

**PROPOSAL:**

- **OCP Amendment** from Commercial to Multiple Residential
- **LAP Amendment** from Neighbourhood Commercial to High Density Mixed-Use Apartments (30-45 UPA) and Medium Density Townhouses (15-30 UPA)
- **Rezoning** from CD (By-law No. 17028, amended by 17882) to CD (based on RM-70, C-8 and RM-30)
- **Development Permit**

to permit the development of a 51-unit, 5-storey mixed-use building and a 54-unit townhouse development.

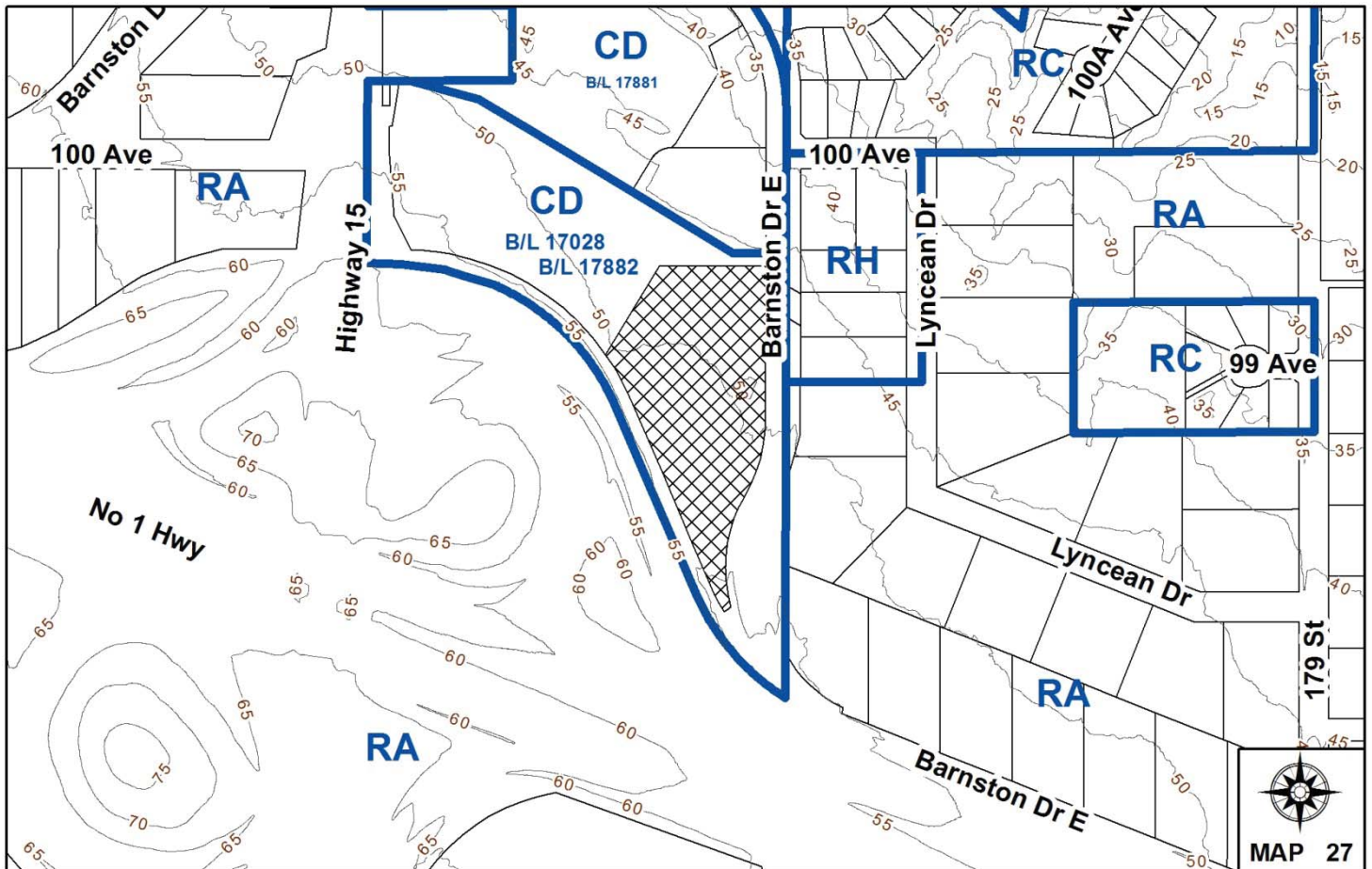
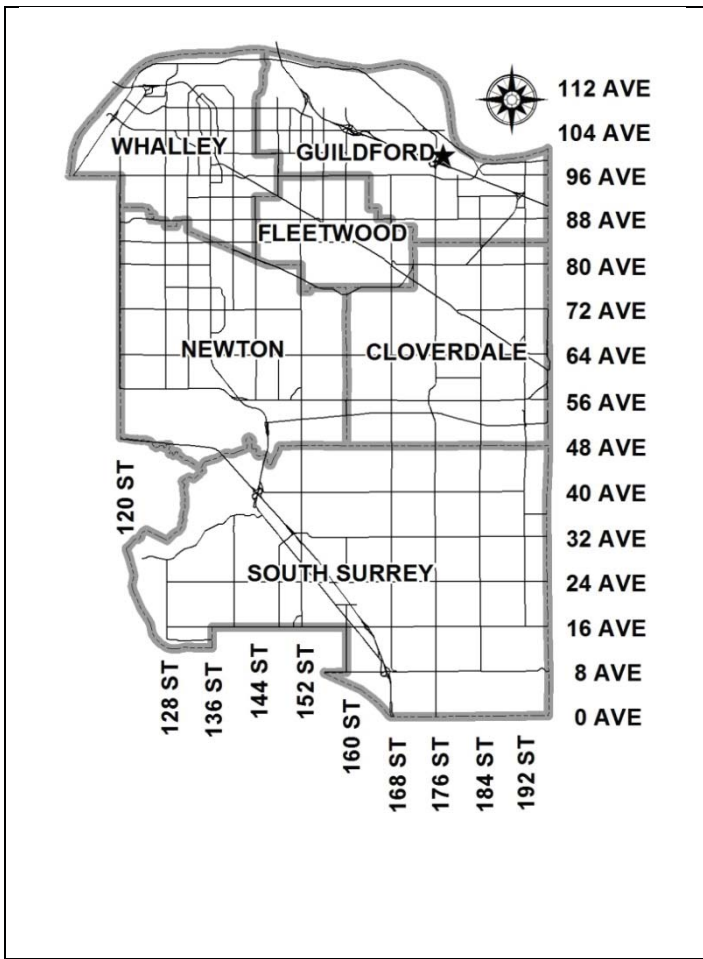
**LOCATION:** 9933 - Barnston Drive East

**OWNER:** 0794043 BC Ltd.

**ZONING:** CD Bylaw No. 17028, amended by Bylaw No. 17882

**OCP DESIGNATION:** Commercial

**LAP DESIGNATION:** Neighbourhood Commercial



### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
  - OCP Amendment; and
  - Rezoning.
- Approval to reduce indoor amenity space on both the proposed mixed-use and townhouse sites.
- Approval to draft Development Permit.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing OCP Amendment from Commercial to Multiple Residential.
- Proposing Abbey Ridge Local Area Plan (LAP) Amendment from Neighbourhood Commercial to High Density Mixed-Use Apartments (30-45 UPA) for proposed Lot A and to Medium Density Townhouses (15-30 UPA) for proposed Lot B.

### RATIONALE OF RECOMMENDATION

- The applicant proposes an OCP Amendment to redesignate the subject site from Commercial to Multiple Residential (in Figure 3: General Land Use Designations of the OCP) and to remove the Commercial designation (in Figure 42: Major Employment Areas of the OCP) to allow a 5-storey apartment building with ground-floor commercial and a 54-unit townhouse development.
- The subject site only has exposure from one (1) major road, Barnston Drive East, and therefore, the applicant has advised that it is a challenge to create a viable large-scale commercial development on the subject site, consistent with the Commercial designation in the OCP and LAP.
- The proposed 5-storey mixed use building, with ground floor commercial retail space, will provide some local commercial services to the Abbey Ridge neighbourhood.
- The proposal complies with the General Urban designation in the Metro Vancouver's Regional Growth Strategy.
- The proposed land use, density and building forms are appropriate for this part of Abbey Ridge, and are consistent with the adjacent sites to the north, which allows for a mix of townhouses and apartments.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. an OCP Amendment By-law be introduced to:
  - (a) amend "Figure 3: General Land Use Designations" by redesignating the subject site, from Commercial to Multiple Residential; and
  - (b) amend "Figure 42: Major Employment Areas" by removing the Commercial designation from the subject site;and a date be set for Public Hearing.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. a By-law be introduced to rezone the subject site from "Comprehensive Development Zone (CD)" (Bylaw No. 17028, amended by Bylaw No. 17882) to "Comprehensive Development Zone (CD)", and a date be set for Public Hearing.
4. Council approve the applicant's request to reduce the amount of required indoor amenity space on proposed Lot A, the mixed-use site, from 153 square metres (1,650 square feet) to 74.4 square metres (800 square feet).
5. Council approve the applicant's request to reduce the amount of required indoor amenity space on proposed Lot B, the townhouse site, from 162 square metres (1,745 square feet) to 134.5 square metres (1,450 square feet).
6. Council authorize staff to draft Development Permit No. 7916-0037-00 generally in accordance with the attached drawings (Appendix II).
7. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) approval from the Ministry of Transportation & Infrastructure;
  - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (e) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;

- (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (g) submission of an acoustical report due to proximity of Highway No. 1 and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures on proposed Lots A and B;
  - (h) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space on proposed Lot B;
  - (i) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture on proposed Lots A and B; and
  - (j) the applicant adequately address the impact of reduced indoor amenity spaces on proposed Lots A and B.
8. Council pass a resolution to amend the Abbey Ridge Local Area Plan to redesignate the subject site, from Neighbourhood Commercial to High Density Mixed-Use Apartments (30-45 UPA) for proposed Lot A and to Medium Density Townhouses (15-30 UPA) for proposed Lot B, when the project is considered for final adoption.

### REFERRALS

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
School District:	<p><b>Projected number of students from this development:</b></p> <p>13 Elementary students at Bothwell Elementary School 7 Secondary students at Fraser Heights Secondary School</p> <p>(Appendix IV)</p> <p>The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Winter 2018 / Spring 2019.</p>
Parks, Recreation & Culture:	No concerns.
Ministry of Transportation & Infrastructure (MOTI):	MOTI has granted Preliminary Approval for one year.
Surrey Fire Department:	No concerns.
Kinder Morgan:	No concerns.



SITE CHARACTERISTICS

Existing Land Use: Vacant lot with Kinder Morgan pipeline encumbering north-east corner.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across Kinder Morgan Trans Mountain oil pipeline):	Vacant lot.	Multiple Residential	CD (By-law No. 17881)
East (Across Barnston Drive East):	Single family dwellings on large lots.	Suburban	RA and RH
South (Across Highway No. 1):	Anniedale Traditional School	Mixed Employment	RA
West:	Vacant lot.	Multiple Residential	CD (By-law Nos. 17028 and 17882)

DEVELOPMENT CONSIDERATIONSBackground

- On June 27, 2011, Council approved an Official Community Plan (OCP) amendment from Suburban and Commercial to Multiple Residential and a rezoning from the "Combined Service Gasoline Station Zone (CG-2)" and "Comprehensive Development Zone (CD)" (By-law No. 14876) to "Comprehensive Development Zone (CD)" (By-law No. 17028) (based on CG-2, C-8 and RM-70) for a 6.04-hectare (14.9-acre) site at 176 Street and Barnston Drive East (File No. 7908-0052-00). Council also approved a General Development Permit No. 7908-0052-00 for a Master Plan that would guide the future development of the overall site (Appendix IX showing overall master plan).
- On October 3, 2011, Council approved Development Permit No. 7910-0316-00 for a 71-unit, 4-storey apartment building and an 80-unit townhouse development on Blocks C and D as shown on the original master plan. The 80-unit townhouse development (9987 and 9989 - Barnston Drive East) has been constructed, while the 4-storey apartment building (9983 - Barnston Drive East) has yet to be constructed.
- Block B (9955 - Barnston Drive East), as shown on the original master plan and intended for 4- to 6-storey apartment buildings, is also vacant.
- The proposal under the current development application (File No. 7916-0037-00) is for the lands shown as Block A on the original master plan, and currently addressed as 9933 - Barnston Drive East. Under the original master plan (General Development Permit No. 7908-0052-00), Block A was intended for a community commercial shopping centre.

### Current Application

- The owner of the subject site (Block A of the original master plan) has submitted a development application to permit the development of a 5-storey mixed-use building, containing approximately 3,948 square metres (42,490 sq.ft.) of residential space (51 dwellings units) and 376 square metres (4,050 sq.ft.) of ground floor commercial retail space on the southern portion of the site (proposed Lot A), and a 54-unit townhouse development on the northern portion of the site (proposed Lot B). The proposal requires the following:
  - Official Community Plan (OCP) Amendment to redesignate the subject site from Commercial to Multiple Residential and to remove the site from the Major Employment Area map;
  - Abbey Ridge Local Area Plan (LAP) Amendment from Neighbourhood Commercial to High Density Mixed-Use Apartments (30-45 UPA) on proposed Lot A and to Medium Density Townhouses (15-30 UPA) on proposed Lot B (Appendix VI);
  - Rezoning from "Comprehensive Development Zone (CD)" (By-law No. 17028, as amended by By-law No. 17882) to CD (based on RM-70, C-8 and RM-30);
  - Subdivision into two lots; and
  - Development Permit.
- The subject site is designated General Urban in Metro Vancouver's Regional Growth Strategy (RGS). The proposed OCP Amendment from Commercial to Multiple Residential is permitted under the General Urban land use designation, and therefore an amendment to the RGS is not required.
- On February 6, 2017, Council approved the Abbey Ridge Local Area Plan (LAP) (Corporate Report No. R32; 2017) to guide development in the area. The subject site is designated Neighbourhood Commercial, which correlates to the Commercial designation in the OCP. Therefore, the proposed OCP Amendment from Commercial to Multiple Residential also requires a corresponding LAP Amendment from Neighbourhood Commercial to High Density Mixed-Use Apartments (30-45 UPA) for proposed Lot A and to Medium Density Townhouses (15-30 UPA) for proposed Lot B.
- The proposed rezoning from Comprehensive Development (CD By-law No. 17028, as amended by By-law No. 17882) to CD (based on RM-70, C-8 and RM-30) will facilitate the proposed 5-storey mixed-use building on the southern portion of the site (proposed Lot A) and the 54-unit townhouse development on the northern portion of the site (proposed Lot B), as shown on the Survey Plan in Appendix VIII.
- The site is intended to be subdivided into two (2) lots. Proposed Lot A (south lot) is 3,950 square metres (0.98 acre) and proposed Lot B (north lot) is 1.1 hectares (2.7 acres) in size.
- The following table provides a breakdown of the floor area and unit types for each development:

	UNIT TYPE AND NUMBER				RESIDENTIAL FLOOR AREA (INCLUDING INDOOR AMENITY)	COMMERCIAL FLOOR AREA
	1-BEDROOM UNITS	2-BEDROOM UNITS	3-BEDROOM UNITS	TOTAL		
LOT A (MIXED-USE BUILDING)	33	18	N/A	51	3,948m <sup>2</sup> (42,490 ft <sup>2</sup> )	376 m <sup>2</sup> (4,051 ft <sup>2</sup> )
LOT B (TOWNHOUSES)	N/A	N/A	54	54	8,380 m <sup>2</sup> (90,205 ft <sup>2</sup> )	None proposed

- The proposed dwelling units within the 5-storey mixed-use building on proposed Lot A will range in size from 51 square metres (548 sq.ft.) to 94 square metres (1,012 sq.ft.) and are 1 or 2-bedroom units.
- A total of four (4) ground floor commercial / retail units are proposed in the 5-storey mixed-use building, and range in size from 69 square metres (745 sq.ft.) to 108 square metres (1,163 sq.ft.).
- The proposed 3-storey, 3-bedroom townhouse units on proposed Lot B range in size from 128 square metres (1,380 sq.ft.) to 186 square metres (2,003 sq.ft.), excluding the garages.

#### Public Art

- The proposed development application is subject to the public art on private property policy, which will be secured by a Section 219 No-Build Restrictive Covenant.
- The applicant has agreed to provide a monetary contribution at the Building Permit stage, based on the estimated value of the project, to the Public Art Reserve Fund, to satisfy the requirements of the policy.

#### PROPOSED CD BY-LAW (APPENDIX VIII)

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed mixed-use building on the southern portion of the site, as shown as Block A on the Survey Plan in Appendix VIII, and a townhouse development on the northern portion of the site, as shown as Block B. The CD By-law is based upon the "Multiple Residential 70 Zone (RM-70)" and the "Community Commercial Zone (C-8)" for the proposed mixed-use building (Block A) and the "Multiple Residential 30 Zone (RM-30)" for the proposed townhouse development (Block B).

#### Block A (Mixed-Use Building)

- A comparison of the permitted uses in the RM-70 and C-8 Zones, the existing CD By-law No. 17028 (as amended by By-law No. 17882), and the proposed CD By-law (for the proposed mixed-use building in Block A) is illustrated in the following table:

<b>Mixed-Use Building (Block A)</b>			
<b>Permitted Uses</b>	<b>Residential Uses (RM-70 Zone)</b>	<b>Existing CD (By-law No. 17028, amended by 17882)</b>	<b>Proposed CD By-law</b>
Multiple unit residential buildings and ground-oriented multiple unit residential buildings	Permitted	Not permitted	Permitted
<b>Permitted Uses</b>	<b>Commercial Uses (C-8 Zone)</b>		<b>Proposed CD By-law</b>
Retail Uses, excluding adult entertainment stores, auction houses, secondhand stores and pawnshops	Permitted	Permitted	Permitted
Office Uses, excluding social escort services and methadone clinics	Permitted	Permitted	Permitted
Personal Service Uses limited to barber shops, beauty parlours, cleaning and repair of clothing and shoe repairs	Permitted	Permitted, excluding body rub parlours only	Permitted, excluding body rub parlours only
General Service Uses, excluding funeral parlours, drive-through banks and vehicle rentals	Permitted	Permitted	Permitted
Beverage container return centres	Permitted	Permitted	Permitted
Eating establishments, excluding drive-through restaurants	Permitted	Permitted, including drive-through restaurants	Permitted, excluding drive-through restaurants
Neighbourhood pubs	Permitted	Permitted	Permitted
Liquor store	Permitted	Permitted, in conjunction with a "liquor-primary licensed establishment	Permitted
Parking facilities	Permitted	Permitted	Not permitted
Gasoline station	Permitted	Permitted	Not permitted
Automotive service uses	Permitted	Not permitted	Not permitted
Indoor recreational facilities	Permitted	Permitted	Permitted
Entertainment uses	Permitted	Permitted	Permitted, excluding arcades and adult entertainment stores
Assembly halls	Permitted	Not permitted	Not permitted
Community services	Permitted	Permitted	Permitted
Child care centres	Permitted	Permitted	Permitted
Caretaker's suite	Permitted	Not permitted	Not permitted
Cultural uses	Permitted	Not permitted	Not permitted

- The proposed CD By-law for the proposed mixed-use building in Block A includes multiple unit residential buildings and ground-oriented multiple unit residential buildings, along with a variety of commercial uses appropriate for a mixed-use building at this location.
- A comparison of the floor area ratio (FAR), lot coverage, setbacks, and building height in the RM-70 Zone, C-8 Zone, the existing CD By-law No. 17028 (as amended by By-law No. 17882), and the proposed CD By-law is illustrated in the following table:

Lot A (mixed-use building)	RM-70	C-8	Existing CD (By-law No. 17028, amended by 17882)	Proposed CD By-law
<b>Net FAR</b>	1.50	0.80	0.4	1.17
<b>Lot Coverage</b>	33%	50%		40% (100% for air space parcels)
<b>Setbacks</b>	7.5 metres (25 ft.) to all lot lines		Front yard (east): 3.0 metres (10 ft.) Rear yard (west): 3.0 metres (10 ft.) Side yard (north): 3.0 metres (10 ft.) Side yard (south): 3.0 metres (10 ft.)	Front yard (east): 4.0 metres (13 ft.) Rear yard (west): 7.5 metres (25 ft.) Side yard (north): 5.0 metres (16.5 ft.) Side yard (south): 7.5 metres (25 ft.)  0.0 metre (0 ft.) for air space parcels
<b>Principal Building Height</b>	50 metres (164 ft.)	12 metres (40 ft.)	12 metres (40 ft.)	19 metres (62.5ft.)

- The proposed density is consistent with the adjacent two (2) sites (9955 and 9983 - Barnston Drive East) that also permit townhouse or apartment developments.
- The proposed CD By-law reduces the building setbacks along all lot lines. The reduced setbacks will still allow for appropriate landscaping to provide screening and separation from the adjacent highways.
- The proposed CD By-law will also allow minor encroachments of decks, building architectural features, roof overhangs, and ground floor risers into the setbacks. These elements are essential to the overall function and design of the proposed development on this awkward-shaped site.
- The proposed building height of 19 metres (62.5 ft.) is less than the maximum building height of 50 metres (164 ft.) in the RM-70 Zone, and will reflect the proposed 5-storey building form.

#### Block B (Townhouses)

- The proposed CD By-law permits ground-oriented multiple unit residential buildings within Block B.
- A comparison of the floor area ratio (FAR), lot coverage, setbacks, and building height in the RM-30 Zone, the existing CD By-law No. 17028 (as amended by By-law No. 17882), and the proposed CD By-law is illustrated in the following table:



Lot B (townhouses)	RM-30	Existing CD (By-law No. 17028, amended by 17882)	Proposed CD By-law
Net FAR	0.90	Multiple unit residential buildings and ground-oriented multiple unit residential buildings were not permitted on the subject site as per the existing CD By-law.	0.80
Lot Coverage	45%		47%
Setbacks	7.5 metres (25 ft.) to all lot lines		Front yard (east): 5.0 metres (13 ft.) Rear yard (west): 7.5 metres (25 ft.) Side yard (north): 7.5 metres (25 ft.) Side yard (south): 4.5 metres (15 ft.)
Principal Building Height	13 metres (43 ft.)		12 metres (39.5 ft.)

- The proposed density is based on the RM-30 Zone and is consistent with the property to the north (9989 - Barnston Drive East), where townhouses have been constructed.
- The proposed CD By-law reduces the building setbacks along all lot lines. The reduced setbacks will promote an active building interface with Barnston Drive East and will still allow for appropriate landscaping to provide screening and separation between the public and private spaces.
- The proposed CD By-law will also allow minor encroachments of decks, building architectural features, roof overhangs, and ground floor risers into the setbacks. These elements are essential to the overall function and design of the proposed development.
- The proposed building height of 10.6 metres (35 ft.) is less than the maximum building height of 12 metres (39 ft.) in the RM-30 Zone.

DESIGN PROPOSAL AND REVIEW

Mixed-Use Site (Lot A)

- The development consists of a 5-storey mixed-use building on proposed Lot A with ground-floor commercial retail units facing east towards Barnston Drive East.
- The building consists of a brown brick veneer base. The building materials include fiber cement panel siding in light grey and beige with reveals and dark grey corrugated galvalume siding.
- The proposed building incorporates a modern, contemporary design with flat roofs and roof overhangs and significant glazing.
- The building includes grey aluminum rails with tempered glass panels for all of the proposed decks.
- Significant glazing and a metal canopy are proposed over the commercial units to accentuate the storefronts and to provide weather protection.

- Raised channel letter fascia signs on the fiber cement panel backing are proposed for each commercial unit. The proposed signage complies with the Sign By-law.
- Due to the slope of the site, all main floor dwelling units facing west include patios, while all main floor dwelling units facing east include decks located above the commercial units. The remaining non-ground-oriented dwelling units each include a deck.

#### *Parking and Vehicle Access (Mixed-Use Site)*

- The applicant proposes a two-level parking garage on proposed Lot A for the mixed use building, with the top level (P1) located mostly underground and the bottom level (P2) located completely underground. A surface parking lot is also proposed to accommodate parking for the commercial units.
- The entrance to the parking garage is at the north end of the subject site with a driveway to Barnston Drive East. No direct vehicle access is permitted or proposed to the Highway No. 1 off-ramp, which connects to Highway No. 17 (South Fraser Perimeter Road).
- The applicant proposes 91 parking spaces for the proposed mixed-use building (Lot A), which includes 70 resident parking spaces and 11 visitor parking spaces for the 51 dwelling units, and 10 surface parking spaces for the ground floor commercial units. The proposed number of parking spaces complies with the parking requirements in the Zoning By-law.
- The proposal includes a total of 63 bicycle parking spaces located within the underground parking garage, which exceeds the minimum 61 bicycle parking space requirement under the Zoning By-law. Additional bicycle parking spaces (bicycle rack) will be provided outside of the main lobby to the dwellings units, near the commercial units.

#### *Amenity Spaces (Mixed-Use Site)*

- Based on the 51 proposed dwelling units in the mixed-use building (proposed Lot A) and the minimum requirement of 3.0 square metres (32 sq.ft.) of indoor amenity space per unit, a total of 153 square metres (1,650 square feet) of indoor amenity space is required. The development proposes 74.4 square metres (801 sq.ft.) of indoor amenity space, which does not meet the minimum indoor amenity space requirement. The applicant will provide a monetary contribution of \$31,200 (based on \$1,200 per unit of the indoor amenity space required) in accordance with City policy to address this shortfall.
- The indoor amenity space consists of a large multi-purpose room on the second floor, and due to the slope of the site, has direct access to the outdoor amenity space located south of the proposed building.
- The applicant has indicated that the proposed 74.4 square metres (801 sq.ft.) of indoor amenity space will provide an adequate space for small gatherings and meetings for the future residents of the building.
- Based on the 51 proposed dwelling units in the mixed-use building and the minimum requirement of 3.0 square metres (32 sq.ft.) of outdoor amenity space per unit, a total of 153 square metres (1,650 square feet) of outdoor amenity space is required. The development

proposes 452 square metres (4,865 sq.ft.) of outdoor amenity space, which exceeds the minimum outdoor amenity space requirement.

- The outdoor amenity space consists of a triangular-shaped space located at the south end of the proposed building. The outdoor amenity space consists of a patio area located directly off of the indoor amenity space, while a play structure is directly south of the patio. A sod lawn area is adjacent to the patio and play area.

#### Townhouse Site (Lot B)

- The proposed 54-unit townhouse project consists of eight (8), three-storey buildings with garages accessed internally at grade.
- A total of 28 of the proposed townhouses consist of double car, side-by-side garages, while 26 of the proposed units (or 48%) consist of internal tandem garages, which complies with the 50% permitted in the RM-30 Zone.
- The proposed building materials include fiber cement plank siding painted three shades of grey and fiber cement panel siding painted white. Fiber cement shingle siding as well as wood trims are also painted white.
- Dark grey asphalt shingle roofs are proposed on all of the buildings.
- Each proposed townhouse unit includes a second-floor deck with white metal railings.
- The proposal will include five (5) electrical rooms attached to Units 1, 13, 24, 25 and 36. Three (3) pad-mounted transformer (PMT) boxes are proposed near Units 1 and 47, as well as the proposed amenity building. The PMTs will be screened by landscaping.
- A community mail kiosk is proposed adjacent to the amenity building, directly north of Building 7.

#### *Parking and Vehicle Access (Townhouse Site)*

- Vehicle access to the townhouse site (proposed Lot B) is via Barnston Drive East. No direct vehicle access is proposed to the Highway No. 1 off-ramp.
- The proposed townhouse development includes a total of 119 parking spaces, consisting of 108 resident parking spaces in 28 double car, side-by-side garages and 26 tandem garage units, as well as 11 visitor parking spaces, which comply with the parking requirements of the Surrey Zoning By-law. All visitor parking spaces will be delineated by decorative permeable pavers.
- Proposed Lots A and B (mixed-use and townhouse sites) are separate and independent, with no sharing of driveways or parking.
- No road dedications are required as part of the current development application. All road dedications were provided as part of the original development application (File No. 7908-0052-00).

*Amenity Spaces (Townhouse Site)*

- Based on the 54 proposed dwelling units for the townhouse development (proposed Lot B) and the minimum requirement of 3.0 square metres (32 sq.ft.) of indoor amenity space per unit, a total of 162 square metres (1,750 square feet) of indoor amenity space is required. The development proposes 134.5 square metres (1,447 sq.ft.) of indoor amenity space, which does not meet the minimum indoor amenity space requirement. The applicant will provide a monetary contribution of \$10,800 (based on \$1,200 per unit of the indoor amenity space required) in accordance with City policy to address this shortfall.
- The applicant proposes a two-storey, detached amenity building approximately 134.5 square metres (1,447 sq.ft.) in size. The proposed amenity building is directly north of Unit #37 in Building 7, and is located adjacent to the outdoor amenity area.
- The applicant has indicated that the proposed 134.5-square metre (1,447 sq.ft.) amenity building is slightly smaller than the minimum requirement and will provide a functional gathering space for the future residents of the townhouse development.
- Based on the 54 proposed dwelling units for the townhouse development and the minimum requirement of 3.0 square metres (32 sq.ft.) of outdoor amenity space per unit, a total of 162 square metres (1,745 square feet) of outdoor amenity space is required. The development proposes 223 square metres (2,400 sq.ft.) of outdoor amenity space, which exceeds the minimum outdoor amenity space requirement.
- The outdoor amenity space consists of children's play area, garden plots and a lawn area located at the north end of the site. A portion of the outdoor amenity space is located within the required setbacks and does not count towards the outdoor amenity space requirement.
- The applicant proposes to install sod and some landscaping over the Kinder Morgan Trans Mountain oil pipeline right-of-way to create a 212-square metre (2,280 sq.ft.) passive outdoor space in the northeast corner of the site. This outdoor space does not count towards the outdoor amenity space requirement in the Zoning By-law. Kinder Morgan has no objection to the installation of the openspace over the right-of-way, provided the applicant complies with Kinder Morgan's design and landscaping guidelines.

ADVISORY DESIGN PANEL

ADP Date: March 23, 2017

The applicant has resolved most of the outstanding items from the ADP review for the proposed mixed-use building on proposed Lot A. Some minor revisions will be completed prior to Council's consideration of final adoption of the rezoning bylaw, to the satisfaction of the Planning and Development Department (see Appendix V).

