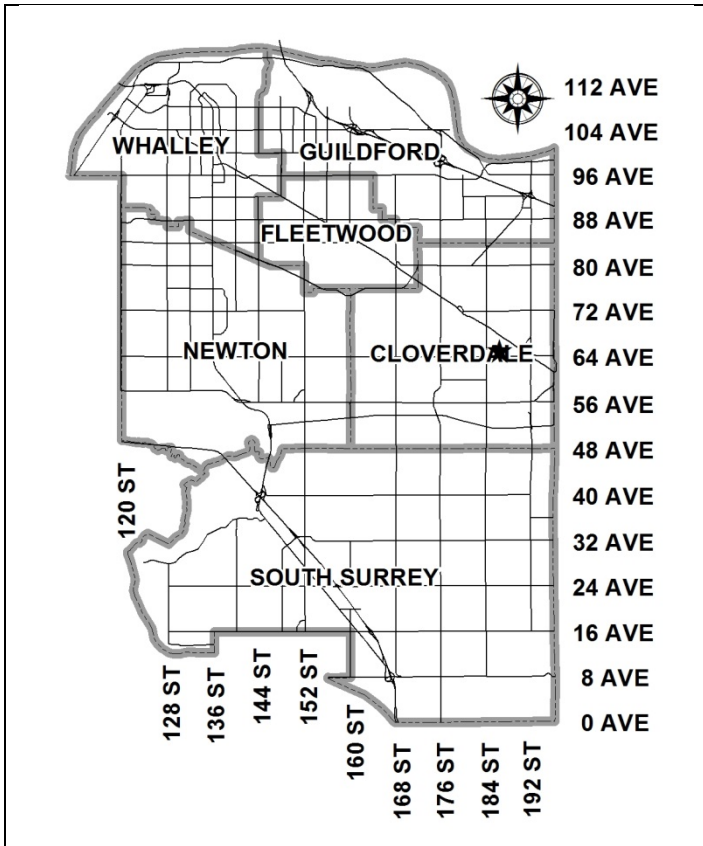


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0049-00

Planning Report Date: May 30, 2016



PROPOSAL:

- **Rezoning** from RA to CD (based on RF) to allow subdivision into two single family lots.

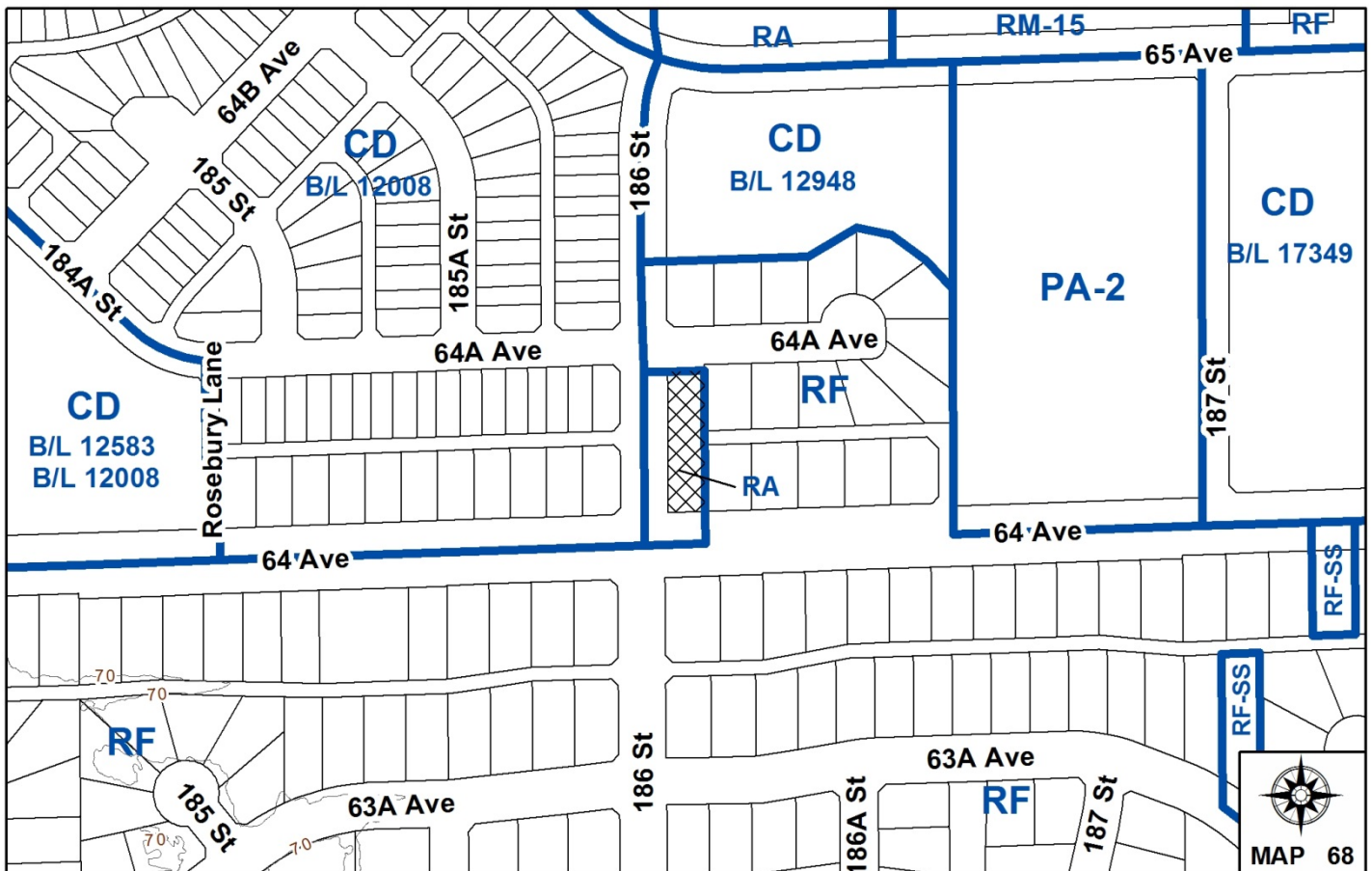
LOCATION: 18609 - 64 Avenue

OWNERS: Manraj S Ghuman
 Sarbjit K Ghuman

ZONING: RA

OCP DESIGNATION: Urban

NCP DESIGNATION: Single Family Residential



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with the Urban designation in the OCP.
- Complies with the Single Family Residential designation in the North Cloverdale East NCP.
- The proposal completes the pattern of single family lot development on this block.
- The proposed development will complete the east/west lane connection to 186 Street.
- The proposed CD Zone incorporates elements of both the RF and RF-12 Zones and will result in lot sizes and houses that are compatible with both the existing RF-zoned single family lots to the east and the smaller existing CD-zoned lots to the west.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from “One-Acre Residential Zone (RA)” to “Comprehensive Development Zone (CD)” and a date be set for Public Hearing.
2. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department; and
 - (e) completion of the closure and acquisition of the surplus portion of 64A Avenue, fronting proposed Lot 2.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

1 Elementary student at Hillcrest Elementary School
1 Secondary student at Clayton Heights Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by late 2017.

Parks, Recreation & Culture: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Oversized lot with single family dwelling to be retained and detached garage to be removed.

