

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0046-00

Planning Report Date: September 12, 2016

PROPOSAL:

- **Rezoning** from RA to RF
- **Development Variance Permit** to allow subdivision into 11 single family lots.

LOCATION:

10333 Parkview Place
 10309 Parkview Place
 Portion of Parkview Place

OWNERS:

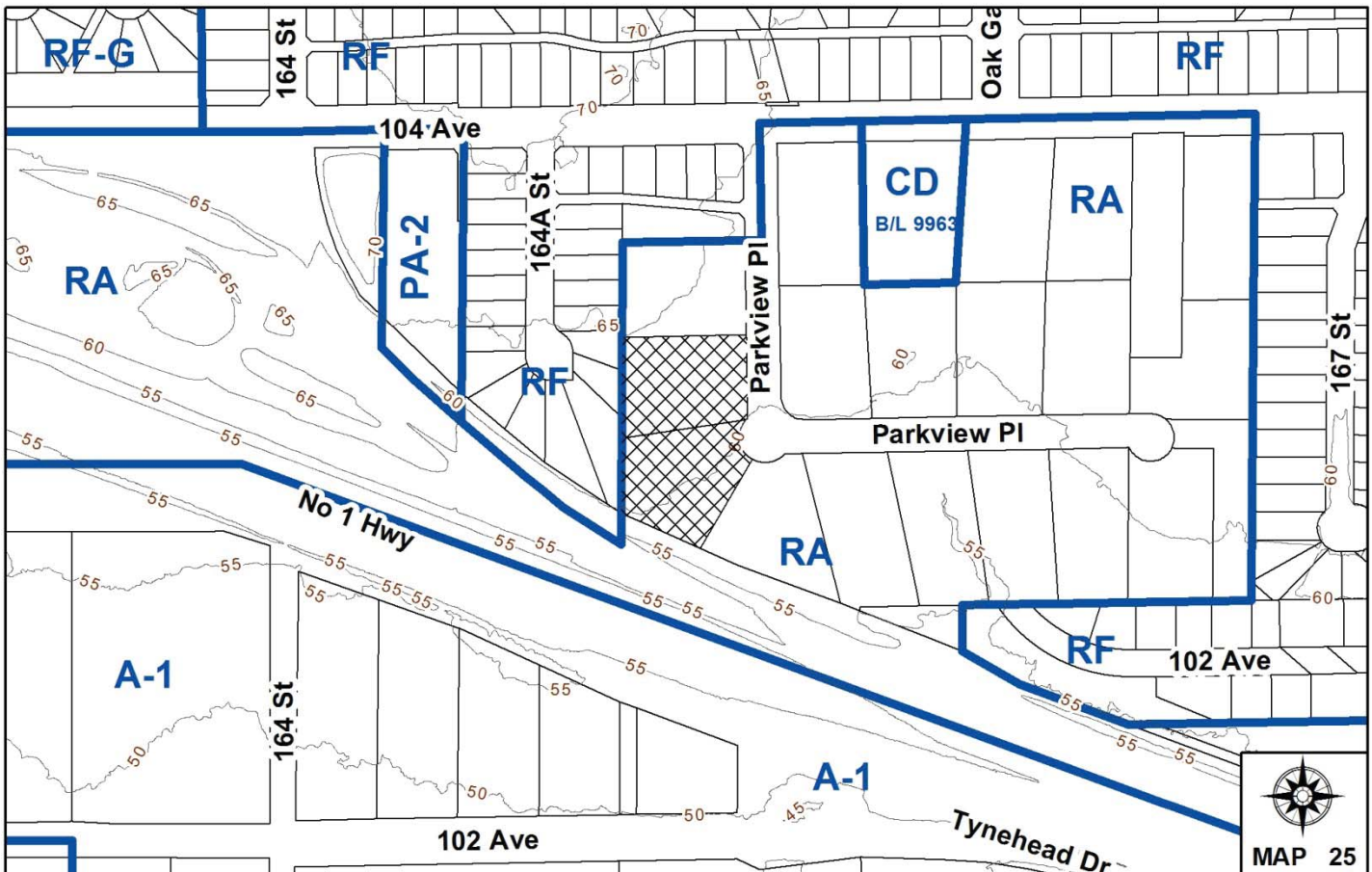
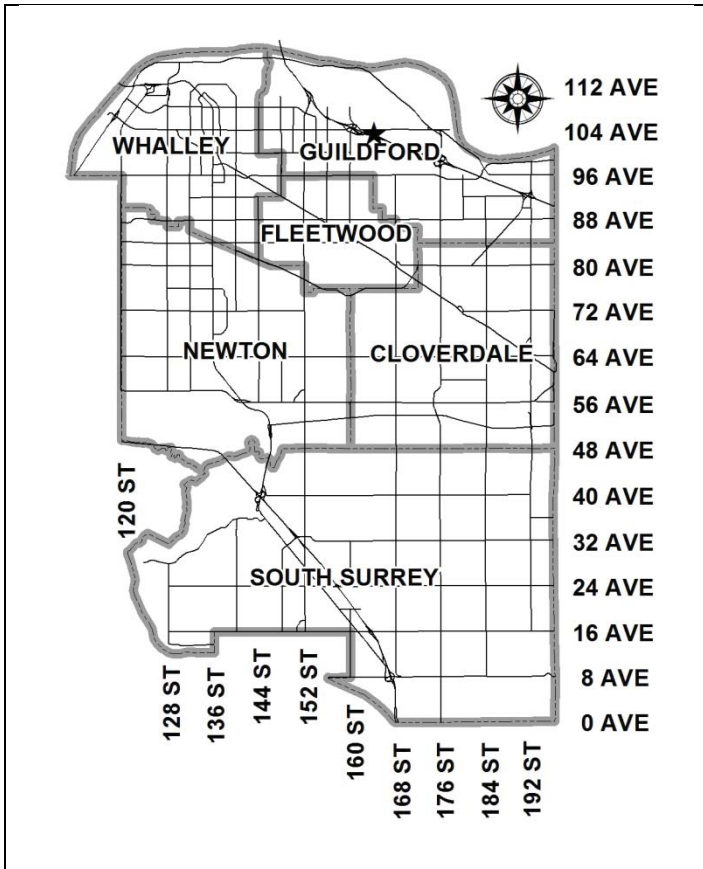
Qualico Developments (Vancouver) Inc.,
 City of Surrey

ZONING:

RA

OCP DESIGNATION:

Urban



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Requesting to relax the lot depth for proposed Lots 2 and 11.
- Requesting to relax the east rear yard setback for proposed Lot 10.
- Requesting to relax the front yard and side yard setbacks for proposed Lot 11.

RATIONALE OF RECOMMENDATION

- Complies with the Urban designation in the Official Community Plan (OCP).
- The applicant's design consultant has demonstrated functional building envelopes with useable yard space on the less conventional shaped lots. All proposed lots meet the minimum lot area requirements of the RF Zone.
- The applicant has demonstrated a reasonable future development concept for the properties to the north.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site, including a portion of Parkview Place shown on the Survey Plan attached as Appendix I, from "One Acre Residential Zone (RA)" to "Single Family Residential Zone (RF)" and a date be set for Public Hearing.
2. Council approve Development Variance Permit No. 7916-0046-00 (Appendix VII) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum lot depth of the RF Zone from 28 metres (92 ft.) to 26 metres (85 ft.) for proposed Lot 2, and from 28 metres (92 ft.) to 16 metres (52 ft.) for proposed Lot 11; and
 - (b) to vary the minimum setback requirements of the RF Zone as follows:
 - (i) to reduce the east rear yard setback of the principal building from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for 50% and 6.0 metres (20 ft.) for the remaining 50% of the principal building for proposed Lot 10;
 - (ii) to reduce the west front yard setback of the principal building from 7.5 metres (25 ft.) to 3.6 metres (12 ft.) for proposed Lot 11; and
 - (iii) to reduce the east rear yard setback of the principal building from 7.5 metres (25 ft.) to 1.2 metres (4 ft.) for proposed Lot 11.
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a landscaping plan and landscaping cost estimate for a landscape buffer along Highway No. 1 to the specifications and satisfaction of the Planning and Development Department;
 - (f) the applicant address the concern that the development will place additional pressure on existing park facilities to the satisfaction of the General Manager, Parks, Recreation and Culture;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;

- (h) completion of the road closure and acquisition of a portion of Parkview Place;
- (i) submission of an acoustical report and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
- (j) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department; and
- (k) registration of a Section 219 Covenant to identify and protect driveway locations for proposed Lots 1 and 11, and to identify and protect functional yard space for proposed Lots 10 and 11.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

6 Elementary students at Bothwell Elementary School
3 Secondary students at Fraser Heights School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Autumn 2017.