TREES

- Peter Mennel, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Alder	1	0	1
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Bitter Cherry	1	0	1
<b>Coniferous Trees</b>			
Douglas Fir	1	0	1
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>2</b>	<b>0</b>	<b>2</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>268</b>	
<b>Total Retained and Replacement Trees</b>		<b>270</b>	
<b>Contribution to the Green City Fund</b>		<b>No contribution required.</b>	

- The Arborist Assessment states that there are no existing trees on the subject site, however, three (3) trees are located off-site along the Highway No 1 off-ramp (west of Unit 41 in Building 8 of the proposed townhouse development). All three (3) off-site trees will be retained.
- The applicant is proposing to install 93 and 175 trees on the mixed-use and townhouse sites, respectively.

Landscaping (Mixed-Use Site)

- The landscape plan shows a total of 93 trees to be planted throughout the mixed-use site including maple, dogwood, cypress, beech, spruce and red cedar.
- A significant number of shrubs and ground cover species are proposed throughout the site, including laurel, honeysuckle, sedge, yew, roses, ferns and decorative grasses.
- The applicant proposes a landscape buffer along the west property line adjacent to the Highway No 1 off-ramp, which includes a 1.0-metre (3-ft.) high post rail fence along the property line, a 3.0-metre (10-ft.) wide landscape buffer, and a 1.8-metre (6-ft.) high concrete sound attenuation fence.



- A 3.0-metre (10-ft.) wide landscape buffer and 1.8-metre (6-ft.) high wood fence is proposed along the north property line adjacent to the townhouse site. The proposed wood fence transitions to a height of approximately 1.1 metres (3.5 ft.) near the driveway access to Barnston Drive East.
- A rain garden is proposed at the northwest corner of the mixed-use site, just north of the entrance to the parking garage.

#### Landscaping (Townhouse Site)

- The landscape plan shows a total of 175 trees to be planted throughout the townhouse site including maple, dogwood, cedar, beech, spruce apple and douglas fir.
- A significant number of shrubs and ground cover species are proposed throughout the subject site, including laurel, honeysuckle, yew, roses, lilac, ferns and decorative grasses.
- The applicant proposes a landscape buffer along the west property line adjacent to the Highway No 1 off-ramp consistent with the mixed-use site, and includes a 1.0-metre (3-ft.) high post rail fence along the property line, a 3.5-metre (11.5-ft.) wide landscape buffer, and a 1.8-metre (6-ft.) high concrete sound attenuation fence.
- A 1.1-metre (3.5-ft.) high wood rail fence will be installed along the east lot line fronting Barnston Drive East in order to separate the public and private spaces, but maintain an urban, pedestrian-friendly, streetscape.

#### PRE-NOTIFICATION

Pre-notification letters were sent on January 4, 2017. Staff received nine (9) e-mails from nearby property owners in response to the pre-notification letters. The property owners expressed the following comments / concerns (staff comments in italics):

- The proposed development further reduces the commercial space that was originally intended for this neighbourhood. Commercial retail space is needed to serve the Abbey Ridge area, particularly as the neighbourhood continues to grow.
- Shops and services in the Abbey Ridge area are lacking. Many local residents must drive great distances to buy basic grocery items and to conduct daily business, and in some cases, residents must travel to Langley.

*(The applicant has indicated that it has been a considerable challenge obtaining interest for commercial tenants in this area, since the site is difficult to access from the adjacent highways.*

*The proposed commercial space has been reduced from the original master plan, but the current project still includes a mixed-use building that incorporates approximately 375 square metres (4,050 sq.ft.) of ground floor commercial/retail space.*

*As part of the Anniedale Tynehead Neighbourhood Concept Plan, additional commercial-designated land is contemplated south of the subject site near 96 Avenue and Highway No.*

15. *These commercial-designated lands will develop over time as services become available and in anticipation of the growth and development in the Abbey Ridge and Anniedale Tynehead areas.)*

- The subject site should be utilized as a park. Noise barriers and the planting of trees would help to buffer the existing residential units and single family homes from the highway.

*(The subject site is not designated as parkland in the Abbey Ridge Land Use Plan. A future park is planned approximately 150 metres / 490 feet east of the subject site, located on Lynceon Drive, as shown in the Abbey Ridge Land Use Plan.)*

- The increase in density should not be supported since it is inconsistent with the neighbourhood, and will bring traffic and parking problems to the neighbourhood.

*(The proposed density is consistent with the developments to the north, which are part of the original master plan. The existing 115-unit townhouse development at 9989 - Barnston Drive East is shown as Block B under CD By-law No. 17881 and allows a maximum permitted floor area ratio (FAR) of 0.90. The proposed 54-unit townhouse development on the subject site (Block B) proposes an FAR of 0.78, and will be capped at 0.80 in the proposed CD By-law.*

*The two other vacant sites (9955 and 9983 Barnston Drive East), directly to the north, allow for apartments with an FAR of 1.48 and 1.5 respectively. The proposed mixed-use building on the subject site (Block A) proposes an FAR of 1.17, which is captured in the proposed CD By-law.*

*The proposed number of parking spaces on the subject site, for the proposed mixed-use and townhouse developments, meet the minimum parking requirements as per the Zoning By-law. No parking relaxations are proposed. The proposed developments are not expected to generate a significant impact on traffic flows in the area.)*

#### JUSTIFICATION FOR PLAN AMENDMENT

- The applicant proposes an OCP Amendment to redesignate the subject site from Commercial to Multiple Residential in Figure 3: General Land Use Designations of the OCP and to remove the Commercial designation for the subject site in Figure 42: Major Employment Areas of the OCP (Appendix VII).
- The proposed land use and densities are consistent with the adjacent properties to the north, which allow a mix of townhouses and apartments.
- The subject site only has exposure from one (1) major road, Barnston Drive East. Due to this limited exposure, the applicant has advised that it is a challenge to create a viable large-scale commercial development. Therefore, the applicant has requested an OCP Amendment to allow a more residential-focused development with a smaller-scale local commercial component to serve the residents in the area.
- The proposed OCP Amendment from Commercial to Multiple Residential is permitted under the General Urban land use designation in Metro Vancouver's Regional Growth Strategy (RGS), and therefore an amendment to the RGS is not required.

PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on March 6, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>The site is located within the Abbey Ridge Local Area Plan.</li> </ul>
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>The proposed development will increase the density in the area and promote a more urban, pedestrian-friendly streetscape.</li> <li>The project will diversify the housing stock and provide additional options for future home buyers in this area.</li> <li>Increased densities in the area may advance the expansion of transit options and create a more pedestrian and transit-friendly neighbourhood.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>The proposed development includes absorbent soils and permeable pavers.</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>A multi-use path runs along the east side of Barnston Drive East and provides access for pedestrians and cyclists.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>The proposed building incorporates CPTED principles including: well-lit entries/exits, passive surveillance on the street, open sightlines, and good on-site pedestrian linkages and lighting.</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>No green rating or certification is proposed.</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>Pre-notification letters were mailed to area residents and a development proposal sign was installed on subject site.</li> </ul>

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
- Appendix II. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix III. Engineering Summary
- Appendix IV. School District Comments
- Appendix V. ADP Comments and Applicant's Responses
- Appendix VI. LAP Redesignation Plan
- Appendix VII. OCP Redesignation Maps
- Appendix VIII. Proposed CD By-law
- Appendix IX. Original Master Plan

*original signed by Judith Robertson*

Jean Lamontagne  
General Manager  
Planning and Development

DN/da





## DEVELOPMENT DATA SHEET

Proposed Zoning: CD (RM-70, C-8 and RM-30)

Required Development Data (Lot A: mixed-use site)	Minimum Required / Maximum Allowed	Proposed
<b>LOT AREA</b>		
Gross Total		
Road Widening area		N/A
Undevelopable area		N/A
Net Total		3,950 sq.m.
<b>LOT COVERAGE (in % of net lot area)</b>		
Buildings & Structures	40%	30%
Paved & Hard Surfaced Areas		25%
Total Site Coverage		55%
<b>SETBACKS</b>		
Front (east)	4.0 metres	4.4 metres
Rear (west)	7.5 metres	7.5 metres
Side #1 (north)	5.0 metres	5.0 metres
Side #2 (south)	7.5 metres	46.0 metres
<b>BUILDING HEIGHT (in metres/storeys)</b>		
Principal	19 metres	19.0 metres
Accessory	4.5 metres	N/A
<b>NUMBER OF RESIDENTIAL UNITS</b>		
One Bed		33
Two Bedroom		18
Three Bedroom +		N/A
Total		51
<b>FLOOR AREA: Residential</b>		
		3,948 sq.m.
<b>FLOOR AREA: Commercial</b>		
		376 sq.m.
<b>FLOOR AREA: Industrial</b>		
		N/A
<b>FLOOR AREA: Institutional</b>		
		N/A
<b>TOTAL BUILDING FLOOR AREA</b>	4,620 sq.m.	4,324 sq.m.

**Development Data Sheet cont'd**

<b>Required Development Data (Lot A: mixed-use site)</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
DENSITY		
FAR (net)	1.17	1.17
AMENITY SPACE		
Indoor	153 sq.m.	74.4 sq.m.
Outdoor	153 sq.m.	452 sq.m.
PARKING (number of stalls)		
Commercial	11	11
Industrial		N/A
Residential Bachelor + 1 Bedroom	43	43
2-Bed	27	27
Residential Visitors	10	10
Institutional		N/A
Total Number of Parking Spaces	91	91
Number of disabled stalls	1	1
Number of small cars	27	6
Tandem Parking Spaces: Number / % of Total Number of Units		N/A
Size of Tandem Parking Spaces width/length		N/A

## Development Data Sheet cont'd

<b>Required Development Data (Lot B: townhouse site)</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
<b>LOT AREA</b>		
Gross Total		
Road Widening area		N/A
Undevelopable area		N/A
Net Total		10,734 sq.m.
<b>LOT COVERAGE (in % of net lot area)</b>		
Buildings & Structures	48%	48%
Paved & Hard Surfaced Areas		25%
Total Site Coverage		73%
<b>SETBACKS</b>		
Front (east)	5.0 metres	5.2 metres
Rear (west)	7.5 metres	7.5 metres
Side #1 (north)	7.5 metres	17.0 metres
Side #2 (south)	4.5 metres	4.5 metres
<b>BUILDING HEIGHT (in metres/storeys)</b>		
Principal	12 metres	10.6 metres
Amenity building	11 metres	7.5 metres
Accessory	4.5 metres	N/A
<b>NUMBER OF RESIDENTIAL UNITS</b>		
One-Bed		N/A
Two-Bedroom		N/A
Three-Bedroom		54
Total		
FLOOR AREA: Residential		8,380 sq.m.
FLOOR AREA: Commercial		sq.m.
FLOOR AREA: Industrial		N/A
FLOOR AREA: Institutional		N/A
<b>TOTAL BUILDING FLOOR AREA</b>	<b>8,587 sq.m.</b>	<b>8,380 sq.m.</b>

## Development Data Sheet cont'd

<b>Required Development Data (Lot B: townhouse site)</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
DENSITY		
# of units/ha /# units/acre (net)	75 UPH / 30 UPA	50.3 UPH / 20 UPA
FAR (net)	0.80	0.78
AMENITY SPACE (area in square metres)		
Indoor	162 sq.m.	134.5 sq.m.
Outdoor	162 sq.m.	223 sq.m.
PARKING (number of stalls)		
Commercial		N/A
Industrial		N/A
Residential Bachelor + 1 Bedroom		N/A
2-Bed		N/A
3-Bed	108	108
Residential Visitors	11	11
Institutional		N/A
Total Number of Parking Spaces	119	119
Number of disabled stalls		N/A
Number of small cars		N/A
Tandem Parking Spaces: Number / % of Total Number of Units	27 / 50%	26 / 48%
Size of Tandem Parking Spaces width/length	3.2 metres by 12.2 metres	3.2 metres by 12.2 metres

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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EAST ELEVATION

DEVELOPMENT DATA - LOT A

<b>Site Area:</b>	42,514 s.f. +- 0.976 Ac.	0.395 Ha.	3,950 m <sup>2</sup>
<b>F.A.R.</b>	49,446 s.f.	1.16 FAR	
<b>Density</b>	51 Units =	52.25 UPA	129.12 UPH
<b>Site Coverage</b>	12,708 s.f.	30%	
<b>Gross Floor Area</b>	Parking Garage 22,684 s.f.	2,107.4 m <sup>2</sup>	
<b>Commercial</b>	1st Floor 4,046 s.f.	375.9 m <sup>2</sup>	
	1st Floor 857 s.f.	79.6 m <sup>2</sup>	
<b>Parking Garage</b>	1st Floor 11,985 s.f.	1,113.4 m <sup>2</sup>	
	Total 16,888 s.f.	1,568.9 m <sup>2</sup>	
<b>Condo (Including Amenity)</b>	2nd Floor 10,473 s.f.	973.0 m <sup>2</sup>	12 Units
	3rd Floor 10,414 s.f.	967.5 m <sup>2</sup>	13 Units
	4th Floor 10,414 s.f.	967.5 m <sup>2</sup>	13 Units
	5th Floor 10,333 s.f.	960.0 m <sup>2</sup>	13 Units
	Total 41,634 s.f.	7,006 m <sup>2</sup>	51 Units
<b>Total (Excluding P. Garage)</b>	46,537 s.f.	4,323.4 m <sup>2</sup>	
<b>Building Height</b>	5 storey ( 1 Storey Commercial + 4 Storey Residential)		62.13 ft. 18.94 m
<b>Setbacks</b>	<b>North</b>		
	(to sheathing)	16.42 ft.	5.00 m
	(to brick)	15.83 ft.	4.82 m
	<b>West</b>		
	(to sheathing)	25.00 ft.	7.62 m
	(to brick)	24.58 ft.	7.49 m
	<b>South</b>		
	(to sheathing)	Varies (minimum)	
	(to brick)	31.04 ft.	9.46 m
	(to brick)	30.63 ft.	9.34 m
	<b>East</b>		
	(to sheathing)	17.23 ft.	5.25 m
	(to brick)	24.58 ft.	7.49 m

<b>Parking Required</b>	Commercial	3/100 m <sup>2</sup>	11 spaces
	Condo - 1 Bed	x 1.3 spaces	33 spaces
	Condo - 2 Bed	x 1.5 spaces	24 spaces
	Condo - Visitor	x 0.2/unit	10 spaces
<b>Total Condo</b>			67 spaces
<b>Total</b>			78 spaces
<b>Parking Provided</b>	Surface		10 spaces
	U/G Visitor		11 spaces
	<b>Total</b>		21 spaces
<b>Bicycle Spaces Required</b>	U/G Residential		70 spaces
	<b>Total</b>		91 spaces
	51 Units x 1.2 =	61 Secured	
<b>Bicycle Spaces Provided</b>	Visitor =	6 At grade	
	<b>Total</b>	67 Total	
	63 Secured		
<b>Amenity</b>	6 At grade		
	<b>Total</b>	69 Total	
<b>Outdoor</b>	Required :	3.0 m <sup>2</sup> / Unit X	51 Units = 153 m <sup>2</sup>
	Provided :	Hard Surface	= 124.9 m <sup>2</sup> 1,344 s.f.
		Grass Area	= 327.2 m <sup>2</sup> 3,522 s.f.
		<b>Total</b>	= 452.1 m <sup>2</sup> 4,866 s.f.
	<b>Indoor</b>	Required :	3.0 m <sup>2</sup> / Unit X
Provided :			= 74.4 m <sup>2</sup> 801 s.f.

UNIT BREAKDOWN - LOT A

Name	Type	Area Gross	# of Units	Total Gross Area
Unit A	1 Bed	578 s.f.	24	13,872 s.f.
Unit A1	1 Bed	569 s.f.	6	3,414 s.f.
Unit A2	1 Bed	548 s.f.	2	1,096 s.f.
Unit B	2 Bed	826 s.f.	3	2,478 s.f.
Unit Ba	2 Bed	806 s.f.	1	806 s.f.
Unit B2	2 Bed	900 s.f.	4	3,600 s.f.
Unit B3	2 Bed	1,000 s.f.	1	1,000 s.f.
Unit B3a	2 Bed	1,007 s.f.	2	2,014 s.f.
Unit B3b	2 Bed	1,012 s.f.	4	4,048 s.f.
Unit B4	1 Bed	596 s.f.	1	596 s.f.
Unit B5	2 Bed	751 s.f.	2	1,502 s.f.
Unit B5a	2 Bed	731 s.f.	1	731 s.f.
<b>Total</b>			51	35,157 s.f.
CRU #1		983 s.f.		
CRU #2		1163 s.f.		
CRU #3		1155 s.f.		
CRU #4		745 s.f.		
<b>Total</b>		4,046 s.f.		

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ISSUED FOR	
BY	
DATE	
ISSUE	
DATE	
REV#	



DESIGN :	DATE :	SCALE :
LEVEL :	1 MAY 17	1/8" = 1'
DRAWN :		
CLIENT :	PROJECT : COMMERCIAL/CONDO DEVELOPMENT LOT A - 4925 BARRISTON DRIVE, SURREY, B.C. V3W 1H3	
	SHEET CONTENTS : DEVELOPMENT DATA	

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H3

PHONE: (604) 597-7100	FAX: (604) 597-2099
EMAIL: mol@darkitex.com	
CLIENT NO.	SHEET NO.
PROJECT NO.	AC-101
15065	REV. NO.



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689-CI-COND-049

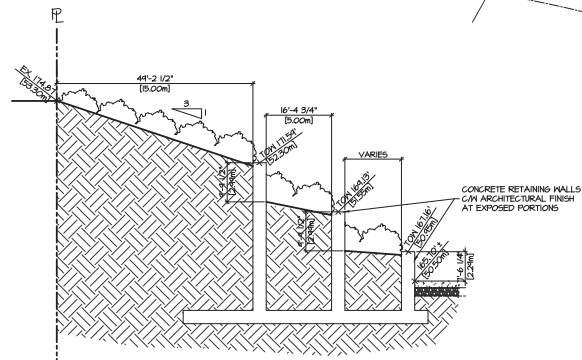
DESIGN :	JOE DHALIVAL
DRAWN :	
DATE :	10/28/11
SCALE :	1/8"=1'-0"
PROJECT :	COMMERCIAL/CONDO DEVELOPMENT LOT A - 9835 BARNSTON DRIVE, SURREY, BC
SHEET CONTENTS :	SITE PLAN

**barnett denkem**

UNIT 135,  
7538 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15065	AC-1.02

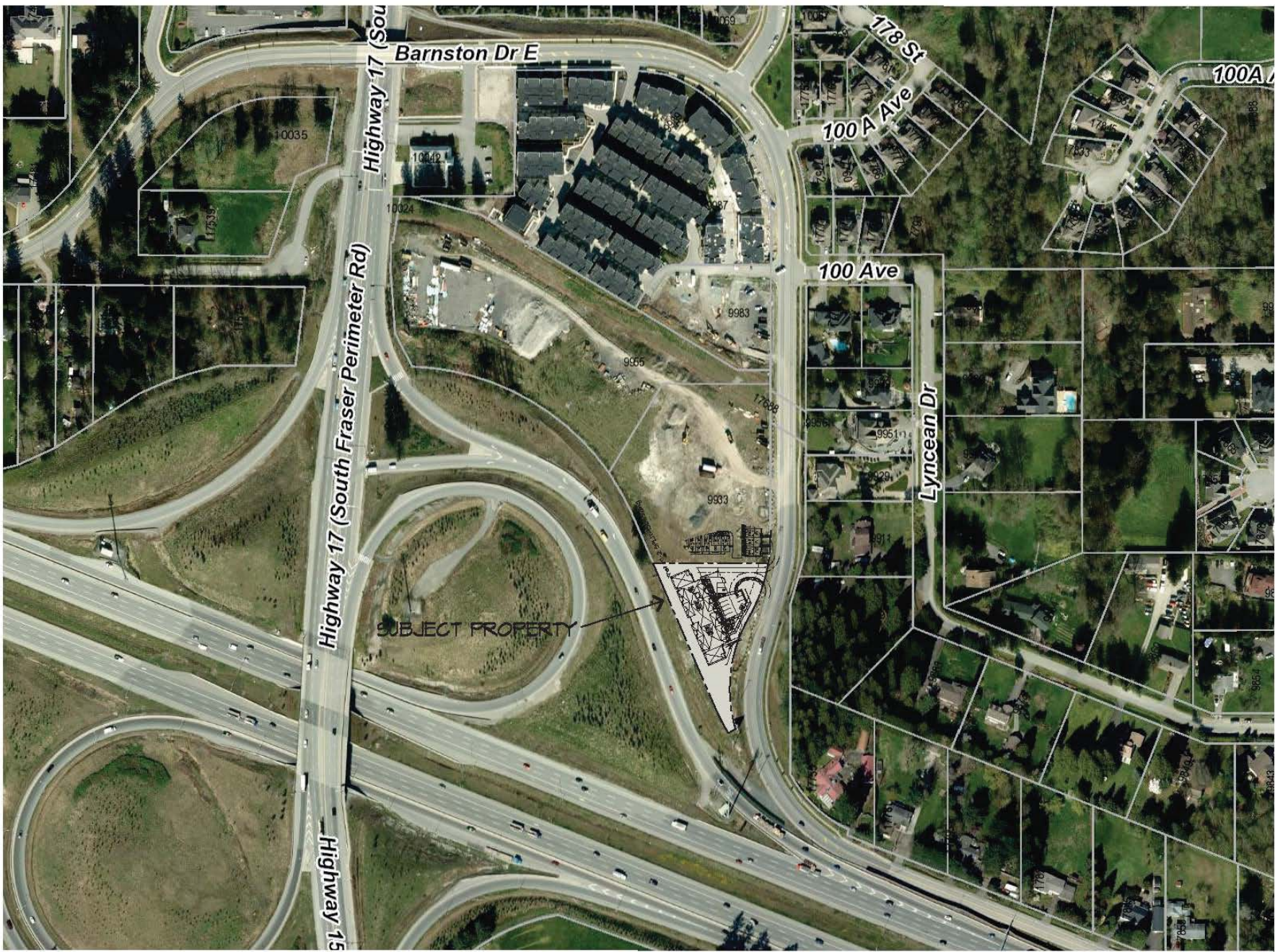


**SECTION F**  
SCALE: 1/4"=1'-0"



**LOT A - SITE PLAN**  
SCALE: 1/16"=1'-0"





DISCLAIMER: ALL DIMENSIONS AND THE AREA ARE APPROXIMATE. THE CLIENT ACCEPTS RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION. THIS PLAN IS INTENDED TO BE USED AS A REFERENCE ONLY. THE CLIENT IS ADVISED THAT THE INFORMATION IS NOT TO BE USED AS A BASIS FOR ANY LEGAL PROCEEDINGS OR AS A BASIS FOR ANY INVESTMENT DECISIONS. THE CLIENT IS ADVISED THAT THE INFORMATION IS NOT TO BE USED AS A BASIS FOR ANY INVESTMENT DECISIONS. THE CLIENT IS ADVISED THAT THE INFORMATION IS NOT TO BE USED AS A BASIS FOR ANY INVESTMENT DECISIONS. THE CLIENT IS ADVISED THAT THE INFORMATION IS NOT TO BE USED AS A BASIS FOR ANY INVESTMENT DECISIONS.

REV#	DATE	BY	REASON

DATE: 2023-10-10  
 TIME: 10:00 AM  
 DRAWN BY: JCH  
 CHECKED BY: JCH

CLIENT : JOE DHALIVAL  
 PROJECT : COMMERCIAL/CONDO DEVELOPMENT  
 LOT A - 9835 BARNSTON DRIVE, SURREY, B.C.  
 SHEET CONTAINS : NEIGHBOURHOOD CONTEXT PLAN  
 ROOF PLAN



UNIT 135,  
 7535 130 STREET,  
 SURREY, B.C.  
 V3W 1H8  
 PHONE: (604) 587-7100  
 FAX: (604) 587-2099  
 EMAIL: mail@darkiter.com

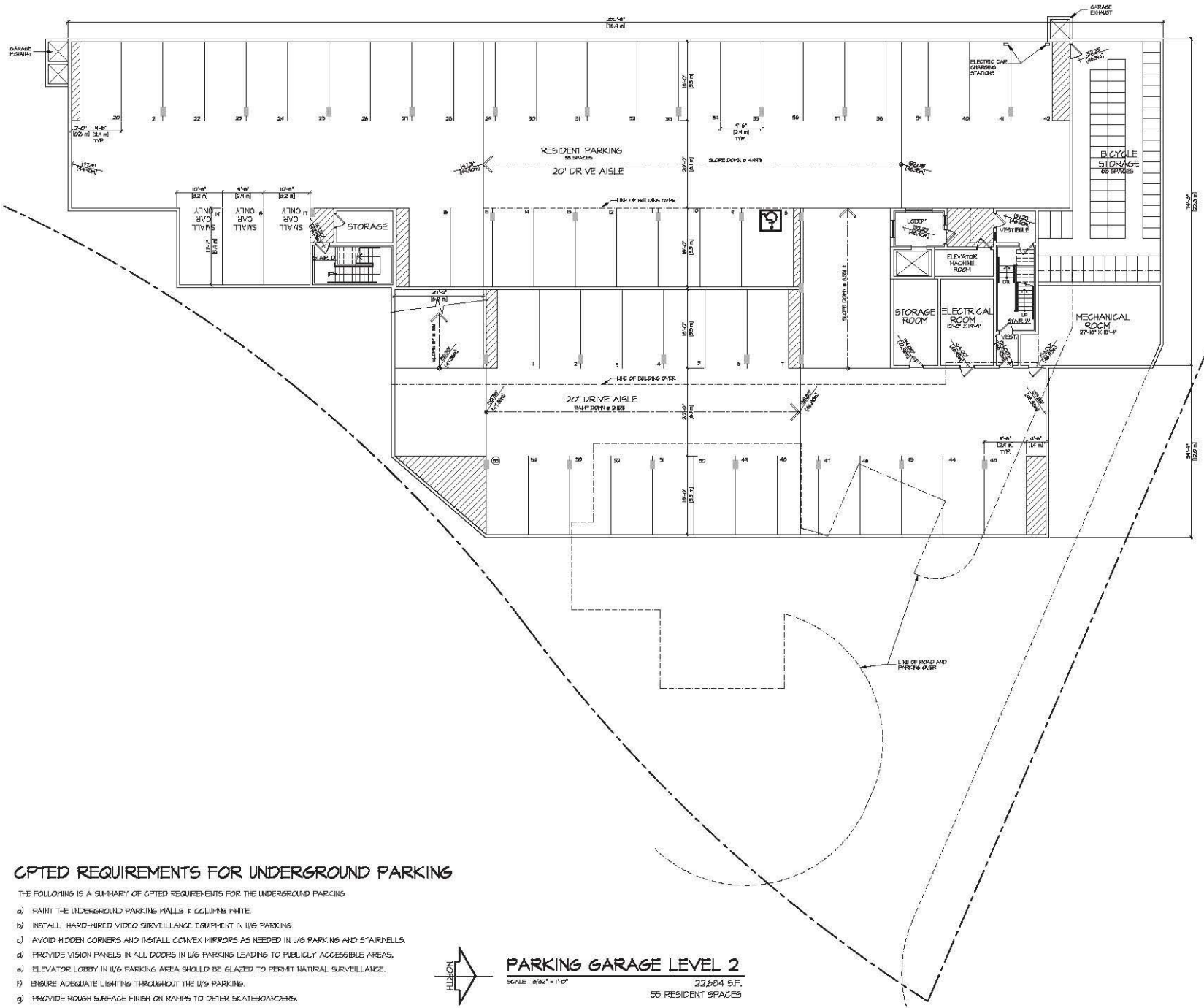
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15065	AC-10B

**CONTEXT PLAN**  
 SCALE: 1" = 100'-0"





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ISSUED FOR	BY	DATE	REVISION



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DESIGN : L.P.A.	DRAWN :	DATE :
CLIENT : JOE DHALANAL	PROJECT : COMMERCIAL/CONDO DEVELOPMENT LOT A - 9883 BARNSTON DRIVE, SURREY, B.C.	FIG & IT SHEET NO. 11
SHEET CONTENTS : PARKING GARAGE LEVEL 2 PLAN		SCALE : 1/8" = 1'-0"

**barnett dembek**

UNIT 135,  
 2528 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@barnett.com

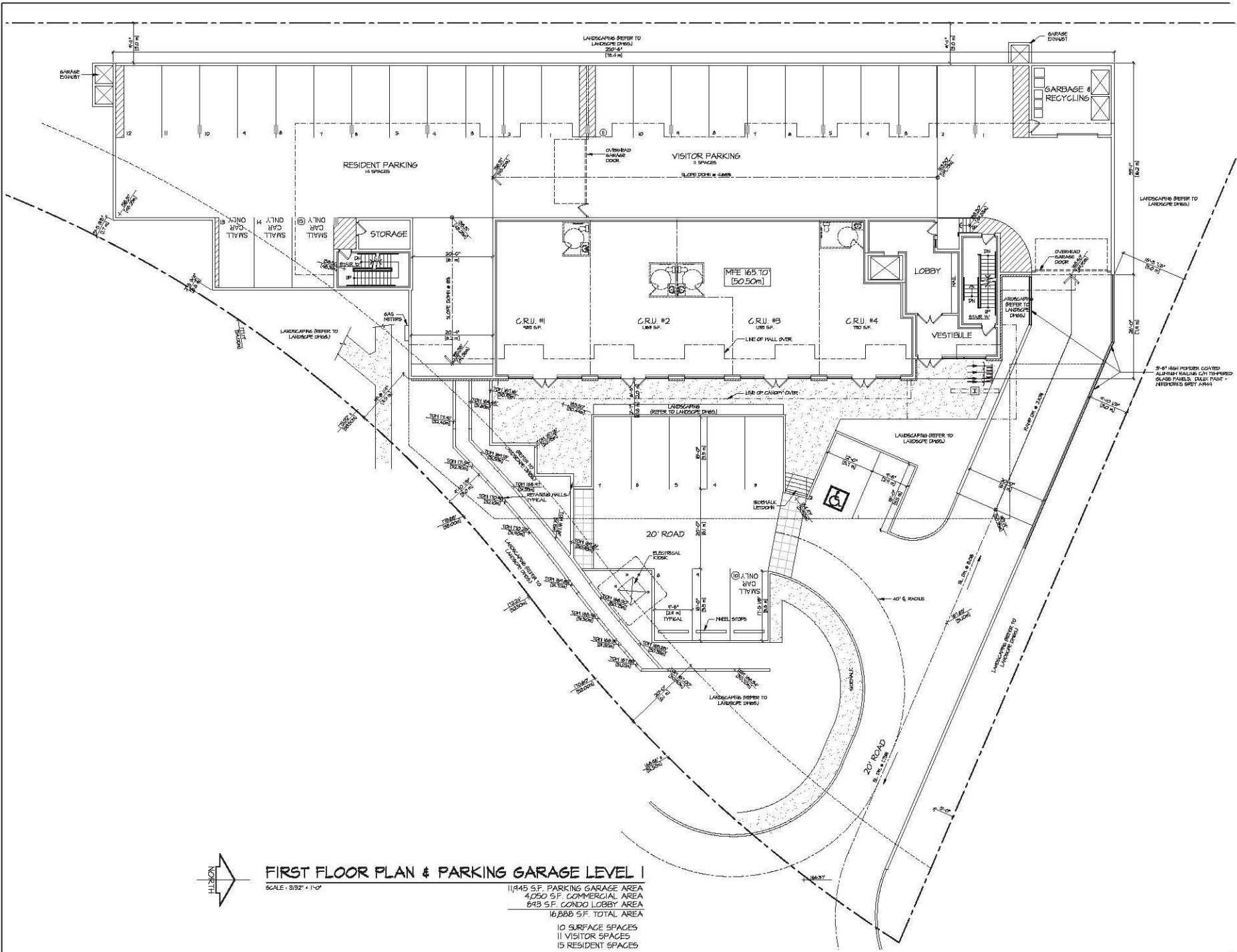
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15065	AC-3.01

**OPTED REQUIREMENTS FOR UNDERGROUND PARKING**

- THE FOLLOWING IS A SUMMARY OF OPTED REQUIREMENTS FOR THE UNDERGROUND PARKING:
- a) PAINT THE UNDERGROUND PARKING WALLS & COLUMNS WHITE.
  - b) INSTALL HARD-WIRED VIDEO SURVEILLANCE EQUIPMENT IN W/G PARKING.
  - c) AVOID HIDDEN CORNERS AND INSTALL CONVEX MIRRORS AS NEEDED IN W/G PARKING AND STAIRWELLS.
  - d) PROVIDE VISION PANELS IN ALL DOORS IN W/G PARKING LEADING TO PUBLICLY ACCESSIBLE AREAS.
  - e) ELEVATOR LOBBY IN W/G PARKING AREA SHOULD BE GLAZED TO PERMIT NATURAL SURVEILLANCE.
  - f) ENSURE ADEQUATE LIGHTING THROUGHOUT THE W/G PARKING.
  - g) PROVIDE ROUGH SURFACE FINISH ON RAMPS TO DETER SKATEBOARDERS.