Adjacent Area:

Direction	Existing Use	NCP / OCP Designation	Existing Zone
North (Across 64A Avenue):	Single family dwelling	Single Family Residential	RF
East:	Single family dwellings	Single Family Residential	RF
South (Across 64 Avenue):	Single family dwelling	Urban in OCP	RF
West (Across 186 Street):	Single family dwellings	Single Family Residential	CD (By-law No. 12008)

DEVELOPMENT CONSIDERATIONSProposal

- The 948-square metre (1/4 ac.) subject site is located at 18609 – 64 Avenue in the North Cloverdale East Neighbourhood Concept Plan (NCP) area.
- The site is designated “Urban” in the Official Community Plan, “Single Family Residential” in the North Cloverdale East NCP and is zoned “One-Acre Residential Zone”(RA).
- The applicant is proposing to rezone the site from RA to “Comprehensive Development Zone” (CD) in order to subdivide into two (2) single family lots.
- The applicant is proposing a CD Zone that incorporates regulations of the RF and RF-12 Zones.
- The proposed CD Zone will respond to the context of the area which includes:
 - RF-zoned lots to the immediate east; and
 - Single family small lots as well as lot sizes comparable to the proposed subdivision, to the immediate west under CD By-law No. 12008.
- The lots to the west, zoned CD By-law No. 12008, are part of the Clover Valley Station development, which was approved in 1994 as the first small lot single family development in Surrey.
- Both proposed lots will generally be equal in size. The proposed lot width is 15.8 metres (52 ft.), the proposed lot depth is 28 metres (92 ft.) and the proposed lot area is approximately 435 square metres (4,680 sq. ft.).

- In order to achieve the proposed lot size for proposed Lot 2, the applicant will be required to close and acquire a surplus portion of 64A Avenue that fronts proposed Lot 2. Once completed, the lot depth of proposed Lot 2 will match the lot depth of the adjacent RF-zoned lot to the east (18616 - 64A Avenue).
- The proposed subdivision will complete the east/west lane connection to 186 Street and the pattern of single family development on this block.
- The alignment of the future Bose Greenway is within the existing road width of 64 Avenue, adjacent the front lot line of proposed Lot 1.
- The existing, single-storey house on proposed Lot 1 will be retained, however, the detached garage will be removed as it is located within the alignment of the lane to be extended. A location certificate submitted by the applicant's surveyor indicates the house complies with the regulations in the proposed CD By-law.

Proposed CD By-law

- The proposed lot size of approximately 435 square metres (4,680 sq. ft.) is in between the minimum 370-square metre (4,000 sq. ft.) corner lot size in the RF-12 Zone and the 560-square metre (6,000 sq. ft.) lot size in the RF Zone. Therefore, the proposed CD Zone is generally based on the RF Zone, but also incorporates regulations of the RF-12 Zone.
- The following table provides a comparison between the proposed CD Zone, the RF Zone, and the RF-12 Zone:

	Proposed CD By-law	RF Zone	RF-12 Zone
Floor Area Ratio (FAR)	0.62	0.60	0.70
Extended height ceilings and covered outdoor spaces counted in FAR	No	Yes	No
Maximum house size (excluding basement)	270 sq. m. (2,900 sq. ft.)	Approx. 260 sq. m. (2,800 sq. ft.)	260 sq. m. (2,800 sq. ft.)
Setbacks			
Front Yard:	6.5 m. to the building face and 5.0 m. to a covered porch	7.5 m. (potential partial relaxation to 5.5 m.)	6.0 m. (potential partial relaxation to 2.0 m. to porch and 4.0 m. to building face)
Rear Yard:	7.5 m. (potential partial relaxation to 6.0 m.)	7.5 m. (potential partial relaxation to 6.0 m.)	7.5 m. (potential partial relaxation to 6.0 m.)
Side Yard (East):	1.2 m.	1.8 m.	1.2 m.
Side Yard on Flanking Street:	3.0 m.	3.6 m.	2.4 m.

	Proposed CD By-law	RF Zone	RF-12 Zone
Parking Required minimum	3 parking spaces	2 parking spaces and 1 additional parking space for a secondary suite	2 parking spaces and 1 additional parking space for a secondary suite
One house trailer, boat or camper permitted outside	Yes	Yes	No
Lot Coverage	45%	40%	50%
Principal Building Height	9.5 m. (31 ft.)	9 m. (30 ft.)	9.5 m. (31 ft.)

- The proposed CD Zone is intended to provide a transition between the smaller and comparable lot sizes to the west and the larger lot sizes to the east, and will permit house sizes and setbacks that are appropriate for the neighbourhood.
- A rear yard setback relaxation to 6.4 metres (21 ft.) is permitted if the side yard setback on a flanking street is a minimum of 6.5 metres (21 ft.). This rear yard setback relaxation is to account for the existing house to be retained on proposed Lot 1, which has a 6.52-metre (21 ft.) flanking side yard setback and a 6.47-metre (21 ft.) rear yard setback. It is anticipated that once the existing house is removed, that the new house will be built with a minimum 7.5-metre (25 ft.) rear yard setback (may be reduced to 6.0 metres (20 ft.) for a maximum of 50% of the rear building face) which would allow a minimum 3.0-metre (10 ft.) flanking side yard setback in accordance with the proposed CD Zone.
- The single family lots to the west are regulated under Area A of CD By-law No. 12008, which does not specify a maximum floor area. The home sizes in Area A are regulated by the setbacks and site coverage. The maximum site coverage is 45%. The minimum setbacks are as follows:
 - 3.6-metre (12 ft.) front yard setback for lots fronting 64A Avenue;
 - 6.0-metre (20 ft.) front yard setback for lots fronting 64 Avenue;
 - 7.5-metre (25 ft.) rear yard setback;
 - 1.2-metre (4 ft.) side yard setback; and
 - 3.6-metre (12 ft.) flanking side yard setback.
- The proposed setbacks for the proposed lots are compatible with the allowable setbacks for the adjacent homes to the east and west.

Building Design Guidelines and Lot Grading

- The applicant retained Mike Tynan of Tynan Consulting Ltd. as the Design Consultant. The Design Consultant conducted a character study of the surrounding home and based on the findings of the study, proposed a set of building design guidelines (Appendix V). The guidelines reflect design standards found in RF-12-zoned homes built after 2015.

- A preliminary lot grading plan was submitted by Hub Engineering Inc. The applicant proposes basements on both of the proposed lots. The adjacent houses to the east do not have basements; however, the houses to the west have basements.
- As a condition of subdivision approval, the Building Design Guidelines will be updated to ensure the main floor elevation of future houses on proposed Lots 1 and 2 are comparable to the main floor elevations of the existing adjacent houses to the immediate east. With this condition, the height of the future houses should not be significantly higher than the height of the adjacent houses to the east.
- The feasibility of in-ground basements will be confirmed once the City's Engineering Department has reviewed and accepted the applicant's final engineering drawings.
- The preliminary lot grading plan was reviewed by staff. Minor revisions are required to account for discrepancies in the existing grades shown. The applicant will address these revisions prior to the rezoning by-law being considered by Council for final adoption.

PRE-NOTIFICATION

Pre-notification letters were mailed on April 6, 2016 and staff received one response, as summarized below (staff comments in italics):

- The Cloverdale Community Association (CCA) submitted a letter (Appendix IX) and requested that the proposed lots accommodate a parking pad for a tenant and commented that staff are currently reviewing off-street parking changes to the Zoning By-law.

