REFERENCE PLAN
L6	PH3 ON SITE PLANTING DESIGN/ LANDSCAPE PLAN AND OVERALL REFERENCE PLAN
L7	PH3 ON SITE PLANTING DESIGN/ LANDSCAPE PLAN AND OVERALL REFERENCE PLAN
L8	PH3 ON SITE PLANTING DESIGN/ LANDSCAPE PLAN AND OVERALL REFERENCE PLAN
L9	PH3 BUFFER AREA PLANTING DESIGN/LANDSCAPE PLAN AND OVERALL REFERENCE PLAN
L10	INFO ON FENCE LAYOUT
L11	SECTIONS
L12	DETAILS
L13	DETAILS

**JHL Design Group Inc.**  
**Landscape Architecture + Urban Design**

4370, Maple Street, Vancouver, BC  
Tel: 604-283-8613  
Email: [jhldesign@hrow.ca](mailto:jhldesign@hrow.ca)

NOTES:

- Maintain min. 2% slope away from building.
- All plants and landscape installation to conform to CSLA Landscape Standards Latest Edition.
- All growing medium to be tested by PSAI (604-273-8226) and amended accordingly if necessary, and to be tested again at Substantial Completion.
- Minimum planting medium depths:  
lawn-6"/150mm, 9" on slab  
groundcover & shrubs-18"/450mm, min 18" on slab  
trees-12"/300mm, all around the rootball, 24" small trees on slab, 30" medium sized trees on slab  
For detailed info see specifications
- All plant material shall meet minimum size requirements as indicated in plant list.
- Trees planted in lawn areas to have 1 m dia. mulched ring.
- Make sure twine around rootballs to be cut and removed to prevent gridding.
- All proposed trees should be planted min. 3 m away from building foundation or face of buildings or retaining walls.
- Install min. 2" of composted bark mulch on all shrub beds after planting and rake smooth. Mulch to be 9.5mm screened composted bark mulch.
- Contractor to ensure all plant material delivered to site is from nurseries certified to be free from the Phytophthora ramorum virus (Sudden Oak Death) and all otehr diseases.
- Contractor to report any discrepancies in plant numbers immediately to Landscape Architect.

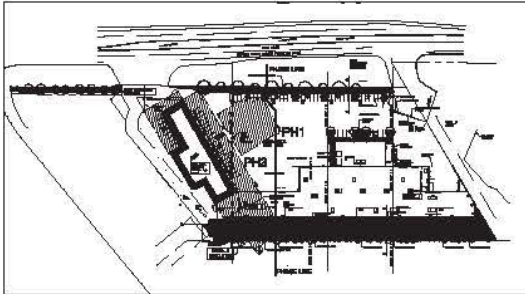
PLANT LIST-PH1 ON SITE						
Quantity	Symbols	Botanical Name	Common Name	Size	Spacing	
<b>Trees</b>						
0	A	Acer circinatum	Vine Maple	5cm cal B&B	as shown	
3	B	Pinus nigra	Black Austrian Pine	3m High	as shown	
0	C	Cornus mas	Cornelian Cherry Dogwood	5cm cal B&B	as shown	
0	D	Pseudotsuga menziesii	Douglas Fir	3m High	as shown	
4	E	Magnolia stellata	Star Magnolia	5cm cal B&B	as shown	
0	F	Betula jacquemontii	Whitebarked Himalayan Birch	6cm cal B&B	as shown	
3	G	Fraxinus angustifolia 'Golden Desert'	Golden Desert Ash	6cm cal B&B	as shown	
0	H	Abies grandis	Grand Fir	3m High	as shown	
3	I	Prunus serrulata 'Kwanzan'	Kwanzan Cherry	6cm cal B&B	as shown	
0	J	Acer rubrum 'Armstrong'	Armstrong Maple	6cm cal B&B	as shown	
<b>Shrubs &amp; Others</b>						
403	a	Arctostaphylos uva ursi 'Vancouver Jade'	Kinnikinnick	# 1 pot	15" o.c.	
0	b	Berberis thunbergii	Chenaultii Barberry	# 2 pot	as shown	
31	c	Cornus seiceca	Redtwig Dogwood	# 2 pot	as shown	
32	d	Cornus seiceca 'Flaviramea'	Yellowtwig Dogwood	# 2 pot	as shown	
96	e	Erica x darleyensis 'Mediterranean Pink'	Mediterranean Pink Heather	# 1 pot	as shown	
30	f	Rhododendron 'Mary Fleming'	Rhododendron	# 2 pot	as shown	
441	g	Festuca glauca 'Blue Glow'	Blue Glow Blue Fescue	# 1 pot	as shown	
2	h	Helictotrichon sempervirens	Blue Oat Grass	# 2 pot	as shown	
4	i	Mahonia aquifolium 'Compact'	Dwarf Oregon Grape	# 2 pot	as shown	
48	j	Carex morrowii 'Aureoanegata'	Variogated Sedge	# 1 pot	as shown	
204	k	Rose meilandii 'Carefree Delight'	Meigotal Rose	# 2 pot	as shown	
77	l	Ilex x Meserveae 'Blue Boy' and 'Blue Girl'	Blue Holly	# 3 pot	as shown	
0	m	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	7' height	as shown	
0	n	Gaultheria shallon	Salal	# 1 pot	as shown	
0	o	Calamagrostis x acutiflora 'Karl Foerster'	Foerster's Reed Grass	# 3 pot	as shown	
56	p	Polystichum munium	Western Sword Fern	# 1 pot	as shown	
0	q	Ribes sanguineum	Red Flowering Currant	# 2 pot	as shown	
0	r	Cotoneaster dammeri	Bearberry	# 1 pot	18" o.c.	

PLANT LIST-PH1 OFF SITE (BUFFER AREA)						
Quantity	Symbols	Botanical Name	Common Name	Size	Spacing	
<b>Trees</b>						
11	A	Acer circinatum	Vine Maple	5cm cal B&B	as shown	
16	B	Pinus nigra	Black Austrian Pine	3m High	as shown	
0	C	Cornus mas	Cornelian Cherry Dogwood	5cm cal B&B	as shown	
13	D	Pseudotsuga menziesii	Douglas Fir	3m High	as shown	
0	E	Magnolia stellata	Star Magnolia	5cm cal B&B	as shown	
0	F	Betula jacquemontii	Whitebarked Himalayan Birch	6cm cal B&B	as shown	
0	G	Fraxinus angustifolia 'Golden Desert'	Golden Desert Ash	6cm cal B&B	as shown	
35	H	Abies grandis	Grand Fir	3m High	as shown	
0	I	Prunus serrulata 'Kwanzan'	Kwanzan Cherry	6cm cal B&B	as shown	
0	J	Acer rubrum 'Armstrong'	Armstrong Maple	6cm cal B&B	as shown	
<b>Shrubs &amp; Others</b>						
2048	a	Arctostaphylos uva ursi 'Vancouver Jade'	Kinnikinnick	# 1 pot	15" o.c.	
0	b	Berberis thunbergii	Chenaultii Barberry	# 2 pot	as shown	
0	c	Cornus seiceca	Redtwig Dogwood	# 2 pot	as shown	
0	d	Cornus seiceca 'Flaviramea'	Yellowtwig Dogwood	# 2 pot	as shown	
0	e	Erica x darleyensis 'Mediterranean Pink'	Mediterranean Pink Heather	# 1 pot	as shown	
0	f	Rhododendron 'Mary Fleming'	Rhododendron	# 2 pot	as shown	
0	g	Festuca glauca 'Blue Glow'	Blue Glow Blue Fescue	# 1 pot	as shown	
0	h	Helictotrichon sempervirens	Blue Oat Grass	# 2 pot	as shown	
344	i	Mahonia aquifolium 'Compact'	Dwarf Oregon Grape	# 2 pot	as shown	
0	j	Carex morrowii 'Aureoanegata'	Variogated Sedge	# 1 pot	as shown	
0	k	Rose meilandii 'Carefree Delight'	Meigotal Rose	# 2 pot	as shown	
0	l	Ilex x Meserveae 'Blue Boy' and 'Blue Girl'	Blue Holly	# 3 pot	as shown	
0	m	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	7' height	as shown	
418	n	Gaultheria shallon	Salal	# 1 pot	as shown	
0	o	Calamagrostis x acutiflora 'Karl Foerster'	Foerster's Reed Grass	# 3 pot	as shown	
126	p	Polystichum munium	Western Sword Fern	# 1 pot	as shown	
0	q	Ribes sanguineum	Red Flowering Currant	# 2 pot	as shown	
302	r	Cotoneaster dammeri	Bearberry	# 1 pot	18" o.c.	

PLANT LIST-PH3 ON SITE						
Quantity	Symbols	Botanical Name	Common Name	Size	Spacing	
<b>Trees</b>						
0	A	Acer circinatum	Vine Maple	5cm cal B&B	as shown	
0	B	Pinus nigra	Black Austrian Pine	3m High	as shown	
0	C	Cornus mas	Cornelian Cherry Dogwood	5cm cal B&B	as shown	
0	D	Pseudotsuga menziesii	Douglas Fir	3m High	as shown	
0	E	Magnolia stellata	Star Magnolia	5cm cal B&B	as shown	
0	F	Betula jacquemontii	Whitebarked Himalayan Birch	6cm cal B&B	as shown	
2	G	Fraxinus angustifolia 'Golden Desert'	Golden Desert Ash	6cm cal B&B	as shown	
0	H	Abies grandis	Grand Fir	3m High	as shown	
6	I	Prunus serrulata 'Kwanzan'	Kwanzan Cherry	6cm cal B&B	as shown	
4	J	Acer rubrum 'Armstrong'	Armstrong Maple	6cm cal B&B	as shown	
<b>Shrubs &amp; Others</b>						
113	a	Arctostaphylos uva ursi 'Vancouver Jade'	Kinnikinnick	# 1 pot	15" o.c.	
0	b	Berberis thunbergii	Chenaultii Barberry	# 2 pot	as shown	
15	c	Cornus seiceca	Redtwig Dogwood	# 2 pot	as shown	
0	d	Cornus seiceca 'Flaviramea'	Yellowtwig Dogwood	# 2 pot	as shown	
120	e	Erica x darleyensis 'Mediterranean Pink'	Mediterranean Pink Heather	# 1 pot	as shown	
0	f	Rhododendron 'Mary Fleming'	Rhododendron	# 2 pot	as shown	
133	g	Festuca glauca 'Blue Glow'	Blue Glow Blue Fescue	# 1 pot	as shown	
35	h	Helictotrichon sempervirens	Blue Oat Grass	# 2 pot	as shown	
0	i	Mahonia aquifolium 'Compact'	Dwarf Oregon Grape	# 2 pot	as shown	
0	j	Carex morrowii 'Aureoanegata'	Variogated Sedge	# 1 pot	as shown	
133	k	Rose meilandii 'Carefree Delight'	Meigotal Rose	# 2 pot	as shown	
168	l	Ilex x Meserveae 'Blue Boy' and 'Blue Girl'	Blue Holly	# 3 pot	as shown	
0	m	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	7' height	as shown	
0	n	Gaultheria shallon	Salal	# 1 pot	as shown	
0	o	Calamagrostis x acutiflora 'Karl Foerster'	Foerster's Reed Grass	# 3 pot	as shown	
19	p	Polystichum munium	Western Sword Fern	# 1 pot	as shown	
0	q	Ribes sanguineum	Red Flowering Currant	# 2 pot	as shown	
0	r	Cotoneaster dammeri	Bearberry	# 1 pot	18" o.c.	

PLANT LIST-PH3 OFF SITE (BUFFER AREA)						
Quantity	Symbols	Botanical Name	Common Name	Size	Spacing	
<b>Trees</b>						
2	A	Acer circinatum	Vine Maple	5cm cal B&B	as shown	
7	B	Pinus nigra	Black Austrian Pine	3m High	as shown	
0	C	Cornus mas	Cornelian Cherry Dogwood	5cm cal B&B	as shown	
0	D	Pseudotsuga menziesii	Douglas Fir	3m High	as shown	
0	E	Magnolia stellata	Star Magnolia	5cm cal B&B	as shown	
0	F	Betula jacquemontii	Whitebarked Himalayan Birch	6cm cal B&B	as shown	
0	G	Fraxinus angustifolia 'Golden Desert'	Golden Desert Ash	6cm cal B&B	as shown	
14	H	Abies grandis	Grand Fir	3m High	as shown	
0	I	Prunus serrulata 'Kwanzan'	Kwanzan Cherry	6cm cal B&B	as shown	
0	J	Acer rubrum 'Armstrong'	Armstrong Maple	6cm cal B&B	as shown	
<b>Shrubs &amp; Others</b>						
636	a	Arctostaphylos uva ursi 'Vancouver Jade'	Kinnikinnick	# 1 pot	15" o.c.	
0	b	Berberis thunbergii	Chenaultii Barberry	# 2 pot	as shown	
0	c	Cornus seiceca	Redtwig Dogwood	# 2 pot	as shown	
0	d	Cornus seiceca 'Flaviramea'	Yellowtwig Dogwood	# 2 pot	as shown	
0	e	Erica x darleyensis 'Mediterranean Pink'	Mediterranean Pink Heather	# 1 pot	as shown	
0	f	Rhododendron 'Mary Fleming'	Rhododendron	# 2 pot	as shown	
0	g	Festuca glauca 'Blue Glow'	Blue Glow Blue Fescue	# 1 pot	as shown	
0	h	Helictotrichon sempervirens	Blue Oat Grass	# 2 pot	as shown	
119	i	Mahonia aquifolium 'Compact'	Dwarf Oregon Grape	# 2 pot	as shown	
0	j	Carex morrowii 'Aureoanegata'	Variogated Sedge	# 1 pot	as shown	
0	k	Rose meilandii 'Carefree Delight'	Meigotal Rose	# 2 pot	as shown	
0	l	Ilex x Meserveae 'Blue Boy' and 'Blue Girl'	Blue Holly	# 3 pot	as shown	
0	m	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	7' height	as shown	
130	n	Gaultheria shallon	Salal	# 1 pot	as shown	
0	o	Calamagrostis x acutiflora 'Karl Foerster'	Foerster's Reed Grass	# 3 pot	as shown	
0	p	Polystichum munium	Western Sword Fern	# 1 pot	as shown	
0	q	Ribes sanguineum	Red Flowering Currant	# 2 pot	as shown	
668	r	Cotoneaster dammeri	Bearberry	# 1 pot	18" o.c.	