**PARKING GARAGE LEVEL 2**  
 SCALE : 3/32" = 1'-0"  
 22,684 SF.  
 55 RESIDENT SPACES



**FIRST FLOOR PLAN & PARKING GARAGE LEVEL I**

SCALE: 3/32" = 1'-0"

11945 S.F. PARKING GARAGE AREA  
 4050 S.F. COMMERCIAL AREA  
 843 S.F. CONDO LOBBY AREA  
 16088 S.F. TOTAL AREA

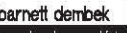
10 SURFACE SPACES  
 11 VISITOR SPACES  
 15 RESIDENT SPACES

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ISSUED FOR	BY	DATE	REVISION



DESIGNER :	LDL
DATE :	Aug 08 11
SCALE :	3/32" = 1'-0"
CLIENT :	JOE DHALANAL
PROJECT :	COMMERCIAL/CONDO DEVELOPMENT LOT A - 9883 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	FIRST FLOOR PLAN & PARKING GARAGE LEVEL I

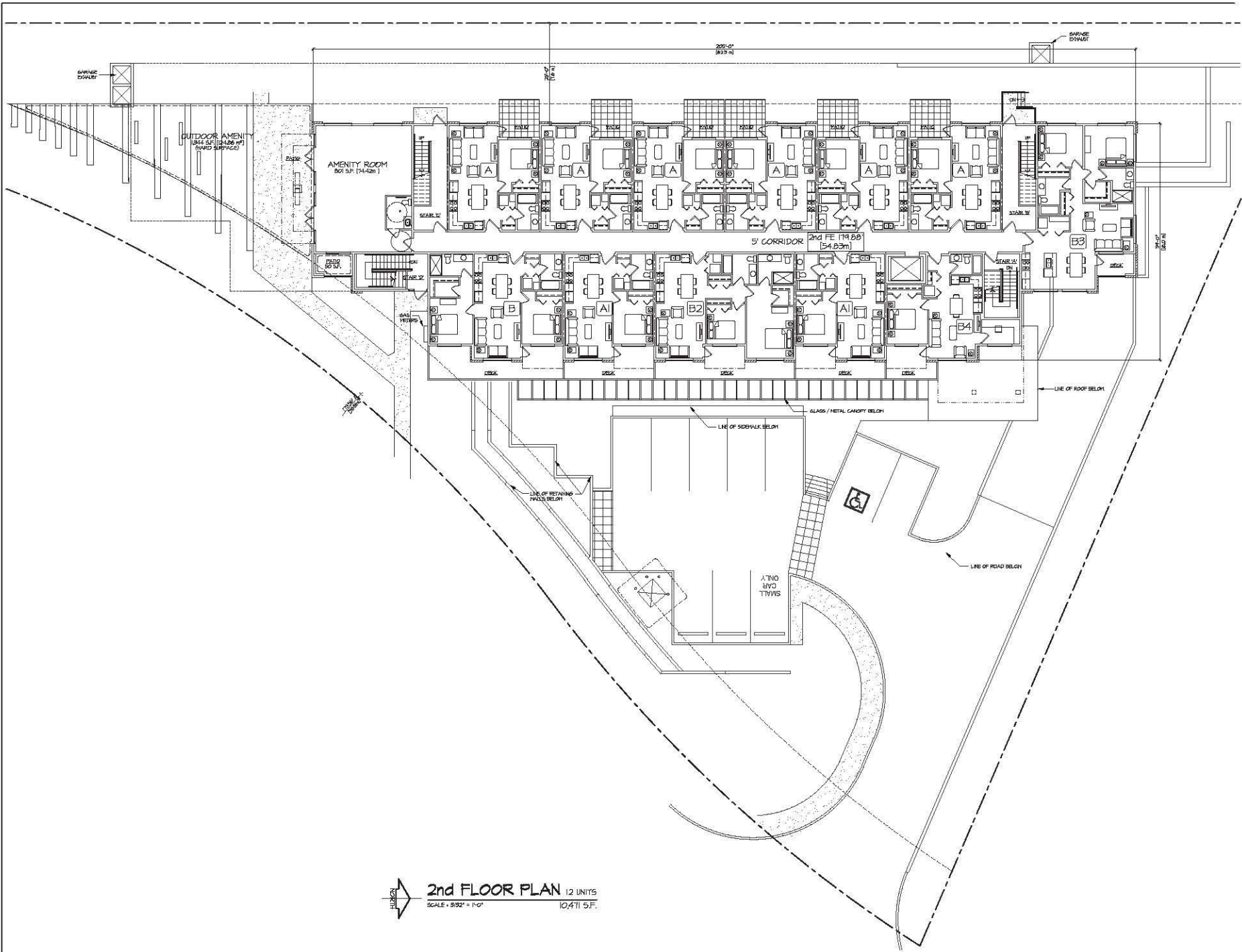


UNIT 135,  
 2528 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mel@barnettdembek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15065	AC-3.02

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**2nd FLOOR PLAN** 12 UNITS  
 SCALE • 3/32" = 1'-0" 10,411 S.F.

ISSUED FOR	BY	DATE	REVISION



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DESIGNER :	JOE DHALANAL
DRAWN :	
DATE :	Aug 6 11
SHEET NO. :	AC-3.03
SCALE :	1/4" = 1'-0"

CLIENT : JOE DHALANAL  
 PROJECT : COMMERCIAL/CONDO DEVELOPMENT  
 LOT A - 9883 BARNSTON DRIVE, SURREY, B.C.  
 SHEET CONTENTS :  
 2nd FLOOR PLAN



UNIT 135,  
 7538 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@barretdembek.com

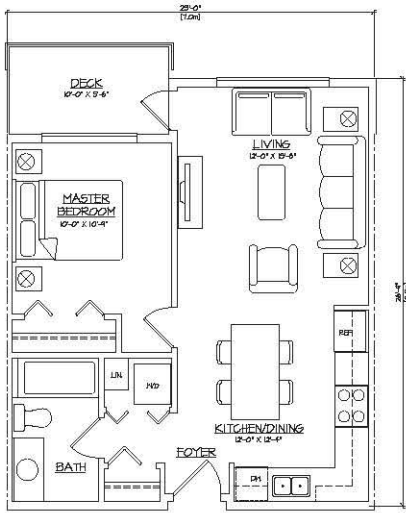
CLIENT NO.	BHEET NO.
PROJECT NO.	AC-3.03
15065	REV. NO.



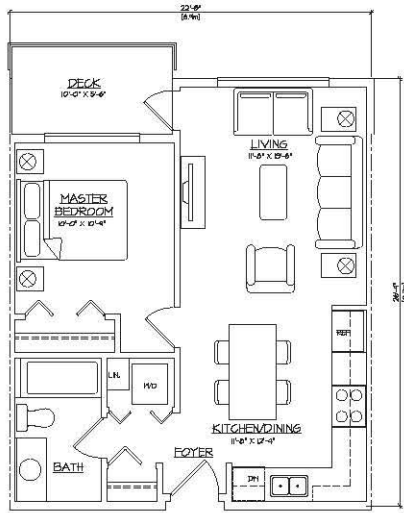




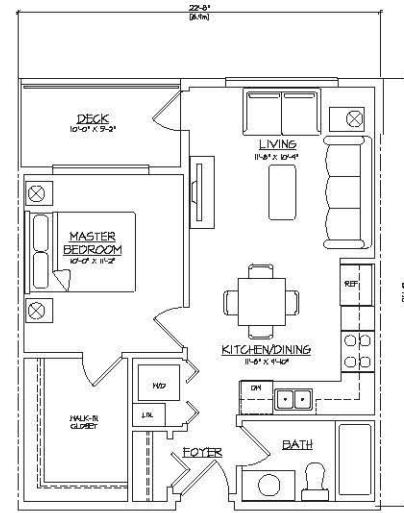




**UNIT TYPE A** | 1 BEDROOM  
SCALE: 1/4" = 1'-0"  
578 S.F.



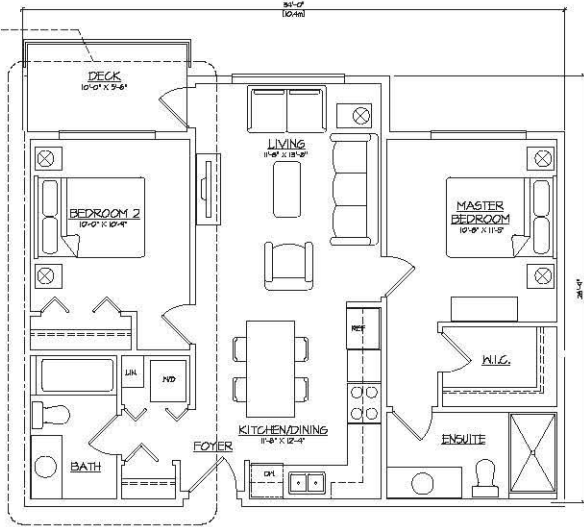
**UNIT TYPE A1** | 1 BEDROOM  
SCALE: 1/4" = 1'-0"  
569 S.F.



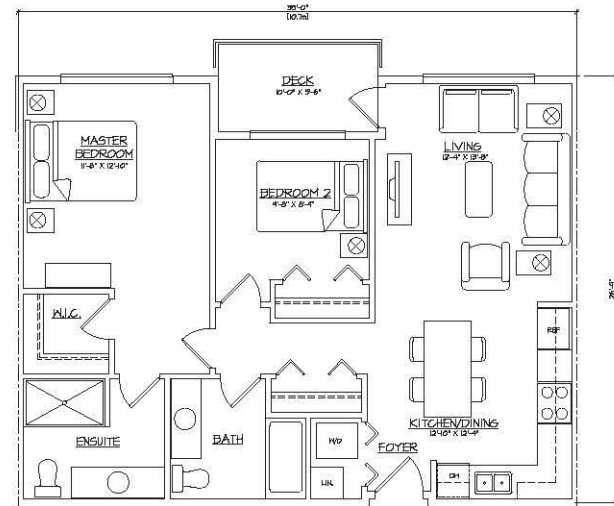
**UNIT TYPE A2** | 1 BEDROOM  
SCALE: 1/4" = 1'-0"  
548 S.F.



**UNIT TYPE Ba** | 2 BEDROOM  
SCALE: 1/4" = 1'-0"  
826 S.F.



**UNIT TYPE B** | 2 BEDROOM  
SCALE: 1/4" = 1'-0"  
826 S.F.



**UNIT TYPE B2** | 2 BEDROOM  
SCALE: 1/4" = 1'-0"  
900 S.F.

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ISSUED FOR	BY	DATE	REVISION	DATE	BY



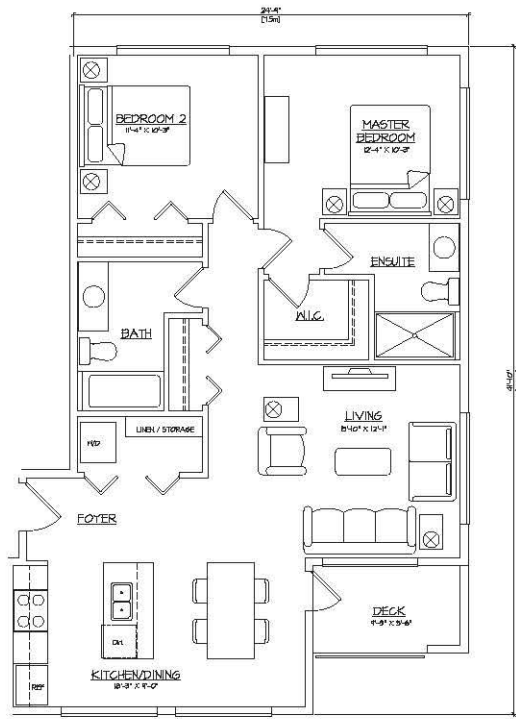
DESIGN :	JOE DHALIWAL
CLIENT :	COMMERCIAL/CONDO DEVELOPMENT
PROJECT :	LOT A - 4833 BARNSTON DRIVE, SURREY, B.C.
DATE :	2009.11.17
SCALE :	1/4" = 1'-0"
SHEET :	UNIT PLANS



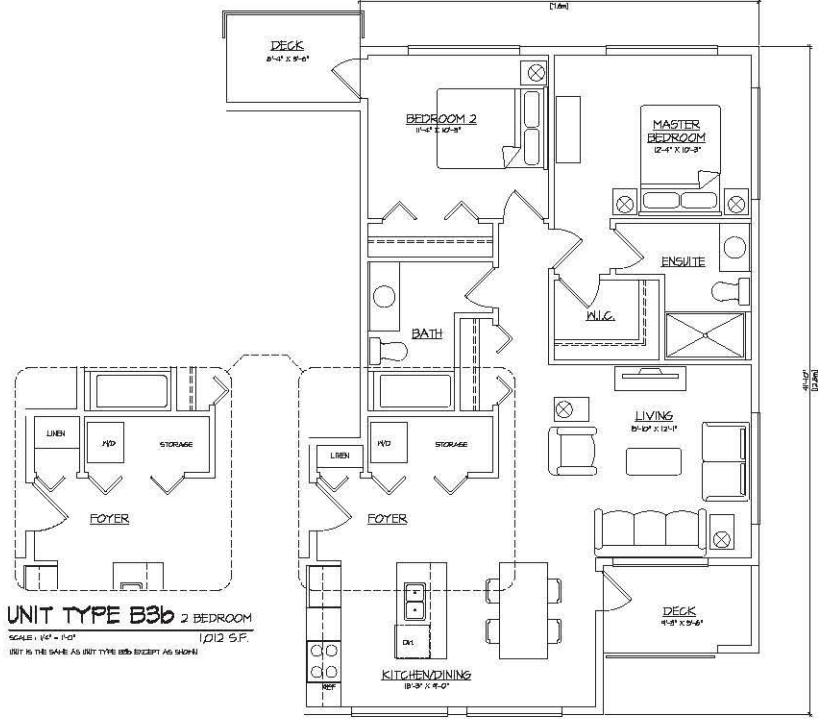
UNIT 135,  
7538 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mcl@borkitex.com

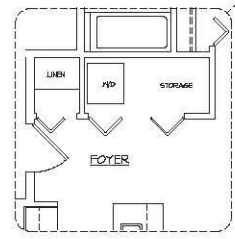
CLIENT NO.	SHEET NO.
PROJECT NO.	AC-3.06
REV. NO.	15065



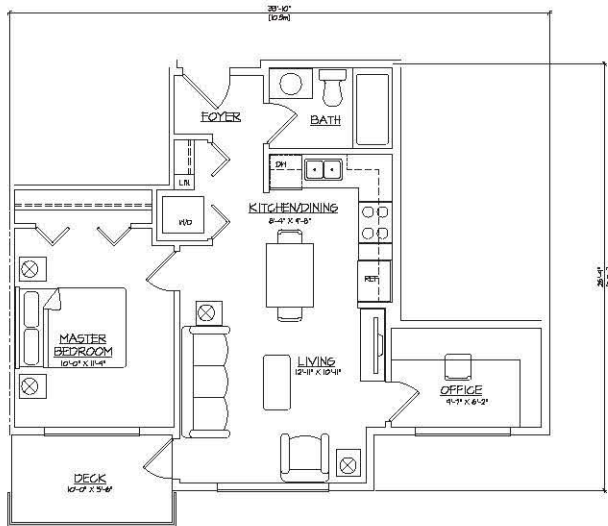
**UNIT TYPE B3** 2 BEDROOM  
SCALE: 1/4" = 1'-0"  
1,000 S.F.



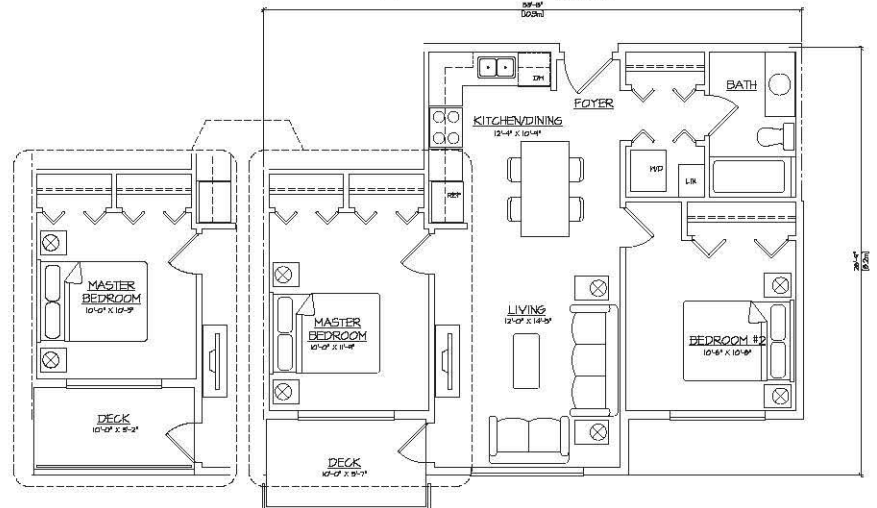
**UNIT TYPE B3a** 2 BEDROOM  
SCALE: 1/4" = 1'-0"  
1,001 S.F.



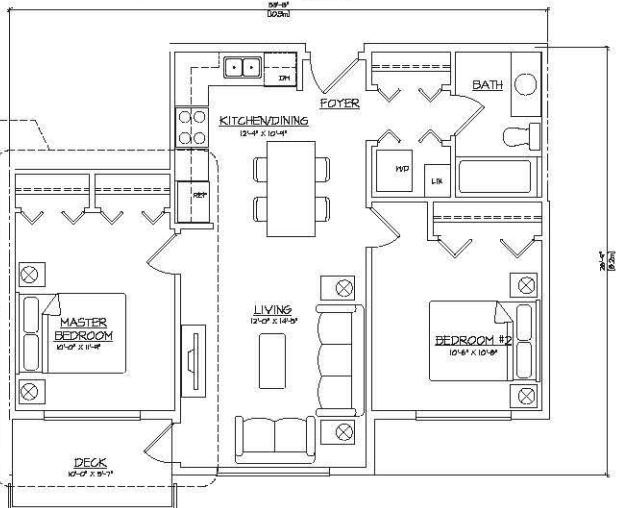
**UNIT TYPE B3b** 2 BEDROOM  
SCALE: 1/4" = 1'-0"  
1,012 S.F.  
NOT TO SCALE AS UNIT TYPE B3b EXCEPT AS SHOWN



**UNIT TYPE B4** 1 BEDROOM  
SCALE: 1/4" = 1'-0"  
516 S.F.



**UNIT TYPE B5a** 2 BEDROOM  
SCALE: 1/4" = 1'-0"  
731 S.F.



**UNIT TYPE B5** 2 BEDROOM  
SCALE: 1/4" = 1'-0"  
731 S.F.

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CANADA COPYRIGHT ACT R.S.C. 1970

ISSUED FOR	BY	DATE	REVISION	DWG	DATE	REV

DESIGN :	J.F.B.	DRAWN :	DATE :
CLIENT :	JOE DHALIAVAI	DRAWN :	10/01/17
PROJECT :	COMMERCIAL/CONDO DEVELOPMENT	SCALE :	1/4" = 1'-0"
SHEET CONTENTS :	LOT A - 9633 BARNSTON DRIVE, SURREY, B.C.	SCALE :	1/4" = 1'-0"
UNIT PLANS :			

**barrett danko**

UNIT 135,  
7528 130 STREET,  
SURREY, B.C.  
V3W 1H8  
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@bdkartex.com

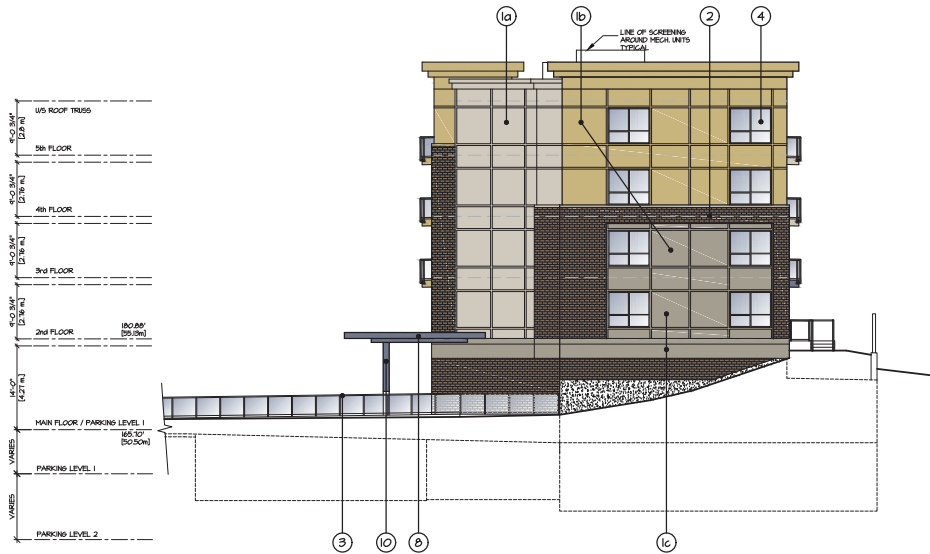
CLIENT NO.	SHEET NO.
15065	AC-3.01
PROJECT NO.	REV. NO.

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### EAST ELEVATION

SCALE : 3/32" = 1'-0"



### NORTH ELEVATION

SCALE : 3/32" = 1'-0"

### SCHEDULE OF FINISHES

- 1a FIBER CEMENT PANEL SIDING - DULUX PAINT - FOSSIL GREY A1836  
C/M EASY TRIM REVEALS OR EQUIVALENT - DULUX PAINT - FOSSIL GREY A1836
- 1b FIBER CEMENT PANEL SIDING - DULUX PAINT - CAMELGOT A1817  
C/M EASY TRIM REVEALS OR EQUIVALENT - DULUX PAINT - CAMELGOT A1817
- 1c FIBER CEMENT PANEL SIDING - BENJAMIN MOORE - ROCKPORT GRAY HC-125  
C/M EASY TRIM REVEALS OR EQUIVALENT - BENJAMIN MOORE - ROCKPORT GRAY HC-125
- 2 1XL BRICK VENEER - SMOOTH FINISH - SILVERADO
- 3 POWDER COATED ALUMINUM RAILING - DULUX PAINT - HIREWORKS GREY A1M4  
C/M TEMPERED GLASS PANELS
- 4 VINYL FRAMED WINDOWS - DULUX PAINT - HIREWORKS GREY A1M4
- 5 PREFINISHED STOREFRONT ALUMINUM - DULUX PAINT - HIREWORKS GREY A1M4  
GLAZING SYSTEM
- 6 PREFINISHED METAL CANOPY C/M TEMPERED GLASS PANELS - DULUX PAINT - COSMIC CRESCENT A1M5
- 7 RAISED CHANNEL LETTERS ON FIBER CEMENT PANEL BACKING - DULUX PAINT - FOSSIL GREY A1836
- 8 PREFINISHED METAL ENTRY CANOPY - DULUX PAINT - COSMIC CRESCENT A1M5  
C/M CEDAR SOFFIT - CLEAR STAINED
- 9 WALL MOUNTED LIGHT FIXTURE
- 10 WELDED 1" BEAM 4 METAL PLATE - DULUX PAINT - COSMIC CRESCENT A1M5  
C/M CONCRETE BASE
- 11 CORRUGATED GALVALUME SIDING
- 12 MECHANICAL LOUVER - COLOUR TO MATCH ADJACENT MATERIAL

REV#	DATE	BY	ISSUE

DESIGN :	JOE DHALIVAL
DRAWN :	
DATE :	10/21/11
SCALE :	1/8" = 1'-0"
PROJECT :	COMMERCIAL/CONDO DEVELOPMENT LOT A - 9835 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	COLOURED BUILDING ELEVATIONS

**barnett dembek**  
 UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8  
 PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-4.03
15065	REV. NO.