Parks, Recreation & Culture: No concerns.

Ministry of Transportation & Infrastructure (MOTI): Preliminary approval is granted by MOTI for one year.

SITE CHARACTERISTICS

Existing Land Use: Single family dwellings on 1-acre lots, which are intended to be removed.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Single family dwelling on 1-acre lot.	Urban	RA
East (Across Parkview Place):	Single family dwellings on 1-acre lots (currently under Development Application Nos. 7914-0300-00 and 7914-0322-00)	Urban	RA
South (Across Highway No. 1):	Vacant 1-acre lots and Tynehead Regional Park	Conservation and Recreation	A-1
West:	Single family dwellings.	Urban	RF

DEVELOPMENT CONSIDERATIONS

- The subject site is comprised of 2 lots, and a small portion of road allowance, located within Fraser Heights on the west side of Parkview Place. The subject site is designated Urban in the Official Community Plan (OCP) and is currently zoned "One-Acre Residential Zone (RA)".
- The lots to the immediate north and east of the subject site are comprised of one-acre lots, zoned RA, but designated "Urban" in the OCP. To the east of the subject site are two development applications:
 - On the south side of Parkview Place, Development Application No. 7914-0300-00 (received Third Reading on April 13, 2015) is a proposal for 16 RF-12-zoned lots (final adoption is scheduled for consideration on September 12, 2016); and
 - On the east side of Parkview Place, Development Application No. 7914-0322-00 (referred back to staff by Council on November 30, 2015) is currently a proposal for 17 RF, 32 RF-G, and 9 CD-zoned (based on RF) lots for a total of 58 lots plus a park lot.
- Highway No. 1 is located to the south of the site.
- The applicant is proposing to rezone the subject site from "One-Acre Residential Zone (RA)" to "Single Family Residential Zone (RF)", in order to allow subdivision into 11 single family lots.

Proposed Subdivision Layout

- All of the proposed lots meet the minimum lot area requirements of the RF Zone; however, variances are requested for lot depth and building setbacks on some of the proposed lots due to the awkward configuration of the site. These variances are discussed in detail in the By-law Variances section of this report.

- The applicant proposes a new cul-de-sac that extends west from the eastern side of the property. Ten (10) of the eleven (11) lots are proposed to have access from this new cul-de-sac, and 1 lot (proposed Lot 1) is proposed to have access from the existing Parkview Place.
- The proposed new cul-de-sac will be oversized and as such a central parking island for up to 8 cars is proposed to accommodate additional on-street parking.
- The applicant proposes to close and acquire a small portion of an existing, but no longer necessary, cul-de-sac bulb on Parkview Place, and to consolidate that area into the development site. The required road closure and acquisition is a condition of final adoption of the rezoning by-law. The portion of road proposed to be closed is also proposed to be rezoned to RF to facilitate assembly into the development site.
- In order to provide a visual buffer, and to complement the existing sound attenuation wall along Highway No. 1, the applicant proposes a 3-metre (10 ft.) wide landscaped buffer along the south property line of proposed Lots 8 to 10.
- The applicant will be required to submit an acoustical report making recommendations for noise mitigation measures on the proposed lots as a condition of final adoption of the rezoning by-law. A restrictive covenant will be registered on the title of the proposed lots outlining the noise mitigation measures recommended in the report.
- To the north of the subject site is a lot that is not under development application, located at 10355 Parkview Place. The applicant has prepared a concept plan based on the RF Zone, showing how this lot could be developed jointly with the portion of adjacent lot to the north at 16496 – 104 Avenue.

Building Scheme and Lot Grading

- Tynan Consulting Ltd. has prepared a Neighbourhood Character Study and Building Scheme for the proposed subdivision. The character study involved reviewing a number of existing homes in the neighbourhood and considering the standards of newer RF-zoned subdivisions in order to establish suitable design guidelines for the proposed subdivision. A summary of the design guidelines is attached (Appendix V).
- Tynan Consulting Ltd. also prepared sample house footprints to demonstrate functional floor plans on the irregular shaped lots of the subject application.
- The applicant is requesting to relax the lot depth for proposed Lot 2 from 28 metres (92 ft.) to 26 metres (85 ft.), and to relax the lot depth for proposed Lot 11 from 28 metres (92 ft.) to 16 metres (52 ft.). Both proposed Lots 2 and 11 meet the minimum lot area requirements of the RF Zone.
- The applicant is requesting setback variances for proposed Lots 1, 10 and 11. Without the requested variances, the proposed houses would be substantially smaller than the maximum house size permitted based on the floor area ratio (FAR) of the RF Zone. With the requested variances, the house sizes will be larger than without variances, but will still be smaller than the maximum permitted under the allowable FAR in the RF Zone based on the lot sizes.

- Preliminary lot grading plans were prepared and submitted by CitiWest Consulting Ltd and are generally acceptable. Basements are proposed on each of the lots.
- Final confirmation on whether in-ground basements are achievable will be determined once final Engineering drawings have been reviewed and accepted by the City's Engineering Department.

PRE-NOTIFICATION

Pre-notification letters were sent on April 13, 2016. Staff received 2 phone calls from neighbouring residents, including from the Fraser Heights Community Association, with the following comments (*staff comments in italics*).

- The Fraser Heights Community Association requested general information about the proposed development and a copy of the site layout.

(Staff sent the Fraser Heights Community Association a copy of the proposed layout. The Fraser Heights Community Association did provide any other formal comment for this proposal.)

- A neighbour on 164A Street contacted staff with concerns about loss of privacy once this site develops. This owner requested that an existing hedge be retained at the rear (west side) of proposed Lots 7 & 8.

(The applicant has indicated that this hedge can be retained, and has revised the proposed tree protection fencing plan to show that this hedge will be retained.)

TREES

- Nick McMahon, ISA Certified Arborist of Arbortech Consulting prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	2	2	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Flowering Cherry	1	1	0
Plum	1	1	0
Coniferous Trees			
Douglas Fir	15	15	0
Western Red Cedar	45	17	28
Total (excluding Alder Trees)	62	36	28

Total Replacement Trees Proposed (excluding Boulevard Street Trees)	33
Total Retained and Replacement Trees	61
Contribution to the Green City Fund	\$14,800

- The Arborist Assessment states that there are a total of 62 protected trees on the site, excluding Alder trees. Two (2) existing trees, approximately 3% of the total trees on the site, are Alder trees. It was determined that 28 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 70 replacement trees on the site. Since only 33 replacement trees can be accommodated on the site (based on an average of 3 trees per lot), the deficit of 37 replacement trees will require a cash-in-lieu payment of \$14,800, representing \$400 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.
- A 3-metre (10 ft.) wide landscape buffer is proposed along the south property line of proposed Lots 8-10, which is intended to provide a visual buffer from Highway No. 1. There is an existing row of Western Red Cedar trees along this south property line, which will be maintained and enhanced with additional planting along this edge. The landscape plan and bonding must be submitted and approved prior to consideration of Final Adoption of the rezoning by-law.
- In summary, a total of 61 trees are proposed to be retained or replaced on the site with a contribution of \$14,800 to the Green City Fund.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on February 10, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is located within an urban infill area and complies with the Urban designation in the OCP.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed new dwellings will have the opportunity to develop secondary suites
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The proposed rain water management design considerations will include absorbent soils, drainage trenches and sediment control devices. • 29 protected trees are proposed to be retained.