(The proposed lots will have rear lane access, and thus, can provide a parking pad for a third vehicle at the rear of the lot.

Revisions to the single family zones in order to address off-street parking concerns are currently under review by staff. In anticipation of these revisions being approved, some of the applicable revisions have been incorporated into the proposed CD Zone. Staff will consider if any additional revisions to the single family zones that are currently under review, are appropriate for the subject application, and will include them in the Building Design Guidelines if necessary.)

TREES

- Vanessa Melney, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder Trees			
Alder	1	1	0

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder Trees)			
Ash, Patmore	1	0	1
Ash, Raywood	1	1	0
Linden, Little Leaf	1	0	1
Maple, Norway	1	0	1
Maple, Red	1	1	0
Coniferous Trees			
Cedar, Western Red	1	1	0
Pine, Austrian	1	1	0
Spruce, Norway	1	1	0
Total (excluding Alder Trees)	8	5	3
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		5	
Total Retained and Replacement Trees		8	
Contribution to the Green City Fund		\$1,800	

- The Arborist Assessment states that there are a total of eight (8) mature trees on the site, excluding the Alder tree. One (1) existing tree, approximately 11% of the total trees on the site, is an Alder tree. It was determined that 3 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for the Alder tree, and a 2 to 1 replacement ratio for all other trees. This will require a total of 11 replacement trees on the site. Since only 5 replacement trees can be accommodated on the site (based on an average of 2.5 trees per lot), the deficit of 6 replacement trees will require a cash-in-lieu payment of \$1,800, representing \$300 per tree, to the Green City Fund, in accordance with the City’s Tree Protection By-law.
- In summary, a total of 8 trees are proposed to be retained or replaced on the site with a contribution of \$1,800 to the Green City Fund.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The subject site is an infill lot located in the North Cloverdale East NCP.

Sustainability Criteria	Sustainable Development Features Summary
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • Subject to meeting requirements in the proposed CD Zone, each new house will be permitted one secondary suite. • Each lot will have private outdoor space.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Low impact development standards will be applied to the site.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The future Bose Greenway is located in front of proposed Lot 1.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • The future home on proposed Lot 2 will be oriented towards the street.
6. Green Certification (F1)	<ul style="list-style-type: none"> • N/A
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • A development proposal sign was installed on the site, and a Public Hearing will be held for the proposed rezoning.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheet
Appendix II.	Proposed Subdivision Layout
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Building Design Guidelines Summary
Appendix VI.	Summary of Tree Survey and Tree Preservation
Appendix VII.	NCP Plan
Appendix VIII.	Proposed CD By-law
Appendix IX.	Cloverdale Community Association Comments

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

JD/dk

\\file-server1\net-data\csdc\generate\areaproduct\save\14810661073.doc
KD 5/26/16 11:37 AM

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Mike Kompter
 Hub Engineering Inc.
 Address: #212 12992 - 76 Avenue
 Surrey B.C. V3W 2V6

 Tel: 604-572-4328

2. Properties involved in the Application
 - (a) Civic Address: 18609 - 64 Avenue

 - (b) Civic Address: 18609 - 64 Avenue
 Owners: Sarbjit K Ghuman
 Manraj S Ghuman
 PID: 002-374-617
 Lot A Section 16 Township 8 Plan 8612 New Westminster District Except Plan Ex Plan
 12398 & LMP40650

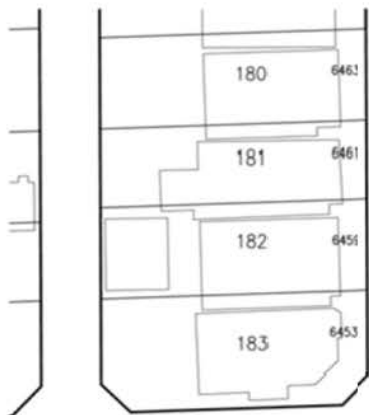
3. Summary of Actions for City Clerk's Office
 - (a) Introduce a By-law to rezone the site.

SUBDIVISION DATA SHEET

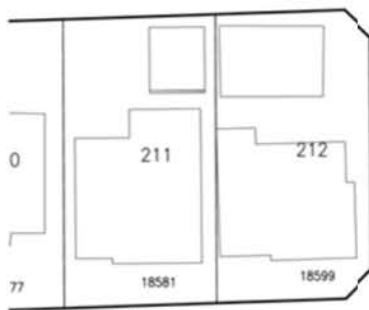
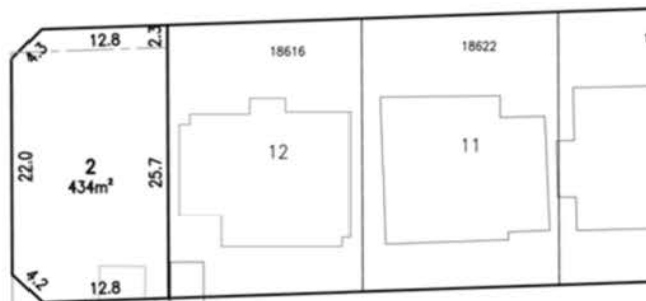
Proposed Zoning: CD (based on RF)

Requires Project Data	Proposed
GROSS SITE AREA	
Acres	0.23
Hectares	0.09
NUMBER OF LOTS	
Existing	1
Proposed	2
SIZE OF LOTS	
Range of lot widths (metres)	15.8 m.
Range of lot areas (square metres)	434 sq. m.* - 438 sq. m.
DENSITY	
Lots/Hectare & Lots/Acre (Gross)	22.2 lots/ha. & 8.7 lots/ac.
Lots/Hectare & Lots/Acre (Net)	25 lots/ha. & 9.5 lots/ac.
SITE COVERAGE (in % of gross site area)	
Maximum Coverage of Principal & Accessory Building	40%
Estimated Road, Lane & Driveway Coverage	25%
Total Site Coverage	64%
PARKLAND	
Area (square metres)	N/A
% of Gross Site	
	Required
PARKLAND	
5% money in lieu	NO
TREE SURVEY/ASSESSMENT	
	YES
MODEL BUILDING SCHEME	
	YES
HERITAGE SITE Retention	
	NO
FRASER HEALTH Approval	
	NO
DEV. VARIANCE PERMIT required	
Road Length/Standards	NO
Works and Services	NO
Building Retention	NO
Others	NO

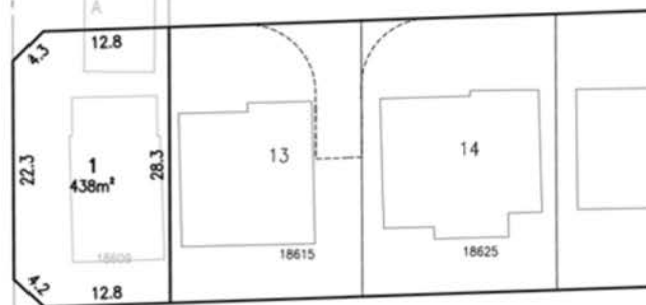
*requires closure and acquisition of a surplus portion of 64A Avenue



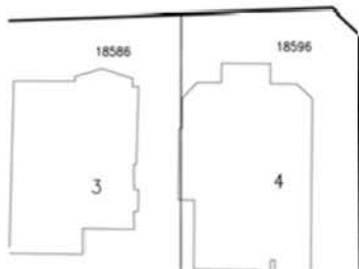
64A AVE



186 ST



64 AVE



Hub Engineering Inc.