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### WEST ELEVATION

SCALE : 3/32" = 1'-0"



### SOUTH ELEVATION

SCALE : 3/32" = 1'-0"

### SCHEDULE OF FINISHES

- 1a FIBER CEMENT PANEL SIDING - DULUX PAINT - FOSSIL GREY A1006  
G/M EASY TRIM REVEALS OR EQUIVALENT - DULUX PAINT - FOSSIL GREY A1006
- 1b FIBER CEMENT PANEL SIDING - DULUX PAINT - GAVELGOT A1017  
G/M EASY TRIM REVEALS OR EQUIVALENT - DULUX PAINT - GAVELGOT A1017
- 1c FIBER CEMENT PANEL SIDING - BELLAIR MOORE - ROCKPORT GRAY IC-125  
G/M EASY TRIM REVEALS OR EQUIVALENT - BELLAIR MOORE - ROCKPORT GRAY IC-125
- 2 IXL BRICK VENEER - SMOOTH FINISH - SILVERADO
- 3 POWDER COATED ALUMINUM RAILING - DULUX PAINT - NEEDWORKS GREY A1044  
G/M TEMPERED GLASS PANELS
- 4 VINYL FRAMED WINDOWS - DULUX PAINT - NEEDWORKS GREY A1044
- 5 PREFINISHED STOREFRONT ALUMINUM - DULUX PAINT - NEEDWORKS GREY A1044  
GLAZING SYSTEM
- 6 PREFINISHED METAL CANOPY G/M TEMPERED GLASS PANELS - DULUX PAINT - COSMIC GREENSBIT A1015
- 7 RAISED CHANNEL LETTERS ON FIBER CEMENT PANEL BACKING - DULUX PAINT - FOSSIL GREY A1006
- 8 PREFINISHED METAL ENTRY CANOPY - DULUX PAINT - COSMIC GREENSBIT A1015  
G/M CEDAR SOFFIT - CLEAR STAINED
- 9 WALL MOUNTED LIGHT FIXTURE
- 10 WELDED 1" BEAM & METAL PLATE - DULUX PAINT - COSMIC GREENSBIT A1015  
G/M CONCRETE BASE
- 11 CORRUGATED GALVALUME SIDING
- 12 MECHANICAL LOUVER - GOLDOR TO MATCH ADJACENT MATERIAL

REV#	DATE	BY	ISSUE

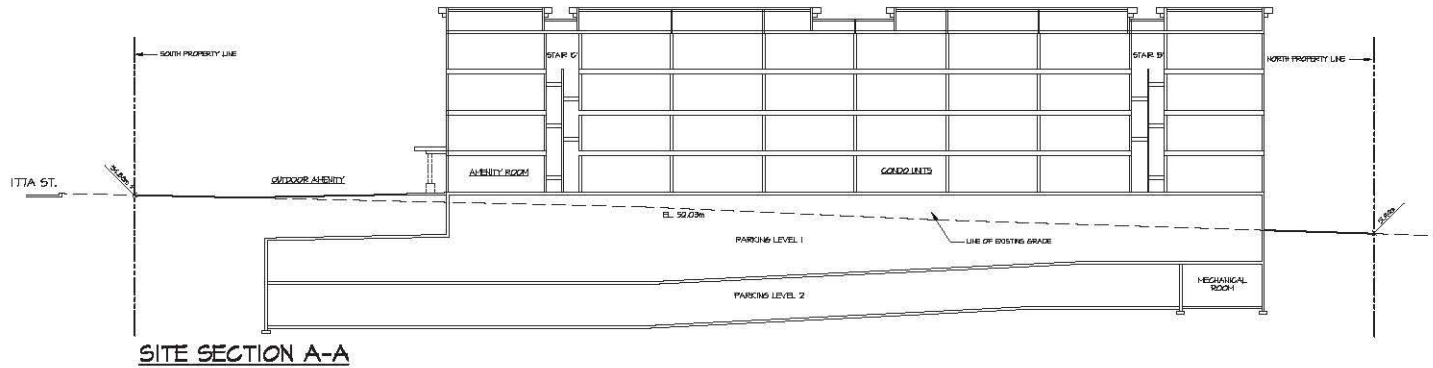
DESIGN : L.P.B.	DRAWN : 	DATE : 	FILE # IT : 	SCALE : 3/32" = 1'-0"
CLIENT : JOE DHALUKAL				
PROJECT : COMMERCIAL CONDO DEVELOPMENT LOT A - 9888 BARNSTON DRIVE, SURREY, B.C.				
SHEET CONTENTS : COLOURED BUILDING ELEVATIONS				

**barnett dembek**  
 UNIT 135,  
 7536 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

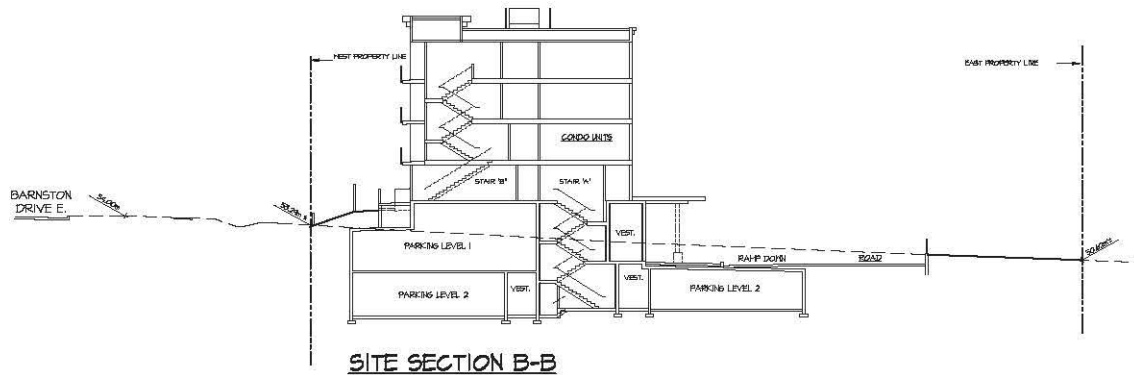
PHONE: (604) 597-7100  
 FAX: (604) 597-2098  
 EMAIL: md@barnett.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15065	AC-4.04

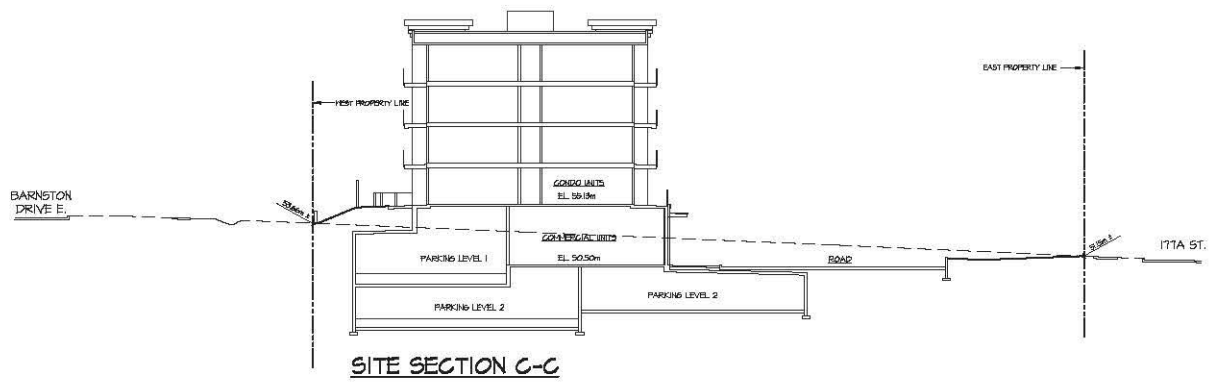




SITE SECTION A-A



SITE SECTION B-B



SITE SECTION C-C

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REV. NO.	DATE	BY	REASON



DESIGN : L.P.S.	DRAWN : 	DATE : 1988.11.11	SCALE : 1/8" = 1'-0"
CLIENT : JOE DHALJAL			
PROJECT : COMMERCIAL/CONDO DEVELOPMENT LOT A - 9189 BARNSTON DRIVE, SURREY, B.C.			
SHEET CONTENTS : SCHEMATIC SITE SECTIONS			

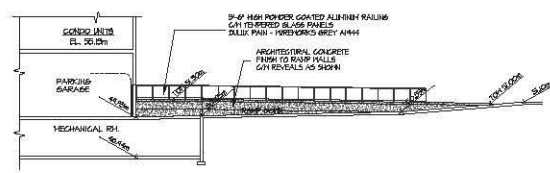
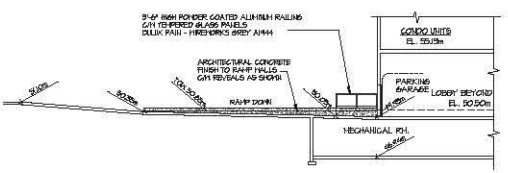
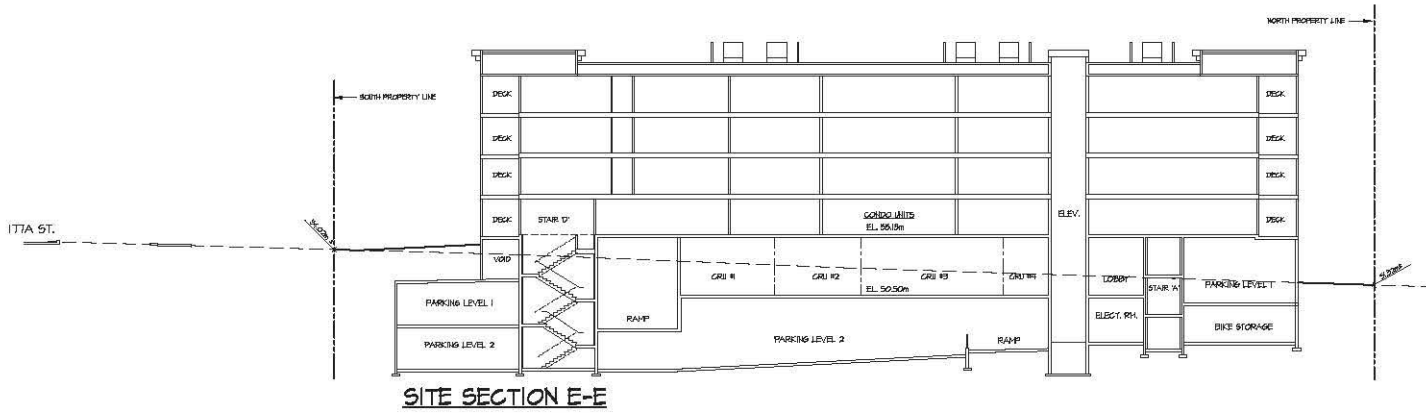
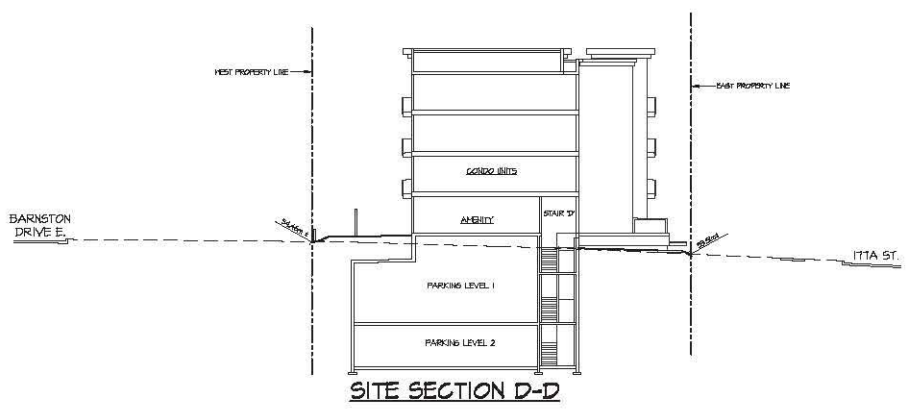


UNIT 135,  
7538 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2088  
EMAIL: md@barnett.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15065	AC-5.01

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REV#	DATE	BY	DATE	BY	DATE	BY	DATE

**CONDO UNIT**

DESIGN :	LPB	DESIGN :	DATE :
CHECK :		DATE :	
DATE :		SCALE :	

CLIENT : JOE DHALJAL  
 PROJECT : COMMERCIAL/CONDO DEVELOPMENT  
 LOT A - 9189 BARNSTON DRIVE, SURREY, B.C.  
 SHEET CONTENTS : SCHEMATIC SITE SECTIONS

**Barnett dembck**

UNIT 135,  
 7538 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2088  
 EMAIL: md1@barnett.dembck.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15065	AC-502







**GENERAL NOTES:**

1. CONTRACTOR TO VERIFY THE LOCATION AND INVERTS OF EXISTING WATER, STORM AND SANITARY CONNECTIONS TO THE SITE. REPORT TO THE ENGINEER ANY DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
2. ALL BUILDINGS & ROADS ARE TO BE LOCATED BY CO-ORDINATES AS CALCULATED BY A B.C. LAND SURVEYOR.
3. THE CONTRACTOR MUST CONTACT THE ENGINEER PRIOR TO CONSTRUCTION TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING DURING WHICH CONSTRUCTION METHODS, TIMING, AND INSPECTION WILL BE DISCUSSED.

**LOT GRADING NOTES:**

1. ALL DIMENSIONS AND ELEVATIONS ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE NOTED.
2. ALL ELEVATIONS ARE TO GEODETIC DATUM.
3. ALL CURB RADI TO BE AS SHOWN.
4. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH B.C. BUILDING AND PLUMBING CODES AND IS TO BE ACCEPTABLE TO THE CITY OF SURREY BUILDING AND PERMITS DEPARTMENT.
5. ALL EXCAVATION, FILL PLACEMENT AND COMPACTION TO BE IN ACCORDANCE WITH GEOTECHNICAL CONSULTANT'S REPORT.
6. DEVELOPER TO EMPLOY GEOTECHNICAL CONSULTANT FOR PERFORMANCE OF IN PLACE TESTING DURING THE PREPARATION OF THE SUBGRADE AND CONSTRUCTION OF THE ROAD STRUCTURE TO VERIFY THE ADEQUACY OF PROPOSED ROAD STRUCTURE AND SUBGRADE. CHANGES TO GRADE SHALL BE FORMED BY SMOOTH CURVES.
7. ALL SUBGRADES AND GRANULAR BASE MATERIALS TO BE COMPACTED AT 95% MODIFIED PROCTOR, AT OPTIMUM MOISTURE CONTENT.
8. ALL LOOSE OR ORGANIC MATERIAL TO BE EXCAVATED FROM ROADWAY.
9. CONSULT ELECTRICAL DRAWING FOR AREA LIGHTING AND POWER DISTRIBUTION SYSTEM WITHIN SITE.
10. THE CONTRACTOR SHALL MAINTAIN ALL MUNICIPAL ROADS PROVIDING ACCESS TO THE CONSTRUCTION SITE AND ARRANGE FOR DAILY STREET CLEANING DURING TIMES OF CONSTRUCTION OR MORE OFTEN IF REQUIRED.
11. THE CONTRACTOR SHALL INFORM THE ENGINEER AND CITY OF SURREY A MINIMUM OF 24 HOURS PRIOR TO REQUIRED INSPECTIONS.
- 12.

**LOT GRADING PLAN LEGEND**

- ORIGINAL CONTOUR 75.0
- EXISTING ELEVATION XX.XX
- PROPOSED ELEVATION XX.XX
- MIN. BUILDING ELEVATION M&E=XX.XX
- CATCH BASIN [Symbol]
- 450mm LAWN BASIN [Symbol]
- SWALE [Symbol]
- OVERLAND FLOW [Symbol]

**NOT FOR CONSTRUCTION**

**NOTICE TO CONTRACTOR**

IT IS THE RESPONSIBILITY OF THE CONTRACTOR'S SURVEYOR TO VERIFY THAT ALL LEGAL SURVEY DIMENSIONS SHOWN ON THE ENGINEER'S DRAWINGS AGREE WITH THOSE ON THE REGISTERED SURVEY PLAN. SHOULD THERE BE ANY DISCREPANCIES, THEN IMMEDIATELY NOTIFY THE ENGINEER OF RECORD

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THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SURREY AND ANY OTHER AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SURREY AND ANY OTHER AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SURREY AND ANY OTHER AGENCIES.

Rev	Date	Description
4	17.05.30	GRADING REV FOR FINAL DP
3	17.04.27	OPENING REV FOR RAIN GARDENS
2	17.03.14	CONDO GRADING REV
1	17.03.01	ISSUED FOR DP
0	17.01.17	COORDINATION

**APLIN & MARTIN**

Applin & Martin Consultants Ltd.  
201 - 12448 82 Avenue, Surrey, B.C. V3W 5E9  
Tel: (604) 897-9058, Fax: (604) 897-9061  
Email: general@aplinmartin.com

**MAINLAND DEVELOPMENT (BARNSTON LTD.)**

306-8288-120 STREET  
SURREY B.C.  
V3W 4B2  
PH. 604-883-0505

**5 STORY MIXED USE BUILDING**

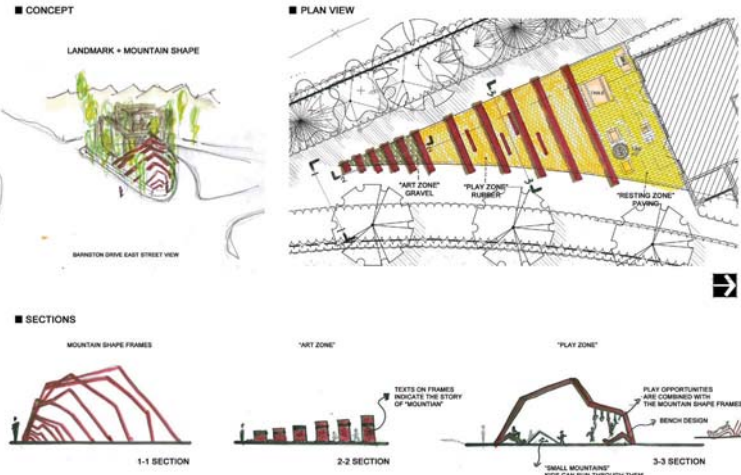
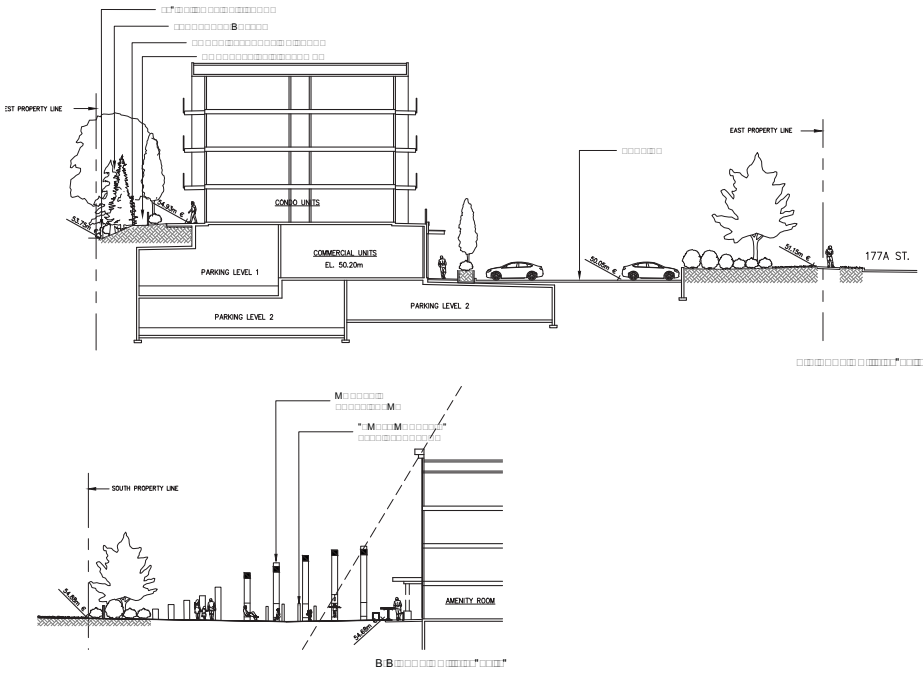
9933 BARNSTON DRIVE EAST  
SURREY, BC

**GRADING PLAN COMMERCIAL/CONDO DEVELOPMENT**

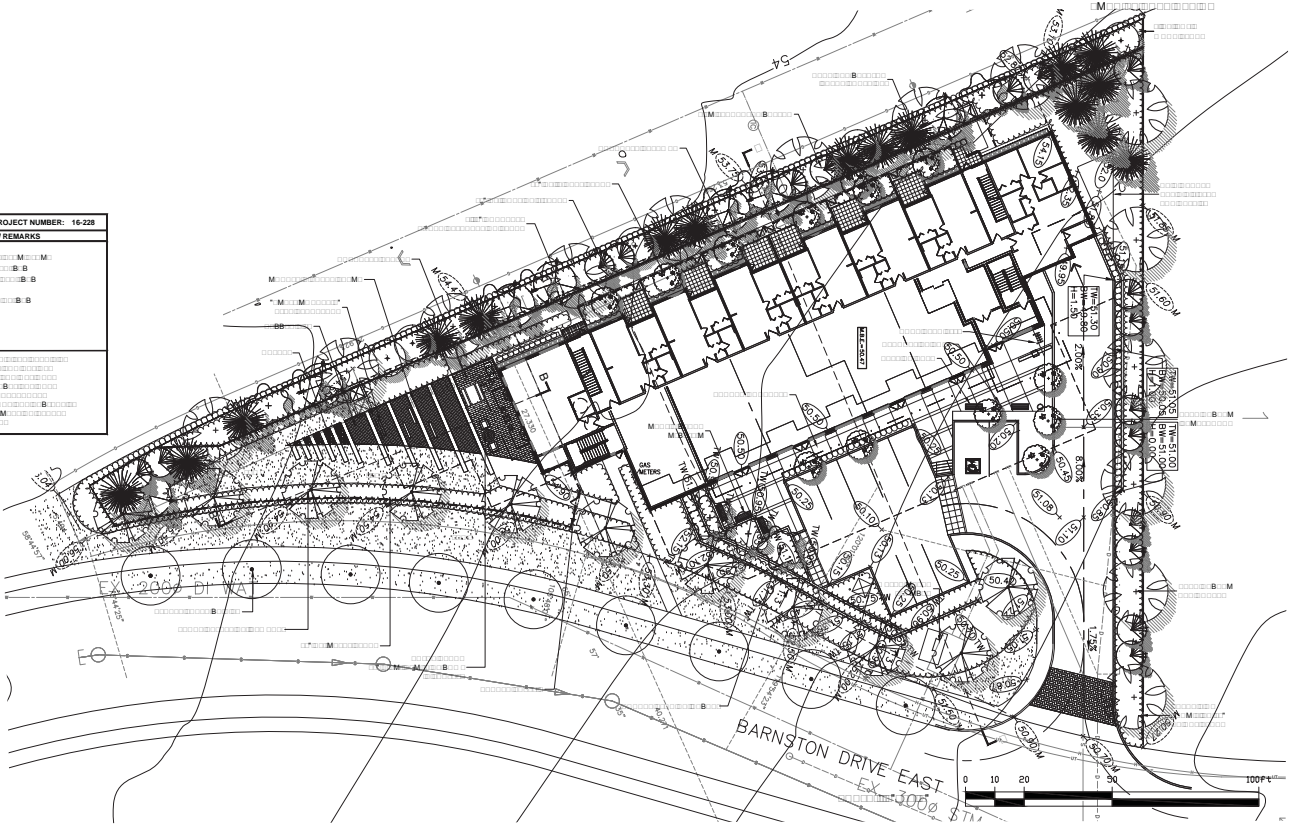
PROJECT#	16-184
Drawn	TJP
Design	SD
Check	SD
Date	May 26, 2017
Scale	1:250
Sheet No.	4
Drawn/Checked	

#





KEY	QTY	BOTANICAL NAME	CONDO	COMMON NAME	PLANTED SIZE / REMARKS	PMG PROJECT NUMBER: 16-228
(Symbol)	0				(M) (B) (S) (M) (M)	
(Symbol)	0				(M) (M) (M) (S) (B)	
(Symbol)	0				(M) (M) (M) (S) (B)	
(Symbol)	0				(M) (B) (B)	
(Symbol)	0				(M) (B) (B)	
(Symbol)	0				(M) (B) (B)	
(Symbol)	0				(M) (B) (B)	
(Symbol)	0				(M) (B) (B)	



16228CONDO-3.2P

NO.	DATE	DESCRIPTION	BY
1	17 MAY 02	CITY RESUBMISSION	
2	17 MAY 25	NEW SITE PLAN / CITY COMMENTS	

**COMMERCIAL/  
CONDOMINIUM DEV.**

BARNSTON DRIVE & 177A STREET  
SURREY, BC

**LANDSCAPE  
PLAN**

(Symbol)	16 DEC 01	(Symbol)	MB
(Symbol)	AS NOTED	(Symbol)	
(Symbol)	DO	(Symbol)	
(Symbol)	DO	(Symbol)	
(Symbol)	MCY	(Symbol)	

**L1**  
OF 4







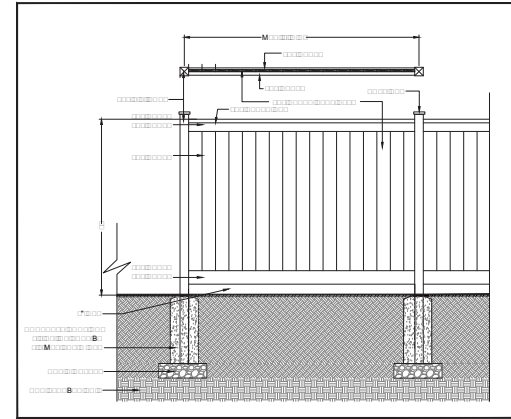
**SOLUS DECOR - 48" HEMI**  
COLOUR: TRUFFLE



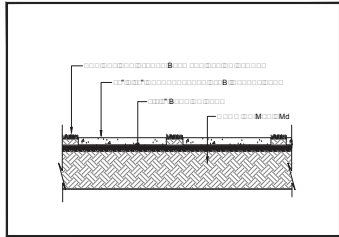
**WISHBONE INDUSTRIES : TENJA PARK BENCH**  
TJB-5 TEXTURED BLACK GREY SLATS  
SUPPLY AND INSTALL AS PER MANUFACTURER'S INSTRUCTIONS WITH VANDAL RESISTANT HARDWARE



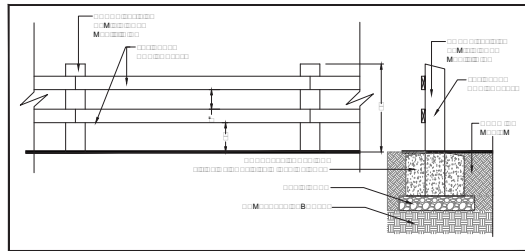
**WISHBONE INDUSTRIES : TENJA 2SPACE BIKE RACK**  
TJB-04 TEXTURED BLACK  
SUPPLY AND INSTALL AS PER MANUFACTURER'S INSTRUCTIONS WITH VANDAL RESISTANT HARDWARE



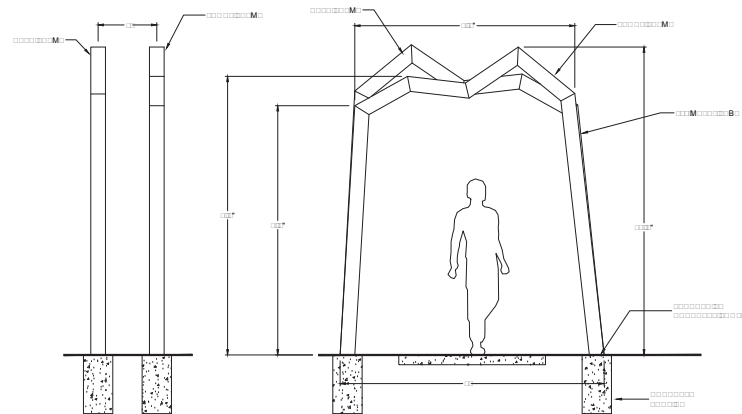
**6' HT. WOOD PERIMETER FENCE**



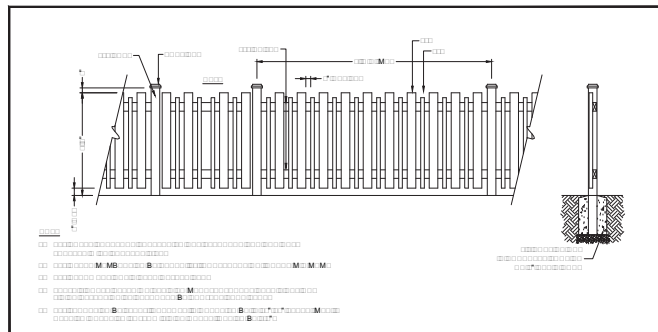
**HYDRAPRESSED PAVERS IN LAWN**



**36" HT. WOOD RAIL FENCE**



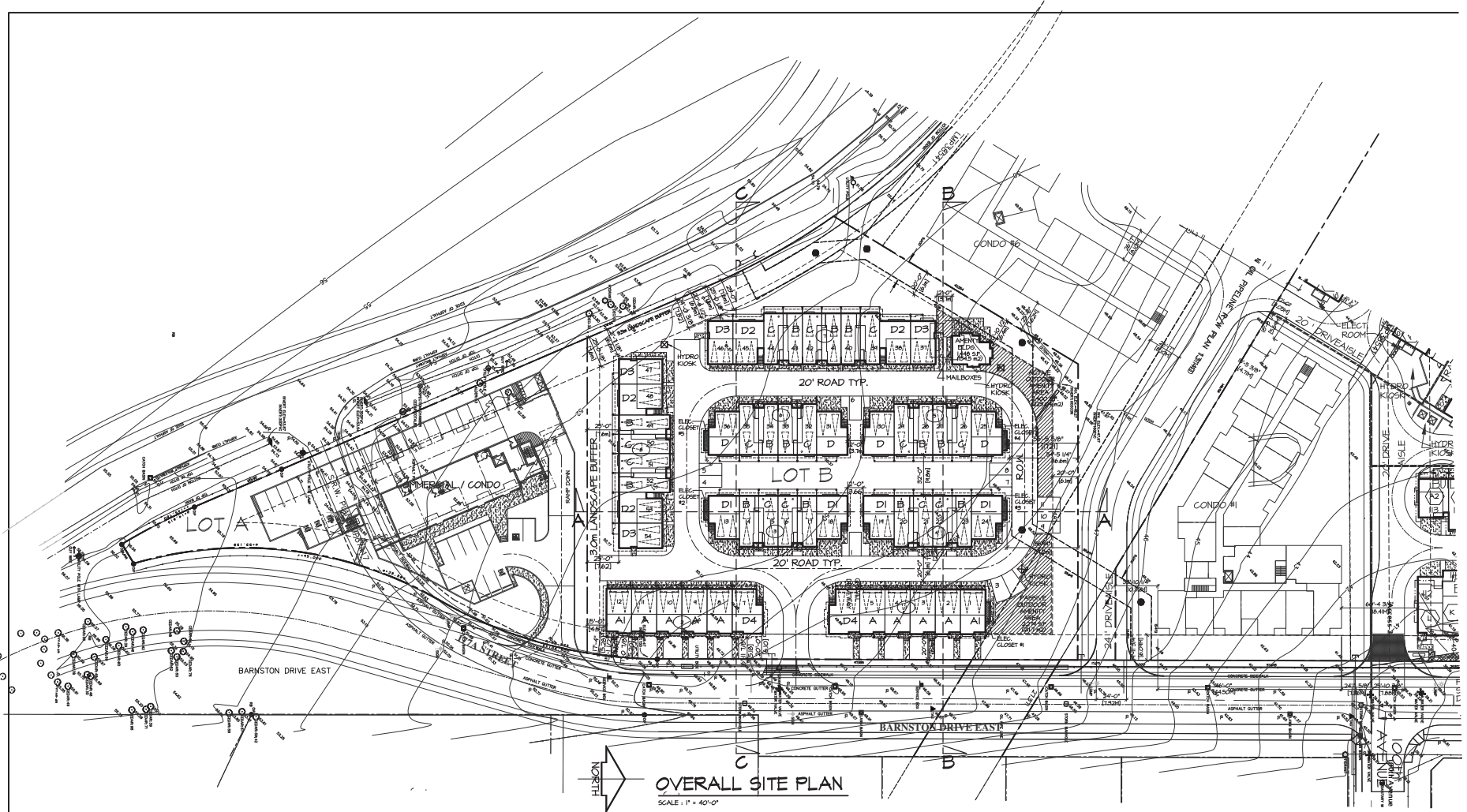
**METAL TRELLIS**



**42" HT. PICKET FENCE AND GATE**



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**OVERALL SITE PLAN**  
SCALE: 1" = 40'-0"

**DEVELOPMENT DATA - LOT B**

Site Area:	115,542 s.f. +/-	2.652 Ac.	1.073 Ha.	10,734 m <sup>2</sup>
F.A.R.	90,205 s.f.	0.78 FAR		
Density:	54 Units =	20 UPA	50.3 UPH	
Site Coverage:	44,093 s.f.	38.2%		
Parking Required:	2 spaces / unit	108 spaces		
	Visitor 0.2 spaces / unit	11 spaces		
	Total Townhouse	119 spaces		
Parking Provided:	Garages	108 spaces		
	Visitor spaces	11 spaces		
	Total	119 spaces		
Amenity:				
Outdoor				
Required:	3.0 m <sup>2</sup> / Unit	54 Units	=	162.0 m <sup>2</sup>
Provided:	Active Outdoor Amenity		=	223.0 m <sup>2</sup>
	Passive Outdoor Amenity		=	211.7 m <sup>2</sup>
	Total		=	434.7 m <sup>2</sup>
				4,679 s.f.
Indoor				
Required:	3.0 m <sup>2</sup> / Unit	54 Units	=	162.0 m <sup>2</sup>
Provided:			=	134.5 m <sup>2</sup>
				1,448 s.f.