Sustainability Criteria	Sustainable Development Features Summary
	<ul style="list-style-type: none"> Recycling and compost pickup will be available
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> New sidewalks will be constructed as part of the development and is in close proximity to the future Fraser Heights Greenway.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> N/A
6. Green Certification (F1)	<ul style="list-style-type: none"> N/A
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> Pre-notification letters sent to the surrounding neighbourhood and the Fraser Heights Community Association.

BY-LAW VARIANCES AND JUSTIFICATION

(a) Requested Variances:

- To reduce the minimum lot depth of the RF Zone from 28 metres (92 ft.) to 26 metres (85 ft.) for proposed Lot 2, and from 28 metres (92 ft.) to 16 metres (52 ft.) for proposed Lot 11.

Applicant's Reasons:

- Proposed Lot 2 is 21.5 metres (71 ft.) in width, which is 6.5 metres (21 ft.) wider than a typical RF-zoned lot. This lot configuration can allow for construction of a wide shallow house with a depth of 11.0m. Proposed Lot 2 is 2 metres (7 ft.) shallower than a typical RF-zoned lot in order to achieve the area for the new proposed cul-de-sac bulb and to achieve practical lot widths for the proposed lots fronting the cul-de-sac.
- Variances are being requested for proposed Lot 11 to allow for the most practical floor plan. The overall lot configuration for proposed Lot 11 is north/south however the front yard (shortest lot line) is oriented to the west.
- Based on the north/south lot configuration, the designated front and rear are similar to side yard setbacks, whereas the side yard setbacks allow for similar back yard space and garage access to the surrounding and similarly zoned lots. The requested setbacks will also complement the proposed RF-12-zoned lots to the east (under Development Application No. 7914-0300-00, currently at Third Reading and scheduled for consideration of final approval on September 12, 2016).

Staff Comments:

- Staff concur with the applicant's rationale.
- Staff support the requested variances.

(b) Requested Variance:

- To reduce the minimum setbacks of the RF Zone as follows:
 - from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for 50% and 6.0 metres (20 ft.) for the remaining 50% of the east rear yard setback for proposed Lot 10;
 - from 7.5 metres (25 ft.) to 3.6 metres (12 ft.) for the west front yard setback for proposed Lot 11; and
 - from 7.5 metres (25 ft.) to 1.2 metres (4 ft.) for the east rear yard setback for proposed Lot 11.

Applicant's Reasons:

- The applicant's design consultant provided a possible house plan for proposed Lot 10. The rear of the house (east side) is stepped and therefore the 4.5-metre (15-ft.) setback is at the corners only and is increased to about 6.0 metres (20 ft.), which is similar to the minimum allowed. The functional rear yard space will be along the south side and will be protected by a restrictive covenant
- With the requested variance, the maximum floor area ratio (FAR) of the house can be achieved and it will allow for a more practical floor plan.
- Based on the north/south lot configuration, the designated front and rear are similar to side yard setbacks, whereas the side yard setbacks allow for similar back yard space and garage access to the surrounding and similarly zoned lots. The requested setbacks will also complement the proposed RF-12-zoned lots to the east (under Development Application No. 7914-0300-00, currently at Third Reading and scheduled for consideration of final approval on September 12, 2016).

Staff Comments:

- The applicant will register a Section 219 Covenant to identify and protect driveway locations for proposed Lots 1 and 11.
- The applicant will register a Section 219 Covenant to identify and protect functional yard space for proposed Lots 10 and 11.
- Staff concur with the applicant's rationale.
- Staff support the requested variances.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary, Project Data Sheets and Survey Plan
- Appendix II. Proposed Subdivision Layout
- Appendix III. Engineering Summary
- Appendix IV. School District Comments
- Appendix V. Building Design Guidelines Summary
- Appendix VI. Summary of Tree Survey and Tree Preservation
- Appendix VII. Development Variance Permit No. 7916-0046-00

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

SAL/dk

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Roger Jawanda
 Citiwest Consulting Ltd.
 Address: Suite 101, 9030 King George Boulevard
 Surrey, BC V3V 7Y3

 Tel: 604-591-2213

2. Properties involved in the Application
 - (a) Civic Addresses: 10333 Parkview Place
 10309 Parkview Place
 Portion of Parkview Place

 - (b) Civic Address: 10333 Parkview Place
 Owner: Qualico Developments (Vancouver) Inc.
 PID: 006-003-800
 Lot 16 Section 25 Range 1 Plan 45831 New Westminster District

 - (c) Civic Address: 10309 Parkview Place
 Owner: Qualico Developments (Vancouver) Inc.
 PID: 003-789-888
 Lot 17 Section 25 Range 1 Plan 45831 New Westminster District

 - (d) Portion of Parkview Place
 Owner: City of Surrey

3. Summary of Actions for City Clerk's Office
 - (a) Introduce a By-law to rezone the site.

 - (b) Application is under the jurisdiction of MOTI.
 MOTI File No. 2016-01993

 - (c) Proceed with Public Notification for Development Variance Permit No. 7916-0046-00 and bring the Development Variance Permit forward for an indication of support by Council. If supported, the Development Variance Permit will be brought forward for issuance and execution by the Mayor and City Clerk in conjunction with the final adoption of the associated Rezoning By-law.

SUBDIVISION DATA SHEET

Proposed Zoning: RF

Requires Project Data	Proposed
GROSS SITE AREA	
Acres	2.0
Hectares	0.81
NUMBER OF LOTS	
Existing	2
Proposed	11
SIZE OF LOTS	
Range of lot widths (metres)	15 – 27 m.
Range of lot areas (square metres)	560 – 672 sq.m.
DENSITY	
Lots/Hectare & Lots/Acre (Gross)	14 uph / 6 upa
Lots/Hectare & Lots/Acre (Net)	17 uph / 7 upa
SITE COVERAGE (in % of gross site area)	
Maximum Coverage of Principal & Accessory Building	40%
Estimated Road, Lane & Driveway Coverage	25%
Total Site Coverage	65%
PARKLAND	
Area (square metres)	N/A
% of Gross Site	
	Required
PARKLAND	
5% money in lieu	YES
TREE SURVEY/ASSESSMENT	
	YES
MODEL BUILDING SCHEME	
	YES
HERITAGE SITE Retention	
	NO
FRASER HEALTH Approval	
	NO
DEV. VARIANCE PERMIT required	
Road Length/Standards	NO
Works and Services	NO
Building Retention	NO
Others, lot depth and setbacks	YES

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING
BYLAW NO. _____ OF A SECTION OF ROAD,
SECTION 25, BLOCK 5 NORTH, RANGE 1 WEST,
NEW WESTMINSTER DISTRICT**