NOTE  
PH2 HAS NO LANDSCAPE.



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DATE	REVISION
July 17	DP Submitted
Oct 17	DP Rebuild Submitted

**JHL Design Group Inc.**  
Landscape Architecture • Urban Design

4874, West 53<sup>rd</sup> Ave., Vancouver, BC  
Tel: 604-261-4874  
Fax: 1-866-677-4864  
Email: jhl@jhl.ca

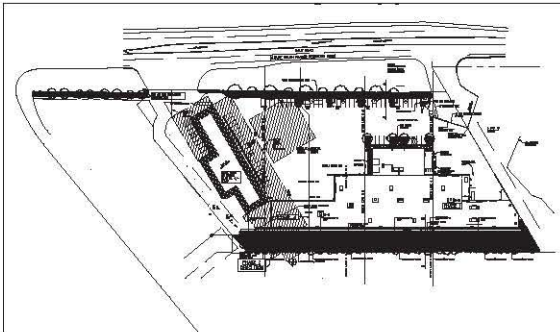
SCALE
DATE: Oct, 17
DS/M
JSE/HC

PROJEC TITLE  
**Proposed Fabrication Shop & Office for Mighty Oak Holdings**  
17503 & 17800 Daily Road  
Surrey, BC

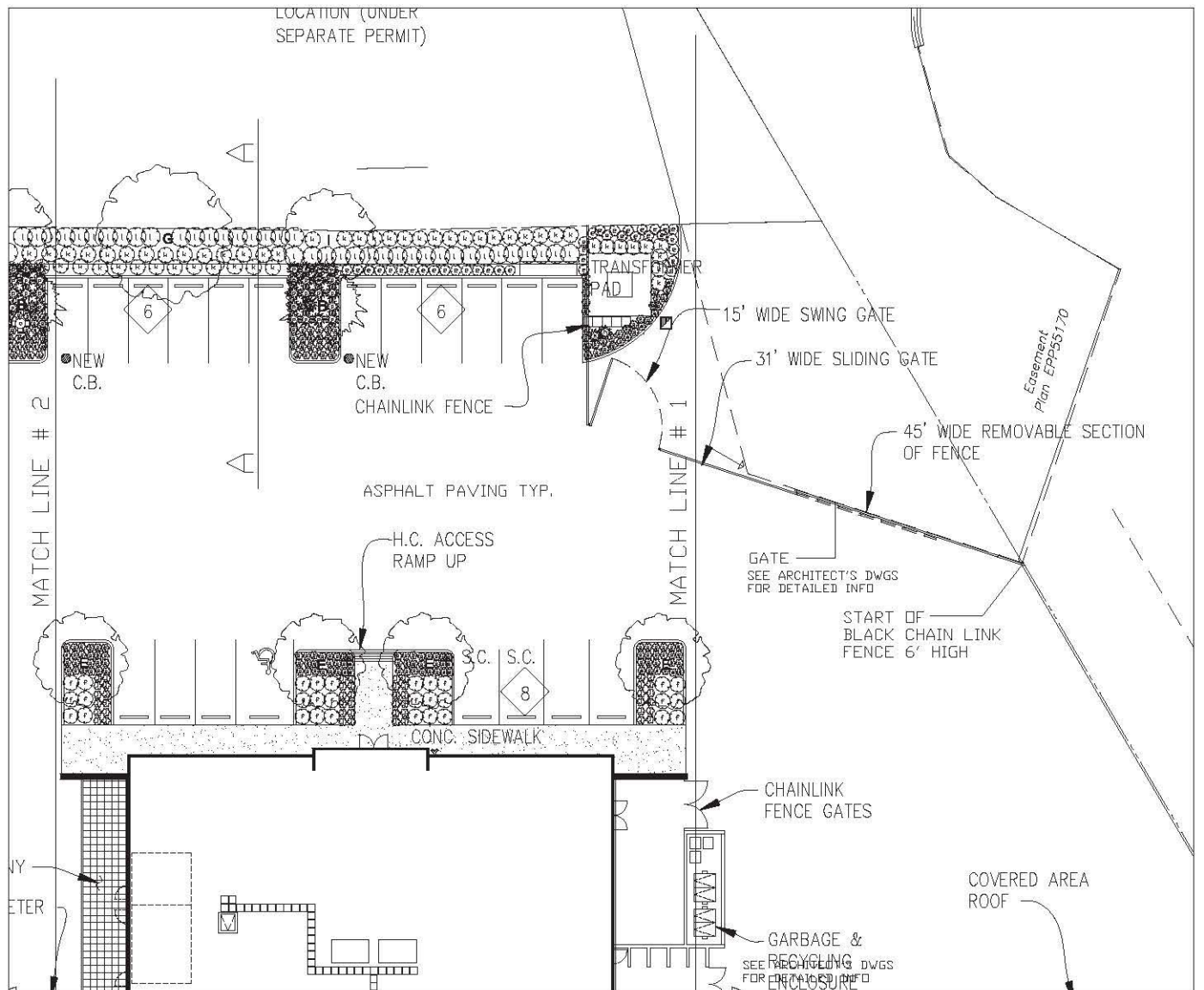
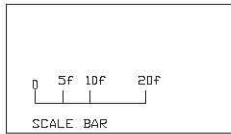
ISSUING TITLE  
**PLANT LISTS**  
NOTES

L-1





OVERALL REFERENCE PLAN



**NOTE:**  
FOR DETAILED INFO ON PROPOSED GRADING, SEE CIVIL ENGINEER'S DRAWINGS

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DATE	REVISIONS
July, 17	DP Submission
Oct, 17	DP Revision Submission

**JHL Design Group Inc.**  
Landscape Architecture + Urban Design

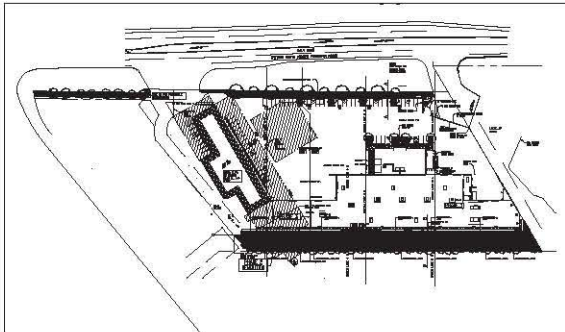
4270 Maple Street, Vancouver, BC  
Tel: 404-283-8613  
Fax: 1-800-277-8654  
Email: jhl@jhlinc.com

SCALE: 3/32" = 1'-0"  
DATE: Oct, 17  
DRAWN:  
JOB NO:

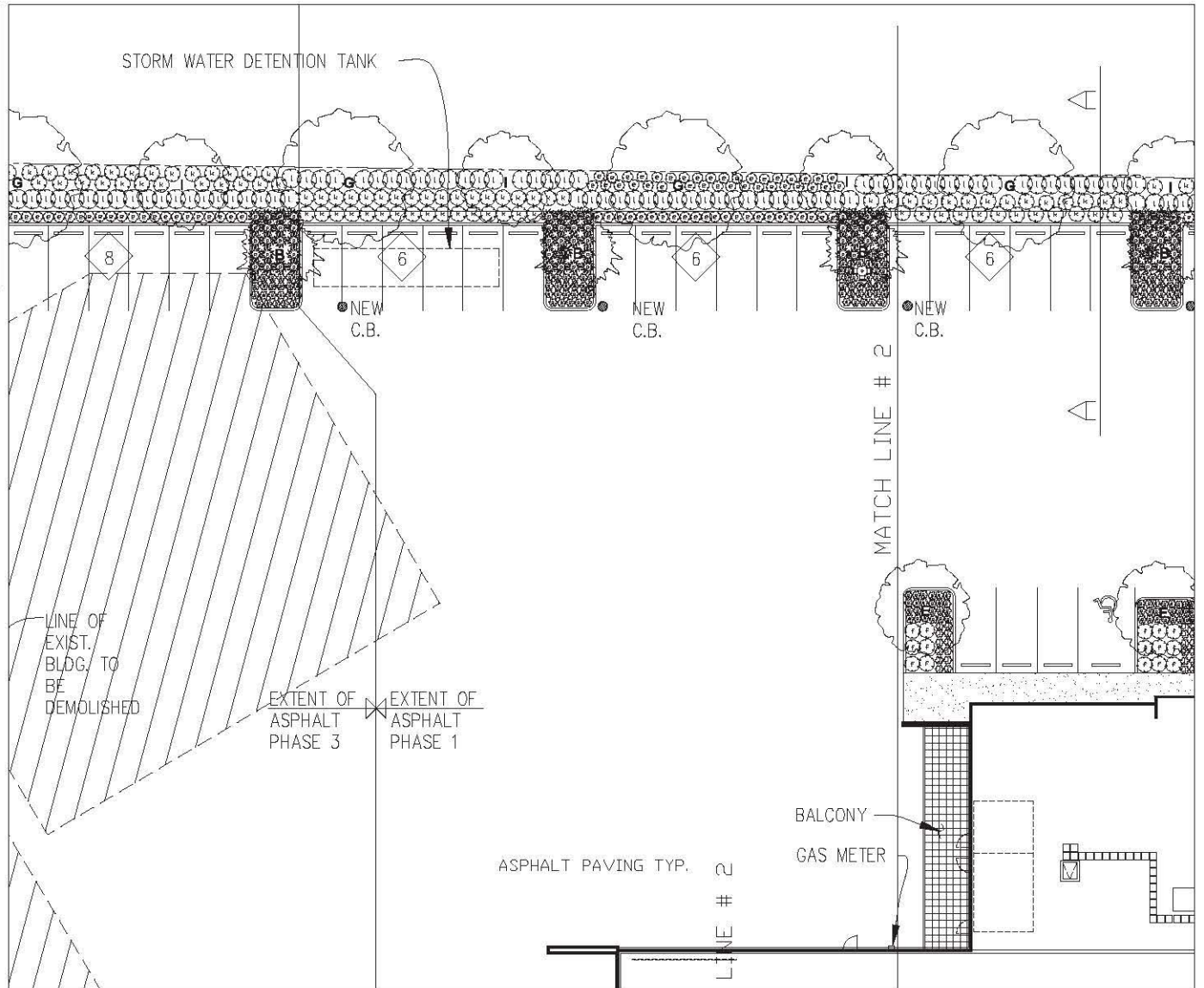
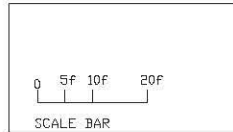
PROJECT TITLE  
**Proposed Fabrication Shop & Office For Mighty Oak Holdings**  
17760 & 17850 Day Road  
Surrey, BC

DRAWING TITLE  
**PHI-ON SITE PLANTING DESIGN/ LANDSCAPE PLAN OVERALL REFERENCE PLAN**

L-2



OVERALL REFERENCE PLAN



NOTE:

FOR DETAILED INFO ON PROPOSED GRADING, SEE CIVIL ENGINEER'S DRAWINGS

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DATE	REVISIONS
July, 17	DP Submission
Oct, 17	DP Revision Submission

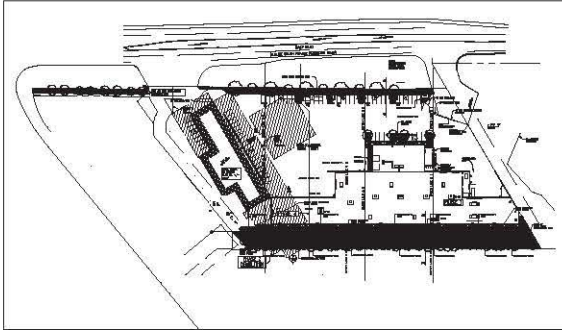
**JHL Design Group Inc.**  
Landscape Architecture + Urban Design

4370, Mega Street, Vancouver, BC  
Tel: 604-263-8913  
Fax: 1-888-277-8204  
Email: jhl@jhltda.ca