**UNIT BREAKDOWN - LOT B**

Name	Type	Bent. S.F.	Main S.F.	Upper S.F.	Garage S.F.	Total w/o Gar	Total Units Excluding Garage	# of Total S.F.
Unit A	3 Bedrooms	297	690	748	410	1,745	2	13,800 s.f.
Unit A1	3 Bedrooms	299	696	754	413	1,749	2	3,498 s.f.
Unit B	3 Bedrooms	114	629	637	504	1,380	13	17,940 s.f.
Unit C	3 Bedrooms	114	629	644	503	1,387	13	18,031 s.f.
Unit D	3 Bedrooms	360	793	820	447	1,973	4	7,862 s.f.
Unit D1	3 Bedrooms	360	792	816	447	1,968	4	7,872 s.f.
Unit D2	3 Bedrooms	356	800	812	443	1,968	4	7,872 s.f.
Unit D3	3 Bedrooms	288	726	758	414	1,772	4	7,688 s.f.
Unit D4	3 Bedrooms	374	779	850	448	2,003	2	4,006 s.f.
<b>Total</b>							<b>54</b>	<b>88,079 s.f.</b>

Building Height	3 storeys	35.83 ft.	10.9 m
Setbacks	South West (to sheathing)	25.01 ft.	7.6 m
	North West (to sheathing)	20.88 ft.	6.4 m
	North (to sheathing)	56.33 ft.	17.2 m
	South (to sheathing)	15 ft.	4.57 m
	East (to sheathing)	20 ft.	6.1 m

ISSUED FOR	BY	DATE	REVISION	DATE	BY	DATE

DESIGN: L.P.D.  
DRAWN: J.D.  
DATE: June 8/11  
SCALE: 1" = 40'-0"

CLIENT: JOE DHALJAL

PROJECT: TOWNHOUSE DEVELOPMENT  
LOT B - 9183 BARNSTON DRIVE, SURREY, BC

SHEET CONTAINS: OVERALL SITE PLAN

**barnett dembok**

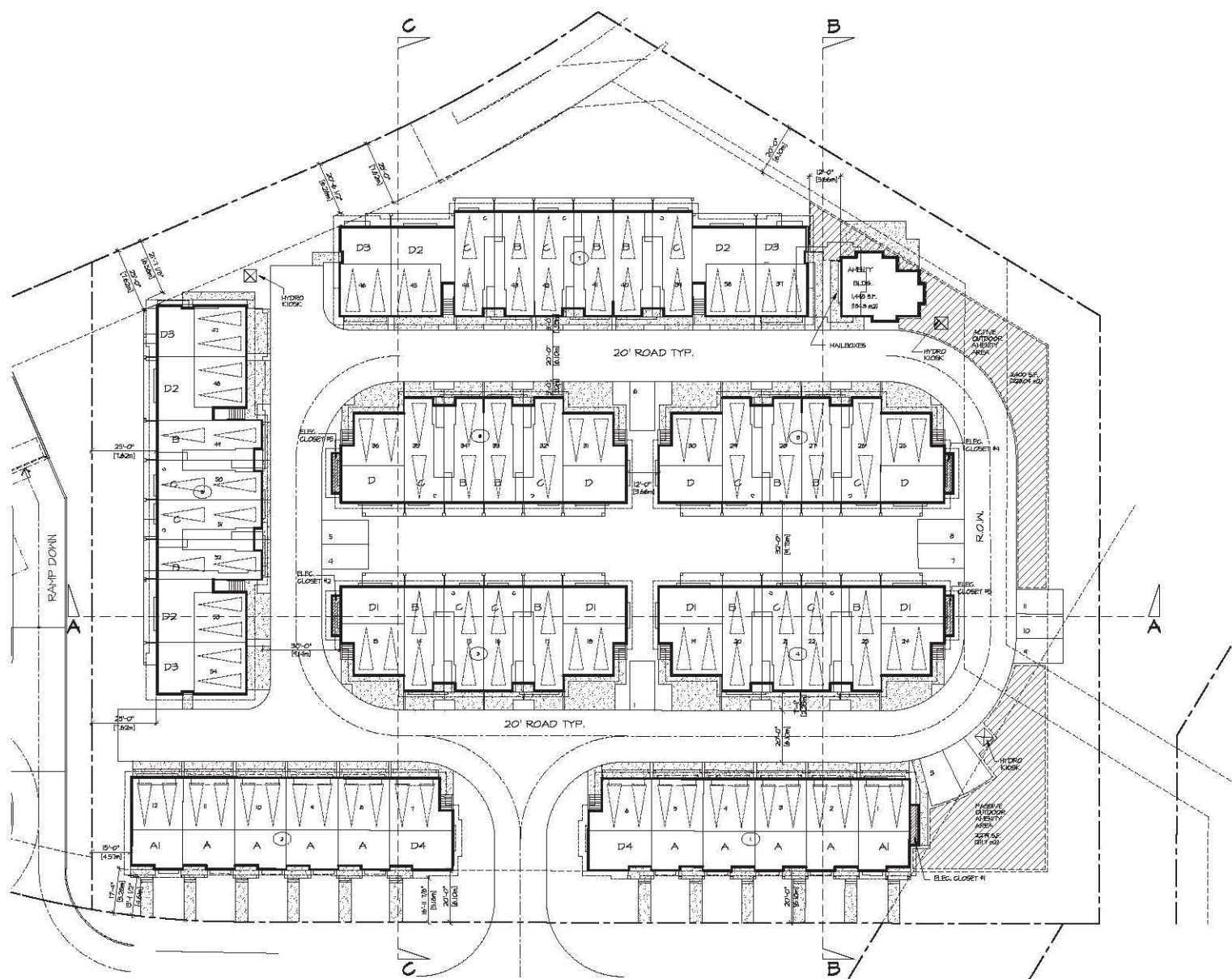
UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (804) 597-7100  
FAX: (804) 597-2099  
EMAIL: mcd@b-dorl.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-1.01



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**LOT B - CONCEPTUAL SITE PLAN**

SCALE: 1" = 20'-0"

ISSUED FOR	BY	DATE	REVISION



DESIGNER :	JOE PITALVAL
DRAWN :	
DATE :	Aug 8/11
SHEET :	1 of 1
SCALE :	1" = 20'-0"
PROJECT :	LOT B - 4695 BARSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	CONCEPTUAL SITE PLAN



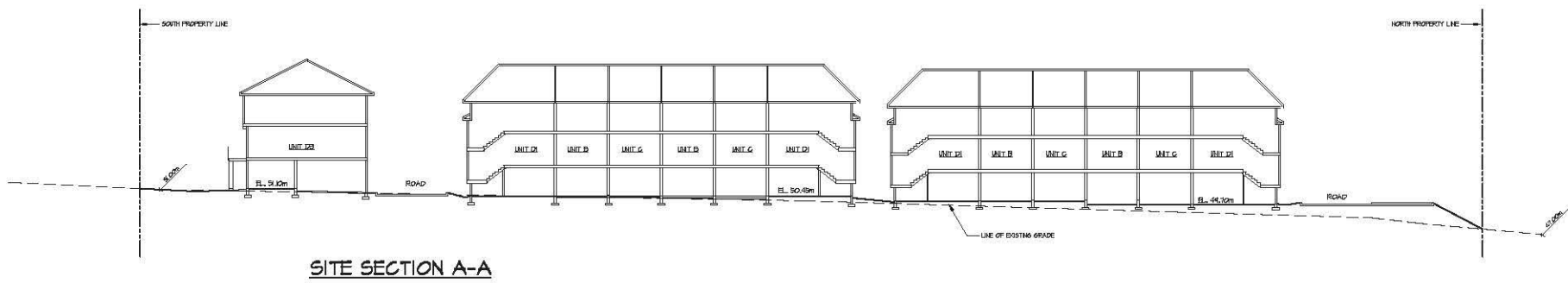
UNIT 135,  
 7538 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@barnett.com

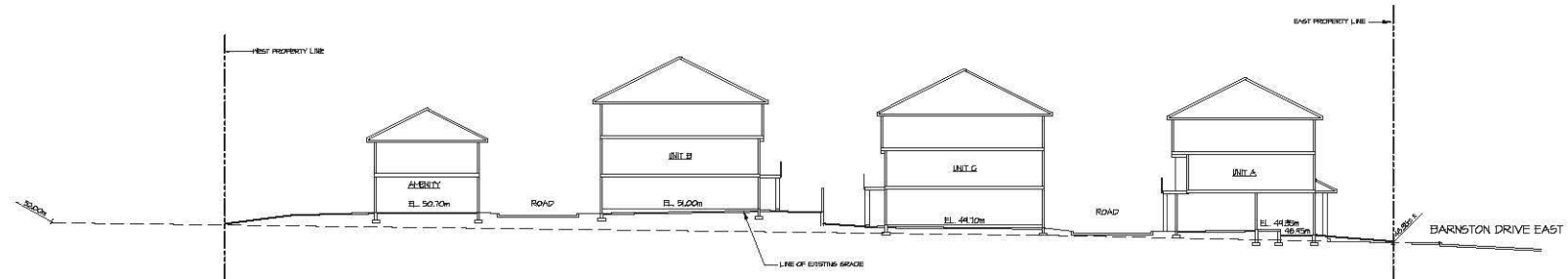
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-102



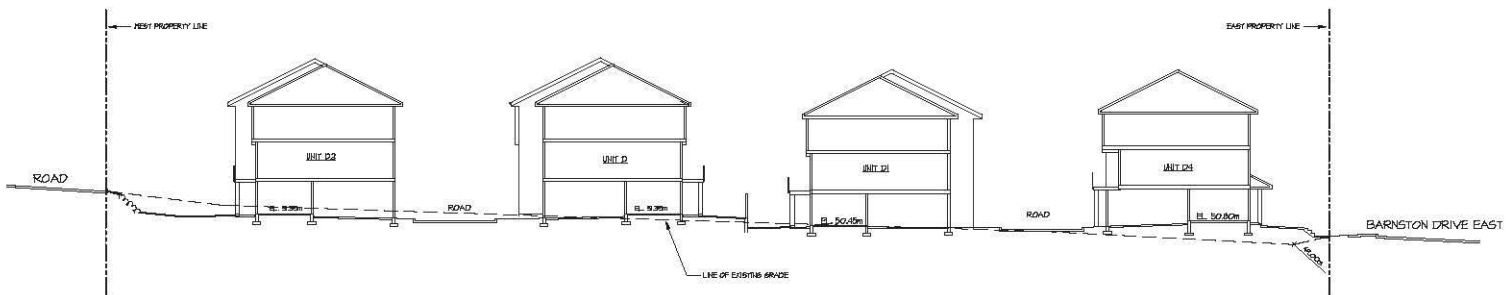
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**SITE SECTION A-A**



**SITE SECTION B-B**



**SITE SECTION C-C**

REV. NO.	DATE	BY	ISSUE

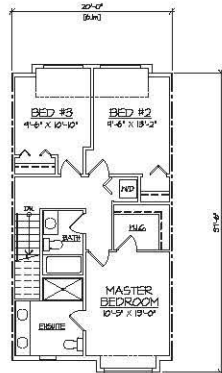
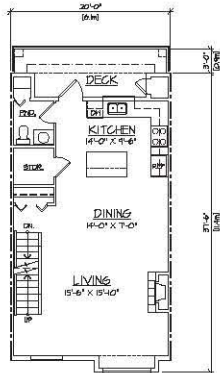
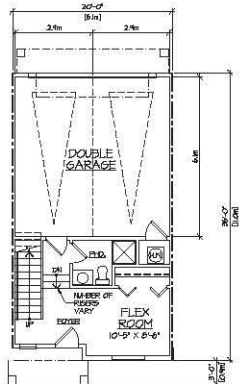
DESIGN : L.P.S.  
 DRAWN :  
 DATE :  
 PROJECT : TOWNHOUSE DEVELOPMENT  
 LOT B - 9888 BARNSTON DRIVE, SURREY, B.C.  
 SHEET CONTENTS : SCHEMATIC SITE SECTIONS  
 CLIENT : JOE DHALUKAL  
 SCALE : 1/8" = 1'-0"



UNIT 135,  
 7538 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2088  
 EMAIL: mtd@barnett.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-103

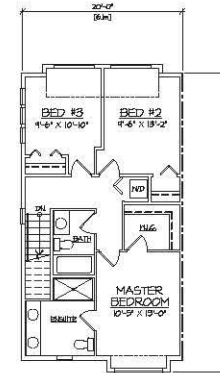
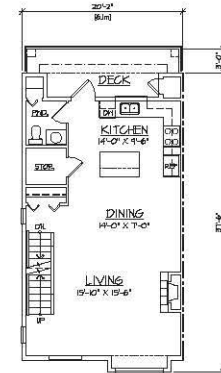
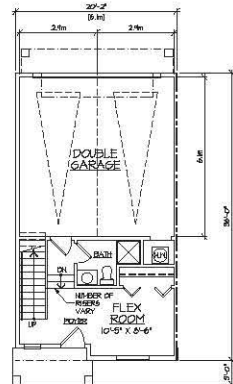


**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
BASEMENT AREA 241 S.F.  
GARAGE AREA 410 S.F.

**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
640 S.F.

**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
740 S.F.

**UNIT TYPE 'A'**  
TOTAL FLOOR AREA 1,735 S.F.  
(GARAGE NOT INCLUDED)



**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
BASEMENT AREA 249 S.F.  
GARAGE AREA 413 S.F.

**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
696 S.F.

**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
754 S.F.

**UNIT TYPE 'A'**  
TOTAL FLOOR AREA 1,749 S.F.  
(GARAGE NOT INCLUDED)

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BY	
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BY	
DATE	
BY	



C06-011-2189g

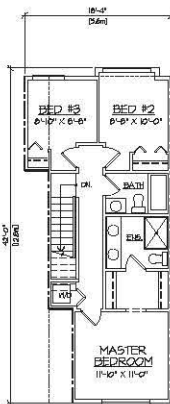
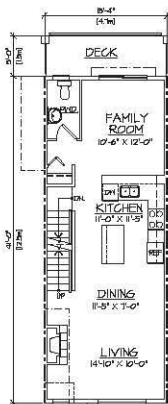
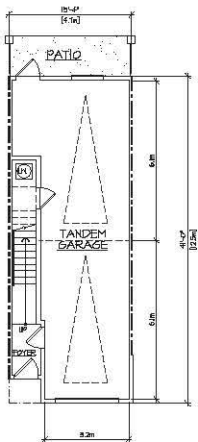
DESIGNER :	JOE DHALWAL
L.P.F.B. DRAWN :	
PROJECT :	TOWNHOUSE DEVELOPMENT
DATE :	May 11, 2011
LOT :	LOT B - 4983 BARNSTON DRIVE, SURREY, B.C.
SHEET :	UNIT PLANS
SCALE :	1/8" = 1'-0"

**barnett denkor**

UNIT 135,  
2528 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@barnett.dk.com

CLIENT NO.	BHEET NO.
PROJECT NO.	AG-201
15066	REV. NO.

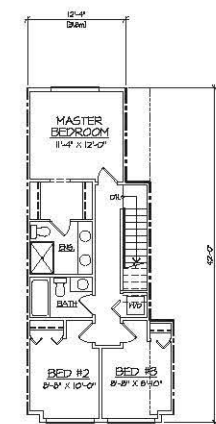
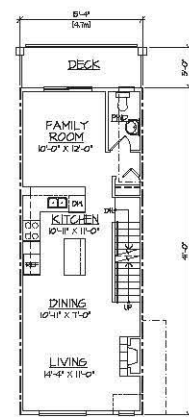
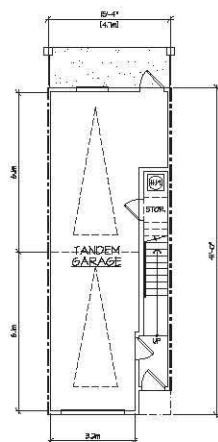


**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
BASEMENT AREA 114 S.F.  
GARAGE AREA 504 S.F.

**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
629 S.F.

**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
631 S.F.

**UNIT TYPE 'B'**  
TOTAL FLOOR AREA 1,380 S.F.  
(GARAGE NOT INCLUDED)

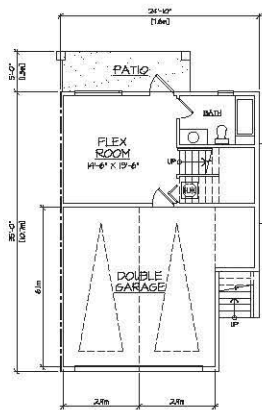


**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
BASEMENT AREA 114 S.F.  
GARAGE AREA 503 S.F.

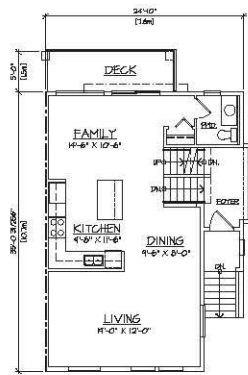
**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
629 S.F.

**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
644 S.F.

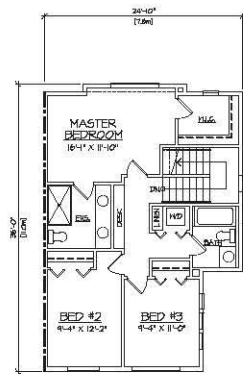
**UNIT TYPE 'C'**  
TOTAL FLOOR AREA 1,381 S.F.  
(GARAGE NOT INCLUDED)



**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
BASEMENT AREA 360 S.F.  
GARAGE AREA 441 S.F.

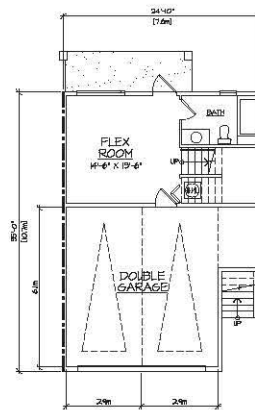


**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
793 S.F.

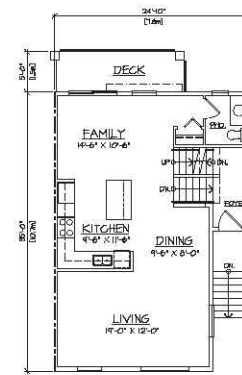


**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
820 S.F.

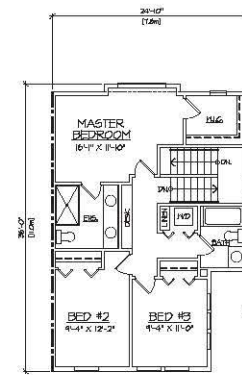
**UNIT TYPE 'D'**  
TOTAL FLOOR AREA 1473 S.F.  
(GARAGE NOT INCLUDED)



**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
BASEMENT AREA 360 S.F.  
GARAGE AREA 441 S.F.

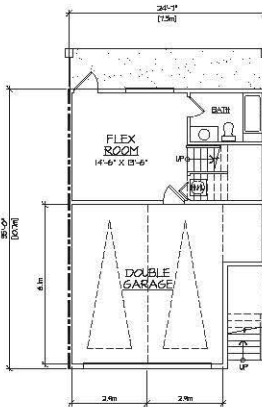


**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
742 S.F.



**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
816 S.F.

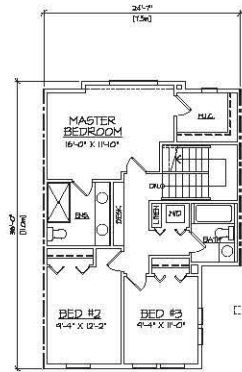
**UNIT TYPE 'D2'**  
TOTAL FLOOR AREA 1468 S.F.  
(GARAGE NOT INCLUDED)



**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
BASEMENT AREA 356 S.F.  
GARAGE AREA 443 S.F.

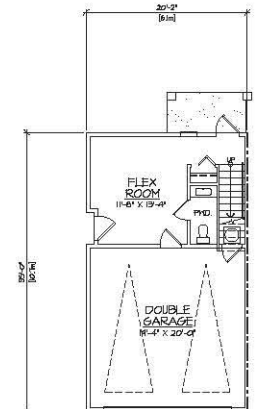


**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
800 S.F.

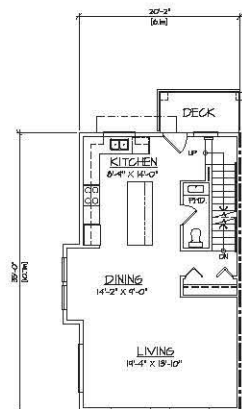


**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
812 S.F.

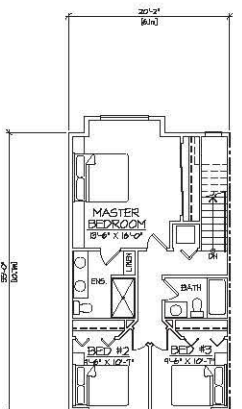
**UNIT TYPE 'D2'**  
TOTAL FLOOR AREA 1468 S.F.  
(GARAGE NOT INCLUDED)



**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
BASEMENT AREA 286 S.F.  
GARAGE AREA 414 S.F.



**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
726 S.F.



**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"  
758 S.F.

**UNIT TYPE 'D3'**  
TOTAL FLOOR AREA 1712 S.F.  
(GARAGE NOT INCLUDED)

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ISSUED FOR	BY	DATE	SCALE

CS-011-2019

DESIGN :	JOE DHALWAL
L.F.B. :	
DRAWN :	
DATE :	May 21, 2019
SCALE :	1/8" = 1'-0"
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 4983 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	UNIT PLANS

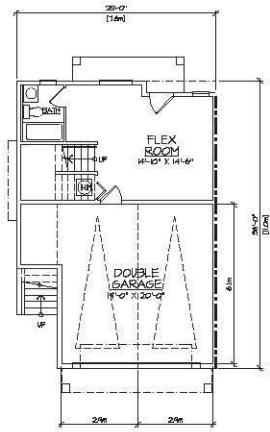
**barnett denbok**

UNIT 135,  
2538 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@barnett-denbok.com

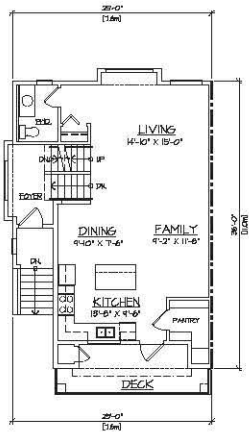
CLIENT NO.	SHEET NO.
PROJECT NO.	AC-2.02
15066	REV. NO.

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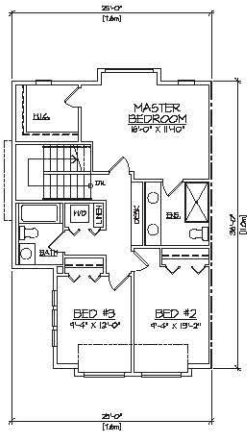
**BASEMENT FLOOR PLAN**

SCALE: 1/8" = 1'-0" BASEMENT AREA 874 S.F. GARAGE AREA 448 S.F.



**MAIN FLOOR PLAN**

SCALE: 1/8" = 1'-0" 774 S.F.



**UPPER FLOOR PLAN**

SCALE: 1/8" = 1'-0" 250 S.F.

**UNIT TYPE 'D4'**  
 TOTAL FLOOR AREA 2,003 S.F.  
 (GARAGE NOT INCLUDED)

ISSUED FOR	BY	DATE	SCALE	DATE	SCALE	DATE	SCALE	DATE	SCALE



CAD-014-2009

DESIGN : L.F.B.	DRAWN :	DATE :
CLIENT : JOE DHALIWAL	PROJECT : TOWNHOUSE DEVELOPMENT LOT B - 48B3 BARNSTON DRIVE, SHIRREY, B.C.	SCALE : 1/8" = 1'-0"
SHEET CONTENTS : UNIT PLANS		

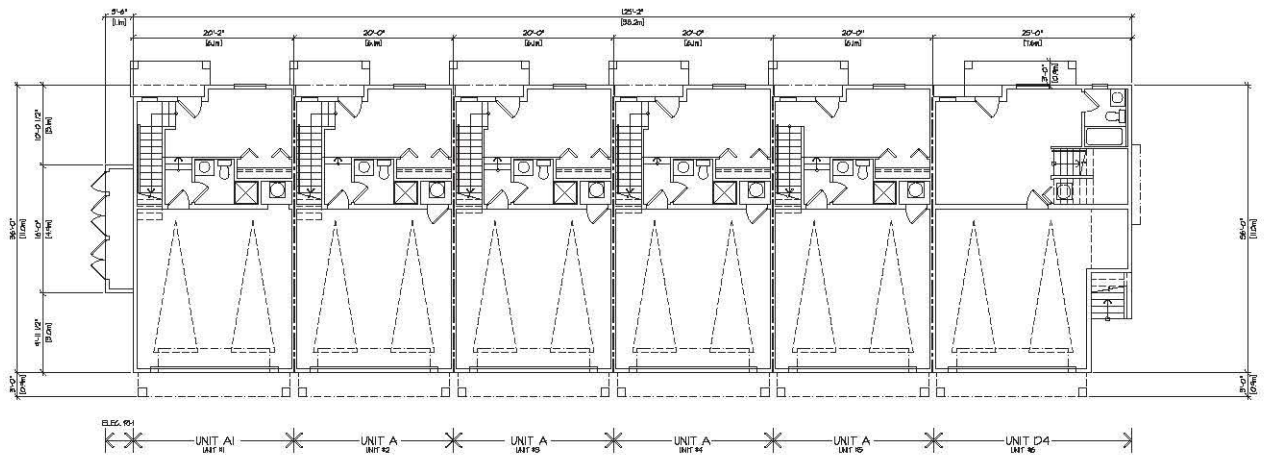


UNIT 135,  
 2528 130 STREET,  
 SHIRREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: [mel@bdarkitex.com](mailto:mel@bdarkitex.com)

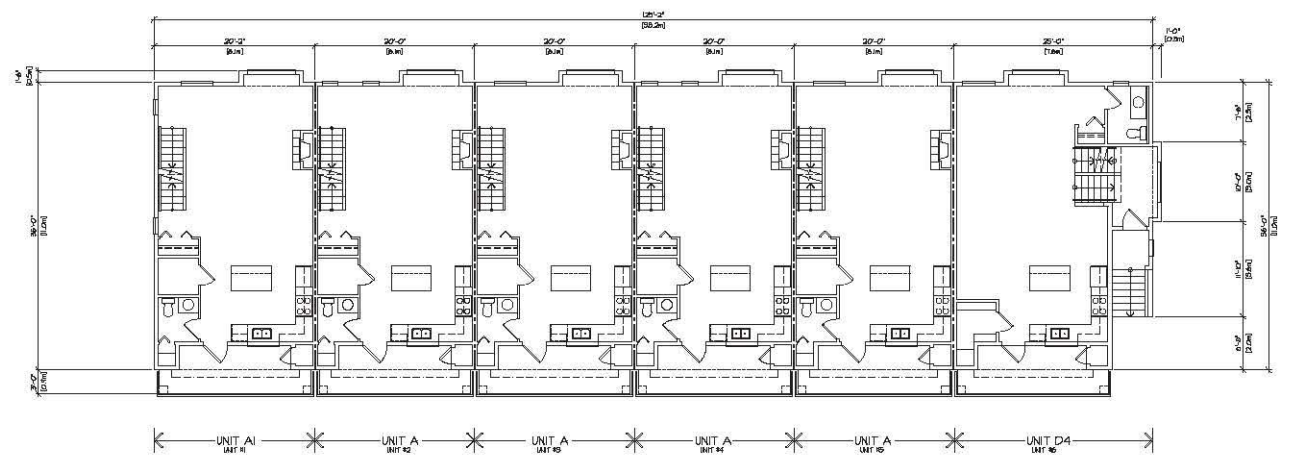
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-2.03

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**BASEMENT FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**MAIN FLOOR PLAN**

SCALE: 1/8" = 1'-0"

REV#	DATE	BY	DATE	ISSUED FOR

CS-011-2019

CLIENT :	JOE DHALWAL
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 4953 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	BUILDING PLANS BUILDING #1
DESIGN :	
L.F.B. :	
DRAWN :	
DATE :	May 21 11
SCALE :	1/8" = 1'-0"

**barnett dembek**

UNIT 135,  
 7528 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-3.01a
REV. NO.	15066

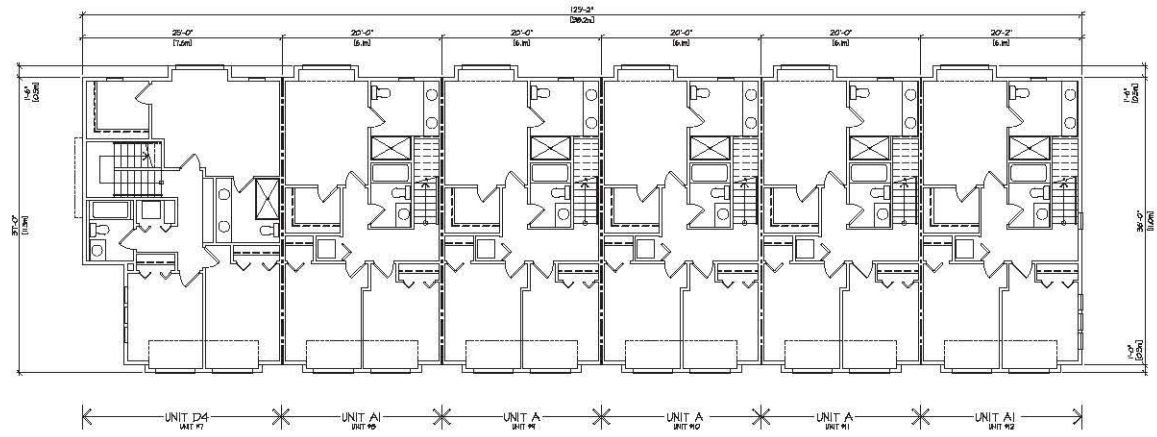
**BUILDING #1**





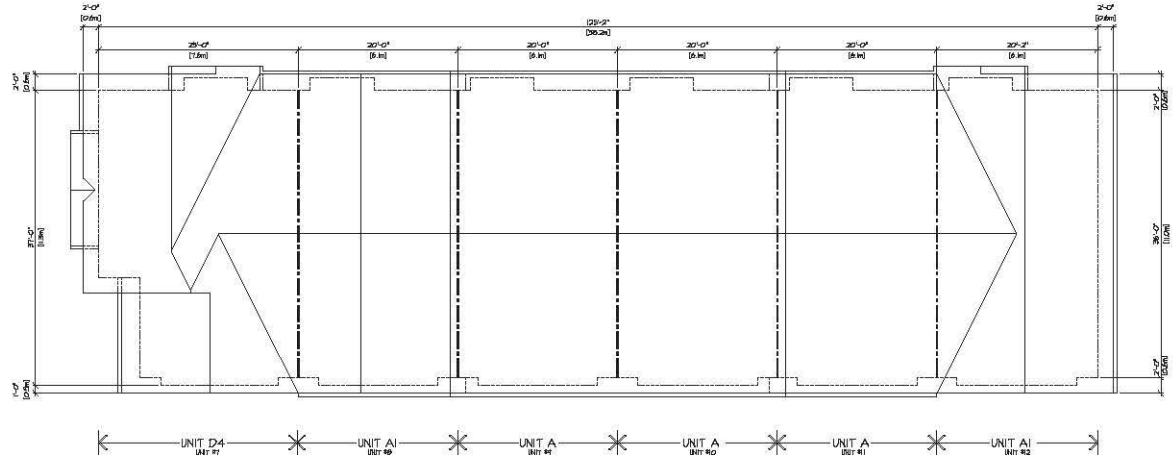


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**UPPER FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**ROOF PLAN**