City of Surrey B.C.G.S. 92G.017

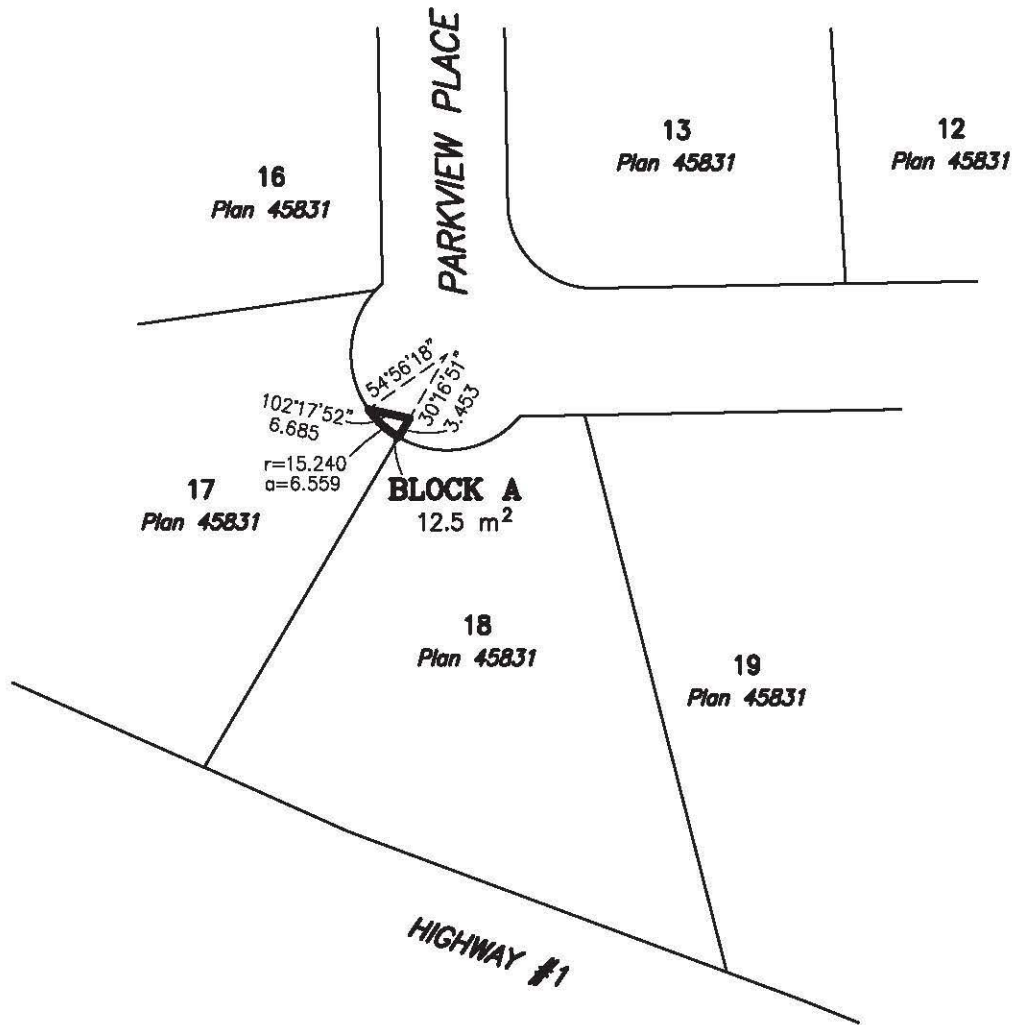
0 10 20 40 60 m



SCALE 1 : 1200

All distances are in metres

PRELIMINARY



PRELIMINARY

Cameron Land Surveying Ltd.
B.C. Land Surveyors
Unit 206 - 16055 Fraser Highway
Surrey, B.C. V4N 0G2
Phone: 604-597-3777
Fax: 604-597-3783

Certified correct to survey dated
this 8th day of September, 2016.

Sean Costello, B.C.L.S.

This plan lies within the Greater Vancouver Regional District

File: 5492-ZONING12



- NOTES:**
1. ALL DIMENSIONS ARE APPROXIMATE ONLY BASED ON MASTER PLANS.
 2. LAYOUT IS PRELIMINARY AND SUBJECT TO APPROVALS AND SURVEYS.
 3. EXISTING HOUSES TO BE REMOVED.
 4. DWP REQUIRED ON LOT # FOR LOT DEPTH FROM 28.0m TO 26.0m.

No.	Date	Revision	Dr	Ch
3	16/04/06	LOTS 3-10 REVISED, CURB AND PARKING ADDED	TWO	RJ
2	16/03/29	LOTS 1-11 REVISED	LW	RJ
1	16/03/14	LOTS 1-11 REVISED	HF	RJ

CitiWest Consulting Ltd.
 No.101-8030 KING GEORGE BLVD., SURREY, BC, V3V 7Y3
 TELEPHONE 604-591-2213 FAX 604-591-5518
 E-MAIL: office@citiwest.com



0991923 BC LTD.
 837 E 10TH AVENUE - VANCOUVER, BC, V5T 2A9, PH: 604-668-6880
PRELIMINARY LOT LAYOUT
 SUBDIVISION AT 10309/33 - PARKVIEW PL, SURREY, BC

Scale: 1:1000	Mun. Proj. No. 7916-0046-00	Dwg. No. A
Drawn: JW	Mun. Dwg. No.	
Designed: RJ	Job No. 15-3263	Dr
P.W. P.U.	Date MAR/2016	Revision 3
Approved:		destroy all prints bearing previous number

TO: **Manager, Area Planning & Development - North Surrey Division
Planning and Development Department**

FROM: **Development Project Engineer, Engineering Department**

DATE: **August 17, 2016** PROJECT FILE: **7816-0046-00**

RE: **Engineering Requirements
Location: 10309 and 10333 Parkview Place**

REZONING AND SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 17.0 m for Parkview Place for the Local Road allowance.
- Dedicate as required to provide cul-de-sacs and parking island.
- Dedicate a 3.0 x 3.0 m corner cut at the intersection.
- Provide a 0.50 m Statutory Rights-of-Way along all road frontages.

Works and Services

- Construct west half of Parkview Place to the Through Local Road Standard.
- Construct Parkview Place, cul-de-sacs and parking island to the Local Road standard.
- Construct 6.0 m concrete letdowns for all lots.
- Provide an assessment of the condition and slope stability of the storm water outfall located along Parkview Place.
- Provide on-site storm water management features to limit the post development runoff.
- Provide an analysis of the Pacific Sanitary Lift Station and force main to identify any improvements required due to the development if upgrades are not completed by Surrey Project 7814-0300-00 and 7814-0301-00.
- Replace the sanitary main along 168 Street between 102 Avenue and 104 Avenue to resolve the capacity constraints, if not completed by Surrey Project 7814-0300-00 & 7814-0301-00.
- Construct a sanitary main from 102 Avenue through 16616 Parkview Place within the proposed 166 Street road alignment under Surrey application 7814-0301-00. The applicant will be required to provide an offsite SRW from 16616 Parkview Place if the development proceeds before the road dedication from the adjacent development.
- Construct storm, water, and sanitary mains and services to service the development.

A Servicing Agreement is required prior to Rezoning and Subdivision.



