

City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: **7916-0057-00**

Planning Report Date: December 19, 2016

**PROPOSAL:**

- **OCP Amendment** from Suburban to Mixed Employment and Urban
- **LAP Amendment** to introduce new land use designations: Assembly Hall and Residential (10 upa)
- **LAP Amendment** from Residential Style Business Park and Suburban Residential (1/2 acre) to Assembly Hall and Residential (10 upa)
- **Rezoning** from RA to PA-2 and CD (Based on RM-10)
- **Development Permit**
- **Development Variance Permit**

to permit the development of a church and 36 townhouses.

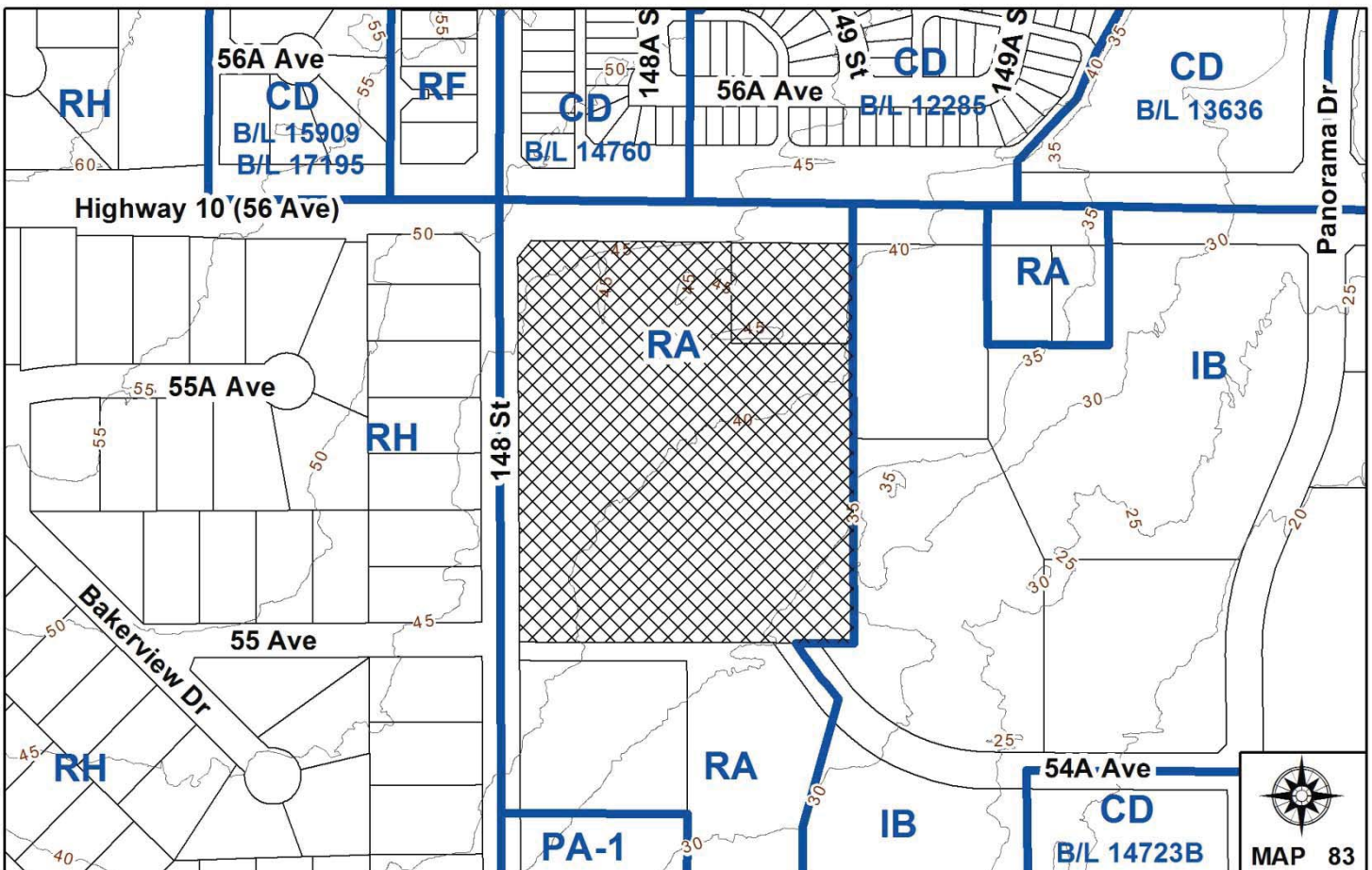
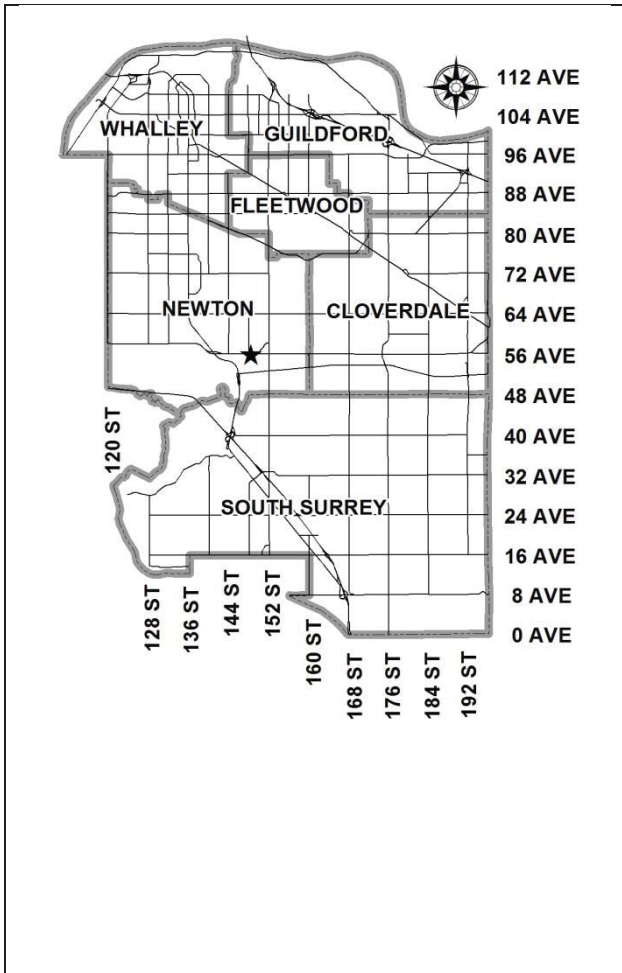
**LOCATION:** 14876 and 14844 – Highway 10 (56 Avenue)

**OWNER:** Benchmark Estate (2009) Ltd.

**ZONING:** RA

**OCP DESIGNATION:** Suburban

**LAP DESIGNATION:** Suburban Residential (1/2 acre),  
 Residential Style Business Park and Buffer



### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
  - OCP Amendment; and
  - Rezoning.
- Approval to reduce indoor amenity space.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Requires an amendment to the Official Community Plan (OCP) from Suburban to Mixed Employment and Urban.
- Requires the following amendments to the East Panorama Ridge Concept Plan:
  - Introduce new land use designations: Assembly Hall and Residential (10 upa); and
  - Amendments from Residential Style Business Park and Suburban Residential (1/2 acre) to Assembly Hall and Residential (10 upa).
- Seeking variances for the proposed church to:
  - Reduce the required front yard building setback;
  - Increase the permitted height;
  - Permit off-street parking within the side yard setback along a flanking street; and
  - Reduce the minimum landscaping required on the East side yard.

### RATIONALE OF RECOMMENDATION

- The proposed amendments to the OCP and the East Panorama Ridge Concept Plan have been requested in order to achieve the required land use designation and density for the proposed church and townhouses.
- The proposed church is an appropriate land use along Highway No. 10, and is in compliance with OCP policies which encourage employment generation. Similarly, the use is in compliance with the City's Employment Lands Strategy and Economic Development Strategy.
- The site has sat vacant for a number of years, and there has been no proposal put forward to develop the east side of 148 Street for half acre lots per the East Panorama Ridge Concept Plan, which was last amended in 2002. The proposed townhouses are low density (10 units per acre), and are requested by the applicant in response to changes in market demand, product differentiation, demographics and affordability. The site's proximity to Highway No. 10 and its location at the easternmost edge of the residential areas within the East Panorama Ridge community, adjacent to Business Park uses, lends support to a higher residential density at this location.
- The applicant has made reasonable efforts to respond to the concerns of area residents.

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- The master-on-main townhouse product proposed by the applicant offers the local community a different, more diverse housing type.
  - The applicant has agreed to provide a community benefit contribution of \$4,500 per lot in support of the proposed OCP Amendment from “Suburban” to “Urban”, in accordance with the provisions identified in the OCP. The community benefit contribution associated with the OCP amendment will be used toward improvements within the Bob Rutledge Park. Specifically, the playground is proposed to be upgraded and pathway and natural area improvements will be undertaken within the park.
  - The proposed variances for the church are required to accommodate the building footprint and site layout. The proposed reduced front yard setback creates a more urban street presence along Highway 10 (56 Avenue).

## RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend the OCP by redesignating the subject site in Development Application No. 7916-0057-00 from Suburban to Mixed Employment and Urban and a date for Public Hearing be set (Appendix VII).
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. a By-law be introduced to rezone Block A as shown on the Survey Plan (Appendix II) from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. a By-law be introduced to rezone Block B as shown on the Survey Plan (Appendix II) and 14876 - Highway 10 (56 Avenue) from "One- Acre Residential Zone (RA)" to "Assembly Hall 2 Zone (PA-2)" and a date be set for Public Hearing.
5. Council authorize staff to draft Development Permit No. 7916-0057-00 for the proposed townhouses, generally in accordance with the attached drawings (Appendix II).
6. Council approve the applicant's request to reduce the amount of required indoor amenity space from 108 square metres (1,162 square feet) to 61 square metres (657 square feet).
7. Council approve Development Variance Permit No. 7916-0057-00 (Appendix VIII) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum front yard (Highway No. 10) setback of the "Assembly Hall 2 Zone (PA-2)" from 17.3 metres (56 feet) to 10 metres (32 feet);
  - (b) to increase the maximum building height allowed in the "Assembly Hall 2 Zone (PA-2)" from 9 metres (30 feet) to 17.3 metres (56 feet);
  - (c) to vary the "Assembly Hall 2 Zone (PA-2)" in order to permit off-street parking to be located within the side yard setback along a flanking street; and
  - (d) to reduce the minimum landscaping required on the east side yard of the "Assembly Hall 2 Zone (PA-2)" from 3 metres (10 feet) to 1.5 metres (5 feet).
8. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;

- (c) final approval from the Ministry of Transportation & Infrastructure;
  - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (g) the applicant address the concern that the proposed townhouses will place additional pressure on existing park facilities to the satisfaction of the General Manager, Parks, Recreation and Culture;
  - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
  - (i) the applicant adequately address the impact of reduced indoor amenity space;
  - (j) provision of a community benefit to satisfy the OCP Amendment Policy for Type 2 OCP amendment applications;
  - (k) the applicant enter into a parking agreement with 5455-152 Street to the satisfaction of the Engineering Department; and
  - (l) the applicant enter into a Good Neighbour Agreement with respect to on-site parking for the proposed church to the satisfaction of the Engineering Department.
9. Council pass a resolution to introduce new land use designations "Assembly Hall" and "Residential (10 upa)" in the East Panorama Ridge Concept Plan; and to amend the East Panorama Ridge Concept Plan to redesignate the land from "Residential Style Business Park" and "Suburban Residential (1/2 acre)" to "Assembly Hall" and "Residential (10 upa)" when the project is considered for final adoption (Appendix VI).

## REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

18 Elementary students at Sullivan Elementary School  
9 Secondary students at Sullivan Heights Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by 2019.

Parks, Recreation & Culture:

Parks has some concerns about the pressure the proposed townhouses will place on existing Parks, Recreation and Culture facilities in the neighbourhood. A park amenity contribution will be required before final approval of this project. The applicant has agreed to provide \$895 per dwelling unit as a park amenity contribution in order to address the concern.

Both the community benefit contribution associated with the OCP amendment and the park amenity contribution referenced above will be used toward improvements within the Bob Rutledge Park. Specifically, the playground will be upgraded and pathway and natural area improvements will be undertaken within the park.

Ministry of Transportation & Infrastructure (MOTI):

Preliminary approval to the proposed development has been granted for one (1) year, subject to the completion of a driveway access permit for right-in/right-out only access to Highway 10 (56 Avenue).

Surrey Fire Department:

The City of Surrey By-law No. 15740 for Public Safety E-Comm Radio Amplification applies to the proposed church.

SITE CHARACTERISTICS

Existing Land Use: Vacant site with a temporary parking lot

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across Highway No. 10):	Single family small lots	Urban/Single Family Small Lots	CD (By-law Nos. 12285 and 14760)
East:	Office building and vacant site	Mixed Employment/Business Park	IB
South:	Bob Rutledge Park	Suburban/Park	RA
West (Across 148 Street):	Half acre single family lots	Suburban	RH

## DEVELOPMENT CONSIDERATIONS

- The subject site consists of two (2) existing lots, located on the South side of Highway No. 10 (56 Avenue) and on the East side of 148 Street, with a total area of 3.9 hectares (9.7 acres). The properties are designated Suburban in the Official Community Plan (OCP) and zoned "One-Acre Residential Zone (RA)".
- The applicant proposes to redesignate the site from Suburban to Mixed Employment and Urban in the OCP, and to rezone the site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" based on the "Multiple Residential 10 Zone (RM-10)" and "Assembly Hall 2 Zone (PA-2)", shown as Blocks A and B, respectively in Appendix II, in order to permit the development of thirty-six (36) townhouses and a 6,450 square metre (69,429 square feet) church.

### Rationale for OCP and LAP Amendment

- The proposed OCP amendment from Suburban to Mixed Employment and Urban is proposed in order to achieve the required land use designation and density to accommodate the proposed worship centre and townhouses.
- The proposal requires the following amendments to the East Panorama Ridge Concept Plan:
  - Introduce new land use designations: Assembly Hall and Residential (10 upa); and
  - Redesignate the site from "Residential Style Business Park" and "Suburban Residential (1/2 acre)" to "Assembly Hall" and "Residential (10 upa)".
- The proposed church is an appropriate land use along Highway No. 10, and is in compliance with OCP policies which encourage employment generation. Similarly, the use is in compliance with the City's Employment Lands Strategy and Economic Development Strategy.
- The applicant has agreed to provide a community benefit contribution of \$4,500 per lot in support of the proposed OCP Amendment from "Suburban" to "Urban", in accordance with the provisions identified in the OCP.
- Together, the community benefit contribution associated with the OCP amendment and the park amenity contribution total nearly \$200,000, which is proposed to be used to upgrade the playground and improve pathways and natural areas within the Bob Rutledge Park, immediately adjacent (south) to the subject site.
- The subject site has remained vacant and undeveloped for many years. Its proximity to Highway No. 10 and its location at the easternmost edge of the residential areas within in the East Panorama Ridge community, adjacent to Business Park uses (to the east), lends support for higher residential densities at this location.
- The development of half-acre lots on the subject site is not pragmatic given the economic reality of increasing land costs and housing affordability.

- The townhouse form offers a more affordable product type, addresses specific housing stock supply and diversity and provides an opportunity for local residents to age in place.
- The applicant has made reasonable efforts to respond to the concerns of area residents. The proposal achieves sensitive densification by responding to the context of the existing homes on the west side of 148 Street through generous setbacks, landscape buffers and sensitive building form and massing.

### Public Consultation Process for OCP Amendment

- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

### Proposed Church

- The proposed church will be the new location for Village Church ([www.thisisvillagechurch.com](http://www.thisisvillagechurch.com)). Village Church is a community-based, Christian ministry, which has experienced significant growth in Greater Vancouver since its first gathering in 2010. Originally a congregation of 150, the church has grown to a culturally diverse group of over 4,000 members, meeting in three different locations - South Surrey, North Surrey, and Langley. The church strives to be a positive influence locally and globally through its charitable initiatives within the immediate community and the greater global community.
- The programming for the proposed Village Church worship centre will include:
  - Big Room (Worship Centre) consisting of: 1,500 seat auditorium and associated spaces such as LED room, staging area, lighting/presentation/audio control, piano space, orchestra, choir, green room with private prep/dressing rooms, restrooms, showers, and loading bay;
  - Production/ Broadcast Space consisting of: broadcast video control, audio control room, studios, and music and instrument storage;
  - Lobby consisting of: open circulation/gathering space, hospitality areas and restrooms;
  - Outdoor Patio Space consisting of: tables, and lounge area for people to visit;
  - Village Kids consisting of: control centre (entrance, foyer, check-in, pick-up space), programs for infants including mother's nursing room, preschool area, kindergarten and grade 1 area, Grade 2 to 5 area, storage, washrooms, and staff rooms;
  - Student Ministries for Junior Youth, Senior Youth and Young Adults consisting of: Junior Youth on Sundays, Senior Youth during the week, Assembly Area with video, lighting, audio and staging, lounge/hangout area and snack bar/kitchenette;
  - Leadership Development/ Training consisting of: an intern and apprentice program, training space and lecture space;



- Administration consisting of: office space, pastor offices, meeting and board rooms, counselling rooms and gathering spaces; and
- Kitchen consisting of: commercial kitchen, pantry and equipment.
- The proposed development includes a gross floor area of 6,450 square metres (69,429 square feet), representing a net Floor Area Ratio (FAR) of 0.27 which is within the maximum FAR of 0.50 permitted under the PA-2 Zone. The proposed development has a building height of 17.3 metres (56 feet) in a four (4) storey building form with three (3) levels of underground parking.
- The proposed development meets the requirements of the Assembly Hall 2 Zone (PA-2) with respect to floor area, density, and lot coverage. A Development Variance Permit (DVP) has been requested to:
  - Reduce the required front yard building setback;
  - Increase the permitted height;
  - Permit off-street parking within the side yard setback along a flanking street; and
  - Reduce the minimum landscaping required on the east side yard.
- A review of the form and massing has been completed by staff in order to ensure that the proposed massing, height and setbacks are appropriate for this location and compatible with existing and planned developments in the area. The proposed DVP is discussed later in the report.
- A Development Permit (DP) is not required for the proposed church.

#### Parking and Traffic Impact

- In support of the proposal, the applicant submitted a preliminary Traffic Impact and Parking Analysis Study prepared by McElhanney Consulting Services Ltd., dated October 5, 2016.
- The proposed development is anticipated to generate a total of approximately 47 weekday PM peak hour trips.
- The Sunday peak hour is the highest traffic generator for the church, and without expansion, is expected to generate approximately 603 Sunday peak hour trips. These trips generated by the church will be distributed between three (3) accesses: one on 148 Street, one on Highway 10, and one on 54A Avenue.
- Operational analysis indicated that some signal optimization would be beneficial, but that all intersections and proposed accesses would operate acceptably with traffic impacts from the proposed development accounted for. As such, no other mitigation measures other than the proposed frontage improvements would be required as a direct result of the proposed development.
- The Zoning By-law requires a total of 645 parking stalls for the proposed church based on the requirement of 10 parking stalls for 100 square metres (1,076 square feet) of gross floor area. The proposal meets this requirement by providing 645 parking stalls within an underground parkade

and surface parking stalls on the site. This exceeds the recommended on-site supply by over 100 stalls as per the Traffic Impact and Parking Analysis Study, which was based on observed parking utilization at existing church services as well as the industry standard parking rates.

- In addition, the applicant has also indicated that a parking agreement will be completed with the owner of 5455-152 Street to provide an additional 299 overflow parking stalls during special events.
- The applicant has also agreed to enter into a Good Neighbour Agreement in order to make best efforts to encourage on-site parking for the proposed church and minimize use of on-street parking and impacts to the adjacent residential neighbourhood.

### Proposed Townhouses

- The proposed development consists of thirty-six (36), four (4) bedroom townhouses with basements that are contained within two (2) and three (3) unit clusters. All of the proposed units provide at least two (2) resident parking spaces within a double car garage.
- The proposed development includes a total floor area of 6,404 square metres (68,934 square feet), representing a net floor area ratio (FAR) of 0.44 which is within the maximum FAR permitted under the proposed CD By-law. The development has a proposed building height of 8.8 metres (29 feet) in a two (2) storey building form with basements. The proposed units range in size between 175 square metres (1,883 square feet) and 183 square metres (1,969 square feet).
- One (1) vehicular access is proposed to the site from 148 Street. This access meets the requirements of the Engineering Department and the Fire Department.
- Eighty-four (84) residential parking spaces are provided on-site, which exceeds the “Multiple Residential 10 Zone (RM-10)” requirement of seventy-nine (79) parking spaces.

### Amenity Space

- The development proposal includes 148 square metres (1,594 square feet) of outdoor amenity space, which consists of an outdoor recreational area with a fire pit lounge, benches, barbeque and picnic tables. The proposed outdoor amenity area exceeds the CD By-law requirement of 108 square metres (1,163 square feet) of outdoor amenity space (3 square metres [32 square feet] of outdoor amenity space per dwelling unit).
- The proposal includes 61 square metres (658 square feet) of indoor amenity space which consists of a multi-purpose room with direct access to the outdoor amenity area. The CD By-law requires a minimum of 108 square metres (1,163 square feet) of indoor amenity space (3 square metres [32 square feet] per dwelling unit). There is a deficiency of 47 square metres (506 square feet) and the applicant will provide cash-in-lieu contribution of \$19,200, representing \$1,200 per dwelling unit in lieu of indoor amenity space for the sixteen (16) unit deficiency in accordance with City Policy.

### Proposed Comprehensive Development Zone

- A "Comprehensive Development Zone (CD)" is proposed based on the "Multiple Residential 10 Zone (RM-10)". The RM-10 zone only permits single family dwellings and duplexes, whereas the proposed CD Zone permits ground oriented multiple unit residential dwellings. This is the primary difference between the CD Zone and the RM-10 Zone.
- In addition to the above, the proposed CD Zone proposes to vary the following:
  - Increase the minimum required front yard setback for 148 Street from 7.5 metres (25 feet) to 10 metres (32 feet);
  - Increase the minimum landscaping required along 148 Street from 1.5 metres (5 feet) to 7.0 metres (22 feet);
  - Reduce the minimum required rear and North side yard setback from 7.5 metres (25 feet) to 4.0 metres (13 feet); and
  - Reduce the minimum required South side yard setback from 7.5 metres (25 feet) to 4.5 metres (14 feet).
- The proposed lot coverage, density, floor area and building height are consistent with the RM-10 Zone, therefore yielding a building form and building massing that will be consistent with the intent of the RM-10 Zone.
- In order to provide a sensitive interface on 148 Street with the existing single family homes on the West side of the street, an increase to the minimum building setback and an increase to the minimum landscaping is proposed. The setback is proposed to be increased from 7.5 metres (25 feet) to 10 metres (32 feet), and the required minimum landscaping is proposed to be substantially increased from 1.5 metres (5 feet) to 7.0 metres (22 feet) in width.
- In turn, the building setback is proposed to be reduced for the interfaces that are less sensitive and will have adequate landscaped areas provided on adjacent sites. Both the North and rear yard setbacks interface with 6.0 metres (20 feet) wide landscaped areas on the adjacent church site. The South side yard interfaces with the existing Bob Rutledge Park. The Parks, Recreation and Culture Department is satisfied with the interface and setback proposed adjacent to the park.

### Building Design

- The proposed townhouses are designed with high quality design features and materials envisioned for the area. The proposed development was evaluated by City Staff based on compliance with the design guidelines in the Official Community Plan (OCP).
- In response to the proximity of the suburban neighbourhood to the west, the units on 148 Street are designed to give the appearance of suburban single family dwellings and are modeled on rural craftsman-style architecture. Through the use of articulated bay, expressed gables, strong and simple detailing, the proposed design provides a rhythm to the development. Front doors are proposed to be either recessed to provide protection from the elements, or are sheltered by the expressed gable that reaches down to the ground. Window bays add a finer grain of detail to the units.

- For units on 148 Street, a substantial landscaped area and building setback are proposed in order to ensure a sensitive interface with the existing single family homes on the West side of 148 Street. This buffer area will consist of the following landscaping: Serbian Spruce, Mountain Pine and Littleleaf Linden trees. Furthermore, only five (5), two (2) storey residential units in three (3) buildings are proposed on 148 Street in order to provide for a sensitive interface on the street.
- The primary cladding materials include: cedar shingles and siding, asphalt roof shingles, and wood entries and posts. The colour scheme proposed consists of white, grey, red, and black accents. The proposed materials have been selected based on durability, architectural quality and overall composition of the project.
- A free-standing identification sign is proposed on 148 Street, located 2 metres (7 feet) from the property line as required under the Sign By-law. The proposed sign is 1.4 metres (5 feet) high, constructed of concrete with brick veneer to match the proposed buildings. The proposed letters will be individual channel metal letters. The proposed signage meets the requirements of the Sign By-law.

### Public Art

- The proposed development application is subject to the public art on private property policy, which will be secured by a Section 219 No-Build Restrictive Covenant.
- The applicant is required to provide a monetary contribution at the Building Permit stage, based on the estimated value of the project, to the Public Art Reserve Fund, to satisfy the requirements of the policy.

### PRE-NOTIFICATION

- Pre-notification letters were sent on March 15, 2016 to 128 households within 100 metres (328 feet) of the site. As a result of the pre-notification letters, City staff received the following responses:
  - Three (3) phone calls requesting additional information about the proposed development.
  - Five (5) e-mails expressing concerns and opposition to the proposal, including correspondence from the President of the East Panorama Ridge Community Association (EPRCA) on behalf of residents in the immediate area. The main concern expressed was that the proposed multi-family development is not an appropriate land use for the subject site. It does not fit the character of the existing neighbourhood and is not compatible with the existing half acre residential development on the West side of 148 Street. These residents requested that the site be developed as half acre single family homes on 148 Street with a substantial buffer in accordance with the approved East Panorama Ridge Concept Plan.

*In response to these concerns the applicant has advised that they are not able to do half acres lots on 148 Street due to changes in market demand, product differentiation,*

*demographics and affordability in the approximately 15 years since the East Panorama Ridge Concept Plan was adopted.*

*In response to the concerns raised by area residents, the applicant is proposing the following:*

- *Residential development marketed towards the downsizing and retiree market, thus promoting ageing in place and minimizing pressure on the school system;*
  - *Providing a 10 metre (32 feet) building setback and a 7 metre (22 feet) landscape buffer on 148 Street to provide a transition to the existing homes on the West side of 148 Street;*
  - *Minimizing the number of units along 148 Street. Specifically, a total of five (5), two (2) storey units within three duplex buildings are proposed on 148 Street. Furthermore, the duplexes are designed to give the appearance of suburban single family dwellings and are modeled on rural craftsman style architecture. In effect, the three duplex buildings along 148 Street match the three single family dwellings that exist on the opposite (west) side of 148 Street.*
- Other concerns expressed were:
- Increased traffic and parking from the church and townhouses,
  - Increased noise from the church;
  - Increased air pollution from the many cars travelling to and from the site, and
  - The negative impact on the already overcrowded schools.

One (1) resident expressed concern that the proposed drive aisle connecting to 148 Street would result in car head lights shining into their house, and negatively impacting their quality of life.

- Twelve (12) letters of support for the proposed development. Eight (8) of the letters were from Surrey residents, two (2) letters were from Delta residents, and two (2) residents did not indicate their location of residence.
- The applicant held a public information meeting on May 18, 2016 in order to obtain more feedback from area residents. Approximately one-hundred and thirty-eight (138) area residents attended the meeting. The applicant received a total of ninety-one (91) comment forms and e-mails as a result of the meeting. Seventy-nine (79) of the comments forms indicated support of the proposed development, and twelve (12) comment forms expressed concerns and opposition to the proposed development with the following concerns:
    - The proposed residential development will create too much traffic on 148 Street;
    - The proposed church development will create too much traffic on 148 Street. All the traffic from the church should be directed to Highway 10 (56 Avenue) or 54A Avenue;
    - The proposed increase in residential density will add extra burden on an already crowded Surrey school system;
    - The proposed townhouses are not an appropriate land use in an established half acre neighbourhood; and

- The existing Official Community Plan (OCP) and East Panorama Ridge Concept Plan should be followed with half acre single family residential lots on 148 Street. The proposed church site should be re-oriented along a North/South Axis away from 148 Street.

*In response to the concerns raised at the public information meeting, the applicant provided the following comments:*

- *Access from 148 Street is proposed to be restricted to right-out access only in order to restrict the possibility of exiting traffic to travel South through the existing neighbourhood. The church site is designed with the Highway 10 access point as the primary entrance and exit to the site. Church traffic will also have access to 54A Avenue, thus reducing the traffic on 148 Street;*
  - *The proposed residential development will be marketed towards the downsizing and retiree market, therefore no additional pressure is anticipated on the school system. Furthermore, the proposed residential development supports a mix of housing and housing diversity, by providing the residents of the local community an opportunity to downsize and be able to stay in their community;*
  - *The proposed development on 148 Street is for duplexes that are designed to look like single family half acre lots. They are modeled on a rural craftsman-style architecture and are proposed to be one and half stories high with landscaped yards and private fencing on 148 Street;*
  - *Facing 148 Street, a total of five (5) duplex units are proposed, which is fewer than the existing seven (7) single family lots on the West side of 148 Street; and*
  - *The siting of the residential development on the Southern property line ensures a good transition between the Park and Highway 10. The parking on the proposed church site will act as a buffer to the proposed residential use.*
- The applicant held a second public information meeting on August 17, 2016 to obtain additional feedback from area residents. Approximately fifty-one (51) area residents attended the meeting. The applicant received a total of thirty-three (33) comment forms and e-mails as a result of the meeting. Fifteen (15) of the comment forms indicated support of the proposed development, and nineteen (19) comment forms expressed similar concerns and opposition as the comments indicated above. One (1) additional concern noted was that there are too many paved parking spaces proposed.

*In response to the concerns raised about too many paved parking spaces, the applicant provided the following responses:*

- *The proposed on-site parking meets the requirements of the City of Surrey, with the parking planned to ensure that all church parking on the site does not overflow to neighbouring streets. A landscape architect has been employed to ensure careful attention is paid to the surface parking landscaping and to design a natural storm-water retention strategy. Furthermore, the applicant is proposing three (3) levels of underground parking.*

- Staff had a telephone meeting with the President of the EPRCA on December 6, 2016 in order to listen directly to the concerns of area residents and confirm Staff's understanding of the main concerns and issues. A summary of the concerns is as follows with staff comment noted in italics:
  - The site should be developed as half acre single family homes on 148 Street with a substantial buffer in accordance with the approved East Panorama Ridge Concept Plan.  
*The applicant advises that half-acre lots cannot be marketed in this location due to changes in market demand, product differentiation, demographics and affordability in recent years.*
  - The proposal is a detriment to the character of the neighbourhood and will change the demographic of the neighbourhood.  
*The master-on-main townhouse product proposed by the applicant offers the local community a different, more diverse housing type.*
  - The proposal promotes a different lifestyle than the lifestyle currently enjoyed by residents of the neighbourhood.  
*The proposed residential development will be marketed towards the downsizing and retiree market whose lifestyles may be shifting and changing. The proposed development promotes the opportunity for existing residents to age in place.*
  - The proposal will devalue the existing properties in the neighbourhood.  
*From a Planning perspective, individual property values are not a key consideration in the review of proposed development. Irrespective of current property values, the development proposal meets the City's long-term goals of affordable housing, vibrant and diverse communities, and ageing in place.*
  - The proposed development form will set a precedent on the ridge for future higher-density developments. The subject site is not viewed as the "edge" of the neighbourhood.  
*The subject site's proximity to Highway 10 and its location at the easternmost edge of the residential areas within in the East Panorama Ridge community, adjacent to Business Park uses (to the east), provides a unique context for the consideration of the proposed higher-density residential land use at this specific location.*
  - School capacity and transit are not adequate to support the proposed development.  
*As this residential development is marketed towards the downsizing and retiree market, it minimizes pressure on the school system.*
  - 148 Street is not well maintained. Increasing the number of vehicles using 148 Street is inappropriate.  
*148 Street will be improved to collector road standard through development with on-street parking, boulevard, street trees, street lighting, and a sidewalk. The applicant has volunteered to construct the sidewalk wider than the typical collector standard in order to*

*provide a more significant buffer and a comfortable pedestrian environment. Maintenance of 148 Street is in accordance with collector road standards.*

- The siting and design of the church has been the only attempt to respond to the concerns of area residents; the applicant has not attempted to respond to concerns about the townhouse portion of the proposal.

*In order to provide a transition and ensure a sensitive interface with the existing homes on the west side of 148 Street, the applicant is proposing a 10 metre (32 feet) building setback and a 7 metre (22 feet) landscape buffer on 148 Street. A total of five (5), two (2) storey duplexes are proposed on 148 Street that are designed to give the appearance of suburban single family dwellings.*

- Not all residents in the neighbourhood share the same opinion about the development proposal; some residents are opposed to the church as well as the townhouse proposal.

*Noted.*

- The subject site has remained vacant and undeveloped for many years. Its proximity to Highway No. 10 and its location at the easternmost edge of the residential areas within in the East Panorama Ridge community, adjacent to Business Park uses (to the east), lends support for higher residential densities at this location.
- The development of half-acre lots on the subject site is not pragmatic given the economic reality of increasing land costs and housing affordability.
- The applicant has made reasonable efforts to respond to the concerns of area residents. The proposal achieves sensitive densification by responding to the context of the existing homes on the west side of 148 Street through generous setbacks, landscape buffers and sensitive building form and massing.
- Balancing all of the information above, it is appropriate to move the project forward to Public Hearing.

## TREES

- Nick McMahon, ISA Certified Arborist of Arbortech Consulting prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Alder	2	2	0
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Bigleaf Maple	3	3	0
Paper Birch	1	1	0



<b>Total</b> (excluding Alder and Cottonwood Trees)	<b>4</b>	<b>4</b>	<b>0</b>
<b>Total Replacement Trees Proposed</b> (excluding Boulevard Street Trees)	<b>98</b>		
<b>Total Retained and Replacement Trees</b>	<b>98</b>		
<b>Contribution to the Green City Fund</b>	<b>0</b>		

- The Arborist Assessment states that there are a total of 4 protected trees on the site, excluding Alder and Cottonwood trees. Two (2) existing trees are Alder trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of ten (10) replacement trees on the site. The applicant is proposing 98 replacement trees, exceeding City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on 148 Street. This will be determined by the Engineering Department during the servicing design review process.
- In summary, a total of 98 trees are proposed to be retained or replaced on the site.

#### SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on February 19, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	• The vacant site is proposed to be redeveloped into church and thirty six (36) townhouses.
2. Density & Diversity (B1-B7)	• N/A
3. Ecology & Stewardship (C1-C4)	• Low impact development standards (LIDs) are incorporated in the design of the project consisting of absorbent soils greater than 300mm in depth.
4. Sustainable Transport & Mobility (D1-D2)	• Electric vehicle plug ins are proposed.
5. Accessibility &	• N/A

Sustainability Criteria	Sustainable Development Features Summary
Safety (E1-E3)	
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>• N/A</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>• Public notification and public meetings have taken place and the surrounding residents have had the opportunity to voice their concerns through the notification process.</li> </ul>

### BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variances:

- to reduce the minimum front yard (Highway No. 10) setback of the "Assembly Hall 2 Zone (PA-2)" from 17.3 metres (56 feet) to 10 metres (32 feet);
- to increase the maximum building height allowed in the "Assembly Hall 2 Zone (PA-2)" from 9 metres (30 feet) to 17.3 metres (56 feet);
- to vary the "Assembly Hall 2 Zone (PA-2)" in order to permit off-street parking within the side yard setback along a flanking street; and
- to reduce the minimum landscaping required on the East side yard of the "Assembly Hall 2 Zone (PA-2)" from 3 metres (10 feet) to 1.5 metres (5 feet).

Justification for Variances:

- The proposed reduced front yard setback and increase in building height are necessary to accommodate the building footprint and site layout on the proposed lot.
- The proposed reduced front yard setback creates a more urban street presence on Highway 10 (56 Avenue).
- A review has been completed by staff, in order to ensure that the proposed massing, height and setbacks are appropriate for this location and compatible with existing and planned developments in the area.
- The proposed church will be located in the north-east corner of the subject site, away from the existing suburban half acre residential properties located on the west side of 148 Street, as well as away from the proposed townhouse development on the south portion of the subject site. The proposed church will be separated from these residential areas by the proposed parking lot and landscape buffers which are to be installed along the west property line (148 Street) and adjacent to the north and east property lines of the proposed townhouse development.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	Proposed Amendment to the East Panorama Ridge Concept Plan
Appendix VII.	OCP Redesignation Map
Appendix VIII.	Development Variance Permit No. 7916-0057-00
Appendix IX.	Proposed CD By-law

*Original signed by Ron Hintsche*

Jean Lamontagne  
General Manager  
Planning and Development

CL/da

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent:      Name:                  Joshua Turner  
   Infinity Properties Ltd.  
   Address:                  6360 - 202 Street, Suite 205  
   Langley, BC V2Y 1N2
  
2.      Properties involved in the Application
  - (a)      Civic Address:                  14876 – Highway 10 (56 Avenue)  
   14844 – Highway 10 (56 Avenue)
  
  - (b)      Civic Address:                  14876 – Highway 10 (56 Avenue)  
   Owner:                          Benchmark Estate (2009) Ltd  
   PID:                                  010-526-935  
   Lot "A", Except Part on Plan BCP23653 Section 3 Township 2 New Westminster District  
   Plan 19514
  
  - (c)      Civic Address:                  14844 – Highway 10 (56 Avenue)  
   Owner:                          Benchmark Estate (2009) Ltd  
   PID:                                  010-526-951  
   Lot "B", Except Part in Plan BCP23653 Section 3 Township 2 New Westminster District  
   Plan 19514
  
3.      Summary of Actions for City Clerk's Office
  - (a)      Introduce a By-law to amend the Official Community Plan to redesignate the site.
  
  - (b)      Introduce By-laws to rezone the site.
  
  - (c)      Application is under the jurisdiction of MOTI.  
  
   MOTI File No. 2016-01720
  
  - (d)      Proceed with Public Notification for Development Variance Permit No. No. 7916-0057-00  
   and bring the Development Variance Permit forward for an indication of support by  
   Council. If supported, the Development Variance Permit will be brought forward for  
   issuance and execution by the Mayor and City Clerk in conjunction with the final  
   adoption of the associated Rezoning By-law.

## DEVELOPMENT DATA SHEET

**Church Site  
Proposed Zoning: PA-2**

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		2.45 hectares
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage	40%	13%
SETBACKS ( in metres)		
Front (Highway No. 1)	17.3 metres	10 metres
Rear	17.3 metres	59.7 metres
Side Yard Flanking Street (148 Street)	17.3 metres	57.6 metres
South Side Yard	17.3 metres	27.5 metres
BUILDING HEIGHT (in metres/storeys)		
Principal	9 metres	17.3 metres
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Worship Centre		6,450 square metres
TOTAL BUILDING FLOOR AREA		6,450 square metres

*\* If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

## Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	0.5	0.3
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Worship Centre	645	645
Total Number of Parking Spaces	645	645
Number of accessible stalls	7	7
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----

## DEVELOPMENT DATA SHEET

Townhouse Site  
Proposed Zoning: CD (based on RM-10)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		1.49 hectares
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage	40%	38%
SETBACKS ( in metres)		
Front (148 Street)	7.5 metres	10 metres
Rear	7.5 metres	4 metres
North Side Yard	7.5 metres	4 metres
South Side Yard	7.5 metres	4.5 metres
BUILDING HEIGHT (in metres/storeys)		
Principal	9 metres	8.8 metres
Accessory	4 metres	
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom + (Four bedrooms)		36
Total		
FLOOR AREA: Residential		6,404 square metres
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		6,404 square metres

*\* If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

**Development Data Sheet cont'd**

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)	10 units per acre	10 units per acre
FAR (gross)		
FAR (net)	0.5	0.4
AMENITY SPACE (area in square metres)		
Indoor	108 square metres	61 square metres
Outdoor	108 square metres	148 square metres
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed	72	72
Residential Visitors	7	12
Institutional		
Total Number of Parking Spaces	79	84
Number of disabled stalls	1	1
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----



**SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING  
BYLAW # \_\_\_\_\_ OF LOT B EXCEPT PART IN PLAN BCP23653,  
SECTION 3, TOWNSHIP 2, NWD, PLAN 19514**

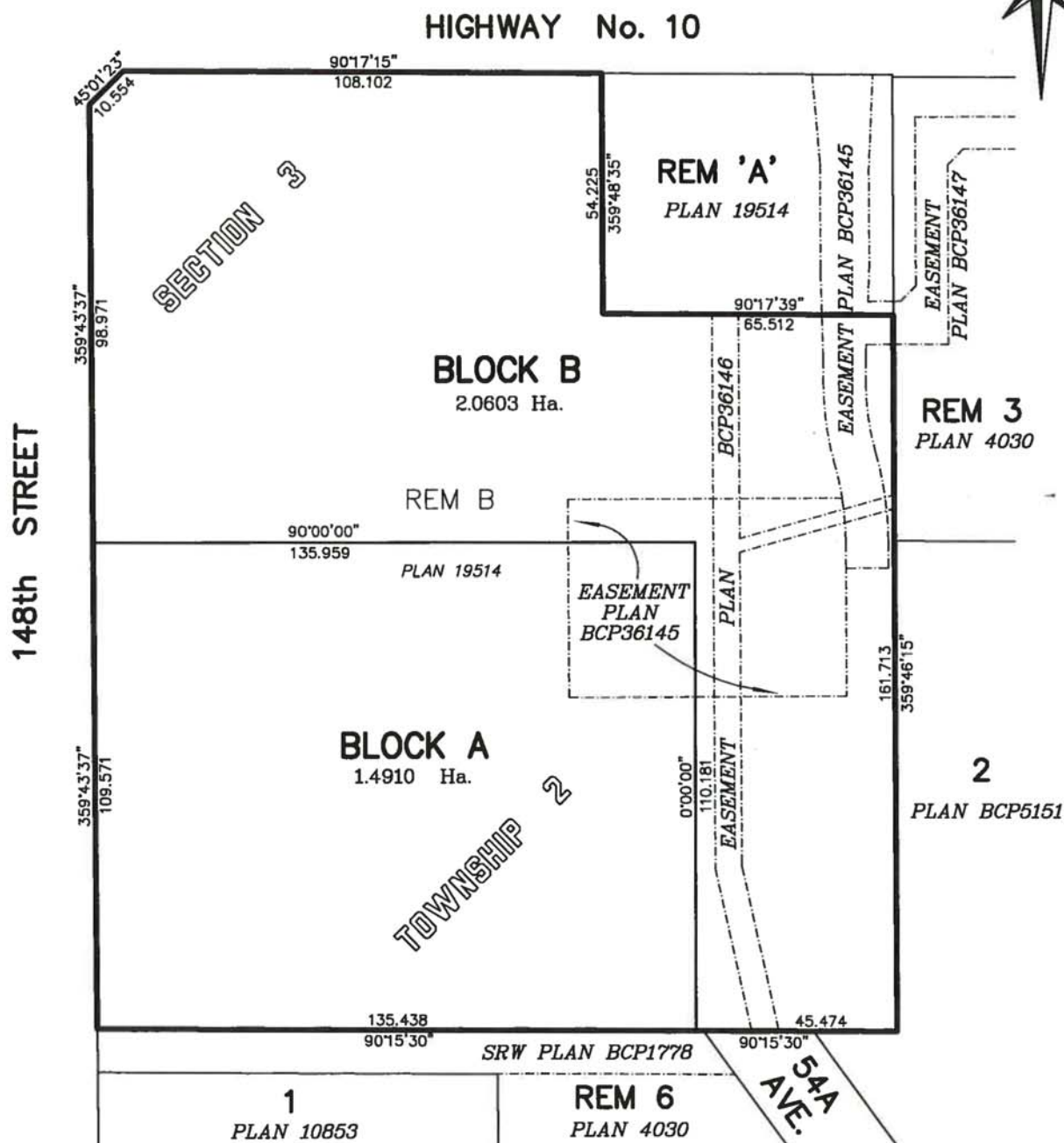
CITY OF SURREY

SCALE 1:1500



All Distances are in Metres.

CIVIC ADDRESS  
14844 56 AVENUE  
SURREY, B.C.  
P.I.D.: 010-526-951



Onderwater Land Surveying Ltd.  
B.C. Land Surveyors  
#104 - 5830 176 'A' Street  
Cloverdale, B.C.  
FILE: JS1626\_RZ

Certified correct, completed on  
the 5th day of October, 2016.

©

*This Plan Lies Within The  
Greater Vancouver Regional District*

B.C.L.S.

**PROJECT DATA:**

**CIVIC ADDRESS:** 14844 56th Ave, Surrey BC, V3S 1B7  
14876 56th Ave, Surrey BC, V3S 1B7

**LEGAL ADDRESS:** LOT B SECTION 3 TOWNSHIP 2 PLAN 19514 NWD  
(EXCEPT PLAN PART DEDICATED RCAD ON PLAN BCP23653)  
LOT A SECTION 3 TOWNSHIP 2 PLAN 19514 NWD LEGAL  
SUBDIVISION 15  
(EXCEPT PLAN PART DEDICATED RCAD ON PLAN BCP23653)

**PARCEL IDENTIFIER:** 010-526-951  
010-526-935

**PROJECT TEAM:**

**CLIENTS:**

VILLAGE CHURCH  
14529 50th Ave, 2nd Floor, Surrey BC V3S 2N5  
CONTACT: John Broadhead  
T. (604) 560-5577 C. (000) 000-0000 E. john@thisvillagechurch.com

INFINITY PROPERTIES  
205-6360 202nd Street Langley, BC V2Y 1N2  
CONTACT: Tim Bontkes  
T. (604) 532-6060 C. (000) 000-0000 E. tbontkes@infinitygrp.com

**ARCHITECT**

ZGF COTTER ARCHITECTS, INC.  
838 West Hastings Street, Suite 901, Vancouver, BC V6C 0A6  
CONTACT: Patrick Cotter  
T. (604) 558-8390 F. (000) 000-0000 E. patrick.cotter@zgf.com

**CONSULTANTS:**

**SURVEYOR**

ONDERWATER LAND SURVEYING LTD.  
104-5830 176A Street, Surrey BC V3S 4H5, Canada  
CONTACT: John Onderwater  
T. (604) 574-7311 C. (000) 000-0000

**ARBORIST**

ARBORTECH CONSULTING  
204 - 3740 Chatham Street, Richmond BC VYE2Z3, Canada  
CONTACT: Nick McMahon  
T. (604) 275-3484 F. (000) 000-0000 E. nick@adgroup.ca

**CIVIL**

MCLEHANEY CONSULTING SERVICES LTD.  
Suite 2300 Central City Tower, 13450 - 102nd Avenue Surrey BC V3T 5X3  
CONTACT: Raymond Su  
T. (604) 596-0391 F. (000) 000-0000 E. rsull@mclehaney.com

**LANDSCAPE**

VAN DER ZALM + ASSOCIATES INC.  
Suite 1, 20177 - 97 Avenue, Langley, BC V1M 4B9  
CONTACT: Mark van der Zalm  
T. (604) 882-0024 F. (000) 000-0000 E. mark@vdz.ca

**GEOTECHNICAL**

WESTERN GEOTECHNICAL CONSULTANTS LTD.  
103-19182 22nd Avenue Surrey BC V3S 3S6  
CONTACT: Chandler Khoela  
T. (604) 385-4244 F. (000) 000-0000 E. ckhoela@westerngeo.ca

**DRAWING LIST:**

- ARCHITECTURAL
- A0 01 COVER SHEET
- A0 02 PLAN, LOT
- A0 03 DEVELOPMENT DATA
- A0 04 PLAN, CONTEXT
- A1 01 PLAN, SITE
- A2 01 PLAN, FLOOR - LEVEL P3
- A2 02 PLAN, FLOOR - LEVEL P2
- A2 03 PLAN, FLOOR - LEVEL P1
- A2 04 PLAN, FLOOR - LEVEL 1
- A2 05 PLAN, FLOOR - LEVEL 2
- A2 06 PLAN, FLOOR - LEVEL 3
- A2 07 PLAN, FLOOR - LEVEL 4
- A3 01 STREETSCAPE

**SUPPORT DRAWING LIST:**

ON-SITE GRADING AND SERVICING PLAN  
LANDSCAPE PLANS



**MAP, LOCATION**

**ISSUED FOR: Development Variance Permit**

Current Revision:

PROJECT NUMBER: 23374

ISSUED DATE: 11/22/2016 6:48:17 PM

**ZGF  
COTTER**

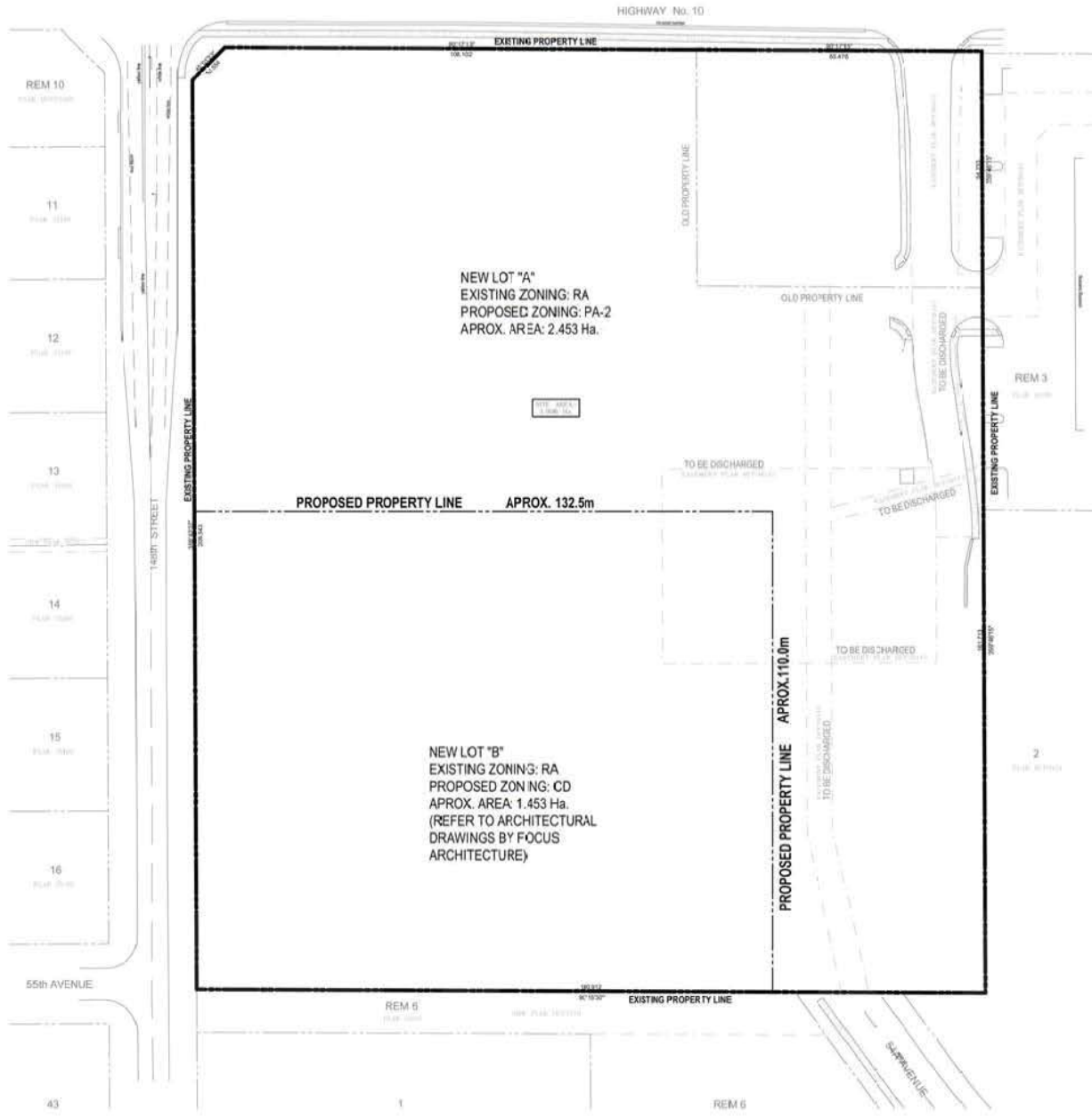
838 West Hastings St, Suite 901, Vancouver, BC V6C 0A6

TEL: (604) 558-8390

WEB: www.zgf.com



NOTES:



Revised By (U.P.)	2018.12.13
Revised By (D.P.)	2018.12.13
CAD	2018.12.13
DATE	2018.12.13

PROJECT TYPE:  
Development Variance Permit

**ZGF  
COTTER**  
 ZGF ZOTER ARCHITECTS INC.  
 836 West Hastings St., Suite 901, Vancouver, BC V6C 0M6  
 TEL: (604) 281-8882  
 WEB: www.zgf.com

PROJECT:  
Village Church

CLIENT:  
**This is Village Church** INFINITY PROPERTIES

PROJECT ADDRESS:  
14544 & 14570 56TH AVE  
SURREY, BC

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DESIGN	Author	DATE
CHECKED	Checker	
SCALE	1 : 500	
JOB No	23374	
DATE	12/22/2018	
	6:48:19 PM	
PAGE # 1 OF 1		

PLAN, LOT

DRAWING NO	REV
A0.02	2

**DEVELOPMENT DATA**

GROSS LOT AREA	260,296 SqFt	24,182 SqM
ROAD DEDICATION	3,566.1 SqFt	331.3 SqM
NET LOT AREA	256,730 SqFt	23,851 SqM
<b>GROSS FLOOR AREA</b>		
TOTAL ASSEMBLY HALL	41,079 SqFt	3,816 SqM
TOTAL COMMUNITY SERVICE	28,352 SqFt	2,634 SqM
TOTAL GROSS FLOOR AREA	69,431 SqFt	6,450 SqM
FLOOR AREA RATIO	PROPOSED 0.27	ALLOWED 0.5
LOT COVERAGE	PROPOSED 13.3%	ALLOWED 40%

**SETBACK INFORMATION**

REQUIRED	FRONT YARD* 17.29 m. (56'-9")	REAR YARD 17.29 m. (56'-9")	SIDE YARD ON FLANKING ST 17.29 m. (56'-9")	SIDEYARD 17.29 m. (56'-9")	*Variance Required
PROPOSED	10 m. (32'-10")	59.72 m. (195'-11")	57.64 m. (189'-2")	27.43m. (90'-2")	(7.5m. from existing sidewalk)