SCALE: 1/8" = 1'-0"

REV#	DATE	BY	DATE	ISSUE	ISSUED FOR



CS-011-1019

CLIENT :	JOE DHALIWAL
DESIGN :	J.F.B.
DRAWN :	
DATE :	May 21, 2018
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 49B3 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	BUILDING PLANS BUILDING #2
SCALE :	1/8" = 1'-0"

**barnett dembek**

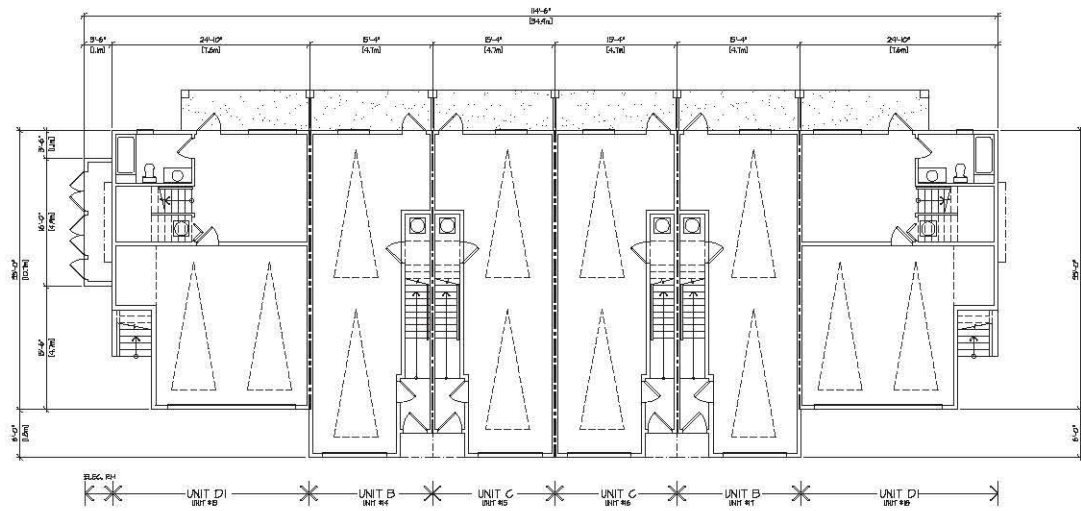
UNIT 135,  
7528 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: [mail@darkitek.com](mailto:mail@darkitek.com)

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AG-3.02b

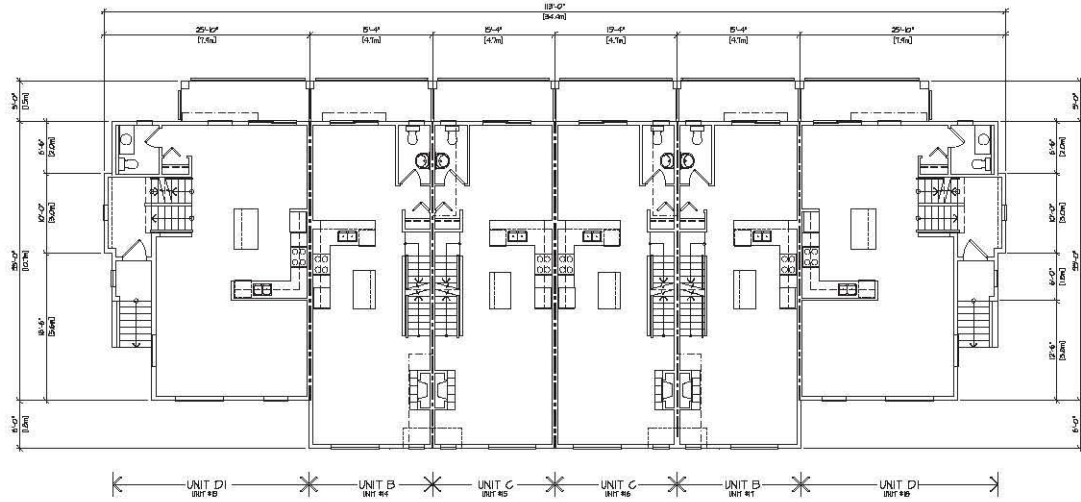
**BUILDING #2**





**BASEMENT FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**MAIN FLOOR PLAN**

SCALE: 1/8" = 1'-0"

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REV#	DATE	BY	ISSUED FOR

CG-014-2009

CLIENT :	JOE DHALWAL
DESIGN :	J.F.B.
DRAWN :	
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 4983 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	BUILDING PLANS BUILDING #3 & 4
DATE :	
SCALE :	1/8" = 1'-0"

**barnett denbok**

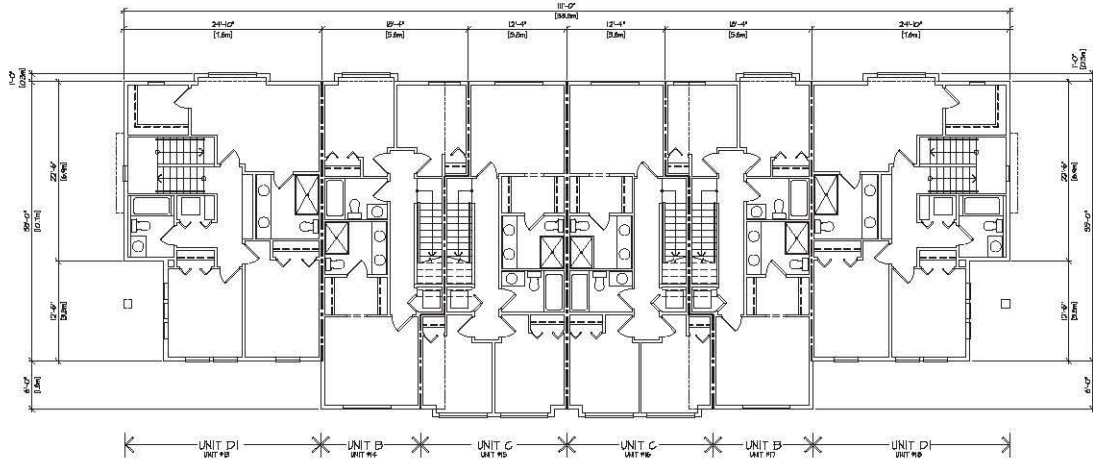
UNIT 135,  
 7528 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@denbokitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AG-3.03a
15066	REV. NO.

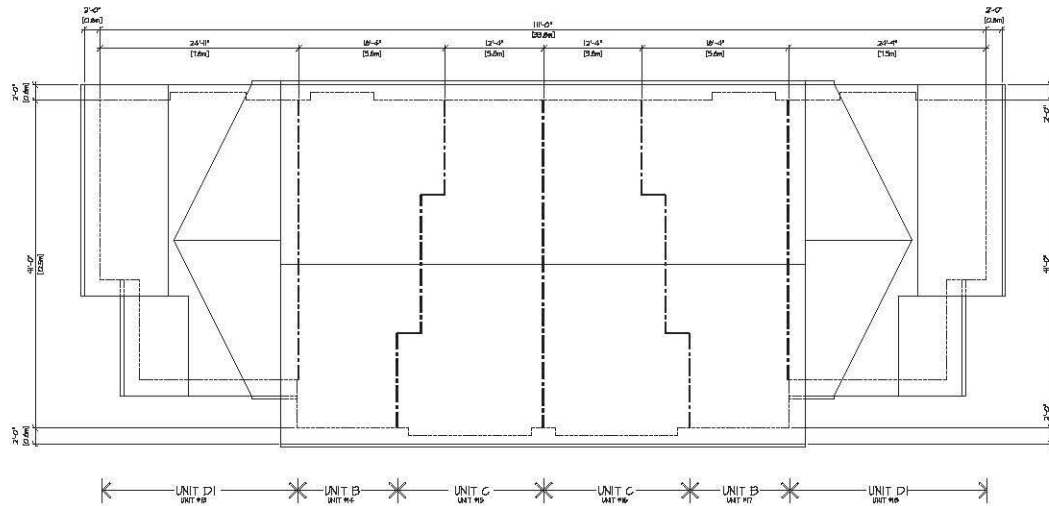
**BUILDING #3**

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**UPPER FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**ROOF PLAN**

SCALE: 1/8" = 1'-0"

REV#	DATE	BY	DATE	ISSUED FOR

048-014-1048g

CLIENT :	JOE DHALIWAL
DESIGN :	
L.F.B. :	
DRAWN :	
DATE :	May 21 11
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 4983 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	BUILDINGS PLANS BUILDING #3 & 4
SCALE :	1/8" = 1'-0"

**barnett dembek**

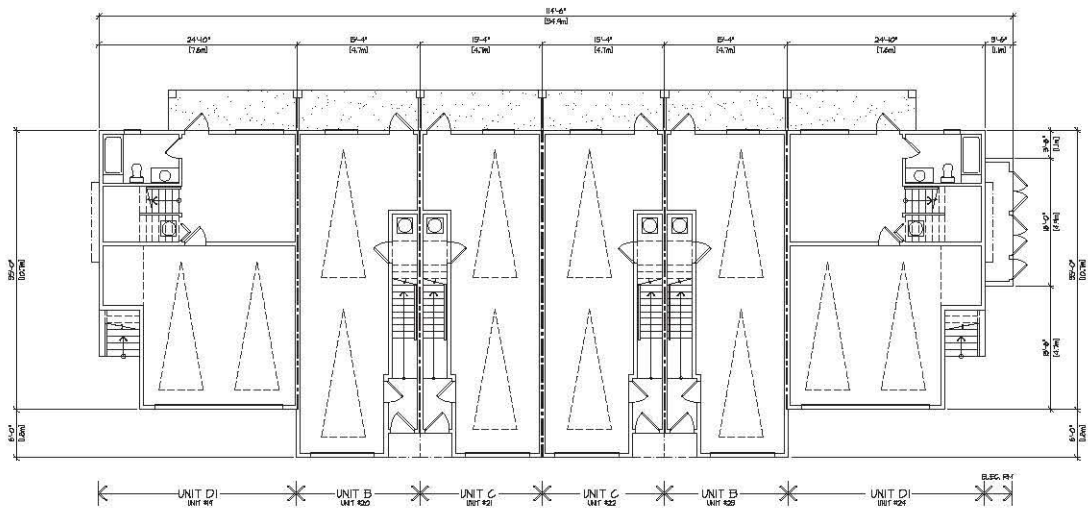
UNIT 135,  
 7538 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@demtek.com

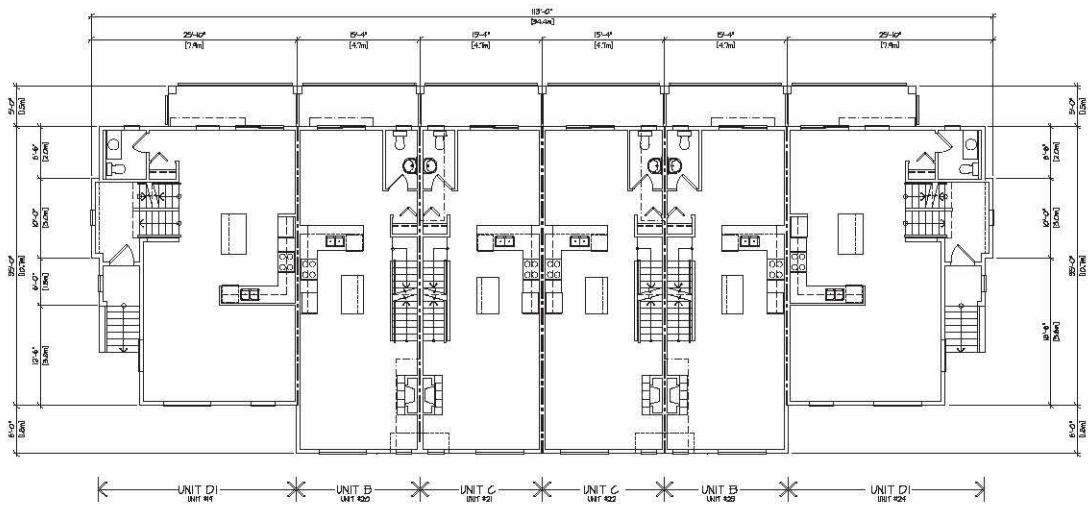
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AG-3.03b

**BUILDING #3**

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 BARNETT DEMBEK ARCHITECTS INC. 2018



**BASEMENT FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



**MAIN FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

REV#	DATE	BY	DATE	ISSUED FOR

DESIGN : J.F.B.	CLIENT : JOE DHALIWAL
DRAWN :	PROJECT : TOWNHOUSE DEVELOPMENT LOT B - 48B3 BARNSTON DRIVE, SURREY, B.C.
DATE : May 21 11	SHEET CONTENTS : BUILDINGS PLANS BUILDING #3 & 4
SCALE : 1/8" = 1'-0"	

**barnett dembek**

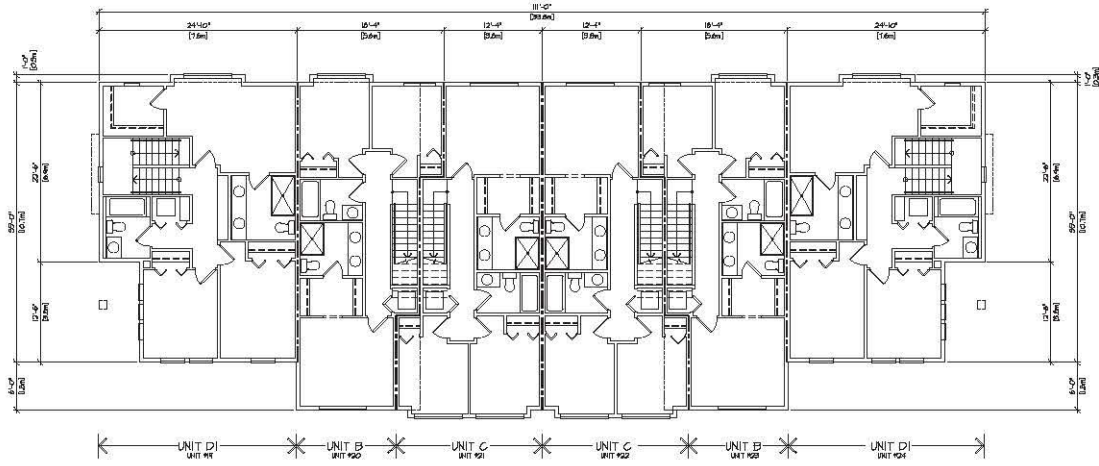
UNIT 135,  
 7528 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@barnett-dembek.com

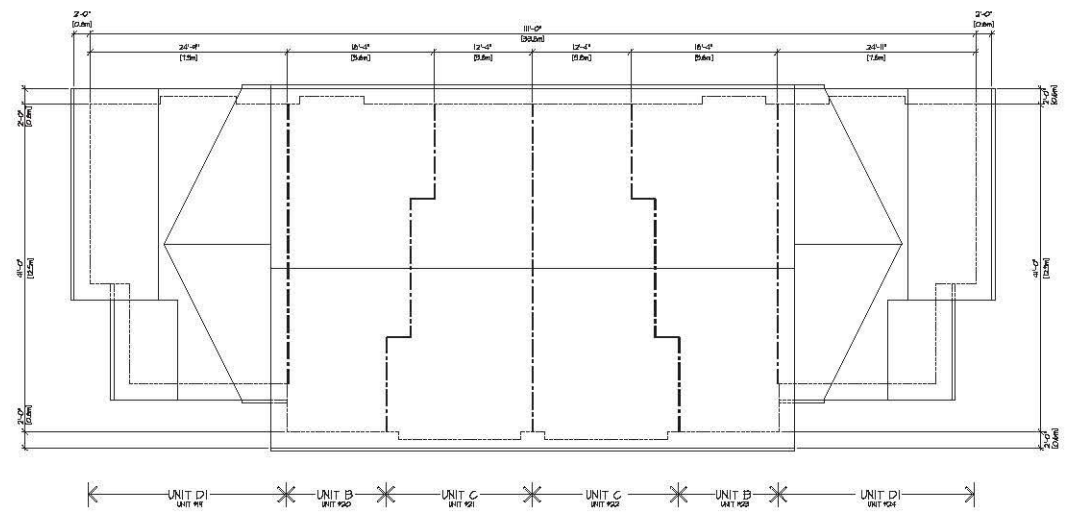
CLIENT NO.	SHEET NO.
PROJECT NO.	AG-3,04g
15066	REV. NO.

**BUILDING #4**

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**UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**ROOF PLAN**  
SCALE: 1/8" = 1'-0"

REV#	DATE	BY	DATE	ISSUE	BY	ISSUED FOR

CLIENT :	JOE DHALIWAL
DESIGN :	J.F.B.
DRAWN :	
DATE :	May 21, 11
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 49B3 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	BUILDING PLANS BUILDING #3 & 4
SCALE :	1/8" = 1'-0"

**barnett dembek**

UNIT 135,  
2528 130 STREET,  
SURREY, B.C.  
V3W 1H8

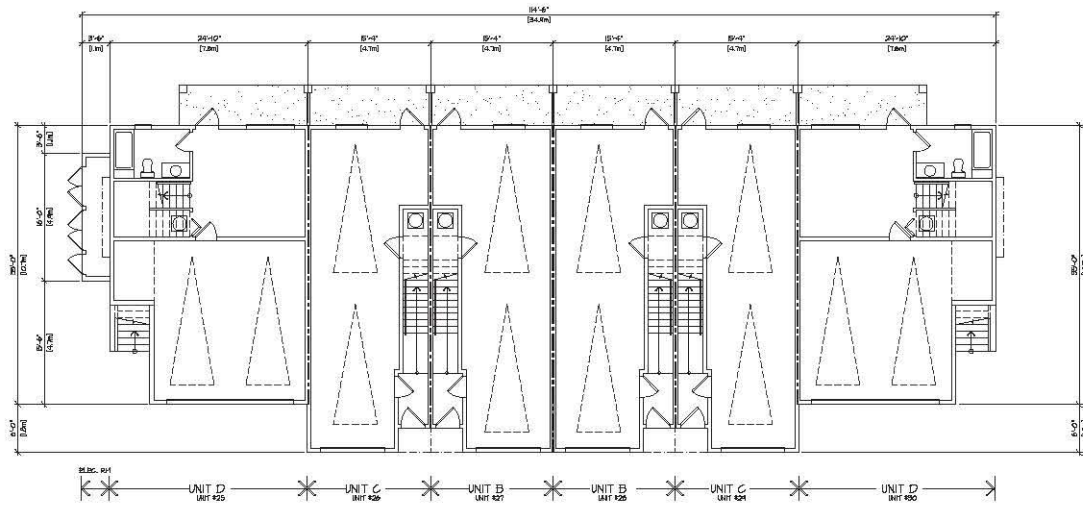
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: [mail@barnett-dembek.com](mailto:mail@barnett-dembek.com)

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AG-3.04b

**BUILDING #4**

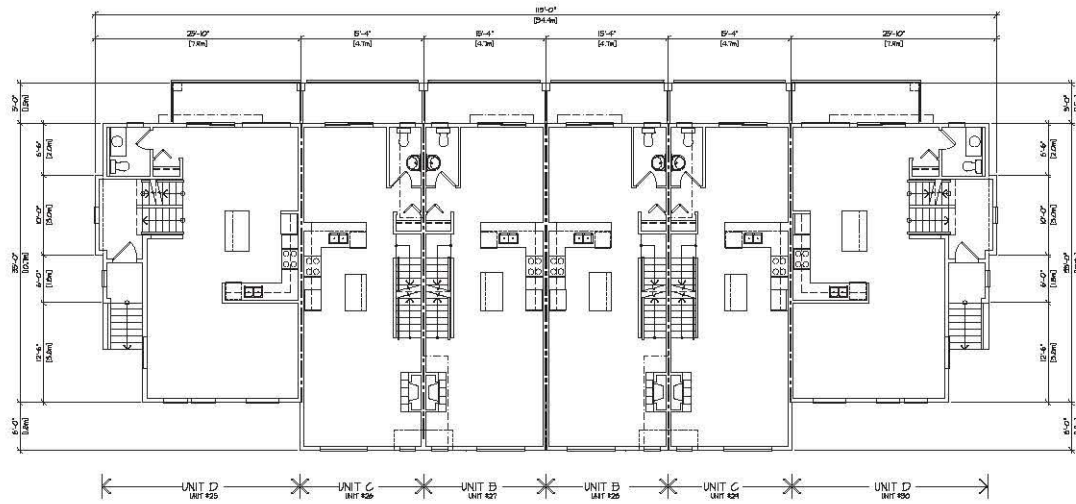


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**BASEMENT FLOOR PLAN**

SCALE: 1/8" = 1'-0"



**MAIN FLOOR PLAN**

SCALE: 1/8" = 1'-0"

REV#	DATE	BY	DATE	ISSUED FOR

CS-014-2018g

CLIENT :	JOE DHALWAL
DESIGN :	J.F.B.
DRAWN :	
DATE :	May 21, 2018
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 49B3 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	BUILDING PLANS BUILDING #5 & 6
SCALE :	1/8" = 1'-0"

**barnett dembek**

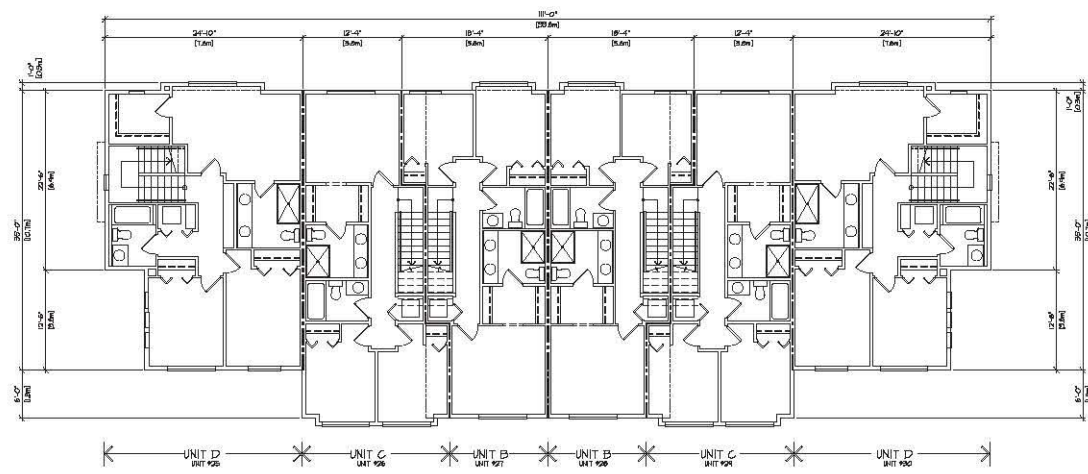
UNIT 135,  
 7528 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: [mel@barnett-dembek.com](mailto:mel@barnett-dembek.com)

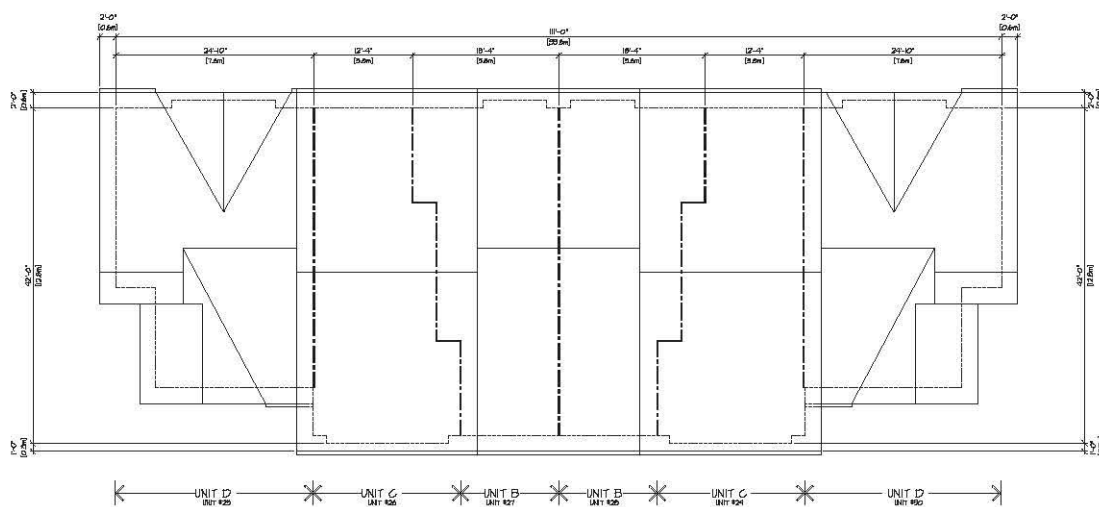
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AG-3.05g

**BUILDING #5**

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**UPPER FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



**ROOF PLAN**  
 SCALE: 1/8" = 1'-0"

REV#	DATE	BY	DATE	ISSUE	ISSUED FOR



CM-014-2006

CLIENT :	JOE DHALIWAL
DESIGN :	L.F.B.
DRAWN :	
DATE :	May 08 11
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 4983 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	BUILDING PLANS BUILDING #5 # 6
SCALE :	1/8" = 1'-0"



UNIT 135,  
 7538 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@denbokitex.com

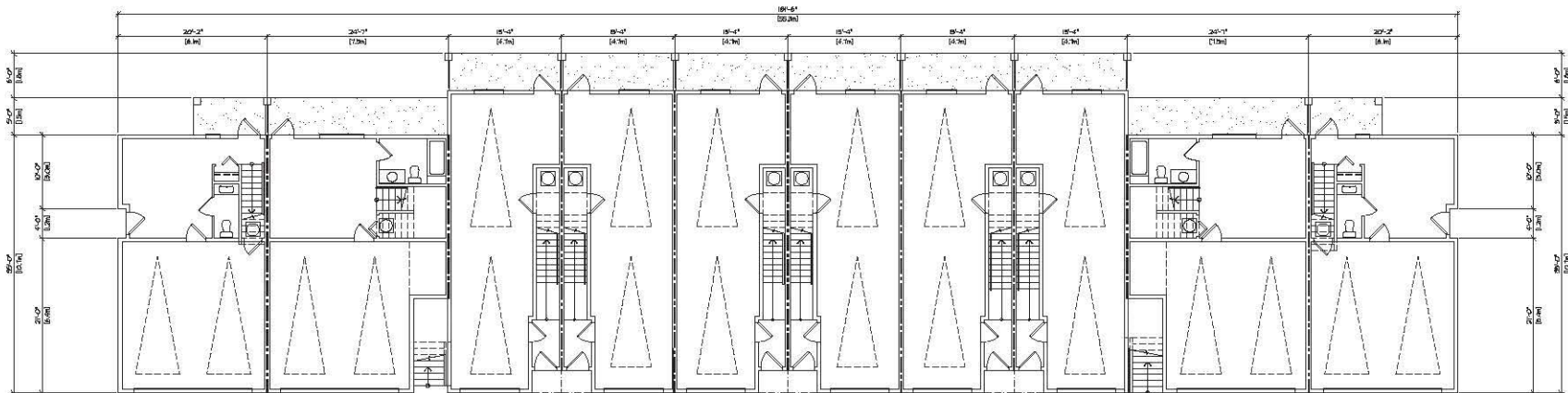
CLIENT NO.	SHEET NO.
PROJECT NO.	AG-3.05b
15066	REV. NO.