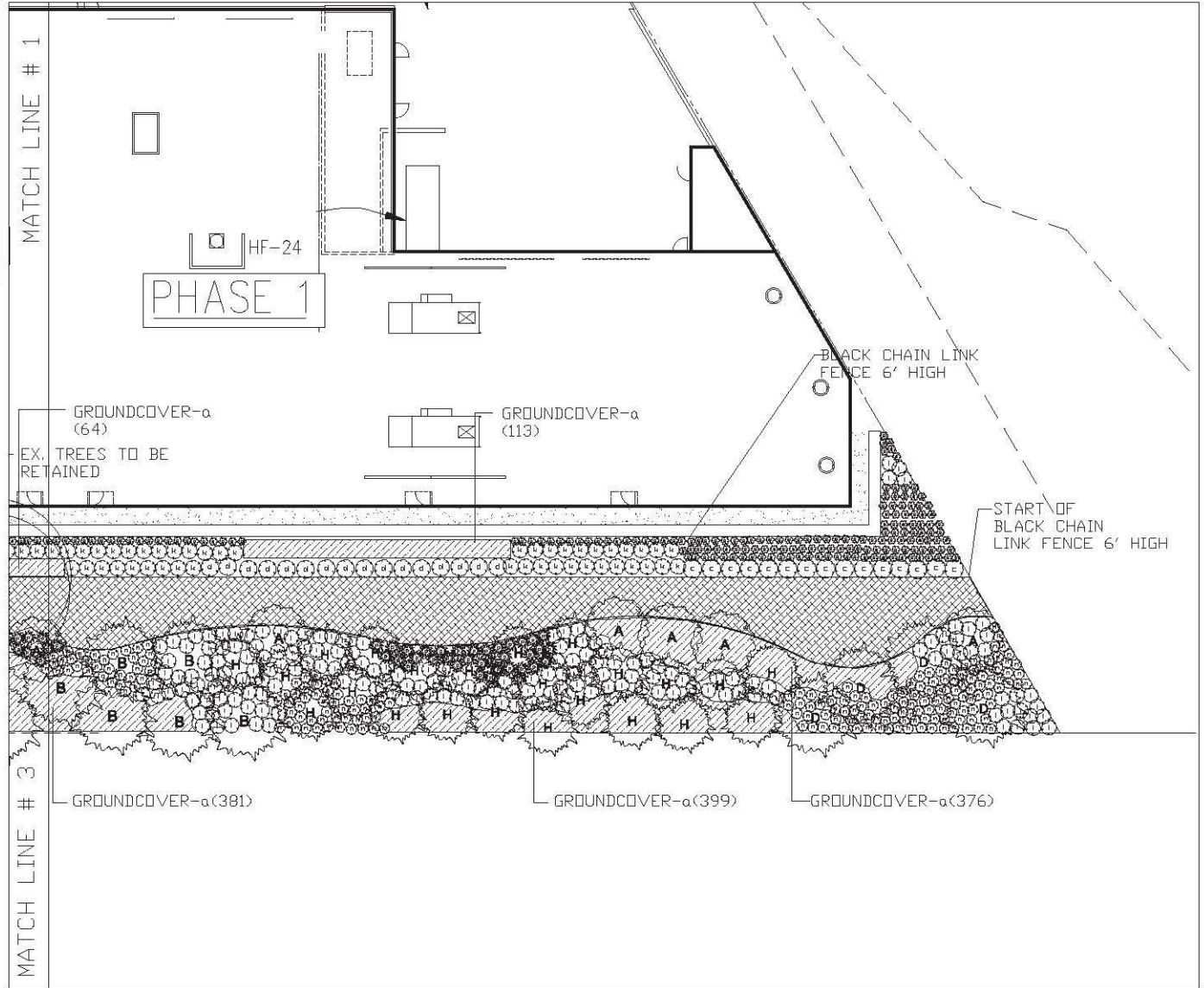
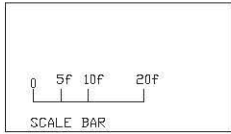
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DATE	Oct, 17
DRAWN	
JOB NO.	

PROJECT TITLE	Proposed Fabrication Shop & Office For Mighty Oak Holdings 1775D & 1785D Daly Road Surrey, BC
---------------	---

DRAWING TITLE	PH1-ON SITE PLANTING DESIGN/ LANDSCAPE PLAN OVERALL REFERENCE PLAN
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OVERALL REFERENCE PLAN



NOTE:  
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DATE	REVISION
July, 17	DP Submission
Oct, 17	DP Revision Submission

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Landscape Architecture + Urban Design

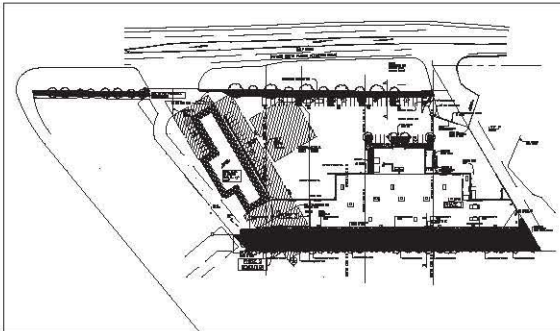
4376 Maple Street, Vancouver, BC  
Tel: 804-263-9013  
Fax: 1-888-271-9904  
Email: jhl@jhl.com

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DRAWN	
DATE NO.	

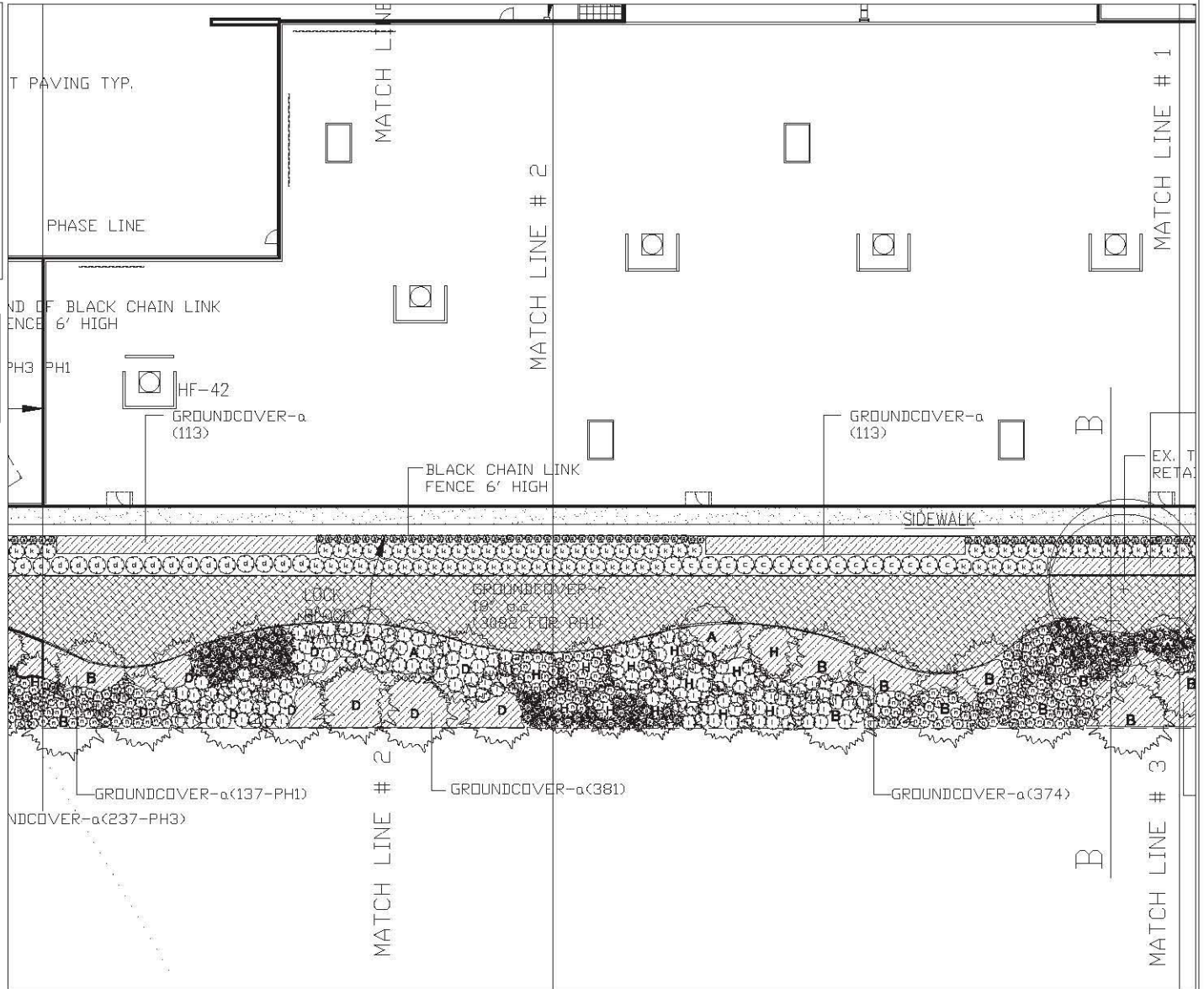
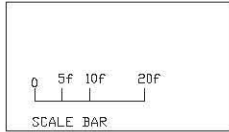
PROJECT TITLE	Proposed Fabrication Shop & Office For Mighty Oak Holdings 17780 & 17850 Day Road Surrey, BC
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DRAWING TITLE	PH-1-BUFFER AREA PLANTING DESIGN LANDSCAPE PLAN OVERALL REFERENCE PLAN
---------------	---

L-4



OVERALL REFERENCE PLAN



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DATE	REVISIONS
July 17	DP Submission
Oct 17	DP Revision Submission

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Landscape Architecture + Urban Design

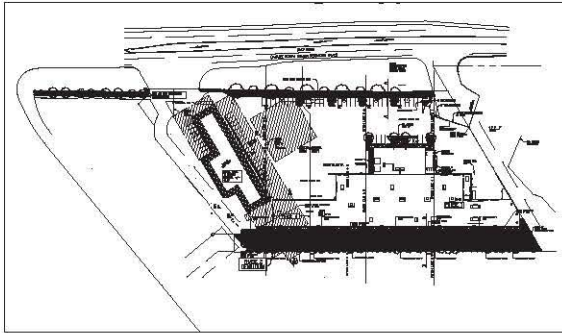
4791 Maple Street, Vancouver, BC  
Tel: 604-263-8913  
Fax: 1-855-277-8064  
Email: [JHLdesign@telus.net](mailto:JHLdesign@telus.net)

SCALE	3/32"=1'-0"
DATE	Oct 17
DRAWN	
JOB NGL	

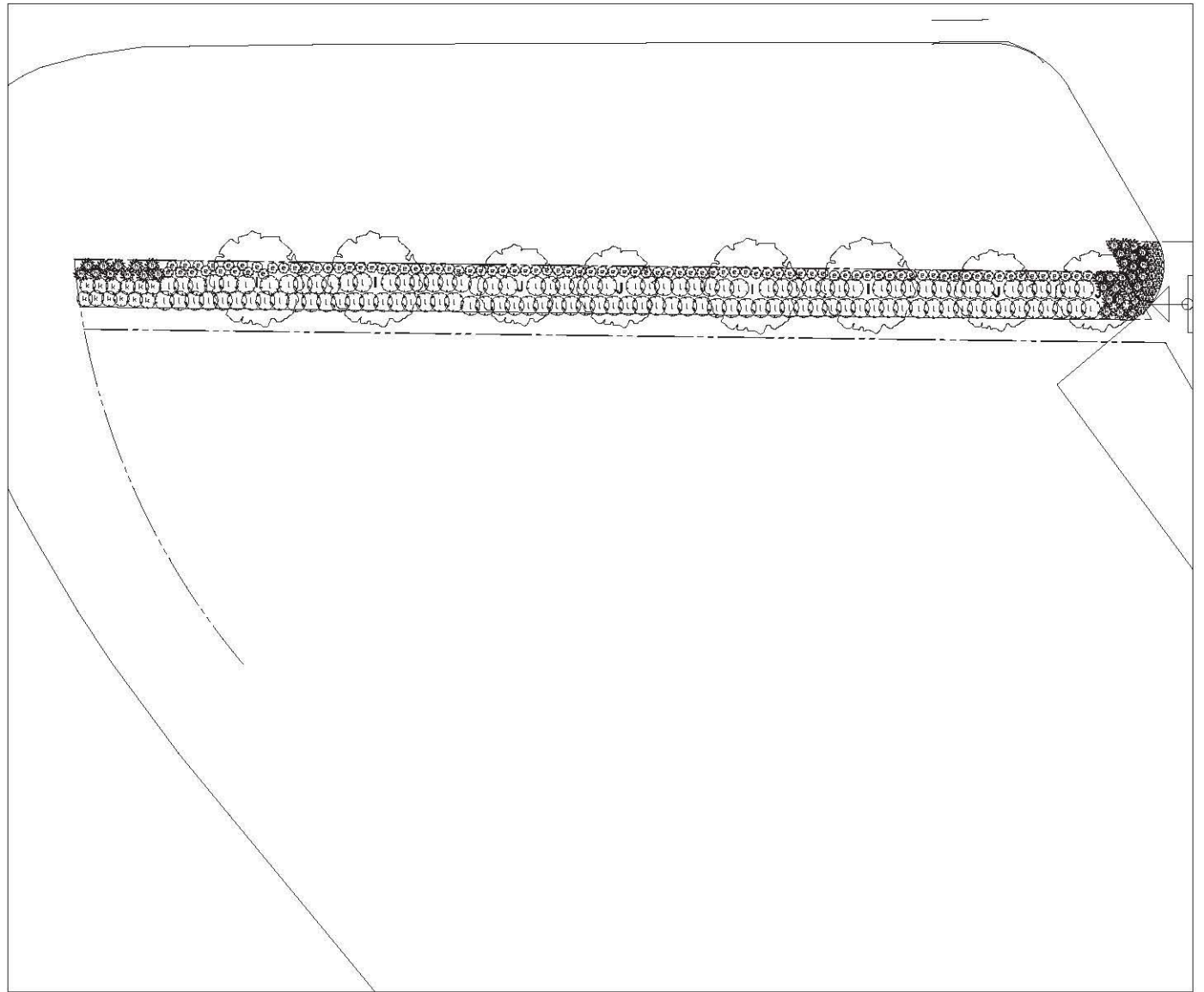
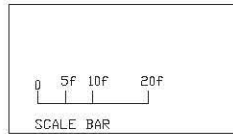
PROJECT TITLE  
**Proposed Fabrication Shop & Office For Mighty Oak Holdings**  
17780 & 17800 Daily Road  
Surrey, BC