Robert Cooke, Eng.L.
Development Project Engineer

CE



Thursday, April 14, 2016
Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 16 0046 00

SUMMARY

The proposed **11 Single family with suites** are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	6
Secondary Students:	3

September 2015 Enrolment/School Capacity

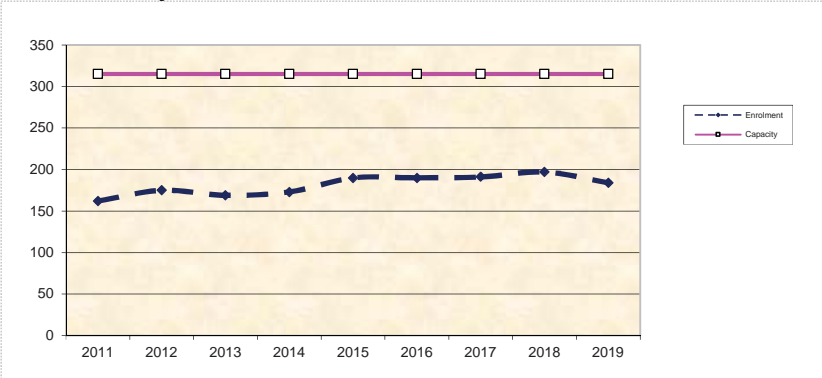
Bothwell Elementary	
Enrolment (K/1-7):	23 K + 167
Capacity (K/1-7):	40 K + 275
Fraser Heights Secondary	
Enrolment (8-12):	1382
Nominal Capacity (8-12):	1250
Functional Capacity*(8-12):	1350

School Enrolment Projections and Planning Update:

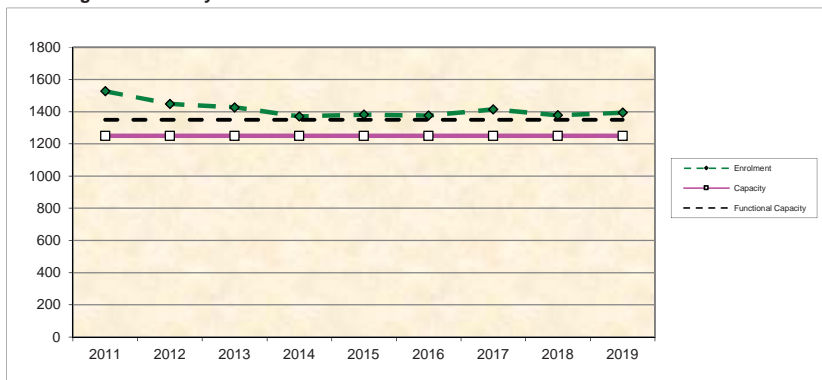
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

There is enough space at Bothwell Elementary to accommodate additional enrolment. An addition to Fraser Heights Secondary was completed in April 2014, increasing the school's nominal capacity from 1000 to 1200 + Neighbourhood Learning Centre. Fraser Heights Secondary still has some capacity constraints.

Bothwell Elementary



Fraser Heights Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

BUILDING GUIDELINES SUMMARY

Surrey Project no: 7916-0046-00
 Project Location: 10309 and 10333 Parkview Place, Surrey, B.C.
 Design Consultant: Tynan Consulting Ltd., (Michael E. Tynan)

The draft Building Scheme proposed for this Project has been filed with the City Clerk. The following is a summary of the Residential Character Study and the Design Guidelines which highlight the important features and form the basis of the draft Building Scheme.

1. Residential Character

1.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site:

This area was built out over a time period spanning from the 1960's to the 2000's. The age distribution from oldest to newest is: 1960's (21%), 1970's (37%), 1980's (37%), and 2000's (5%). A majority of homes in this area have a floor area in the 2001 - 2500 sq.ft. size range. Home size distribution is: 1000 - 1500 sq.ft. (11%), 1501 - 2000 sq.ft. (16%), 2001 - 2500 sq.ft. (37%), 2501 - 3000 sq.ft. (26%), and 3001 - 3550 sq.ft. (11%). Styles found in this area include: "Old Urban" (32%), "West Coast Traditional (Spanish emulation)" (5%), "West Coast Traditional" (11%), "West Coast Modern" (21%), "West Coast Contemporary" (5%), "Rural Heritage" (11%), "Traditional Cape Cod" (5%), and "Neo-Traditional" (11%). Home types include: Bungalow (26%), Split Level (11%), 1 ½ Storey (11%), Basement Entry (11%), and Two-Storey (42%).

Massing scale (front wall exposure) characteristics include: Low mass structure (26%), Low to mid-scale massing (11%), Mid-scale massing (21%), Mid-scale massing with proportionally consistent, well balanced massing design (16%), Mid to high scale massing (16%), High scale massing (5%), High scale, box-like massing (5%). The scale (height) range for front entrance structures include: One storey, understated front entrance (11%), One storey front entrance (58%), One storey front entrance veranda in heritage tradition (16%), 1½ storey (11%), and Two storey front entrance (5%).

The range of roof slopes found in this area is: 4:12 (20%), 5:12 (35%), 6:12 (15%), 7:12 (5%), 8:12 (15%), 10:12 (5%), and 12:12 (5%). Main roof forms (largest upper floor truss spans) include: Main common hip roof (37%), Main common gable roof (53%), and Main Dutch hip roof (11%). Feature roof projection types include: None (5%), Common Hip (32%), Common Gable (36%), Dutch Hip (9%), Boston Hip (5%), Shed roof (9%), and Carousel Hip (5%). Roof surfaces include: Interlocking tab type asphalt shingles (16%), Rectangular profile type asphalt shingles (26%), Shake profile asphalt shingles (16%), Concrete tile (rounded Spanish profile) (11%), Concrete tile (shake profile) (5%), and Cedar shingles (26%).

Main wall cladding materials include: Horizontal cedar siding (11%), Horizontal Waney edge cedar siding (5%), Vertical channel cedar siding (16%), Horizontal vinyl siding (16%), Hardiplank siding (5%), Stucco cladding (37%), and Full height brick at front (11%). Feature wall trim materials used on the front facade include: No feature veneer (17%), Brick feature veneer (61%), Stone feature veneer (17%), and Vertical board and batten cedar accent (6%). Wall cladding and trim colours include: Neutral (19%), Natural (81%).

Covered parking configurations include: No covered parking (5%), Double carport (11%), Single vehicle garage (5%), Double garage (47%), Rear garage (32%).

A variety of landscaping standards are evident, ranging from modest (sod and a few shrubs only) to above average, featuring 20 or more shrubs. Driveway surfaces include: Asphalt driveway (50%), Broom finish or smooth concrete driveway (11%), Exposed aggregate driveway (6%), Interlocking masonry pavers driveway (6%), and Rear driveway (28%).

1.2 Features of Surrounding Dwellings Significant to the Proposed Building Scheme:

- 1) **Context Homes:** Thirty two percent of existing neighbouring homes provide suitable architectural context for use at the subject site (68 percent of homes are therefore considered 'non-context'). Context homes include: 16575 - Parkview Place, 16647 - Parkview Place, 16618 Parkview place, and 16639 - Parkview Place. However, massing design, construction materials, and trim and detailing standards for new homes constructed in post year 2015 RF zone subdivisions now exceed the standards evident on the context homes. The recommendation therefore is to adopt standards commonly found in post year 2015 RF zoned subdivisions, rather than to specifically emulate the aforesaid context homes. It is important to note that this is a new growth area with two new significant in-stream applications for properties in the immediate area; a 57 lot RF and RF-G zoned subdivision identified as Surrey project 7914-0322-00 and a 13 lot RF-12 and RF project identified as 7915-0091-00. These two developments provide ideal "regulations context" for the subject site.
- 2) **Style Character :** Most neighbouring homes can be classified as old urban homes that have massing designs and exterior trim and detailing standards that do not meet modern standards. Rather than emulating the existing homes, the recommendation is to utilize *compatible* styles including "Neo-Traditional", "Neo-Heritage", "Craftsman-Heritage" and "Rural Heritage", and other styles determined by the consultant to be compatible. Note that style range is not specifically restricted in the building scheme. However, the consultant refers to the character study when reviewing plans for meeting style-character intent.
- 3) **Home Types :** There are a wide range of home types evident, and so some flexibility is justified. Home type (Two-Storey, Bungalow, Basement Entry, Split Level, etc..) will not be regulated in the building scheme.
- 4) **Massing Designs :** Massing designs should meet new standards for RF zoned subdivisions. New homes should exhibit "mid-scale" massing. Various elements and projections on the front of the home should be interesting architecturally, and should be in pleasing natural proportions to one another. These elements and projections should be located so as to create balance across the façade.
- 5) **Front Entrance Design :** Front entrance porticos range from one to two storeys in height. The recommendation however is to limit the range of entrance portico heights to between one storey and 1 ½ storeys to ensure there is not proportional overstatement of this one element.
- 6) **Exterior Wall Cladding :** A wide range of cladding materials have been used in this area, including vinyl, cedar, stucco, fibre-cement board, brick, and stone. Reasonable flexibility should therefore be permitted, including the use of vinyl siding, provided the overall quality of wall cladding materials meets or exceeds common standards for post 2015 RF zone developments in the Fraser Heights area. To increase standards, vinyl will not be permitted on the front façade or on the flanking street side of a corner lot dwelling.
- 7) **Roof surface :** A wide range of roof surfacing materials have been used in this area including cedar shingles, concrete roof tiles, asphalt shingles in several profiles. The roof surface is not a uniquely recognizable characteristic of this area and so flexibility in roof surface materials is warranted. The recommendation is to permit cedar shingles, shake profile concrete roof tiles, shake profile asphalt shingles with a raised ridge cap, and new environmentally sustainable roof products that have a strong shake profile.
- 8) **Roof Slope :** A significant number of neighbouring homes have low slope roofs that are not well suited to the proposed style range. Emulation of the low slope roof characteristic is therefore not recommended. Roofs slopes of 7:12 or higher are recommended, with standard exceptions to allow lower slopes at verandas (so front windows at the upper floor can be of sufficient depth) and to ensure that roofs are not overly high, resulting in over-shadowing of neighbouring lots, or