Engineering and Development Consultants



Suite 212, 12992 - 76 Avenue, Surrey, B.C. V3W 2V6
 tel: 604-572-4328 | fax: 604-501-1625 | mail@hub-inc.com | www.hub-inc.com

CLIENT:	PROJECT: 18609 64 AVENUE, SURREY		
DRAWING TITLE:	RESIDENTIAL SUBDIVISION		
PROJECT No:	2015-084	DATE:	JUN 2015
LEGAL:		SCALE:	1:500
MUNICIPAL PROJECT No:			

G:\Projects\2015-128.msh\Drawings\Layouts\Lot Layout - Op 1 - June 9, 2015.dwg [Lot Portrah 11x17] 6/09/2015 10:50AM

TO: **Manager, Area Planning & Development - North Surrey Division
Planning and Development Department**

FROM: **Development Project Engineer, Engineering Department**

DATE: **May 20, 2016** PROJECT FILE: **7816-0049-00**

RE: **Engineering Requirements
Location: 18609 64 Avenue**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate corner cuts at the intersections.
- Provide a 0.50 m Statutory Right-of-Way along the 64 Avenue frontage.

Works and Services

- Remove the driveway to 186 Street and restore the boulevard to City standards.
- Construct a 6.0 m east-west lane to City standards.
- Construct 6.0 m driveways to each lot.
- Remove temporary asphalt turn-around located on 18615 64 Avenue with cash-in-lieu provided under application 7893-0318-00.
- Construct storm mains to service the proposed development.
- Provide 450 mm of topsoil on all pervious areas to meet the future ISMP requirements.
- Provide water, storm, and sanitary service connections to each lot.

A Servicing Agreement is required prior to Rezoning and Subdivision.



Robert Cooke, Eng.L.
Development Project Engineer

CE



Tuesday, April 05, 2016
Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 16 0049 00

SUMMARY

The proposed **2 Single family with suites** are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	1
Secondary Students:	1

September 2015 Enrolment/School Capacity

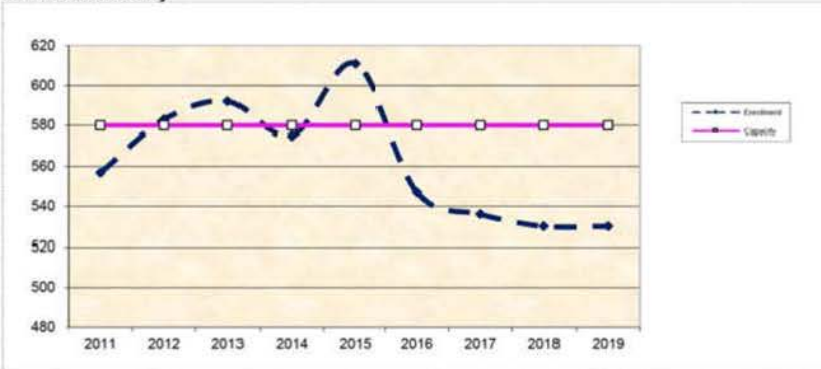
Hillcrest Elementary	
Enrolment (K/1-7):	76 K + 535
Capacity (K/1-7):	80 K + 500
Clayton Heights Secondary	
Enrolment (8-12):	1332
Nominal Capacity (8-12):	1000
Functional Capacity*(8-12):	1080

School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

For September 2016 onwards, Hillcrest Elementary is now closed to out-of-catchment enrolment to help reduce enrolment pressures. The school district has received capital project approval for, and has begun construction on, a new North Clayton Area secondary (site #215) that will relieve overcrowding at Clayton Heights Secondary and Lord Tweedsmuir Secondary.

Hillcrest Elementary



Clayton Heights Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

BUILDING GUIDELINES SUMMARY

Surrey Project no: 7916-0049-00
 Project Location: 13609 - 64 Avenue, Surrey, B.C.
 Design Consultant: Tynan Consulting Ltd., (Michael E. Tynan)

The draft Building Scheme proposed for this Project has been filed with the City Clerk. The following is a summary of the Residential Character Study and the Design Guidelines which highlight the important features and form the basis of the draft Building Scheme.

1. Residential Character

1.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site:

This area was built out over a time period spanning from the 1950's to the 1990's. The age distribution from oldest to newest is: 1950's (7%), 1980's (13%), and 1990's (80%). A majority of homes in this area have a floor area in the 2501 - 3000 sq.ft. size range. Home size distribution is: 1000 - 1500 sq.ft. (7%), 1501 - 2000 sq.ft. (20%), 2001 - 2500 sq.ft. (13%), 2501 - 3000 sq.ft. (53%), and 3001 - 3550 sq.ft. (7%). Styles found in this area include: "Old Urban" (7%), "West Coast Modern" (20%), "West Coast Contemporary" (7%), "Modern California Stucco" (7%), "Rural Heritage" (20%), "Neo-Heritage" (27%), and "Neo-Traditional" (13%). Home types include: Bungalow (7%), 1 ½ Storey (7%), Basement Entry (7%), and Two-Storey (80%).

Massing scale (front wall exposure) characteristics include: low mass structure (7%), mid-scale massing (27%), mid-scale massing with proportionally consistent, well balanced massing design (47%), mid to high scale massing (7%), high scale massing (7%), and high scale, box-like massing (7%). The scale (height) range for front entrance structures include: one storey front entrance (40%), one storey front entrance veranda in heritage tradition (40%), 1½ storey front entrance (13%), and proportionally exaggerated Two storey front entrance (non context) (7%). The range of roof slopes found in this area is: 5:12 (6%), 6:12 (13%), 7:12 (38%), 8:12 (31%), and 9:12 (13%).

Main roof forms (largest upper floor truss spans) include: main common hip roof (73%), main common gable roof (20%), and shed roof (7%). Feature roof projection types include: Common Hip (30%), Common Gable (50%), Dutch Hip (10%), Shed roof (5%), and Carousel Hip (5%). Roof surfaces include: interlocking tab type asphalt shingles (7%), rectangular profile type asphalt shingles (20%), shake profile asphalt shingles (67%), and cedar shingles (7%).

Main wall cladding materials include: horizontal cedar siding (7%), horizontal vinyl siding (73%), and stucco cladding (20%). Feature wall trim materials used on the front facade include: no feature veneer (60%), Brick feature veneer (13%), Stone feature veneer (7%), Vertical board and batten cedar accent (7%), Hardipanel accent (7%), and Horizontal vinyl accent (7%). Wall cladding and trim colours include: Neutral (43%), Natural (48%), and Primary derivative (10%).

Covered parking configurations include: no covered parking (7%), double garage (40%), and rear garage (53%).

A variety of landscaping standards are evident, including: old urban landscape standard with several mature shrubs and trees (13%), modest, modern urban landscape standard with sod and a few shrubs only (27%), average modern urban landscape standard (33%), and above average modern

urban landscape standard featuring numerous shrub plantings (27%). Driveway surfaces include: no driveway (7%), broom finish or smooth concrete driveway (29%), exposed aggregate driveway (7%), and rear driveway (57%).