**HEIGHT INFORMATION**

ALLOWED	9 m. (30')	
PROPOSED	17.29 m. (56'-9")	Variance Required

GFA SUMMARY	SqFt	SqM
<b>LEVEL P1 FLOOR</b>		
ASSEMBLY HALL	1,188 SqFt	110 SqM
<b>LEVEL P1 FLOOR TOTAL</b>	<b>1,188 SqFt</b>	<b>110 SqM</b>
<b>LEVEL 1/GROUND FLOOR</b>		
ASSEMBLY HALL	21,633 SqFt	2,010 SqM
COMMUNITY SERVICE	10,763 SqFt	1,000 SqM
<b>LEVEL 1/GROUND FLOOR TOTAL</b>	<b>32,396 SqFt</b>	<b>3,010 SqM</b>
<b>LEVEL 2</b>		
ASSEMBLY HALL	5,292 SqFt	492 SqM
COMMUNITY SERVICE	10,228 SqFt	950 SqM
<b>LEVEL 2 TOTAL</b>	<b>15,519 SqFt</b>	<b>1,442 SqM</b>
<b>LEVEL 3</b>		
ASSEMBLY HALL	8,201 SqFt	762 SqM
COMMUNITY SERVICE	7,362 SqFt	684 SqM
<b>LEVEL 3 TOTAL</b>	<b>15,562 SqFt</b>	<b>1,446 SqM</b>
<b>LEVEL 4</b>		
ASSEMBLY HALL	4,765 SqFt	443 SqM
<b>LEVEL 4 TOTAL</b>	<b>4,765 SqFt</b>	<b>443 SqM</b>
<b>TOTAL</b>	<b>69,431 SqFt</b>	<b>6,450 SqM</b>

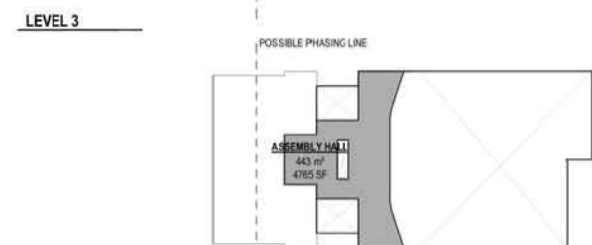
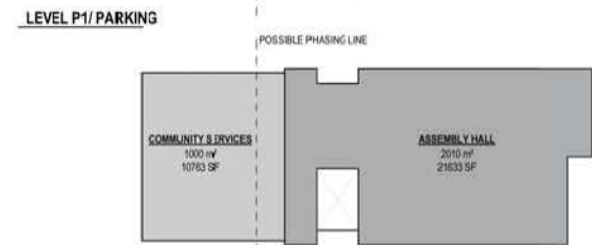
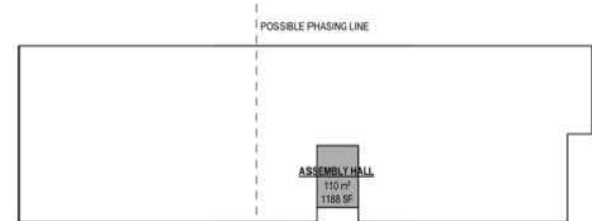
EXCLUSIONS	SqFt	SqM
MECHANICAL- ELECTRICAL AND BIKE STORAGE ROOMS:	2,842 SqFt	264 SqM
		LOCATED BELOW GRADE

PARKING CALCULATIONS	# STALLS	PARKING RATIO
<b>PARKING STALLS REQUIRED</b>		
ASSEMBLY HALL	645	10.0 STALLS PER 1000SqM
<b>TOTAL PARKING STALLS REQUIRED</b>	<b>645</b>	
<b>PARKING STALLS PROPOSED</b>		
ON GRADE	403	
BELOW GRADE	244	
<b>TOTAL PARKING STALLS PROPOSED</b>	<b>647</b>	
ON GRADE WHEELCHAIR ACCESSIBLE STALLS INCLUDED IN THE TOTAL	4	1 PER EACH 100 STALLS REQUIRED
LEVEL P1 WHEELCHAIR ACCESSIBLE STALLS INCLUDED IN THE TOTAL	3	1 PER EACH 100 STALLS REQUIRED

BICYCLE STORAGE CALCULATIONS	#SECURE SPACES	# VISITORS SPACES	RATIO
<b>BICYCLE SPACES REQUIRED:</b>			
ASSEMBLY HALL	3	3	0.06 SPACES PER EACH 100SqM
COMMUNITY SERVICE	2	2	0.06 SPACES PER EACH 100SqM
<b>TOTAL BICYCLE SPACES REQUIRED</b>	<b>5</b>	<b>5</b>	
<b>PARKING SPACES PROPOSED</b>			
ASSEMBLY HALL	3	3	
COMMUNITY SERVICE	2	2	
<b>TOTAL BICYCLE SPACES PROPOSED:</b>	<b>5</b>	<b>5</b>	



NOTES:

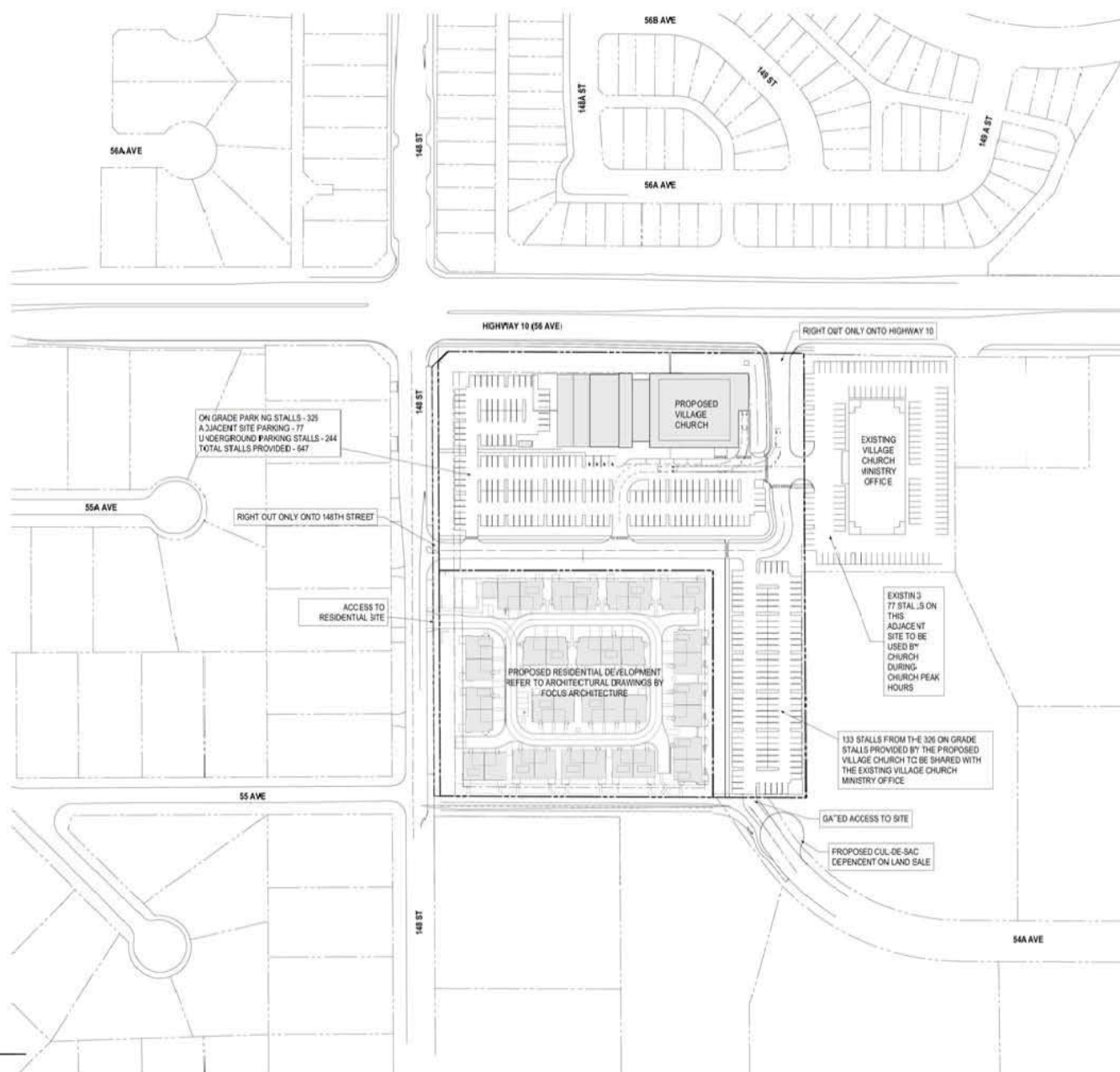


LEVEL 4

Prepared by ZGF 2018.12.18  
 Checked by ZGF 2018.12.18  
 Date: 2018.12.18  
 Project: Village Church  
 Development Variance Permit  
**ZGF COTTER**  
 838 West Hastings St., Suite 901, Vancouver, BC V6C 0A6  
 TEL: (604) 681-8800  
 WWW.ZGFCOTTER.COM

PROJECT: Village Church  
 CLIENT: INFINITY PRODUCTIONS  
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 DRAWN: Author  
 CHECKED: Checker  
 SCALE: 1:500  
 JOB No: 23374  
 DATE: 11/22/2018 9:48:18 PM  
 SHEET TITLE:

**DEVELOPMENT DATA**  
 DRAWING NO: A0.03  
 REV: 2



NOTES:

Revised by DGP	2016.12.15
Revised by DGP	2016.12.22
DATE	2016.12.22
SCALE	1:1000
PROJECT STATUS	Development Variance Permit

**ZGF  
COTTER**

838 West Hastings St., Suite 901, Vancouver, BC V6C 0M6  
TEL: (604) 681-8800  
WWW.ZGFCOTTER.COM

PROJECT  
**Village Church**

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DATE	11/22/2016
TIME	6:48:19 PM
SHEET FILE	
CHECKED	Checker
SCALE	1:1000
JOB No	23374
DATE	11/22/2016
TIME	6:48:19 PM
SHEET FILE	

**PLAN, CONTEXT**

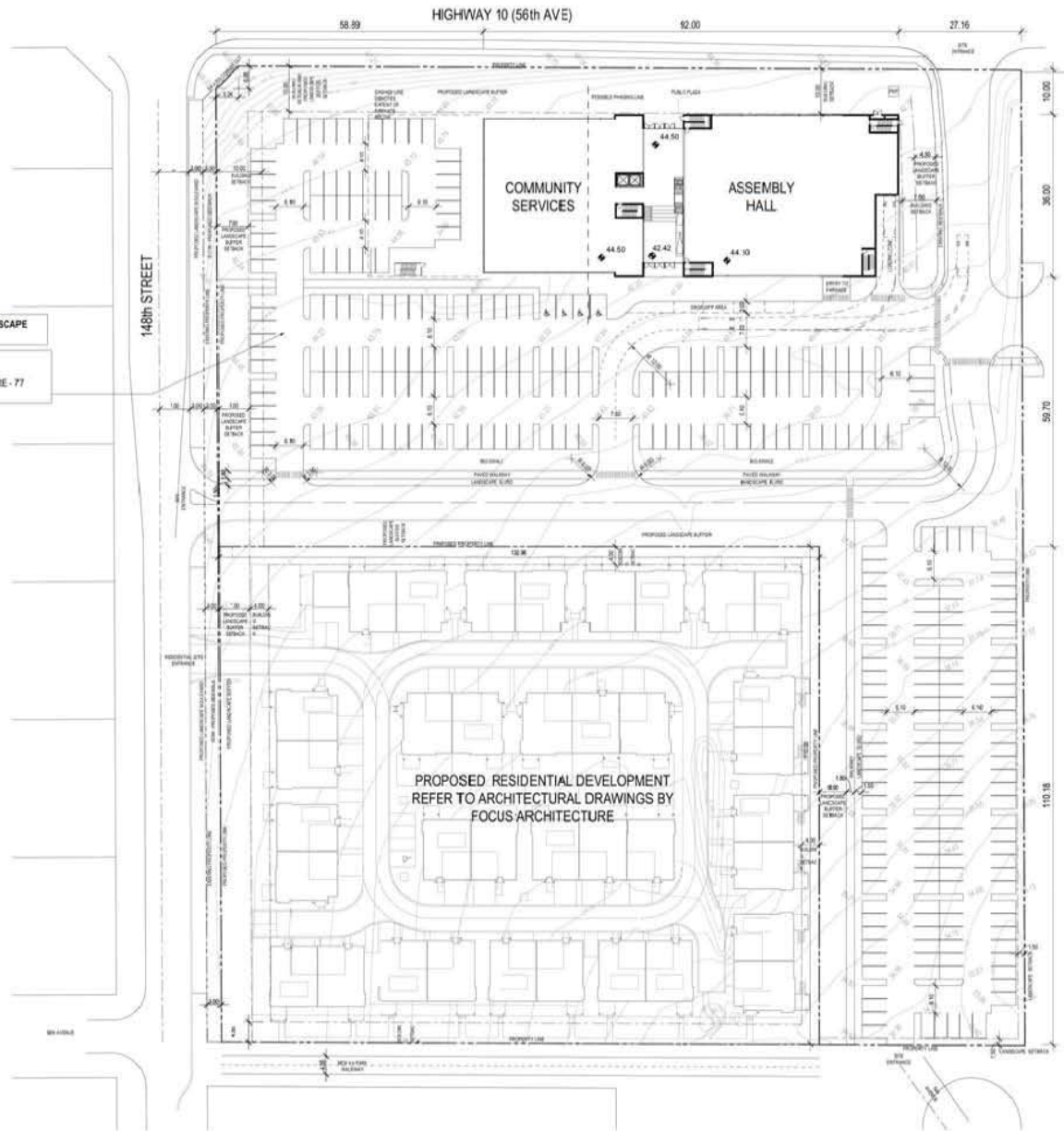
DRAWING NO: **A0.04** REV: **2**



NOTES:

FOR LANDSCAPE DESIGN REFER TO LANDSCAPE SUPPORT DRAWINGS

ON GRADE PARKING REGULAR STALLS - 322  
 ON GRADE PARKING ACCESSIBLE STALLS - 4  
 ON GRADE SHARE PARKING IN MINISTRY CENTRE - 77  
 TOTAL ON GRADE PARKING - 403



Prepared by: GJP	Date: 12.13
Checked by: GJP	Date: 12.13
Drawn by:	Date:
Project Name:	Site:
Development Variance Permit	
<b>ZGF COTTER</b>	
838 West Hastings St. Suite 901, Vancouver, BC V6C 0M6	
TEL: (604) 681-8800	
WEB: www.zgf.com	

Village Church

CLIENT

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LEGAL NOTES:	THIS IS AN UNREGISTERED AND UNAPPROVED PLAN. IT IS THE PROPERTY OF ZGF COTTER ARCHITECTS INC. AND SHOULD BE USED ONLY IN CONNECTION WITH THE ASSOCIATED PERMITTING PROCESS.
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CHECKED:	Checker
SCALE:	1:500
JOB No:	23374
DATE:	11/22/2018
TIME:	6:48:19 PM
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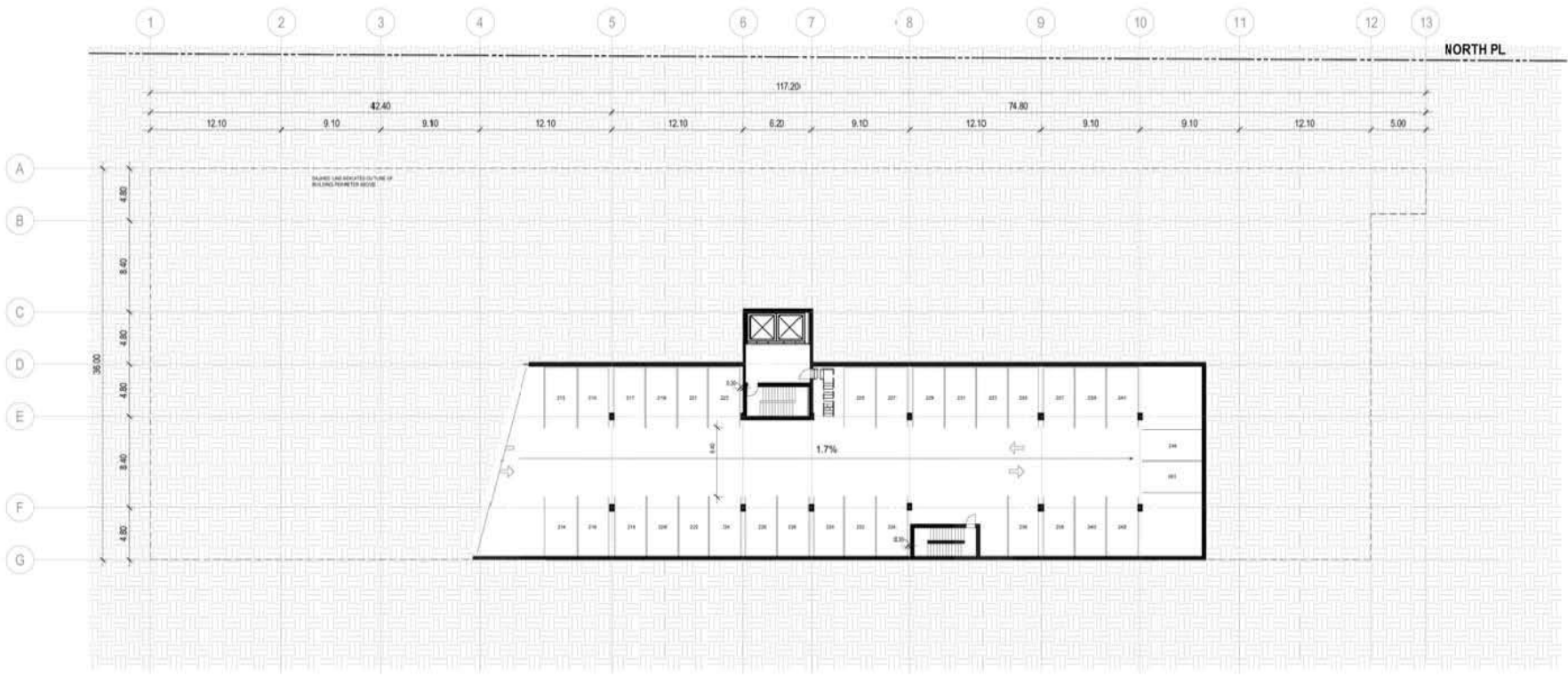
PLAN, SITE

1 PLAN, SITE  
 A1.01 1:500

DRAWING NO: A1.01 REV: 2



NOTES:



Prepared by: GJP	2018-12-19
Checked by: GJP	2018-12-19
DATE	DATE
USER	USER

PROJECT STATUS:  
Development Variance Permit

**ZGF  
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ARCHITECTS INC.  
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TEL: (604) 681-8100  
WEB: www.zgf.com

PROJECT  
**Village Church**

CLIENT  
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OWNER	Author	DATE
CHECKED	Checker	
SCALE	1 : 200	
JOB No	23374	
DATE	11/22/2018	
TIME	6:48:19 PM	

DWG # FILE

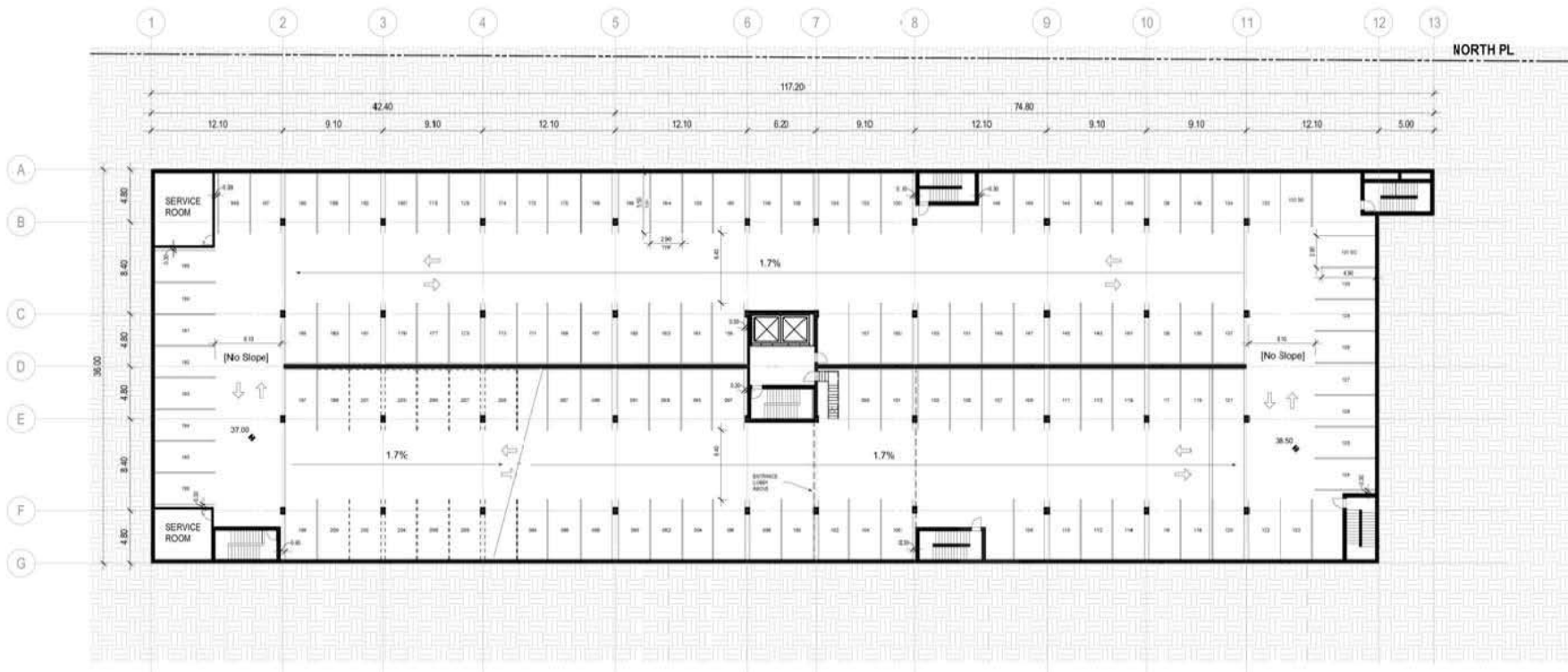
PLAN, FLOOR - LEVEL P3

1 PLAN, PARKADE LEVEL P3  
A2.01 1:200

DRAWING NO: **A2.01** REV: **2**



NOTES:



Prepared by: GJP	2018.12.18
Checked by: GJP	2018.12.18
Drawn by:	
Scale:	1:200
Project Name:	Development Variance Permit

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CHECKED BY:	Checker
SCALE:	1:200
JOB No:	23374
DATE:	11/22/2018
TIME:	5:48:19 PM
DRAWN FILE:	

PLAN, FLOOR - LEVEL P2

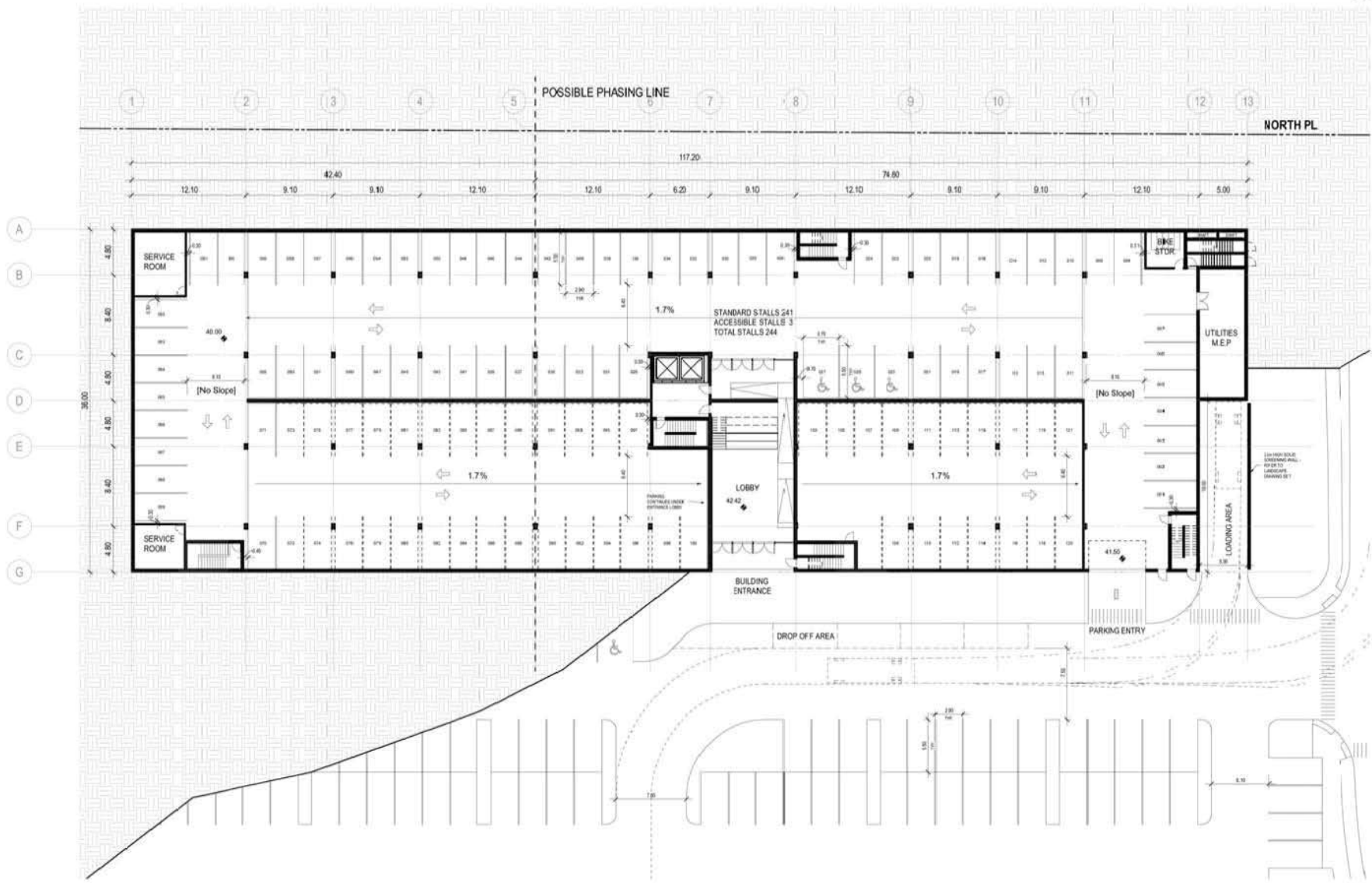
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A2.02 1:200

DRAWING NO: A2.02  
REV: 2





NOTES:



Prepared by: JGP	2018.12.18
Checked by: JGP	2019.04.22
Scale:	1:200
Job No:	23374
Date:	11/22/2018
Time:	6:48:20 PM

PROJECT STATUS:  
Development Variance Permit

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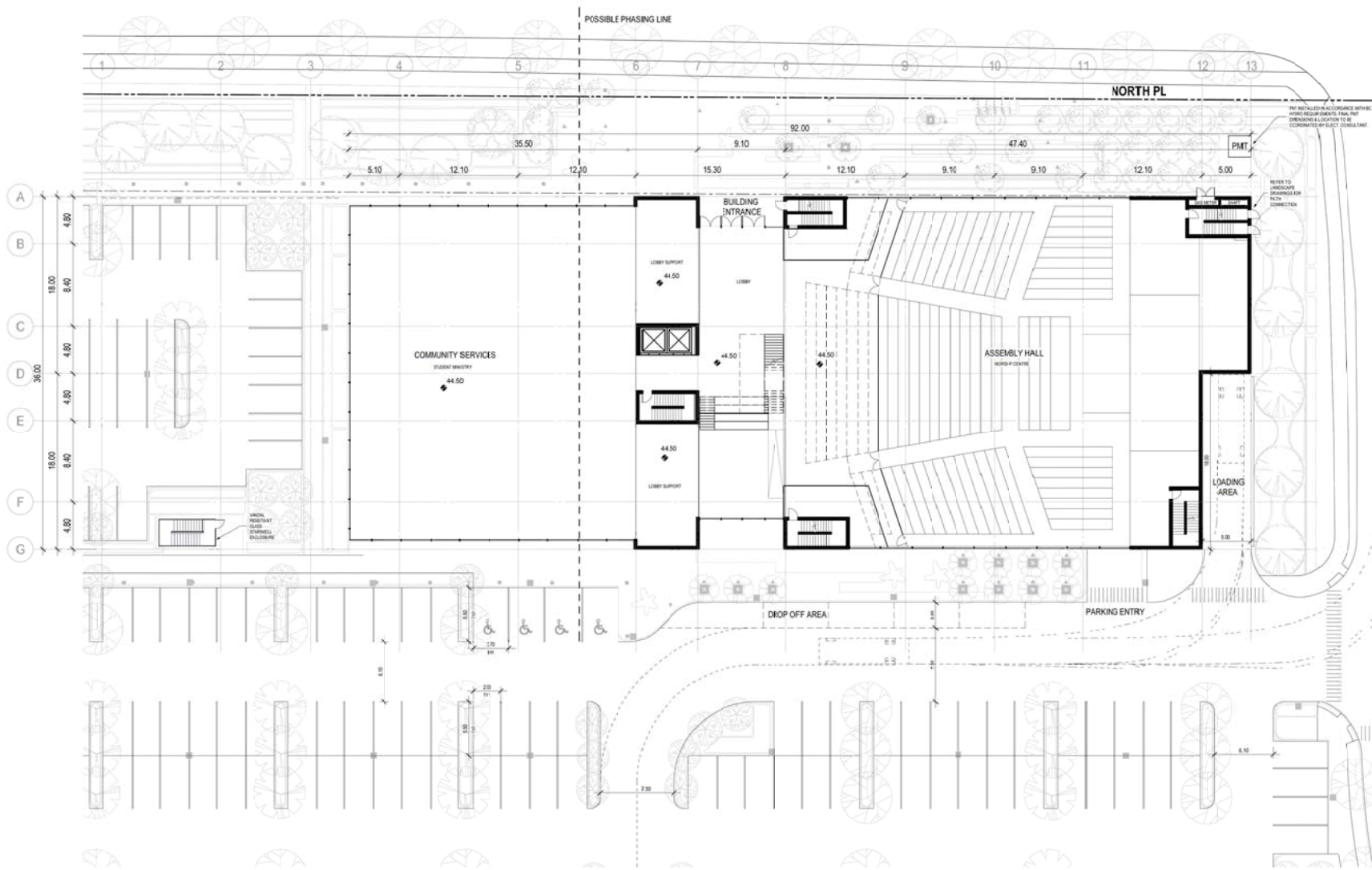
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CHECKED: Checker  
SCALE: 1:200  
JOB No: 23374  
DATE: 11/22/2018  
TIME: 6:48:20 PM  
SHEET FILE:

PLAN, FLOOR - LEVEL P1

1 PLAN, PARKADE LEVEL P1  
A2.03 1:200



NOTES:



Prepared by: DGP	2018-11-13
Checked by: DGP	2018-11-13
Drawn by:	
Scale:	
Date:	

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CLIENT:  
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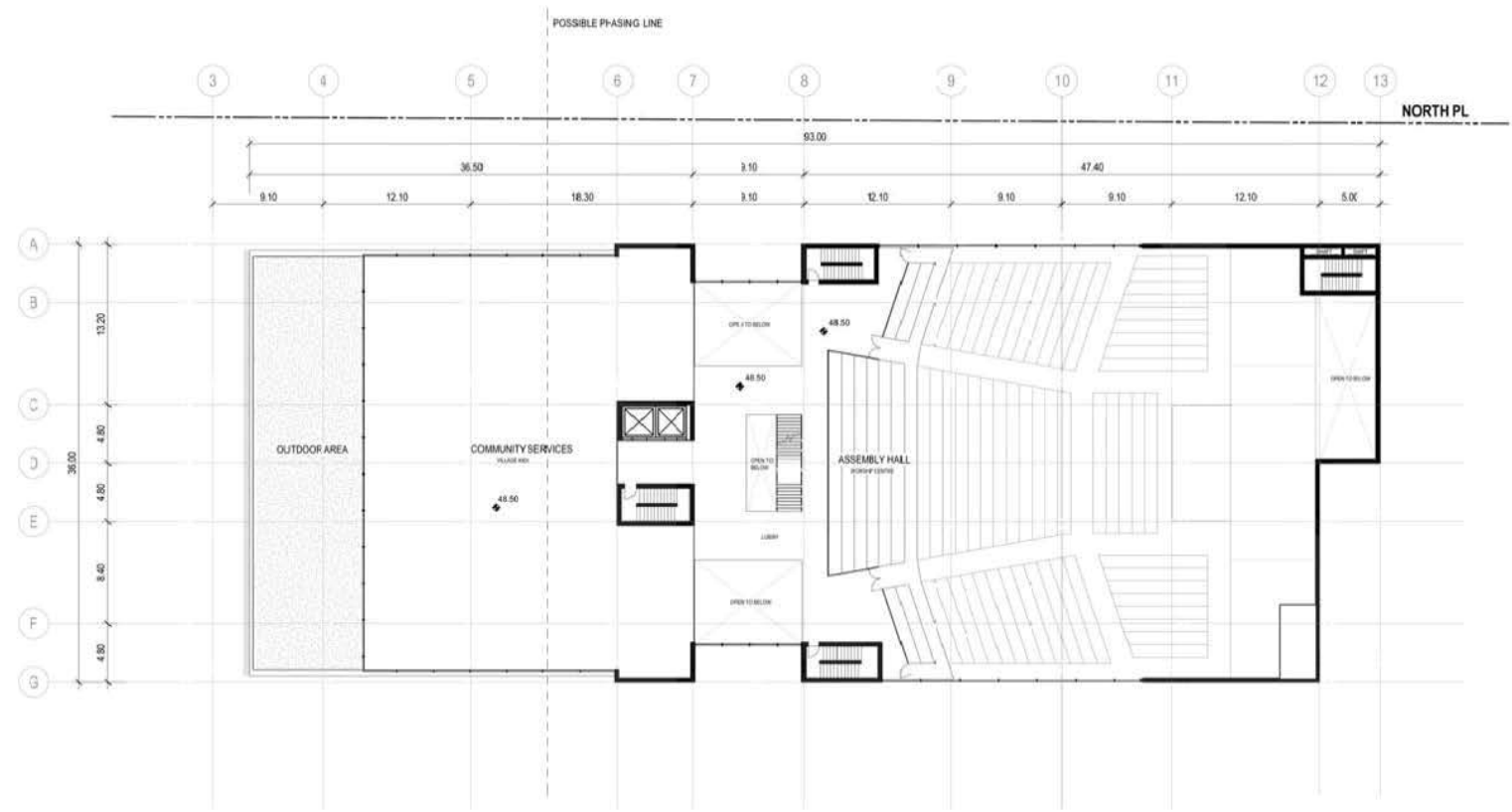
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SCALE:	1 : 100
JOB No:	23374
DATE:	11/23/2018
SHEET TITLE:	04.02.21 PM

PLAN, FLOOR - LEVEL 1



NOTES:



Prepared by: GJP	2018-12-18
Checked by: GJP	2018-12-18
Scale:	1:200
Drawn by:	

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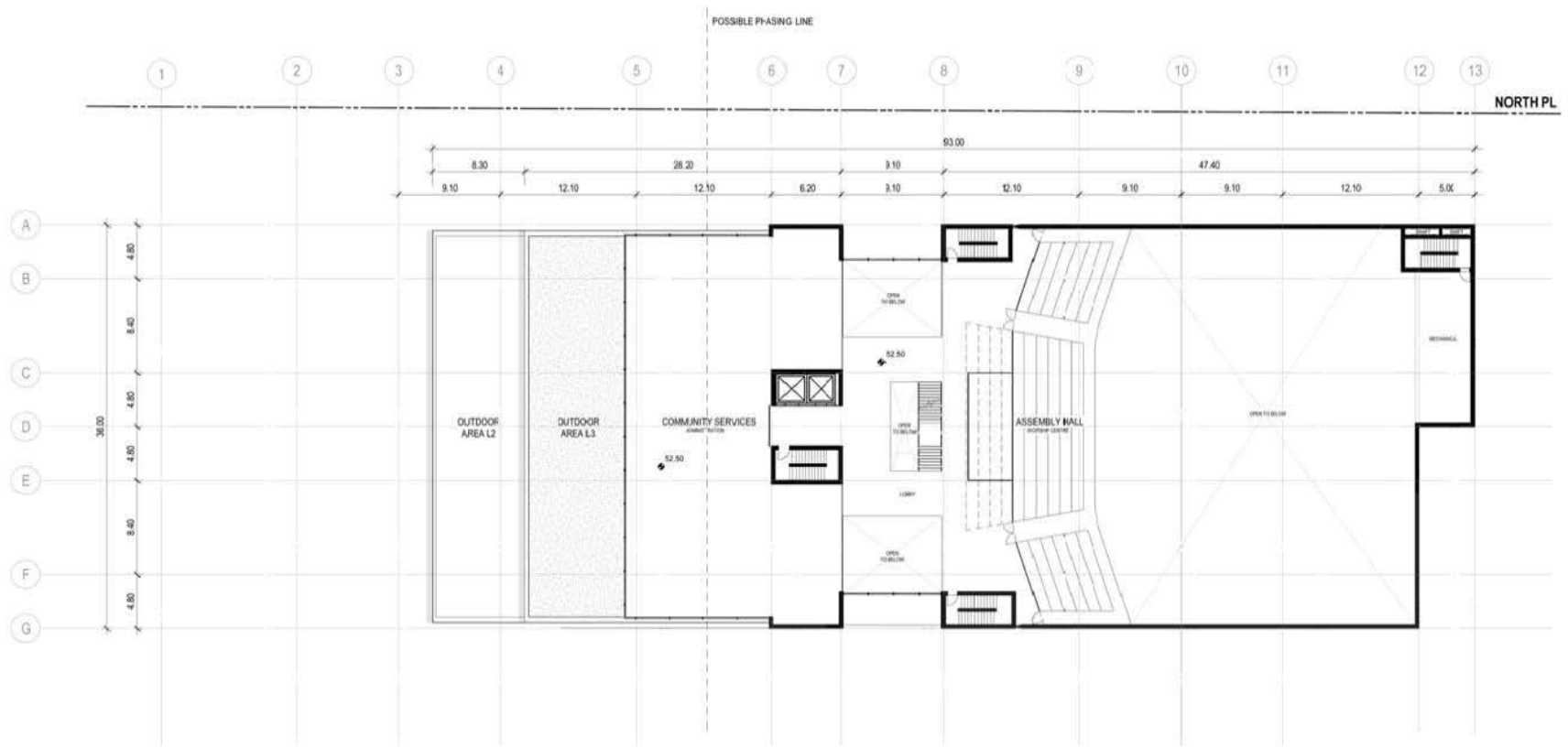
DESIGNED BY:	Author
CHECKED BY:	Checker
SCALE:	1:200
JOB NO.:	23374
DATE:	11/22/2018
TIME:	6:48:21 PM
DWG FILE:	

**PLAN, FLOOR -  
LEVEL 2**

DRAWING NO.:	REV:
<b>A2.05</b>	<b>2</b>



NOTES:



Prepared by: GJP	2018.12.18
Checked by: GJP	2018.12.18
DATE:	DATE:
SCALE:	SCALE:

PRIORITY SERVICE  
Development Variance Permit

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JOB No	23374	
DATE	11/22/2018	
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Sheet Title		

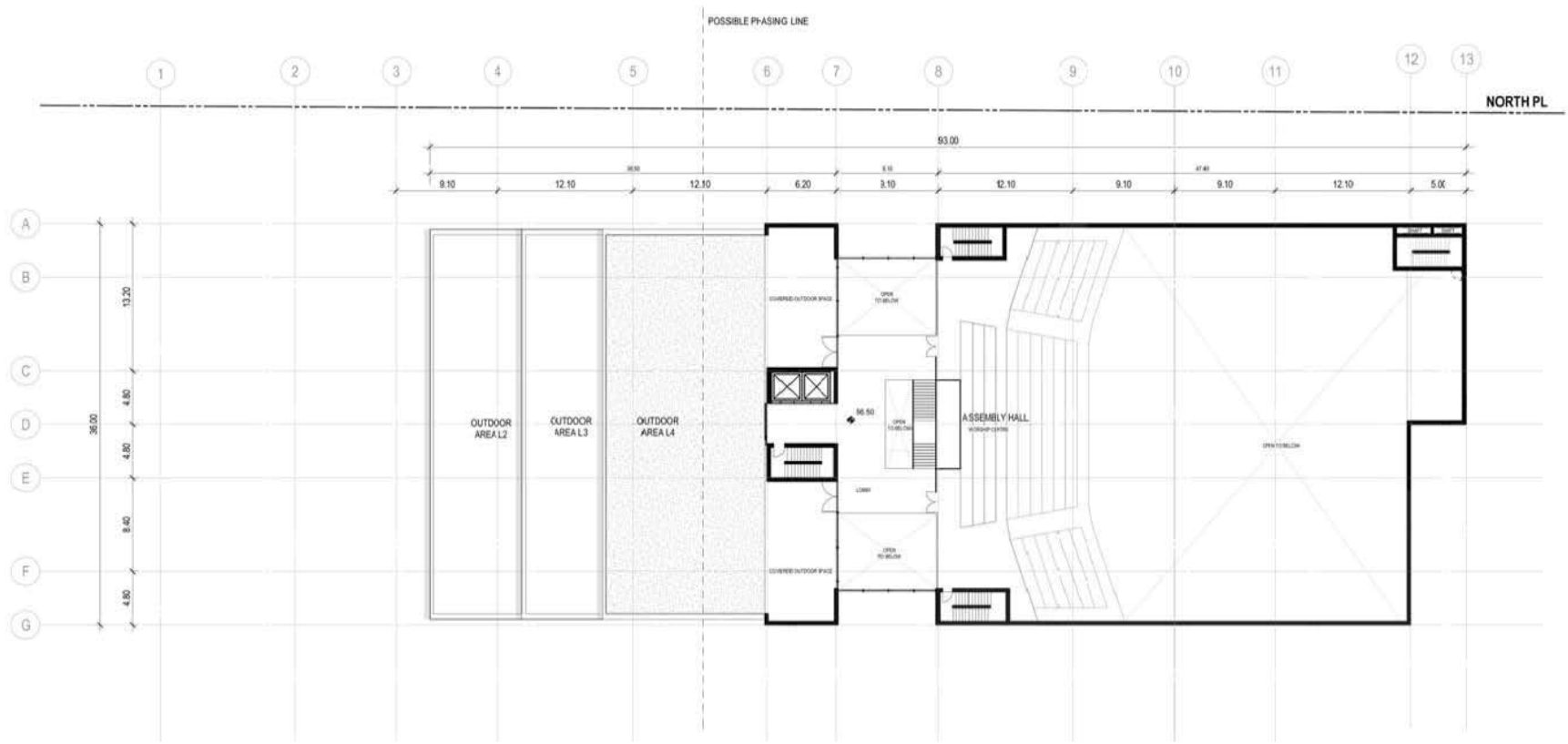
**PLAN, FLOOR - LEVEL 3**

1 PLAN, FLOOR-LEVEL 03  
A2.06 1:200

DRAWING NO: **A2.06** REV: **2**



NOTES:



Prepared by: GJP	DATE: 12-18
Checked by: GJP	DATE: 12-18
CAD: _____	Scale: _____
DATE: _____	Sheet: _____

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DATE: 11/22/2018  
TIME: 6:48:22 PM

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JOB No: 23374  
DATE: 11/22/2018  
TIME: 6:48:22 PM

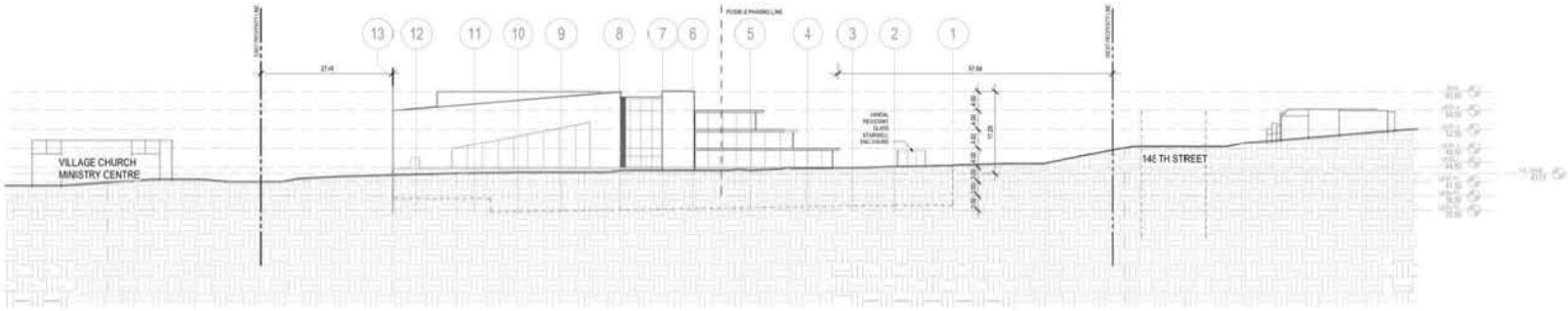
PLAN, FLOOR - LEVEL 4

1 PLAN, FLOOR-LEVEL 04  
A2.07 1:200

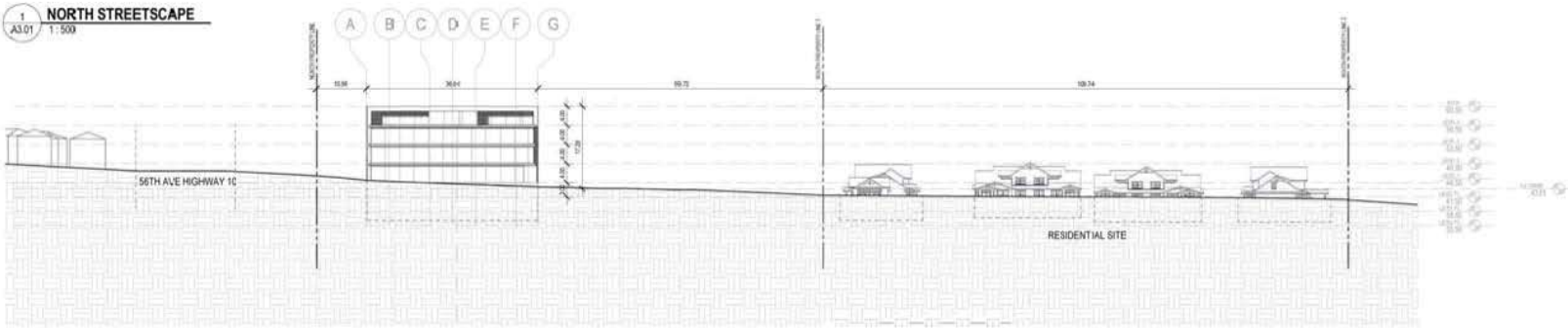
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REV: 2



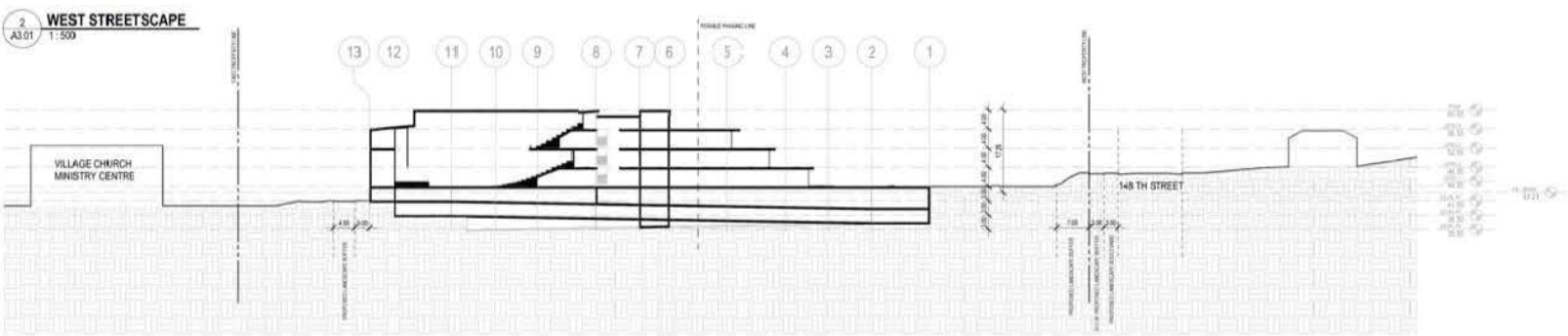
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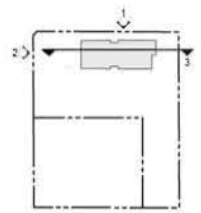
1 NORTH STREETSCAPE  
A3.01 1:500



2 WEST STREETSCAPE  
A3.01 1:500



5 STREETSCAPE SECTION  
A3.01 1:500



Prepared by: GJP	2018.11.13
Checked by: GJP	2018.11.22
Scale:	As Indicated
Job No:	23374
Date:	11/22/2018
Time:	6:48:23 PM

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CHECKED: Checker  
SCALE: As Indicated  
JOB No: 23374  
DATE: 11/22/2018  
TIME: 6:48:23 PM  
SHEET TITLE:

**STREETSCAPE**

DRAWING NO: A3.01  
REV: 2

# Village Church

Issued for Development Variance Permit

Contact Information	Other Key Contacts:	
<b>van der Zalm + associates inc.</b> Project Landscape Architecture Suite 1 - 20177 87th Avenue Langley, British Columbia, V1M 4B9 T: 604 882 0024 F: 604 882 0042 Primary project contact: Andrew Dizon Landscape Designer andrew@vdz.ca a: 604 882 0024 x23 Alternate contacts (in case away): Mark van der Zalm Principal Landscape Architect mark@vdz.ca a: 604 882 0024 x22	<b>Infinity Properties Ltd.</b> Project Owner #205-4360 202nd Street Langley, BC p: 604 532 3000	<b>ZGF Cotler</b> Project Survey Architect 838 West Hastings St. Suite 901 Vancouver BC V6C 0A8 p: 604 272 1477
<b>Legal Address and Description:</b> Lots A & B Section 3 Township 2 Plan 19514 NWD. Except plan part dedicated road (see plan S/C/F 385)		

## Sheet List Table

L-01	COVER SHEET
L-02	OVERALL SITE PLAN
L-03	NORTH SITE PLAN
L-04	SOUTH SITE PLAN
L-05	148TH SITE PLAN
L-06	LIGHTING PLAN
L-07	SECTIONS
LD-01	DETAILS



1 SITE PLAN OVERVIEW  
Scale 1:1000



2 LOCATION MAP  
N.T.S.

1:1000 0 10m 20 30 40 50 60 70 80 90 100 110 120 130 140 150



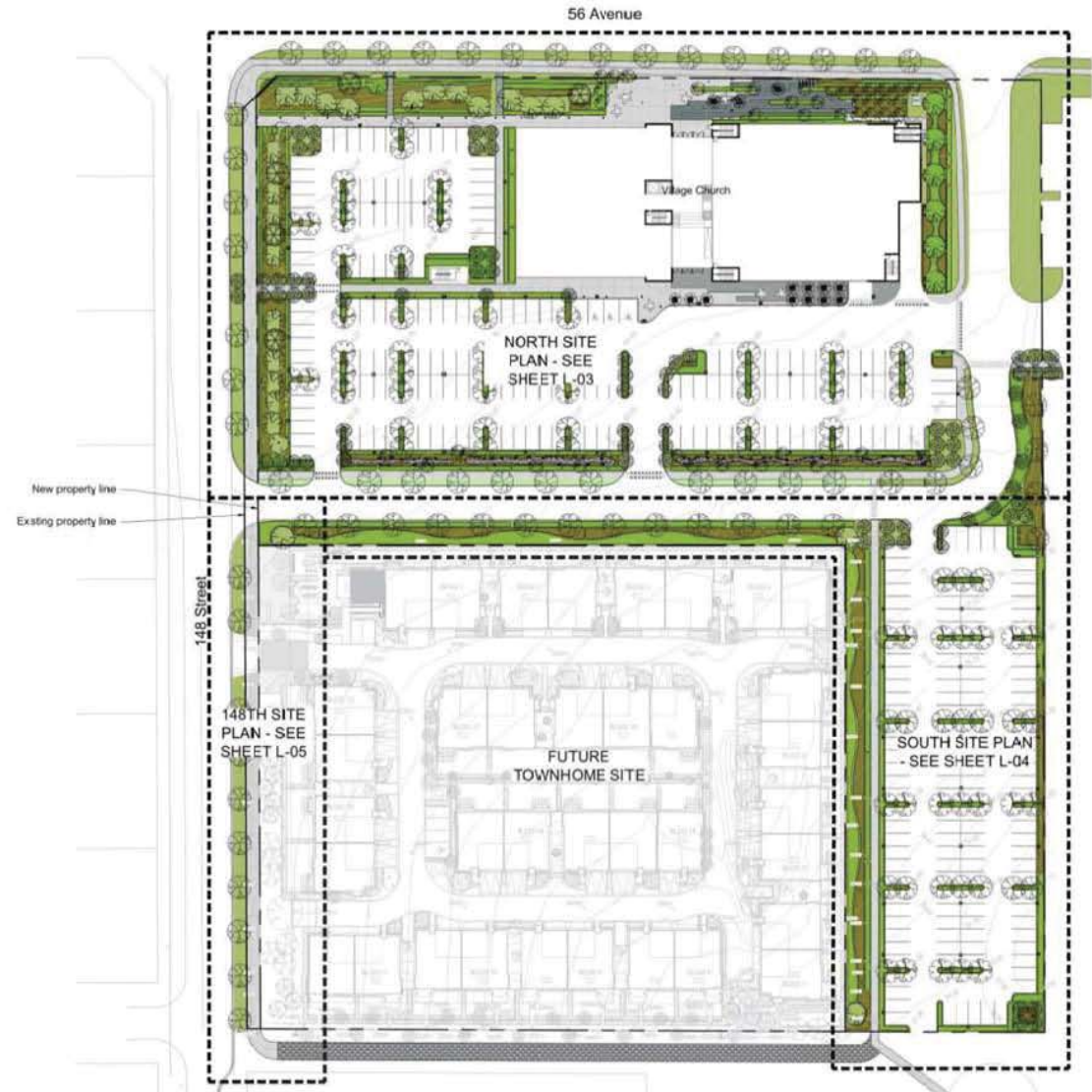
No.	By	Description	Date
1	AD	Issued for DVP	Mar 23, 2016
2	AD	Issued for DVP	Jul 20, 2016
3	TD	Revising Sheet	May 10, 2016

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Project:  
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Drawn: TB AD	Stamp
Checked: DJ	
Approved: MVE	Original Sheet Size: A1 (900)
Scale: AS 5:000N	DATE OF THIS SHEET: As indicated on the title block. This drawing and design is the property of van der Zalm + Associates Inc. and may not be reproduced or used for other projects without permission.