resulting in view corridor blockage, or to provide a path for designs of high architectural integrity that have roof slopes less than 4:12.

Streetscape: The streetscape is best described as "varied" (i.e. not one obvious theme). There are a wide range of home types including Bungalow, Basement Entry, Two-Storey, and Split Level, in sizes ranging from 900 sq.ft. to 3550 sq.ft. There are a wide range of styles including "Old Urban", "West Coast Traditional", "West Coast Contemporary", "Modern California Stucco", "Rural Heritage", and "Traditional Cape Cod". Massing designs range from "simple low mass" to "high scale, box-like". Roof slopes range from 4:12 to 12:12. Roofing materials include asphalt shingles, cedar shingles, and concrete roof tiles. Wall cladding materials include cedar, vinyl, stucco, brick, and stone. The colour range includes only natural and neutral hues (one obvious consistency). Landscaping ranges from a low old urban standard featuring sod and only a few shrubs, to an above average standard featuring more than 20 shrubs in addition to sod and feature trees.

2. Proposed Design Guidelines

2.1 Specific Residential Character and Design Elements these Guidelines Attempt to Preserve and/or Create:

- the new homes are readily identifiable as one of the following styles: "Neo-Traditional", "Neo-Heritage", "Craftsman-Heritage", "Rural Heritage", or compatible style as determined by the Consultant. Note that the proposed style range is not contained within the building scheme, but is contained within the residential character study which forms the basis for interpreting building scheme regulations.
- a new single family dwelling *constructed* on any *lot* meets year 2000's design standards, which include the proportionally correct allotment of mass between various street facing elements, the overall balanced distribution of mass within the front facade, readily recognizable style-authentic design, and a high trim and detailing standard used specifically to reinforce the style objectives stated above.
- trim elements will include several of the following: furred out wood posts, articulated wood post bases, wood braces and brackets, louvered wood vents, bold wood window and door trim, highly detailed gable ends, wood dentil details, stone or brick feature accents, covered entrance verandas and other style-specific elements, all used to reinforce the style (i.e. not just decorative).
- the development is internally consistent in theme, representation, and character.
- the entrance element will be limited in height (relative dominance) to 1 to 1 ½ storeys.

2.2 Proposed Design Solutions:

Interfacing Treatment

The recommendation is to adopt standards commonly found in post year 2015 RF zoned subdivisions, rather than to specifically emulate the aforesaid context homes. Also, it is important to note that this is a new growth area with two new significant in-stream applications for properties in the immediate area; a 57 lot RF and RF-G zoned subdivision identified as Surrey project 7914-0322-00 and a 13 lot RF-12 and RF project identified as 7915-0091-00. These two developments provide ideal "regulations context" for the subject site.

Exterior Materials/Colours: Stucco, Cedar, Vinyl, Brick, and Stone. No Vinyl on street facing sides of the dwelling.

“Natural” colours such as browns, greens, clays, and other earth-tones, and “Neutral” colours such as grey, white, and cream are permitted. Primary colours are not recommended for this development. “Warm” colours such as pink, rose, peach, salmon are not permitted. Trim colours: Shade variation of main colour, complementary, neutral, or subdued contrast only.

Roof Pitch: Minimum 7:12, with some exceptions.

Roof Materials/Colours: Cedar shingles, shake profile concrete roof tiles, shake profile asphalt shingles with a raised ridge cap, and new environmentally sustainable roofing products should be permitted, providing that the aesthetic properties of the new materials are equal to or better than that of the traditional roofing products. Greys, black, or browns only.

In-ground basements: Permitted, subject to determination that service invert locations are sufficiently below grade. Basements will appear underground from the front.

Treatment of Lots 1 and 11: Significant, readily identifiable architectural features are provided on all street facing sides of the dwelling, resulting in a home that architecturally addresses both streets. One-storey elements on the new home shall comprise a minimum of 30 percent of the width of the street facing side. The upper floor is set back a minimum of 0.6 metres [2'- 0"] from the one-storey elements.

Landscaping: *Moderate modern urban standard:* Tree planting as specified on Tree Replacement Plan plus minimum 20 shrubs of a minimum 3 gallon pot size. Lots 1 and 11 shall have a minimum of 30 shrubs of a minimum 3 gallon pot size. Sod from street to face of home. Driveways: exposed aggregate, interlocking masonry pavers, or stamped concrete.

Compliance Deposit: \$5,000.00

Summary prepared and submitted by: Tynan Consulting Ltd. Date: August 3, 2016

Reviewed and Approved by:  Date: August 3, 2016

Appendix _____

TREE PRESERVATION SUMMARY

Surrey Project No.: _____
 Project Address: Parkview Place and 104 Avenue, Surrey, BC
 Consulting Arborist: Nick McMahon

ON-SITE TREES:	QUANTITY OF TREES
Total Bylaw Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, excluding Park and ESA dedications)	64
Bylaw Protected Trees to be Removed	37
Bylaw Protected Trees to be Retained (excludes trees in Park dedication areas and ESA's)	28
Replacement Trees Required:	
Alder and Cottonwood at 1:1 ratio: 2 times 1 = 2	
All Other Bylaw Protected Trees at 2:1 ratio: 34 times 2 = 68	
TOTAL:	70
Replacement Trees Proposed	33
Replacement Trees in Deficit	37
Protected Trees Retained in Proposed Open Space/ Riparian Areas	NA

OFF-SITE TREES:	QUANTITY OF TREES
Bylaw Protected Off-Site Trees to be Removed	1
Replacement Trees Required:	
Alder and Cottonwood at 1:1 ratio: 0 times 1 = 0	
All Other Bylaw Protected Trees at 2:1 ratio: 1 times 2 = 2	
TOTAL:	2
Replacement Trees Proposed	0
Replacement Trees in Deficit	2

N/A denotes information "Not Available" at this time.