1.2 Features of Surrounding Dwellings Significant to the Proposed Building Scheme:

- 1) **Context Homes:** 80 percent of existing neighbouring homes provide suitable *style* context for the subject site. However, only the following compact lot context homes provide specific context : 6453 - 186 Street, and 18592 - 64 Avenue, as these have similarly sized lots, similar floor area size, similar zoning setbacks, and similar massing designs to homes proposed at the subject site. However, massing design, construction materials, and trim and detailing standards for new homes constructed in RF-12 zone subdivisions now exceed standards evident on the context homes. The recommendation therefore is to adopt standards commonly found in post year 2015 RF-12 zoned subdivisions, rather than to specifically emulate the aforesaid context homes.
- 2) **Style Character :** There are a mix of old urban and modern urban styles in this neighbourhood. Preferred styles for this site include "Neo-Traditional" and "Neo-Heritage", as these styles are an ideal bridge between old urban and modern urban. Compatible styles could also be acceptable, subject to determination by the consultant. Note that style range is not restricted in the building scheme. However, the consultant refers to the character study when reviewing plans for meeting style-character intent.
- 3) **Home Types :** There are a wide range of home types evident, and so some flexibility is justified. Home type (Two-Storey, Bungalow, Basement Entry, Split Level, etc..) will not be regulated in the building scheme.
- 4) **Massing Designs :** Massing designs should meet new standards for RF-12 zoned subdivisions. New homes should exhibit "mid-scale" massing. Various elements and projections on the front of the home should be interesting architecturally, and should be in pleasing natural proportions to one another. These elements and projections should be located so as to create balance across the façade.
- 5) **Front Entrance Design :** Front entrance porticos should be limited to a maximum height of 1½ storeys to ensure there is not proportional overstatement of this one element.
- 6) **Exterior Wall Cladding :** A wide range of cladding materials have been used in this area, including vinyl, cedar, stucco, brick, and stone. Reasonable flexibility should therefore be permitted, including the use of vinyl siding, provided the overall quality of wall cladding materials meets or exceeds common standards for post 2015 RF-12 developments.
- 7) **Roof surface :** This is area in which most homes have asphalt shingle roofs. It is expected that most new homes will also have asphalt shingle roofs, and for continuity, asphalt shingles are recommended. A single cedar shingle or concrete tile roof would stand out as inconsistent due the large difference in textures (thickness) between asphalt shingles and cedar shingles or concrete tiles, and so these products are not recommended. However, where opportunities arise to introduce new environmentally sustainable products, they should be embraced. Therefore, to ensure consistency of character, only shake profile asphalt shingles and shake profile sustainable products are recommended.
- 8) **Roof Slope :** Roof slopes of 8:12 or higher have been used on context homes. This is a suitable minimum roof slope given the objectives of ensuring continuity with context homes and to ensure that homes appear style-authentic within the proposed style range.

Streetscape: The subject site is located in an area surrounded by RF zone lots, and by compact lots under a CD zone. Homes on the RF zone lots (18600 block of 64A Avenue and 18600 block of 64 Avenue) are 20-25 year old "West Coast Modern", "Neo-Heritage", "Neo-Heritage", and "Rural Heritage" style homes.

The homes have mid-scale massing designs with mass allocations distributed in a proportionally correct and balanced manner across the façade, and most (not all) are considered to meet an acceptable modern standard, though they are not directly usable as context homes because they are much larger and of a different shape than the proposed compact lot homes. Homes on the west side of 186 Street opposite the subject site were developed under a CD compact lot zone, and these lots are smaller than those of the subject site. The homes are 1700 sq.ft. "Neo-Heritage" style Two-Storey homes with front entrance veranda and detached rear loaded garages. The homes have gabled projections at a 7:12 or 8:12 slope and have shake profile asphalt shingle roofs. The homes are clad in vinyl. These homes provide suitable context for the subject site.

2. Proposed Design Guidelines

2.1 Specific Residential Character and Design Elements these Guidelines Attempt to Preserve and/or Create:

- the new homes are readily identifiable as one of the following styles: "Neo-Traditional", "Neo-Heritage", or compatible style as determined by the design *consultant*. Note that the proposed style range is not contained within the building scheme, but is contained within the residential character study which forms the basis for interpreting building scheme regulations.
- a new single family dwelling *constructed* on any *lot* meets year 2000's design standards, which include the proportionally correct allotment of mass between various street facing elements, the overall balanced distribution of mass within the front facade, readily recognizable style-authentic design, and a high trim and detailing standard used specifically to reinforce the style objectives stated above.
- trim elements will include several of the following: furred out wood posts, articulated wood post bases, wood braces and brackets, louvered wood vents, bold wood window and door trim, highly detailed gable ends, wood dentil details, stone or brick feature accents, covered entrance verandas and other style-specific elements, all used to reinforce the style (i.e. not just decorative).
- the development is internally consistent in theme, representation, and character.
- the entrance element will be limited in height (relative dominance) to 1 to 1 ½ storeys.

2.2 Proposed Design Solutions:

Interfacing Treatment with existing dwellings)

There are homes in this area at 6453 - 186 Street, and 18592 - 64 Avenue that could be considered to provide acceptable architectural context. However, massing design, construction materials, and trim and detailing standards for new homes constructed in most new (post year 2015) RF12 zone subdivisions now exceed standards evident on the context homes. The recommendation therefore is to adopt standards commonly found in post year 2015 RF12 zoned subdivisions, rather than to specifically emulate the aforesaid two context homes.

Exterior Materials/Colours:

Stucco, Cedar, Vinyl, Hardiplank, Brick, and Stone.

"Natural" colours such as browns, greens, clays, and other earth-tones, and "Neutral" colours such as grey, white, and cream are permitted. "Primary" colours in subdued tones such as navy blue, colonial red, or forest green can be considered providing neutral trim colours are used, and a comprehensive colour scheme is approved by the consultant. "Warm" colours such as pink, rose, peach, salmon are not permitted. Trim colours: Shade variation of main colour, complementary, neutral, or subdued contrast only.

- Roof Pitch:** Minimum 8:12, with exceptions to prevent roof ridges from becoming too high (overshadowing of neighbouring lots), to allow for veranda roofs that do not cover upper floor windows, to allow for artistic expression in feature roofs, and to provide a path for exceptional designs with lower slope roofs to be approved subject to consultant approval.
- Roof Materials/Colours:** Only shake profile asphalt shingles with a raised ridge cap and new environmentally sustainable roofing products providing that aesthetic properties of the new materials are equal to or better than the traditional roofing products. Greys, browns, or black.
- In-ground basements:** Permitted, subject to determination that service invert locations are sufficiently below grade. Basements will appear underground from the front.
- Treatment of Corner Lots:** Significant, readily identifiable architectural features are provided on both the front and flanking street sides of the dwelling, resulting in a home that architecturally addresses both streets. One-storey elements on the new home shall comprise a minimum of 40 percent of the width of the front and flanking street elevations of the single family dwelling. The upper floor is set back a minimum of 0.9 metres [3'- 0"] from the one-storey elements.
- Landscaping:** *Moderate modern urban standard.* Tree planting as specified on Tree Replacement Plan plus minimum 18 shrubs of a minimum 3 gallon pot size. of which not less than 8 shrubs of a minimum 3 gallon pot size, are planted in the flanking street sideyard. Sod from street to face of home. Driveways: exposed aggregate, interlocking masonry pavers, stamped concrete, or broom finish concrete.