Drawing Title: COVER SHEET  
 Drawing #: L-01  
 V02 Project #: DP2016-25  
 NORTH



No.	By	Description	Date
1	AD	Issued for DVP	Mar 22, 2016
2	AD	Issued for DVP	Oct 06, 2016
3	TR	Revising Sheet	May 13, 2016

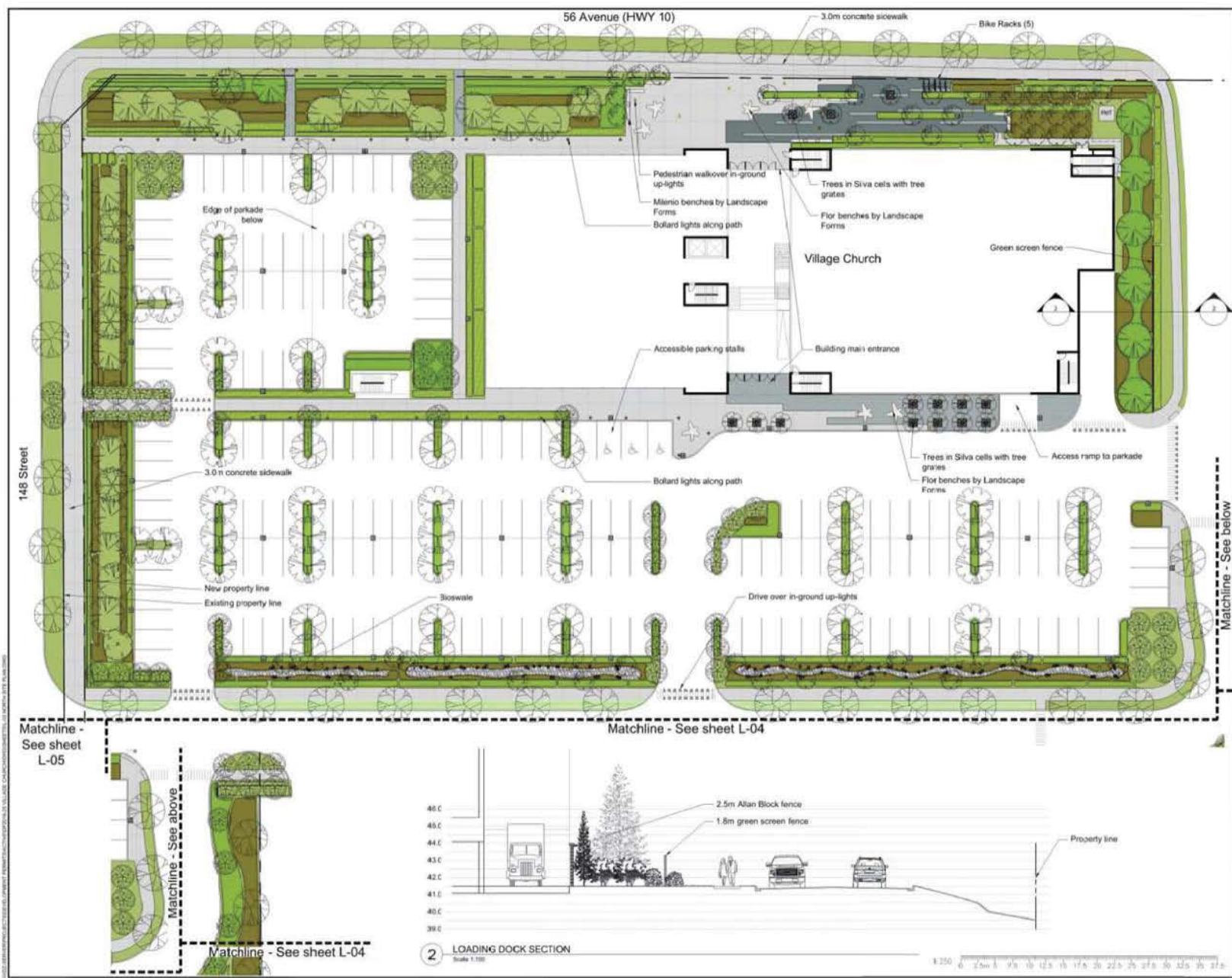
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No.	Description	Date
1	Issued for DDP	Nov 20, 2016
2	Issued for DDP	Dec 20, 2016
3	Issued for DDP	May 15, 2016

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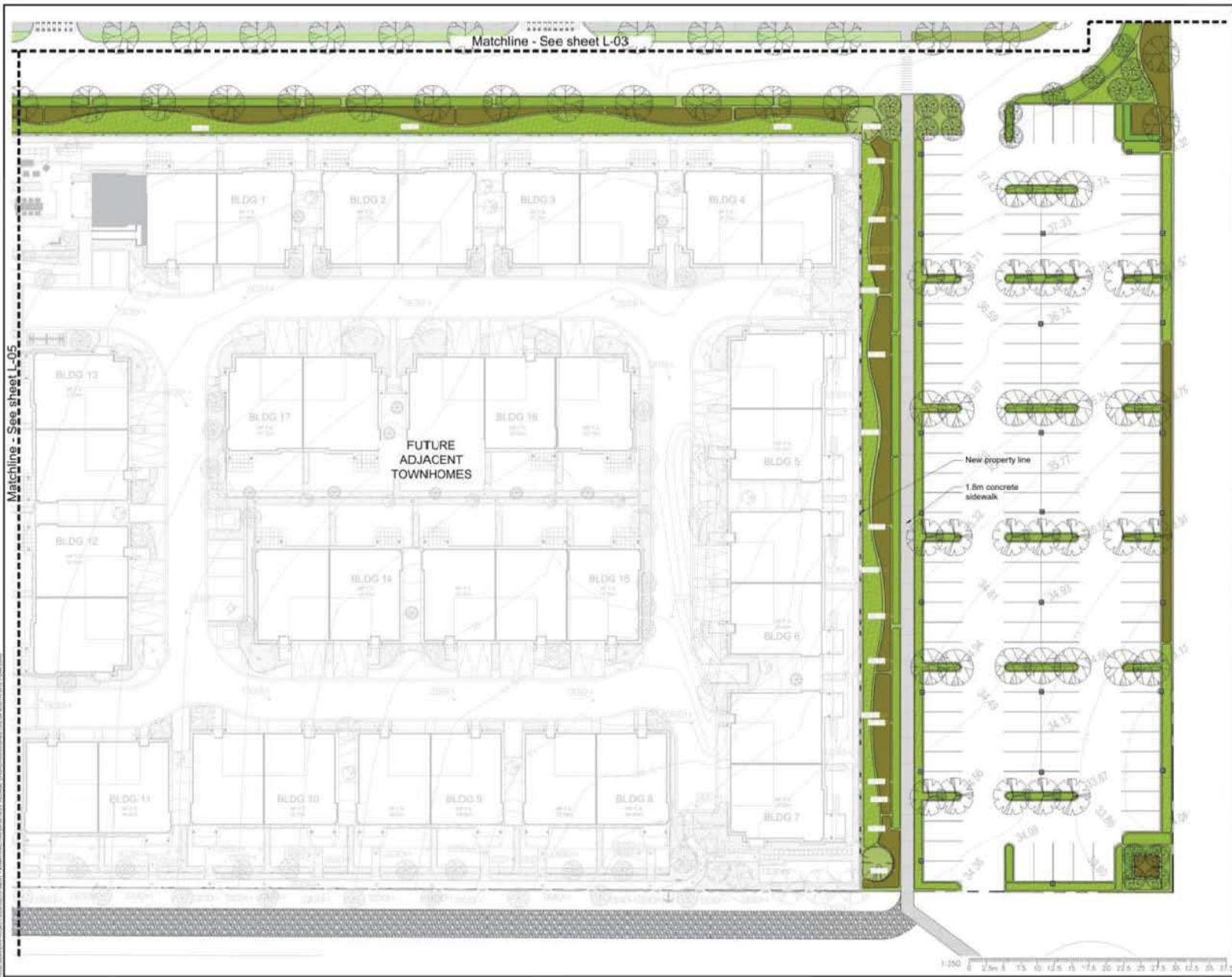
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Checked: DJ	
Approved: MVD	Original Sheet Size: 24" x 36"
Scale: 1:200	

Drawing Title: NORTH SITE PLAN



Drawing #: DP2016-25

Drawing #: L-03



**van der Zalm + associates inc.**  
 Planning & Recreation • Civil Engineering  
 Urban Design • Landscape Architecture  
 June 1, 2017 200 Avenue  
 488-4888 • 488-4888



No.	Description	Date
1	AD	Issued for DDP
2	AD	Issued for DDP
3	TS	Planning Plan

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 AD

Checked:  
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Approved:  
 MVD

Stamp

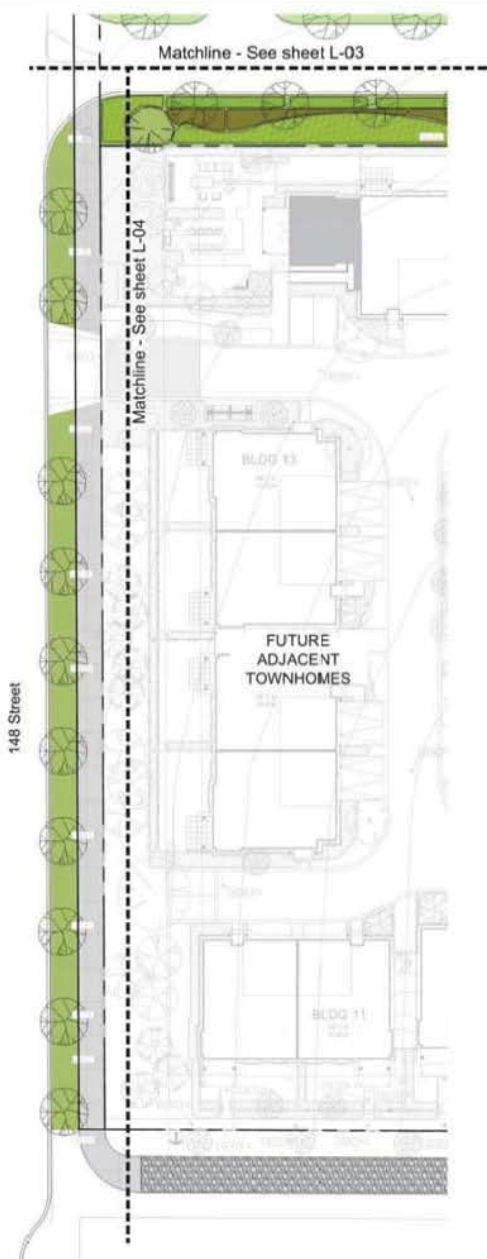
Original Sheet Size:  
 24" x 36"

Scale:  
 1:200

Drawing Title: SOUTH SITE PLAN

Project #:  
 DP2016-25

Drawing #:  
 L-04



*Canadaplyllum japonicum*  
Katsura



*Metasequoia glyptostroboides*  
Sweetgum



*Pseudotsuga menziesii*  
Douglas Fir



*Fraxinus americana*  
American White Ash

*Acer rubrum*  
Red Maple

*Gleditsia triacanthos* var. *inermis* 'Signal' (Skyline Honeylocust)

*Cornus canadensis* 'Ace of Hearts' (Ace of Hearts Redbud)

*Magnolia serotima*  
Magnolia



Mix. wet grass with Dogwood at edge  
 Mix. wet grass with Salvia at edge  
 Deciduous flowering specimen  
 Tall Deciduous Shrub  
 Tall Evergreen Shrub  
 Underneath Douglas Fir

**PLANT SCHEDULE**

KEY	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	SPACING
<b>SHRUB PLANTING</b>					
st		<i>Sarcococca verticillata</i> 'Gold Star'	Purple Sage	#2 Pot	600mm
sb		<i>Carex buchardiana</i>	Loosestrife Sedge	#2 Pot	450mm
sd		<i>Celastrus dielschiana</i>	Purple Beaufortia	#2 Pot	750mm
sn		<i>Cornus sericea</i> 'Kobold'	Spiny Dogwood	#2 Pot	500mm
ns		<i>Hedera helix</i> 'Spiralissima'	Black Out Hedera	#2 Pot	600mm
hst		<i>Hydrangea macrophylla</i> 'Arista'	Arista Hydrangea	#2 Pot	900mm
ly		<i>Ligustrum</i> s. str.	Privet	#3 Pot	1800mm
ln		<i>Lonicera nitida</i> 'Magellan's Gold'	Garden Boykin Honeylocust	#2 Pot	900mm
ms		<i>Mentha arvensis</i> 'Spiralissima'	Mentha	#2 Pot	750mm
pl		<i>Physalis peruviana</i> 'Ocho Luchas'	Ocho Luchas	#2 Pot	1000mm
pw		<i>Podocarpus neriifolius</i>	Japanese Laurel	#1 Pot	450mm
sa		<i>Sarcococca hookeriana</i> var. <i>humilis</i>	Himalayan Sweet Box	#2 Pot	600mm
st		<i>Sarcococca verticillata</i>	Spiny Dogwood	#2 Pot	600mm
sp		<i>Spiraea</i> s. str.	Spirea	#2 Pot	600mm
st		<i>Stipa tenuissima</i>	Mexican Feather Grass	#1 Pot	600mm
st		<i>Thuja occidentalis</i>	Blue Spruce	#2 Pot	600mm
<b>EDGE PLANTING</b>					
st		<i>Taxus canadensis</i>	White Pine	600mm height	
st		<i>Taxus media</i> 'Hicksii'	Hicks Pine	1.2m height	450mm
<b>GROUNDCOVER PLANTING</b>					
		<i>Silene acaulis</i> 'Springwood white'	Winter Heath	#1 Pot	450mm
		<i>Luzula angustata</i> 'Indica'	Indica	#1 Pot	450mm
		<i>Poa annua</i> 'Spiralissima'	Spiralissima	#1 Pot	450mm
		<i>Phlox</i> 'August Moon'	August Moon Phlox	#1 Pot	450mm
		<i>Coreopsis</i> 'Majesty'	Majesty	#1 Pot	450mm
		<i>Lonicera nitida</i>	Privet	#1 Pot	300mm

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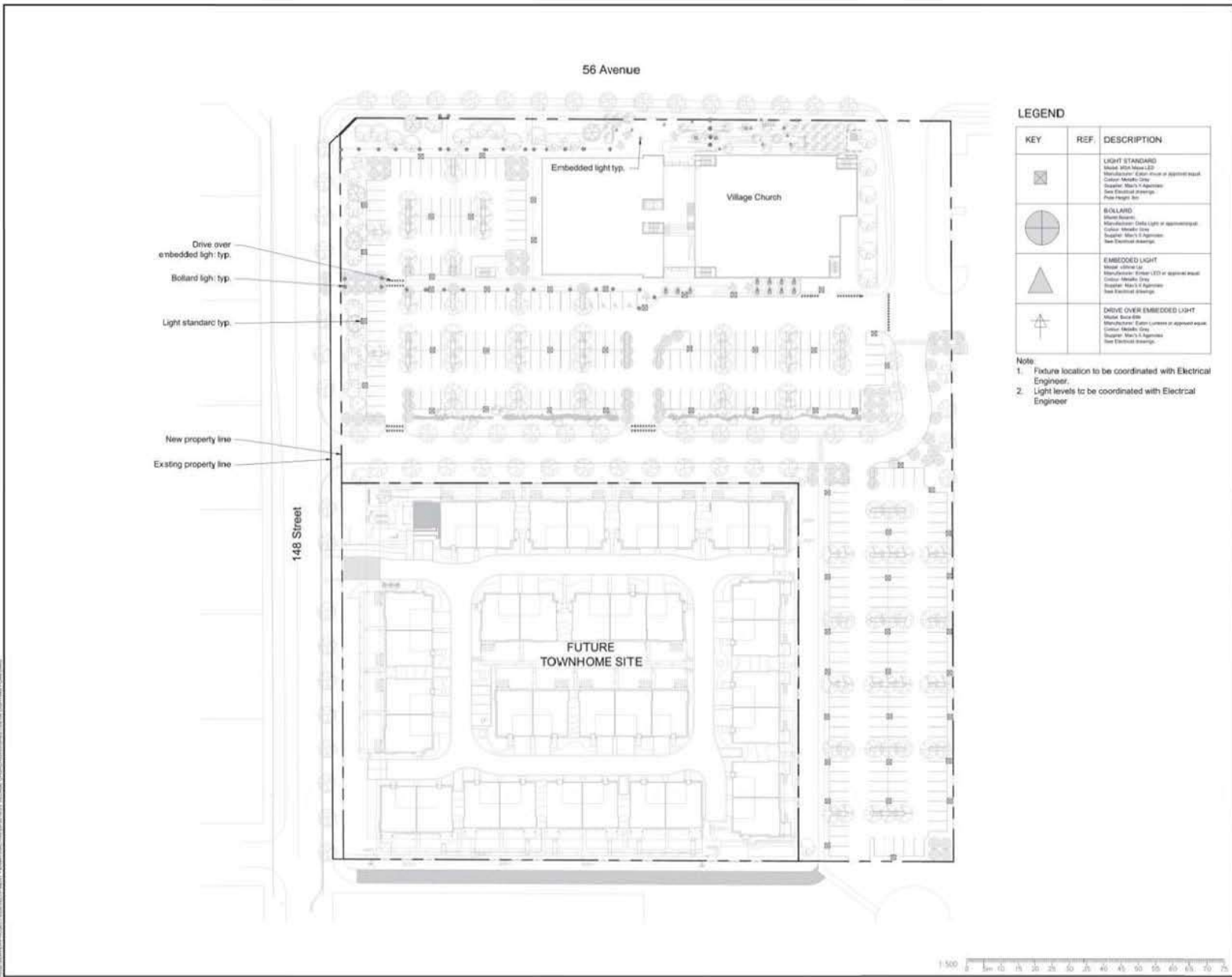
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6	AD	Issued for EIR
7	AD	Issued for EIR
8	AD	Issued for EIR
9	AD	Issued for EIR
10	AD	Issued for EIR

Project: Village Church  
 Location: 14844 56th Ave, Surrey, B.C.

Drawn: TB  
 AD  
 Checked: DJ  
 Approved: MVD  
 Scale: 1:200

Stamp: [Signature]

Original Sheet Size: 24" x 36"



LEGEND

KEY	REF.	DESCRIPTION
		<b>LIGHT STANDARD</b> Model: WFL Major LED Manufacturer: Eaton Lumens or approved equal Colour: Macalox Grey Supplier: Mac's Electrical See Electrical Schedule Post Height: 8m
		<b>BOLLARD</b> Model: BOLLARD Manufacturer: Delta Light or approved equal Colour: Macalox Grey Supplier: Mac's Electrical See Electrical Schedule
		<b>EMBEDDED LIGHT</b> Model: WFL Major LED Manufacturer: Eaton Lumens or approved equal Colour: Macalox Grey Supplier: Mac's Electrical See Electrical Schedule
		<b>DRIVE OVER EMBEDDED LIGHT</b> Model: BOLLARD Manufacturer: Eaton Lumens or approved equal Colour: Macalox Grey Supplier: Mac's Electrical See Electrical Schedule

- Note:
1. Fixture location to be coordinated with Electrical Engineer.
  2. Light levels to be coordinated with Electrical Engineer.

Rev.	By	Description	Date
1	AD	Issued for DWP	Mar 22, 2016
2	AD	Issued for DWP	Oct 26, 2016
3	TB	Revising Sheet	May 13, 2016

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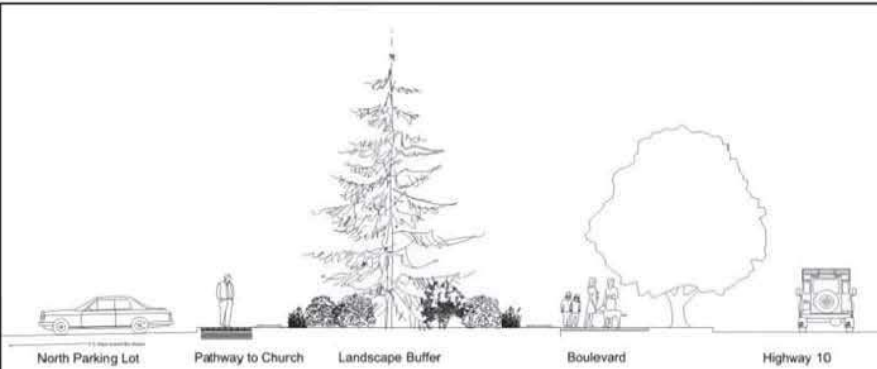
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MVDZ

Stamp

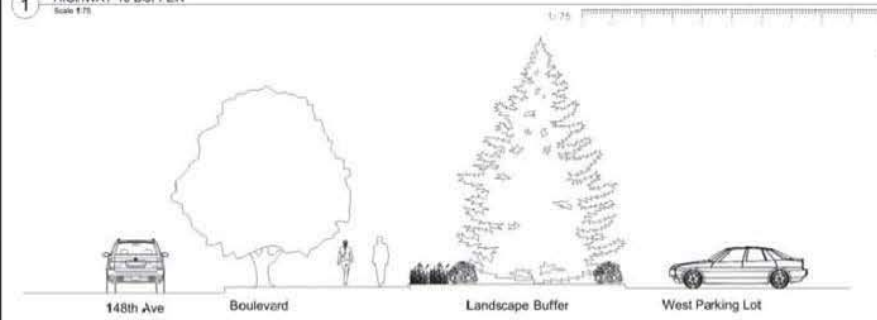
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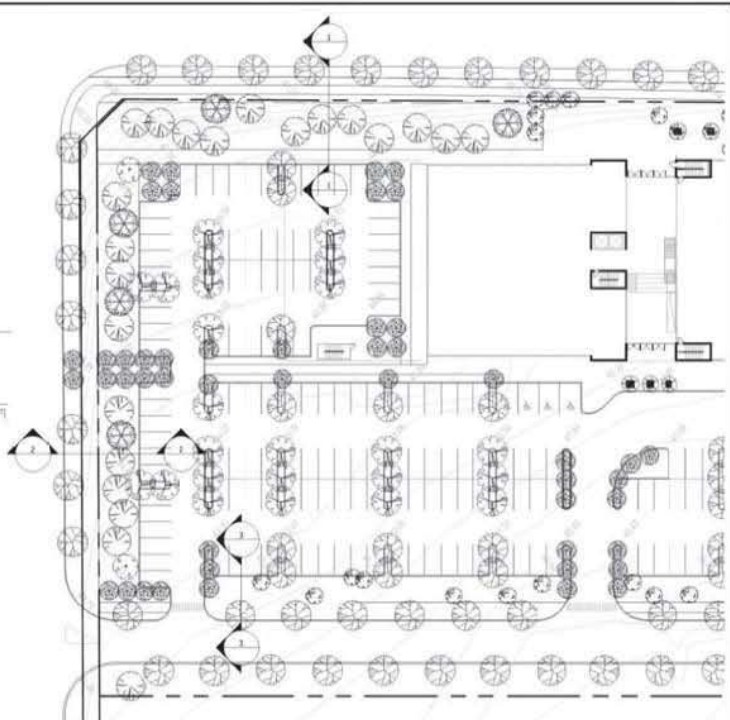
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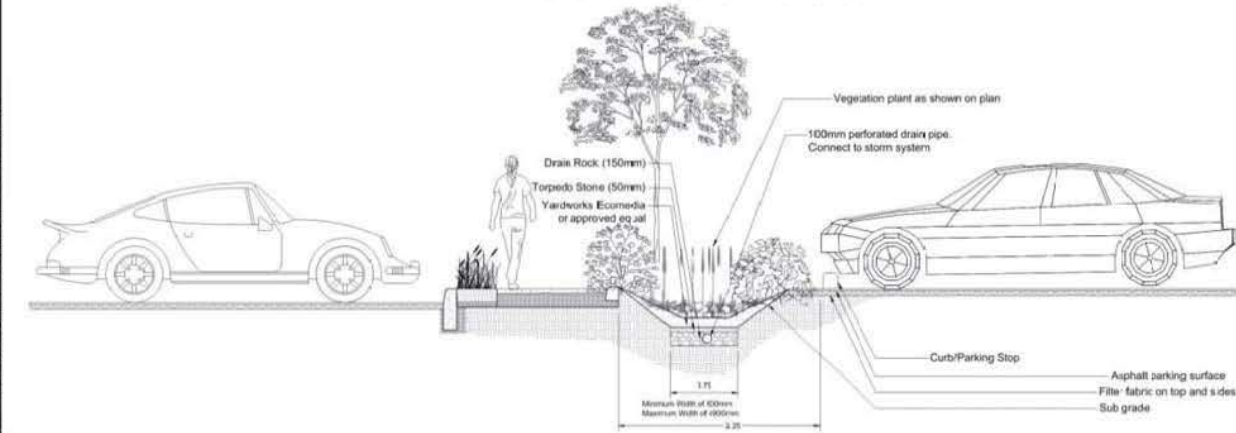
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 Scale 1/75



2 148TH STREET BUFFER  
 Scale 1/75



4 KEY MAP  
 N.T.S.



3 BIOSWALE SECTION  
 Scale 1/25

No.	Description	Date
1	ADD	Revised for DVP
2	ADD	Revised for DVP
3	TR	Revising Sheet

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 Location:  
 14844 56th Ave, Surrey, B.C.

Drawn: TB AD	Stamp
Checked: DJ	
Approved: MVE	Original Sheet Size: 24" x 36"
Scale: AS SHOWN	

SECTIONS



DP2016-25

L-07



1 FLOR BENCH  
N.T.S.



2 GREEN SCREEN  
N.T.S.



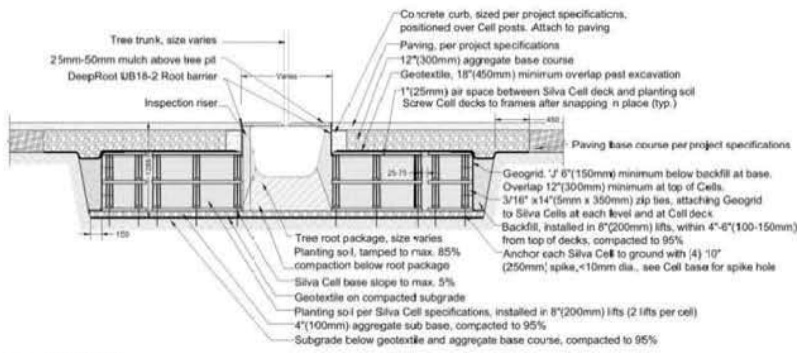
3 CONCRETE UNIT PAVING  
N.T.S.



4 BIOSWALE  
N.T.S.



5 TREE GRATE  
N.T.S.



6 SILVA CELLS  
N.T.S.



7 BOLLARD LIGHTS  
N.T.S.



8 IN-GROUND LIGHTS  
N.T.S.



9 MILENIO BENCH  
N.T.S.



10 LIGHT STANDARD  
N.T.S.

van der Zalm + associates inc.  
Plants & Recreation • Civil Engineering  
Landscape Design • Construction Administration  
Date: 2017-06-26  
Project: 2016-25  
1 of 10



No.	By	Description	Date
1	AD	Issued for Bidding	Mar 28, 2016
2	AD	Issued for Bidding	Oct 26, 2016
3	TB	Revising Plans	May 18, 2016

REVISIONS TABLE FOR DRAWINGS  
\* Original Issued: This drawing was design for the quantity of 1000 sq. ft. of paving and 100 sq. ft. of concrete. It is not to be used for other projects without permission.

Project:  
Village Church  
Location:  
14844 56th Ave, Surrey, B.C.

Drawn: TB AD	Stamp
Checked: DJ	
Approved: MVE	Original Sheet Size: 24" x 36"
Scale: AS SHOWN	

Drawing Title  
DETAILS



Project #  
DP2016-25

Drawing #  
LD-01



## WEST STREETScape - 148 St.

### SCHEME A

ENTRANCE DOOR & GARAGE DOOR:  
BM 21119-10 - 'SPACE BLACK'

PAINTED WOOD ENTRY, POSTS, WINDOW  
DOOR TRIM, & FASCIA:  
BM OC-117 - 'SIMPLY WHITE'

CEDAR SHINGLES & SIDING (SMOOTH):  
BM HC-104 - 'COPLY GRAY'

ASPHALT ROOF SHINGLES:  
IKO CAMBRIDGE - 'DUAL BLACK'

CEDAR SHINGLES & SIDING (SMOOTH):  
BM CC-62 - 'SUNDRIED TOMATO'

### SCHEME B

WINDOW DOOR TRIM, ENTRANCE DOOR &  
GARAGE DOOR:  
BM 21119-10 - 'SPACE BLACK'

PAINTED WOOD ENTRY, POSTS, & FASCIA:  
BM OC-117 - 'SIMPLY WHITE'

CEDAR SHINGLES & SIDING (SMOOTH):  
BM OC-118 - 'SNOWFALL WHITE'

ASPHALT ROOF SHINGLES:  
IKO CAMBRIDGE - 'DUAL BLACK'

### SCHEME C

WINDOW DOOR TRIM, ENTRANCE DOOR &  
GARAGE DOOR:  
BM 21119-10 - 'SPACE BLACK'

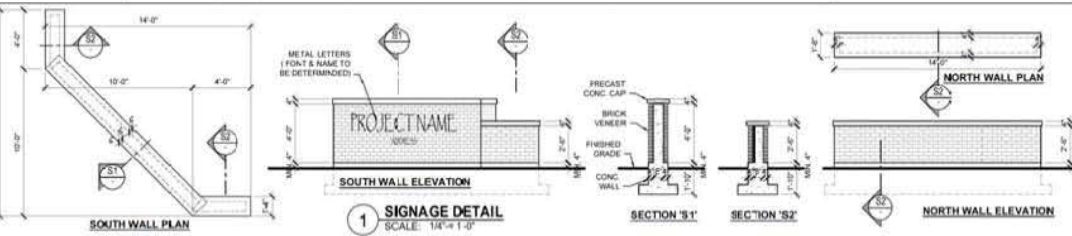
PAINTED WOOD ENTRY, POSTS, & FASCIA:  
BM OC-117 - 'SIMPLY WHITE'

CEDAR SHINGLES & SIDING (SMOOTH):  
BM 2122-20 - 'STEEP CLIFF GREY'

ASPHALT ROOF SHINGLES:  
IKO CAMBRIDGE - 'DUAL BLACK'



## COLOUR SCHEME



### SITE RECONCILIATION

**LEGAL DESCRIPTION:**  
148 ST @ HWY 10

**CIVIC ADDRESS:**  
148 ST @ HWY 10

**ZONING INFORMATION:**  
ZONE: CD (BASED ON RM10)  
EXISTING PROPOSED: 14,809.7 sq ft (3,684 sq ft) (14,809.7 sq ft)  
ROAD RELOCATION: 14,811.0 sq ft (3,683 sq ft)  
NET TOTAL: 14,811.0 sq ft (3,683 sq ft)

**SETBACKS:**

DIRECTION	PROPOSED (TO BUILDING FACE)	PROPOSED (TO COLUMNS)
SOUTH (FRONT SIDE)	7.00m	4.75m
NORTH (REAR SIDE)	5.22m	4.50m
EAST (SIDE #1 SIDE)	5.22m	2.75m
WEST (SIDE #2 SIDE)	10.72m	10.95m

**LOT DENSITY:** PERMITTED: 10 LPTS / 3,683 sq ft = 36 units; PROPOSED: 36 units

**FLOOR AREA RATIO:** PERMITTED: 0.50 IN RM10; PROPOSED: 1,394 sq ft (148 sq ft); (R 404.55 sq ft / 14,581.0 sq ft = 0.433)

**LOT COVERAGE:** PERMITTED: 40.0%; PROPOSED: 38.1%; 15,553.13 sq ft / 14,581.0 sq ft = 0.381

**BUILDING HEIGHT:** PERMITTED: 3.0 m (9M RM10); PROPOSED: 8.62 m (BUILDING 16) - MAX HEIGHT

**AMENITY:** OUTDOOR: REQUIRED: 36 UNITS x 3 sq ft per unit = 108 sq ft; PROPOSED: 1,394 sq ft (148 sq ft); NIDCOR: REQUIRED: 36 UNITS x 3 sq ft per unit = 108 sq ft; PROPOSED: 658 sq ft (81.13m<sup>2</sup>) - CASH IN L&EV FOR BALANCE; PARKING: REQUIRED: RESIDENT: 36 UNITS + 2 CARS/UNIT + 72 CARS VISITOR; PROPOSED: RESIDENT: 72 CARS (SIDE BY SIDE GARAGES); VISITOR: 12 CARS (INCLUDING 1 HC)

BUILDING	# OF UNITS	LOT COVERAGE SUMMARY	
		LOT AREA	LOT COVERAGE
1	2	4,071 sq ft	278.24%
2	3	3,322 sq ft	389.84%
3	3	3,322 sq ft	389.84%
4	2	3,277 sq ft	365.87%
5	2	3,288 sq ft	374.52%
6	2	3,294 sq ft	376.36%
7	2	3,346 sq ft	384.84%
8	2	3,294 sq ft	376.36%
9	2	3,294 sq ft	376.36%
10	2	3,294 sq ft	376.36%
11	2	3,294 sq ft	376.36%
12	2	3,237 sq ft	366.07%
13	2	3,293 sq ft	376.14%
14	2	3,157 sq ft	361.76%
15	3	4,071 sq ft	452.24%
16	3	4,071 sq ft	452.24%
17	2	3,322 sq ft	389.84%
TOTAL	36	68,776 sq ft	788.15%

UNIT TYPE	#	BASMENT	GARAGE	MAIN	UPPER	UNIT TOTALS	TOTAL
A - 4 BED	2	8,128 sq ft	387 sq ft	1,118 sq ft	765 sq ft	1,083 sq ft	17,469 sq ft
A1 - 4 BED	4	8,128 sq ft	387 sq ft	1,118 sq ft	765 sq ft	1,083 sq ft	17,434 sq ft
A3 - 4 BED	8	8,128 sq ft	387 sq ft	1,118 sq ft	765 sq ft	1,083 sq ft	10,064 sq ft
A3 - 4 BED	1	8,208 sq ft	385 sq ft	1,204 sq ft	765 sq ft	1,089 sq ft	19,239 sq ft
B - 4 BED	13	9,298 sq ft	388 sq ft	1,204 sq ft	765 sq ft	1,282 sq ft	23,525 sq ft
B1 - 4 BED	2	8,558 sq ft	386 sq ft	1,204 sq ft	765 sq ft	1,279 sq ft	3,520 sq ft
C - 4 BED	2	8,118 sq ft	387 sq ft	1,102 sq ft	765 sq ft	1,274 sq ft	3,483 sq ft
TOTAL	36					TOTAL (not incl. basement & garage)	68,776 sq ft
BASMENT TOTAL		41,727 sq ft				TOTAL (incl. basement & garage)	110,893 sq ft
GARAGE TOTAL			13,917 sq ft			TOTAL (incl. basement & garage)	64,589 sq ft
							11,814 sq ft



CITY OF SURREY FILE NUMBER: 7918-0097

NOV 28, 2016  
PLANNING COMMENTS

OCT 08, 2016  
REVISED FOR 3RD

REVISIONS:  
CONSULTANT

CLIENT:  
INFINITY PROPERTIES

PROJECT:  
PROPOSED TOWNHOUSE DEVELOPMENT

148 STREET @ HWY 10  
SURREY, BC

DRAWING TITLE:

SITE PLAN

DATE: 2016-11-04 FILE NO:  
DWN: A1  
CHK: cb 1521

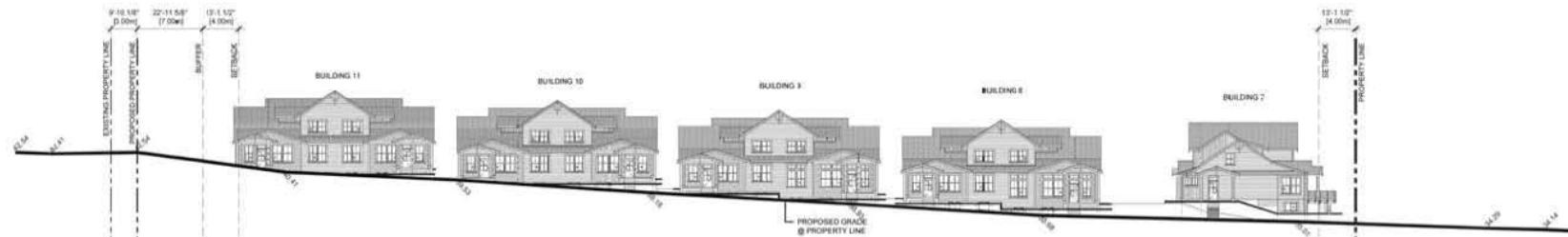
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DP-0.01

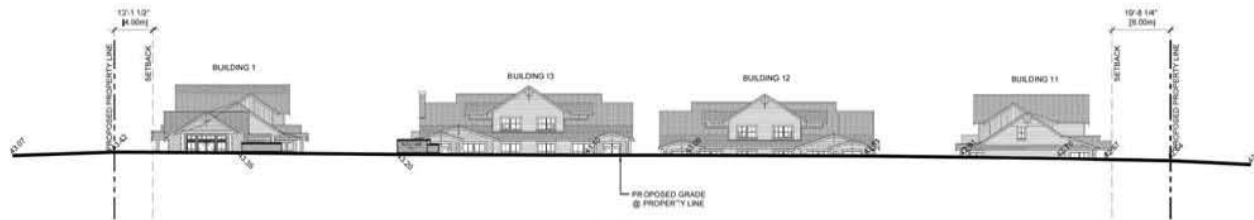




**EAST ELEVATION**  
SCALE: 1"=20'-0"



**SOUTH ELEVATION**  
SCALE: 1"=20'-0"



**WEST ELEVATION (148 STREET)**  
SCALE: 1"=20'-0"



**NORTH ELEVATION**  
SCALE: 1"=20'-0"

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CITY OF SURREY FILE NUMBER  
7918-0087

NOV 28 2016  
PLANNING COMMENTS

OCT 08 2016  
ISSUED FOR 3RD

REVISIONS:  
CONSULTANT

CLIENT  
**INFINITY PROPERTIES**

PROJECT  
**PROPOSED TOWNHOUSE  
DEVELOPMENT**  
148 STREET @ HWY 10  
SURREY, BC

DRAWING TITLE

**STREETSCAPES**

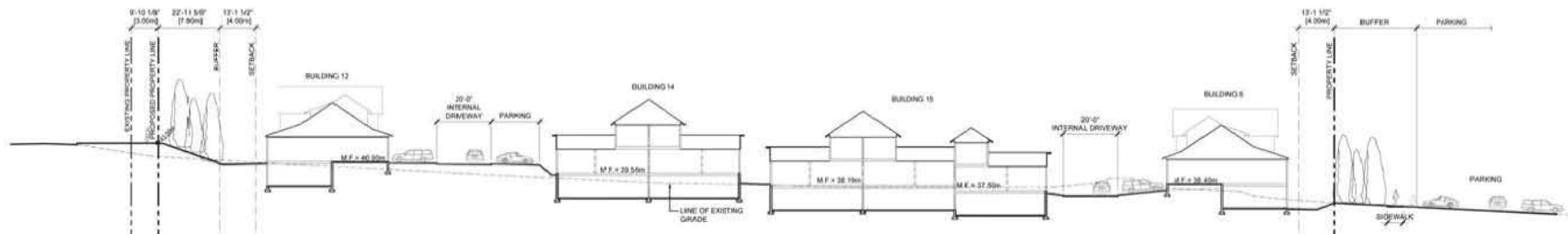
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CHK: 1521

SEAL  
SHEET NO

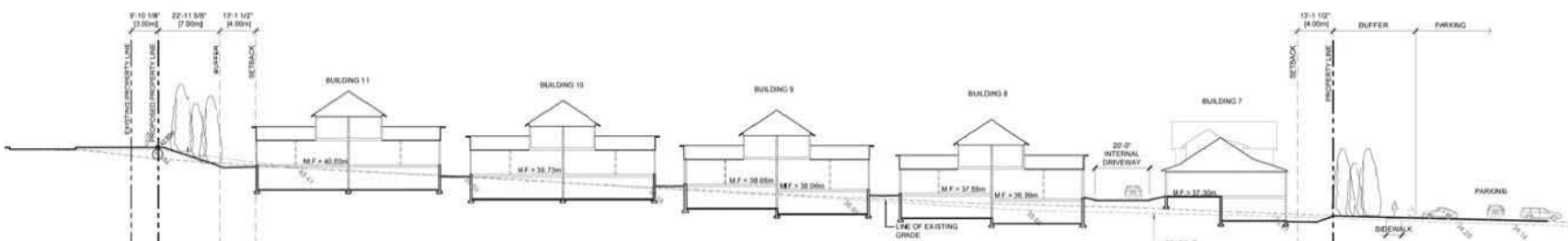
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**A** SITE SECTION 'A'  
SCALE: 1" = 20'-0"



**B** SITE SECTION 'B'  
SCALE: 1" = 20'-0"



**C** SITE SECTION 'C'  
SCALE: 1" = 20'-0"



**D** SITE SECTION 'D'  
SCALE: 1" = 20'-0"

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CITY OF SURREY FILE NUMBER  
7916-0067

NOV 28 2016  
PLANNING COMMENTS  
OCT 08 2016  
ISSUED FOR 2ND

REVISIONS:  
CONSULTANT

CLIENT  
**INFINITY PROPERTIES**

PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**  
148 STREET @ HWY 10  
SURREY, BC

DRAWING TITLE

**SITE SECTIONS**

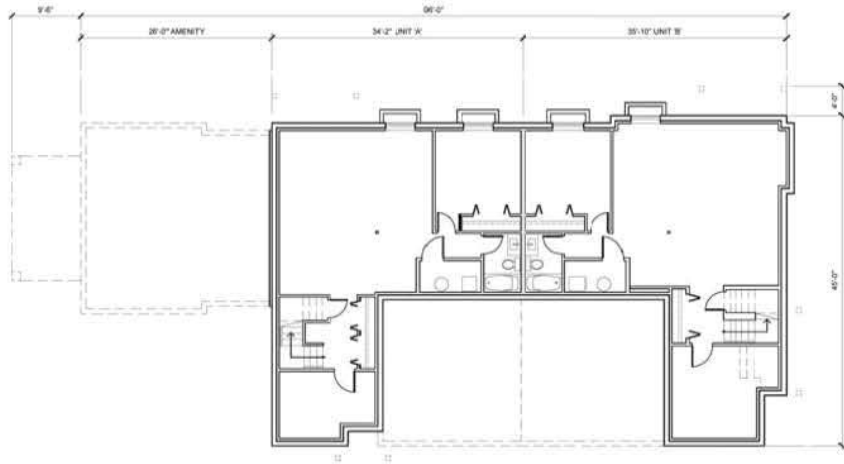
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SEAL  
SHEET NO

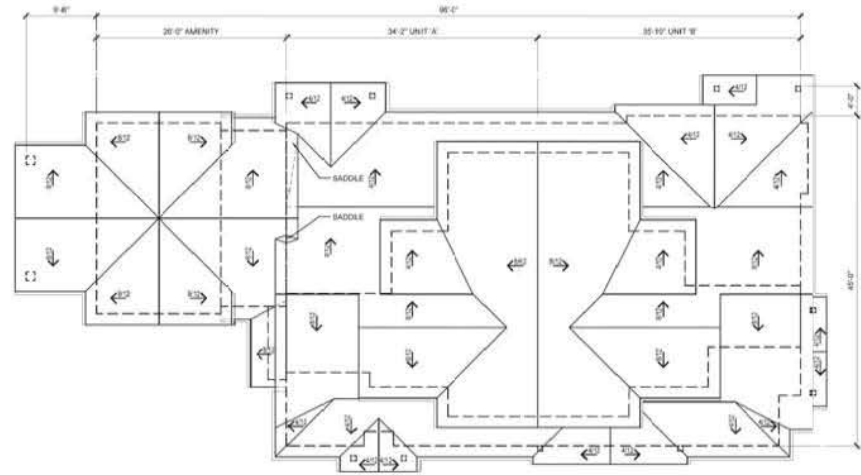
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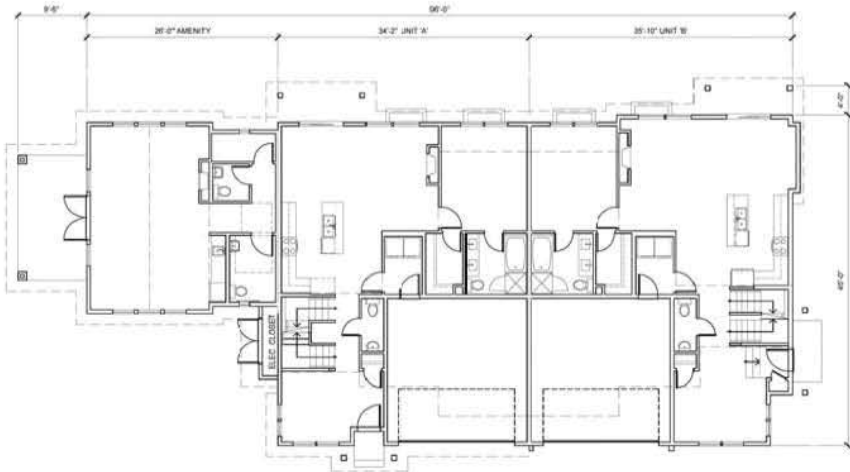
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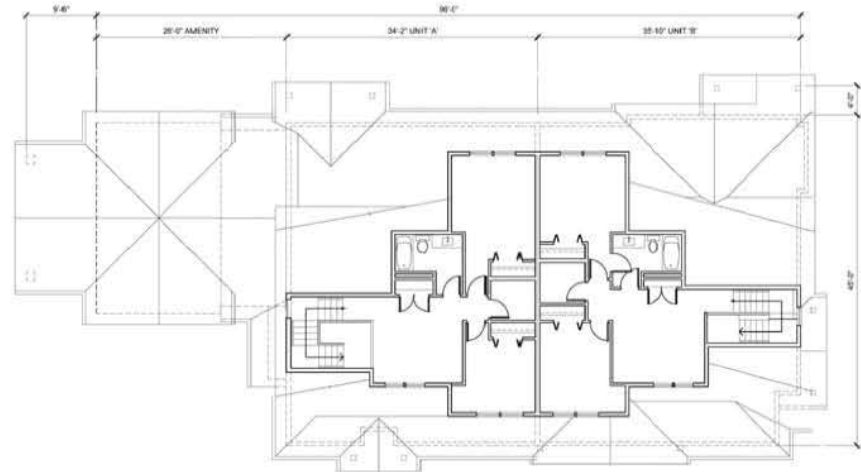
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**ROOF PLAN**  
SCALE: 1/8"=1'-0"

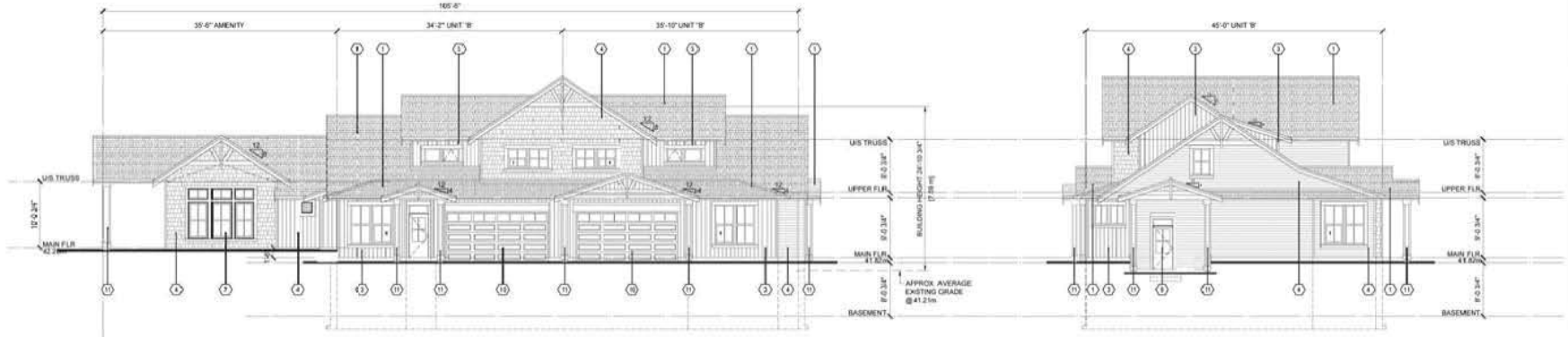


**MAIN FLOOR PLAN**  
SCALE: 1/8"=1'-0"



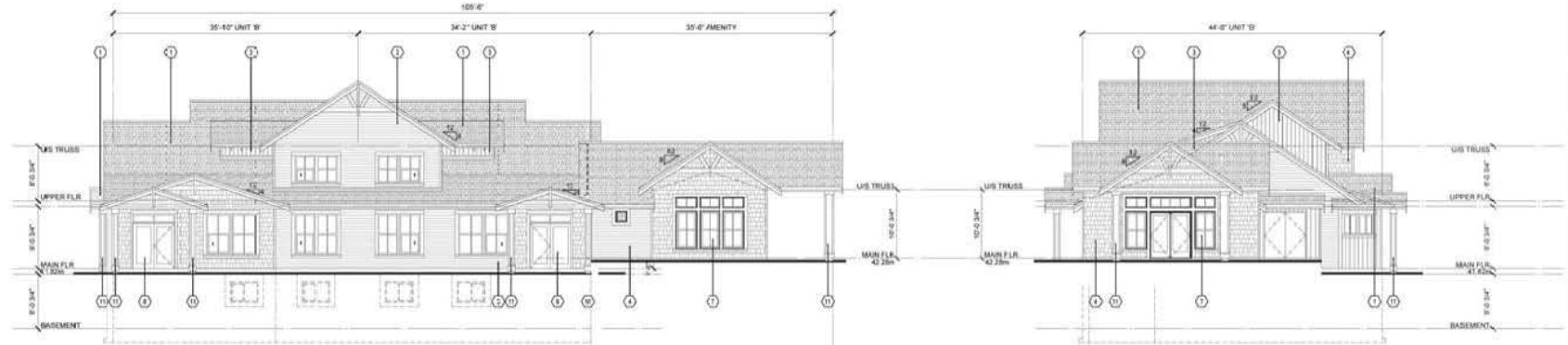
**UPPER FLOOR PLAN**  
SCALE: 1/8"=1'-0"





**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

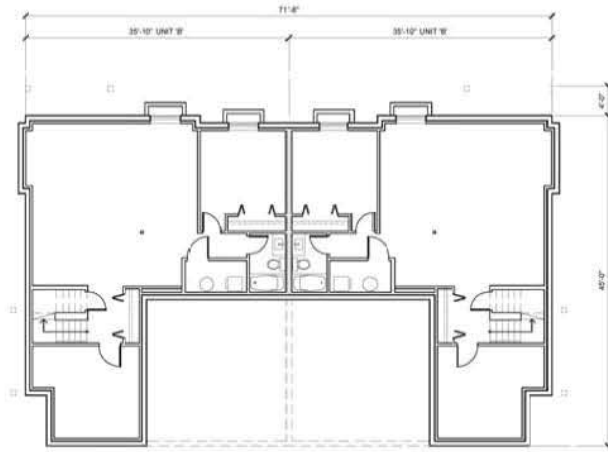
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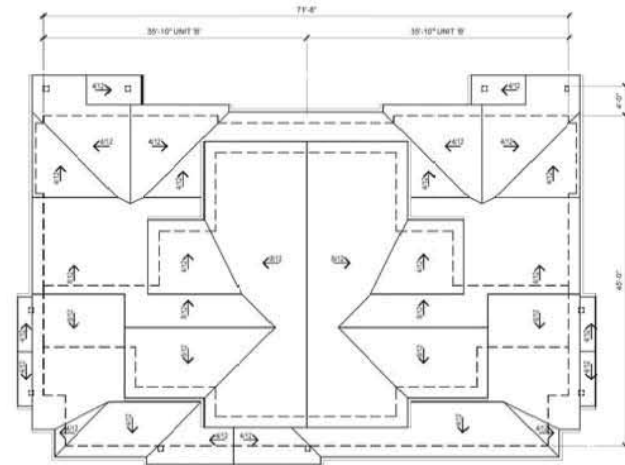
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**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

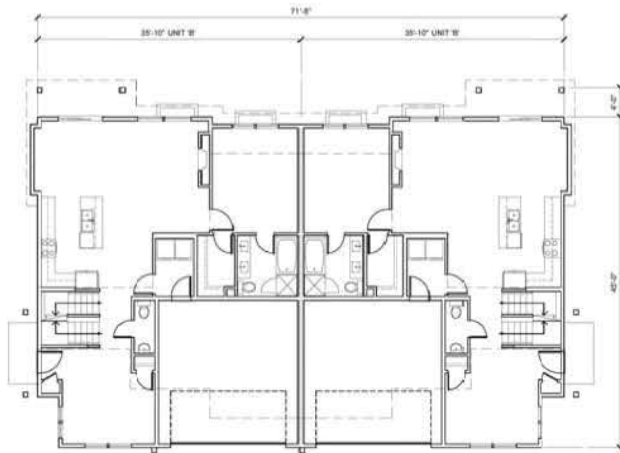
- ELEVATION MATERIAL LEGEND**
- (1) COMPOSITE ASPHALT SHINGLES
  - (2) CEMENT BOARD HORIZONTAL SIDING
  - (3) CEMENT BOARD AND BATTEN SIDING
  - (4) CEMENT SHAKE SIDING
  - (5) 3X10 PAINTED WOOD FASCIA w/ 1X4 WOOD TRIM
  - (6) PREFINISHED ALUMINUM GUTTER ON 3X8 PAINTED WOOD FASCIA
  - (7) SEALED DOUBLE GLAZED V.C. WINDOW
  - (8) SEALED DOUBLE GLAZED V.C. ENTRY DOOR w/ 2x6 WOOD TRIM AROUND
  - (9) ENTRY DOOR w/ 2x6 WOOD TRIM AROUND
  - (10) OVER-HEAD GARAGE DOORS
  - (11) CEMENT BOARD PANEL, 2x4 BUTTUP WOOD COLUMN w/ CORNER TRIM
  - (12) 2x10 PAINTED WOOD TRIM w/ PREFINISHED METAL FLASHING
  - (13) 2x6 PAINTED WOOD TRIM w/ PREFINISHED METAL FLASHING
  - (14) PREFINISHED METAL THROUGH WALL FLASHING