DRAWING TITLE  
**PH1-BUFFER AREA PLANTING DESIGN LANDSCAPE PLAN OVERALL REFERENCE PLAN**

**L-5**



OVERALL REFERENCE PLAN



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DATE	REVISIONS
July 17	DP Submission
Oct. 17	DP Revision Submission

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Landscape Architecture + Urban Design

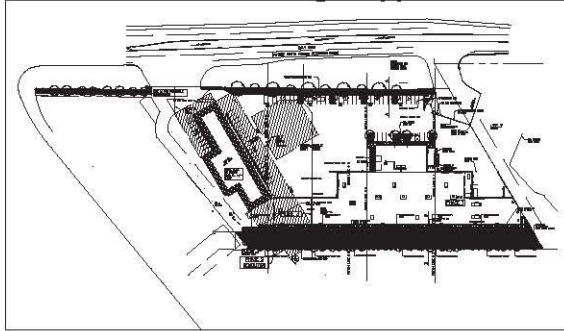
4376 Maple Street, Vancouver, BC  
Tel: 604-283-9813  
Fax: 1-800-277-2834  
Email: jhl@jhlgroup.com

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DATE	Oct. 17
DRAWN	
LED NO.	

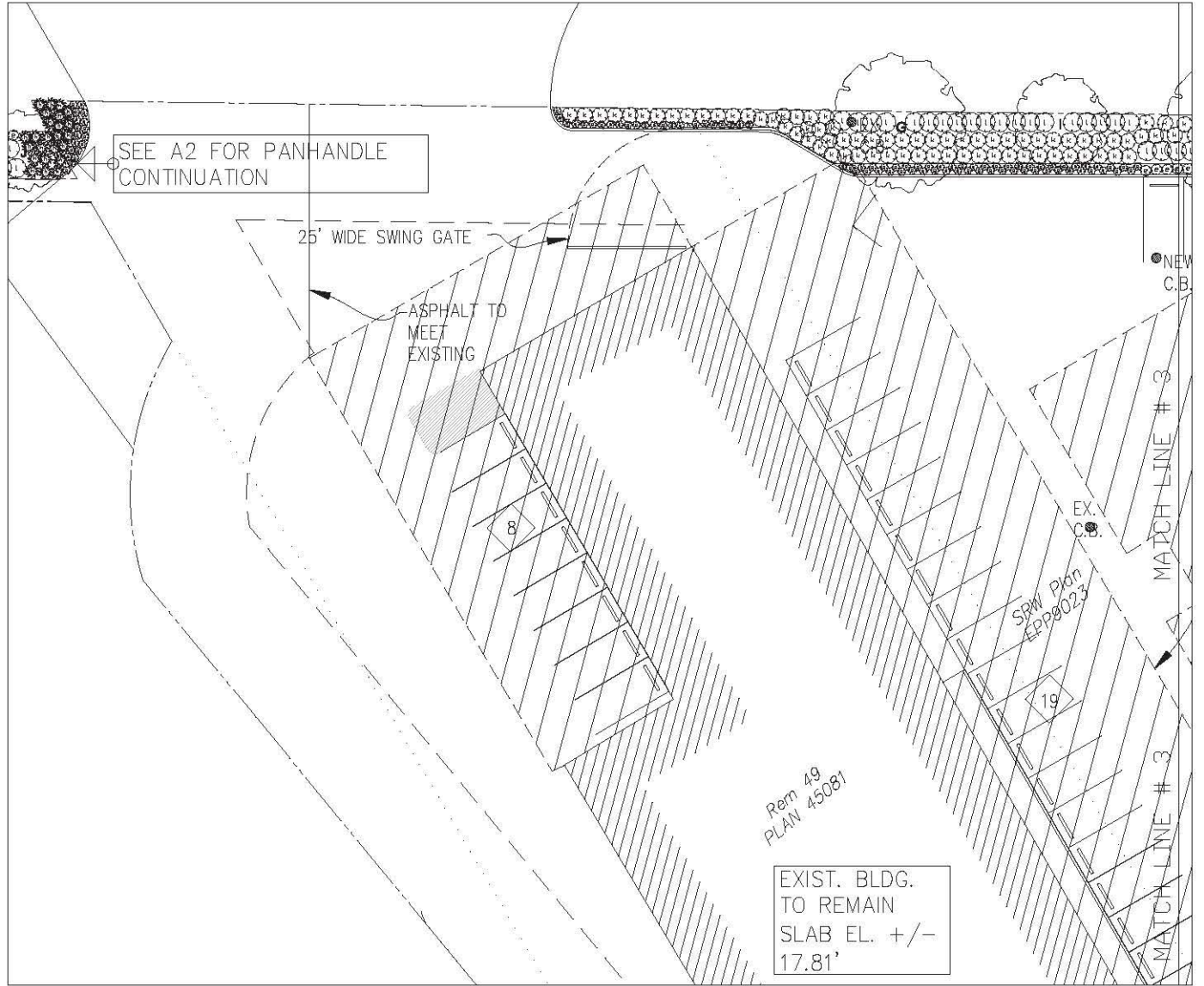
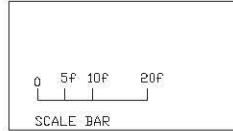
PROJECT FILE	Proposed Fabrication Shop & Office For Mighty Oak Holdings 17788 & 17830 Day Road Surrey, BC
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DRAWING TITLE	PH3-ON SITE PLANTING DESIGN/ LANDSCAPE PLAN OVERALL REFERENCE PLAN
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**L-6**



OVERALL REFERENCE PLAN



NOTE:

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DATE	REVISIONS
July 17	DP Submission
Oct. 17	DP Revision Submission

**JHL Design Group Inc.**  
Landscape Architecture + Urban Design

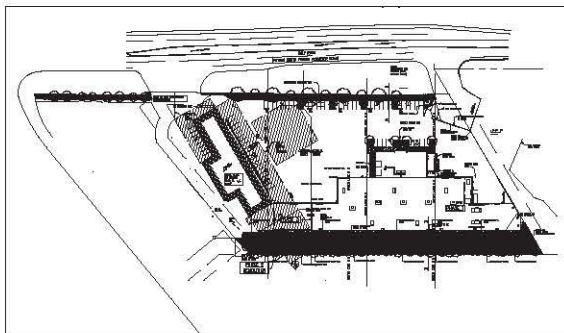
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Tel: 604-583-8813  
Fax: 1-800-277-8204  
Email: jhl@designbeyond.ca

SCALE 3/32"=1'-0"  
DATE Oct. 17  
DRAWN  
JOB NO.

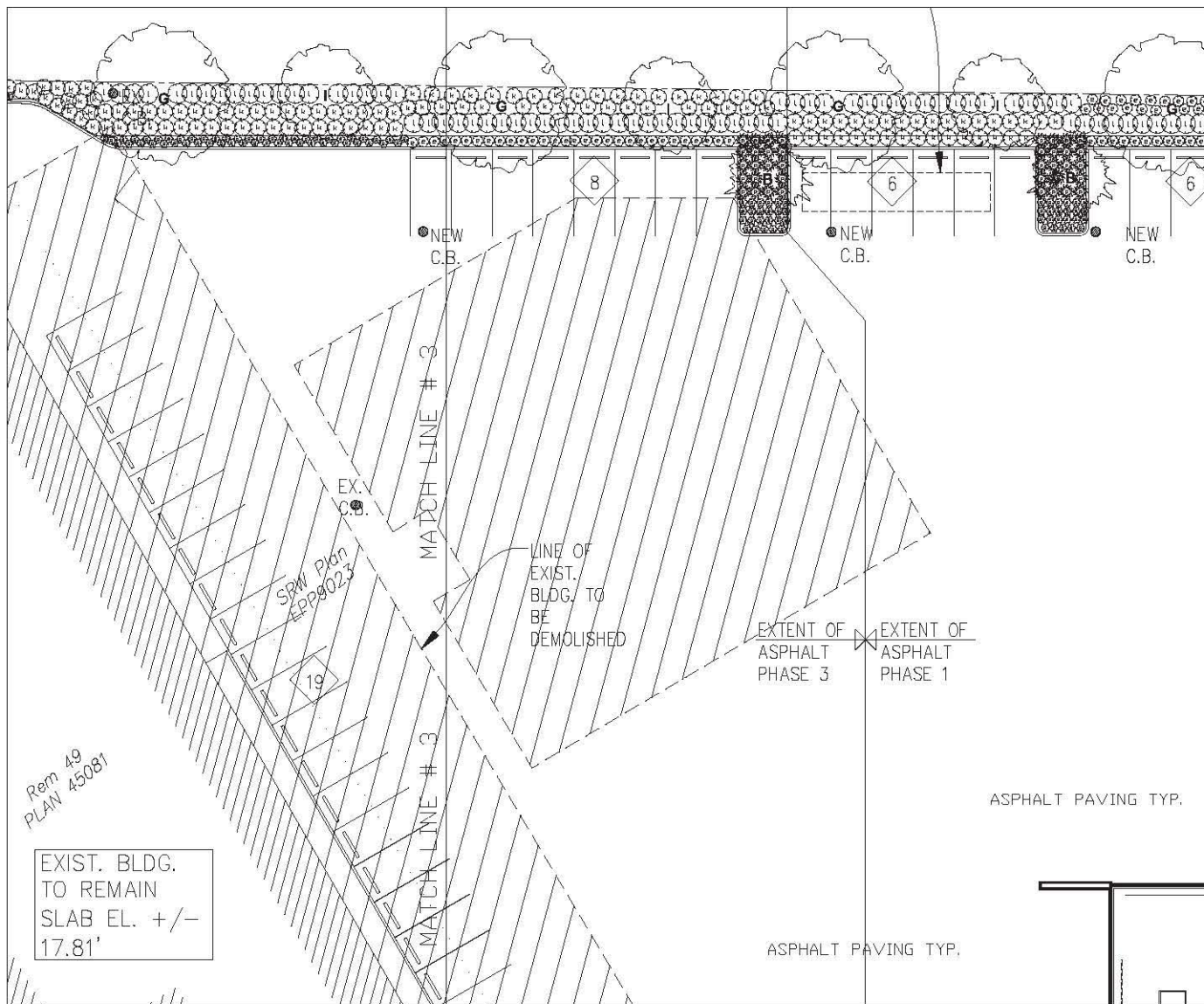
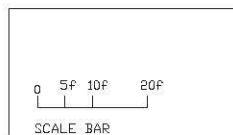
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**Proposed Fabrication Shop & Office For Mighty Oak Holdings**  
17780 & 17880 Daly Road  
Burray, BC

DRAWING TITLE  
**PH3-ON SITE PLANTING DESIGN/ LANDSCAPE PLAN**  
OVERALL REFERENCE PLAN

L-7



OVERALL REFERENCE PLAN



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DATE	REVISIONS
July, 17	DP Submission
Oct, 17	DP Revision Submission

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Landscape Architecture + Urban Design

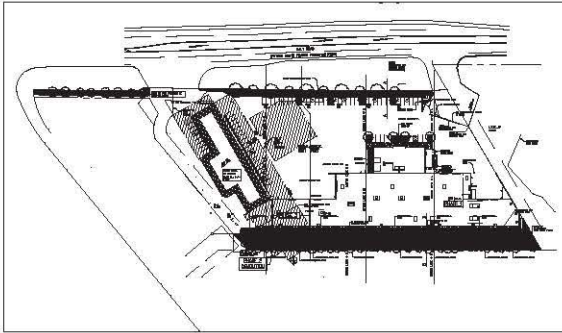
4370 Maple Street, Vancouver, BC  
Tel: 604-263-8913  
Fax: 604-271-8006  
Email: jhl@jhlbc.com

SCALE 3/32"=1'-0"  
DATE Oct, 17  
DRAWN  
JOB NO.