Compliance Deposit: \$5,000.00

Summary prepared and submitted by: Tynan Consulting Ltd. **Date:** April 5, 2016

Reviewed and Approved by:  **Date:** April 5, 2016

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: TBD

Address: 18609 64th Avenue, Surrey, BC

Registered Arborist: Vanessa Melney

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	9
Protected Trees to be Removed	6
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	3
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 1 X one (1) = <u>1</u> - All other Trees Requiring 2 to 1 Replacement Ratio 5 X two (2) = <u>10</u> 	11
Replacement Trees Proposed	5
Replacement Trees in Deficit	6
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 1 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0 	NA
Replacement Trees Proposed	NA
Replacement Trees in Deficit	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

<p style="text-align: center;"></p> <p>Signature of Arborist:</p>	<p>Date: February 9, 2016</p>
--	-------------------------------



Mike Fadum and Associates Ltd.
#105, 8277-129 Street, Surrey, BC, V3W 0A6
Phone 778-593-0300 Fax 778-593-0302



MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS

#105, 8277 129 St.
Surrey, British Columbia
V3W 0A6
Ph: (778) 593-0300
Fax: (778) 593-0302
Mobile: (604) 240-0309
Email: mfadum@fadum.ca

CLIENT

FILE NO.

PROJECT TITLE
TREE PRESERVATION AND PROTECTION PLAN
18609 64 AVENUE
SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	FEB01/16	MK	GRADING PLAN ADDED

NOTE: NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS
NOTE: REPLACEMENT TREES SHALL CONFORM TO BC S/LA/BOLNA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE.

SHEET TITLE

T1 - TREE REMOVAL AND PRESERVATION PLAN

© Copyright Reserved. This drawing and design is the property of Mike Fadum and Associates Ltd. and may not be reproduced or used for other projects without their permission.

DRAWN

MK

SCALE

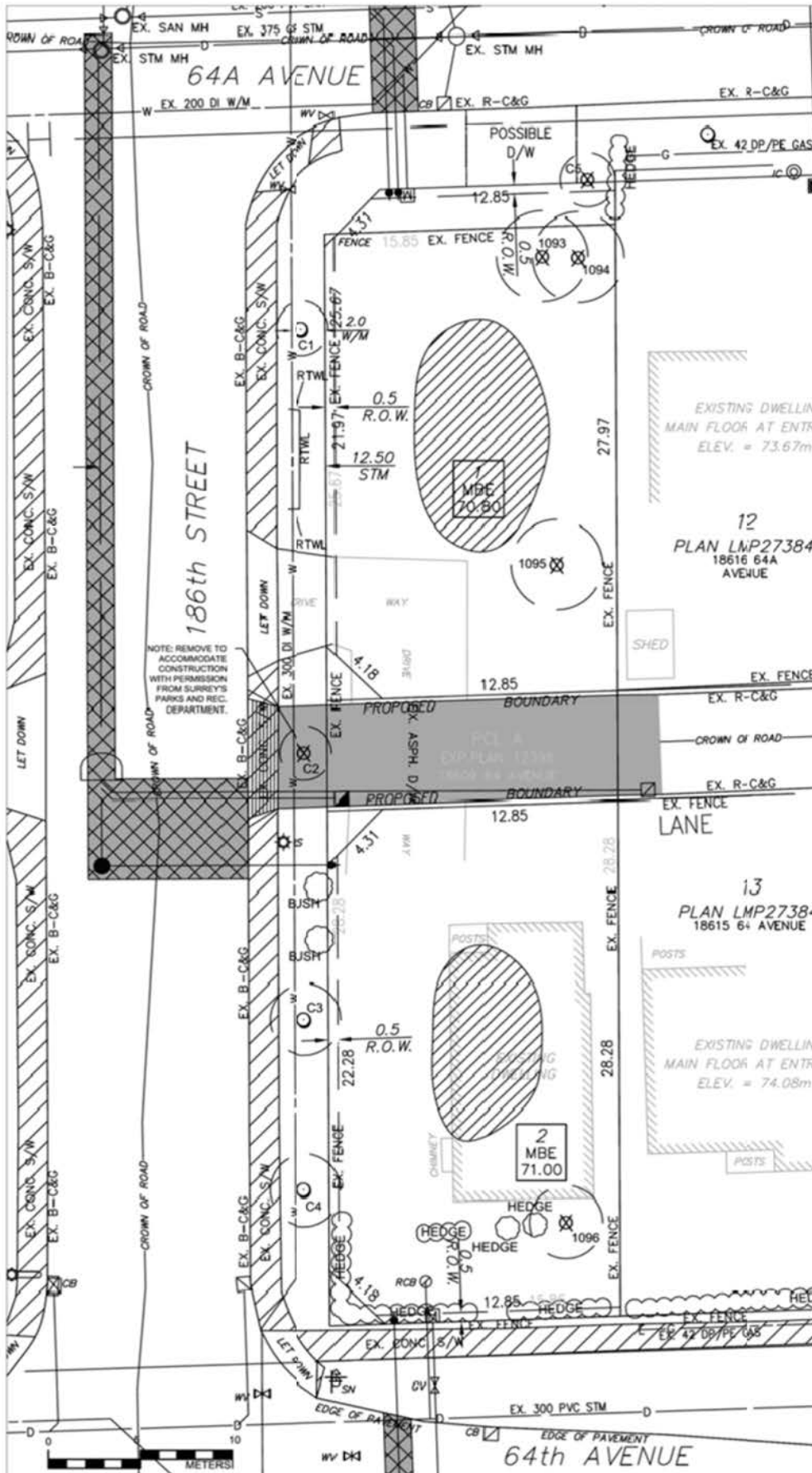
AS SHOWN

DATE

FEBRUARY 1, 2016

T-1

SHEET 1 OF 2



LEGEND

- TREE TO BE RETAINED
- ⊗ TREE TO BE REMOVED

○ MINIMUM NO DISTURBANCE ZONE



MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS

#105, 8277 129 St.
Surrey, British Columbia
V3W 0A6
Ph: (778) 593-0300
Fax: (778) 593-0302
Mobile: (604) 240-0309
Email: mfadum@fadum.ca

CLIENT

FILE NO.

PROJECT TITLE
TREE PRESERVATION AND PROTECTION PLAN
18609 64 AVENUE
SURREY B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	FEB0116	MK	GRADING PLAN ADDED

NOTE: NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS
NOTE: REPLACEMENT TREES SHALL CONFORM TO BC SLA/BCLNA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE.
NOTE: TREE PROTECTION FENCING SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS. REASSURE TREES WITH LOT GRADING PLANS.