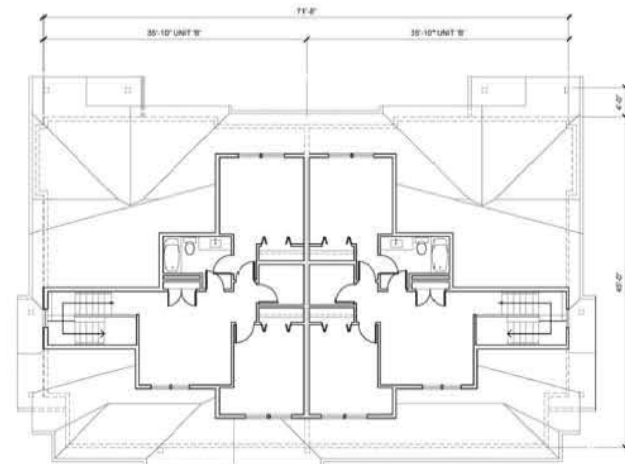
**LOWER FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 1/8"=1'-0"



**MAIN FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**UPPER FLOOR PLAN**  
SCALE: 1/8"=1'-0"

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CITY OF SURREY FILE NUMBER  
7918-0057

NOV 08 2016  
PLANNING COMMENTS

OCT 08 2016  
REVISED FOR 2nd

REVISIONS:  
CONSULTANT

CLIENT  
**INFINITY PROPERTIES**

PROJECT  
**PROPOSED TOWNHOUSE  
DEVELOPMENT**  
148 STREET @ HWY 10  
SURREY, BC

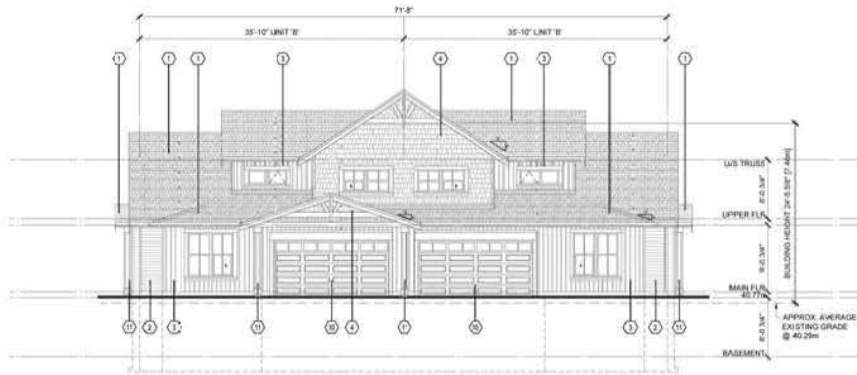
DRAWING TITLE

**BUILDING 2  
PLANS**

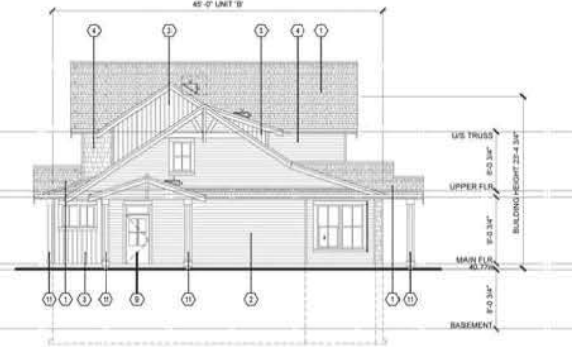
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DWN: A1  
CHK: **1521**



SEAL  
SHEET NO  
**DP-2.01**



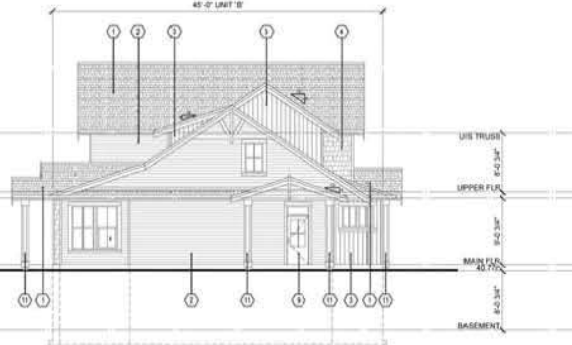
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SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

**ELEVATION MATERIAL LEGEND**

- |   |   |
|---|---|
| ① COMPOSITE ASPHALT SHINGLES                                    | ⑩ ENTRY DOOR ON 2x6 WOOD TRIM AROUND                      |
| ② CEMENT BOARD HORIZONTAL SIDING                                | ⑪ OVER-HEAD GARAGE DOORS                                  |
| ③ CEMENT BOARD AND BATTEN SIDING                                | ⑫ CEMENT BOARD PANEL ON BUTLUP WOOD COLUMN OR CORNER TRIM |
| ④ CEMENT SHAKE SIDING   | ⑬ 2x10 PAINTED WOOD TRIM ON WOOD TRIM                     |
| ⑤ 2x10 PAINTED WOOD FASCIA ON 1x4 WOOD TRIM                     | ⑭ 2x10 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING   |
| ⑥ PRE-FINISHED ALUMINUM GUTTER ON 2x2 PAINTED WOOD FASCIA       | ⑮ 2x6 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING    |
| ⑦ SEALED DOUBLE GLAZED V.C. WINDOW                              | ⑯ PRE-FINISHED METAL THROUGH WALL FLASHING                |
| ⑧ SEALED DOUBLE GLAZED V.C. WINDOW DOOR ON 2x6 WOOD TRIM AROUND |   |



CITY OF SURREY FILE NUMBER  
7916-007

NOV 08 2016  
 PLANNING COMMENTS  
 OCT 26 2016  
 REVISION FOR DP

REVISIONS:  
 CONSULTANT

CLIENT  
**INFINITY PROPERTIES**

PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**

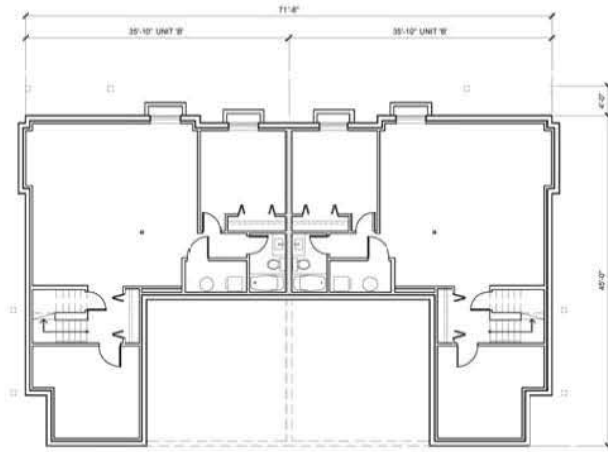
143 STREET @ HWY 16  
 SURREY, BC

DRAWING TITLE  
**BUILDING 2 ELEVATIONS**

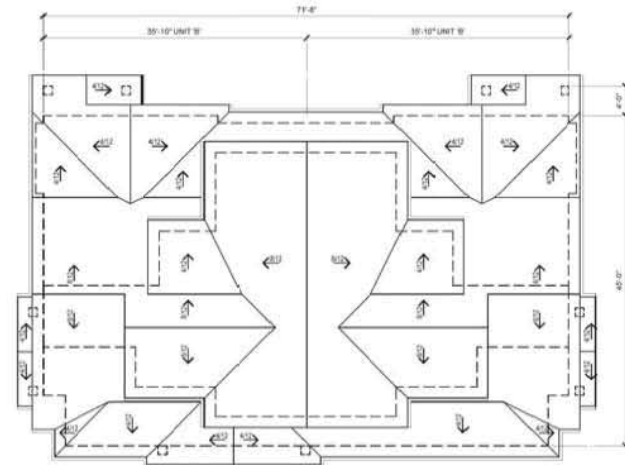
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 DWN: **NV**  
 CHK: **CR 1521**

SEAL  
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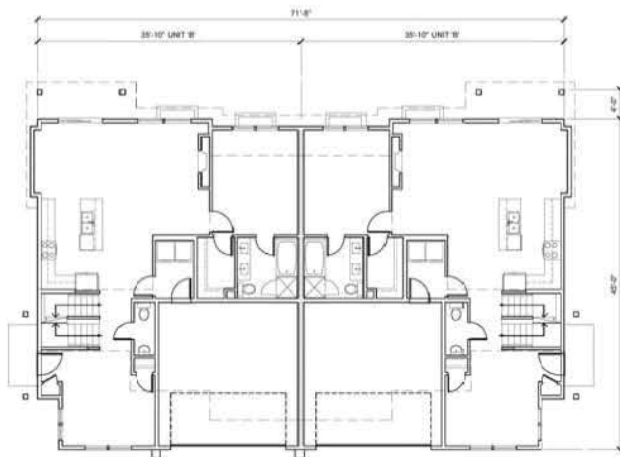
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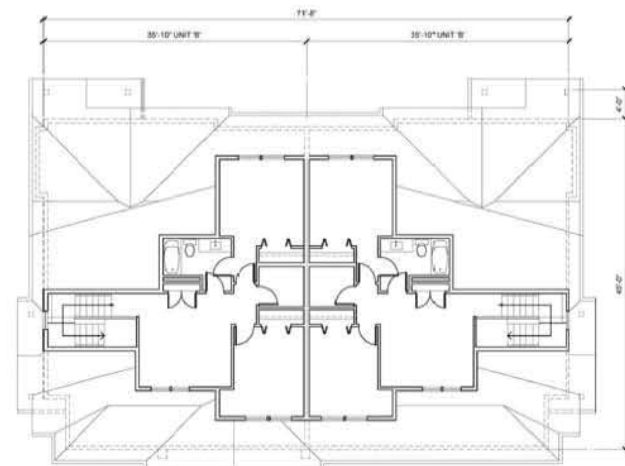
**LOWER FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 1/8"=1'-0"



**MAIN FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**UPPER FLOOR PLAN**  
SCALE: 1/8"=1'-0"

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CITY OF SURREY FILE NUMBER  
7918-0057

NOV 08 2016  
PLANNING COMMENTS  
OCT 08 2016  
REVISED FOR 2nd

REVISIONS:  
CONSULTANT

CLIENT  
**INFINITY PROPERTIES**

PROJECT  
**PROPOSED TOWNHOUSE  
DEVELOPMENT**  
148 STREET @ HWY 18  
SURREY, BC

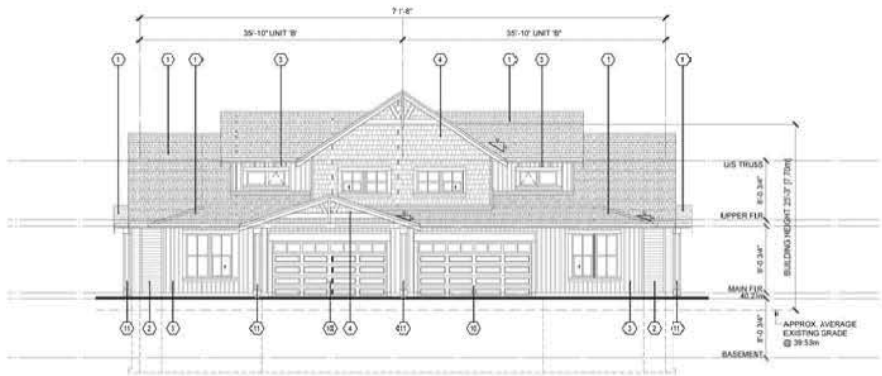
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**BUILDING 3  
PLANS**

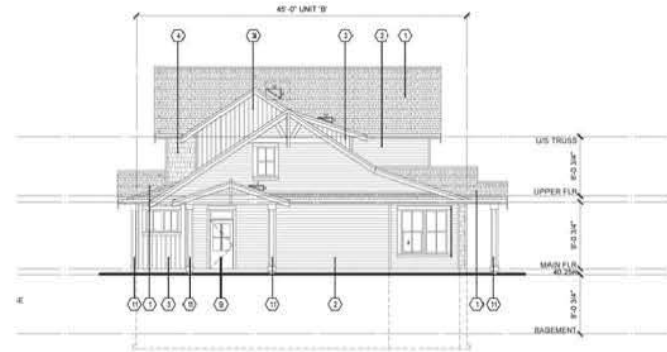
DATE: 2016-11-09 FILE NO:  
DWN: A1  
CHK: **1521**



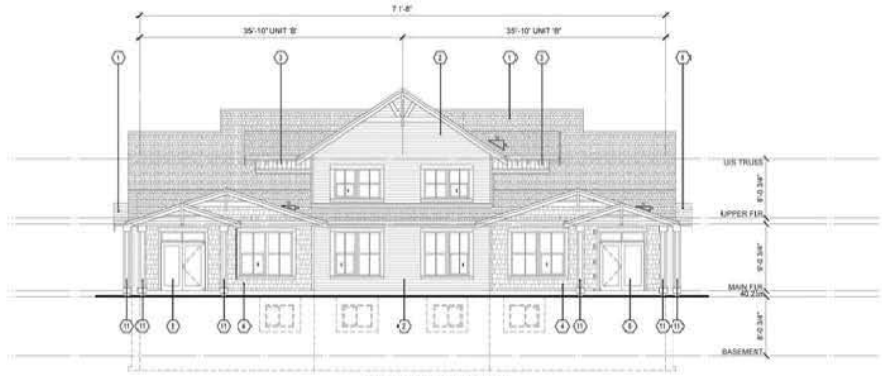
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SHEET NO  
**DP-3.01**



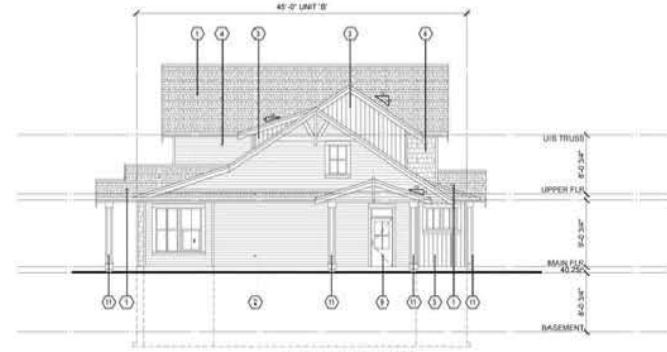
**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

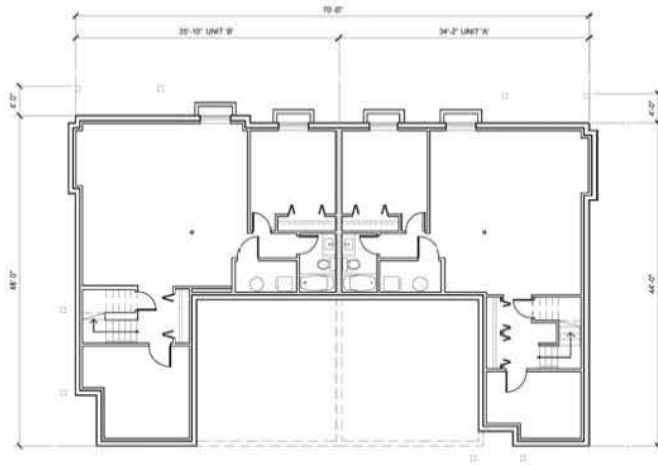


**WEST ELEVATION**  
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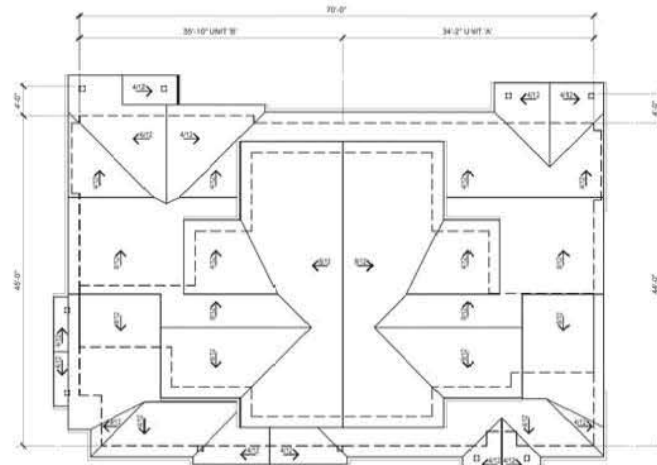
**ELEVATION MATERIAL LEGEND**

- (1) COMPOSITE ASPHALT SHINGLES
- (2) CEMENT BOARD HORIZONTAL SIDING
- (3) CEMENT BOARD AND BATTEN SIDING
- (4) CEMENT SHAKE SIDING
- (5) 2X10 PAINTED WOOD FASCIA w/ 1X4 WOOD TRIM
- (6) P-PRE FINISHED ALUMINUM GUTTER ON 2X2 PAINTED WOOD FASCIA
- (7) SEALED DOUBLE GLAZED P-V.C WINDOW
- (8) SEALED DOUBLE GLAZED P-V.C ENTRY DOOR w/ 2X6 WOOD TRIM AROUND
- (9) COMPOSITE ASPHALT SHINGLES AROUND
- (10) OVER-HEAD GARAGE DOORS
- (11) CEMENT BOARD PANEL, 2X4 BUTTUP WOOD COLUMN w/ CORNER TRIM
- (12) 2X10 PAINTED WOOD TRIM w/ P-PRE FINISHED METAL FLASHING
- (13) 2X6 PAINTED WOOD TRIM w/ P-PRE FINISHED METAL FLASHING
- (14) P-PRE FINISHED METAL THROUGH WALL FLASHING

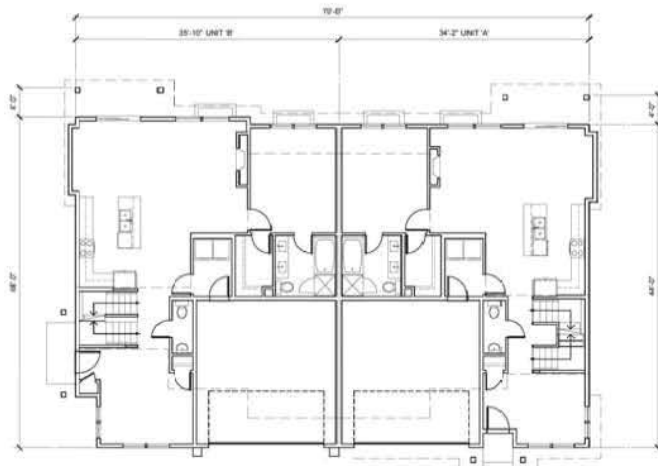




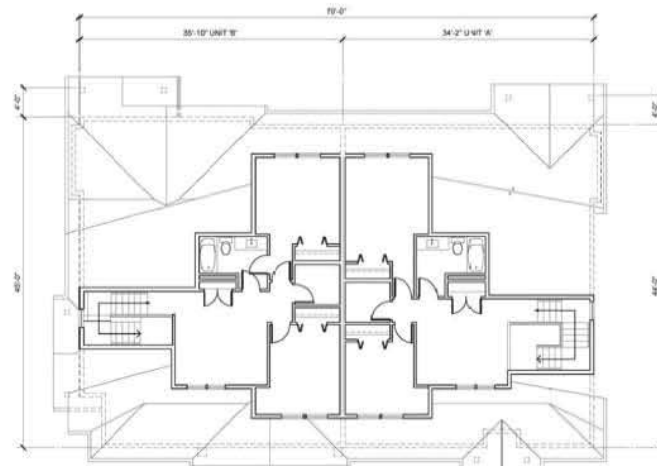
**LOWER FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 1/8"=1'-0"

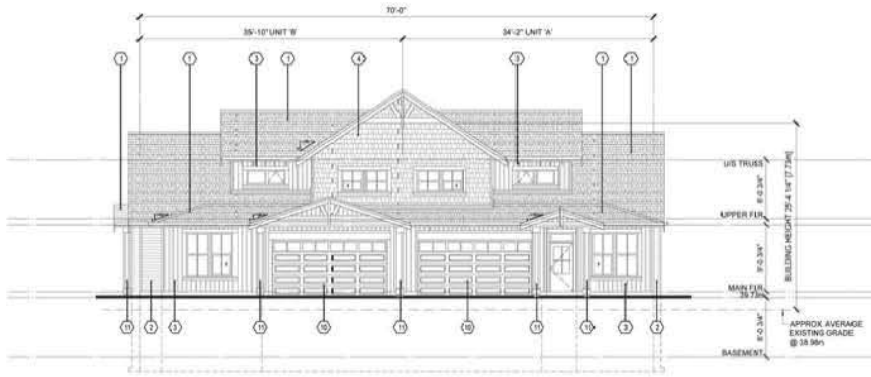


**MAIN FLOOR PLAN**  
SCALE: 1/8"=1'-0"

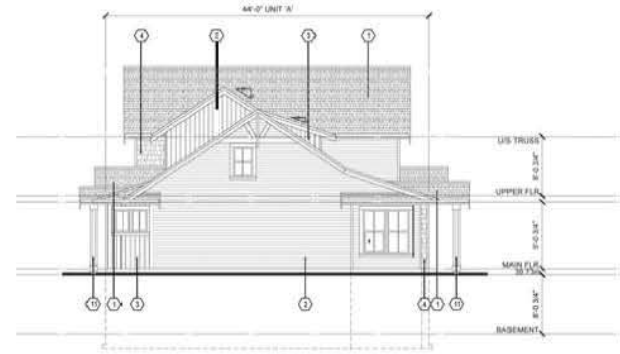


**UPPER FLOOR PLAN**  
SCALE: 1/8"=1'-0"

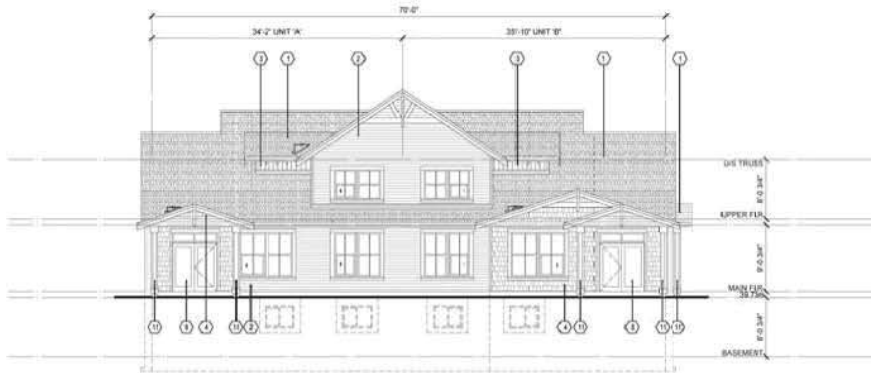




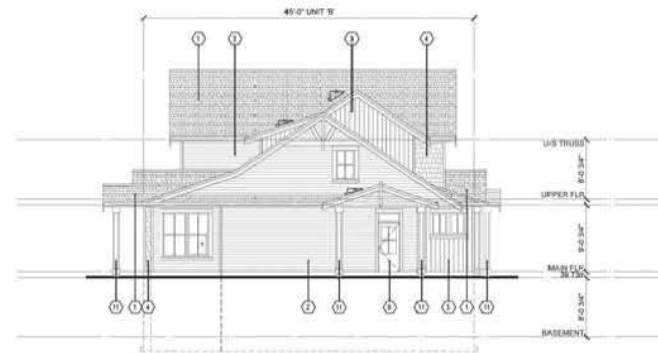
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SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



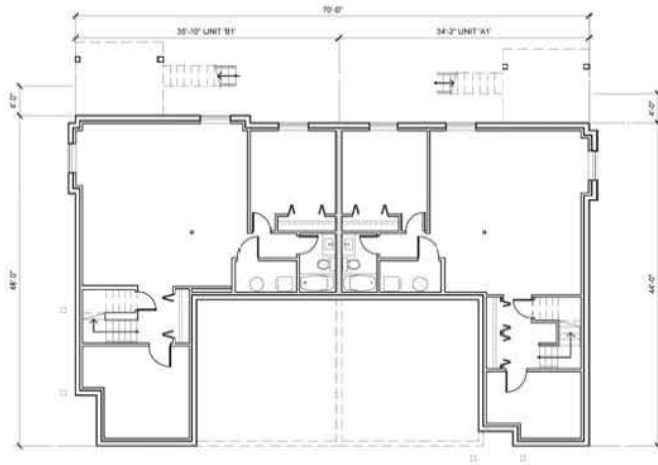
**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



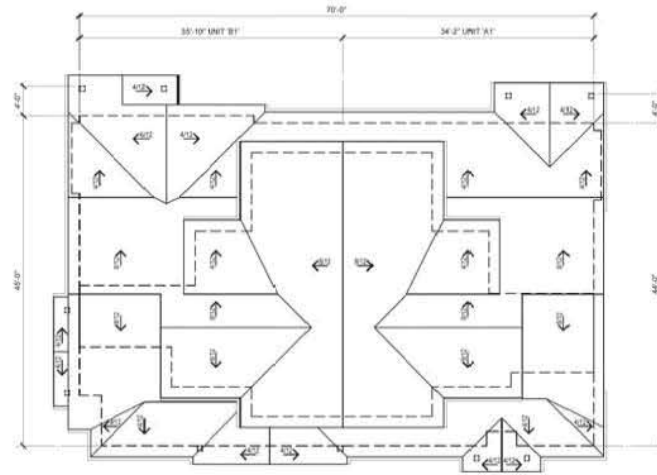
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SCALE: 1/8"=1'-0"

**ELEVATION MATERIAL LEGEND**

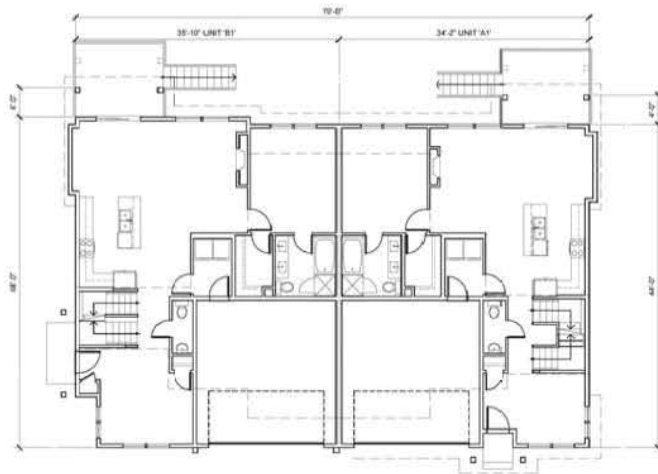
- |  |   |
|--|---|
| ① COMPOSITE ASPHALT SHINGLES   | ⑪ ENTRY DOOR (w/ 2x6 WOOD TRIM AROUND)                          |
| ② CEMENT BOARD HORIZONTAL SIDING                                     | ⑫ OVER-HEAD GARAGE DOORS  |
| ③ CEMENT BOARD AND BATTEN SIDING                                     | ⑬ CEMENT BOARD PANELS, 2x4 BR/1 UP WOOD COLUMN (w/ CORNER TRIM) |
| ④ CEMENT SHAKE SIDING  | ⑭ 2x10 PAINTED WOOD TRIM (w/ 1x4 WOOD TRIM)                     |
| ⑤ 2x10 PAINTED WOOD FASCI (w/ 1x4 WOOD TRIM)                         | ⑮ 2x6 PAINTED WOOD TRIM (w/ PRE-FINISHED METAL FLASHING)        |
| ⑥ PRE-FINISHED ALUMINUM GUTTER (w/ 2x6 PAINTED WOOD FASCI)           | ⑯ 2x6 PAINTED WOOD TRIM (w/ PRE-FINISHED METAL FLASHING)        |
| ⑦ SEALED DOUBLE GLAZED P.V.C. WINDOW                                 | ⑰ PRE-FINISHED METAL THROUGH WALL FLASHING                      |
| ⑧ SEALED DOUBLE GLAZED P.V.C. SLIDING DOOR (w/ 2x6 WOOD TRIM AROUND) |   |



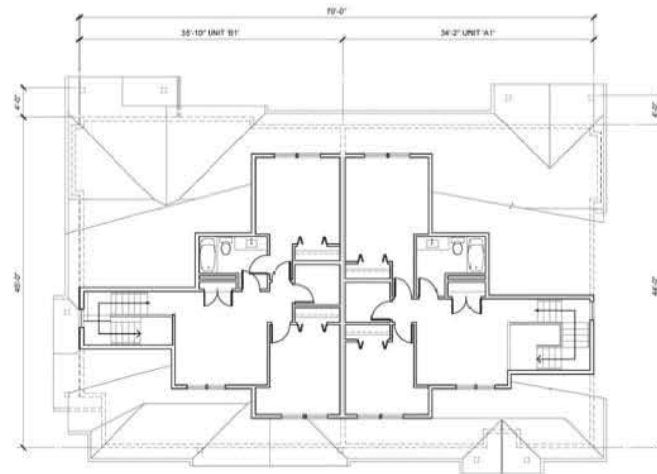
**LOWER FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 1/8"=1'-0"



**MAIN FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**UPPER FLOOR PLAN**  
SCALE: 1/8"=1'-0"

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**FOCUS**  
ARCHITECTURE  
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Suite 101 - 1525 McClellan Road  
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info@focus.ca

CITY OF SURREY FILE NUMBER  
7918-0057

NOV 28 2016  
PLANNING COMMENTS  
OCT 28 2016  
REVISED FOR 2M

REVISIONS:  
CONSULTANT

CLIENT  
**INFINITY PROPERTIES**

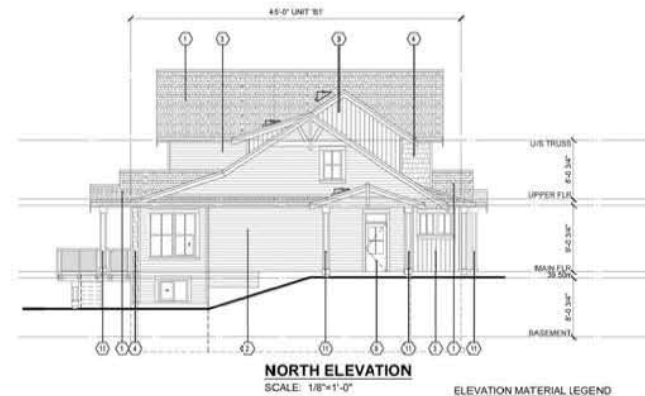
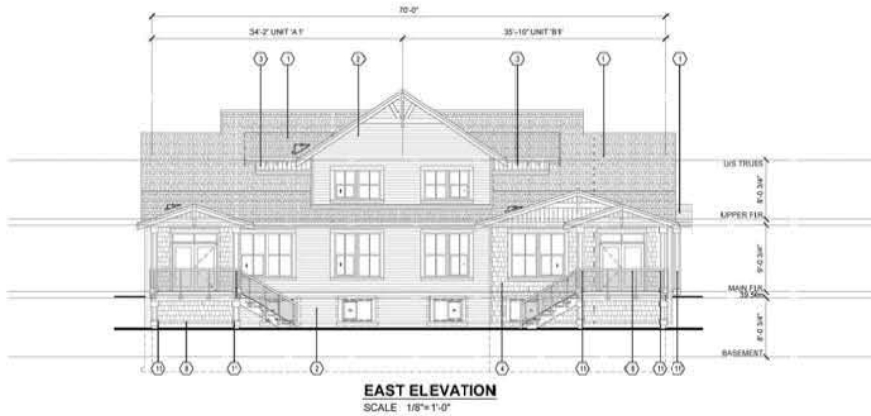
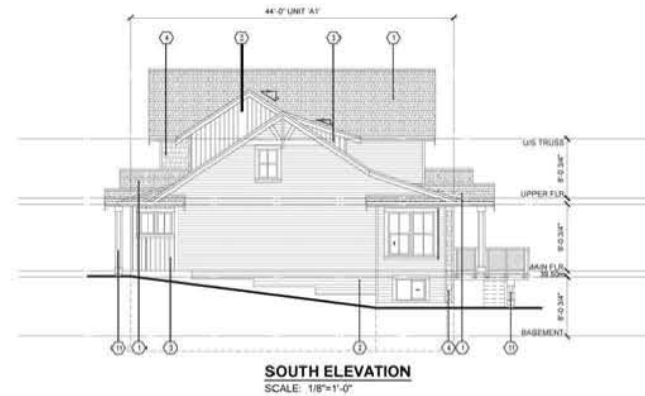
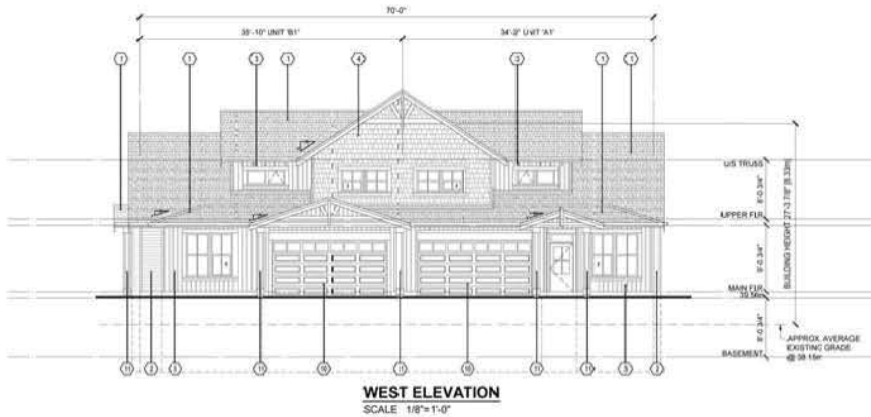
PROJECT  
**PROPOSED TOWNHOUSE  
DEVELOPMENT**  
148 STREET @ HWY 18  
SURREY, BC

DRAWING TITLE  
**BUILDING 5  
PLANS**

DATE: 2016-11-03 FILE NO:  
OWN: A1  
CHK: CR 1521

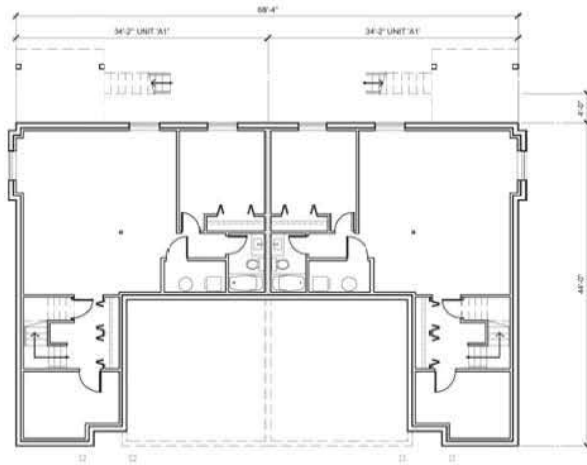


SEAL  
SHEET NO  
**DP-5.01**

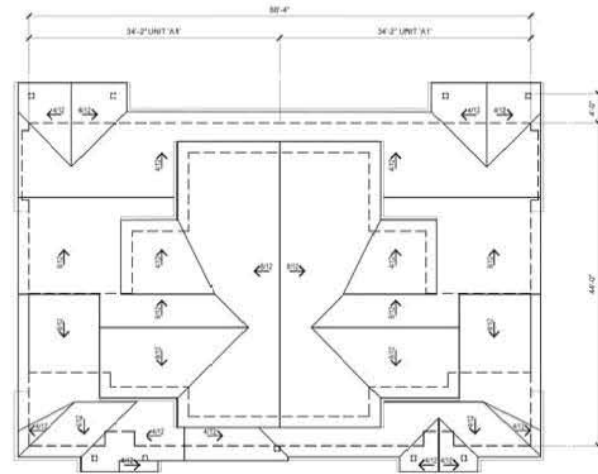


**ELEVATION MATERIAL LEGEND**

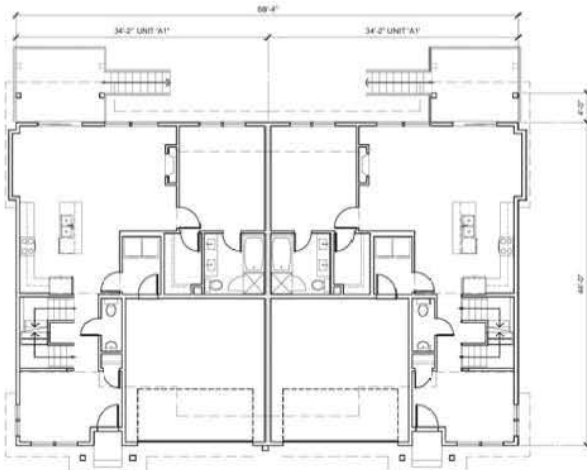
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|--|---|
| <ul style="list-style-type: none"> <li>① COMPOSITE ASPHALT SHINGLES</li> <li>② CEMENT BOARD HORIZONTAL SIDING</li> <li>③ CEMENT BOARD AND BATTEN SIDING</li> <li>④ CEMENT SHAKE SIDING</li> <li>⑤ 2x10 PAINTED WOOD FASCIA w/ 1x4 WOOD TRIM</li> <li>⑥ P-PREFINISHED ALUMINUM GUTTER ON 2x6 PAINTED WOOD FASCIA</li> <li>⑦ SEALED DOUBLE GLAZED V-C WINDOW</li> <li>⑧ SEALED DOUBLE GLAZED V-C SLIDING DOOR ON 2x6 WOOD TRIM AROUND</li> </ul> | <ul style="list-style-type: none"> <li>⑨ ENTRY DOOR ON 2x6 WOOD TRIM AROUND</li> <li>⑩ OVER-HEAD GARAGE DOOR</li> <li>⑪ CEMENT BOARD PANELS ON BUILT UP WOOD COLUMN w/ CORNER TRIM</li> <li>⑫ 2x10 PAINTED WOOD TRIM ON P-PREFINISHED METAL FLASHING</li> <li>⑬ 2x6 PAINTED WOOD TRIM ON P-PREFINISHED METAL FLASHING</li> <li>⑭ P-PREFINISHED METAL THROUGH WALL FLASHING</li> </ul> |
|--|---|



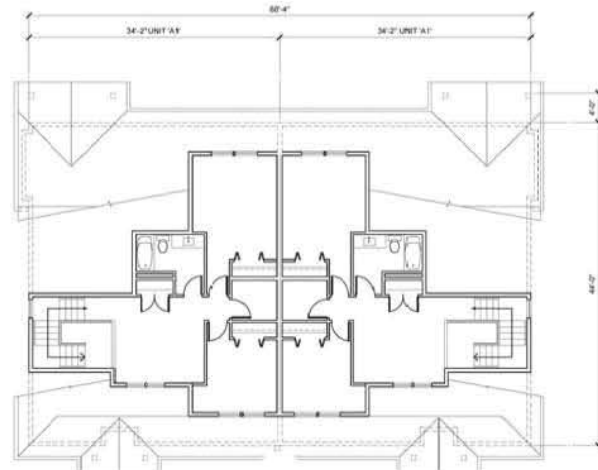
**LOWER FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 1/8"=1'-0"

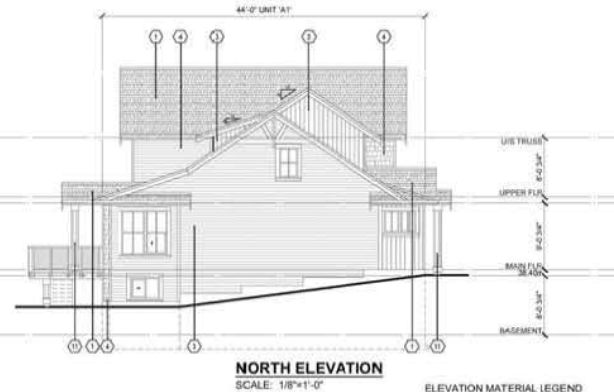
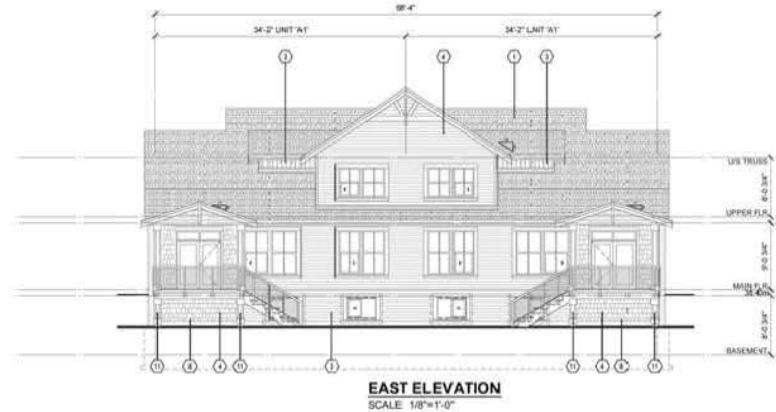
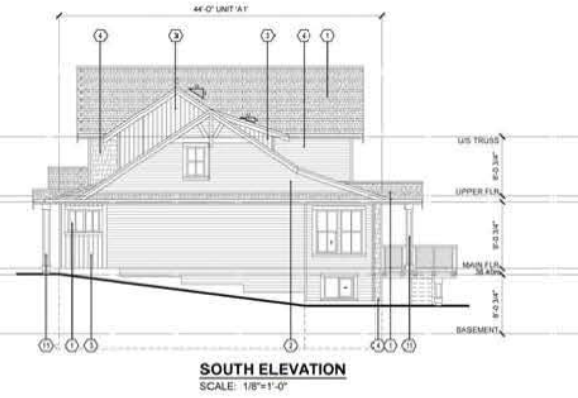
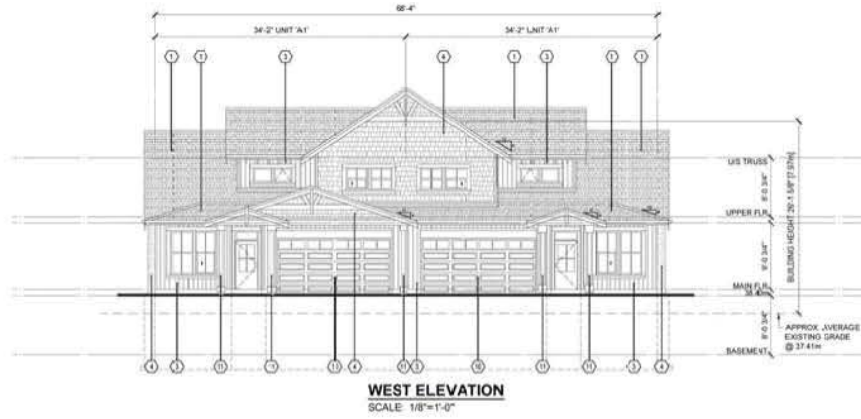


**MAIN FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**UPPER FLOOR PLAN**  
SCALE: 1/8"=1'-0"





- ELEVATION MATERIAL LEGEND**
- ① COMPOSITE ASPHALT SHINGLES
  - ② CEMENT BOARD HORIZONTAL SIDING
  - ③ CEMENT BOARD AND BATTEN SIDING
  - ④ CEMENT SHAKE SIDING
  - ⑤ 2X10 PAINTED WOOD FASCIA w/ 1X4 WOOD TRIM
  - ⑥ 1" PREFINISHED ALUMINUM GUTTER ON 2X2 PAINTED WOOD FASCIA
  - ⑦ SEALED DOUBLE GLAZED V.C. WINDOW
  - ⑧ SEALED DOUBLE GLAZED V.C. ENTRY DOOR w/ 2x6 WOOD TRIM AROUND
  - ⑨ ENTRY DOOR w/ 2x6 WOOD TRIM AROUND
  - ⑩ OVER-HEAD GARAGE DOORS
  - ⑪ CEMENT BOARD PANEL, 2x4 BUTLUP WOOD COLUMN w/ CORNER TRIM
  - ⑫ 2x10 PAINTED WOOD TRIM w/ PREFINISHED METAL FLASHING
  - ⑬ 2x6 PAINTED WOOD TRIM w/ PREFINISHED METAL FLASHING
  - ⑭ PREFINISHED METAL THROUGH WALL FLASHING

CITY OF SURREY FILE NUMBER  
7916-007

NOV 08, 2016  
 PLANNING COMMENTS  
 OCT 26, 2016  
 REVISION: 02  
 CONSULTANT

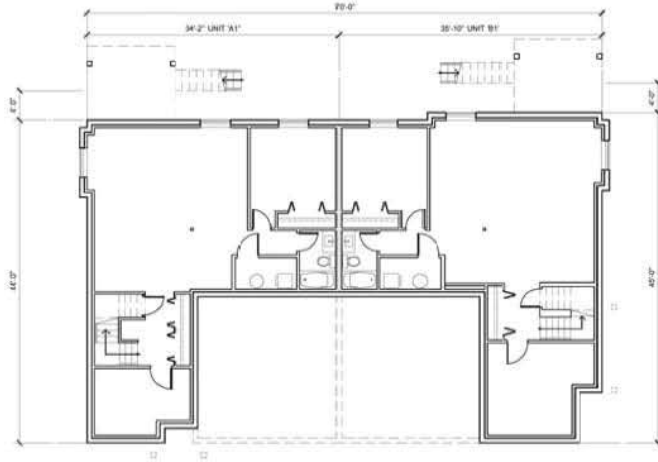
CLIENT  
**INFINITY PROPERTIES**

PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**  
 143 STREET @ HWY 16  
 SURREY, BC

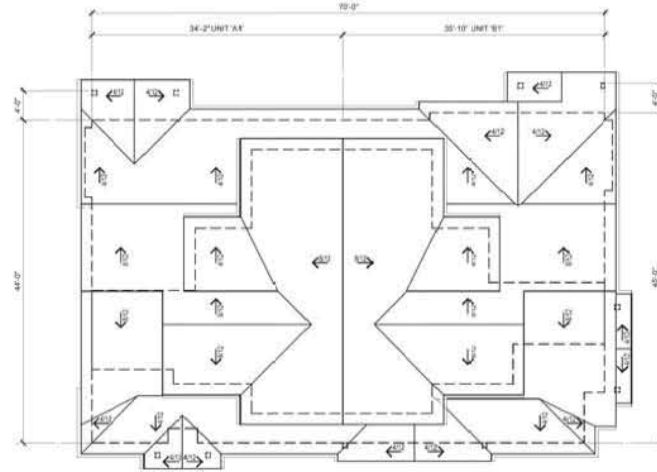
DRAWING TITLE  
**BUILDING 6 ELEVATIONS**

DATE: 2016-11-08 FILE NO  
 DWN: NV  
 CHK: CR **1521**

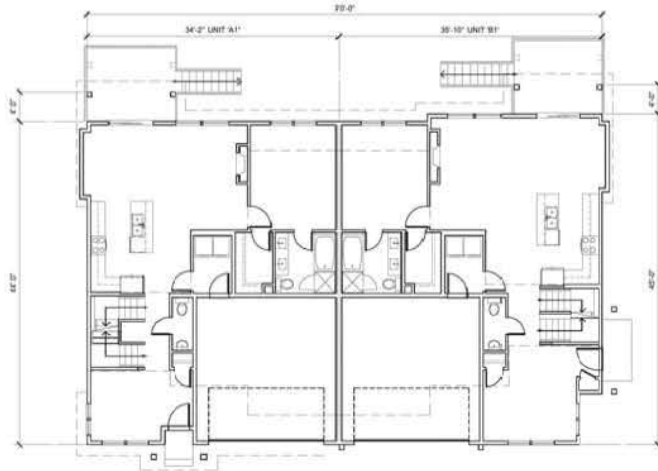
SEAL  
 SHEET NO.  
**DP-6.02**



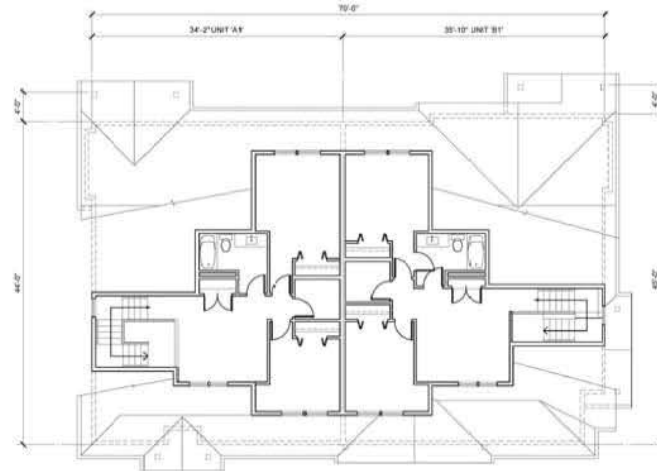
**LOWER FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 1/8"=1'-0"

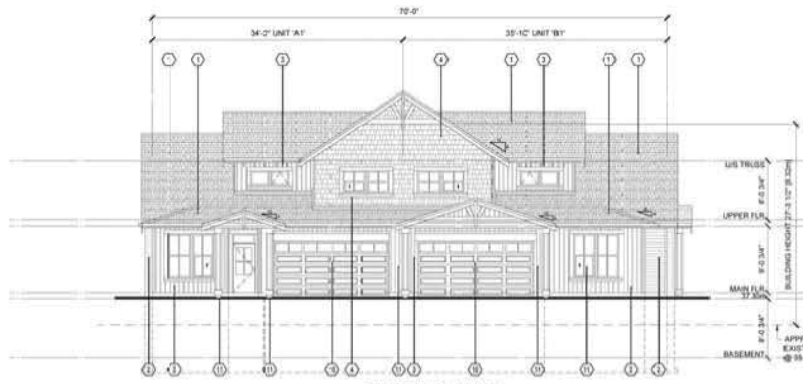


**MAIN FLOOR PLAN**  
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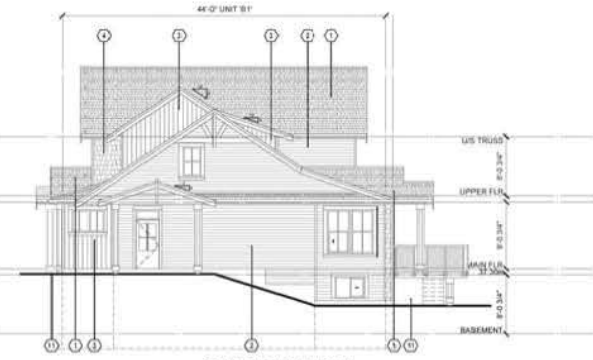


**UPPER FLOOR PLAN**  
SCALE: 1/8"=1'-0"

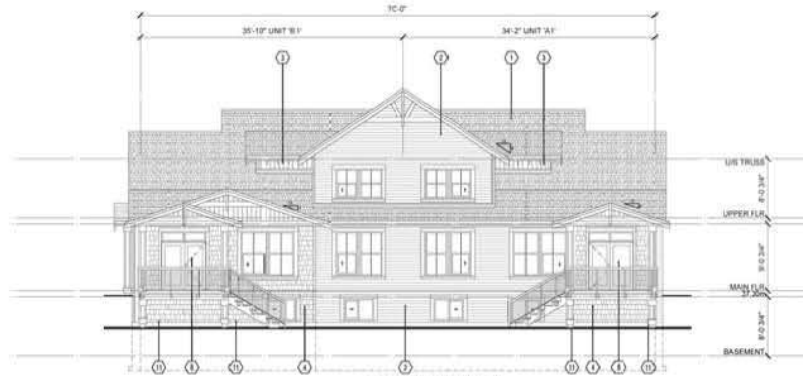




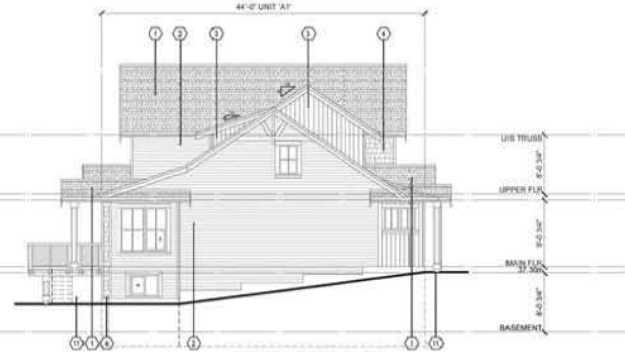
**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

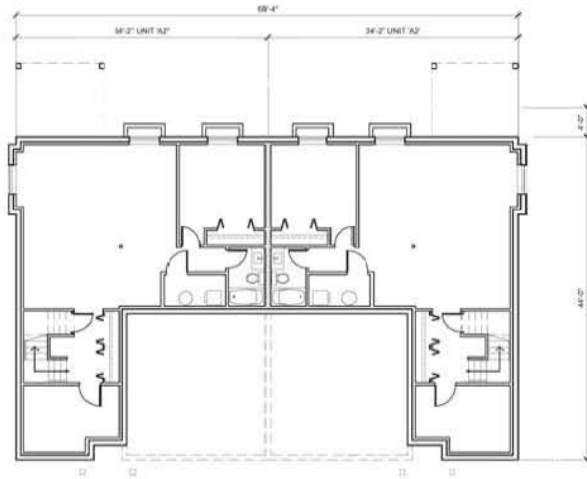


**NORTH ELEVATION**  
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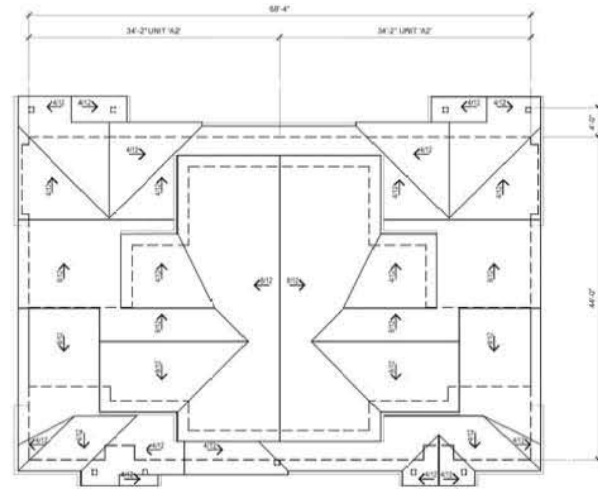
**ELEVATION MATERIAL LEGEND**