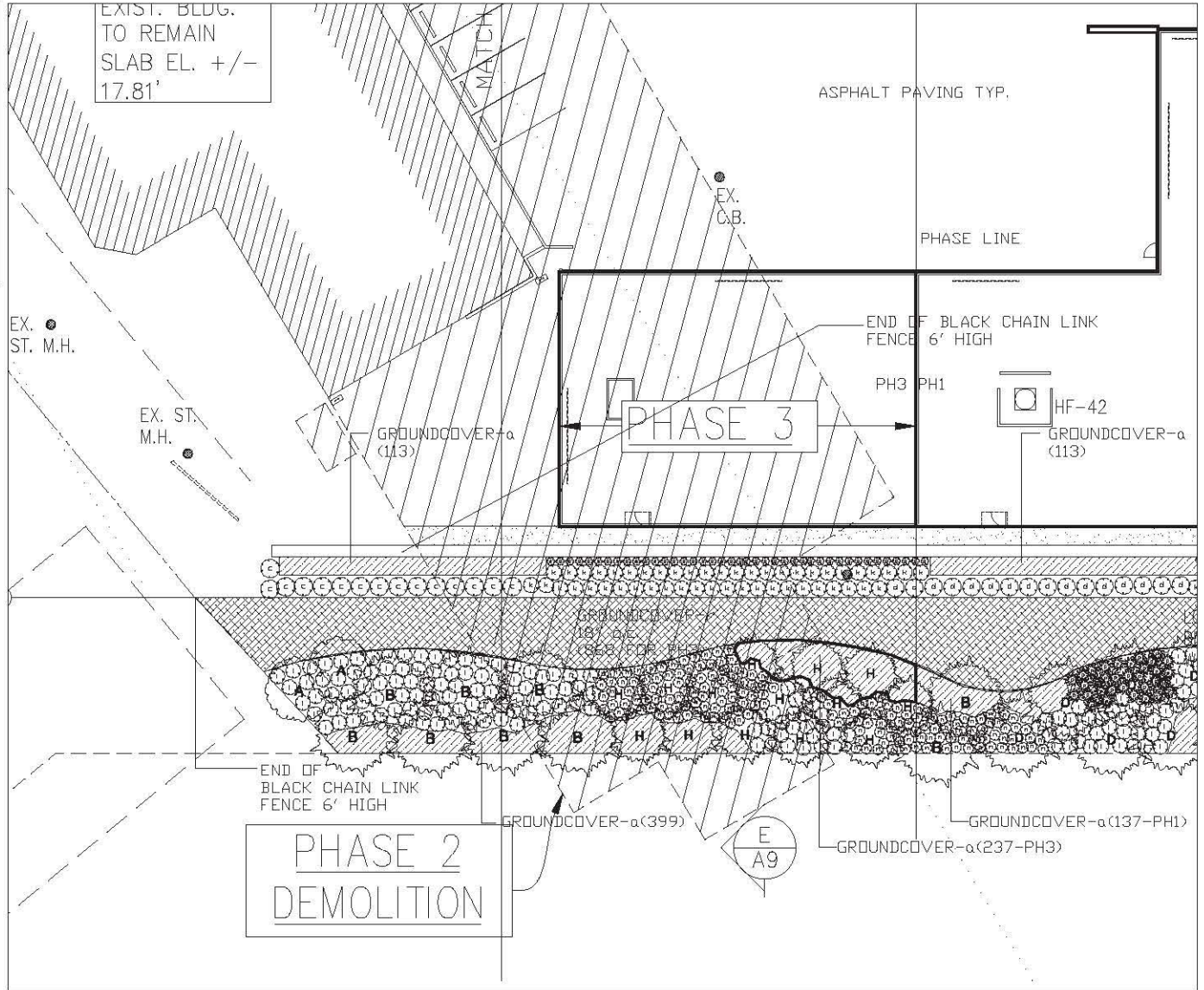
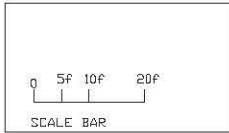
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Proposed Fabrication Shop & Office For Mighty Oak Holdings  
17780 & 17800 Daily Road  
Surrey, BC

DRAWING TITLE  
PHS-ON SITE  
PLANTING DESIGN/  
LANDSCAPE PLAN  
OVERALL REFERENCE PLAN

L-8



OVERALL REFERENCE PLAN



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DATE	REVISIONS
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Oct, 17	DP Revision Submission

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Landscape Architecture + Urban Design

4370, Maple Street, Vancouver, BC  
Tel: 604-263-8813  
Fax: 1-888-277-8564  
Email: jhl@jhlgroup.ca

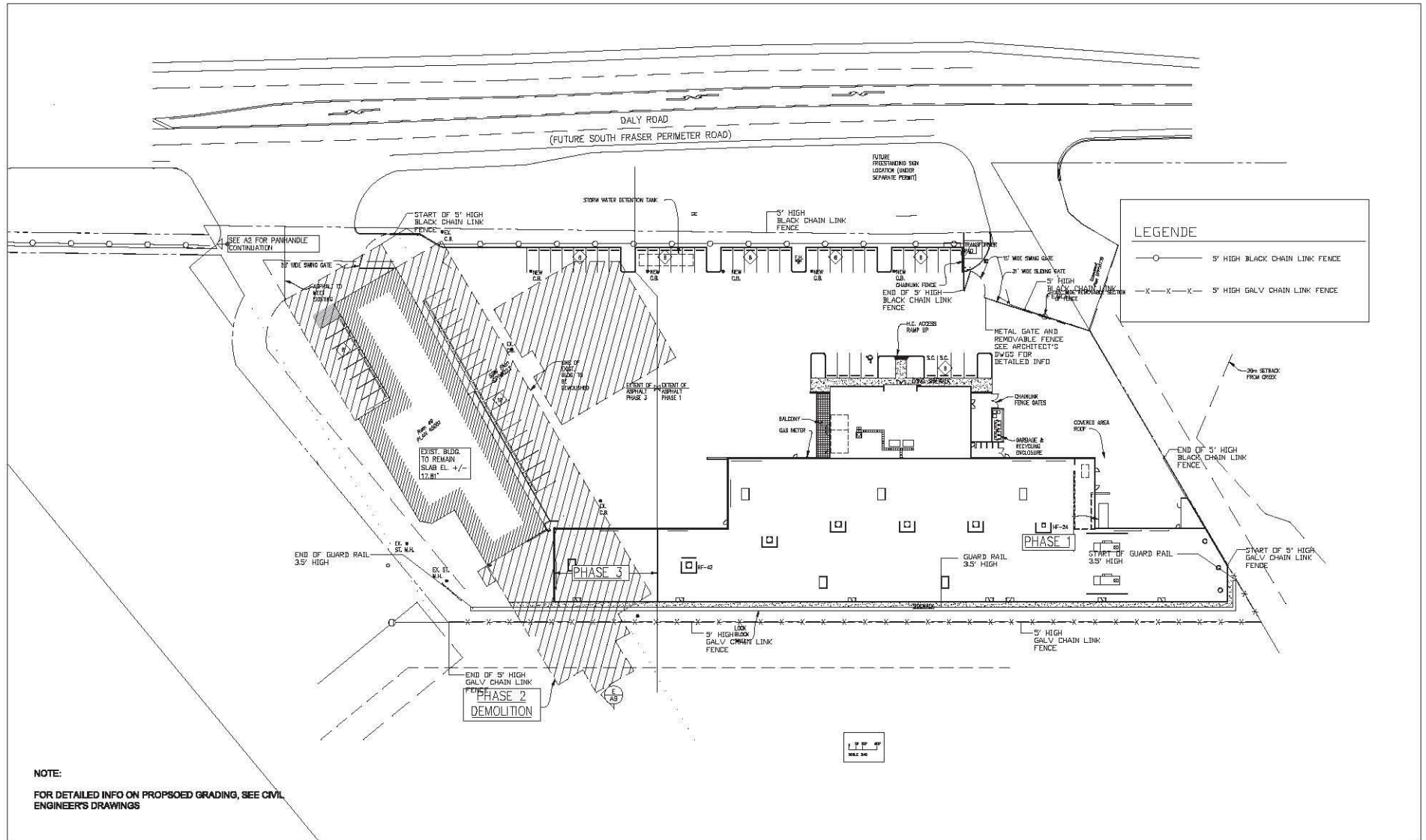
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PROJECT TITLE  
**Proposed Fabrication Shop & Office For Mighty Oak Holdings**  
17780 & 17660 Daily Road  
Surrey, BC

DRAWING TITLE  
**PH3-BUFFER AREA PLANTING DESIGN LANDSCAPE PLAN OVERALL REFERENCE PLAN**

**L-9**





**NOTE:**  
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3/16"=1'-0"

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DATE	REVISION
July 17	DP Submission
Oct. 17	DP Revision Submission

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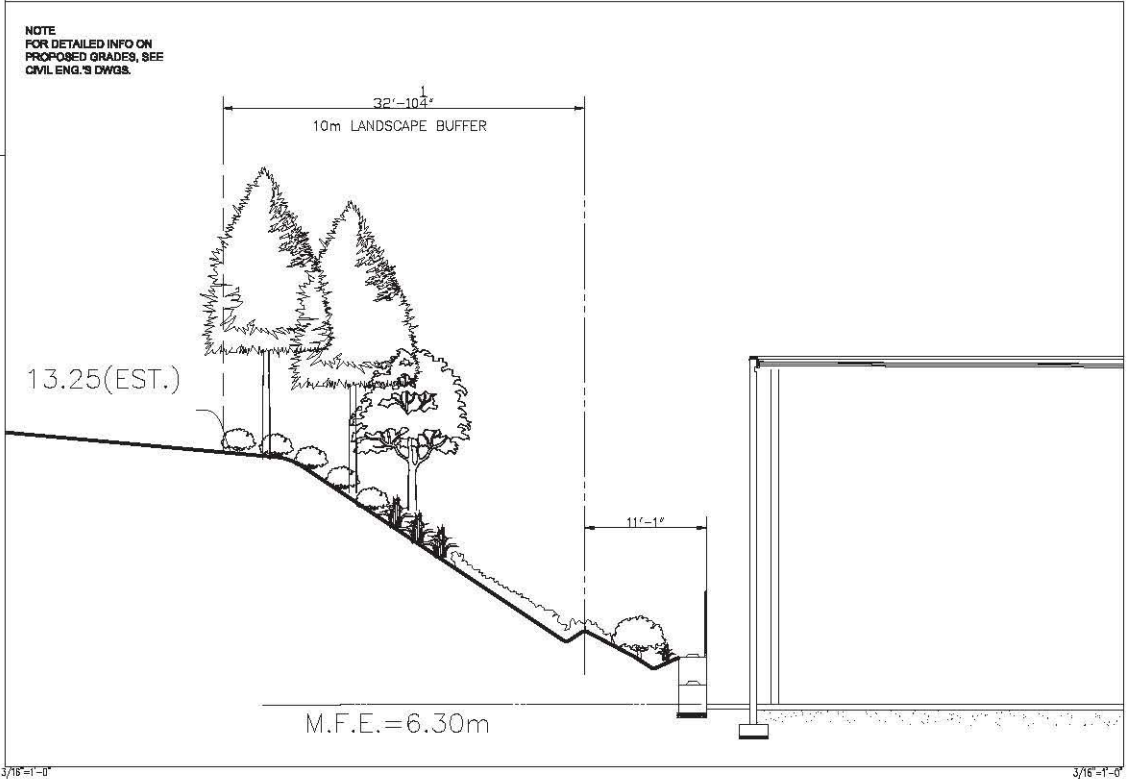
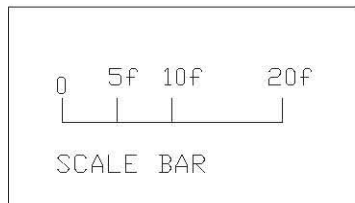
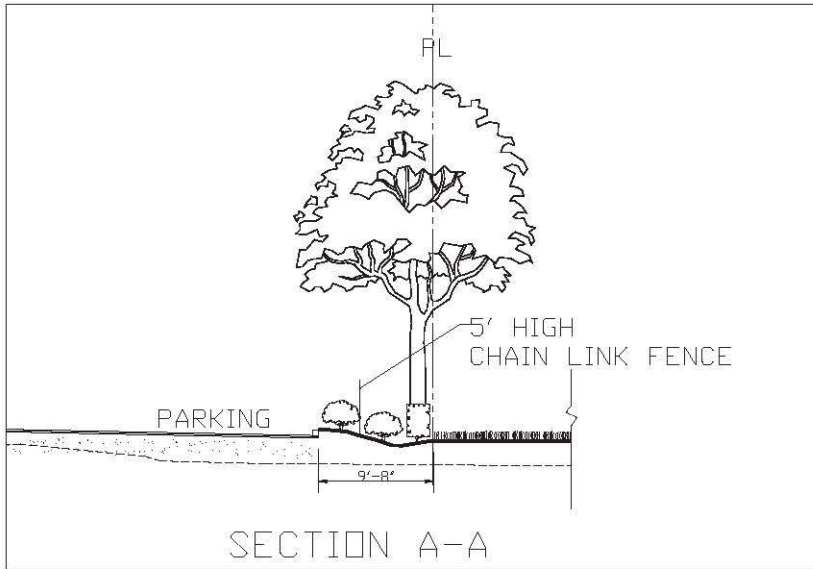
6370, Hope Street, Vancouver, BC  
 Tel: 604-283-2812  
 Fax: 1-888-277-8554  
 Email: jhl@designgroup.ca

SCALE	DATE
1/32"=1'-0"	Oct., 17
DRAWN	
JOB NO.	