This summary and the referenced documents are prepared and submitted by:



Nick McMahon, Consulting Arborist Dated: September 6, 2016

Direct: 604 812 2986
 Email: nick@aclgroup.ca

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7916-0046-00

Issued To: QUALICO DEVELOPMENTS (VANCOUVER) INC.
(the "Owner")

Address of Owner: 5620-152 Street, Unit 310
Surrey, BC V3S 3K2

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 006-003-800
Lot 16 Section 25 Range 1 Plan 45831 New Westminster District
10333 Parkview Place

Parcel Identifier: 003-789-888
Lot 17 Section 25 Range 1 Plan 45831 New Westminster District
10309 Parkview Place

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
-

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) Section K of Part 16 Single Family Residential Zone (RF) is varied to reduce the minimum lot depth as follows:

- i. from 28 metres (92 ft.) to 26 metres (85 ft.) for proposed Lot 2; and
- ii. from 28 metres (92 ft.) to 16 metres (52 ft.) for proposed Lot 11.

- (b) Section F of Part 16 Single Family Residential Zone (RF) is varied to reduce the minimum setbacks as follows:

- i. from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for 50% and 6.0 metres (20 ft.) for the remaining 50% of the east rear yard setback for proposed Lot 10;
- ii. from 7.5 metres (25 ft.) to 3.6 metres (12 ft.) for the west front yard setback for proposed Lot 11; and
- iii. from 7.5 metres (25 ft.) to 1.2 metres (4 ft.) for the east rear yard setback for proposed Lot 11.

5. This development variance permit applies to only the portion of the Land shown on Schedule A, which is attached hereto and forms part of this development variance permit.

6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.

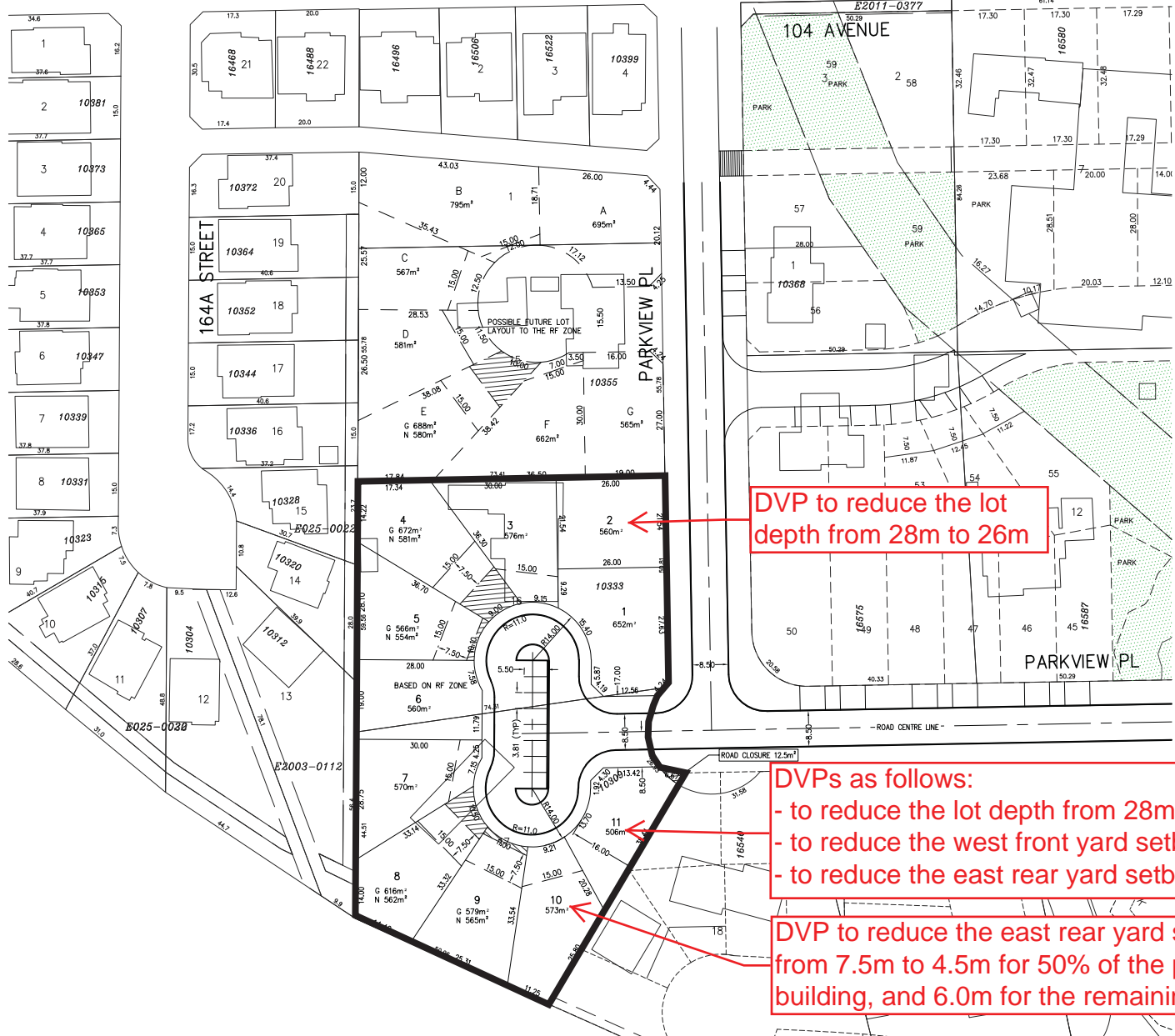
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan



- NOTES:**
1. ALL DIMENSIONS ARE APPROXIMATE ONLY BASED ON MASTER PLANS.
 2. LAYOUT IS PRELIMINARY AND SUBJECT TO APPROVALS AND SURVEYS.
 3. EXISTING HOUSES TO BE REMOVED.
 4. DVP REQUIRED ON LOT W FOR LOT DEPTH FROM 28.0m TO 26.0m.

No.	Date	Revision	By	Chk
3	16/04/06	LOTS 3-10 REVISED, CURB AND PARKING ADDED	TWO	RJ
2	16/03/29	LOTS 1-11 REVISED	LW	RJ
1	16/03/14	LOTS 1-11 REVISED	HF	RJ
			Dr	Ch