- (1) COMPOSITE ASPHALT SHINGLES
- (2) CEMENT BOARD HORIZONTAL SIDING
- (3) CEMENT BOARD AND BATTEN SIDING
- (4) CEMENT SHAKE SIDING
- (5) 2X10 PAINTED WOOD FASCIA w/ 1X4 WOOD TRIM
- (6) P-PRE FINISHED ALUMINUM GUTTER ON 2X2 PAINTED WOOD FASCIA
- (7) SEALED DOUBLE GLAZED P-V.C. WINDOW
- (8) SEALED DOUBLE GLAZED P-V.C. ENTRY DOOR w/ 2x6 WOOD TRIM AROUND
- (9) ENTRY DOOR w/ 2x6 WOOD TRIM AROUND
- (10) OVER-HEAD GARAGE DOORS
- (11) CEMENT BOARD PANEL, 2x4 BUTLUP WOOD COLUMN w/ CORNER TRIM
- (12) 2x10 PAINTED WOOD TRIM w/ PRE-FINISHED METAL FLASHING
- (13) 2x6 PAINTED WOOD TRIM w/ PRE-FINISHED METAL FLASHING
- (14) PRE-FINISHED METAL THROUGH WALL FLASHING

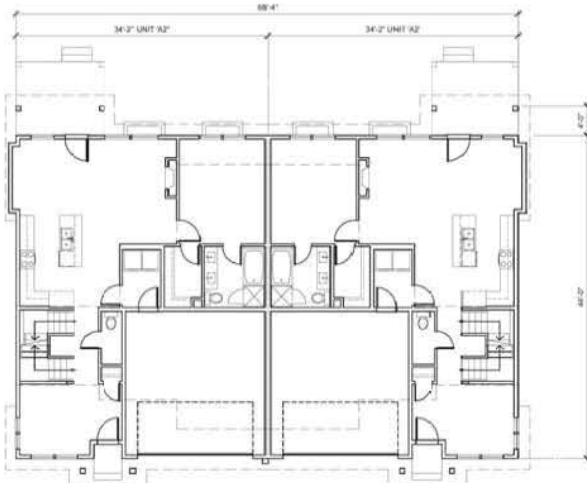




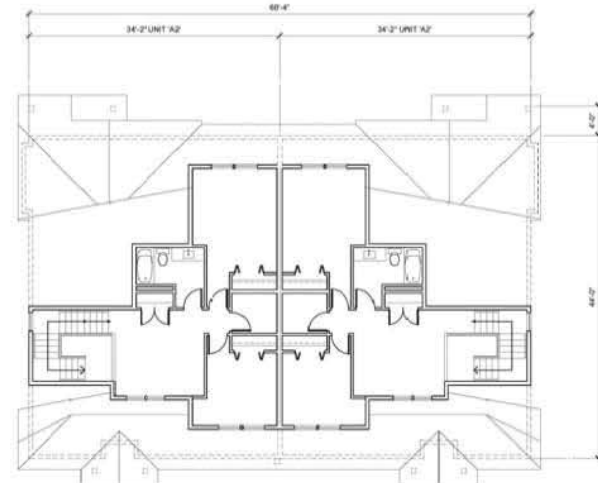
**LOWER FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 1/8"=1'-0"

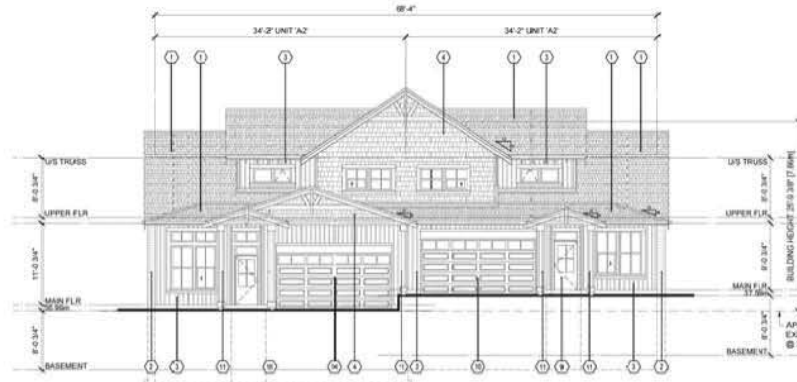


**MAIN FLOOR PLAN**  
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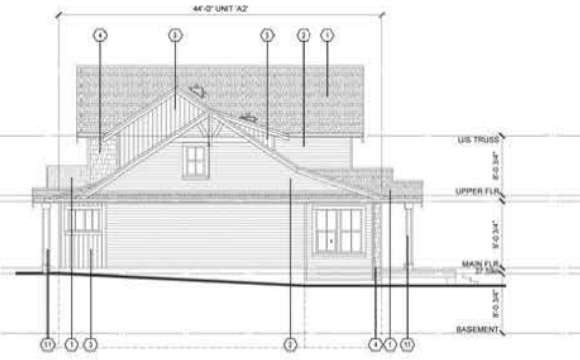


**UPPER FLOOR PLAN**  
SCALE: 1/8"=1'-0"

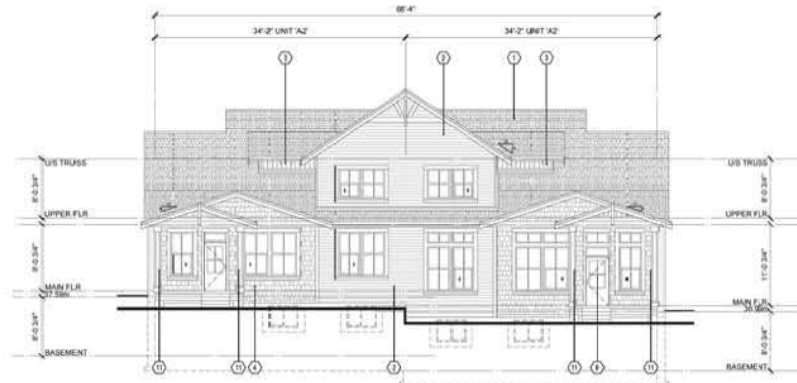




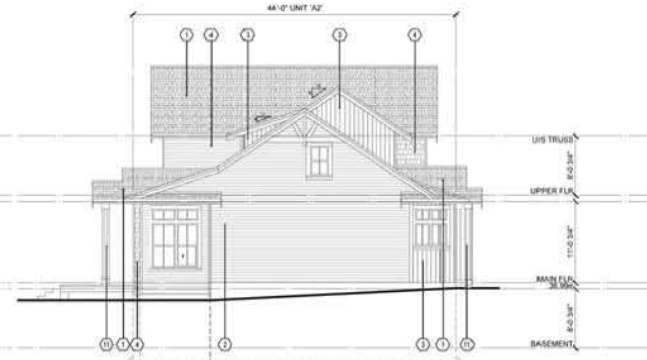
**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

**ELEVATION MATERIAL LEGEND**

- ① COMPOSITE ASPHALT SHINGLES
- ② CEMENT BOARD HORIZONTAL SIDING
- ③ CEMENT BOARD AND BATTEN SIDING
- ④ CEMENT SHAKE SIDING
- ⑤ 2X10 PAINTED WOOD FASCIA w/ 1X4 WOOD TRIM
- ⑥ P-PRE FINISHED ALUMINUM GUTTER ON 2X2 PAINTED WOOD FASCIA
- ⑦ SEALED DOUBLE GLAZED V-C WINDOW
- ⑧ SEALED DOUBLE GLAZED V-C ENTRY DOOR w/ 2x6 WOOD TRIM AROUND
- ⑨ ENTRY DOOR w/ 2x6 WOOD TRIM AROUND
- ⑩ OVER-HEAD GARAGE DOORS
- ⑪ CEMENT BOARD PANEL, 2x4 BUTTUP WOOD COLUMN w/ CORNER TRIM
- ⑫ 2x10 PAINTED WOOD TRIM w/ P-PRE FINISHED METAL FLASHING
- ⑬ 2x6 PAINTED WOOD TRIM w/ P-PRE FINISHED METAL FLASHING
- ⑭ P-PRE FINISHED METAL THROUGH WALL FLASHING

CITY OF SURREY FILE NUMBER  
7918-007

NOV 08, 2016  
PLANNING COMMENTS

OCT 26, 2016  
SUBMIT FOR DP

REVISIONS:  
CONSULTANT

CLIENT  
**INFINITY PROPERTIES**

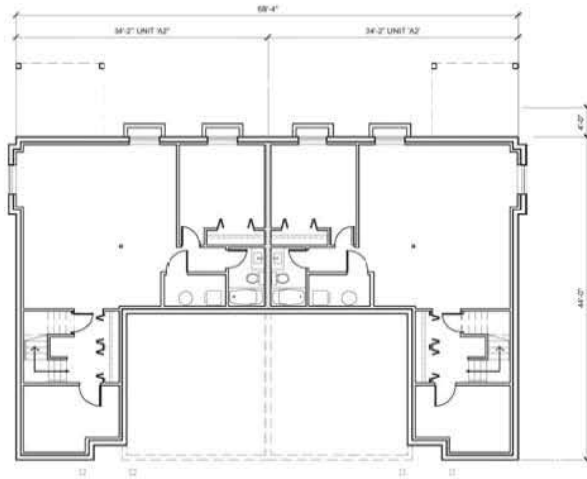
PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**

143 STREET @ HWY 18  
SURREY, BC

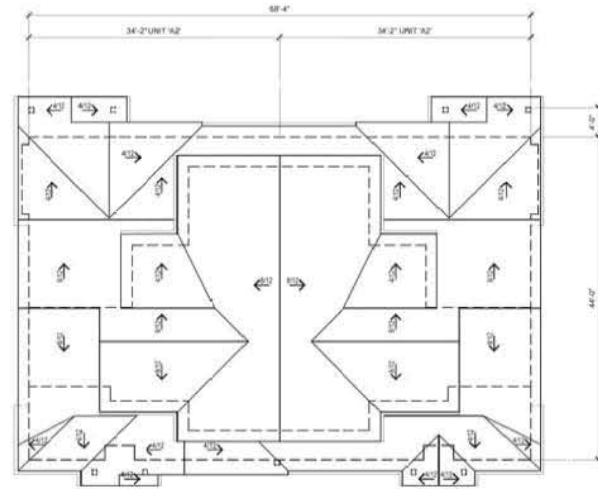
DRAWING TITLE  
**BUILDING 8 ELEVATIONS**

DATE: 2016-11-08 FILE NO:  
DWN: NV  
CHK: ER **1521**

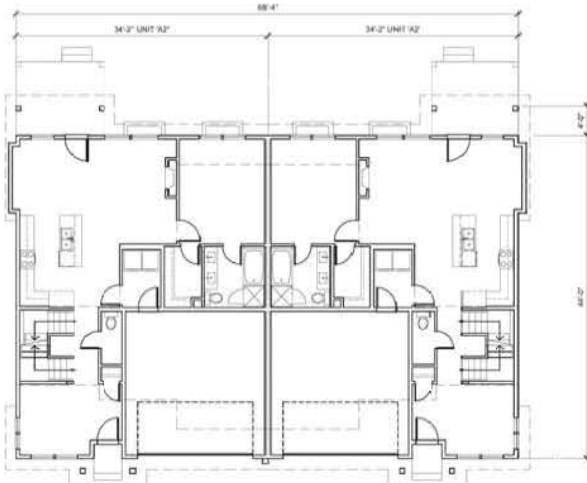
SCALE:  
SHEET NO.



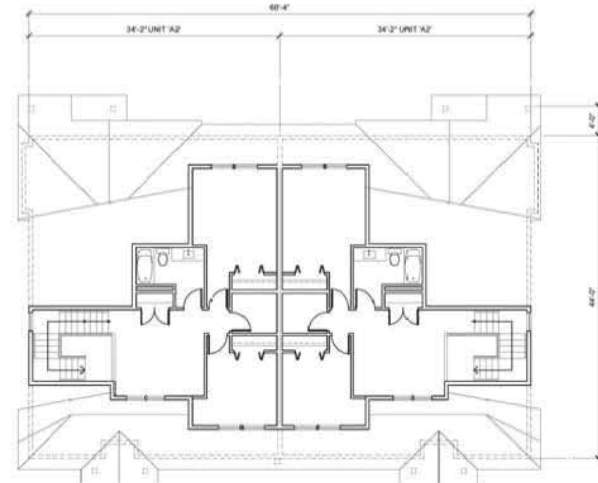
**LOWER FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 1/8"=1'-0"

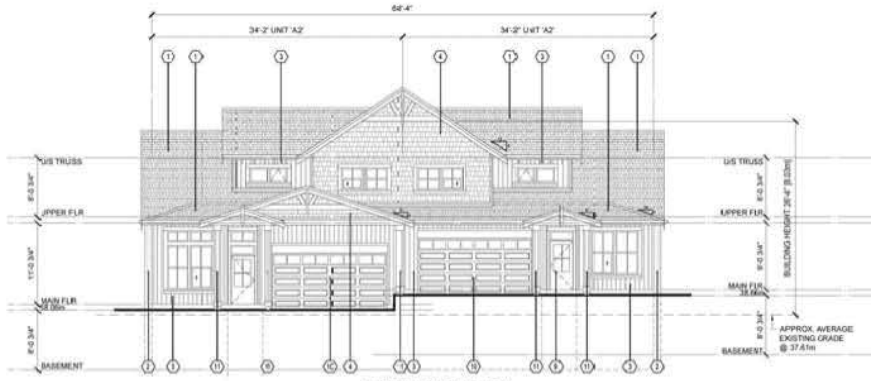


**MAIN FLOOR PLAN**  
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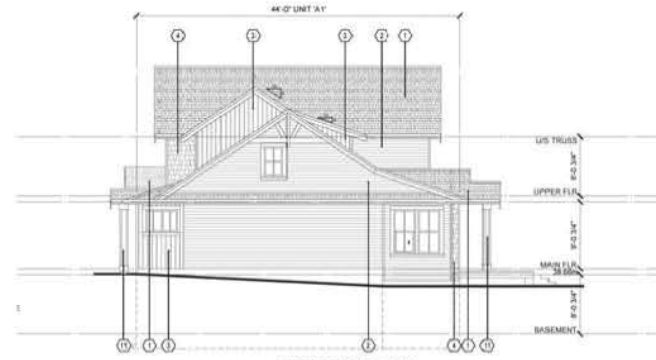


**UPPER FLOOR PLAN**  
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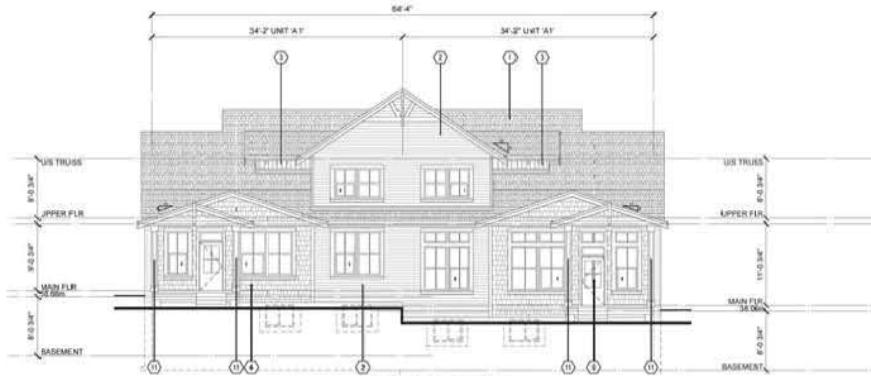




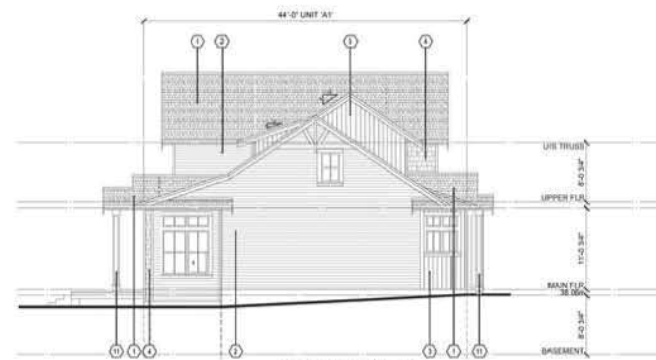
**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

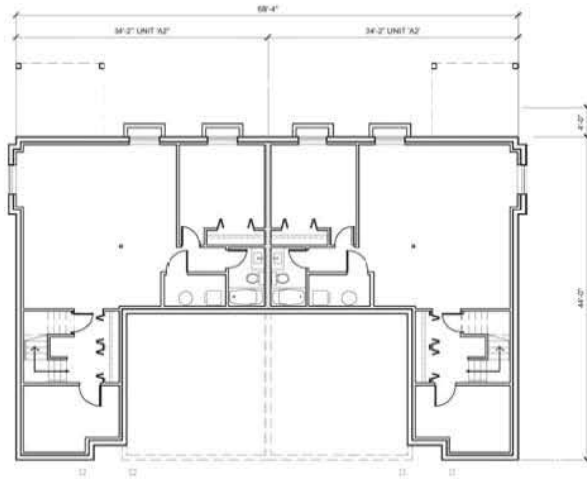


**SOUTH ELEVATION**  
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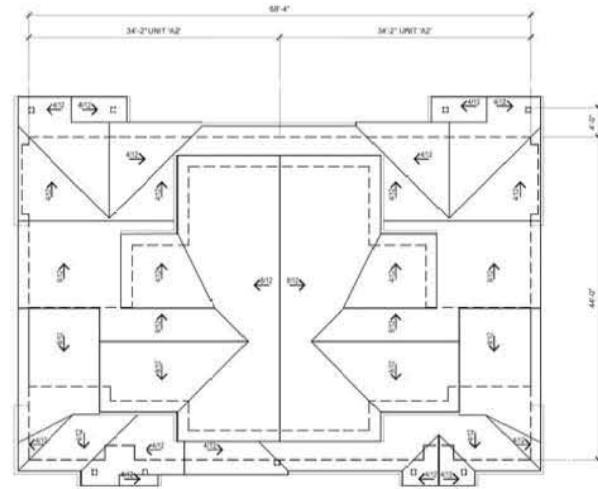


**EAST ELEVATION**  
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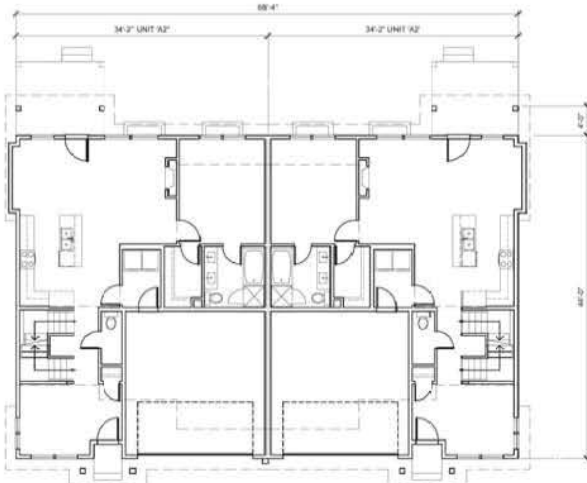
- ELEVATION MATERIAL LEGEND**
- ① COMPOSITE ASPHALT SHINGLES
  - ② CEMENT BOARD HORIZONTAL SIDING
  - ③ CEMENT BOARD AND BATTEN SIDING
  - ④ CEMENT SHAKE SIDING
  - ⑤ 2X10 PAINTED WOOD FASCIAs ON 1X4 WOOD TRIM
  - ⑥ PRE-FINISHED ALUMINUM GUTTER ON 2X3 PAINTED WOOD FASCIAs
  - ⑦ SEALED DOUBLE GLAZED P.V.C. WINDOW
  - ⑧ SEALED DOUBLE GLAZED P.V.C. ENTRY DOOR ON 2X6 WOOD TRIM AROUND
  - ⑨ OVER-HEAD GARAGE DOORS
  - ⑩ CEMENT BOARD PANEL ON BUTT LIP WOOD COLUMN ON CORNER TRIM
  - ⑪ 2X10 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING
  - ⑫ 2x6 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING
  - ⑬ PRE-FINISHED METAL THROUGH WALL FLASHING



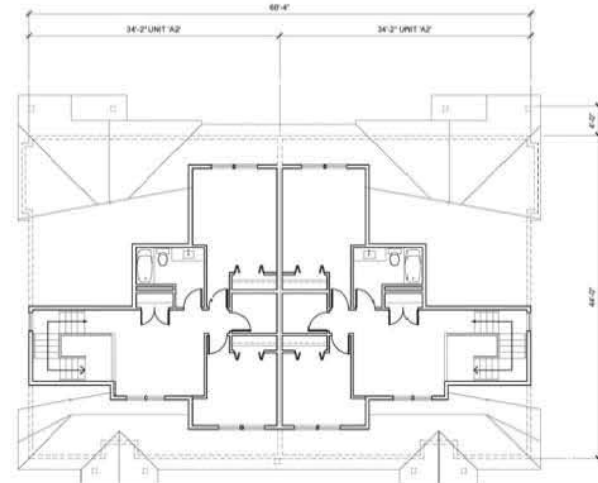
**LOWER FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 1/8"=1'-0"

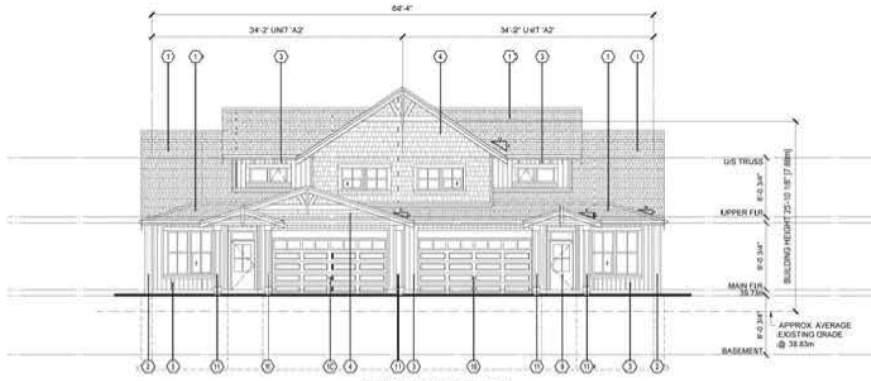


**MAIN FLOOR PLAN**  
SCALE: 1/8"=1'-0"

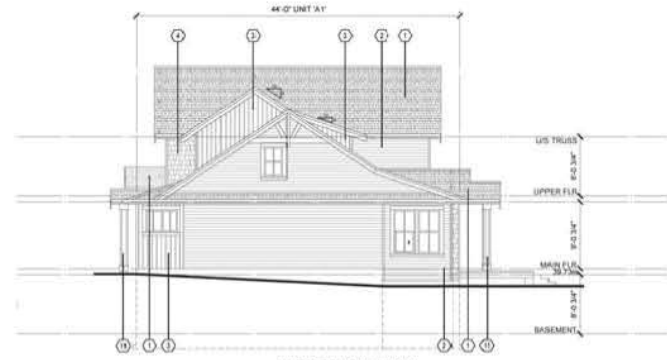


**UPPER FLOOR PLAN**  
SCALE: 1/8"=1'-0"

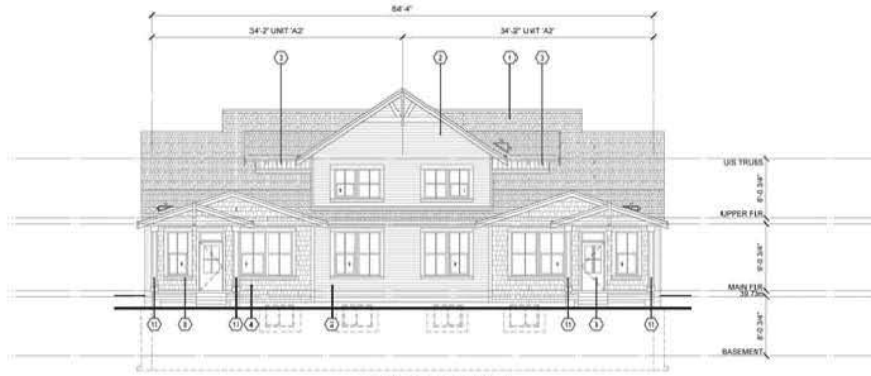




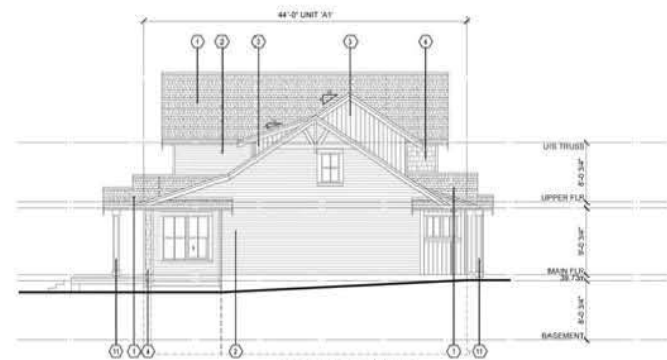
**NORTH ELEVATION**  
 SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
 SCALE: 1/8"=1'-0"



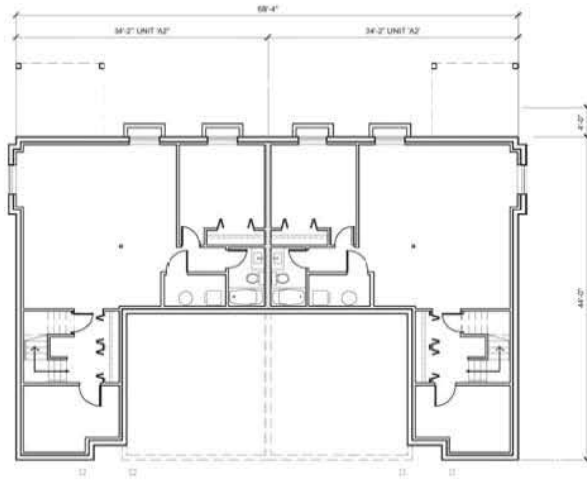
**SOUTH ELEVATION**  
 SCALE: 1/8"=1'-0"



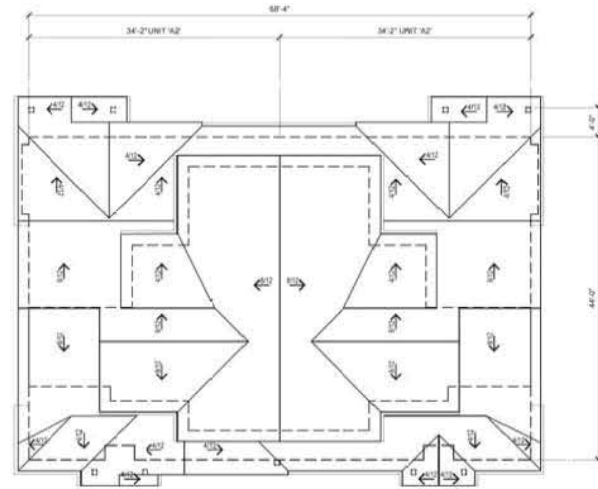
**EAST ELEVATION**  
 SCALE: 1/8"=1'-0"

**ELEVATION MATERIAL LEGEND**

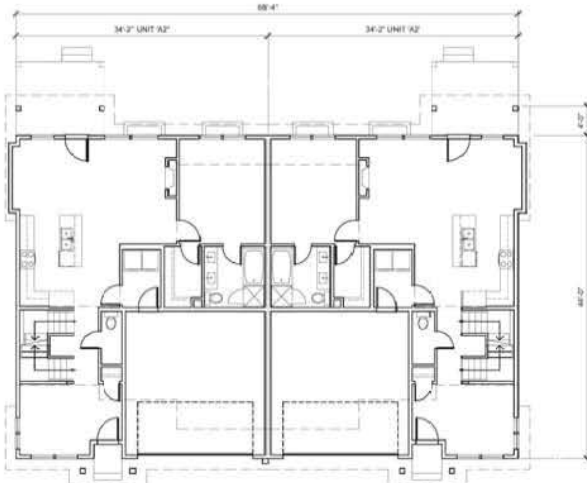
- ① COMPOSITE ASPHALT SHINGLES
- ② CEMENT BOARD HORIZONTAL SIDING
- ③ CEMENT BOARD AND BATTEN SIDING
- ④ CEMENT SHAKE SIDING
- ⑤ 2X10 PAINTED WOOD FASCIAs ON 1X4 WOOD TRIM
- ⑥ PREFINISHED ALUMINUM GUTTER ON 2X8 PAINTED WOOD FASCIAs
- ⑦ SEALED DOUBLE GLAZED V.C. WINDOW
- ⑧ SEALED DOUBLE GLAZED V.C. ENTRY DOOR ON 2X6 WOOD TRIM AROUND
- ⑨ ENTRY DOOR ON 2x6 WOOD TRIM AROUND
- ⑩ OVER-HEAD GARAGE DOORS
- ⑪ CEMENT BOARD PANEL ON BUILT-UP WOOD COLUMN ON CORNER TRIM
- ⑫ 2x10 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING
- ⑬ 2x6 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING
- ⑭ PREFINISHED METAL THROUGH WALL FLASHING



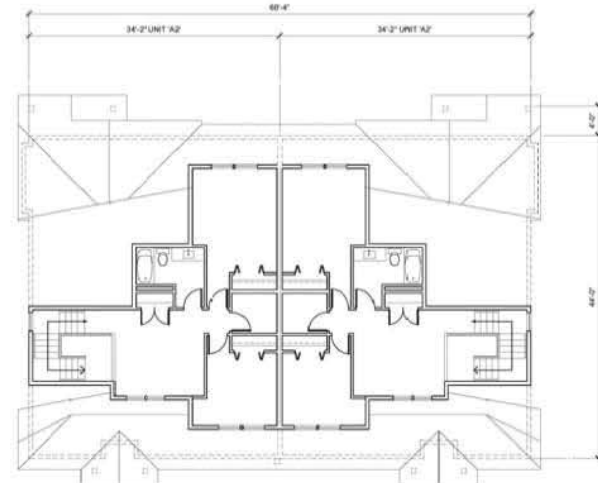
**LOWER FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 1/8"=1'-0"

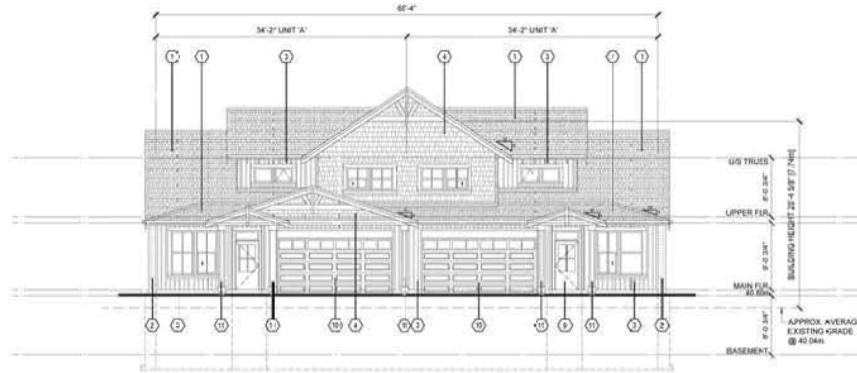


**MAIN FLOOR PLAN**  
SCALE: 1/8"=1'-0"

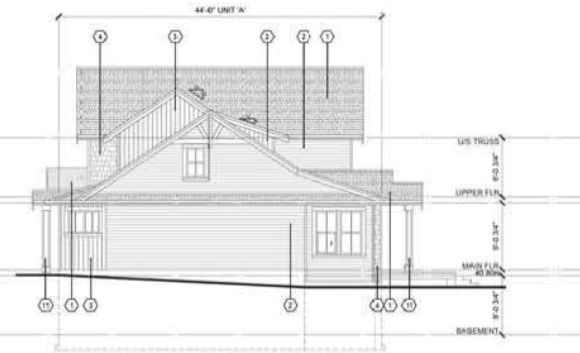


**UPPER FLOOR PLAN**  
SCALE: 1/8"=1'-0"

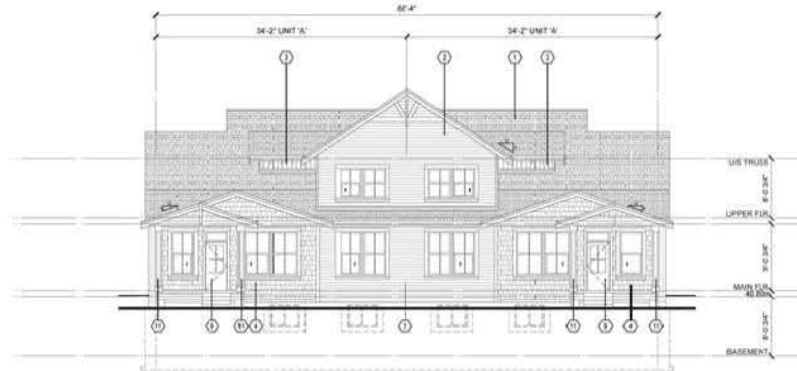




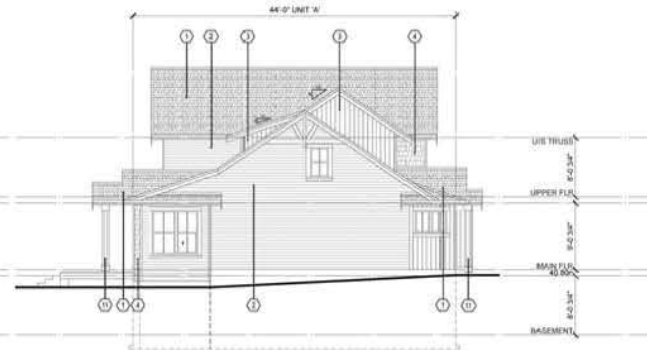
**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

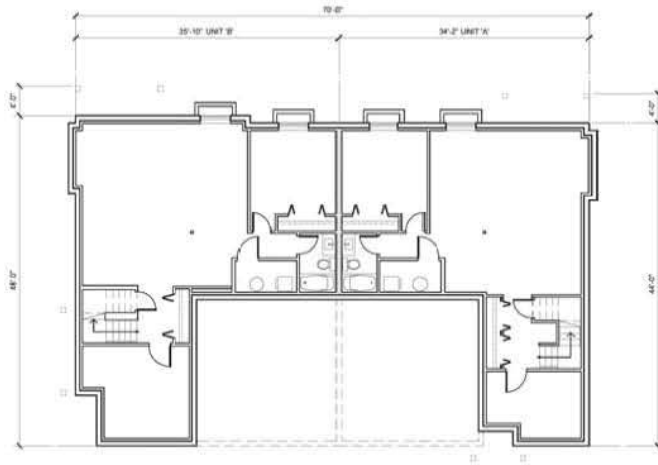


**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

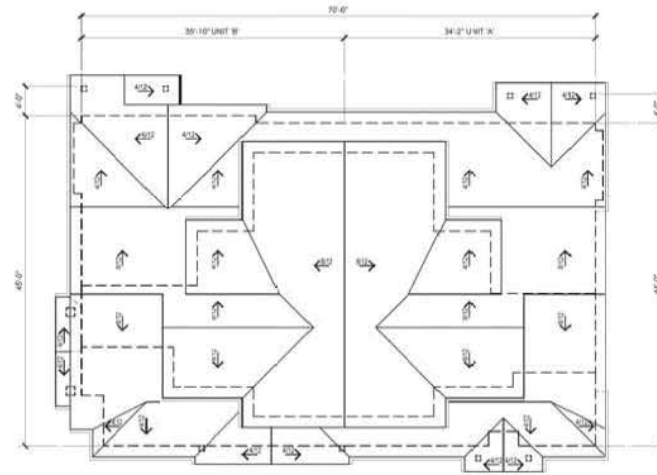
**ELEVATION MATERIAL LEGEND**

- (1) COMPOSITE ASPHALT SHINGLES
- (2) CEMENT BOARD HORIZONTAL SIDING
- (3) CEMENT BOARD AND BATTEN SIDING
- (4) CEMENT SHAKE SIDING
- (5) 2X10 PAINTED WOOD FASCIA w/ 1X4 WOOD TRIM
- (6) PRE-FINISHED ALUMINUM GUTTER ON 2X2 PAINTED WOOD FASCIA
- (7) SEALED DOUBLE GLAZED V.C. WINDOW
- (8) SEALED DOUBLE GLAZED V.C. GARDEN DOOR w/ 2X6 WOOD TRIM AROUND
- (9) ENTRY DOOR w/ 2X6 WOOD TRIM AROUND
- (10) OVER-HEAD GARAGE DOORS
- (11) CEMENT BOARD PANEL, 2X4 BUTTUP WOOD COLUMN w/ CORNER TRIM
- (12) 2X10 PAINTED WOOD TRIM w/ PRE-FINISHED METAL FLASHING
- (13) 2X6 PAINTED WOOD TRIM w/ PRE-FINISHED METAL FLASHING
- (14) PRE-FINISHED METAL THROUGH WALL FLASHING

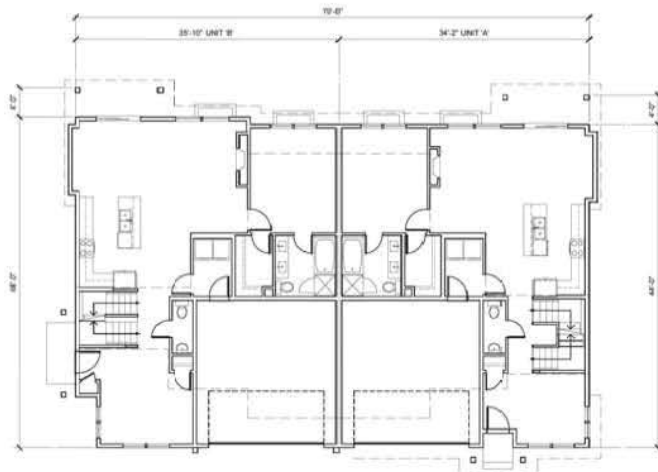




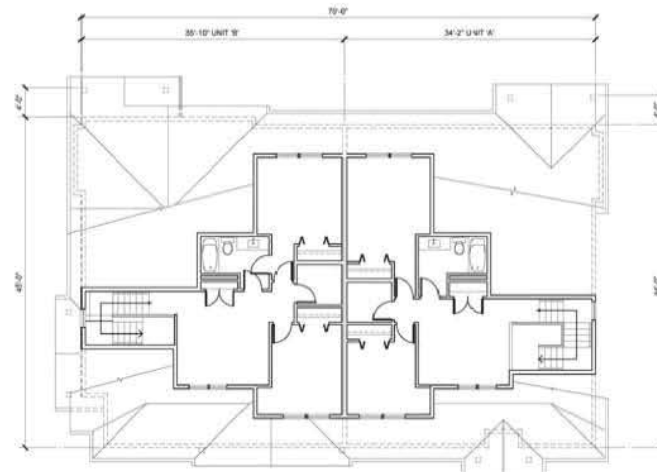
**LOWER FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 1/8"=1'-0"



**MAIN FLOOR PLAN**  
SCALE: 1/8"=1'-0"

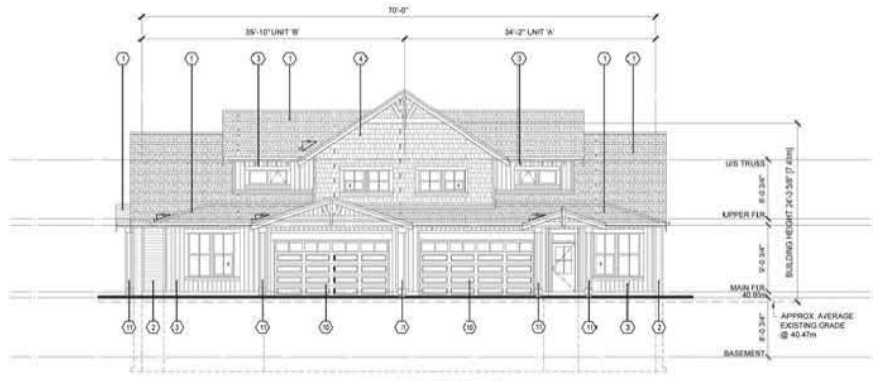


**UPPER FLOOR PLAN**  
SCALE: 1/8"=1'-0"

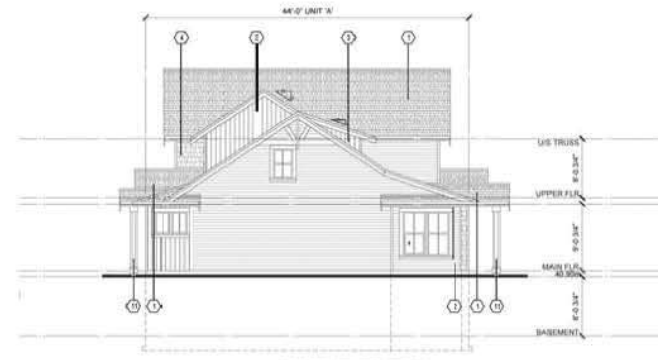


Model Number: 2016-11-08 DP-12.02

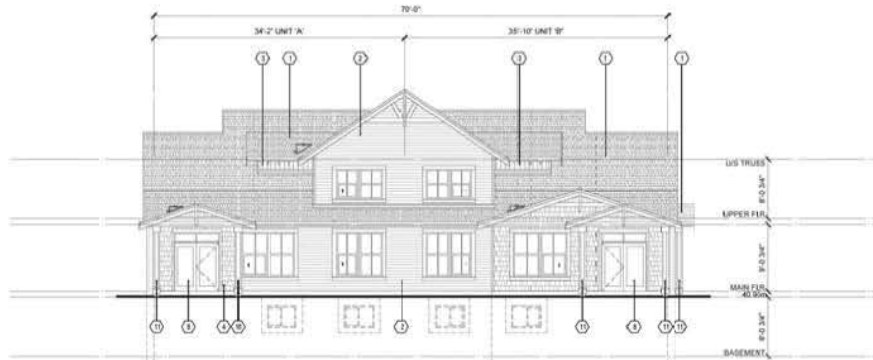
2016-11-08 10:43:10 AM C:\Users\j\Documents\Building 12 Elevation.dwg User: j



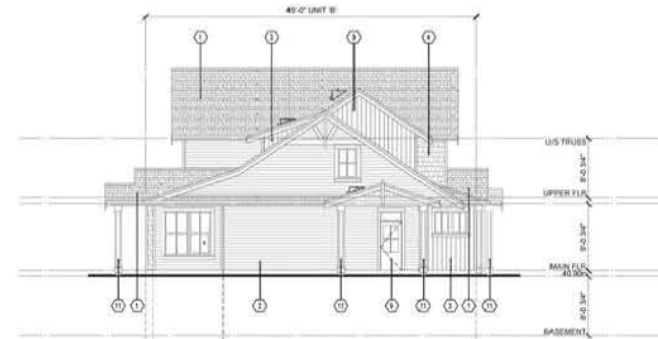
**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

- ELEVATION MATERIAL LEGEND**
- ① COMPOSITE ASPHALT SHINGLES
  - ② CEMENT BOARD HORIZONTAL SIDING
  - ③ CEMENT BOARD AND BATTEN SIDING
  - ④ CEMENT SHAKE SIDING
  - ⑤ 2x12 PAINTED WOOD FASCI (w/ 1x4 WOOD TRIM)
  - ⑥ 2" FINISHED ALUMINUM GUTTER ON 2x6 PAINTED WOOD FASCIA
  - ⑦ SEALED DOUBLE GLAZED P.V.C. WINDOW
  - ⑧ SEALED DOUBLE GLAZED P.V.C. SLIDING DOOR (w/ 2x6 WOOD TRIM AROUND)
  - ⑨ ENTRY DOOR (w/ 2x6 WOOD TRIM AROUND)
  - ⑩ OVER-HEAD GARAGE DOORS
  - ⑪ CEMENT BOARD PANELS, ON BR/FLUP WOOD COLUMN (w/ CORNER TRIM)
  - ⑫ 2x12 PAINTED WOOD TRIM (w/ PRE-FINISHED METAL FLASHING)
  - ⑬ 2x6 PAINTED WOOD TRIM (w/ PRE-FINISHED METAL FLASHING)
  - ⑭ PRE-FINISHED METAL THROUGH WALL FLASHING

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CITY OF SURREY FILE NUMBER  
7918-0057

NOV. 08. 2016  
PLANNING COMMENTS  
OCT. 08. 2016  
REVISED FOR DP  
REVISIONS  
CONSULTANT

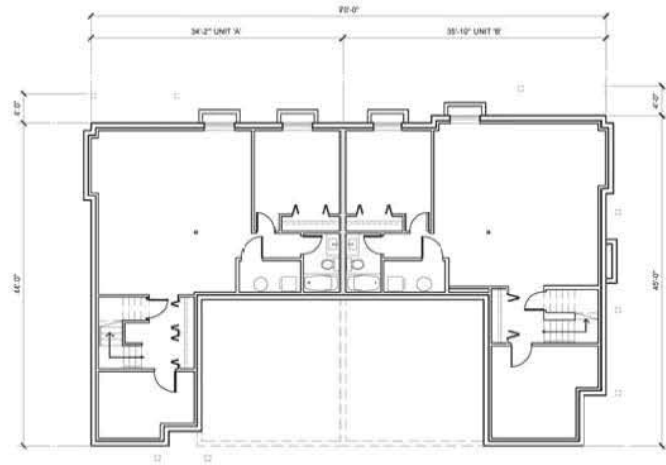
CLIENT  
**INFINITY PROPERTIES**

PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**  
148 STREET @ HWY 18  
SURREY, BC

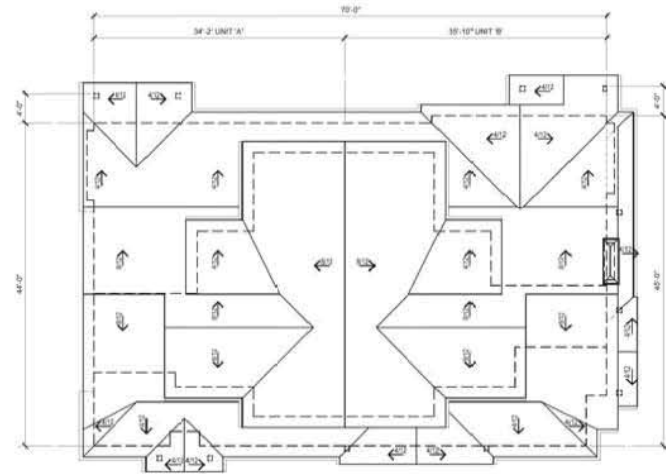
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**BUILDING 12 ELEVATIONS**

DATE: 2016-11-08 FILE NO:  
DWN: IN  
CHK: 1521

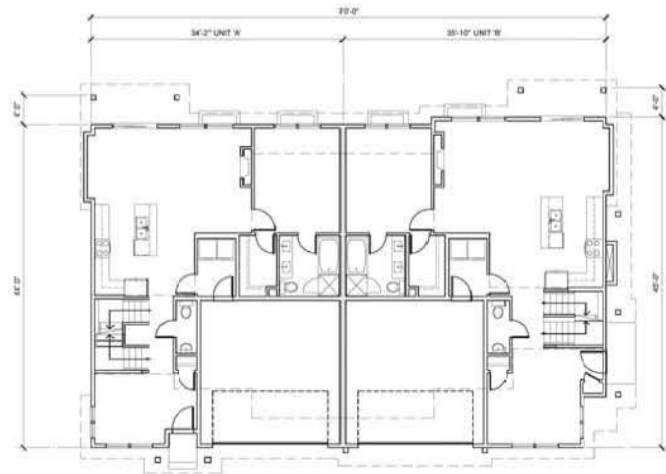
SEAL  
SHEET NO.  
**DP-12.02**



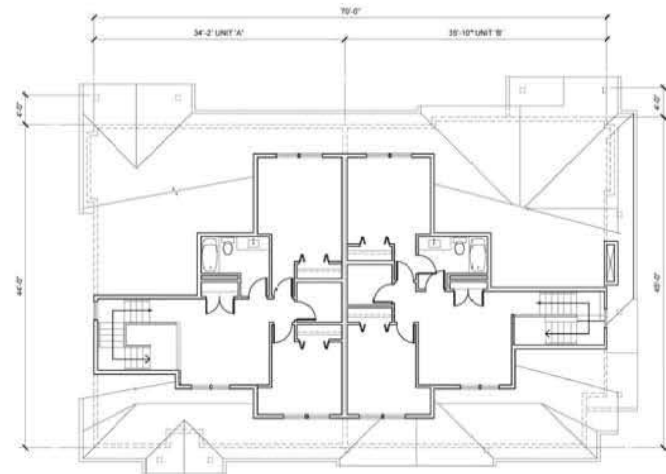
**LOWER FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 1/8"=1'-0"



**MAIN FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**UPPER FLOOR PLAN**  
SCALE: 1/8"=1'-0"

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CITY OF SURREY FILE NUMBER  
7918-0057

NOV 08 2016  
PLANNING COMMENTS

OCT 08 2016  
REVISED FOR 2nd

REVISIONS:  
CONSULTANT

CLIENT  
**INFINITY PROPERTIES**

PROJECT  
**PROPOSED TOWNHOUSE  
DEVELOPMENT**  
148 STREET @ HWY 18  
SURREY, BC

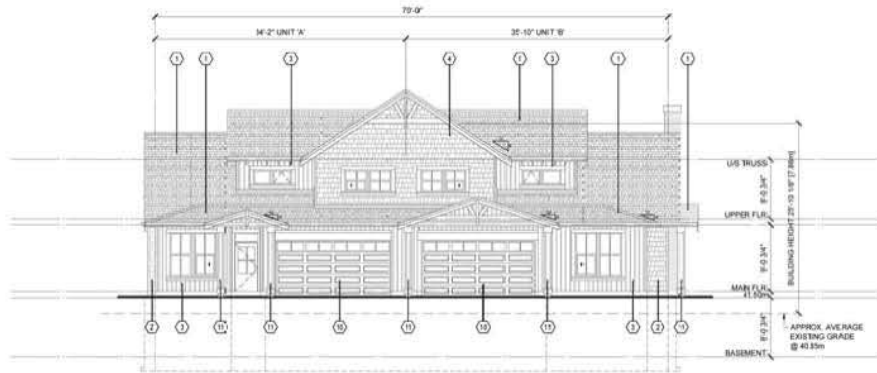
DRAWING TITLE

**BUILDING 13  
PLANS**

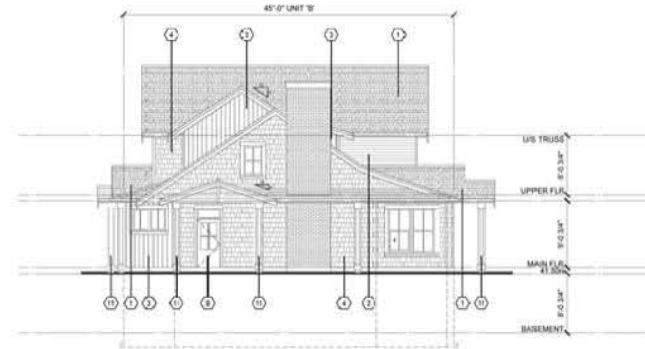
DATE: 2016-11-03 FILE NO:  
DWN: A1  
CHK: **1521**



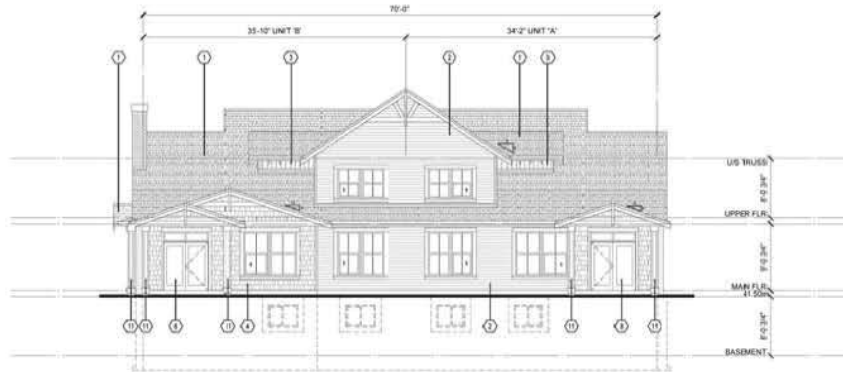
SEAL  
SHEET NO.  
**DP-13.01**



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



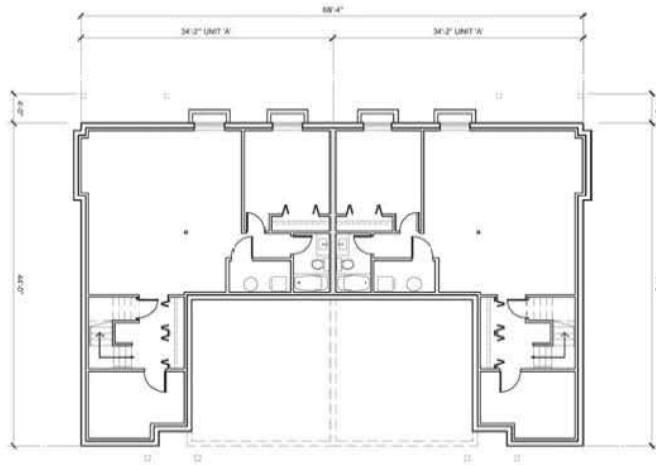
**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



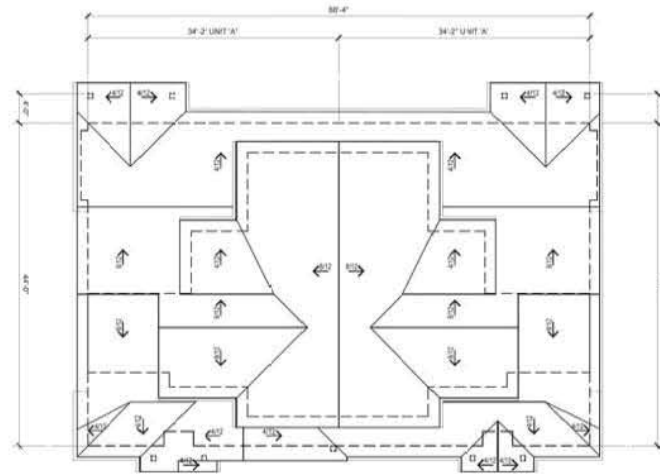
**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