PROJECT TITLE
Proposed Fabrication Shop & Office For Mighty Oak Holdings 17780 & 17800 Daly Road Surrey, BC

DRAWING TITLE
INFO ON FENCE LAYOUT

L-10



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DATE	REVISIONS
July, 17	DP Submission
Oct., 17	DP Revision Submission

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Landscape Architecture + Urban Design

4370, Maple Street, Vancouver, BC  
Tel: 604-263-8613  
Fax: 1-866-877-8634  
Email: jhl@jhlinc.com

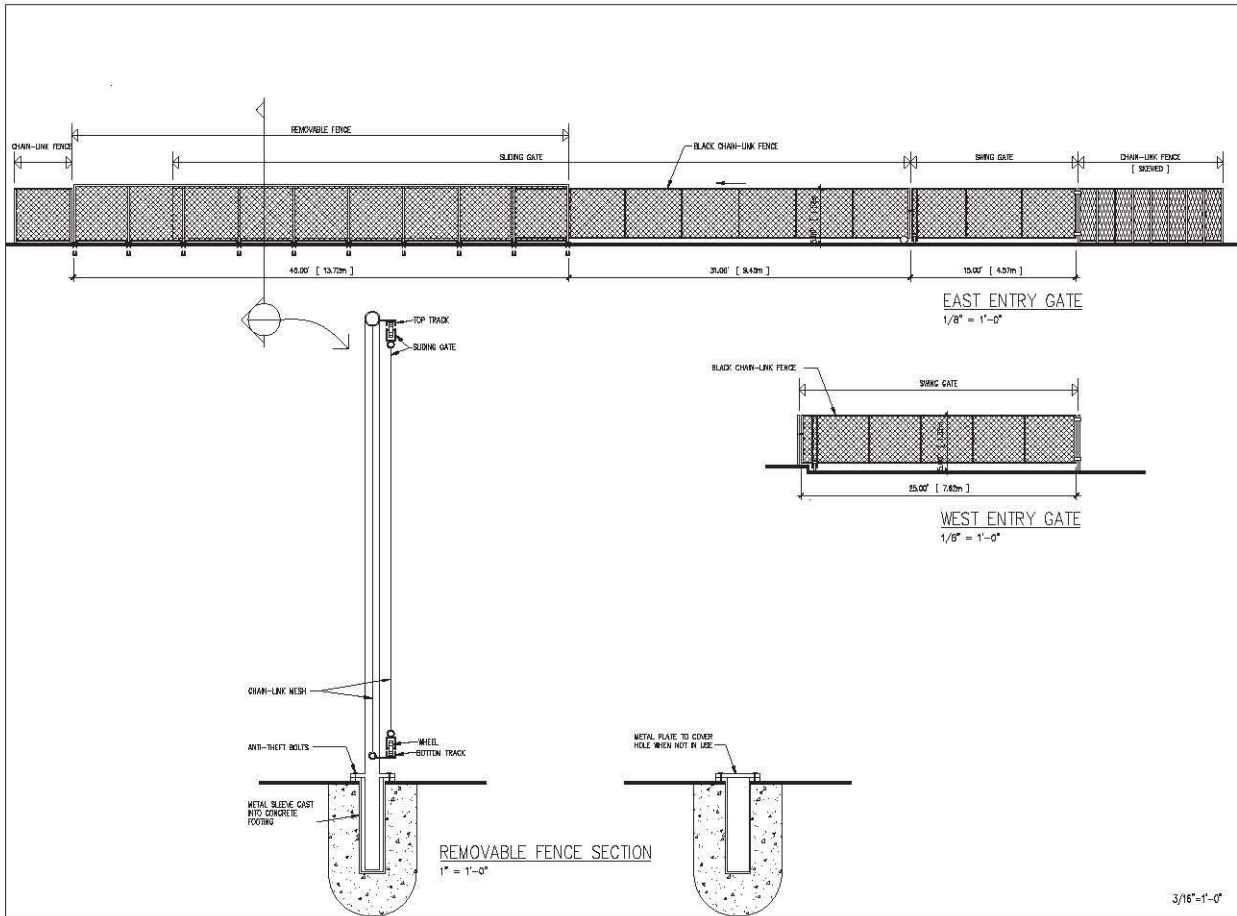
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DATE Oct., 17  
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JOB NO.

PROJECT TITLE  
**Proposed Fabrication Shop & Office For Mighty Oak Holdings**  
17780 & 17880 Daly Road  
Surrey, BC

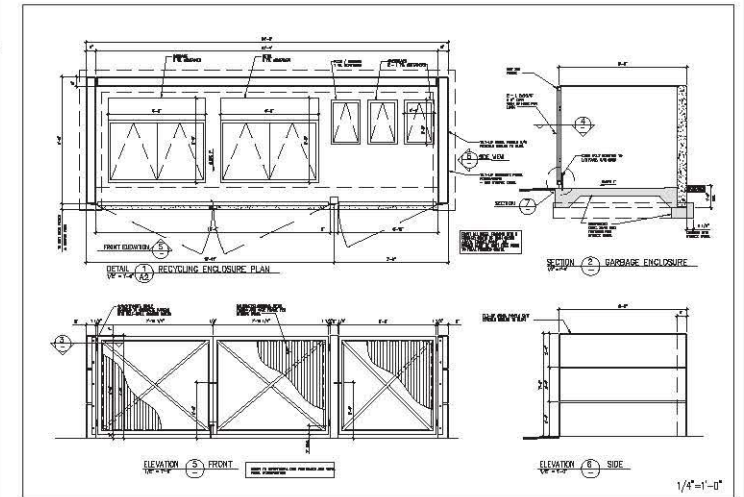
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**SECTIONS**

**L-11**

**NOTE:  
FOR DETAILED INFO SEE ARCHITECT'S DWGS**



**NOTE:  
FOR DETAILED INFO SEE ARCHITECT'S DWGS**



GATE DETAILS

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DATE	REVISIONS
July 17	DP Submission
Oct 17	DP Revision Submission

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Landscape Architecture + Urban Design

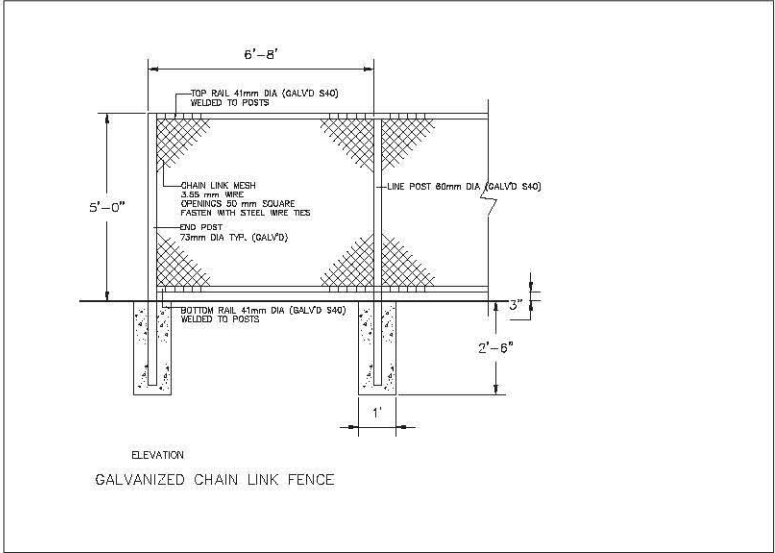
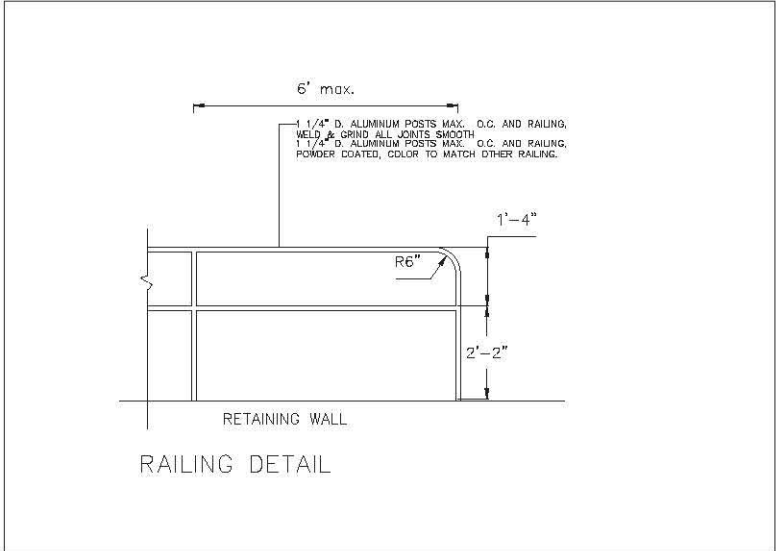
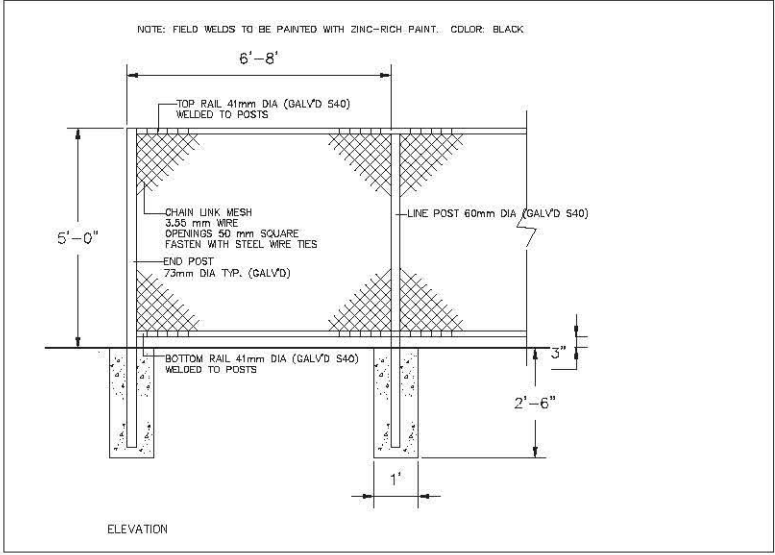
4370, Knight Street, Vancouver, BC  
Tel: 604-253-8613  
Fax: 1-888-277-8554  
Email: jhl@jhlgroupinc.com

SCALE
DATE: Oct, 17
DRAWN
JOB NO.

PROJECT TITLE
Proposed Fabrication Shop & Office For Mighty Oak Holdings 17780 & 17850 Daly Road Surrey, BC

DRAWING TITLE
DETAILS

L-12



**NOTE:**  
FOR DETAILED INFO ON PROPOSED RETAINING  
WALLS, SEE ENGINEER'S DWGS.

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DATE	REVISIONS
July 17	DP Submission
Oct 17	DP Referral Submission

**JHL Design Group Inc.**  
Landscape Architecture + Urban Design

4370, Maple Street, Vancouver, BC  
Tel: 604-273-1413  
Fax: 1-888-277-1554  
Email: jhl@jhl.com

SCALE	3/8"=1'-0"
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DRAWN	
JOB NO.	

PROJECT TITLE  
**Proposed Fabrication Shop & Office For Mighty Oak Holdings**  
17780 & 17880 Daly Road  
Surrey, BC

DRAWING TITLE  
**DETAILS**

**L-13**

### 3.0 Summary

The site inventory identified 34 trees on the subject site that are protected under the bylaw. 30 of those trees are to be removed for the development. None of the trees were found to be at high risk of failing and will require removal. There is one hedge on the adjacent property to the east that will require removal to accommodate this building. The location of protected trees, their root protection zones as well as those trees to be removed have been illustrated on the accompanying map.

#### 3.1 Summary of Tree Preservation by Tree Species

Table 3. Summary of Onsite Tree Preservation by Tree Species.

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Red Alder	10	10	0
Cottonwood	12	12	0
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Bitter cherry	2	2	0
Lombardy poplar	2	2	0
Scouler's Willow	3	3	0
Bigleaf maple	1	0	1
<b>Coniferous Trees</b>			
Douglas-fir	6	5	1
Western redcedar	1	1	0
<b>Total</b> (excluding Alder and Cottonwood Trees)	15	13	2
<b>Additional Trees in the proposed Open Space/Riparian Area</b>	-	-	-
<b>Total Replacement Trees Proposed</b> (Excluding Boulevard Street Trees)		<b>123</b>	
<b>Total Retained and Replacement Trees</b> (Total + Total Replacement trees proposed)		<b>125</b>	

Table 4. Tree Preservation Summary.