**BUILDING #5**





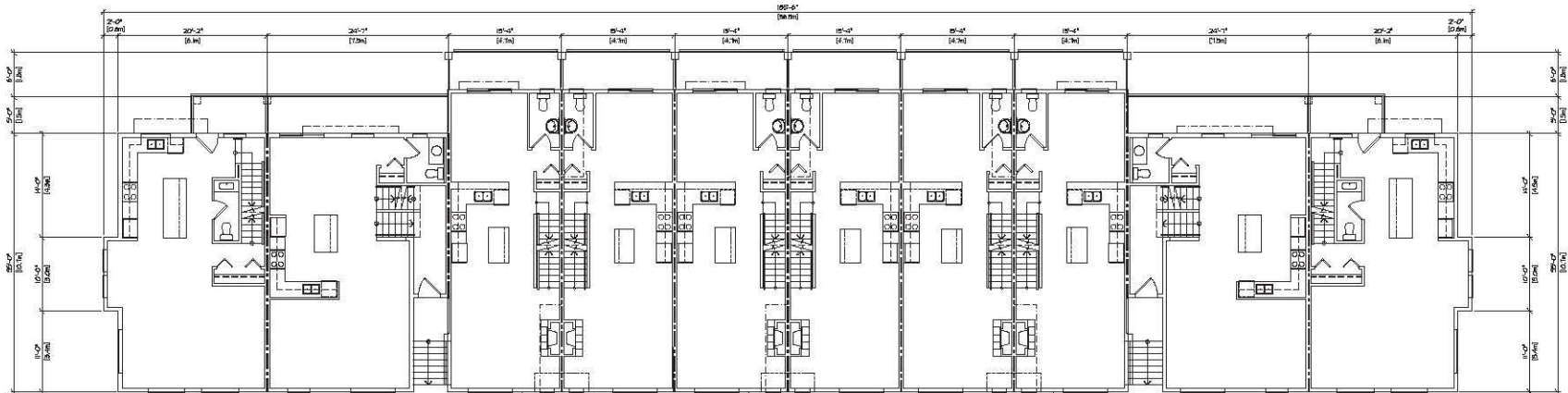




UNIT D3 UNIT D2 UNIT B UNIT C UNIT B UNIT C UNIT C UNIT B UNIT D2 UNIT D3

**BASEMENT FLOOR PLAN**

SCALE: 1/8" = 1'-0"



UNIT D3 UNIT D2 UNIT B UNIT C UNIT B UNIT C UNIT C UNIT B UNIT D2 UNIT D3

**MAIN FLOOR PLAN**

SCALE: 1/8" = 1'-0"

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REV#	DATE	BY	ISSUE FOR

000-0-01-104kg

CLIENT :	JOE DHALWAL
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 9933 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTAINS :	BUILDING PLANS BUILDING #7
DESIGN :	L.F.B.
DRAWN :	
DATE :	Aug 01/11
SCALE :	1/8" = 1'-0"

**barnett dembek**

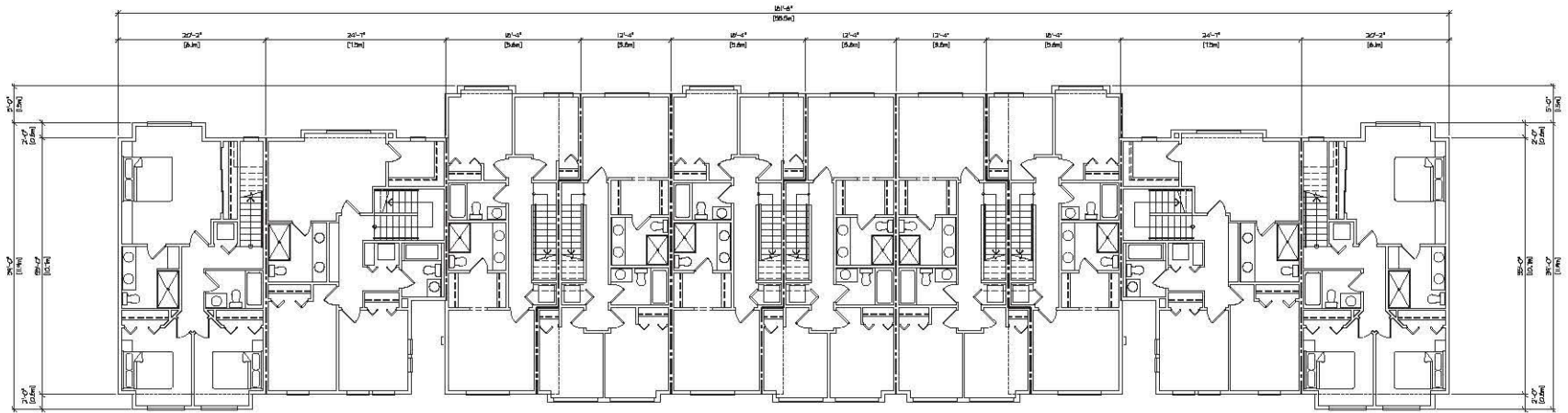
UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mtd@barnett-dembek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-307a

**BUILDING #7**

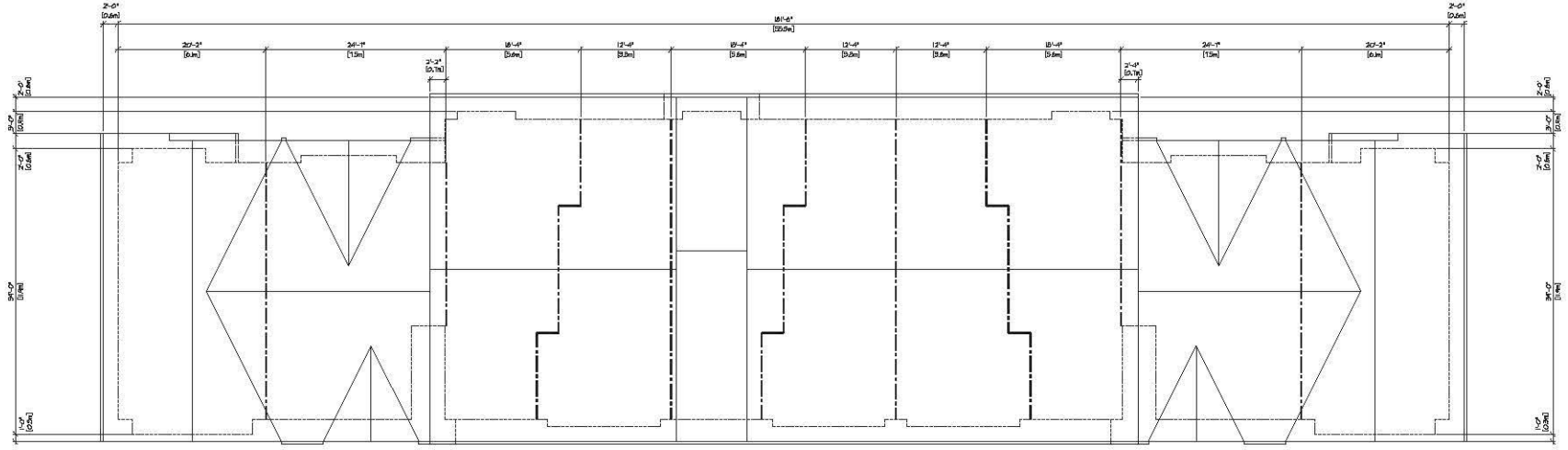
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← UNIT D3 (UNIT 102) \* UNIT D2 (UNIT 103) \* UNIT B (UNIT 104) \* UNIT C (UNIT 105) \* UNIT B (UNIT 106) \* UNIT C (UNIT 107) \* UNIT C (UNIT 108) \* UNIT B (UNIT 109) \* UNIT D2 (UNIT 110) \* UNIT D3 (UNIT 111) →

**UPPER FLOOR PLAN**

SCALE: 1/8" = 1'-0"



← UNIT D3 (UNIT 102) \* UNIT D2 (UNIT 103) \* UNIT B (UNIT 104) \* UNIT C (UNIT 105) \* UNIT B (UNIT 106) \* UNIT C (UNIT 107) \* UNIT C (UNIT 108) \* UNIT B (UNIT 109) \* UNIT D2 (UNIT 110) \* UNIT D3 (UNIT 111) →

**ROOF PLAN**

REV#	DATE	BY	DATE	ISSUED FOR

600-011-1010

DESIGN :	JOE DHALIWAL
DATE :	May 21, 2011
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 4983 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	BUILDING PLANS BUILDING FT
SCALE :	1/8" = 1'-0"

**barnett denbek**

UNIT 135,  
2526 130 STREET,  
SURREY, B.C.  
V3W 1H8

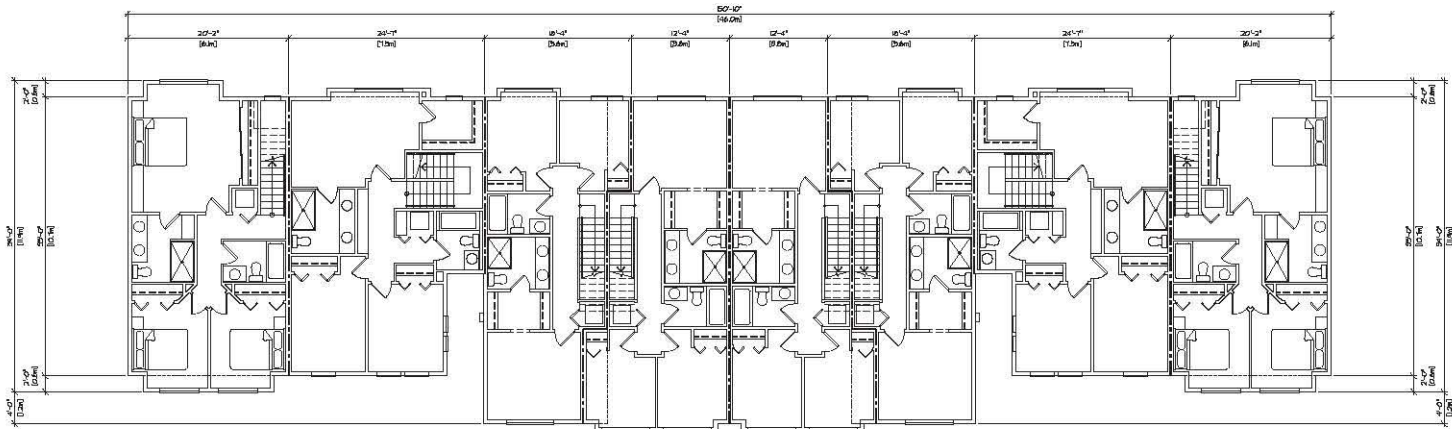
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AG-3,07b
15066	REV. NO.

**BUILDING #7**



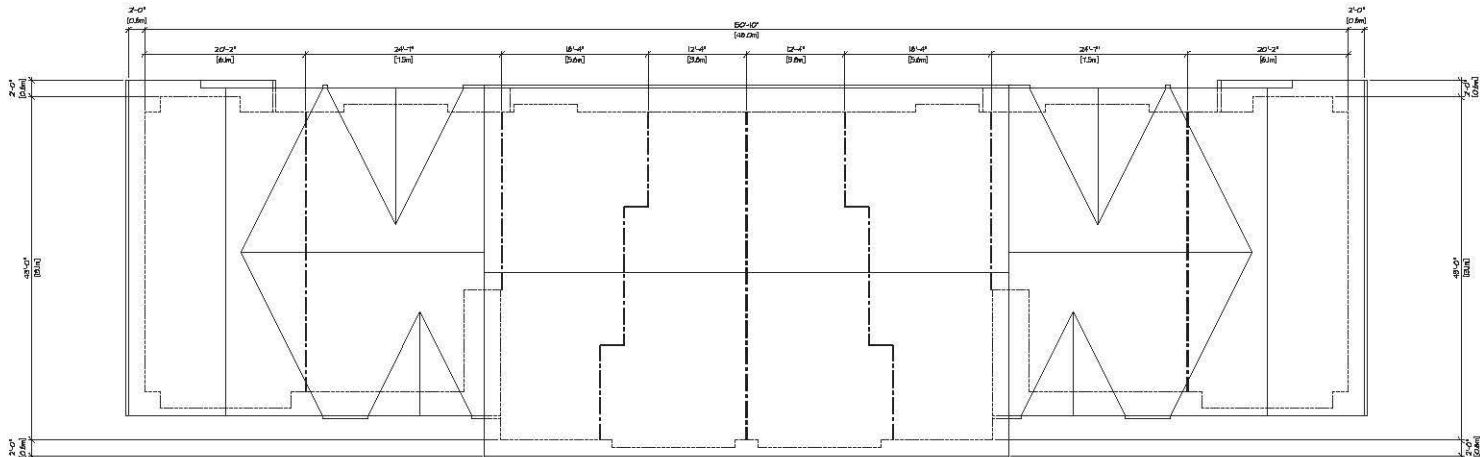
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UNIT D4  
 UNIT D2  
 UNIT B  
 UNIT C  
 UNIT C  
 UNIT B  
 UNIT D2  
 UNIT D4

**UPPER FLOOR PLAN**

SCALE: 1/8" = 1'-0"



UNIT D4  
 UNIT D2  
 UNIT B  
 UNIT C  
 UNIT C  
 UNIT B  
 UNIT D2  
 UNIT D4

**ROOF PLAN**

SCALE: 1/8" = 1'-0"

REV#	DATE	BY	DATE	ISSUED FOR



600-014-1049

DESIGN : J.F.B.	CLIENT : JOE DHALIWAL
DRAWN : 	PROJECT : TOWNHOUSE DEVELOPMENT LOT B - 49B3 BARNSTON DRIVE, SURREY, B.C.
DATE : May 21 11	SHEET CONTENTS : BUILDING PLANS BUILDING #8
SCALE : 1/8" = 1'-0"	

**barnett dembek**

UNIT 135,  
 7326 130 STREET,  
 SURREY, B.C.  
 V3W 1H8

PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@darkitex.com

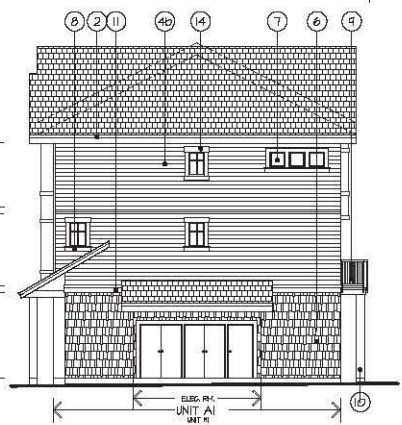
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-3.09b

**BUILDING #8**



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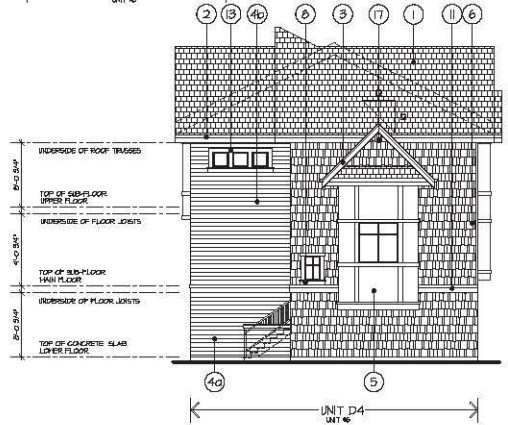
ISSUED FOR	
BY	
DATE	
REVISION	
DATE	
REVISION	



**SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0"

**SCHEDULE OF FINISHES**

- 1 ASPHALT SHINGLES  
 1/2" G/SHINGLES - ORIGINAL GREY
- 2 ALUMINUM GUTTER ON 2x10 WOOD FASCIA  
 WHITE GUTTER ON 1/2" WOOD TRIM - DULUX PAINT - ANTI-MOLD/SPHERE ACIST
- 3 1/4" WOOD TRIM ON 2x10 WOOD FASCIA  
 DULUX PAINT - ANTI-MOLD/SPHERE ACIST
- 4 FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
 DULUX PAINT - GREY PRVANT ACIST
- 4b FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
 DULUX PAINT - GREY PRVANT ACIST
- 5 FIBER CEMENT - PANEL SIDING  
 DULUX PAINT - ANTI-MOLD/SPHERE ACIST
- 6 FIBER CEMENT - SHINGLE SIDING C/M 5 1/2" CORNER TRIM  
 - DULUX - GREY PRVANT ACIST
- 7 VINYL WINDOWS C/M WOOD TRIM AS SHOWN  
 WHITE WOOD TRIM WOOD TRIM - DULUX PAINT - ANTI-MOLD/SPHERE ACIST
- 8 2x4 WOOD TRIM ON 2x6 WOOD TRIM  
 DULUX PAINT - ANTI-MOLD/SPHERE ACIST
- 9 42 1/8" HIGH POWDER COATED ALUMINUM RAILING C/M PICKETS  
 WHITE
- 10 BUILT UP COLUMN C/M FIBER CEMENT PANEL SIDING  
 DULUX PAINT - GREY PRVANT ACIST
- 11 1/4" WOOD TRIM ON 2x12 WOOD TRIM  
 DULUX PAINT - ANTI-MOLD/SPHERE ACIST
- 12 5'-6" HIGH PRIVACY SCREEN  
 DULUX PAINT - GREY PRVANT ACIST
- 13 2x6 WOOD TRIM  
 DULUX PAINT - ANTI-MOLD/SPHERE ACIST
- 14 2x8 WOOD TRIM  
 DULUX PAINT - ANTI-MOLD/SPHERE ACIST
- 15 THRU-WALL FLASHING  
 COLOUR TO MATCH ADJACENT SIDING
- 16 ALUMINUM DOWNPIPE  
 WHITE
- 17 KNEE BRACE  
 DULUX PAINT - ANTI-MOLD/SPHERE ACIST



**SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**  
 SCALE: 1/8" = 1'-0"

**BUILDING #1**

CS-011-2019

DESIGNER	JOE DHALIWAL
DATE	2019.01.17
PROJECT	TOWNHOUSE DEVELOPMENT LOT B - 9893 BARNSTON DRIVE, SURREY, B.C.
SHEET CONTENTS	BUILDING ELEVATIONS

**barnett dembek**  
 UNIT 135,  
 2526 130 STREET,  
 SURREY, B.C.  
 V3W 1H8  
 PHONE: (604) 597-7100  
 FAX: (604) 597-2099  
 EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
15066	AC-4.01
PROJECT NO.	REV. NO.

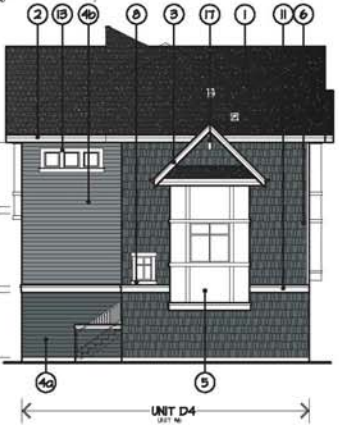
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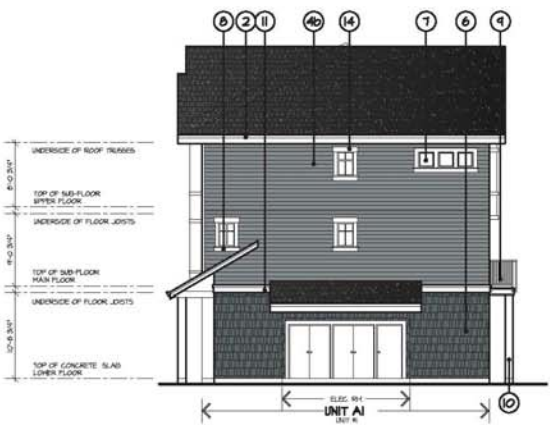
**REAR ELEVATION**  
SCALE - 1/8" = 1'-0"

**SCHEDULE OF FINISHES**

- 1 ASPHALT SHINGLES  
1/2" GABRIEL'S - 15 YEAR WARRANTY
- 2 ALUMINUM GUTTER ON 2x10 HOOD FASCIA  
WHITE BUTTER OR HOOD TRIM - DULUX PAINT - ATMOSPHERE A031
- 3 1x4 WOOD TRIM ON 2x10 HOOD FASCIA  
DULUX PAINT - ATMOSPHERE A031
- 4G FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
DULUX PAINT - GREAT PLANT A033
- 4B FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
DULUX PAINT - GREAT PLANT A033
- 4C FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
DULUX PAINT - GREAT PLANT A033
- 5 FIBER CEMENT - PANEL SIDING  
DULUX PAINT - ATMOSPHERE A031
- 6 FIBER CEMENT - SHINGLE SIDING C/M 5 1/2" CORNER TRIM  
2x2x4 - 1/2" SPACER - GREAT PLANT A033
- 7 VINYL WINDOWS C/M WOOD TRIM AS SHOWN  
WHITE FINISH WITH HOOD TRIM - DULUX PAINT - ATMOSPHERE A031
- 8 2x4 WOOD TRIM ON 2x6 WOOD TRIM  
DULUX PAINT - ATMOSPHERE A031
- 9 42 1/8" HIGH POWDER COATED ALUMINUM RAILING C/M PICKETS  
WHITE
- 10 BUILT UP COLLUM C/M FIBER CEMENT PANEL SIDING  
2x2x4 - 1/2" SPACER - GREAT PLANT A033
- 11 1x4 WOOD TRIM ON 2x12 WOOD TRIM  
DULUX PAINT - ATMOSPHERE A031
- 12 5'-6" HIGH PRIVACY SCREEN  
DULUX PAINT - GREAT PLANT A033
- 13 2x6 WOOD TRIM  
DULUX PAINT - ATMOSPHERE A031
- 14 2x8 WOOD TRIM  
DULUX PAINT - ATMOSPHERE A031
- 15 THRU-WALL FLASHING  
COLOR TO MATCH ADJACENT SIDING
- 16 ALUMINUM DOWNPIPE  
WHITE
- 17 KNEE BRACE  
DULUX PAINT - ATMOSPHERE A031



**SIDE ELEVATION**  
SCALE - 1/8" = 1'-0"



**SIDE ELEVATION**  
SCALE - 1/8" = 1'-0"



**FRONT ELEVATION**  
SCALE - 1/8" = 1'-0"

NO.	REVISION	DATE

DESIGNER :	J.P.S.
DRAWN :	J.P.S.
DATE :	Aug 21/11
SHEET NO. :	106
SCALE :	1/8" = 1'-0"
CLIENT :	JOE DHALVAL
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 9833 BARNISTON DRIVE, SURREY, B.C.
SHEET CONTENTS :	BUILDING ELEVATIONS

**barnett denk**  
ARCHITECTS INC.

UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1H8

PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: mail@darkitex.com

**BUILDING #1**

CLIENT NO.	SHEET NO.
15066	AC-4.01a
PROJECT NO.	REV. NO.



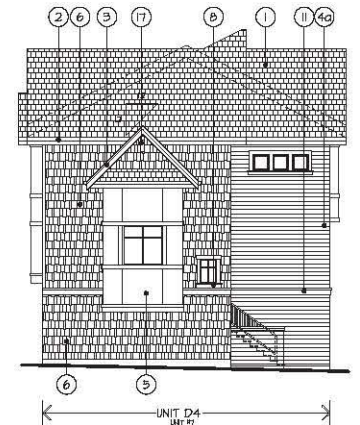
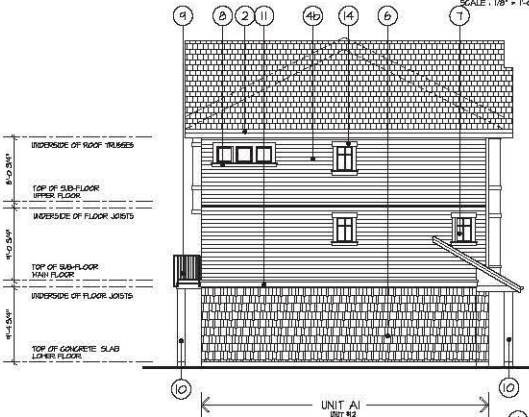
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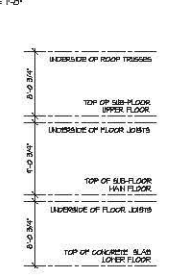
**SCHEDULE OF FINISHES**

- ① ASPHALT SHINGLES  
1/2\"/>
- ② ALUMINUM GUTTER ON 2X10 WOOD FASCIA  
WHITE GUTTER ON WOOD TRIM - GULK PAINT - AN-ROOFING AGENT
- ③ 1X4 WOOD TRIM ON 2X10 WOOD FASCIA  
GULK PAINT - AN-ROOFING AGENT
- ④a FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2\"/>
- ④b FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2\"/>
- ④c FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2\"/>
- ⑤ FIBER CEMENT - PANEL SIDING  
GULK PAINT - AN-ROOFING AGENT
- ⑥ FIBER CEMENT - SHINGLE SIDING C/M 5 1/2\"/>
- ⑦ VINYL WINDOWS C/M WOOD TRIM AS SHOWN  
WHITE WINDON WITH HOOD TRIM - GULK PAINT - AN-ROOFING AGENT
- ⑧ 2X4 WOOD TRIM ON 2X6 WOOD TRIM  
GULK PAINT - AN-ROOFING AGENT
- ⑨ 42 1/8\"/>
- ⑩ BUILT UP COLUMN C/M FIBER CEMENT PANEL SIDING  
GULK PAINT - AN-ROOFING AGENT
- ⑪ 1X4 WOOD TRIM ON 2X12 WOOD TRIM  
GULK PAINT - AN-ROOFING AGENT
- ⑫ 5'-6\"/>
- ⑬ 2X6 WOOD TRIM  
GULK PAINT - AN-ROOFING AGENT
- ⑭ 2X8 WOOD TRIM  
GULK PAINT - AN-ROOFING AGENT
- ⑮ THRU-WALL FLASHING  
COLOUR TO MATCH ADJACENT SIDING
- ⑯ ALUMINUM DOWNPIPE  
WHITE
- ⑰ KNEE BRACE  
GULK PAINT - AN-ROOFING AGENT

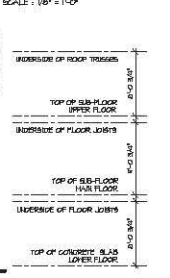
**REAR ELEVATION**  
 SCALE: 1/8\"/>



**SIDE ELEVATION**  
 SCALE: 1/8\"/>



**SIDE ELEVATION**  
 SCALE: 1/8\"/>



**FRONT ELEVATION**  
 SCALE: 1/8\"/>

ISSUED FOR	
BY	
DATE	
SCALE	
REV. NO.	

DESIGN :	JOE DHALWAL
CLIENT :	JOE DHALWAL
DRAWN :	
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 4883 BARNSTON DRIVE, SURREY, B.C.
DATE :	May 21 2011
SHEET NO. :	
SCALE :	1/8\"/>
REV. NO.	

**barnett dembek**  
 UNIT 135,  
 2528 130 STREET,  
 SURREY, B.C.  
 V3W 1H8  
 PHONE: (604) 597-7100  
 FAX: (604) 597-2098  
 EMAIL: mtd@darkitex.com

CLIENT NO.	BHEET NO.
PROJECT NO.	AC-4.02
15066	REV. NO.

**BUILDING #2**











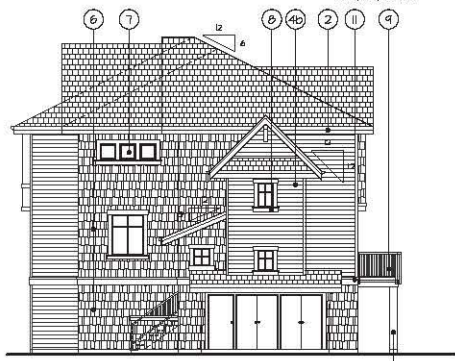
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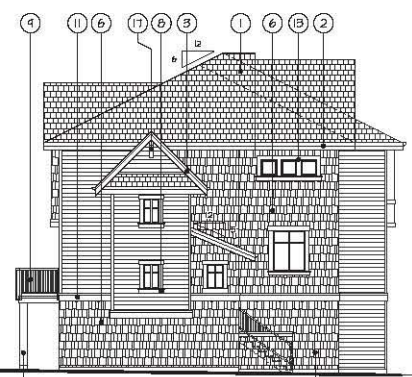
**SCHEDULE OF FINISHES**

- 1 ASPHALT SHINGLES  
160 CAMBRIDGE - CHARCOAL GREY
- 2 ALUMINUM GUTTER ON 2X10 WOOD FASCIA  
WHITE GUTTER ON WOOD TRIM - GULLY PAINT - ANTI-SPLASH AGENT
- 3 1X4 WOOD TRIM ON 2X10 WOOD FASCIA  
DULL PAINT - ANTI-SPLASH AGENT
- 4a FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
DULL PAINT - FROST GREY ANIAD
- 4b FIBER CEMENT - PLANK LAP SIDING C/M 5 1/2" CORNER TRIM  
DULL - GREAT GREY ANIAD
- 5 FIBER CEMENT - PANEL SIDING  
DULL PAINT - ANTI-SPLASH AGENT
- 6 FIBER CEMENT - SHINGLE SIDING C/M 5 1/2" CORNER TRIM  
DULL - GREAT GREY ANIAD
- 7 VINYL WINDOWS C/M WOOD TRIM AS SHOWN  
WHITE GUTTER ON WOOD TRIM - GULLY PAINT - ANTI-SPLASH AGENT
- 8 2X4 WOOD TRIM ON 2X6 WOOD TRIM  
DULL PAINT - ANTI-SPLASH AGENT
- 9 42 1/8" HIGH POWDER COATED ALUMINUM RAILING C/M PICKETS  
WHITE
- 10 BUILT UP COLUMN C/M FIBER CEMENT PANEL SIDING  
DULL PAINT - ANTI-SPLASH AGENT
- 11 1X4 WOOD TRIM ON 2X12 WOOD TRIM  
DULL PAINT - ANTI-SPLASH AGENT
- 12 5-6" HIGH PRIVACY SCREEN  
DULL PAINT - GREY PRIMAINT AGENT
- 13 2X6 WOOD TRIM  
DULL PAINT - ANTI-SPLASH AGENT
- 14 2X6 WOOD TRIM  
DULL PAINT - ANTI-SPLASH AGENT
- 15 THRU-WALL FLASHING  
COLOR TO MATCH FINISH SIDING
- 16 ALUMINUM DOWNPIPE  
WHITE
- 17 KNEE BRACE  
DULL PAINT - ANTI-SPLASH AGENT

**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"

ISSUED FOR	DATE	BY	REVISION

DESIGN :	JOE DHALIWAL
CLIENT :	JOE DHALIWAL
PROJECT :	TOWNHOUSE DEVELOPMENT LOT B - 4883 EARLINGTON DRIVE, SURREY, B.C.
DATE :	NOV 21 2017
SCALE :	1/8" = 1'-0"
SHEET CONTENTS :	BUILDING ELEVATIONS

**barnett dembek**  
UNIT 135,  
7536 130 STREET,  
SURREY, B.C.  
V3W 1T8  
PHONE: (604) 597-7100  
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EMAIL: mtd@barnett-dembek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15066	AC-4.06

**BUILDING #6**

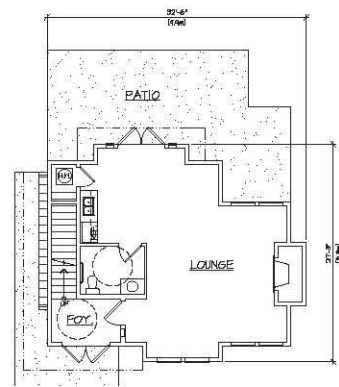




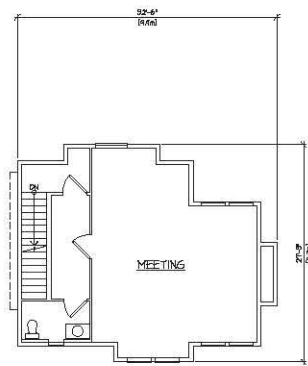








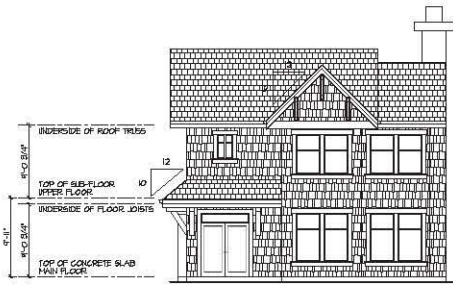
**AMENITY  
MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0" 7/24 S.F.