SHEET TITLE
T2 - TREE PROTECTION PLAN

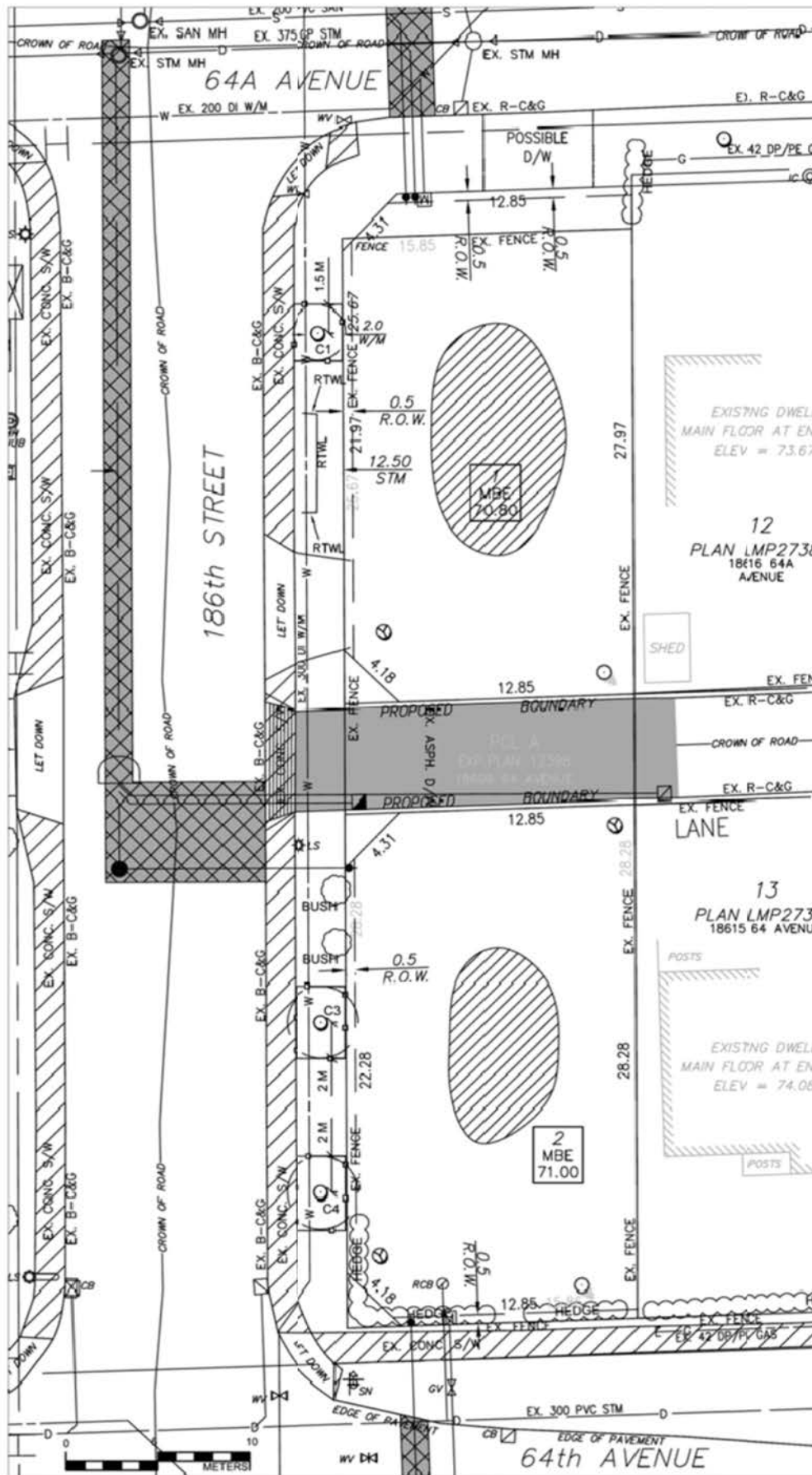
© Copyright Reserved. This drawing and design is the property of Mike Fadum and Associates Ltd. and may not be reproduced or used for other projects without their permission.

DRAWN
MK

SCALE
AS SHOWN

DATE
FEBRUARY 1, 2016

T-2
SHEET 2 OF 2



LEGEND

- TREE TO BE RETAINED
- DECIDUOUS REPLACEMENT TREE (5 CM. DIA. MINIMUM)
- MINIMUM NO DISTURBANCE ZONE
- CONIFEROUS REPLACEMENT TREE (3.0 M. HT. MINIMUM)
- TREE PROTECTION FENCING





- Single Family Residential
- Townhouse / Cluster (30 units/acre)
- Institutional (church, firehall)
- Landscape Buffer & Multi Use Pathway
- Townhouse / Cluster (8-15 units/acre)
- Commercial
- Open Space
- School



This map is provided as general reference only. The City of Surrey makes no warranties, express or implied as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.

CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 002-374-617
Lot A Section 16 Township 8 Plan 8612 Nwd Except Plan Ex Pln12398 & Lmp40650

18609 - 64 Avenue

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of *single family dwellings* on small urban *lots*, where *density bonus* is provided.

B. Permitted Uses

The *Lands* and *structures* shall be used for one *single family dwelling*, which may contain 1 *secondary suite*, on each *lot*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. For the purpose of subdivision, the maximum *unit density* shall be 2.5 *dwelling units* per hectare [1 u.p.a.] and the dimensions of the *lots* created in a subdivision shall be in accordance with Section K.1 of this Zone. The maximum *unit density* may be increased to 25 *dwelling units* per hectare [10 u.p.a.] and Section K.2 of this Zone shall apply if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. (a) For the purpose of this Section and notwithstanding the definition of *floor area ratio* in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended, all covered areas used for parking shall be included in the calculation of *floor area ratio* unless the covered parking is located within the *basement*; and

(b) For *building* construction within a *lot*:
 - i. The *floor area ratio* shall not exceed 0.62, provided that, of the resulting allowable floor area, 35 m² [380 ft²] shall be reserved for use only as a garage or carport, which may be reduced to 20 m² [215 ft²] for a single attached garage or carport that accommodates one *vehicle* only and further provided that the garage meets the dimensional requirements of Section H.4 of this Zone;
 - ii. The maximum floor area of a second storey of the *principal building* shall not exceed 80% of the floor area of the first storey including attached garage and that portion of any porch or veranda at the front that is covered by a sloped roof. The reduced floor area of the second storey shall be accomplished by an offset at the second storey level from either the front or side walls at the first storey level or a combination thereof; and
 - iii. Notwithstanding Sub-section D.2(b)i of this Zone, the maximum floor area of the *principal building*, inclusive of a garage or carport, shall be 270 square metres [2,900 sq. ft.].

E. Lot Coverage

The maximum *lot coverage* shall be 45%.

F. Yards and Setbacks

Buildings and structures shall be sited in accordance with the following minimum setbacks:

Use	Setback	Front Yard	Rear Yard	Side Yard	Side Yard on Flanking Street
<i>Principal Buildings</i>		6.5 m. ¹ [20 ft.]	7.5 m. ^{2,3} [25 ft.]	1.2 m. [4 ft.]	3.0 m. [10 ft.]
<i>Accessory Buildings and Structures</i>			1.0 m. [3 ft.]	0.0 m. [0 ft.]	6.0 m. [20 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

- ¹ The *front yard setback* may be reduced to a minimum of 5.0 m [15 ft.] by an unenclosed and uninhabitable space such as a porch or veranda, provided that the said porch or veranda is covered from above and is an integral part of the *principal building*.
- ² The minimum *rear yard setback* of the *principal building* may be reduced to 6.0 m [20 ft.] for a length that is maximum of 50% of the width of the rear of the *principal building* provided the remainder of the *building face* is set back at least 7.5 metres [25 ft.] from the *rear lot line*.
- ³ The minimum *rear yard setback* of the *principal building* may be reduced to 6.4 m [21 ft.] if the *side yard setback* on a *flanking street* is a minimum of 6.5 metres [21 ft.].