**TREE PRESERVATION SUMMARY**

Address: 17770, 17780, and 17785 Daly Road Surrey, BC  
 Registered Arborist: Michael Harrhy, B.Sc., MSFM  
 ISA Certified Arborist (PN-8025A)  
 ISA Qualified Tree Risk Assessor (TRAQ)  
 Forester in Training  
 Biologist in Training

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	<b>37</b>
<b>Protected Trees to be Removed</b>	<b>35</b>
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	<b>2</b>
<b>Total Replacement Trees Required:</b> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\frac{22}{1} \times \text{one (1)} = 22$ - All other Trees Requiring 2 to 1 Replacement Ratio $13 \times \text{two (2)} = 26$	<b>28</b>
<b>Replacement Trees Proposed</b>	<b>25(on site) + 98 (buffer)=123</b>
<b>Replacement Trees in Deficit</b>	<b>0</b>
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	
Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	<b>1 (hedge)</b>
<b>Total Replacement Trees Required:</b> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\frac{0}{1} \times \text{one (1)} = 0$ - All other Trees Requiring 2 to 1 Replacement Ratio $1 \times \text{two (2)} = 2$	<b>2</b>
<b>Replacement Trees Proposed</b>	<b>0</b>
<b>Replacement Trees in Deficit</b>	<b>2</b>

Summary prepared and submitted by:

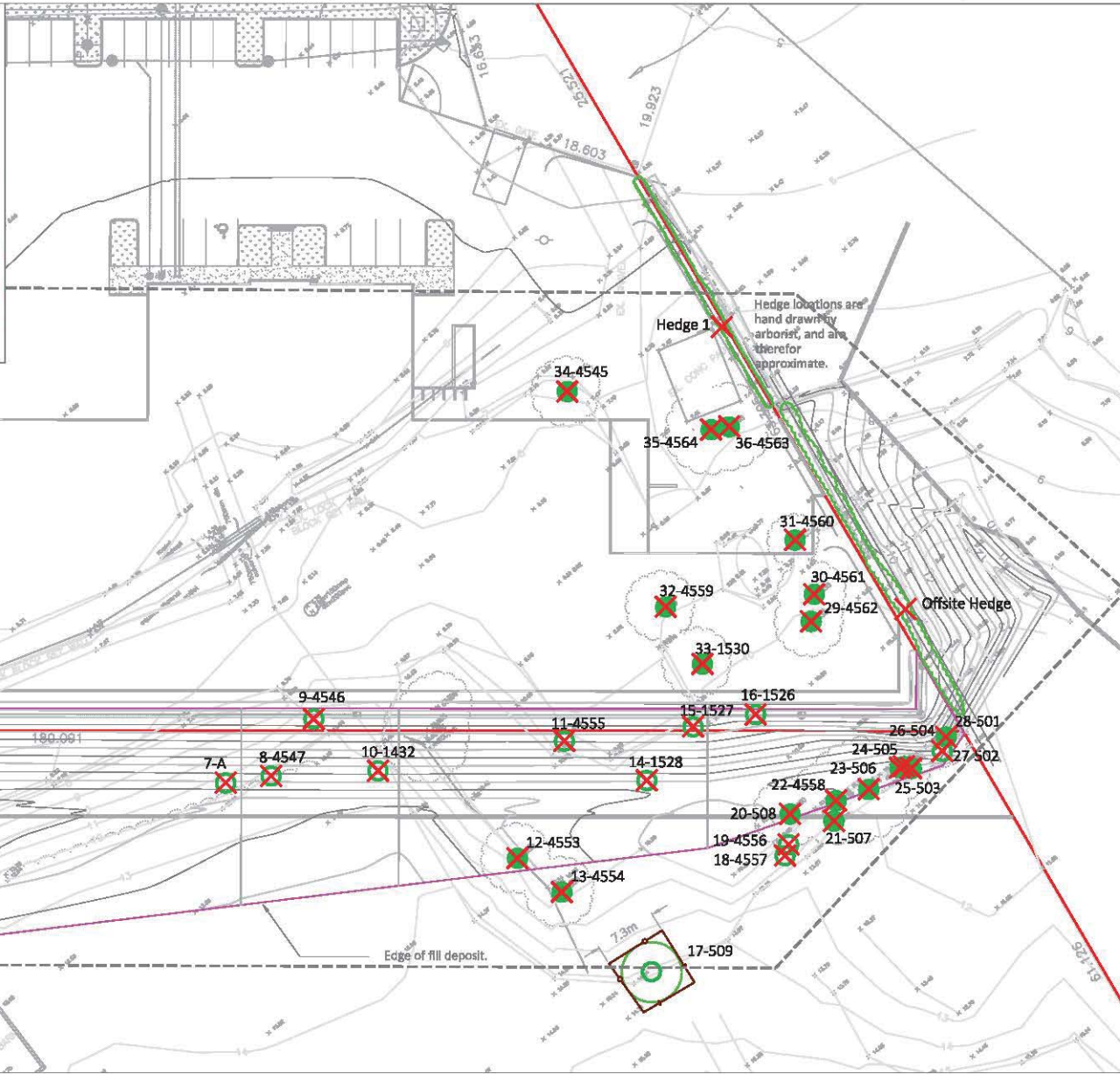
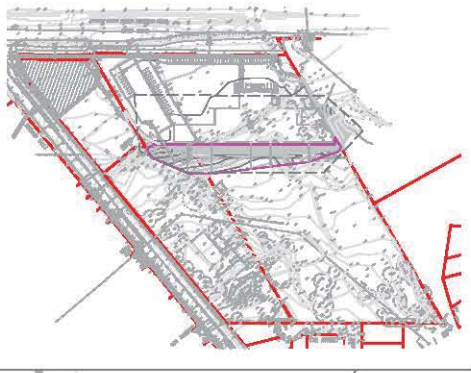


Oct 11, 2017

Arborist

Date

KEY PLAN



**LEGEND**

- TREE PROTECTION ZONE
- EDGE OF DEPOSIT SLOPE
- TREE PROTECTION FENCE
- PROPERTY LINES
- TREE TO BE RETAINED
- UN-SURVEYED TREE
- ✗ TREE TO BE REMOVED
- ASSESSMENT AREA

- NOTES**
1. The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
  2. All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.
  3. The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. (If the trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)
  4. Any construction activities or grade changes within the Root Protection Zone must be approved by the project arborist.
  5. This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).
  6. This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.

**REFERENCE DRAWINGS**

1. Base Survey by: Cameron Land Surveying 2015.
2. Plan by Lo Studio architecture.
3. Civil by MJL Engineering Ltd.

**SCALE - 1:500**



3551 COMMERCIAL STREET  
VANCOUVER BC | V5N 4E8  
T 604.733.4886 | F 604.733.4879

Drawing title: Tree Retention and Removal Plan  
Project address: 17770, 17780, and 17785 Daly Road. City of Surrey File No. 7916-0067  
Client: Brian Weir, Mighty Oak Holdings Inc

Drawing No: 3  
Date: 2017/10/13  
Drawn by: MH/KW  
Page Size: TABLOID(11"x17")

Page #  
1 of 1

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7916-0067-00

Issued To:

Address of Owner:

Issued To:

Address of Owner:

(collectively referred to as the "Owner")

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 005-874-947

Lot 49 District Lot 389A Group 2 New Westminster District Plan 45081 Except Plans EPP1530 and EPP5305

17780 - Daly Road

Parcel Identifier: 013-036-408

Parcel "E" (Plan With Fee Deposited 26357E) District Lot 389A Group 2 New Westminster District Except: Plan EPP22298 And Plan EPP22299

17850 - Daly Road

Parcel Identifier: 025-462-474

Lot 1 District Lot 389A Group 2 New Westminster District Plan BCP447 Except Part Dedicated Road On Plan EPP1529 And EPP5303

17770 - Daly Road

(the "Land")



3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

---

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

---

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Section F. Yards and Setbacks, of Part 48 "Light Impact Industrial Zone (IL)", the minimum rear (east) yard setback for a Principal Building is reduced from 7.5 metres (25 ft.) to 0 metres (0 ft.) and the minimum side (south) yard setback for a Principal Building is reduced from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for proposed Lot 2.

5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development permit.

6. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule B which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule B, which is attached hereto and forms part of this development variance permit.

7. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

8. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

9. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

10. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

---

Mayor – Linda Hepner

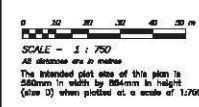
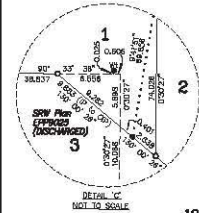
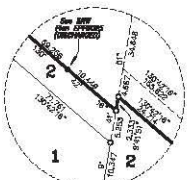
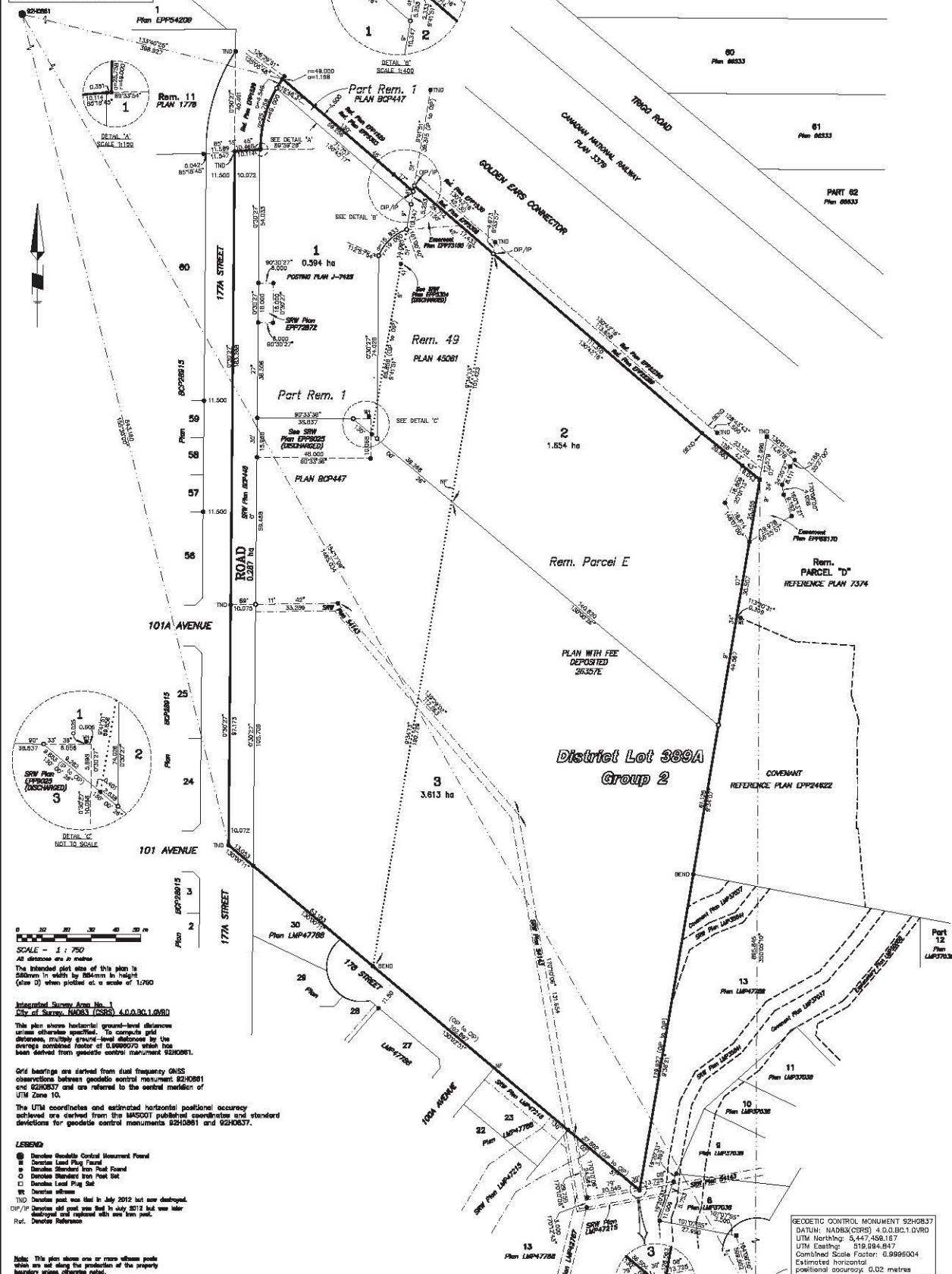
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City Clerk – Jane Sullivan

**SUBMISSION PLAN OF**  
 1) LOT 1, PLAN BCP447 EXCEPT PART DEDICATED ARTERIAL HIGHWAY BY PLAN EPP1529  
 AND PART DEDICATED ROAD BY PLAN EPP5303;  
 2) LOT 49, PLAN 45081 EXCEPT PART DEDICATED ARTERIAL HIGHWAY BY PLAN EPP1530  
 AND PART DEDICATED ROAD BY PLAN EPP5305;  
 3) PARCEL "E" (PLAN WITH FEE DEPOSITED 26357E) EXCEPT PART DEDICATED ARTERIAL  
 HIGHWAY BY PLAN EPP22298 AND PART DEDICATED ROAD BY PLAN EPP22299;  
 ALL OF DISTRICT LOT 389A, GROUP 2, NEW WESTMINSTER DISTRICT

BCS MAP SHEET 826.017

GEODETIC CONTROL MONUMENT 82H0861  
 DATUM: NAD83(CRS) 4.0.D.BC.1.0.VRD  
 UTM Northing: 5,449,778.598  
 UTM Easting: 919,259.274  
 Combined Scale Factor: 0.9999070  
 Estimated horizontal  
 positional accuracy: 0.02 metres



SCALE - 1 : 750  
 All distances are in metres  
 The intended plot size of this plan is 280mm in width by 854mm in height (size D) when printed at a scale of 1:750

Integrated Survey Area No. 1  
 City of Surrey, M083 (SSS) 4.0.D.BC.1.0.VRD

This plan shows horizontal ground-level distances unless otherwise specified. To compare with observations between geodetic control monuments 82H0861 and 82H0837 and are referred to the central meridian of UTM Zone 10.