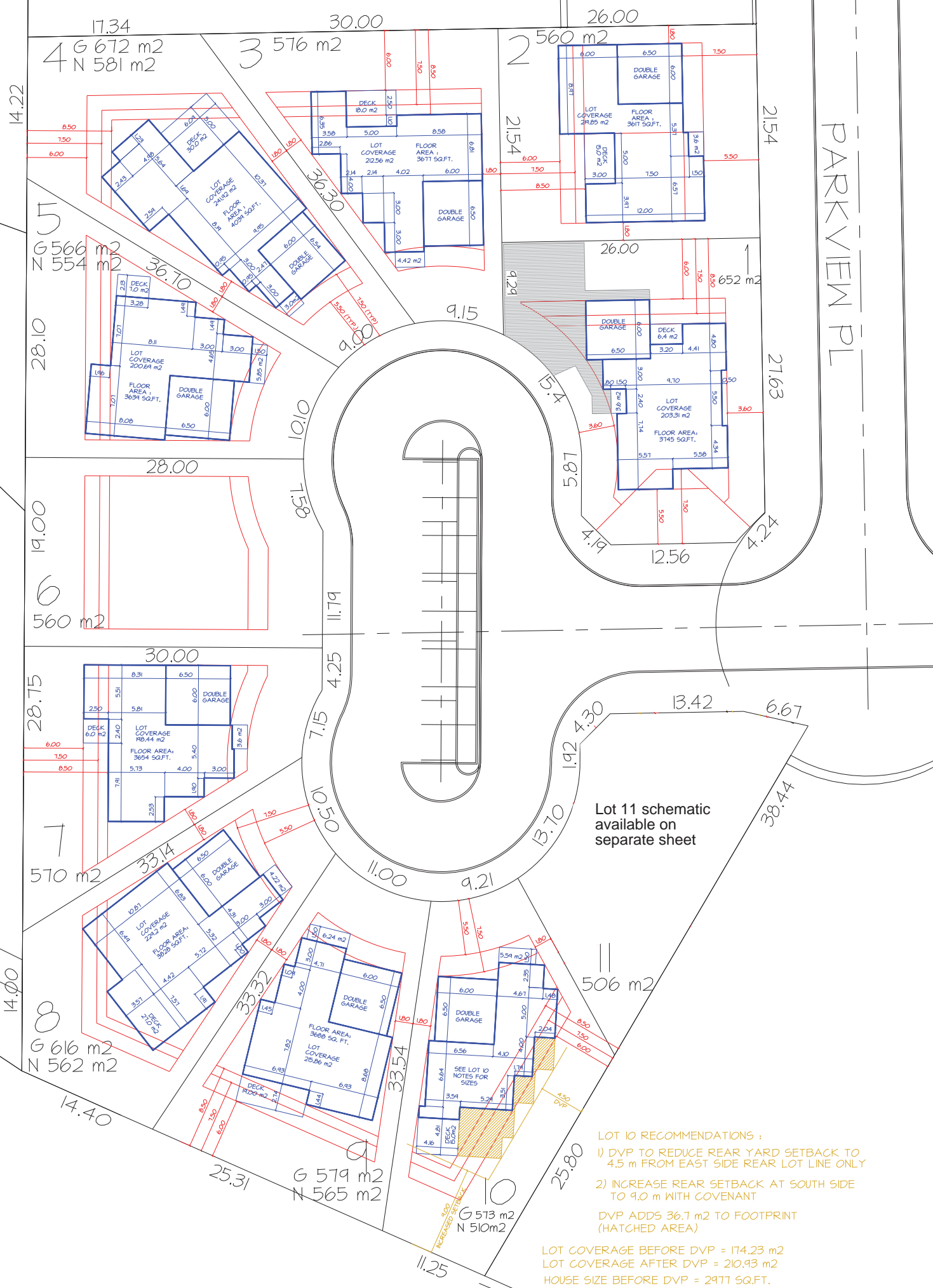
CitiWest Consulting Ltd.
 No.101-9030 KING GEORGE BLVD., SURREY, BC, V3V 7Y3
 TELEPHONE 604-591-2213 FAX 604-591-5518
 E-MAIL: office@citiwest.com



0991923 BC LTD.
 837 E 10TH AVENUE - VANCOUVER, BC, V5T 2A9, PH: 604-868-6880
PRELIMINARY LOT LAYOUT
 SUBDIVISION AT 10309/33 - PARKVIEW PL, SURREY, BC

Scale: 1:1000	Mun. Proj. No. 7916-0046-00	Dwg. No. A
Drawn: JW	Mun. Dwg. No.	
Designed: RJ	Job No. 15-3263	Of
P.W. P.U.	Date MAR/2016	Revision 3
Approved:		destroy all prints bearing previous number

PARKVIEW PL

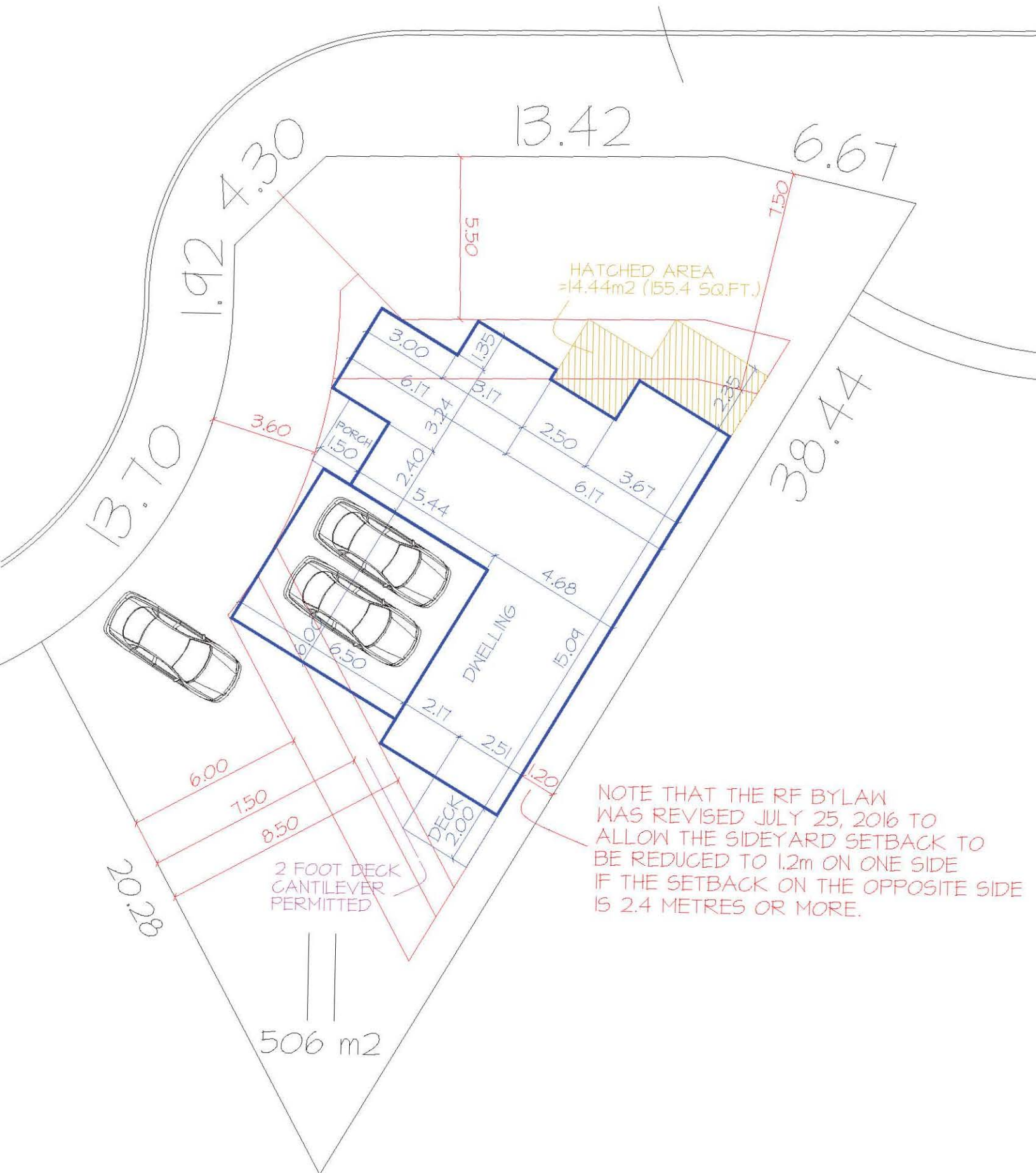


Lot 11 schematic available on separate sheet

- LOT 10 RECOMMENDATIONS :
- 1) DVP TO REDUCE REAR YARD SETBACK TO 4.5 m FROM EAST SIDE REAR LOT LINE ONLY
 - 2) INCREASE REAR SETBACK AT SOUTH SIDE TO 9.0 m WITH COVENANT

DVP ADDS 36.1 m² TO FOOTPRINT (HATCHED AREA)

LOT COVERAGE BEFORE DVP = 174.23 m²
 LOT COVERAGE AFTER DVP = 210.93 m²
 HOUSE SIZE BEFORE DVP = 2971 SQ.FT.
 HOUSE SIZE AFTER DVP = 3666 SQ.FT.



HATCHED AREA
=14.44m² (55.4 SQ.FT.)

NOTE THAT THE RF BYLAW
WAS REVISED JULY 25, 2016 TO
ALLOW THE SIDEYARD SETBACK TO
BE REDUCED TO 1.2m ON ONE SIDE
IF THE SETBACK ON THE OPPOSITE SIDE
IS 2.4 METRES OR MORE.

506 m²