**ELEVATION MATERIAL LEGEND**

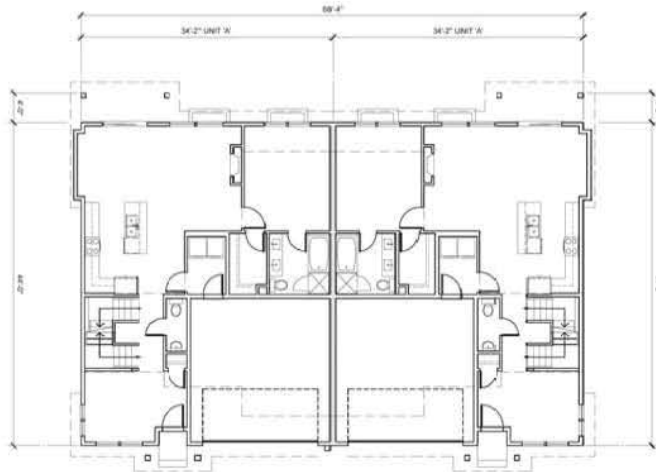
- |  |  |
|--|--|
| ① COMPOSITE ASPHALT SHINGLES                                       | ⑪ ENTRY DOOR ON 2x6 WOOD TRIM AROUND                         |
| ② CEMENT BOARD HORIZONTAL SIDING                                   | ⑫ OVER-HEAD GARAGE DOORS                                     |
| ③ CEMENT BOARD AND BATTEN SIDING                                   | ⑬ CEMENT BOARD PANELS ON BUILT UP WOOD COLUMN ON CORNER TRIM |
| ④ CEMENT SHAKE SIDING  | ⑭ 2x10 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING       |
| ⑤ 2x10 PAINTED WOOD FASCIA ON 1x4 WOOD TRIM                        | ⑮ 2x6 PAINTED WOOD TRIM ON PREFINISHED METAL FLASHING        |
| ⑥ 1" PREFINISHED ALUMINUM GUTTER ON 2x6 PAINTED WOOD FASCIA        | ⑯ PREFINISHED METAL FLASHING                                 |
| ⑦ SEALED DOUBLE GLAZED P-V.C. WINDOW                               | ⑰ PREFINISHED METAL THROUGH WALL FLASHING                    |
| ⑧ SEALED DOUBLE GLAZED P-V.C. SLIDING DOOR ON 2x6 WOOD TRIM AROUND |  |



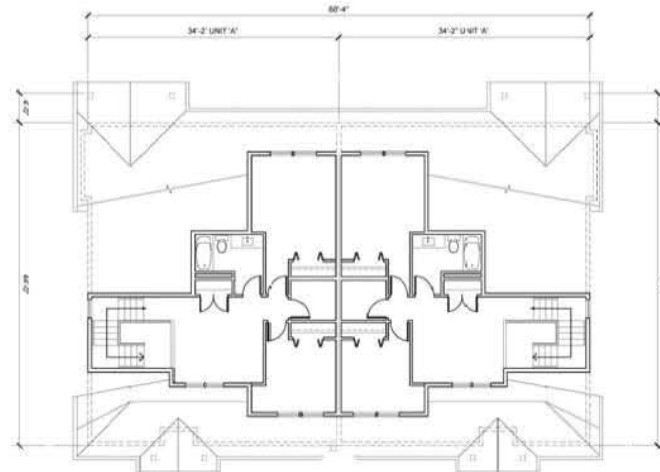
**LOWER FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 1/8"=1'-0"



**MAIN FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**UPPER FLOOR PLAN**  
SCALE: 1/8"=1'-0"

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CITY OF SURREY FILE NUMBER  
7918-0057

NOV 04 2016  
PLANNING COMMENTS  
OCT 08 2016  
REVISED FOR 2nd

REVISIONS:  
CONSULTANT

CLIENT  
**INFINITY PROPERTIES**

PROJECT  
**PROPOSED TOWNHOUSE  
DEVELOPMENT**  
148 STREET @ HWY 10  
SURREY, BC

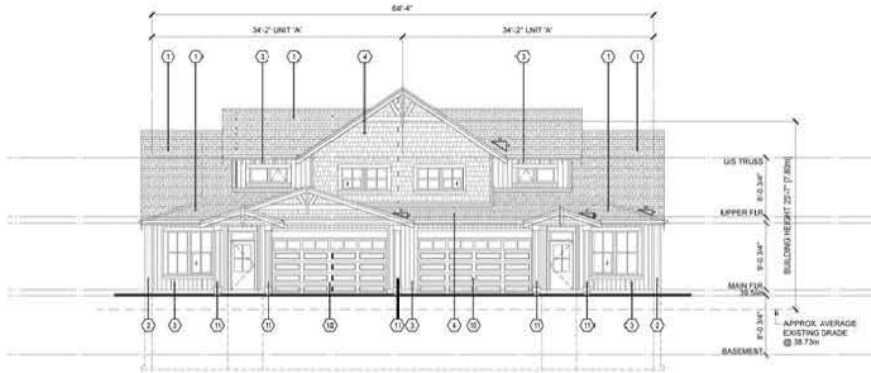
DRAWING TITLE

**BUILDING 14  
PLANS**

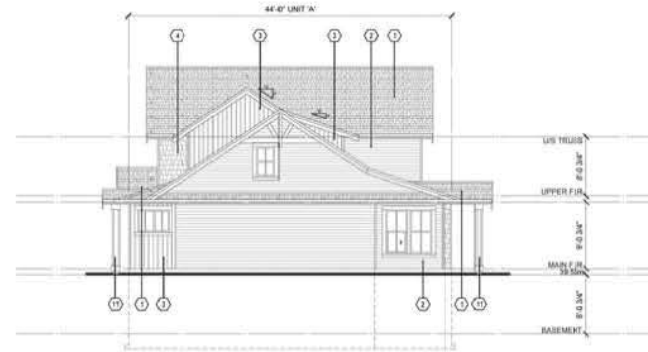
DATE: 2016-11-03 FILE NO:  
OWN: A1  
CHK: **1521**  
DR: **1521**



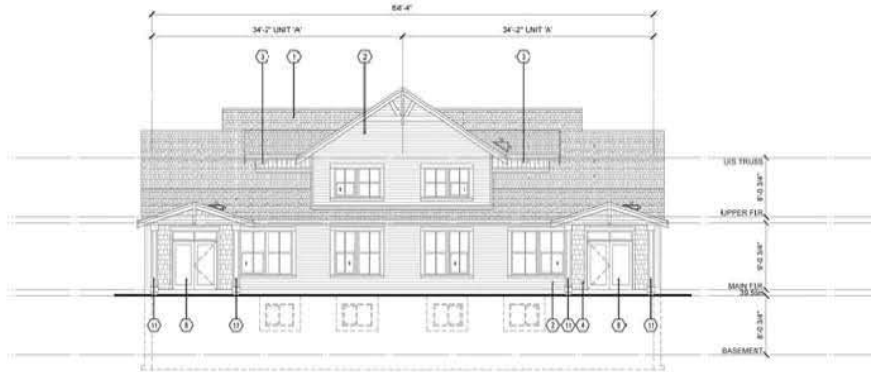
SEAL  
SHEET NO.  
**DP-14.01**



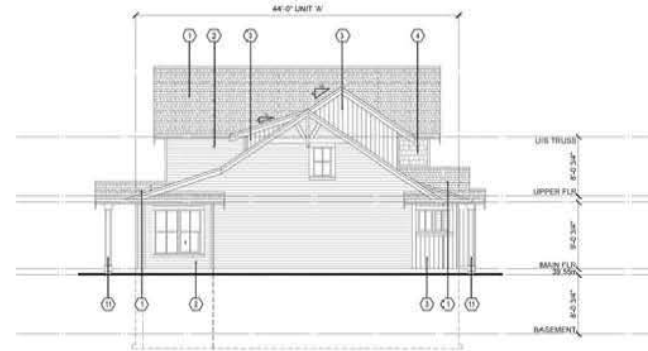
**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

**ELEVATION MATERIAL LEGEND**

- (1) COMPOSITE ASPHALT SHINGLES
- (2) CEMENT BOARD HORIZONTAL SIDING
- (3) CEMENT BOARD AND BATTEN SIDING
- (4) CEMENT SHAKE SIDING
- (5) 2X10 PAINTED WOOD FASCIA w/ 1X4 WOOD TRIM
- (6) P-PRE FINISHED ALUMINUM GUTTER ON 2X8 PAINTED WOOD FASCIA
- (7) SEALED DOUBLE GLAZED V-C WINDOW
- (8) SEALED DOUBLE GLAZED V-C ENTRY DOOR w/ 2x6 WOOD TRIM AROUND
- (9) ENTRY DOOR w/ 2x6 WOOD TRIM AROUND
- (10) OVER-HEAD GARAGE DOORS
- (11) CEMENT BOARD PANEL ON BUILT UP WOOD COLUMN w/ CORNER TRIM
- (12) 2X10 PAINTED WOOD TRIM w/ P-PRE FINISHED METAL FLASHING
- (13) 2x6 PAINTED WOOD TRIM w/ P-PRE FINISHED METAL FLASHING
- (14) PRE FINISHED METAL THROUGH WALL FLASHING

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CITY OF SURREY FILE NUMBER  
7918-007

NOV 08 2016  
PLANNING COMMENTS  
OCT 26 2016  
SUBMIT FOR DP  
REVISIONS  
CONSULTANT

CLIENT  
**INFINITY PROPERTIES**

PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**

148 STREET @ HWY 18  
SURREY, BC

DRAWING TITLE  
**BUILDING 14 ELEVATIONS**

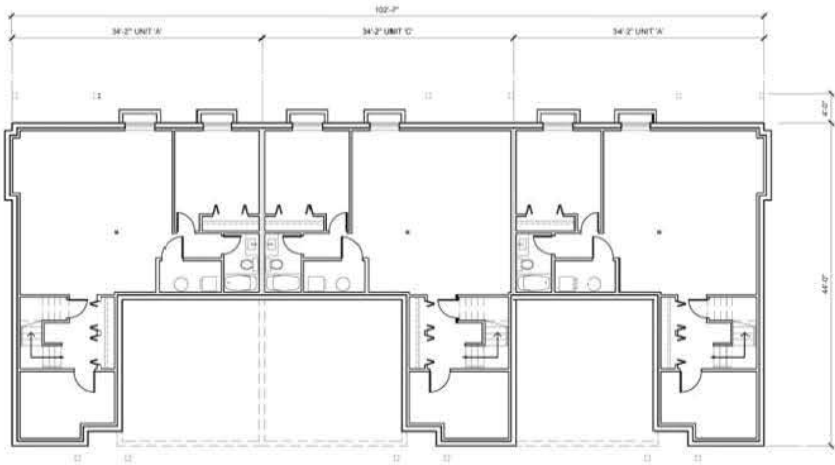
DATE: 2016-11-08 FILE NO  
DWN: **NV**  
CHK: **ER 1521**

SEAL  
SHEET NO.

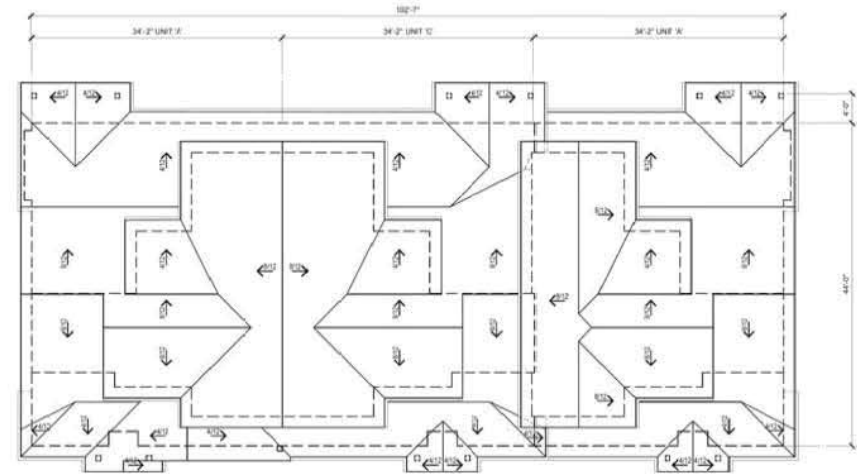
**DP-14.02**

11/15/2016 10:00 AM

11/15/2016 10:00 AM



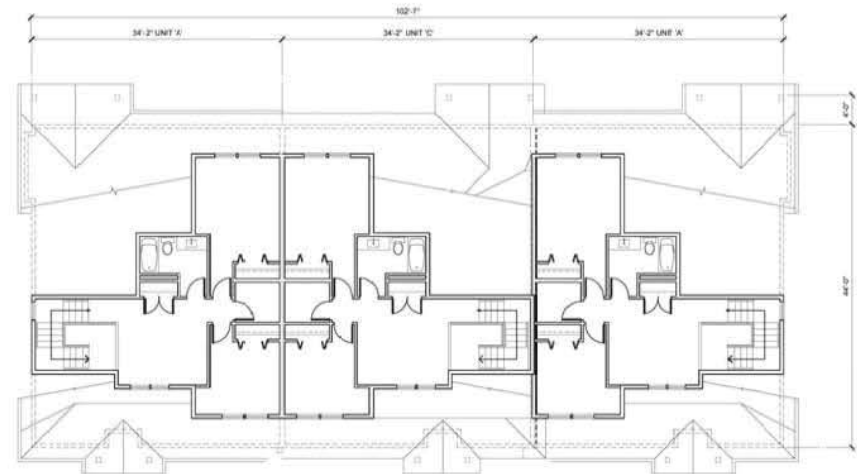
**LOWER FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 1/8"=1'-0"



**MAIN FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**UPPER FLOOR PLAN**  
SCALE: 1/8"=1'-0"

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CITY OF SURREY FILE NUMBER  
7918-0057

NOV 04 2016  
PLANNING COMMENTS

OCT 08 2016  
REVISED FOR 3M

REVISIONS:  
CONSULTANT

CLIENT  
**INFINITY PROPERTIES**

PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**  
148 STREET @ HWY 10  
SURREY, BC

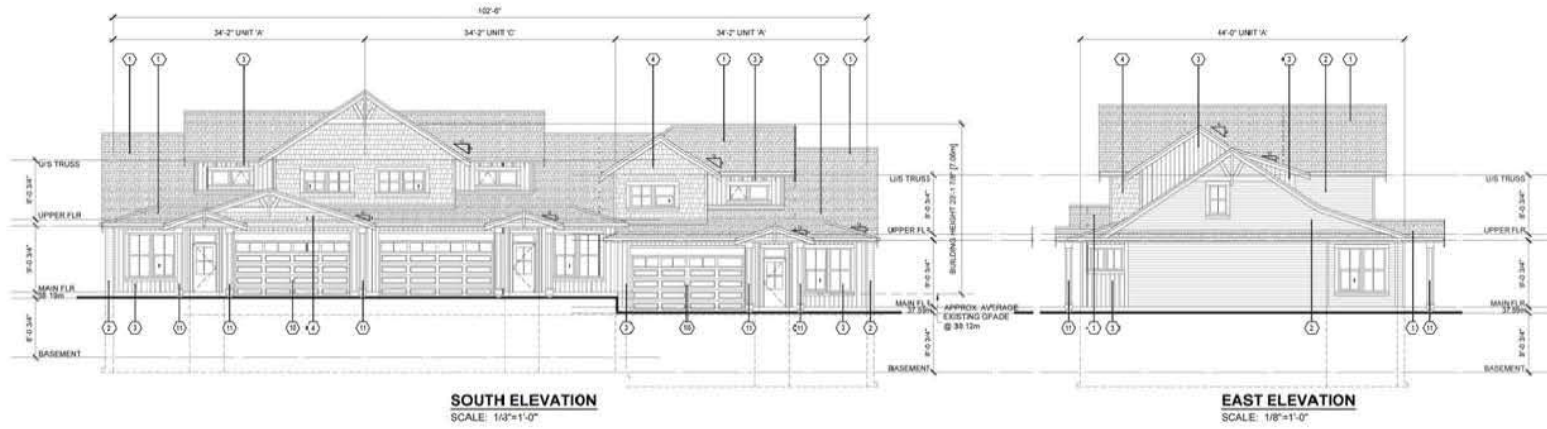
DRAWING TITLE

**BUILDING 15  
PLANS**

DATE: 2016-11-09 FILE NO:  
DWN: A1  
CHK: **1521**

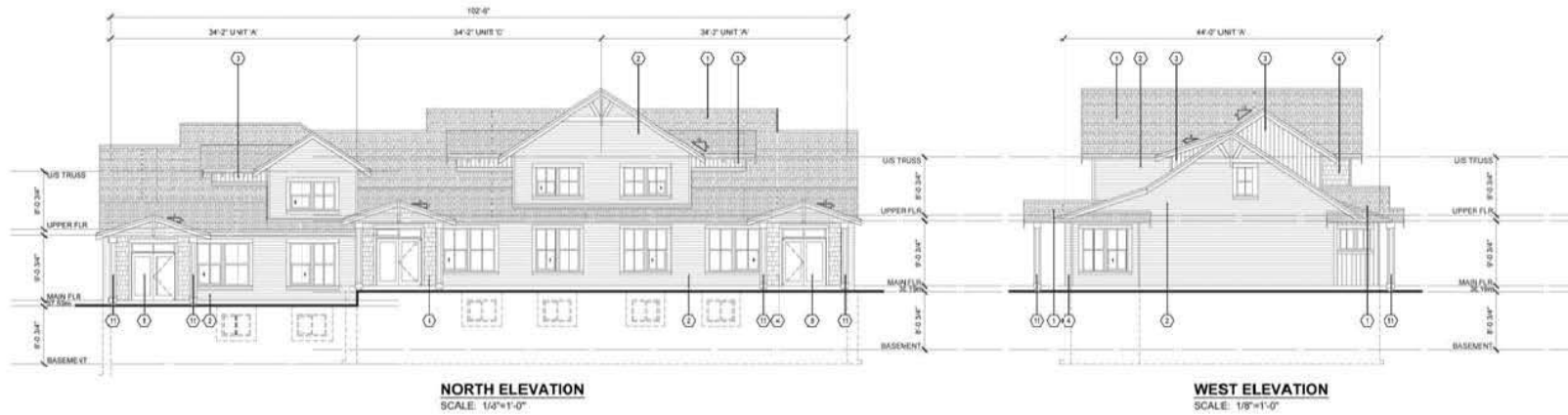


SEAL  
SHEET NO.  
**DP-15.01**



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

**ELEVATION MATERIAL LEGEND**

- |  |   |
|--|---|
| ① COMPOSITE ASPHALT SHINGLES                                   | ⑩ ENTRY DOOR ON 2x6 WOOD TRIM AROUND                      |
| ② CEMENT BOARD HORIZONTAL SIDING                               | ⑪ OVER-HEAD GARAGE DOORS                                  |
| ③ CEMENT BOARD AND BATTEN SIDING                               | ⑫ CEMENT BOARD PANEL ON BUTTUP WOOD COLUMN OR CORNER TRIM |
| ④ CEMENT SHAKE SIDING  | ⑬ 2x10 PAINTED WOOD TRIM ON WOOD TRIM                     |
| ⑤ 2x10 PAINTED WOOD FASCIA ON 1x4 WOOD TRIM                    | ⑭ 2x6 PAINTED WOOD TRIM ON PRE-FINISHED METAL FLASHING    |
| ⑥ PRE-FINISHED ALUMINUM GUTTER ON 2x2 PAINTED WOOD FASCIA      | ⑮ PRE-FINISHED METAL THROUGH WALL FLASHING                |
| ⑦ SEALED DOUBLE GLAZED V.C. WINDOW                             |   |
| ⑧ SEALED DOUBLE GLAZED V.C. ENTRY DOOR ON 2x6 WOOD TRIM AROUND |   |

CITY OF SURREY FILE NUMBER  
7916-007

NOV 08, 2016  
 PLANNING COMMENTS  
 OCT 06, 2016  
 REVISION FOR DP

REVISIONS:  
 CONSULTANT

CLIENT  
**INFINITY PROPERTIES**

PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**  
 143 STREET @ HWY 16  
 SURREY, BC

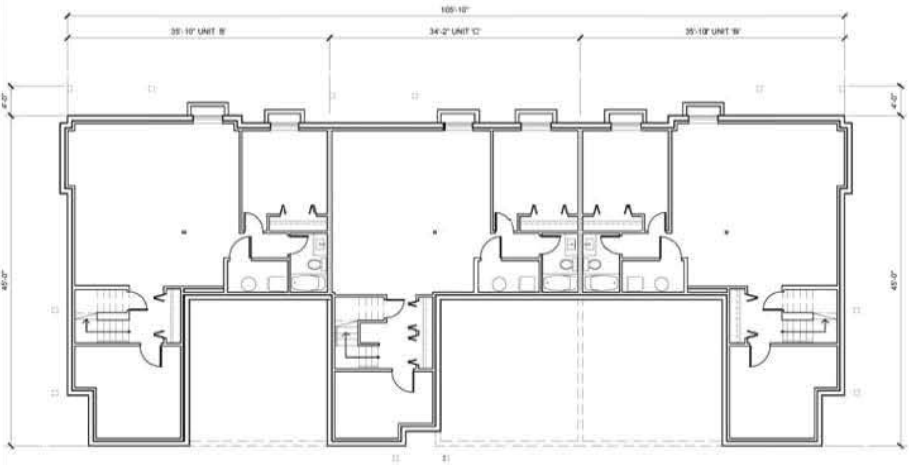
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**BUILDING 15 ELEVATIONS**

DATE: 2016-11-08 FILE NO.  
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 CHK: ER **1521**

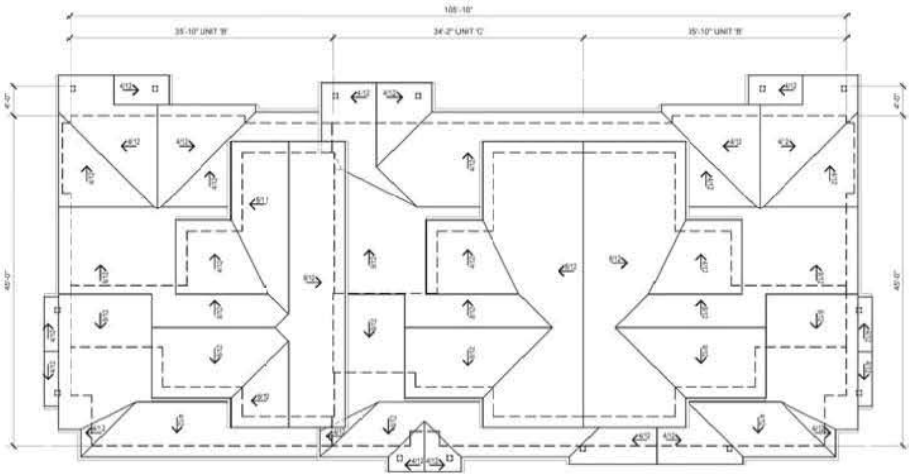
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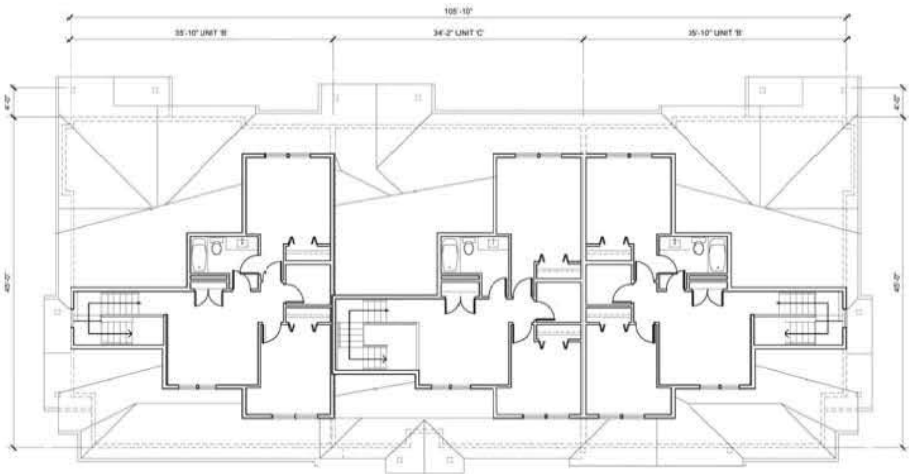
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SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 1/8"=1'-0"



**MAIN FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**UPPER FLOOR PLAN**  
SCALE: 1/8"=1'-0"

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CITY OF SURREY FILE NUMBER  
7915-0057

NOV 08 2016  
PLANNING COMMENTS

OCT 08 2016  
REVISED FOR 2nd

REVISIONS:  
CONSULTANT

CLIENT  
**INFINITY PROPERTIES**

PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**

148 STREET @ HWY 10  
SURREY, BC

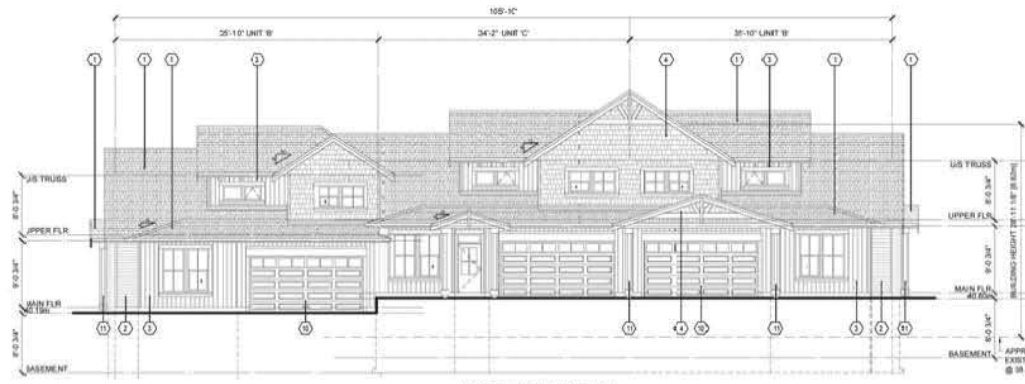
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**BUILDING 16  
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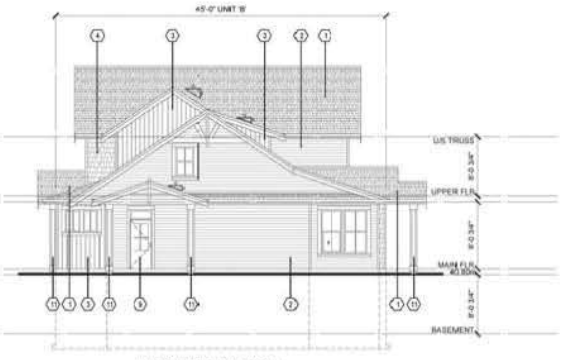
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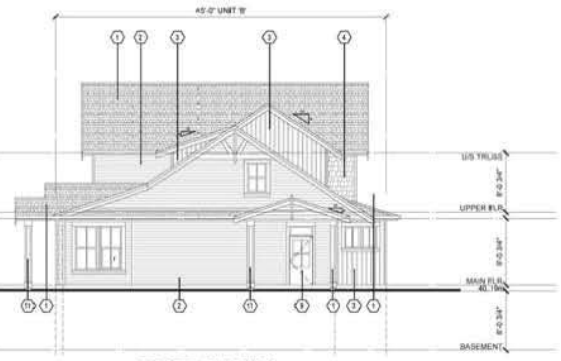
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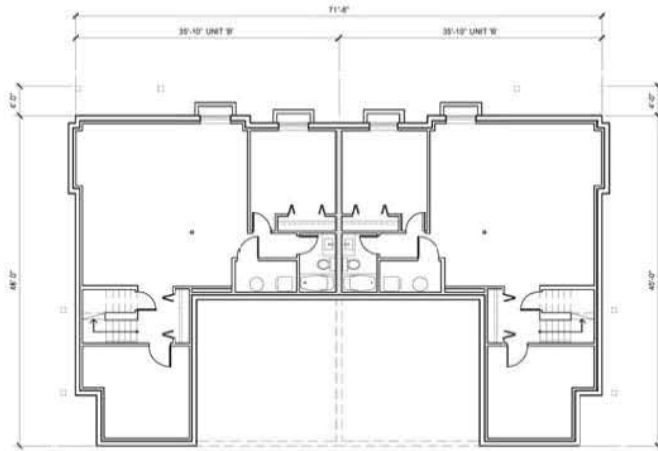


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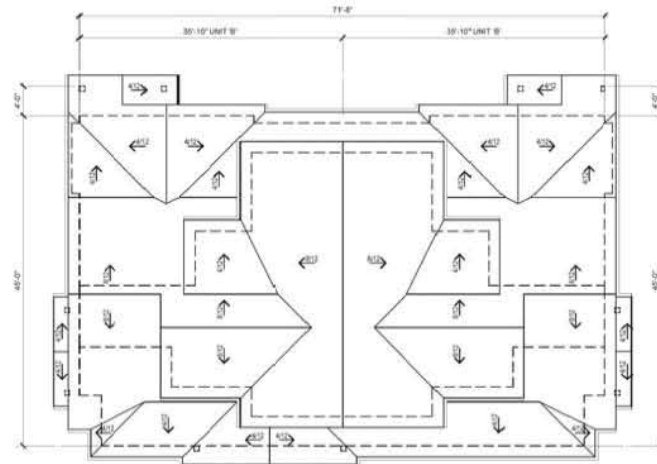


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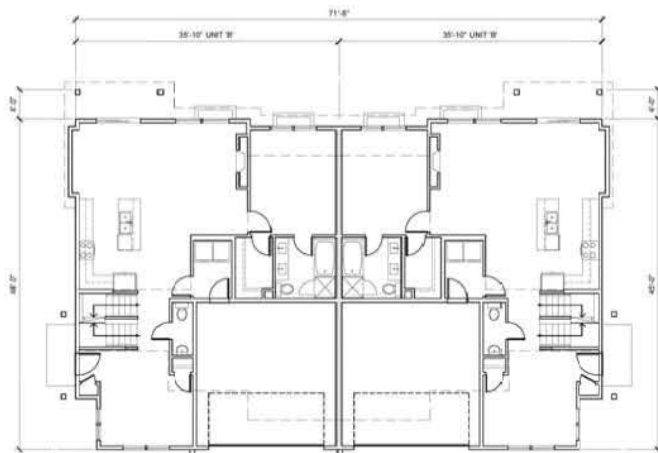
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- (1) COMPOSITE ASPHALT SHINGLES
  - (2) CEMENT BOARD HORIZONTAL SIDING
  - (3) CEMENT BOARD AND BATTEN SIDING
  - (4) CEMENT SHAKE SIDING
  - (5) 3X10 PAINTED WOOD FASCIA w/ 1X4 WOOD TRIM
  - (6) PREFINISHED ALUMINUM GUTTER ON 3X2 PAINTED WOOD FASCIA
  - (7) SEALED DOUBLE GLAZED V.C. WINDOW
  - (8) SEALED DOUBLE GLAZED V.C. ENTRY DOOR w/ 2x6 WOOD TRIM AROUND
  - (9) ENTRY DOOR w/ 2x6 WOOD TRIM AROUND
  - (10) OVER-HEAD GARAGE DOORS
  - (11) CEMENT BOARD PANEL, 2x4 BUTTUP WOOD COLUMN w/ CORNER TRIM
  - (12) 2x10 PAINTED WOOD TRIM w/ PREFINISHED METAL FLASHING
  - (13) 2x6 PAINTED WOOD TRIM w/ PREFINISHED METAL FLASHING
  - (14) PREFINISHED METAL THROUGH WALL FLASHING



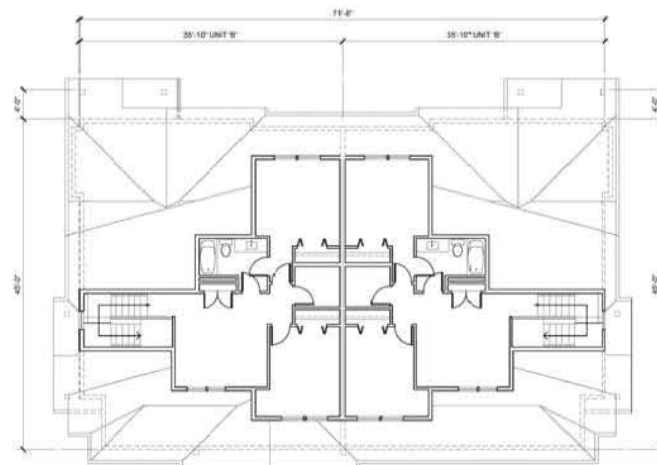
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**ROOF PLAN**  
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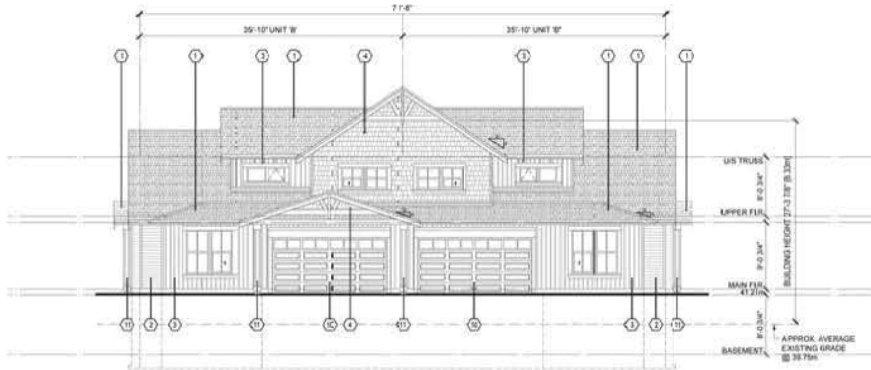


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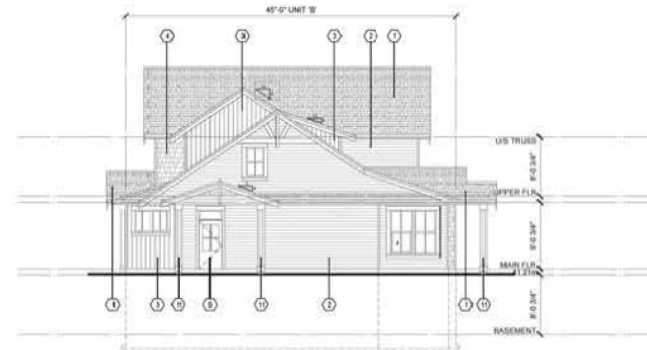


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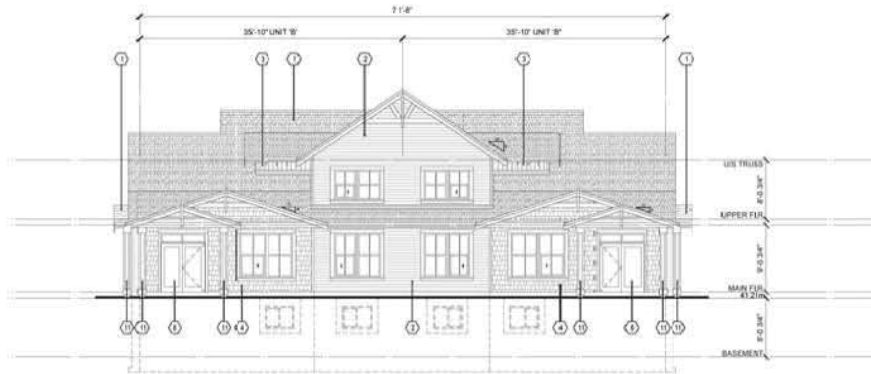




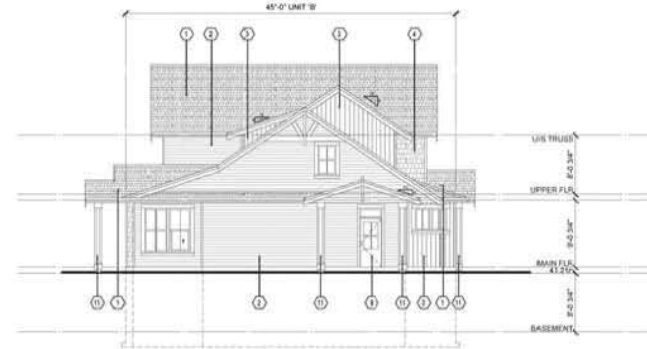
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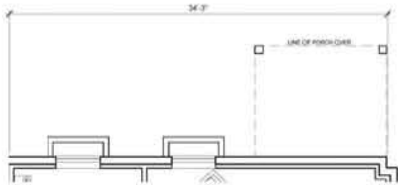
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**EAST ELEVATION**  
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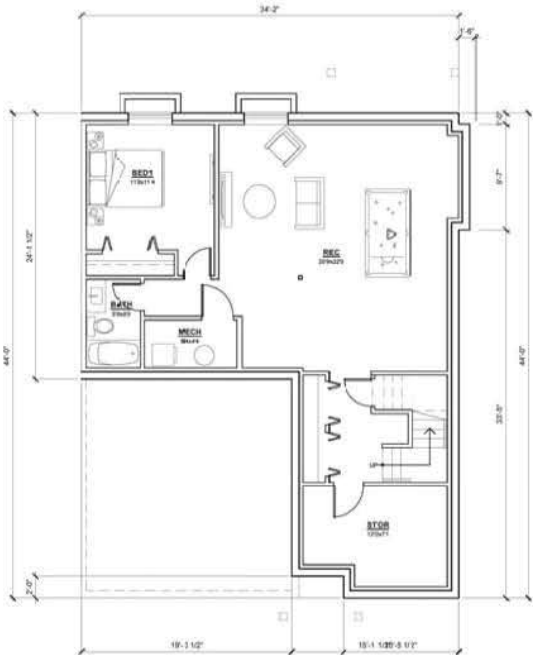
- |   |  |
|---|--|
| (1) COMPOSITE ASPHALT SHINGLES  | (11) ENTRY DOOR (w/ 2x6 WOOD TRIM AROUND)                                |
| (2) CEMENT BOARD HORIZONTAL SIDING                                    | (12) OVER-HEAD GARAGE DOORS  |
| (3) CEMENT BOARD AND BATTEN SIDING                                    | (13) CEMENT BOARD PANEL, (2x) BUTTUP WOOD COLUMN (w/ CORNER TRIM)        |
| (4) CEMENT SHAKE SIDING   | (14) 2x10 PAINTED WOOD TRIM (w/ PRE-FINISHED METAL FLASHING)             |
| (5) 2X10 PAINTED WOOD FASCIA (w/ 1X4 WOOD TRIM)                       | (15) 2x6 PAINTED WOOD TRIM (w/ PRE-FINISHED METAL FLASHING)              |
| (6) PRE-FINISHED ALUMINUM GUTTER ON 2X2 PAINTED WOOD FASCIA           | (16) 2x6 PAINTED WOOD TRIM (w/ PRE-FINISHED METAL THROUGH WALL FLASHING) |
| (7) SEALED DOUBLE GLAZED P.V.C. WINDOW                                |  |
| (8) SEALED DOUBLE GLAZED P.V.C. WINDOW DOOR (w/ 2x6 WOOD TRIM AROUND) |  |



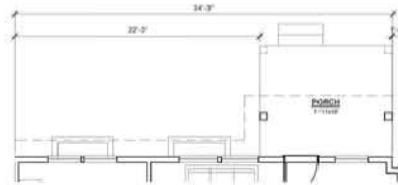
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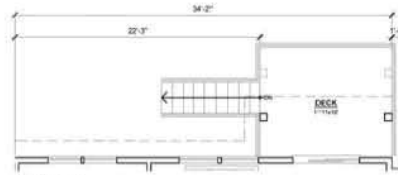
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**UNIT 'A'  
LOWER FLOOR PLAN**  
SCALE: 3/16"=1'-0"



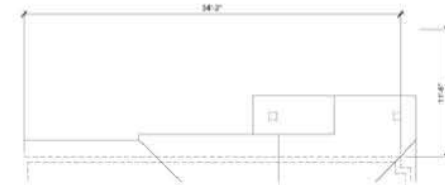
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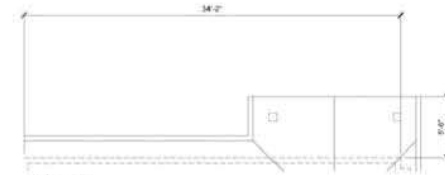
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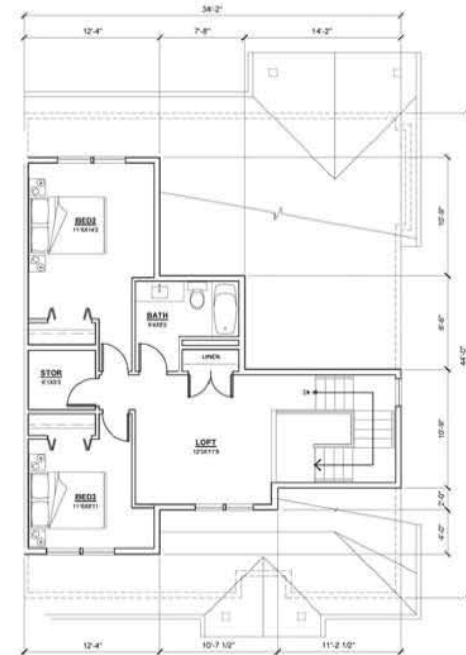
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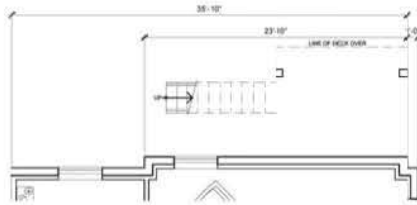
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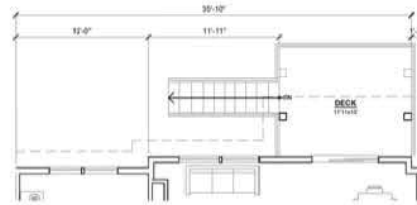
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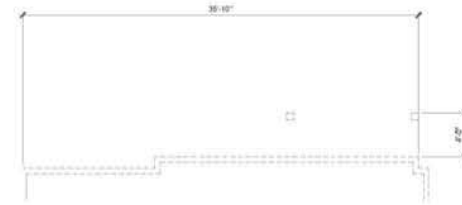
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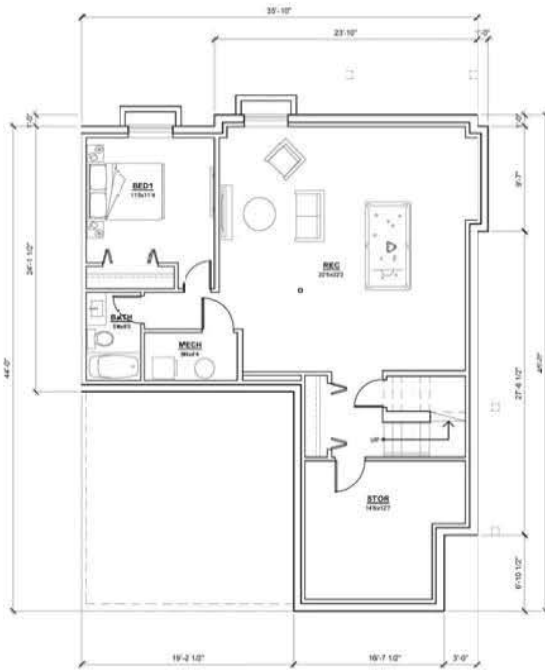
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**MAIN FLOOR PLAN**  
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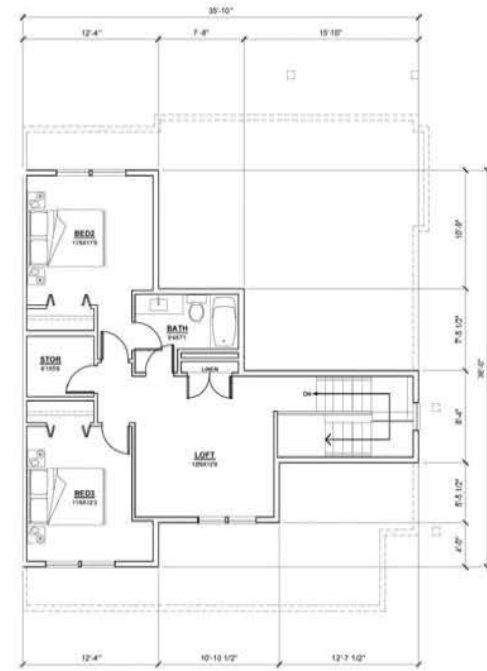
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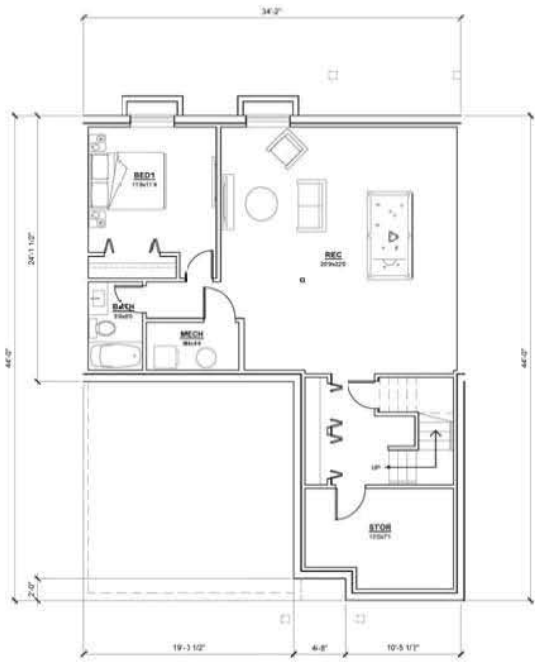
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**UNIT 'B'**  
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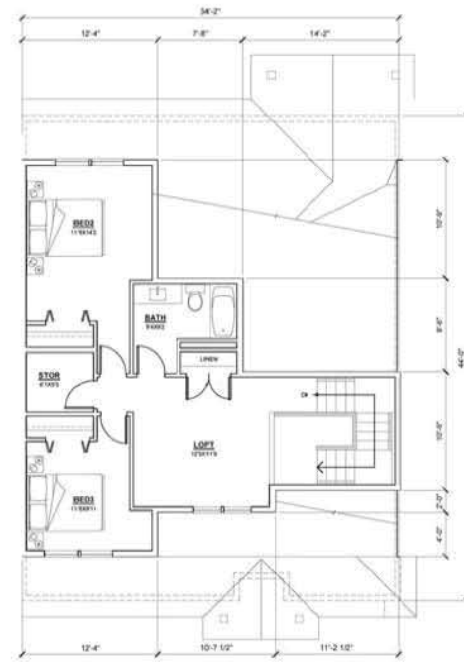
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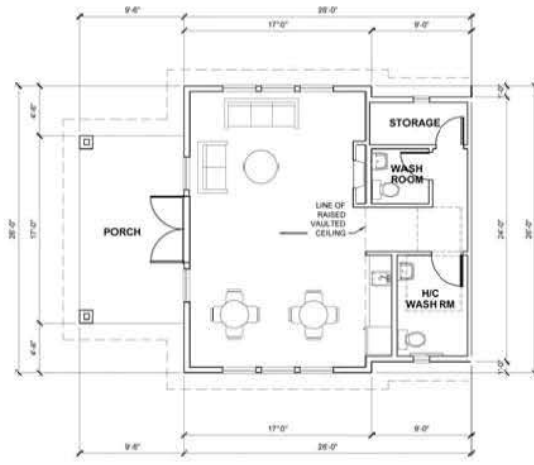
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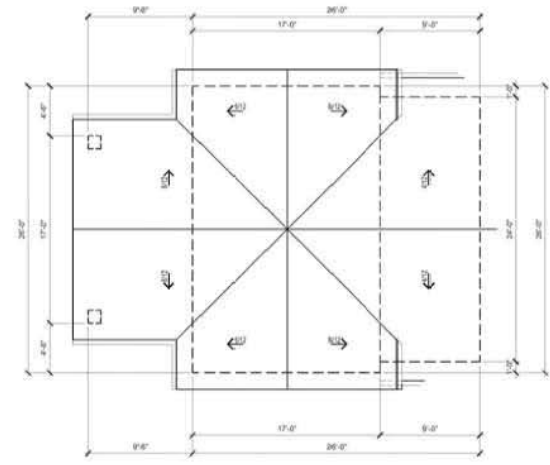
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**UNIT 'C'  
UPPER FLOOR PLAN**  
SCALE: 3/16"=1'-0"



**AMENITY  
 MAIN FLOOR PLAN**  
 SCALE: 3/16"=1'-0"



**AMENITY  
 ROOF PLAN**  
 SCALE: 3/16"=1'-0"

NOV 08 2016  
PLANNING COMMENTS

OCT 08 2016  
REVISED FOR 2nd

REVISIONS  
CONSULTANT

CLIENT  
**INFINITY PROPERTIES**

PROJECT  
**PROPOSED TOWNHOUSE  
 DEVELOPMENT**  
 148 STREET @ HWY 18  
 SURREY, BC

DRAWING TITLE

**AMENITY  
 UNIT PLANS**

DATE: 2016-11-09 FILE NO  
 DWN: AL  
 CHK: CR **1521**

SEAL  
 SHEET NO  
**DP-18.04**



# Village Church Townhomes

## Issued for Development Permit

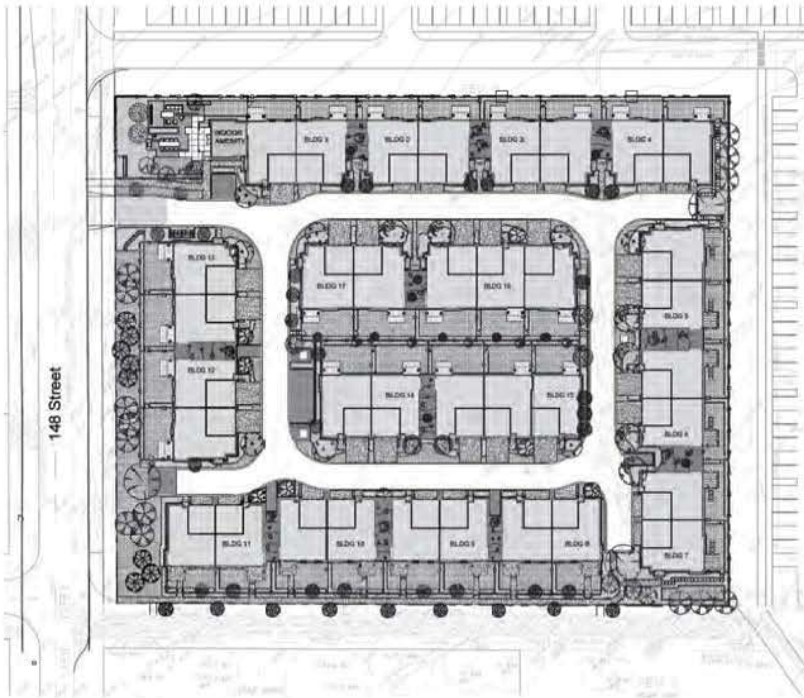
van der Zaam + associates inc.  
 Parks & Recreation • Civil Engineering  
 Urban Design • Landscape Architecture  
 Suite 1, 20177 87th Avenue  
 Delta, BC V4E 1A1  
 Tel: 604 482 0824  
 Fax: 604 482 0824  
 info@vaz.ca



Contact Information	Other Key Contacts:	
<b>van der Zaam + associates inc.</b> Project Landscape Architect  Suite 1 - 20177 87th Avenue Langley, British Columbia, V1M 4B9 T. 604 882 0824 F. 604 882 0842  Primary project contact: Dave Jacko djacko@vaz.ca c. 604 882 0824 x38.  Alternate contacts (browse away): Andrew Davidson andrew@vaz.ca c. 604 882 0824 x23	<b>Infinity Properties Ltd.</b> Project Owner  #205-8305 202nd Street Langley, BC p. 604 532 8060	<b>Focus Architecture Inc.</b> Project Building Architect  Suite 106-9529 McCullum Road Abbotsford, BC V2S 8A3 p. 604 882 3222
<b>Legal Address and Description:</b> Lot B, Except Part in Plan BCP23653, Section 3, Township 2, New Westminster District Plan 19614		

### Sheet List Table

L-01	COVER SHEET
L-02	TREE PROTECTION PLAN
L-03	OVERALL SITE PLAN
L-04	FENCING PLAN
L-05	SITE PLAN - SOUTH WEST
L-06	SITE PLAN - SOUTH EAST
L-07	SITE PLAN - NORTH EAST
L-08	SITE PLAN - NORTH WEST
L-09	SECTION
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS



1 SITE PLAN OVERVIEW  
 Scale: 1:500



2 LOCATION MAP  
 N.T.S.

1:500

No.	By	Description	Date
1	MVZ	Issue P/R D/P	Nov. 07, 2016
2	MVZ	Issue P/R D/P	Oct. 07, 2016
3	MVZ	Issue P/R Draft Review	Oct. 06, 2016
4	AD	Issue P/R Draft Review	Sep. 23, 2016

#### REVISIONS TABLE FOR DRAWINGS

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#### REVISIONS TABLE FOR SHEET

Project:  
**VILLAGE CHURCH TOWNHOMES**

Location:  
**148 Street @ Hwy 10  
 Surrey, BC**

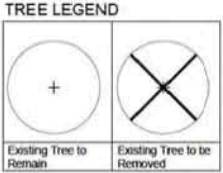
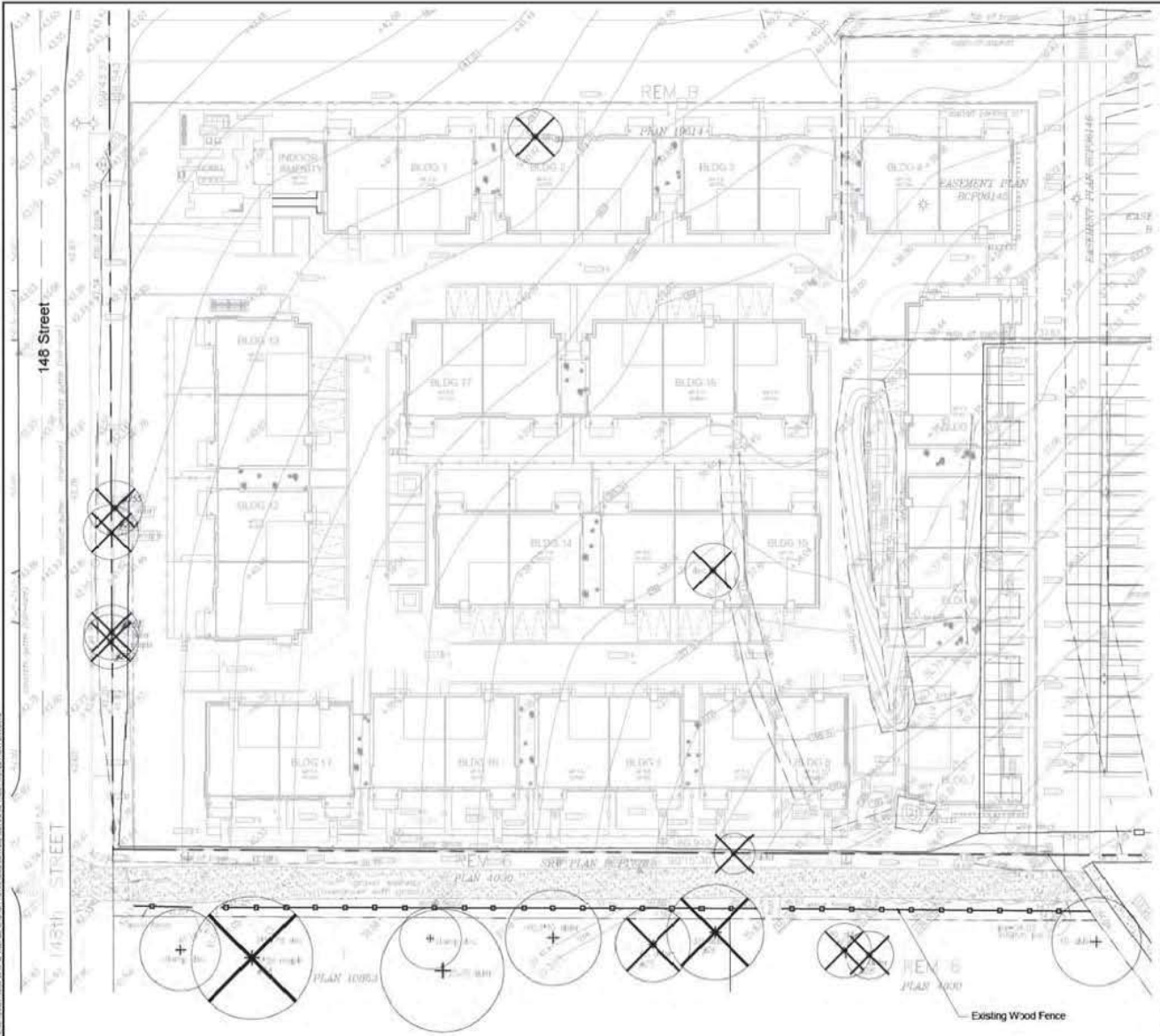
Drawn: AD	Stamp: 
Checked: DJ	
Approved: MVZ	Original Sheet Size: 24"x36"

Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS OF THE WORK SHALL BE IN ACCORDANCE WITH THE DIMENSIONS SHOWN ON THE DRAWINGS. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE WORK UNLESS OTHERWISE SPECIFIED BY THE DRAWINGS. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE WORK UNLESS OTHERWISE SPECIFIED BY THE DRAWINGS.
--------------------	--

Drawing Title:  
**COVER SHEET**

VDZ Project #:  
**DP2016-42**

Drawing #:  
**L-01**



**Note:**  
Refer to Arborist's Tree Inventory and Assessment List for full details.

**Do Not Enter**  
This area is reserved for the protection of existing trees. No construction equipment or materials are to be placed in this area. The location of this fence will be as shown.