The UTM coordinates and estimated horizontal positional accuracy achieved are derived from the IAGSO2017 published coordinates and standard deviations for geodetic control monuments 82H0861 and 82H0837.

**LEGEND**  
 ● Geodetic Control Monument Found  
 □ Geodetic Land Plan Found  
 ○ Geodetic Standard Iron Post Found  
 ○ Geodetic Standard Iron Post Set  
 □ Geodetic Land Plan Set  
 ○ Geodetic Station  
 T/O Geodetic post was used in July 2012 but was later destroyed and replaced with one from post.  
 O/P/I/P Geodetic post was used in July 2012 but was later destroyed and replaced with one from post.  
 Ref. Geodetic Reference

Note: This plan shows one or more offset points which are not along the production of the property boundary lines otherwise noted. The location of offset points may be suggested for clarity.

Cameron Land Surveying Ltd.  
 BC Land Surveyors  
 146 305 Fraser Highway  
 Surrey, BC V4A 6S2  
 Phone: 604-587-5777  
 Fax: 604-587-3303

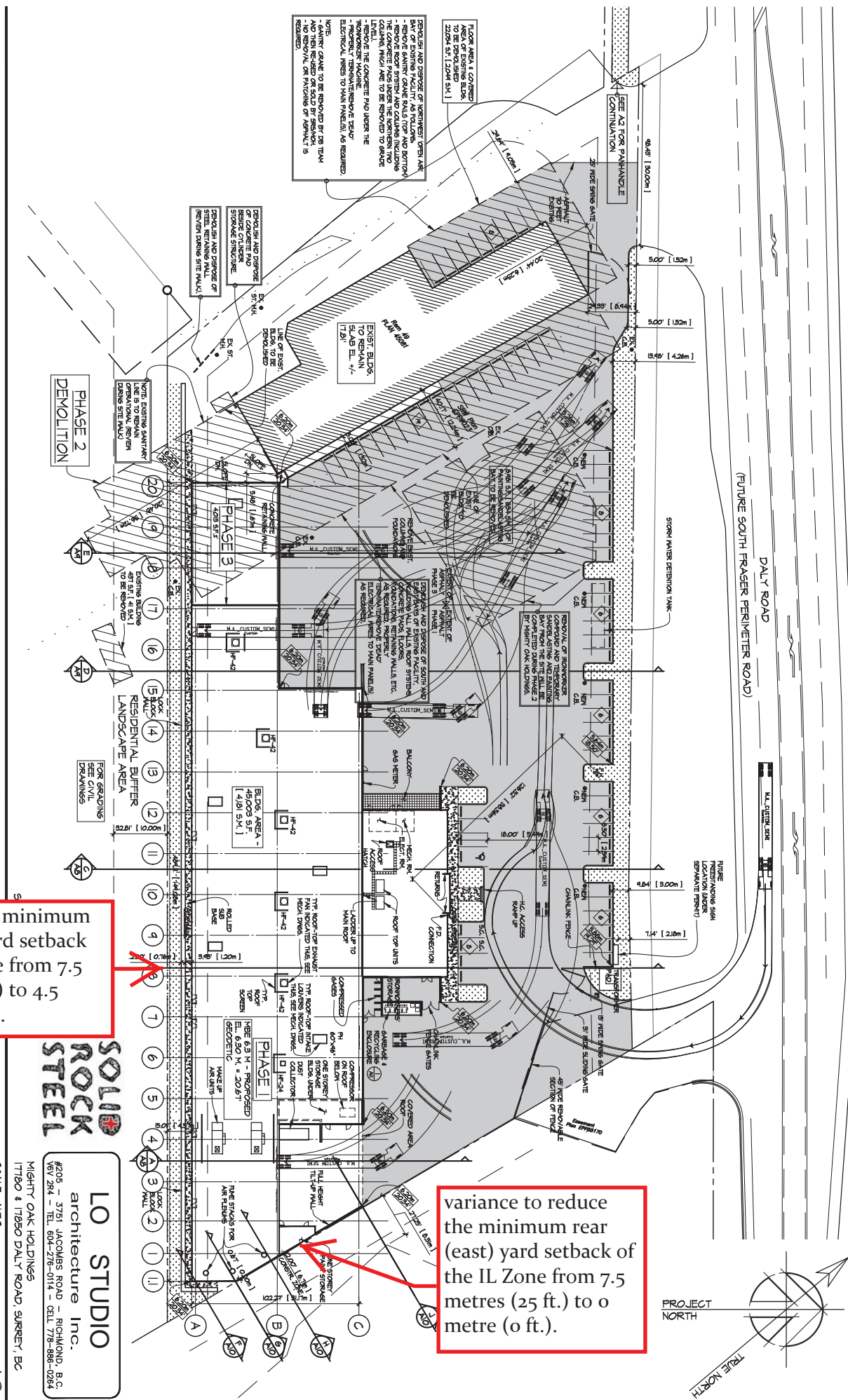
This plan is in the jurisdiction of the Approving Officer for the City of Surrey.  
 The plan is with the Greater Vancouver Regional District

GEODETIC CONTROL MONUMENT 82H0837  
 DATUM: NAD83(CRS) 4.0.D.BC.1.0.VRD  
 UTM Northing: 5,447,458.167  
 UTM Easting: 919,934.847  
 Combined Scale Factor: 0.9999004  
 Estimated horizontal  
 positional accuracy: 0.02 metres

Inspected under the Land Title Act on the 30th day of September, 2017.

The field survey represented by this plan was completed on the 9th day of June, 2017.  
 Kenneth W. Schuurman, SCLS (800)  
 File: 0033-918





to reduce the minimum south side yard setback of the IL Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.).

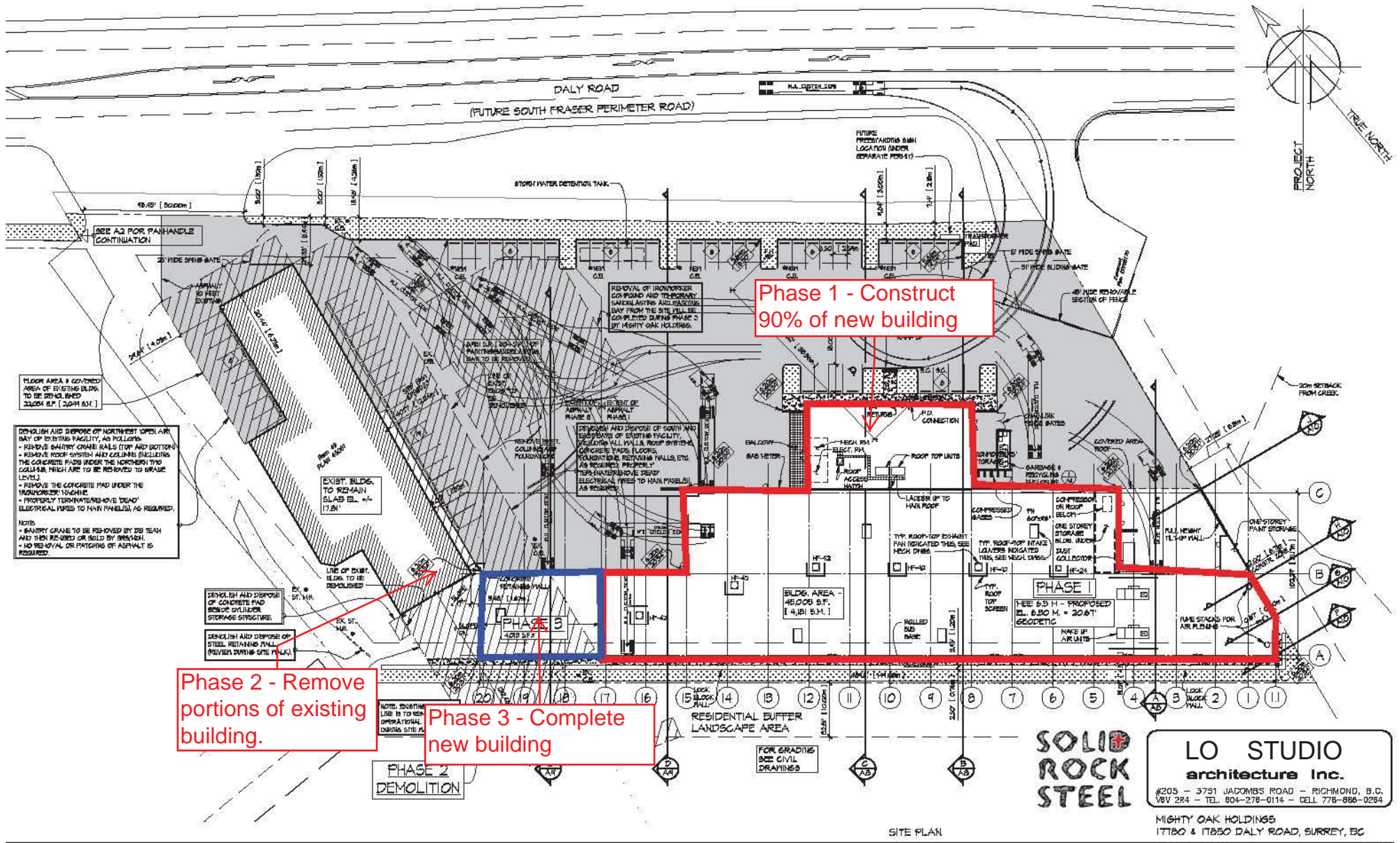
variance to reduce the minimum rear (east) yard setback of the IL Zone from 7.5 metres (25 ft.) to 0 metre (0 ft.).

**SOLID ROCK STEEL**

**LO STUDIO**  
 architecture Inc.  
 #205 - 3751 JACOBS ROAD - RICHMOND, B.C.  
 #6V 284 - TEL. 604-278-0114 - CELL 778-886-0284

MIGHTY OAK HOLDINGS  
 17780 & 17850 DALY ROAD, SURREY, BC  
 SCALE: N.T.S.  
 DATE: OCT. 13, 2017

A3



Phase 1 - Construct 90% of new building

Phase 2 - Remove portions of existing building.

Phase 3 - Complete new building

DEMOLISH AND DISPOSE OF NORTHWEST CORNER AND BAY OF EXISTING FACILITY, AS FOLLOWS:  
 - REMOVE GANTRY CRANE RAILS (TOP AND BOTTOM)  
 - REMOVE ROOF SYSTEM AND COLUMNS INCLUDING THE CONCRETE PADS UNDER THE NORTHERN TWO COLUMNS WHICH ARE TO BE REMOVED TO GRADE LEVEL.  
 - REMOVE THE CONCRETE PAD UNDER THE TOWER OF 16'x16'x11.5'  
 - PROPERLY TERMINATE/REMOVE DEAD ELECTRICAL WIRES TO MAIN PANELS, AS REQUIRED.  
 NOTES:  
 - GANTRY CRANE TO BE REMOVED BY 2ND YEAR AND THEN RECYCLED OR SOLD BY 3RD YEAR.  
 - NO REMOVAL OR PATCHING OF ASPHALT IS REQUIRED.

DEMOLISH AND DISPOSE OF CONCRETE PAD UNDER CYLINDER STORAGE STRUCTURE.  
 DEMOLISH AND DISPOSE OF STEEL RETAINING WALL, PREVENT SURFING SITE PAVEMENT.

NOTE: EXISTING LINE IS TO REMAIN OPERATIONAL DURING SITE WORK.

REMOVAL OF IRONWORKER COMPACT AND TELESCOPIC SANDBLASTING AND BUILDING BAY FROM THE SITE WILL BE COMPLETED DURING PHASE 3 BY MIGHTY OAK HOLDINGS.

DEMOLITION AND DISPOSE OF SOUTH-WEST CORNER OF EXISTING FACILITY, INCLUDING ALL HALLS, ROOF SYSTEMS, CONCRETE FLOORS, FOUNDATIONS, RETAINING WALLS, ETC. AS REQUIRED, PROPERLY TERMINATE/REMOVE DEAD ELECTRICAL WIRES TO MAIN PANELS, AS REQUIRED.

BLDG. AREA - 45,000 S.F. [ 4,181 S.M. ]

**SOLID ROCK STEEL**

**LO STUDIO architecture inc.**  
 #205 - 3751 JACOMBS ROAD - RICHMOND, B.C.  
 187 2RD - TEL. 804-278-0114 - CELL 778-866-0284

SITE PLAN

RE-ISSUED FOR DEVELOPMENT PERMIT

MIGHTY OAK HOLDINGS  
 17780 & 17850 DALY ROAD, SURREY, BC  
 SCALE: N.T.S.  
 DATE: OCT. 13, 2017