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*: The *building height* shall not exceed 9.5 metres [31 ft.].
2. *Accessory buildings and structures*: The *building height* shall not exceed 3.0 m [10 ft.] except that where the roof slope and construction materials of an *accessory building* are the same as that of the *principal building*, the *building height* of the *accessory building* may be increased to 5.0 m [16 ft.].

H. Off-Street Parking

1. Resident and visitor parking spaces shall be provided as stated in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. The width of a *driveway* on the *lot* shall not exceed 8.0 metres [26 ft.].
3. The minimum length of a *driveway* on the *lot* shall be 6.0 metres [20 ft.].
4. A single garage is not permitted.
5. A triple garage to accommodate three *vehicles* parked side by side is not permitted.
6. A detached garage is not permitted.
7. Outside parking or storage of *campers*, boats and *vehicles* including cars, trucks and *house trailers* ancillary to a residential use shall be limited as follows:
 - (a) A maximum of 3 cars or trucks;
 - (b) *House trailer, camper* or boat, provided that the combined total shall not exceed 1 and that the minimum driveway length is 6.7 metres [22 ft.]; and
 - (c) The total amount permitted under Sub-sections H.7(a) and (b) shall not exceed 4.
8. No outside parking or storage of a *house trailer* or boat is permitted within the *front yard setback* or within the required *side yards* adjacent the *dwelling unit*, except as follows:
 - (a) Either 1 *house trailer* or 1 boat may be parked in the front *driveway* or to the side of the front *driveway* or in the *side yard*, but no closer than 1 metre [3 ft.] to a *side lot line* nor within 1 metre [3 ft.] of the *front lot line* subject to the residential parking requirements stated in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended;
 - (b) Notwithstanding Sub-section H.8(a), no outside parking or storage of a *house trailer* or boat is permitted on *corner lots* in an area bounded by the intersecting *lot lines* at a street corner and a straight line joining points 9 metres [30 ft.] along the said *lot lines* from the point of intersection of the two *lot lines*; and
 - (c) Adequate screening, as described in Section I.4 of this Zone is provided.
9. No parking is permitted on a *corner lot* within an area bounded by the intersecting *lot lines* at a street corner and a straight line joining points

6.0 metres [20 ft.] along the said *lot lines* from the point of intersection of the two *lot lines*.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings*, *structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Non-porous or paved surfaces, including a *driveway*, shall not cover more than 30% of the *lot* area that is not occupied by the *principal* and *accessory buildings* or *structures*.
3. At least 50% of the area of the required *front yard* shall be landscaped, which shall not include any non-porous or paved surfaces.
4. The parking or storage of *house trailers* or boats shall be adequately screened by compact evergreen trees or shrubs at least 1.8 metres [6 ft.] in height and located between the said *house trailer* or boat and any point on the *lot line* within 7.5 metres [25 ft.] of the said *house trailer* or boat, in order to obscure the view from the abutting *lot* or street, except:
 - (a) On a *corner lot*, this required landscape screening shall not be located in an area bounded by the intersecting *lot lines* at a street corner and a straight line joining points 9 metres [30 ft.] along the said *lot lines* from the point of intersection of the 2 *lot lines*;
 - (b) Where the *driveway* or the parking area is used for parking or storage of a *house trailer* or boat, the landscape screen is not required within the said *driveway*; and
 - (c) In the case of *rear yards*, this screening requirement may be provided by a 1.8-metre [6 ft.] high solid fence.

J. Special Regulations

1. Basement access and basement wells are permitted only between the *principal building* and the *rear lot line* and must not exceed a maximum area of 20 square metres [215 sq.ft.], including the stairs.
2. A *secondary suite* shall:
 - (a) Not exceed 90 square metres [968 sq.ft.] in floor area; and
 - (b) Occupy less than 40% of the habitable floor area of the *building*.

K. Subdivision

1. *Lots* created through subdivision shall conform to the minimum standards prescribed in Section K of Part 12 One-Acre Residential Zone (RA) of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Where amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended, the *lots* created through subdivision shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
400 sq. m. [4,300 sq. ft.]	15 metres [50 ft.]	25 metres [82 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RF Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.

8. Subdivisions shall be subject to the applicable Surrey Development Cost Charge Bylaw, 2014, No. 18148, as may be amended or replaced from time to time, and the development cost charges shall be based on the RF Zone.
9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20__ .

PASSED SECOND READING on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

PASSED THIRD READING on the _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

_____ MAYOR

_____ CLERK



Cloverdale Community Association

Website: www.cloverdalecommunity.org

May 25, 2016

Jeff Denney
City of Surrey
Planning and Development Department
13450-104 Avenue
Surrey BC V3T 1V8

Re: 16-0049 / 18609 – 64 Avenue

Dear Mr. Denney:

The Cloverdale Community Association (CCA) has received the preliminary notice for the proposed development noted above.

We are beginning to see a lot of development proposals where developers are requesting CD zoning rather than using something similar to fit their needs. For example, if the current lot sizes are similar to the RF12 zoning requirements then the RF12 zone should be requested and applied. The use of CD zoning is viewed as a loophole for developers so they can densify as much as possible. The City needs to regulate the use of the CD zoning and deter these types of requests when its really not required.

Having said this, we would like the following concerns/comments addressed and/or adhered to:

1. We request that all the roads be widened to accommodate sidewalks on both sides, Green Boulevard with trees, grass and double-sided on-street parking.
2. As your probably aware, I appeared as a delegate on behalf of the CCA to the TIC committee early last year where we requested the TIC committee to consider increasing the garage sizes in addition to excluding the stairs when sizing the garages, officially providing the 3rd parking spot for the tenant by allowing 3 cars to be parked in a row, to increase off-street parking in bigger lots especially in cul-de-sacs and if there was a possibility to eliminate any narrow lots which were not considered practical due to excessive densification or not providing the maximum on-street parking. These changes will not only benefit Cloverdale but also the rest of the City. In April 2016, the Don Luymes from the Planning Department presented his recommendations to the TIC after further consultation with the development community to which we agreed. The TIC also agreed with the recommendations. The CCA would like the final adoption/building permit to be put on hold for this project until the new bylaws come into effect. Applying the revised bylaws will allow the City to Surrey to immediately reduce and control any future problems such as parking.
3. If the proposed zoning bylaw permits secondary suites, please make sure the parking pad/stall is provided for each lot with a restrictive covenant. If a restrictive covenant is not possible, we expect that the final building scheme documentation will include our requirements as noted in this letter.

Please note, the developer for this project has not consulted with the association like others have done and therefore we are responding directly to the City of Surrey's preliminary notice received in the mail.



Cloverdale Community Association

Website: www.cloverdalecommunity.org

Please keep us updated with any changes which may occur after this letter has been received by you.

We trust the above information is satisfactory and as always, we expect our comments to be added in the planning report and project file for council to review.

Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read "Mike Bola".

Mike Bola
President
Cloverdale Community Association
604-318-0381

Cc: Board of Directors