**NO ENTRY**  
This area is reserved for the protection of existing trees. No construction equipment or materials are to be placed in this area. The location of this fence will be as shown.

- Verify with the Contractor**
- Refer to each tree specification and verify with the contractor before and subsequent during in execution of other permits.
  - 1. 2" x 4" x 4' height.
  - 2. 2" x 4" x 4' to be framed for vertical posts, top and bottom rails and cross-bracing (in the "C" shape).
  - 3. Spacing between vertical posts shall be no further apart than 2' on 12' in center.
  - 4. Material shall be treated with preservative preservative to protect against decay.
  - 5. Connections shall be made accordingly (e.g. no-nails, corner brackets).
  - 6. Provide with rubber tapping when any tree encroaches inside the protected area in the future. Located in distance based on tree diameter, see table below.

Tree Diameter (DBH)	Clearance	Crystal Ball Zone
Less than 4"	0'	0'
4" - 6"	2'	2'
6" - 8"	4'	4'
8" - 10"	6'	6'
10" - 12"	8'	8'
12" - 14"	10'	10'
14" - 16"	12'	12'
16" - 18"	14'	14'
18" - 20"	16'	16'
20" - 22"	18'	18'
22" - 24"	20'	20'
24" - 26"	22'	22'
26" - 28"	24'	24'
28" - 30"	26'	26'
30" - 32"	28'	28'
32" - 34"	30'	30'
34" - 36"	32'	32'
36" - 38"	34'	34'
38" - 40"	36'	36'
40" - 42"	38'	38'
42" - 44"	40'	40'
44" - 46"	42'	42'
46" - 48"	44'	44'
48" - 50"	46'	46'
50" - 52"	48'	48'
52" - 54"	50'	50'
54" - 56"	52'	52'
56" - 58"	54'	54'
58" - 60"	56'	56'
60" - 62"	58'	58'
62" - 64"	60'	60'
64" - 66"	62'	62'
66" - 68"	64'	64'
68" - 70"	66'	66'
70" - 72"	68'	68'
72" - 74"	70'	70'
74" - 76"	72'	72'
76" - 78"	74'	74'
78" - 80"	76'	76'
80" - 82"	78'	78'
82" - 84"	80'	80'
84" - 86"	82'	82'
86" - 88"	84'	84'
88" - 90"	86'	86'
90" - 92"	88'	88'
92" - 94"	90'	90'
94" - 96"	92'	92'
96" - 98"	94'	94'
98" - 100"	96'	96'

- For diameters not on this table divide the DBH by one (1) by 1.5.
- Example: 44 cm = 1.68 - 4.9 m

**1 TREE PROTECTION PLAN**  
Scale: 1:300

**2 TREE PROTECTION FENCE**  
N.T.S.



van der Zalm + associates inc.  
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 Urban Design • Landscape Architecture  
 Suite 1, 2017 W. Beaver  
 Surrey, BC V4A 1S6  
 Phone: 604.582.2000  
 Fax: 604.582.2002  
 www.vdzai.com



No.	By	Description	Date
1	AD	Issue For Draft Review	Aug. 23, 2016
2	MW	Issue For Draft Review	Oct. 08, 2016
3	MW	Issue For DP	Nov. 07, 2016
4	MW	Issue For DP	Oct. 07, 2016

**REVISIONS TABLE FOR DRAWINGS**

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No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

**Project:**  
VILLAGE CHURCH TOWNHOMES

**Location:**  
148 Street @ Hwy 10  
Surrey, BC

**Drawn:** AD  
**Checked:** DJ  
**Approved:** MV/DZ

**Stamp:**

**Original Sheet Size:**  
24"x36"

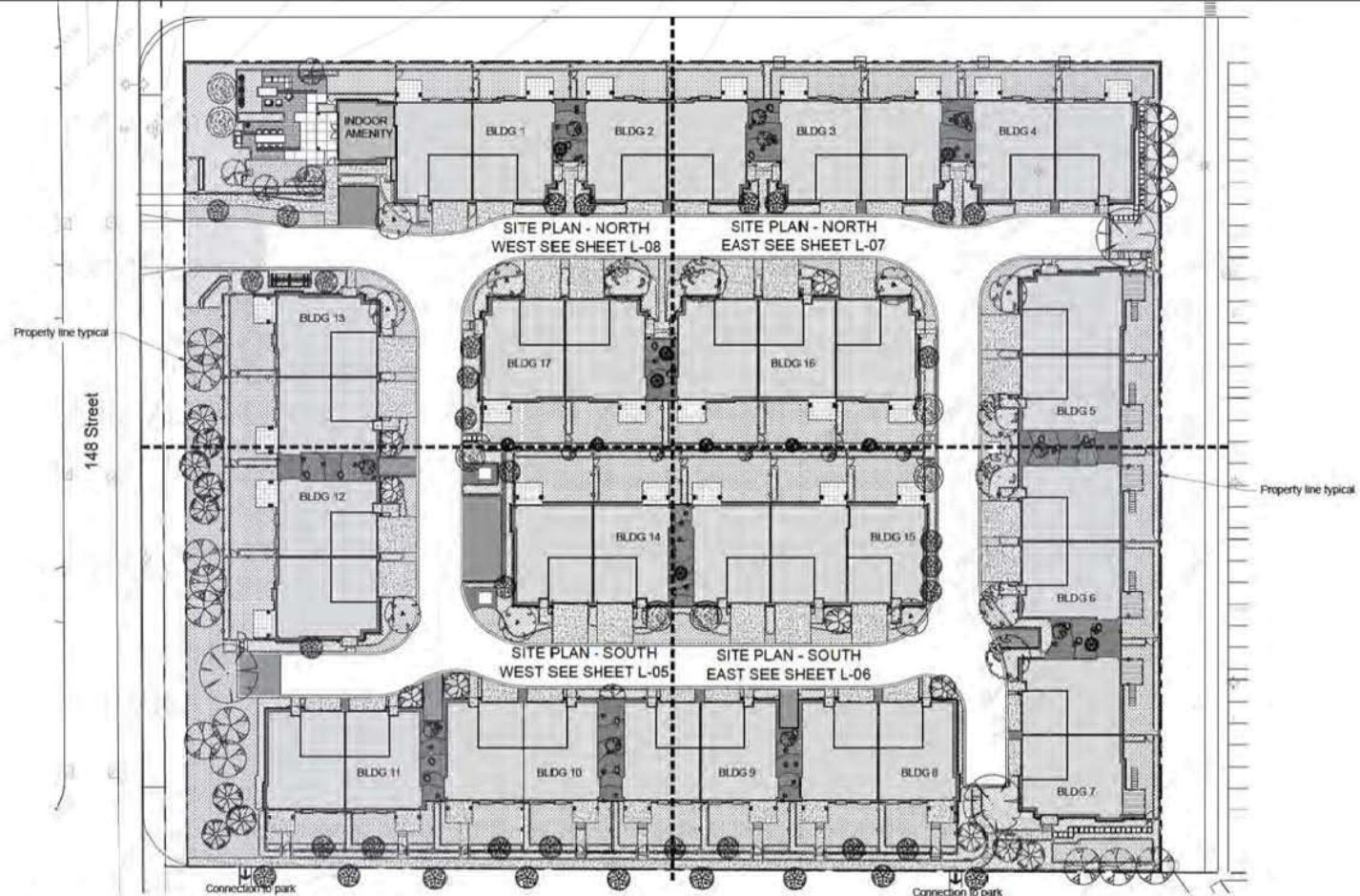
**Scale:**  
1:300

CONTRACTOR SHALL OBTAIN ALL PERMISSIONS ON THE WORK AND OBTAIN APPROVAL FROM THE LOCAL AUTHORITY BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

Drawing Title: TREE PROTECTION PLAN

VOZ Project #: DP2016-42

Drawing #: L-02



TREE LEGEND

Acer platanoides 'Crimson Sentry'	Acer palmatum 'Sango Kaku'	Cercodiphyllum japonicum 'Red Fox'	Cercus canadensis 'Appalachian Red'	Cornus x 'Starlight'	Magnolia kobus var stellata 'Pink Star'
Picea omorika	Pinus flexilis 'Vanderwolf's Pyramid'	Pinus uncinata	Chamaecyparis obtusata 'Gracilis'	Tilia cordata	Existing Tree

TREE SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
See Legend	8	Acer platanoides 'Crimson Sentry'	Crimson Sentry Maple	B+B: 6cm cal, 1.2m Std.	Per Plan
See Legend	3	Acer palmatum 'Sango Kaku'	Coral Bark Japanese Maple	B+B: 6cm cal, 1.2m Std.	Per Plan
See Legend	8	Cercodiphyllum japonicum 'Red Fox'	Red Fox Katsura	B+B: 6cm cal, 1.2m Std.	Per Plan
See Legend	6	Cercus canadensis 'Appalachian Red'	Appalachian Red Redbud	B+B: 6cm cal, 1.2m Std.	Per Plan
See Legend	37	Cornus x 'Starlight'	Starlight Dogwood	B+B: 6cm cal, 1.2m Std.	Per Plan
See Legend	8	Magnolia kobus var. stellata 'Pink Star'	Pink Star Magnolia	B+B: 6cm cal, 1.2m Std.	Per Plan
See Legend	14	Picea omorika	Serbian Spruce	B+B: 3.0m Height, Single Leader	Per Plan
See Legend	15	Pinus flexilis 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Pine	B+B: 3.0m Height, Single Leader	Per Plan
See Legend	11	Pinus uncinata	Mountain Pine	B+B: 3.0m Height, Single Leader	Per Plan
See Legend	11	Chamaecyparis obtusa 'Gracilis'	Dwarf Hinoki Cypress	B+B: 3.0m Height, Single Leader	Per Plan
See Legend	3	Tilia cordata	Littleleaf Linden	B+B: 6cm cal, 1.2m Std.	Per Plan

No.	By	Description	Date

Project:  
 VILLAGE CHURCH TOWNHOMES

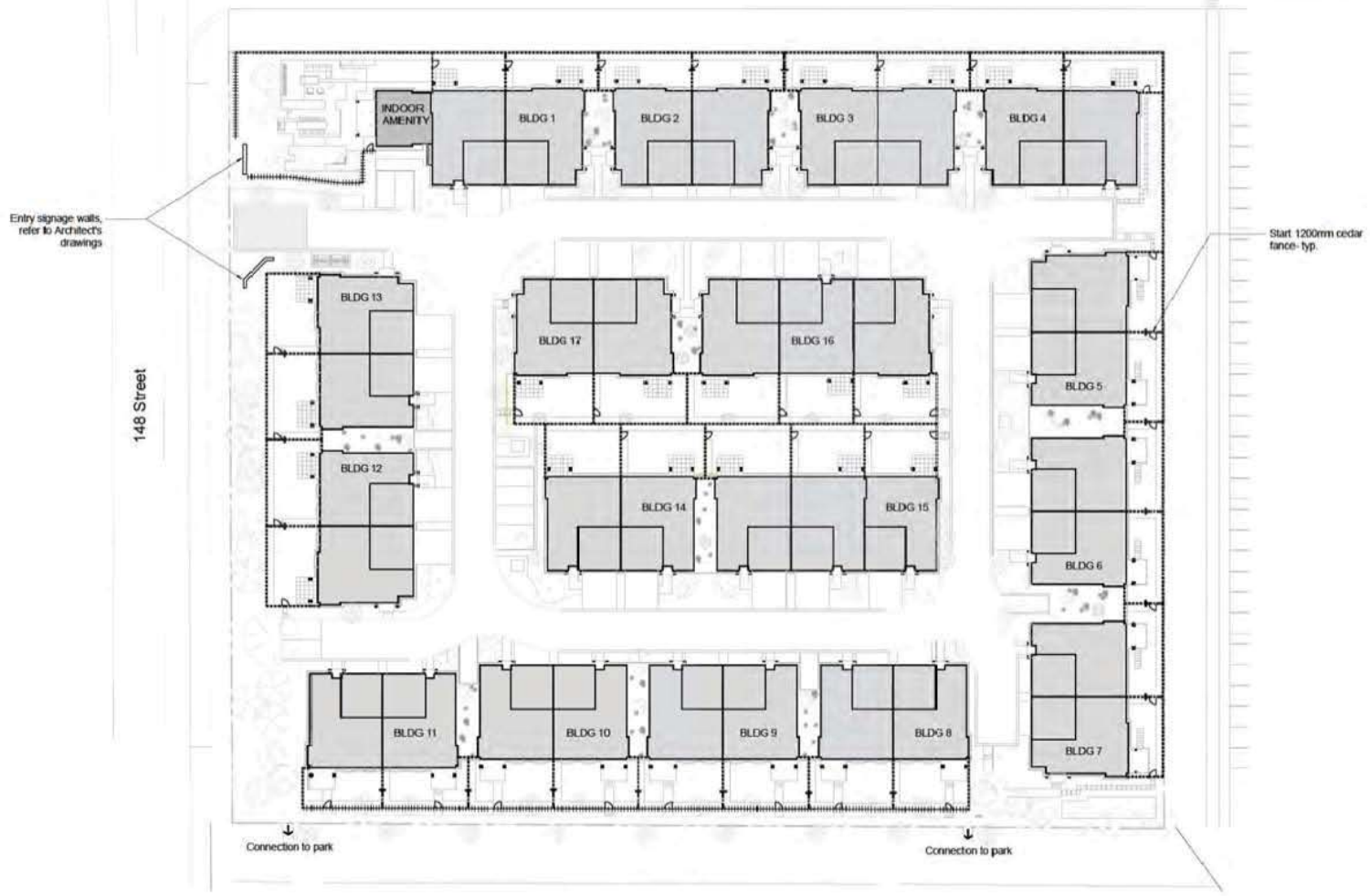
Location:  
 148 Street @ Hwy 10  
 Surrey, BC

Drawn: AD Stamp:  
 Checked: DJ  
 Approved: MV02 Original Sheet Size:  
 MV02 24"x36"

Scale:  
 1:300

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND NOTIFY ARCHITECT IMMEDIATELY IF NOT CORRECT. OWNER SHALL VERIFY ALL DIMENSIONS AND APPROVE ANY CHANGES. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND APPROVE ANY CHANGES. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.





Entry signage walls, refer to Architect's drawings

Start 1200mm cedar fence-typ.

148 Street

- NOTES:
- All fences along property lines to be set 150mm within property boundary.
  - Gate heights to match fence heights and type.
  - Where gates are located at a change in fence height gate to be installed to height of lower fence.

FENCING LEGEND

KEY	REF.	DESCRIPTION
	1 LD-02	1200mm CEDAR FENCE
	1 LD-02	1800mm CEDAR FENCE Final panels not more than 6 to be 1800mm step down to 1200mm at panel 3.
	2 LD-02	900mm PICKET FENCE
	12 LD-02	GATE

No.	By	Description	Date
4	MVP	Issue For DP	Nov. 07, 2016
3	MVP	Issue For DP	Oct. 07, 2016
2	MVP	Issue For Draft Review	Oct. 03, 2016
1	AD	Issue For Draft Review	Sept. 23, 2016

Project:  
 VILLAGE CHURCH TOWNHOMES  
 Location:  
 148 Street @ Hwy 10  
 Surrey, BC

Drawn: AD  
 Checked: DJ  
 Approved: MVPZ  
 Original Sheet Size: 24"x36"

Scale: 1:300  
 CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. THE CONSULTANT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DRAWINGS AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE INFORMATION PROVIDED. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE WORK OR FOR THE PERFORMANCE OF THE WORK OR FOR THE SAFETY OF THE WORKERS OR THE PUBLIC.

Drawing Title:  
**FENCING PLAN**



VOZ Project #:  
**DP2016-42**

Drawing #:  
**L-04**





### LANDSCAPE LEGEND

KEY	REF	DESCRIPTION
[Pattern]	4 LD-01	CONCRETE SLAB
[Pattern]	6 LD-01	PERMEABLE PAVERS
[Pattern]		RIVER ROCK
[Pattern]		MIXED RIVER ROCK
[Pattern]	1 LD-01	VEHICULAR CONCRETE PAVERS (30mm)
[Pattern]	1 LD-01	CONCRETE PAVERS
[Pattern]	1 LD-01	CONCRETE PAVERS
[Pattern]		WOOD DECK
[Pattern]	2 LD-01	DRIP STRIP
[Pattern]	1/2 LD-02	FENCE See Fencing Plan L-04 for fence type
[Pattern]		SSO See Critical Landscape Notes for Specifications
[Pattern]	3 LD-03	SHRUB PLANTING
[Pattern]	5 LD-01	LANDSCAPE BOULDERS
[Pattern]	3 LD-01	HYDRAPRESSED SLAB WALKWAY
[Pattern]	1/2 LD-02	GATE
[Pattern]	5 LD-03	BENCH

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 Fax: 604.582.8822  
 www.vdz.com



No.	By	Description	Date
1	MVP	Issue For D.P.	Nov. 07, 2016
2	MVP	Issue For D.P.	Oct. 07, 2016
3	MVP	Issue For Draft Review	Oct. 03, 2016
4	AD	Issue For Draft Review	Aug. 23, 2016
No. Pj.		Description	Date

Project:  
 VILLAGE CHURCH TOWNHOMES

Location:  
 148 Street @ Hwy 10  
 Surrey, BC

Drawn: [Signature]  
 AD

Checked: DJ

Approved: [Signature]  
 MVPZ

Original Sheet Size:  
 24"x36"

Scale:  
 1:150

Contractor shall verify all dimensions on the work and inform immediately to the consultant if there are any discrepancies. The contractor shall ensure that all dimensions are within the tolerance of the contract. The contractor shall be responsible for the accuracy of the dimensions and shall be held liable for any errors. The contractor shall be responsible for the accuracy of the dimensions and shall be held liable for any errors.

### PLANT LIST SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
<b>SHRUBS</b>					
Ab	53	Abies balsamea 'Nana'	Dwarf Balsam Fir	#2 Pot	900mm o.c.
Az	78	Azalea 'Mandarin Lights'	Mandarin Lights Azalea	#2 Pot	1000mm o.c.
Bs	154	Buxus sempervirens 'Suffruticosa'	Dwarf English Boxwood	#1 Pot	900mm o.c.
Ck	152	Cornus sericea 'Kelsey'	Kelsey Redtwig Dogwood	#2 Pot	1000mm o.c.
Hm	54	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea	#2 Pot	1000mm o.c.
Ma	33	Malva aquilegifolia	Oregon Grape	#3 Pot	1200mm o.c.
Pa	24	Picea abies 'Nidiformis'	Nest Spruce	#3 Pot	1200mm o.c.
Pm	20	Pinus mugo 'Pumilo'	Dwarf Mugo Pine	#3 Pot	1200mm o.c.
Pl	399	Prunus lusitana	Portuguese Laurel	#2 Pot	1000mm o.c.
Rb	68	Rhododendron 'Blue Diamond'	Blue Diamond Rhododendron	#2 Pot	700mm o.c.
Ra	55	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	#3 Pot	1200mm o.c.
Rp	29	Rosa rugosa 'Purple Flamment'	Purple Flamment Rose	#2 Pot	1000mm o.c.
S	114	Spiraea japonica 'Magic Carpet'	Magic Carpet Spiraea	#1 Pot	900mm o.c.
Tc	41	Taxus cuspidata 'Nana'	Dwarf Japanese Yew	#2 Pot	1000mm o.c.
To	170	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	#3 Pot	1200mm o.c.
Vo	74	Vaccinium ovatum	Evergreen Huckleberry	#2 Pot	1000mm o.c.
Vd	93	Viburnum davidii	Davis's Viburnum	#2 Pot	1000mm o.c.

### PERENNIAL SOFGROUNDCOVERS

Ca	75	Calamagrostis x acutiflora 'Karl Foerster'	Foerster's Feather Reed Grass	#1 Pot	700mm o.c.
	535	Cotoneaster dammeri 'Strelitzia Finding'	Juneberry	#1 Pot	300mm o.c.
	409	Erica carnea 'Springwood White'	Springwood White Winter Heather	#1 Pot	300mm o.c.
Ef	363	Eumonym fortunei 'Coloratus'	Purpleleaf Wintercreeper	#1 Pot	600mm o.c.
F	354	Fedraea glauca	Blue Fescue	#1 Pot	300mm o.c.
H	91	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	#1 Pot	450mm o.c.
Hb	109	Hosta 'Big Daddy'	Big Daddy Hosta	#1 Pot	900mm o.c.
Hs	47	Helictotichon sempervirens	Blue Out Grass	#1 Pot	300mm o.c.
L	333	Lavandula angustifolia 'Yscolote Blue'	Hidcote Blue English Lavender	#1 Pot	300mm o.c.
P	140	Polystichum munitum	Western Sword Fern	#1 Pot	750mm o.c.
Rf	52	Rudbeckia fulgida 'Goldstrum'	Black-Eyed Susan	#1 Pot	450mm o.c.
S	84	Sedum spurium 'Dragon's Blood'	Dragon's Blood Stonecrop	#1 Pot	450mm o.c.

- ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BAMA OR BCMA GUIDELINES.
- TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
- AMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
- TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:  
 A. SHRUBS: 600MM  
 B. SOCS: 150MM  
 C. TREE PITS: 1000MM WITH 300MM (BELOW ROOT BALL)  
 1. 1" MARS COMPOST MESH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.  
 2. ALL LANDSCAPED AREAS TO BE IRRIGATED TO IAGD STANDARDS.



Drawing Title: SITE PLAN - SOUTH WEST  
 Drawing #: L-05  
 Project #: DP2016-42

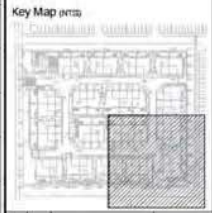
Matchline - See Drawing L-07



LANDSCAPE LEGEND

KEY	REF	DESCRIPTION
[Pattern]	4 LD-01	CONCRETE SLAB
[Pattern]	6 LD-01	PERMEABLE PAVERS
[Pattern]		RIVER ROCK
[Pattern]		MIXED RIVER ROCK
[Pattern]	1 LD-01	VEHICULAR CONCRETE PAVERS (30mm)
[Pattern]	1 LD-01	CONCRETE PAVERS
[Pattern]	1 LD-01	CONCRETE PAVERS
[Pattern]		WOOD DECK
[Pattern]	2 LD-01	DRIP STRIP
[Pattern]	1/2 LD-02	FENCE See Fencing Plan L-04 for fence type
[Pattern]		SCD See Critical Landscape Notes for Specifications
[Pattern]	3 LD-03	SHRUB PLANTING
[Pattern]	5 LD-01	LANDSCAPE BOULDERS
[Pattern]	3 LD-01	HYDRAPRESSED SLAB WALKWAY
[Pattern]	1/2 LD-02	GATE
[Pattern]	5 LD-03	BENCH

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 Toronto, Ontario Canada • M2M 1A5 • 416-492-2828  
 1-800-363-2828 • info@vazalm.com



REVISIONS TABLE FOR DRAWINGS

No.	By	Description	Date
1	MVP	Issue For D.P.	Nov. 07, 2016
2	MVP	Issue For D.P.	Oct. 01, 2016
3	MVP	Issue For Draft Review	Oct. 03, 2016
4	AD	Issue For Draft Review	Sept. 23, 2016
No. By	Description	Date	

REVISIONS TABLE FOR SHEET

No.	By	Description	Date
No. By	Description	Date	

Project:  
 VILLAGE CHURCH TOWNHOMES  
 Location:  
 148 Street @ Hwy 10  
 Surrey, BC

Drawn:  
 AD  
 Checked:  
 DJ  
 Approved:  
 MVP/2  
 Stamp:  
 Original Sheet Size:  
 24"x36"

Scale:  
 1:150  
 CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS OF THE WORK SHALL BE TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE WORK OR FOR ANY CONSEQUENCES THEREOF.

Drawing Title: SITE PLAN - SOUTH EAST  
 Drawing #: L-06  
 Project #: DP2016-42



Drawing #: L-06  
 Project #: DP2016-42

Drawing #: L-06

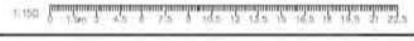
PLANT LIST SCHEDULE

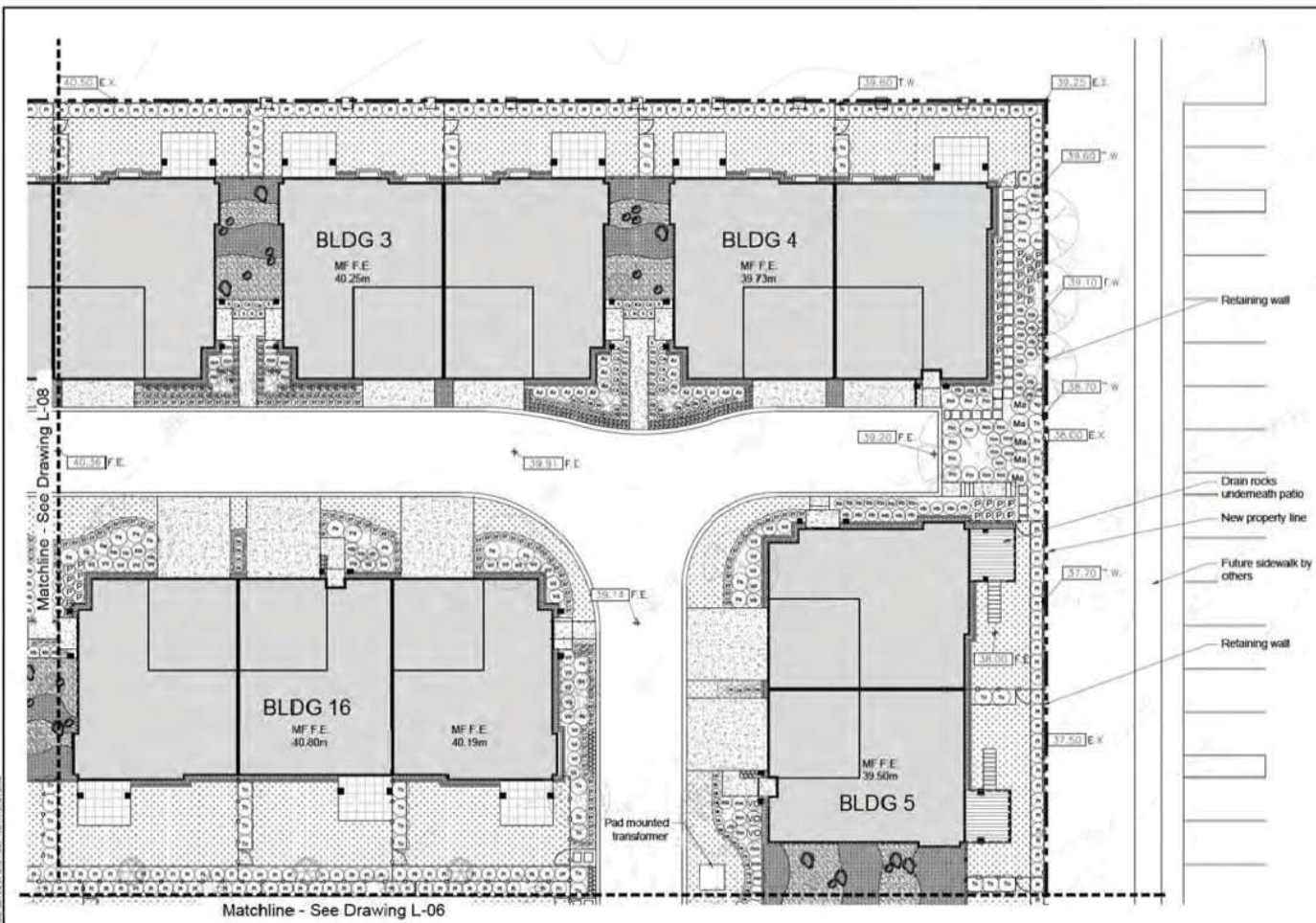
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
Ab	53	Abies balsamea 'Nana'	Dwarf Balsam Fir	#2 Pot	600mm o.c.
Bs	7E	Azalea 'Mandarin Light'	Mandarin Lights Azalea	#2 Pot	1000mm o.c.
Bs	154	Boxus sempervirens 'Suffruticosa'	Dwarf English Boxwood	#1 Pot	600mm o.c.
Ck	152	Cornus sericea 'Kelsey'	Kelsey Redtwig Dogwood	#2 Pot	500mm o.c.
Hm	54	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea	#2 Pot	1000mm o.c.
Ma	33	Mahonia aquifolium	Oregon Grape	#3 Pot	1200mm o.c.
Pa	24	Picea abies 'Nidiformis'	Nest Spruce	#3 Pot	1200mm o.c.
Pm	2C	Pinus mugo 'Pumilio'	Dwarf Mugo Pine	#3 Pot	1200mm o.c.
Pt	399	Prunus laurala	Portuguese Laurel	#2 Pot	1000mm o.c.
Rb	6E	Rhododendron 'Blue Diamond'	Blue Diamond Rhododendron	#2 Pot	700mm o.c.
Ra	5E	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	#3 Pot	1200mm o.c.
Rr	2P	Rosa rugosa 'Purple Pavement'	Purple Pavement Rose	#2 Pot	1000mm o.c.
S	114	Spirea japonica 'Magic Carpet'	Magic Carpet Spirea	#1 Pot	600mm o.c.
Tc	41	Taxus cuspidata 'Nana'	Dwarf Japanese Yew	#2 Pot	1000mm o.c.
To	17E	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	#3 Pot	1200mm o.c.
Vt	74	Vaccinium ovatum	Evergreen Huckleberry	#2 Pot	1000mm o.c.
Vd	92	Viburnum davidii	Davidi's Viburnum	#2 Pot	1000mm o.c.

PERENNIAL SOILCOVERS

Ca	35	Catanagrostis x acutiflora 'Karl Foerster'	Foerster's Feather Reed Grass	#1 Pot	700mm o.c.
	53E	Colowester garden 'Spring's Feeding'	Juncowerry	#1 Pot	300mm o.c.
	429	Erica carnea 'Springwood White'	Springwood White Winter Heather	#1 Pot	300mm o.c.
	3E3	Euryymias fortunei 'Colorata'	Purpleleaf Wintercreeper	#1 Pot	600mm o.c.
	354	Festuca glauca	Blue Fescue	#1 Pot	300mm o.c.
	91	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	#1 Pot	450mm o.c.
	139	Hosta 'Big Daddy'	Big Daddy Hosta	#1 Pot	900mm o.c.
	47	Helictotrichon sempervirens	Blue Owl Grass	#1 Pot	600mm o.c.
	333	Lavandula angustifolia 'Hidote Blue'	Hidote Blue English Lavender	#1 Pot	300mm o.c.
	143	Polydrum ruminatum	Wideman Sweet Fern	#1 Pot	750mm o.c.
	52	Rudbeckia fulgida 'Goldstrum'	Black-Eyed Susan	#1 Pot	450mm o.c.
	64	Sedum spurium 'Dragon's Blood'	Dragon's Blood Stonecrop	#1 Pot	450mm o.c.

- ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BALAN OR BCCLA GUIDELINES.
- TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTORS EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
- AMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTORS EXPENSE.
- TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
  - A. SHRUBS: 400MM
  - B. SOIL: 100MM
  - C. TREE FITS: 1000MM WITH 300MM (BELOW ROOT BALL)
5. 1" MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
6. ALL LANDSCAPED AREAS TO BE IRRIGATED TO IABC STANDARDS.

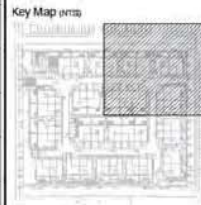




### LANDSCAPE LEGEND

KEY	REF	DESCRIPTION
[Pattern]	4 LD-01	CONCRETE SLAB
[Pattern]	6 LD-01	PERMEABLE PAVERS
[Pattern]		RIVER ROCK
[Pattern]		MIXED RIVER ROCK
[Pattern]	1 LD-01	VEHICULAR CONCRETE PAVERS (80mm)
[Pattern]	1 LD-01	CONCRETE PAVERS
[Pattern]	1 LD-01	CONCRETE PAVERS
[Pattern]		WOOD DECK
[Pattern]	2 LD-01	DRIP STRIP
[Symbol]	1/2 LD-02	FENCE See Fencing Plan L-04 for fence types
[Symbol]		SOO See Critical Landscape Notes for Specifications
[Symbol]	3 LD-03	SHRUB PLANTING
[Symbol]	5 LD-01	LANDSCAPE BOULDERS
[Symbol]	3 LD-01	HYDRAPRESSED SLAB WALKWAY
[Symbol]	1/2 LD-02	GATE
[Symbol]	5 LD-03	BENCH

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 1900 Yonge St. #1000 Toronto, ON M2M 1G9



No.	By	Description	Date
1	MW	Issue For DP	Nov. 07, 2016
2	MW	Issue For DP	Oct. 03, 2016
3	MW	Issue For Draft Review	Oct. 03, 2016
4	AD	Issue For Draft Review	Sept. 23, 2016

REVISIONS TABLE FOR DRAWINGS  
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### PLANT LIST SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	PERENNIALS/GROUNDCOVERS
<b>SHRUBS</b>						
Ab	53	Abies balsamea 'Nana'	Dwarf Balsam Fir	#2 Pot	900mm o.c.	Ca 75 Calamagrostis x scutellora 'Karl F. Oster'
Az	78	Azalea 'Mandarin Lights'	Mandarin Lights Azalea	#2 Pot	1000mm o.c.	535 Cotoneaster dammeri 'Stein's Fending'
Bs	154	Borus sempervirens 'Suffruticosa'	Dwarf English Bolewood	#1 Pot	600mm o.c.	409 Erica carnea 'Springwood White'
Ck	152	Comus sericea 'Kelsey'	Kelsey Redtwig Dogwood	#2 Pot	500mm o.c.	EF 363 Eonymus fortunei 'Coloratus'
Hn	54	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea	#2 Pot	1000mm o.c.	F 354 Festuca glauca
Ma	33	Mahonia aquifolium	Oregon Grape	#3 Pot	1200mm o.c.	H 51 Hemerocallis 'Stella D'Oro'
Pa	24	Prinos alatae 'Nadiformis'	Nest Spruce	#3 Pot	1200mm o.c.	Hb 109 Hosta 'Big Daddy'
Ph	20	Prinos mugo 'Pumilio'	Dwarf Mugo Pine	#3 Pot	1200mm o.c.	Hs 47 Helictotrichon sempervirens
Pl	399	Prunus lusitana	Portuguese Laurel	#2 Pot	1000mm o.c.	L 333 Lonicularia angustifolia 'Hidcote Blue'
Rd	68	Rhododendron 'Blue Diamond'	Blue Diamond Rhododendron	#2 Pot	700mm o.c.	P 140 Pelystichum murinum
Ra	55	Rhus aromatica 'Cro-Low'	Gro-Low Fragrant Sumac	#3 Pot	1200mm o.c.	Rf 92 Rudbeckia fulgida 'Goldstrum'
Ry	29	Rosa rugosa 'Purple Pavement'	Purple Pavement Rose	#2 Pot	1000mm o.c.	64 Sedum spatum 'Oregon's Blood'
Si	114	Spirea japonica 'Magic Carpet'	Magic Carpet Spirea	#1 Pot	600mm o.c.	
Tc	41	Taxus cuspidata 'Nana'	Dwarf Japanese Yew	#2 Pot	1000mm o.c.	
To	170	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	#2 Pot	1200mm o.c.	
Vo	74	Vaccinium ovatum	Evergreen Huckleberry	#2 Pot	1000mm o.c.	
Vd	93	Viburnum davidii	David's Viburnum	#2 Pot	1000mm o.c.	

1. ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY PALMA OR BCCLA GUIDELINES.
2. TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
3. AMEND TOPSOIL PER LOCAL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
4. TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
  - A. 5000 - 150MM
  - B. 5000 - 400MM
  - C. TREE FITS 1000MM WITH 300MM BELOW ROOT BALL
5. 1" AMMUS COMPOST MULD TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
6. ALL LANDSCAPED AREAS TO BE BRUSHED TO MARK STANDARDS.



Drawing Title: SITE PLAN - NORTH EAST

Project: VILLAGE CHURCH TOWNHOMES

Drawing #: L-07



DP2016-42

VOZ Project #

1:150

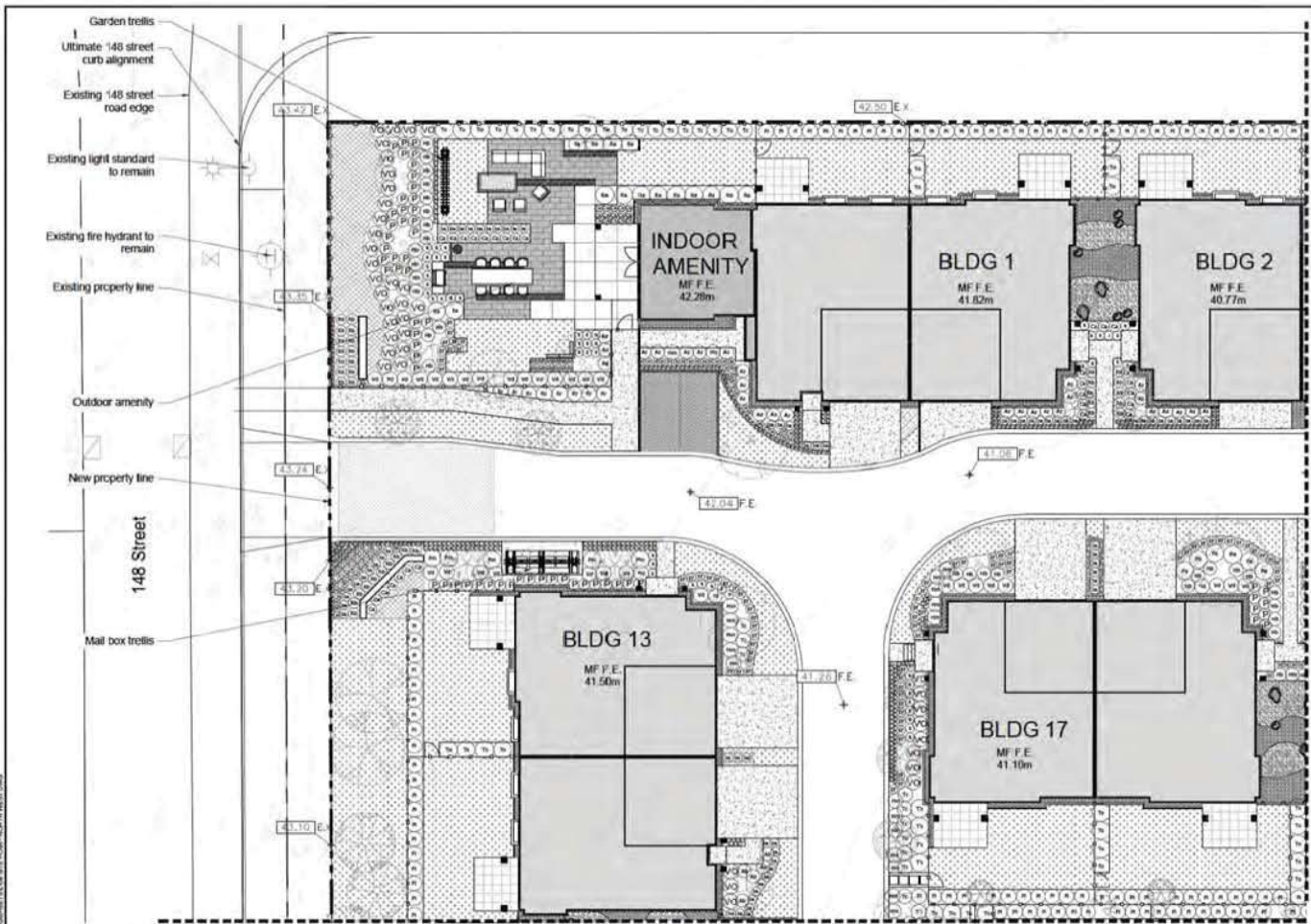
Location:  
148 Street @ Hwy 10  
Surrey, BC

Drawn: AD  
Stamp:

Checked: DJ

Approved: MV/DZ  
Original Sheet Size:  
24"x36"

Scale:  
1:150  
CONTRACTOR SHALL OBTAIN A PERMITS ON THE WORK AND OBTAIN APPROVAL FROM THE CONSULTANT BEFORE PROCEEDING. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SURREY'S LANDSCAPE DESIGN AND INSTALLATION MANUAL. THE OWNER ACCEPTS RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN AND FOR THE PROVISION OF ALL NECESSARY PERMITS AND APPROVALS.



### LANDSCAPE LEGEND

KEY	REF	DESCRIPTION
[Pattern]	4 (LD-01)	CONCRETE SLAB
[Pattern]	6 (LD-01)	PERMEABLE PAVERS
[Pattern]		RIVER ROCK
[Pattern]		MIXED RIVER ROCK
[Pattern]	1 (LD-01)	VEHICULAR CONCRETE PAVERS (30mm)
[Pattern]	1 (LD-01)	CONCRETE PAVERS
[Pattern]	1 (LD-01)	CONCRETE PAVERS
[Pattern]		WOOD DECK
[Pattern]	2 (LD-01)	DRIP STRIP
[Pattern]	1/2 (LD-02)	FENCE See Fencing Plan L-04 for fence types
[Pattern]		SCD See Critical Landscape Notes for Specifications
[Pattern]	3 (LD-03)	SHRUB PLANTING
[Pattern]	5 (LD-01)	LANDSCAPE BOULDERS
[Pattern]	3 (LD-01)	HYDRAPRESSED SLAB WALKWAY
[Pattern]	1/2 (LD-02)	GATE
[Pattern]	5 (LD-03)	BENCH

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 F: 604-882-8822  
 info@vaz.com  
 www.vaz.ca



### REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date
1	AD	Issue For Draft Review	Nov. 07, 2016
2	AD	Issue For Draft Review	Oct. 01, 2016
3	AD	Issue For Draft Review	Oct. 01, 2016
4	AD	Issue For Draft Review	Oct. 01, 2016
5	AD	Issue For Draft Review	Oct. 01, 2016
6	AD	Issue For Draft Review	Oct. 01, 2016
7	AD	Issue For Draft Review	Oct. 01, 2016
8	AD	Issue For Draft Review	Oct. 01, 2016
9	AD	Issue For Draft Review	Oct. 01, 2016
10	AD	Issue For Draft Review	Oct. 01, 2016

### PLANT LIST SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
<b>SHRUBS</b>					
Ab	53	Abies balsamea 'Nana'	Dwarf Balsam Fir	#2 Pot	900mm o.c.
Az	76	Acacia Mandarin 'Ligata'	Mandarin Ligata Acacia	#2 Pot	1000mm o.c.
Bs	154	Buxus sempervirens 'Suffruticosa'	Dwarf English Boxwood	#2 Pot	600mm o.c.
Cl	152	Cornus sericea 'Keiskei'	Keiskei Redtwig Dogwood	#2 Pot	500mm o.c.
Hs	54	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea	#2 Pot	1000mm o.c.
Ma	33	Malva aquatilis	Oregon Grape	#3 Pot	1200mm o.c.
Pa	24	Picea abies 'Nidiformis'	Nest Spruce	#3 Pot	1200mm o.c.
Pms	20	Pinus mugo 'Purolo'	Dwarf Mugo Pine	#3 Pot	1200mm o.c.
Pl	399	Pinus koraiensis	Parigiense Laurel	#2 Pot	1000mm o.c.
Rb	68	Rhododendron 'Blue Diamond'	Blue Diamond Rhododendron	#2 Pot	700mm o.c.
Ra	55	Pinus aromatica 'Gro-Low'	Gro-Low Fragrant Bark	#3 Pot	1200mm o.c.
Rr	29	Rosa rugosa 'Purple Pavement'	Purple Pavement Rose	#2 Pot	1000mm o.c.
S	114	Spiraea japonica 'Magic Carpet'	Magic Carpet Spirea	#1 Pot	600mm o.c.
Tc	41	Taxus cuspidata 'Nana'	Dwarf Japanese Yew	#2 Pot	1000mm o.c.
To	170	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	#3 Pot	1200mm o.c.
Vo	74	Vaccinium ovatum	Evergreen Huckleberry	#2 Pot	1000mm o.c.
Vd	93	Viburnum davidii	Davis's Viburnum	#2 Pot	1000mm o.c.

### PERENNIALS/GROUNDCOVERS

Ca	75	Calamagrostis x acutiflora 'Karl Foerster'	Foerster's Feather Reed Grass	#1 Pot	700mm o.c.
535	Colocheaster dammeri 'Siville's Finding'	Junelberry	#1 Pot	300mm o.c.	
406	Erica carnea 'Springwood White'	Springwood White Winter Heather	#1 Pot	300mm o.c.	
363	Euonymus fortunei 'Coloratus'	Purpleleaf Wintercreeper	#1 Pot	400mm o.c.	
354	Festuca glauca	Blue Fescue	#1 Pot	300mm o.c.	
91	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	#1 Pot	450mm o.c.	
109	Hosta 'Big Daddy'	Big Daddy Hosta	#1 Pot	900mm o.c.	
47	Helictotichon sempervirens	Blue Oat Grass	#1 Pot	800mm o.c.	
331	Lavandula angustifolia 'Hidcote Blue'	Hidcote Blue English Lavender	#1 Pot	300mm o.c.	
140	Phytolichon muricum	Western Sword Fern	#1 Pot	750mm o.c.	
52	Fraxinella kyoga 'Goldalbatru'	Black-Eyed Susan	#1 Pot	450mm o.c.	
64	Sedum spinum 'Dragon's Blood'	Dragon's Blood Stonecrop	#1 Pot	450mm o.c.	

- ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BALNA OR BCSLA GUIDELINES.
- TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
- AMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
- TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
  - A. SHRUBS: 400MM
  - B. SOD: 150MM
  - C. TREE PITS: 1000MM WITH 300MM BELOW FOOT BALLS
- 1" MINUS COMPOST BLEND TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
- ALL LANDSCAPED AREAS TO BE IRRIGATED TO SARC STANDARDS.



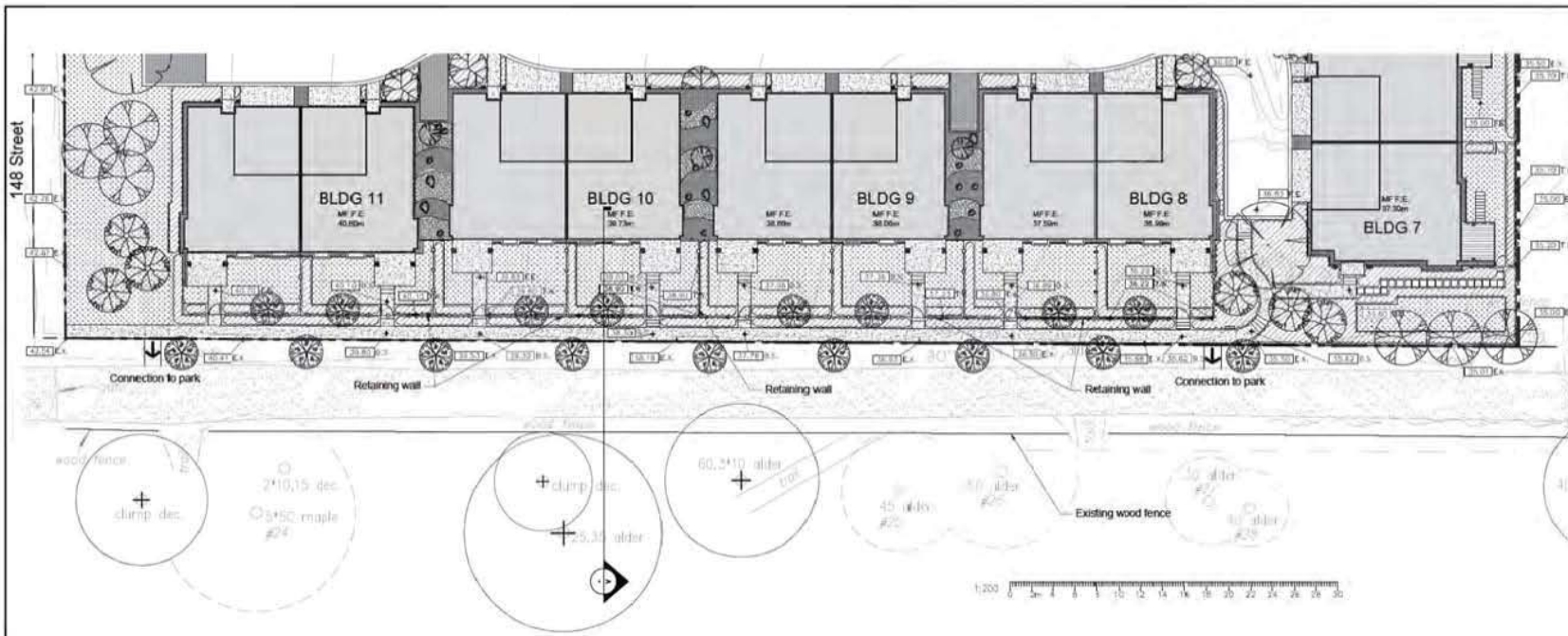
Drawing Title: **SITE PLAN - NORTH WEST**  
 Drawing #: **L-08**  
 Project #: **DP2016-42**

Project:  
**VILLAGE CHURCH TOWNHOMES**  
 Location:  
**148 Street @ Hwy 10  
 Surrey, BC**

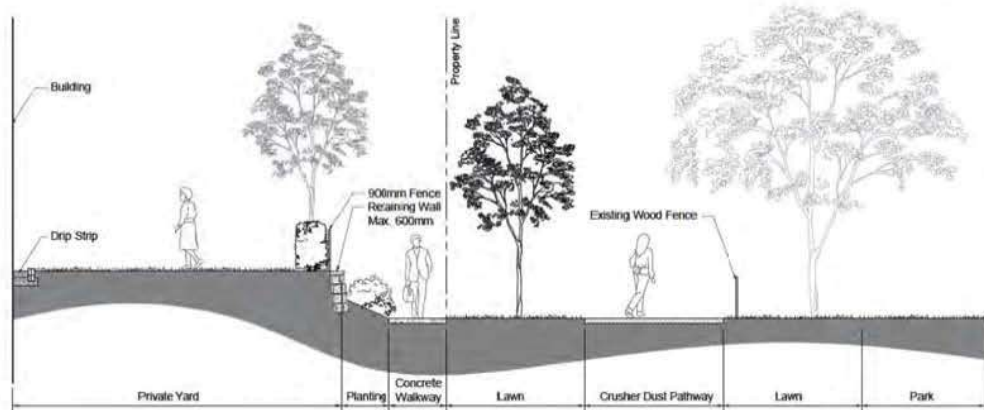
Drawn:  
 AD  
 Checked:  
 DJ  
 Approved:  
 MV/DZ  
 Stamp:  
 Original Sheet Size:  
**24"x36"**

Scale:  
**1:150**  
 CONTRACTOR SHALL OBTAIN ALL PERMITS AND BE RESPONSIBLE FOR THE WORK AND OBTAIN APPROVAL FROM THE LOCAL AUTHORITY FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.





1 SITE PLAN - SOUTH PROPERTY LINE  
Scale 1:200

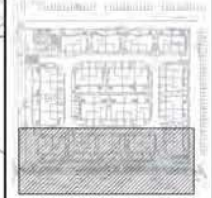


2 SECTION A-A  
Scale 1:50

van der Zalm + associates inc.  
 Parks & Recreation • Civil Engineering  
 Urban Design • Landscape Architecture  
 Suite 1, 2017 15th Avenue  
 Surrey, British Columbia  
 V4A 2E6  
 Tel: 604-582-8828  
 Fax: 604-582-8822  
 info@vzai.com



Key Map ans



No.	By	Description	Date
1	MVP	Issue For DP	Nov. 07, 2016
2	MVP	Issue For DP	Oct. 01, 2016
3	MVP	Issue For Draft Review	Oct. 03, 2016
4	AD	Issue For Draft Review	Sept. 23, 2016

REVISIONS TABLE FOR DRAWINGS

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REVISIONS TABLE FOR SHEET

Project:  
 VILLAGE CHURCH TOWNHOMES

Location:  
 148 Street @ Hwy 10  
 Surrey, BC

Drawn:  
 AD

Checked:  
 DJ

Approved:  
 MVPZ

Stamp:

Original Sheet Size:  
 24"x36"

Scale:  
 AS SHOWN

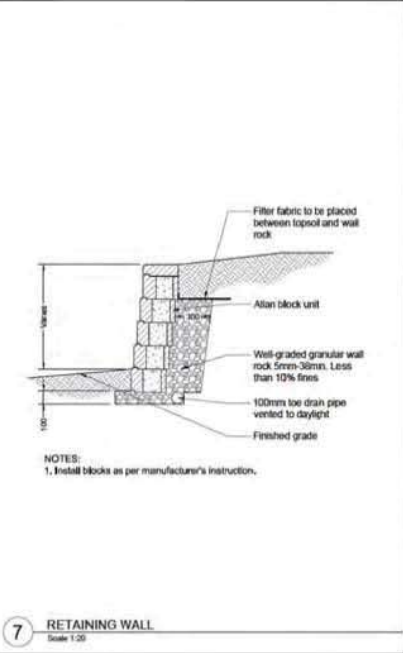
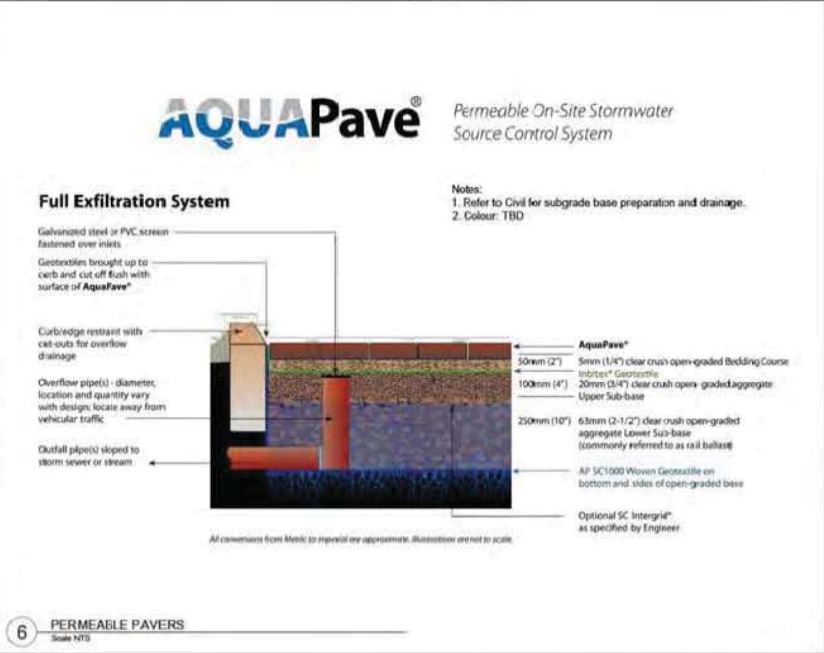
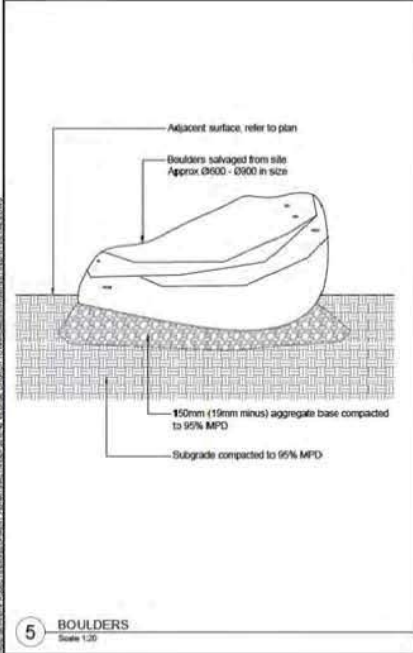
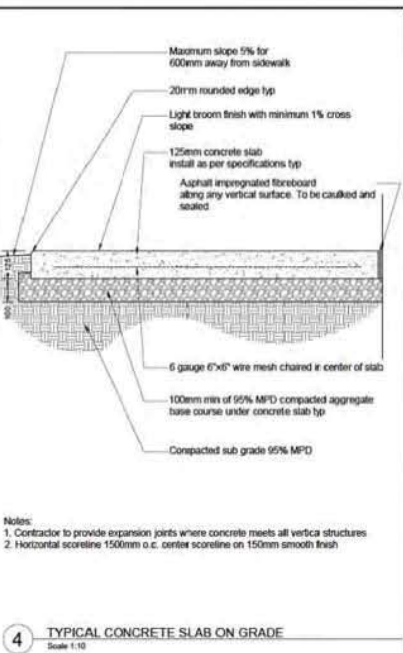
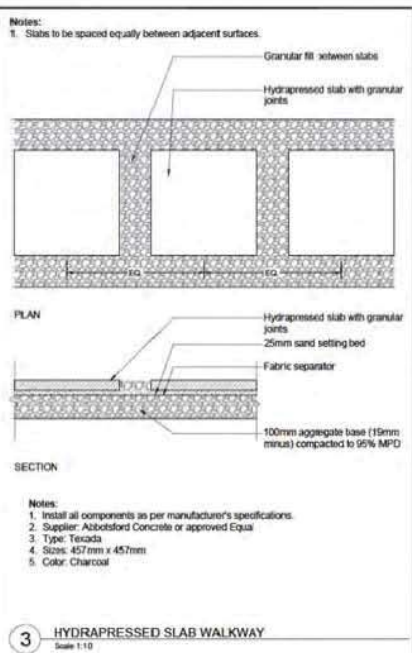
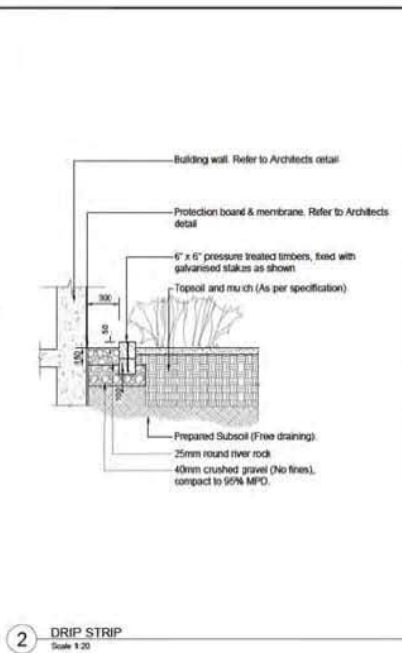
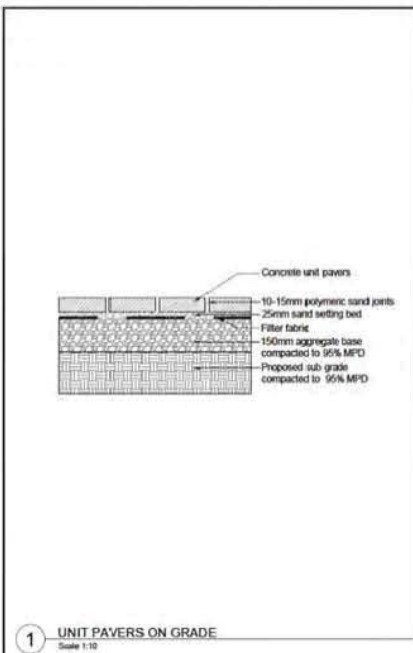
CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING. THE CONSULTANT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DESIGN AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

Drawing Title:  
**SECTION**

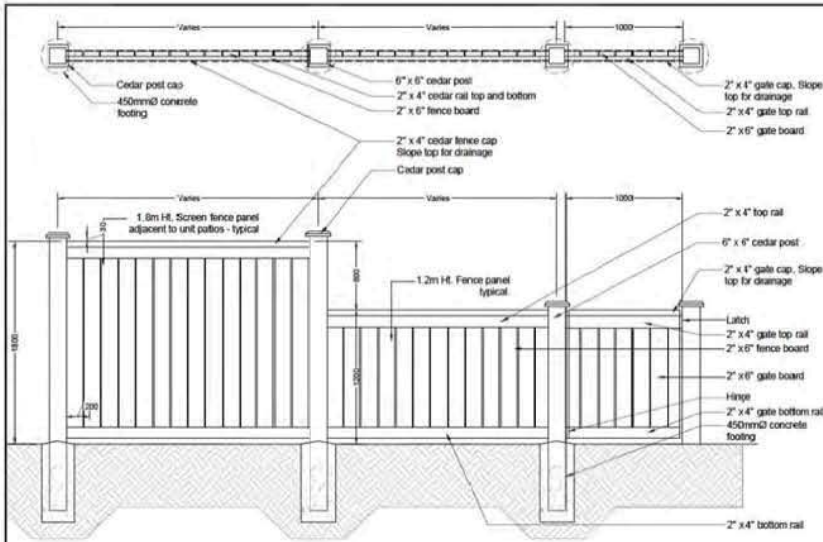


Project #:  
**DP2016-42**

Drawing #:  
**L-09**

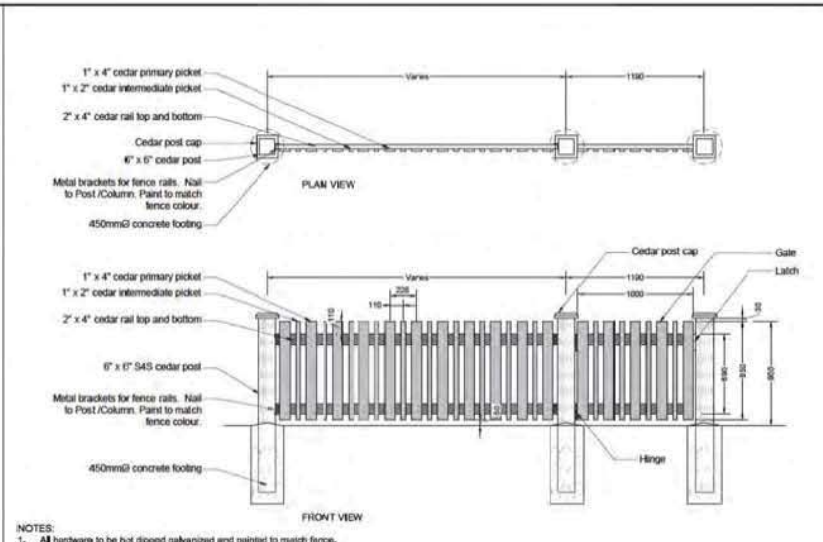


No.	By	Description	Date
1	AD	Issue For D.P.	Nov. 07, 2016
2	MVZ	Issue For D.P.	Oct. 07, 2016
3	MVZ	Issue For Draft Review	Oct. 03, 2016
4	AD	Issue For Draft Review	Sept. 23, 2016
5	AD	Issue For Draft Review	Sept. 23, 2016
6	AD	Issue For Draft Review	Sept. 23, 2016
7	AD	Issue For Draft Review	Sept. 23, 2016
8	AD	Issue For Draft Review	Sept. 23, 2016
9	AD	Issue For Draft Review	Sept. 23, 2016
10	AD	Issue For Draft Review	Sept. 23, 2016
11	AD	Issue For Draft Review	Sept. 23, 2016
12	AD	Issue For Draft Review	Sept. 23, 2016
13	AD	Issue For Draft Review	Sept. 23, 2016
14	AD	Issue For Draft Review	Sept. 23, 2016
15	AD	Issue For Draft Review	Sept. 23, 2016
16	AD	Issue For Draft Review	Sept. 23, 2016
17	AD	Issue For Draft Review	Sept. 23, 2016
18	AD	Issue For Draft Review	Sept. 23, 2016
19	AD	Issue For Draft Review	Sept. 23, 2016
20	AD	Issue For Draft Review	Sept. 23, 2016



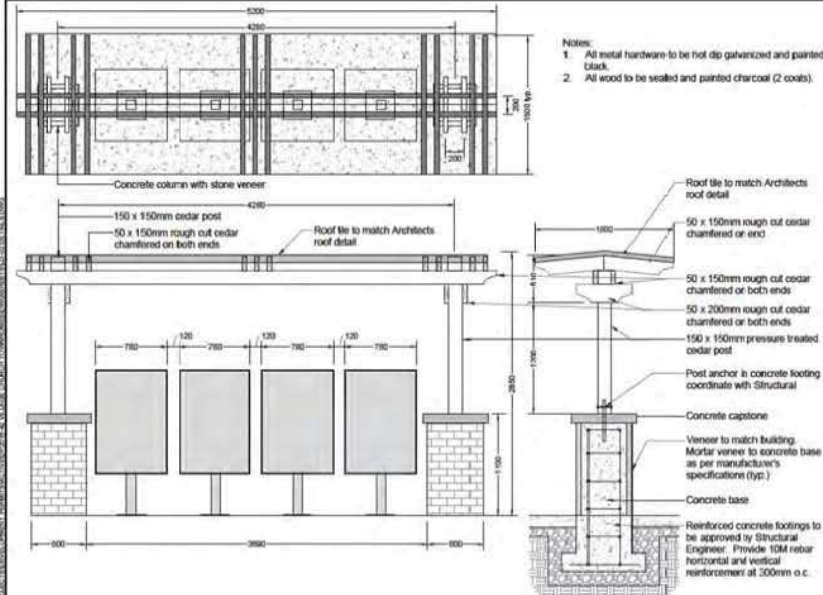
- NOTES:
1. All hardware to be hot dipped galvanized and painted to match fence.
  2. All wood to be S4S western red cedar.
  3. All wood to be sealed and painted charcoal (2 coats).
  4. Spacing between wooden boards to be 13mm (1/2").

1 CEDAR FENCE W/ GATE  
Scale 1:20

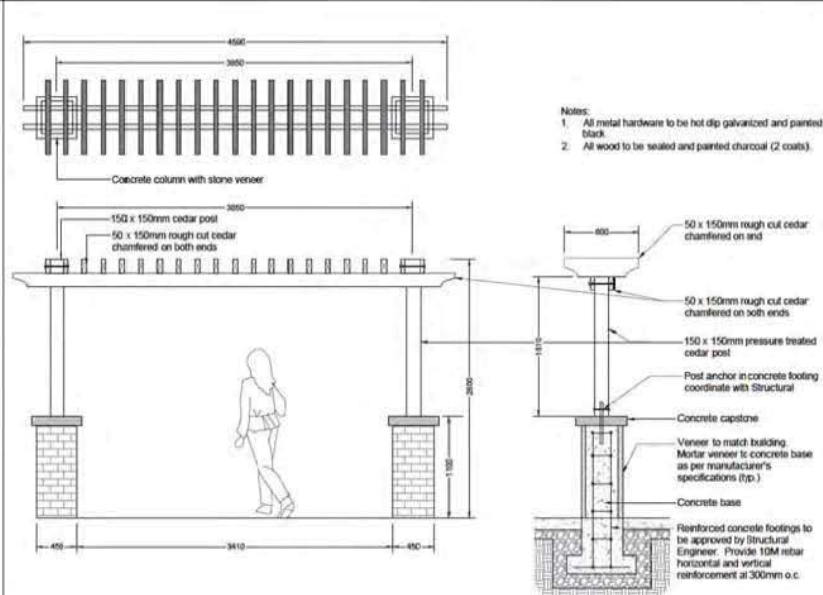


- NOTES:
1. All hardware to be hot dipped galvanized and painted to match fence.
  2. All wood to be S4S western red cedar.
  3. All wood to be sealed and painted charcoal (2 coats).

2 PICKET FENCE W/ GATE  
Scale 1:20



3 MAIL BOX TRELLIS  
Scale 1:20

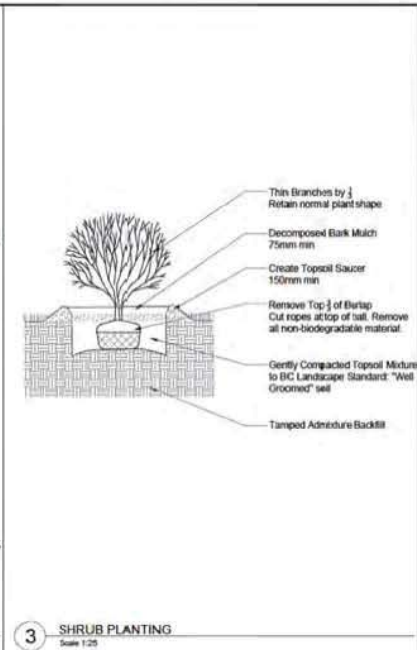
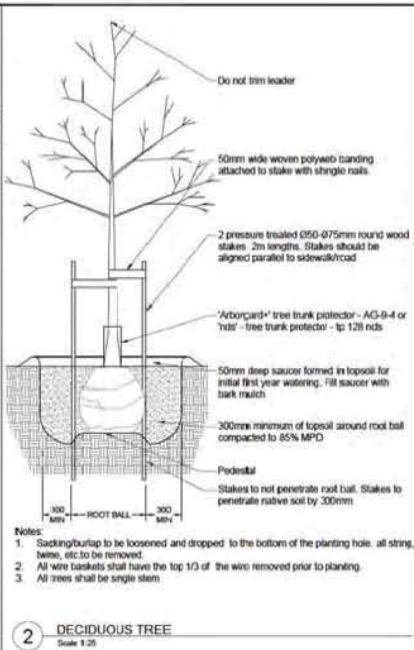
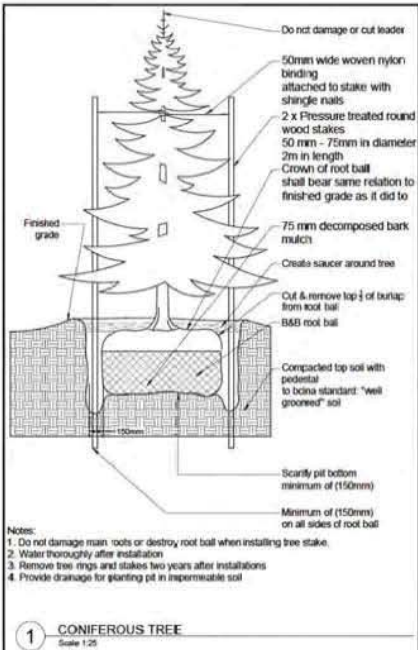


4 GARDEN TRELLIS  
Scale 1:20



No.	By	Description	Date
1	AD	Issue For O.P.	Nov. 07, 2016
2	MW	Issue For O.P.	Oct. 07, 2016
3	MW	Issue For Draft Review	Oct. 03, 2016
4	AD	Issue For Draft Review	Sept. 23, 2016

REVISIONS TABLE FOR SHEET	
Project: VILLAGE CHURCH TOWNHOMES	
Location: 148 Street @ Hwy 10 Surrey, BC	
Drawn: AD	Scale: Original Sheet Size: 24"x36"
Checked: DJ	
Approved: MVGZ	
Scale: AS SHOWN	



No.	By	Description	Date
1	AD	Issue For DCP	Nov. 07, 2016
2	MVP	Issue For DCP	Oct. 07, 2016
3	MVP	Issue For Draft Review	Oct. 03, 2016
4	AD	Issue For Draft Review	Sept. 23, 2016

REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date

Project:  
VILLAGE CHURCH TOWNHOMES

Location:  
148 Street @ Hwy 10  
Surrey, BC

Drawn: AD	Stamp:
Checked: DJ	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL VERIFY ALL DIMENSIONS FOR THE WORK AND NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING. ALL DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE NOTED.

---

**TO: Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

**FROM: Development Services Manager, Engineering Department**

**DATE: November 30, 2016** PROJECT FILE: **7816-0057-00**

---

**RE: Engineering Requirements (Commercial/Industrial)  
Location: 14844 No 10 (56 Ave) Hwy and 14876 No.10 (56 Ave) Hwy**

#### **OCP AMENDMENT/NCP AMENDMENT**

There are no engineering requirements relative to the OCP Amendment/NCP Amendment.

#### **REZONE/SUBDIVISION**

##### ***Property and Right-of-Way Requirements***

- dedicate 2.942 metres fronting 148 Street for an ultimate 25 m Collector Road.
- dedicate 5.0m x 5.0m corner cut at the intersection of 148 Street and Hwy 10.
- dedicate 17.0 metre cul de sac bulb on 54A Avenue.
- provide a 0.5 metre ROW fronting 148 Street.

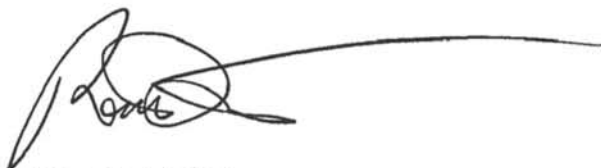
##### ***Works and Services***

- construct east side of 148 Street to a modified collector standard.
- construct a cul de sac bulb at the end of 54A Avenue.
- construct sanitary sewers and drainage infrastructure to service the development.
- provide adequate service connections to the development.

A Servicing Agreement is required prior to Rezone/Subdivision.

#### **DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT**

There are no engineering requirements relative to issuance of the Development Permit/  
Development Variance Permit.



Rémi Dubé, P.Eng.  
Development Services Manager  
LRi



Tuesday, November 22, 2016  
 Planning

**THE IMPACT ON SCHOOLS**

APPLICATION #: 16 0057 00

**SUMMARY**

The proposed 36 Single family with suites are estimated to have the following impact on the following schools:

**Projected # of students for this development:**

Elementary Students:	18
Secondary Students:	9

September 2016 Enrolment/School Capacity

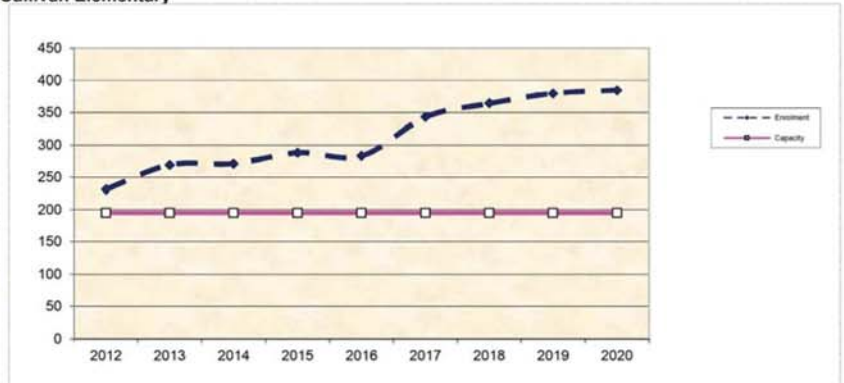
<b>Sullivan Elementary</b>	
Enrolment (K/1-7):	26 K + 257
Capacity (K/1-7):	20 K + 175
<b>Sullivan Heights Secondary</b>	
Enrolment (8-12):	1518
Nominal Capacity (8-12):	1000
Functional Capacity*(8-12):	1080

**School Enrolment Projections and Planning Update:**

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Both Sullivan Elementary and Sullivan Heights Secondary are overcapacity. A number of catchment changes are being implemented for September 2016 to help manage demand between South Newton elementary schools. The Sullivan Heights Secondary site cannot accommodate additional portables and from September 2016 onwards any new in-catchment registrants that are unable to be accommodated at Sullivan Heights Secondary will be accommodated at Frank Hurt Secondary. The District recently received funding approval for an addition to Sullivan Elementary which is likely open September 2018. The District's 2016/17 5-Year Capital Plan includes, as a high priority, a request for a new elementary school in the South Newton area and a large addition to Sullivan Heights Secondary. Until new space is approved and constructed, the area remains under significant enrolment pressures.

**Sullivan Elementary**



**Sullivan Heights Secondary**



\*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

## TREE PRESERVATION SUMMARY

Surrey Project No.: \_\_\_\_\_  
 Project Address: 14844 56 Avenue, Surrey, BC  
 Consulting Arborist: Nick McMahon

ON-SITE TREES:	QUANTITY OF TREES
<b>Total Bylaw Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, excluding Park and ESA dedications)	6
<b>Bylaw Protected Trees to be Removed</b>	6
<b>Bylaw Protected Trees to be Retained</b> (excludes trees in Park dedication areas and ESA's)	0
<b>Replacement Trees Required:</b>	
Alder and Cottonwood at 1:1 ratio:                      2 times 1 =    10	
All Other Bylaw Protected Trees at 2:1 ratio:            4 times 2 =    8	
TOTAL:	10
<b>Replacement Trees Proposed</b>	98
<b>Replacement Trees in Deficit</b>	0
<b>Protected Trees Retained in Proposed Open Space/ Riparian Areas</b>	0

OFF-SITE TREES:	QUANTITY OF TREES
<b>Bylaw Protected Off-Site Trees to be Removed</b>	0
<b>Replacement Trees Required:</b>	
Alder and Cottonwood at 1:1 ratio:                      0 times 1 =    0	
All Other Bylaw Protected Trees at 2:1 ratio:            0 times 2 =    0	
TOTAL:	0
<b>Replacement Trees Proposed</b>	0
<b>Replacement Trees in Deficit</b>	0

N/A denotes information "Not Available" at this time.

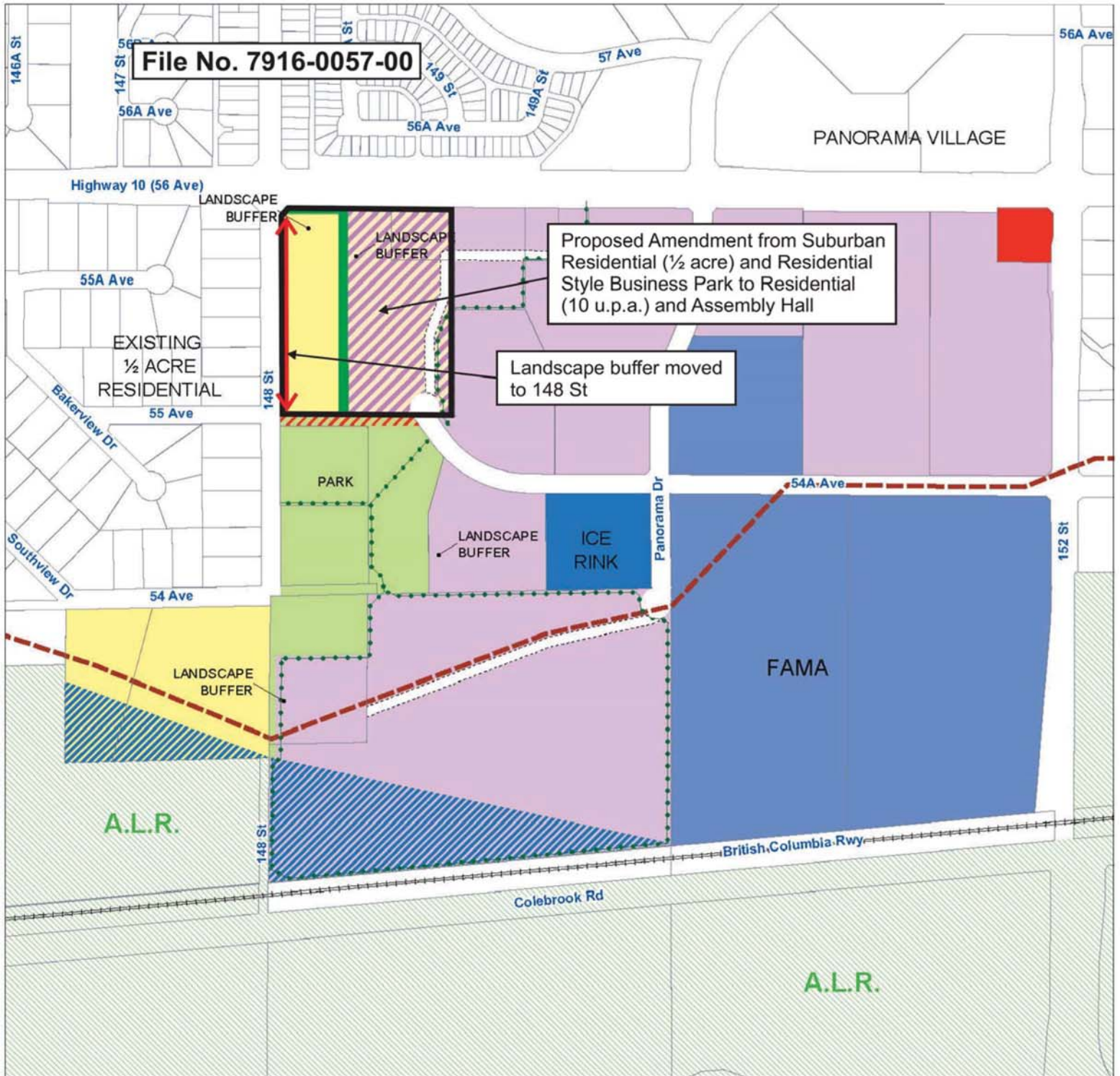
This summary and the referenced documents are prepared and submitted by:

















Nick McMahon, Consulting Arborist

Dated: November 22, 2016

Direct: 604 812 2986  
 Email: nick@aclgroup.ca



- |  |   |   |                                 |
|--|---|---|---------------------------------|
|  | EXISTING BUSINESS PARK  |  | SUBURBAN RESIDENTIAL (1/2 acre) |
|  | GAS STATION   |  | PARK                            |
|  | PROPOSED BUSINESS PARK  |  | BUFFER                          |
|  | RESIDENTIAL STYLE BUSINESS PARK<br>(SPECIAL DESIGN RESTRICTIONS WILL APPLY) |  | EMERGENCY/PEDESTRIAN ACCESS     |
|  | FLOOD PLAIN (APPROX.)<br>BUILDING RESTRICTIONS APPLY                        |  | INTERNAL ACCESS CONNECTION      |
|  | ICE RINK  |  | RAIL SYSTEM                     |
|  |   |  | GVRD TRUNK                      |
|  |   |  | WALKWAY                         |

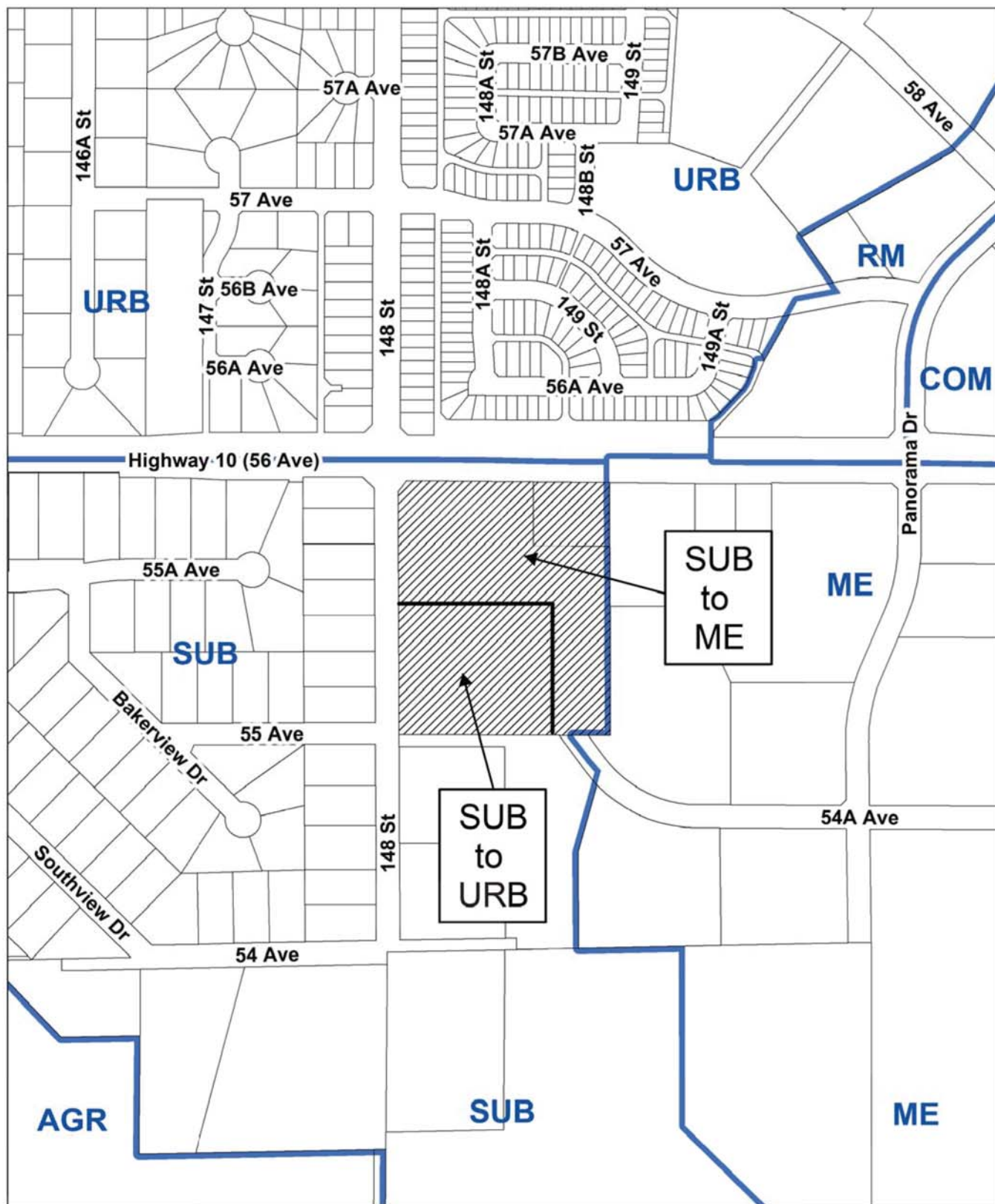
**EAST PANORAMA RIDGE CONCEPT PLAN**  
CITY OF SURREY - PLANNING & DEVELOPMENT DEPARTMENT

ADOPTED BY COUNCIL RESOLUTION ON MARCH 4, 2002  
(CORPORATE REPORT L003)



This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.





OCP Amendment 7916-0057-00  
Proposed amendment from Suburban to Urban  
and Suburban to Mixed Employment



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7916-0057-00

Issued To: BENCHMARK ESTATE (2009) LTD.  
(the "Owner")

Address of Owner: 100, 20120 - 64 Avenue  
Langley, BC V2Y 1M8

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
  
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 010-526-935  
Lot "A", Except Part on Plan BCP23653 Section 3 Township 2 New Westminster District Plan 19514  
14876 - Highway 10 (56 Avenue)

Parcel Identifier: 010-526-951  
Lot "B", Except Part in Plan BCP23653 Section 3 Township 2 New Westminster District Plan 19514  
14844 - Highway 10 (56 Avenue)

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) have been issued, as follows:

Parcel Identifier:

---

- (b) If the civic address changes, the City Clerk is directed to insert the new civic addresses for the Land, as follows:
-

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) to reduce the minimum front yard (Highway No. 10) setback of the "Assembly Hall 2 Zone (PA-2)" from 17.3 metres (56 feet) to 10 metres (32 feet);
  - (b) to increase the maximum building height allowed in the "Assembly Hall 2 Zone (PA-2)" from 9 metres (30 feet) to 17.3 metres (56 feet);
  - (c) to vary the "Assembly Hall 2 Zone (PA-2)" in order to permit off-street parking within the side yard setback along a flanking street; and
  - (d) to reduce the minimum landscaping required on the East side yard of the "Assembly Hall 2 Zone (PA-2)" from 3 metres (10 feet) to 1.5 metres (5 feet).
  
5. The landscaping and the siting of buildings and structures shall be in accordance with the drawing numbered 7916-0057-00 (A) through to 7916-0057-00 (C) (the "Drawings") which are attached hereto and form part of this development variance permit.
  
6. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
  
7.
  - (a) The landscaping shall conform to drawings numbered 7916-0057-00(A) through to and including 7916-0057-00(C) (the "Landscaping").
  - (b) The Landscaping shall be completed within six (6) months after the date of the final inspection of the buildings and structures referred to in the Drawings.
  - (c) Prior to the issuance of the building permit for this development, security is to be submitted to ensure satisfactory completion of the Landscaping. The security for the Landscaping is to be submitted as follows:

Cash or an Irrevocable Letter of Credit, in a form acceptable to the City, in the amount of \$696,800.14.

(the "Security")
  - (d)
    - i. When the Landscaping is substantially complete as determined by the City, without the City having to use the Security, 90% of the original Security will be returned. When the Landscaping receives final approval by the City, not earlier than twelve (12) months after the date of substantial completion of the Landscaping, 10% of the original Security will be returned;
    - ii. If final approval of the Landscaping is not given by the City, the City has the option of using the Security to complete the Landscaping and any

remaining money shall be returned. The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Landscaping; and

iii. If the City elects not to enter upon the Land to complete the Landscaping and the Owner does not complete the Landscaping, the Security is forfeited to the City five (5) years after the date of the provisional or final inspection of the buildings and structures referred to in the Drawings.

8. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
9. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
10. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
11. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

---

Mayor - Linda Hepner

---

City Clerk - Jane Sullivan



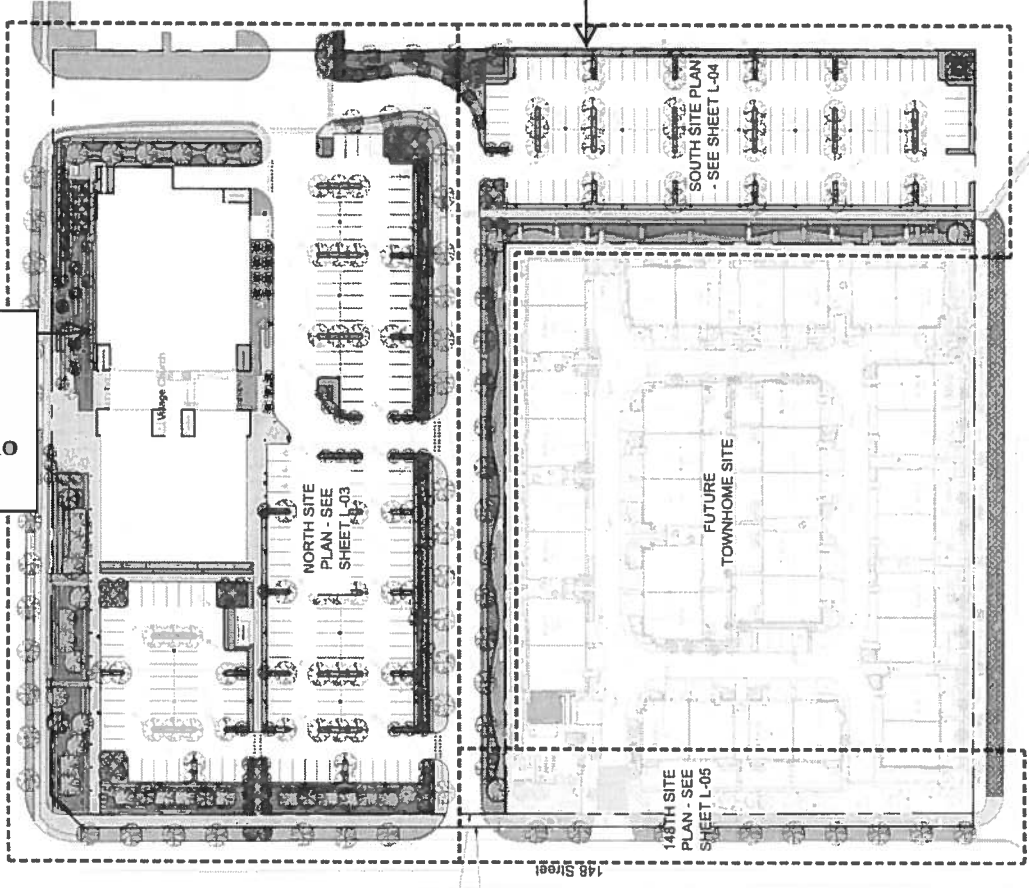
Project: Village Church  
Location: 18844 10th Ave Surrey, B.C.

Drawn	JA
Checked	JA
Approved	MCC
Scale	1:50
Original Scale	3/4" = 1'-0"

Minimum landscaping requirement reduced from 3 metres (10 ft.) to 1.5 metres (5 ft.).

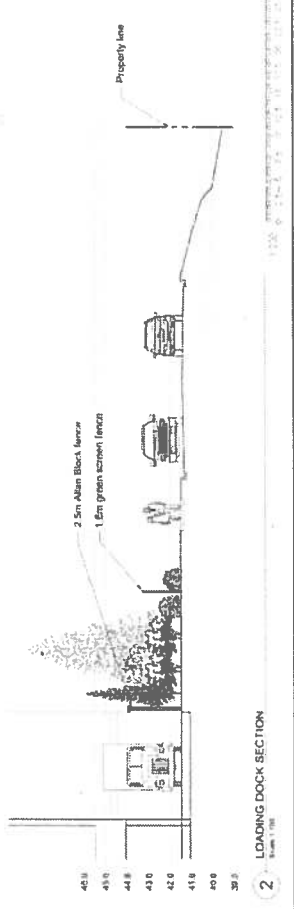
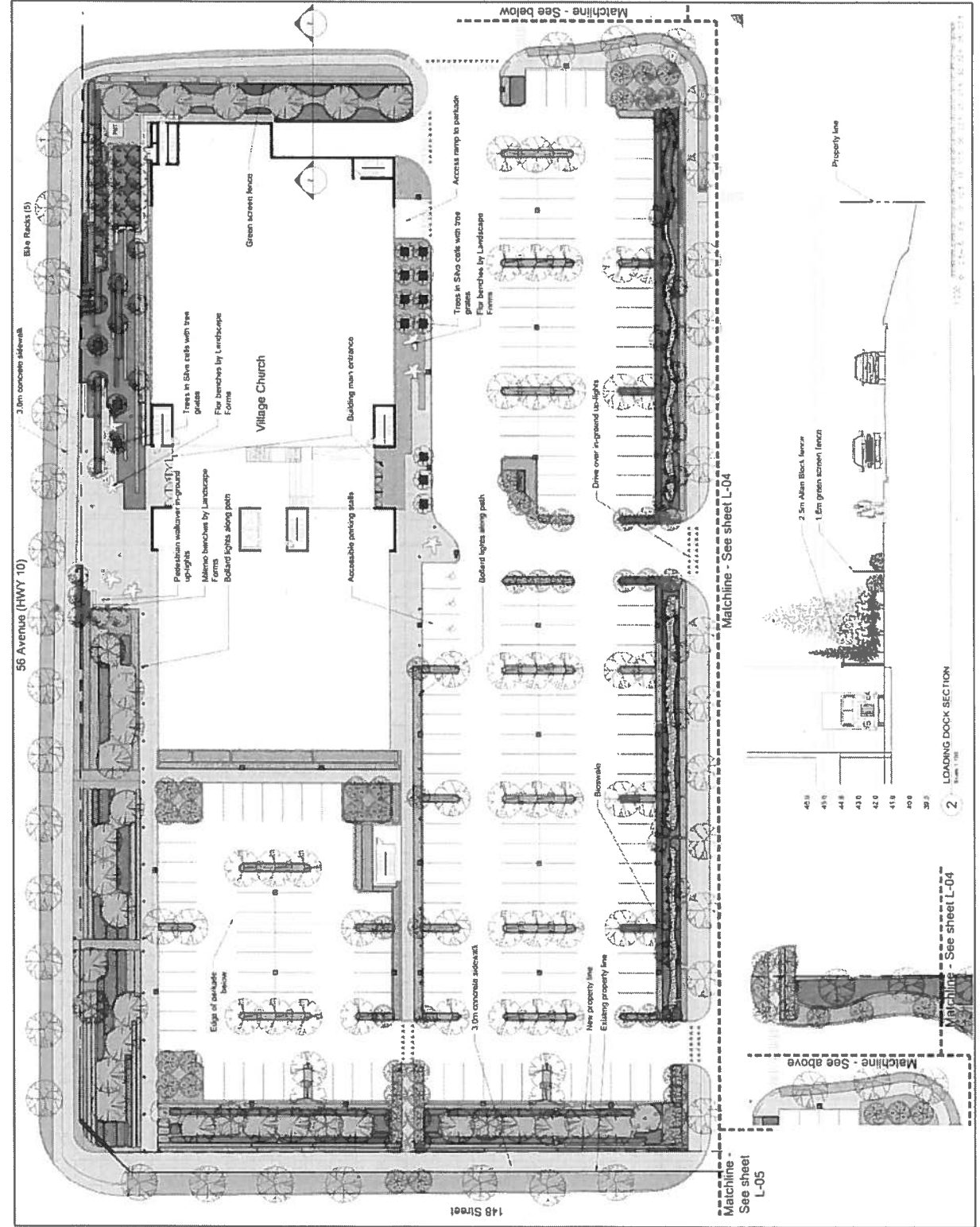
Maximum building height increased from 9 metres (30 ft.) to 17.3 metres (56 ft.).

Minimum front yard setback reduced from 17.3 metres (56 ft.) to 10 metres (32 ft.).



Off-street parking is permitted within the side yard setback along a flanking street.

Drawn	TS	Scale	1:250
Checked	MA	Original Scale	1/4" = 1'-0"
Approved	MA	Project	Village Church
Location	14844 56th Ave. Surrey, B.C.		



Matchline - See sheet L-04

Matchline - See sheet L-05

Matchline - See sheet L-04

Matchline - See below



L-04

DP2016-25

SOUTH SITE PLAN

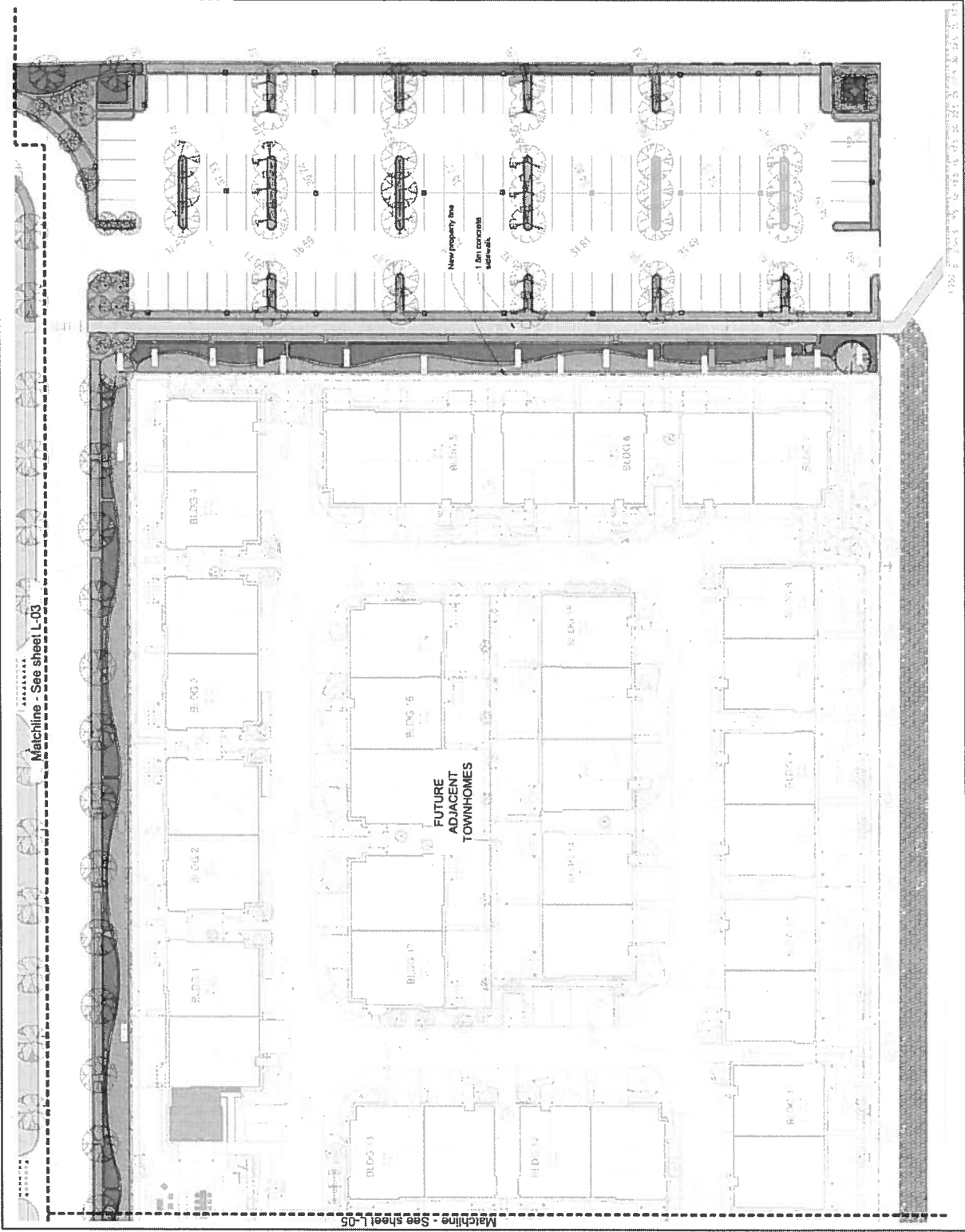


Van der Zande Associates Inc.

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Project: Village Church  
 Location: 14844 50th Ave. Surrey, B.C.

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Checked	TH	AD
Approved	TH	AD
Date	1/15/16	
Scale	1:250	



Matchline - See sheet L-03

Matchline - See sheet L-05

CITY OF SURREY

BYLAW NO. \_\_\_\_\_

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended  
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Portion of Parcel Identifier: 010-526-951  
Lot "B", Except Part in Plan BCP23653 Section 3 Township 2 New Westminster District Plan 19514 as shown on the Survey Plan attached hereto and forming part of this Bylaw as Schedule A, certified correct by John Onderwater, B.C.L.S. on the 5<sup>th</sup> day of October, 2016, containing 1.4910 hectares, called Block A.

Portion of 14844 – Highway 10 (56 Avenue)

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

**A. Intent**

This Comprehensive Development Zone is intended to accommodate and regulate the development of low *density, ground-oriented, multiple unit residential buildings* and related *amenity spaces*, which are to be developed in accordance with a *comprehensive design*.

**B. Permitted Uses**

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

- 1. *Ground-oriented multiple unit residential buildings.*
- 2. *Child care centres, provided that such centres:*



- (a) Do not constitute a singular use on the *lot*; and
- (b) Do not exceed a total area of 3.0 square metres [32 sq.ft.] per *dwelling unit*.

**C. Lot Area**

Not applicable to this Zone.

**D. Density**

- 1. The maximum *density* shall not exceed a *floor area ratio* of 0.5 and 25 *dwelling units* per hectare [10 u.p.a.].
- 2. The indoor *amenity space* required in Sub-section J.1(b) of this Zone is excluded from the calculation of *floor area ratio*.

**E. Lot Coverage**

The *lot coverage* shall not exceed 40%.

**F. Yards and Setbacks**

- 1. *Buildings and structures* shall be sited in accordance with the following minimum *setbacks*:

<b>Use</b>	<b>Setback</b>	<b>Front Yard (West)</b>	<b>Rear Yard (East)</b>	<b>Side Yard (South)</b>	<b>Side Yard (North)</b>
<i>Principal Buildings and Accessory Buildings and Structures</i>		10.0 m. [32 ft.]	4.0 m. [13 ft.]	4.5 m. [14 ft.]	4.0 m. [13 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

- 2. Notwithstanding Sub-sections E.17 (b) and (c) of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended:
  - (a) A maximum of five (5) stair risers may encroach into the *building setback* area; and
  - (b) Decks and patios greater than 0.6 metres [2 ft.] in *building height* may encroach into the *building setback* area.

## **G. Height of Buildings**

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. Principal buildings: The *building height* shall not exceed 9 metres [30 ft.].
2. Accessory buildings and structures:
  - (a) *Indoor amenity space buildings*: The *building height* shall not exceed 9 metres [30 ft.]; and
  - (b) *Other accessory buildings and structures*: The *building height* shall not exceed 4 metres [13 ft.].

## **H. Off-Street Parking**

1. Resident and visitor *parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Eighty percent (80%) of all required resident *parking spaces* shall be provided as *parking within building envelope*.

## **I. Landscaping**

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 7 metres [22 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping* screen, a solid decorative fence, or a combination thereof.

## **J. Special Regulations**

1. *Amenity space* shall be provided on the *lot* as follows:
  - (a) *Outdoor amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and

- (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit*.
2. *Child care centres* shall be located on the *lot* such that these centres:
- (a) Are accessed from a *highway*, independent from the access to the residential uses permitted in Section B of this Zone; and
  - (b) Have direct access to an *open space* and play area within the *lot*.

**K. Subdivision**

*Lots* created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
1.4 hectares [3.4 acres]	30 metres [100 ft.]	30 metres [100 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

**L. Other Regulations**

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-10 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.

6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2016, No. 18664, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-10 Zone.
9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.
11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002, c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, \_\_\_\_\_, No. \_\_\_\_\_."

PASSED FIRST READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

PASSED SECOND READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

PUBLIC HEARING HELD thereon on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

PASSED THIRD READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

\_\_\_\_\_ MAYOR

\_\_\_\_\_ CLERK