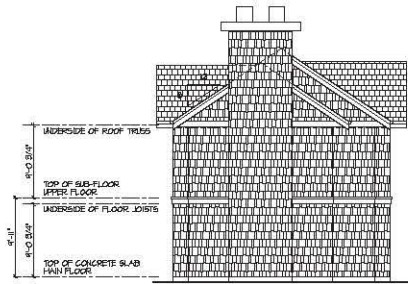
**AMENITY  
UPPER FLOOR PLAN**  
SCALE: 1/8" = 1'-0" 1/24 S.F.

SCHEDULE OF FINISHES

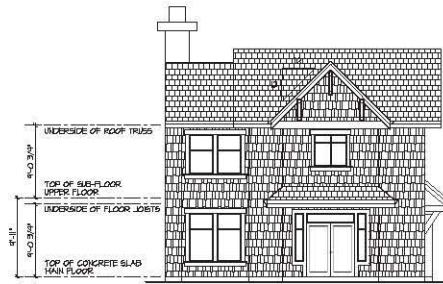
- ① ASPHALT SHINGLE ROOF
- ② PREFINISHED ALUMINUM GUTTER ON 2X10 WOOD FASCIA
- ③ 1X4 WOOD TRIM ON 2X10 WOOD FASCIA
- ④ VINYL HORIZONTAL SIDING
- ⑤ HARDIE SHINGLE SIDING
- ⑥ CULTURED STONE VENEER
- ⑦ WINDOW SILL - 2X4 CAP ON 2XB WOOD TRIM
- ⑧ 2XB WINDOW & DOOR HEAD TRIM
- ⑨ 12X12 BUILT-UP WOOD POST WITH 24X24 BASE
- ⑩ CORNER TRIM - AS PER SIDING MATERIAL
- ⑪ VINYL FRAMED WINDOW



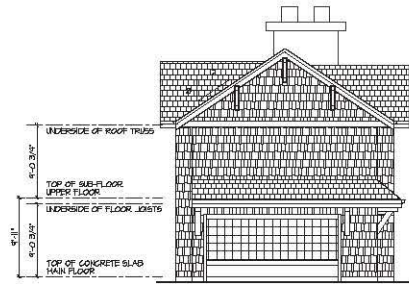
**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

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REV#	DATE	BY	ISSUED FOR

CDD-1001010

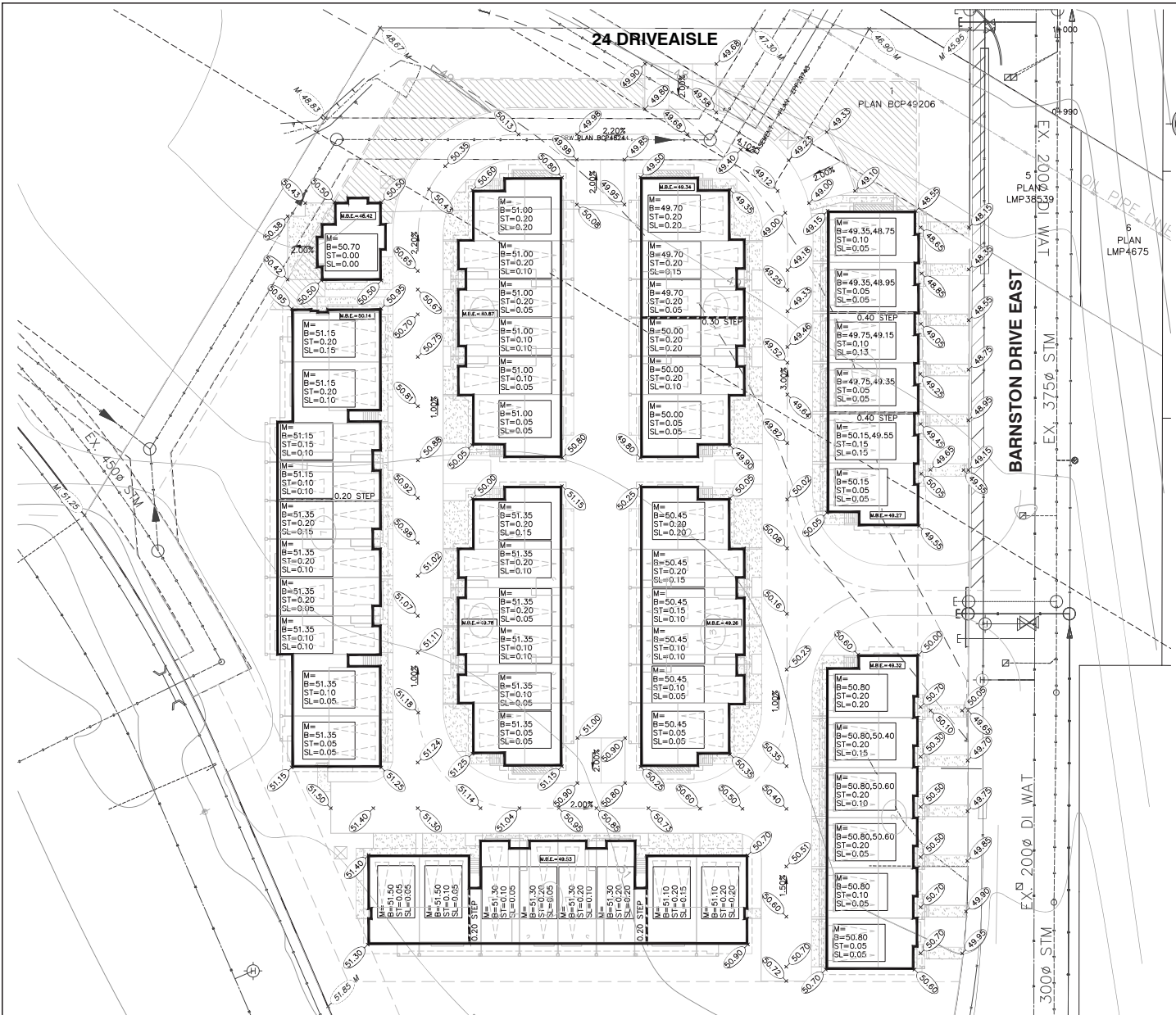
DESIGNER:	DATE:	CLIENT:
DRAWN:	DRAWN DATE:	PROJECT:
CHECKER:	CHECKER DATE:	SHEET CONTENTS:
SCALE:	SCALE:	PROJECT NO.:
JOE PHILLIP	10/11/11	TOWNHOUSE DEVELOPMENT
		LOT B - 4025 BARBASTON DRIVE, SURREY, B.C.
		AMENITY BUILDING PLAN
		AND BUILDING ELEVATIONS

**barnett dembek**

UNIT 135,  
2538 130 STREET,  
SURREY, B.C.  
V3W 1H8  
PHONE: (604) 597-7100  
FAX: (604) 597-2099  
EMAIL: info@barnett-dembek.com

CLIENT NO.	15066
SHEET NO.	AG-4.0T
REV. NO.	

**AMENITY**



**GENERAL NOTES:**

1. CONTRACTOR TO VERIFY THE LOCATION AND INVERTS OF EXISTING WATER, STORM AND SANITARY CONNECTIONS TO THE SITE. REPORT TO THE ENGINEER ANY DISCREPANCIES PRIOR TO START OF CONSTRUCTION.
2. ALL BUILDINGS & ROADS ARE TO BE LOCATED BY CO-ORDINATES AS CALCULATED BY A B.C. LAND SURVEYOR.
3. THE CONTRACTOR MUST CONTACT THE ENGINEER PRIOR TO CONSTRUCTION TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING DURING WHICH CONSTRUCTION METHODS, TIMING, AND INSPECTION WILL BE DISCUSSED.

**LOT GRADING NOTES:**

1. ALL DIMENSIONS AND ELEVATIONS ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE NOTED.
2. ALL ELEVATIONS ARE TO GEODETIC DATUM.
3. ALL CURB RADI TO BE AS SHOWN.
4. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH B.C. BUILDING AND PLUMBING CODES AND IS TO BE ACCEPTABLE TO THE CITY OF SURREY BUILDING AND PERMITS DEPARTMENT.
5. ALL EXCAVATION, FILL PLACEMENT AND COMPACTION TO BE IN ACCORDANCE WITH GEOTECHNICAL CONSULTANT'S REPORT.
6. DEVELOPER TO EMPLOY GEOTECHNICAL CONSULTANT FOR PERFORMANCE OF IN PLACE TESTING DURING THE PREPARATION OF THE SUBGRADE AND CONSTRUCTION OF THE ROAD STRUCTURE TO VERIFY THE ADEQUACY OF PROPOSED ROAD STRUCTURE AND SUBGRADE. CHANGES TO GRADE SHALL BE FORMED BY SMOOTH CURVES.
7. ALL SUBGRADES AND GRANULAR BASE MATERIALS TO BE COMPACTED AT 95% MODIFIED PROCTOR, AT OPTIMUM MOISTURE CONTENT.
8. ALL LOOSE OR ORGANIC MATERIAL TO BE EXCAVATED FROM ROADWAY.
9. CONSULT ELECTRICAL DRAWING FOR AREA LIGHTING AND POWER DISTRIBUTION SYSTEM WITHIN SITE.
10. THE CONTRACTOR SHALL MAINTAIN ALL MUNICIPAL ROADS PROVIDING ACCESS TO THE CONSTRUCTION SITE AND ARRANGE FOR DAILY STREET CLEANING DURING TIMES OF CONSTRUCTION OR MORE OFTEN IF REQUIRED.
11. THE CONTRACTOR SHALL INFORM THE ENGINEER AND CITY OF SURREY A MINIMUM OF 24 HOURS PRIOR TO REQUIRED INSPECTIONS.

**LOT GRADING PLAN LEGEND**

- ORIGINAL CONTOUR 75.0
- EXISTING ELEVATION XX.XX
- PROPOSED ELEVATION XX.XX
- MIN. BUILDING ELEVATION MBE=XX.XX
- CATCH BASIN [Symbol]
- 450mm LAWN BASIN [Symbol]
- SWALE [Symbol]
- OVERLAND FLOW [Symbol]

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THE GENERAL CONTRACTOR SHALL OBTAIN THE DOCUMENTS FOR CONSTRUCTION CODES AND BY-LAWS AND SHALL ADVISE THE DESIGNER OF ANY DISCREPANCIES THAT MAY EXIST. THE GENERAL CONTRACTOR SHALL OBTAIN AND USE ALL PERMITS AND REPORT ALL CONDITIONS AND CHANGES TO THE DESIGNER. DO NOT SCALE THE DRAWINGS. THESE DRAWINGS ARE INTENDED FOR INFORMATION ONLY. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.

Revised	Date	Description
2	30.05.01	GRADING REVISED FOR FINAL DP
1	17.03.01	ISSUED FOR DP
0	17.01.17	ISSUED FOR COORDINATION



**APLIN MARTIN**  
 Aplin & Martin Consultants Ltd.  
 201 - 12448 82 Avenue, Surrey, B.C. V3W 3E9  
 Tel: (604) 897-9058, Fax: (604) 897-9061  
 Email: general@aplinmartin.com

**MAINLAND DEVELOPMENT (BARNSTON LTD.)**  
 305-8288-120 STREET  
 SURREY B.C.  
 V3V-4B8  
 PH. 604-683-0505

**54 UNIT TOWNHOUSE DEVELOPMENT**  
 9933 BARNSTON DRIVE EAST  
 SURREY, BC

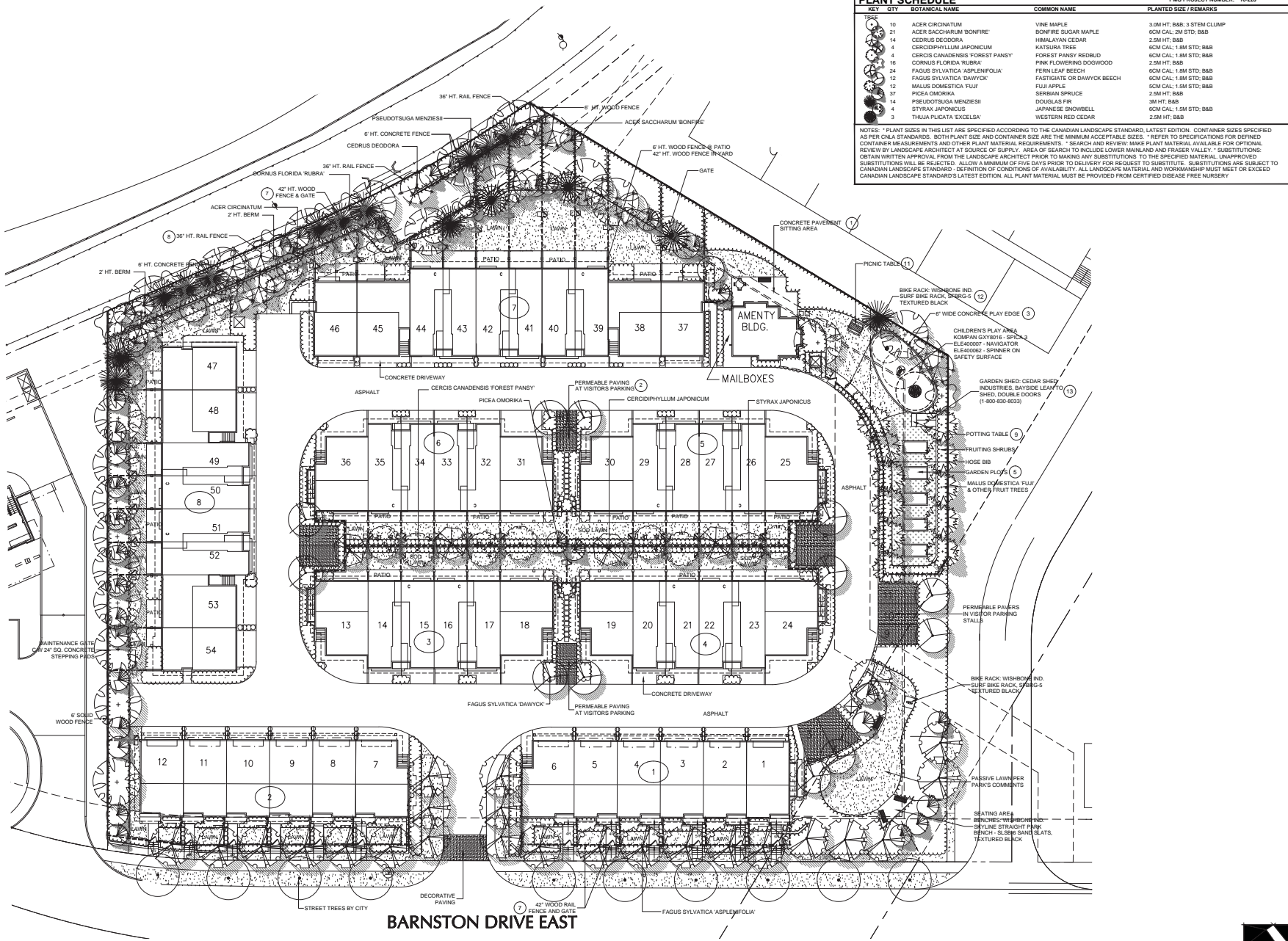
**GRADING PLAN TOWNHOUSE DEVELOPMENT**

PROJECT No:	17-119
Client:	TJP
Designer:	SD
Checker:	SD
Date:	May 26, 2017
Scale:	1:250
Revision No:	2
Drawn by:	

**NOTICE TO CONTRACTOR**

IT IS THE RESPONSIBILITY OF THE CONTRACTOR'S SURVEYOR TO VERIFY THAT ALL LEGAL SURVEY DIMENSIONS SHOWN ON THE ENGINEER'S DRAWINGS AGREE WITH THOSE ON THE REGISTERED LEGAL SURVEY PLAN. SHOULD THERE BE ANY DISCREPANCIES, THEN IMMEDIATELY NOTIFY THE ENGINEER OF RECORD.

**NOT FOR CONSTRUCTION**



PLANT SCHEDULE			PMG PROJECT NUMBER: 16-228	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
10		ACER CIRCINATUM	VINE MAPLE	3.0M HT. BAB; 3 STEM CLUMP
21		ACER SACCHARINUM BONIFRUE	BONIFRUE SUGAR MAPLE	SCM CAL; 2M STD; BAB
14		CEDRUS DEODORA	HIMALAYAN CEDAR	2.5M HT. BAB
4		CERCIDIPHYLLUM JAPONICUM	KATSURRA TREE	SCM CAL; 1.8M STD; BAB
4		CERCIS CANADENSIS FOREST PANSY	FOREST PANSY	SCM CAL; 1.8M STD; BAB
16		CORNUS FLORIDA RUBRA	PINK FLOWERING DOGWOOD	2.5M HT. BAB
24		FAGUS SYLVATICA ASPLENIFOLIA	FERN LEAF BEECH	SCM CAL; 1.8M STD; BAB
12		FAGUS SYLVATICA DAWYCK	FASTIGIATE OR DAUWK BEECH	SCM CAL; 1.8M STD; BAB
12		MALUS DOMESTICA FLUJ	FLUJ APPLE	SCM CAL; 1.5M STD; BAB
37		PICEA OMOROKA	SERBIAN SPRUCE	2.5M HT. BAB
14		PIREADOTSUGA MENZIESII	DOUGLAS FIR	3M HT. BAB
4		STYRAX JAPONICUS	JAPANESE SNOWBELL	SCM CAL; 1.5M STD; BAB
3		THUJA PLICATA EXCELSA	WESTERN RED CEDAR	2.5M HT. BAB

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OR SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MARLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED CANADIAN LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY

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SEAL:


J 17 MAY 26	NEW SITE PLAN	DO
1 17 MAR 07	NEW SITE PLAN	TRUM

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

**TOWNHOUSE DEV.**

**BARNSTON DRIVE & 177A STREET  
SURREY, BC**

DRAWING TITLE:  
**LANDSCAPE  
PLAN**

DATE: 17 JAN 05 DRAWING NUMBER:  
SCALE: 1"=20'-0"  
DRAWN: DO  
DESIGN: MM  
CHKD: MCY **L1**  
**OF 5**

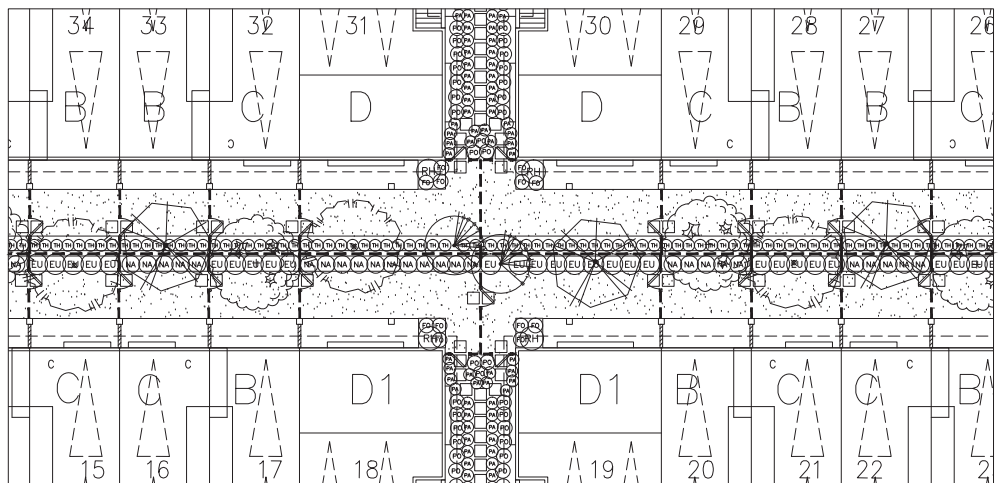
PMG PROJECT NUMBER: 16-228



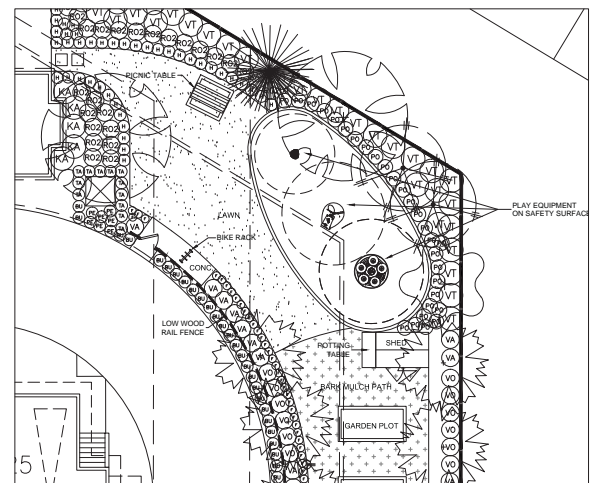
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SEAL:



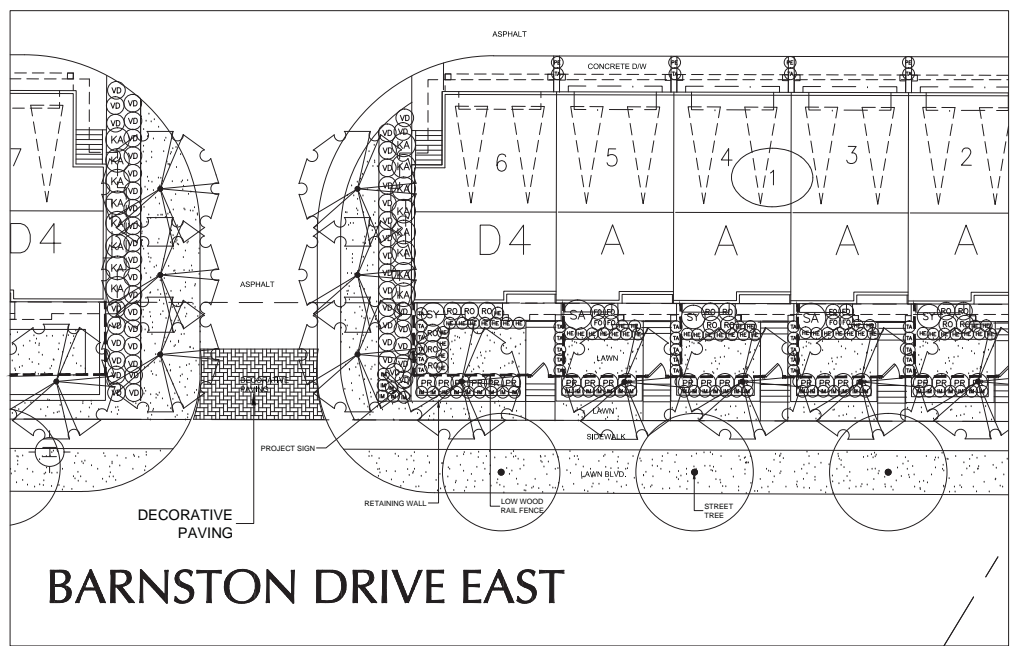
REAR YARDS



AMENITY AREA

PLANT SCHEDULE		SHRUBS	PIMG PROJECT NUMBER: 16-228
KEY	QTY	BOTANICAL NAME	COMMON NAME
①		BUXUS MICROPHYLLA WINTER GEM	LITTLE-LEAF BOX
②		EUCONYMIUS ALATA COMPACTUS	COMPACT WINGED BURNING BUSH
③		FOTHERGILLIA GARDENII BULLE MIST	DWARF FOTHERGILLIA
④		KALMIA LATIFOLIA	MOUNTAIN LAUREL
⑤		LONICERA PILEATA	PRIVET HONEYSUCKLE
⑥		NANDINA DOMESTICA	HEAVENLY BAMBOO
⑦		PRUNUS LAUROCERASUS OTTO LUYKEN	OTTO LUYKEN LAUREL
⑧		RHOODOENDRON ANAH KRUSCHKE	RHOODOENDRON; BLUE
⑨		ROSA ODO EASY STAWBERRY CRUSH	STRAWBERRY CRUSH ROSE; PINK/YELLOW/APRICOT
⑩		ROSA MEDELAND BONICA	MIDLAND ROSE; PINK
⑪		SAMBUCUS NIGRA BLACK LACE	BLACK LACE ELDERBERRY
⑫		SYRINGIA PRESTONIAE MINLET	MINLET LILAC
⑬		TAXUS X MEDIA HICKSII	HICKS YEW
⑭		THUJA OCCIDENTALIS SMARAGD	EMERALD GREEN CEDAR
⑮		VACCINIUM CORYMBOSUM	BLUESBERRY
⑯		VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY
⑰		VIBURNUM DAVIDI	DAVID'S VIBURNUM
⑱		VIBURNUM TINUS SPRING DWARF	DWARF VIBURNUM
⑲		GRASS	
⑳		HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS
㉑		IMPERATA CYLINDRICA RED BARON	BLOOD GRASS
㉒		PENNISETUM ALDOPEUCLEROIDES HAMLEN	DWARF FOUNTAIN GRASS
㉓		PERENNIAL	
㉔		HEMEROCALLIS	DAYLILY
㉕		FRAGARIA CHILOENSIS	BEACH STRAWBERRY
㉖		PACHYSANDRA TERMINALIS	JAPANESE SPONGE
㉗		POLYSTICHUM MUNITUM	WESTERN SWORD FERN
㉘			
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NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENT REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED CANADIAN LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.



FRONT YARDS

# BARNSTON DRIVE EAST

NO.	DATE	REVISION DESCRIPTION	DR.
2	17 MAY 26	NEW SITE PLAN	GD
1	17 MAR 27	NEW SITE PLAN	TRUM

CLIENT:

PROJECT:

**TOWNHOUSE DEV.**  
**BARNSTON DRIVE & 177A STREET**  
**SURREY, BC**

DRAWING TITLE:  
**SHRUB PLANTING ENLARGEMENTS**

DATE: 17 JAN 05 DRAWING NUMBER:  
SCALE: 1"=10'-0"  
DRAWN: MM  
DESIGN: MM  
CHKD: MCV OF 5

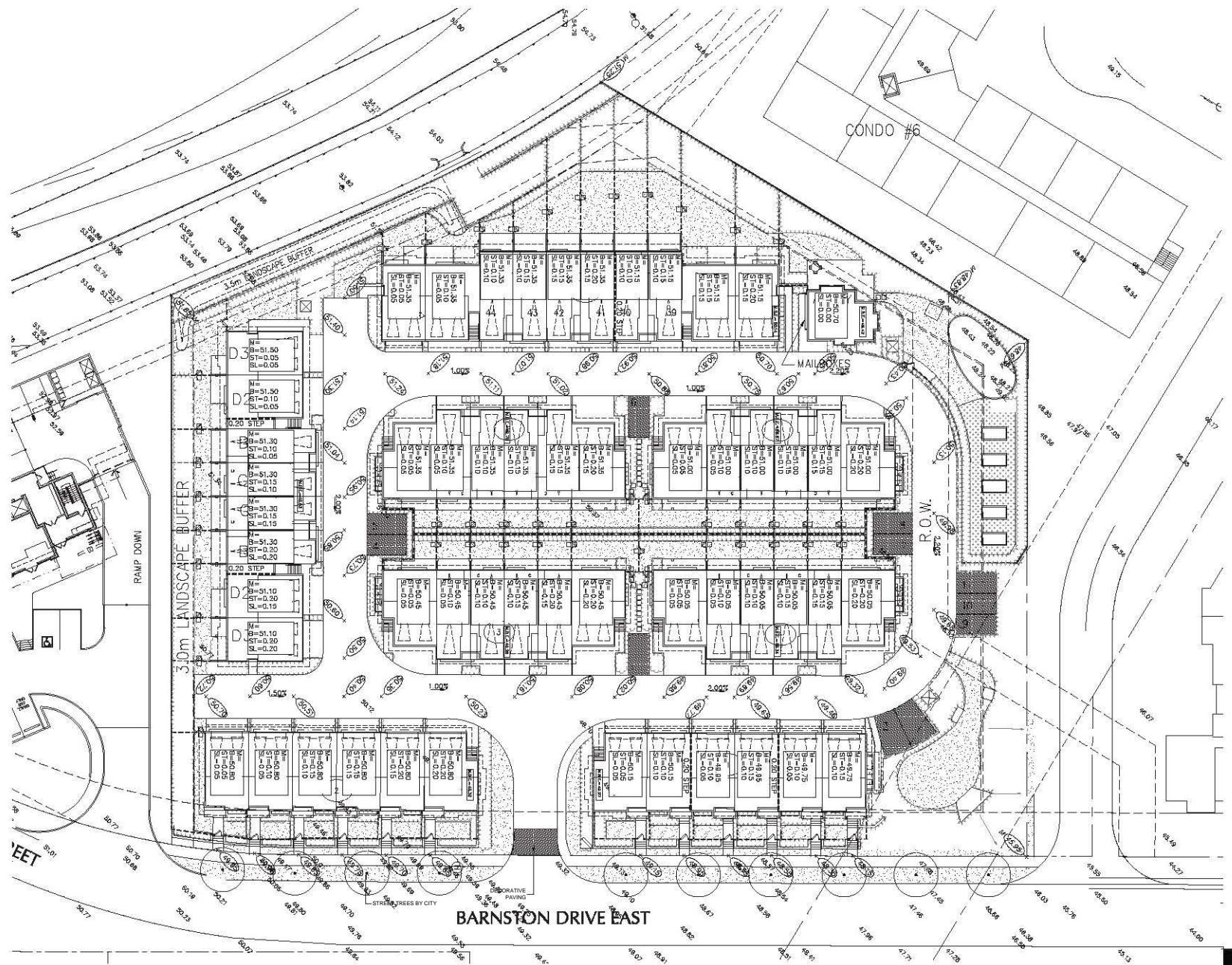
PIMG PROJECT NUMBER: 16-228



16228TH-3.2P



SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
2	17 MAY 25	NEW SITE PLAN	DO
1	17 MAR 27	NEW SITE PLAN	TRUM

CLIENT:

PROJECT:

**TOWNHOUSE DEV.**  
**BARNSTON DRIVE & 177A STREET**  
**SURREY, BC**

DRAWING TITLE:  
**GRADING PLAN**

DATE: 17 JAN 05 DRAWING NUMBER:  
SCALE: 1"=20'-0"  
DRAWN: DO  
DESIGN: MM  
CHKD: MCV

**L3**

OF 5



16225TH-3.2P





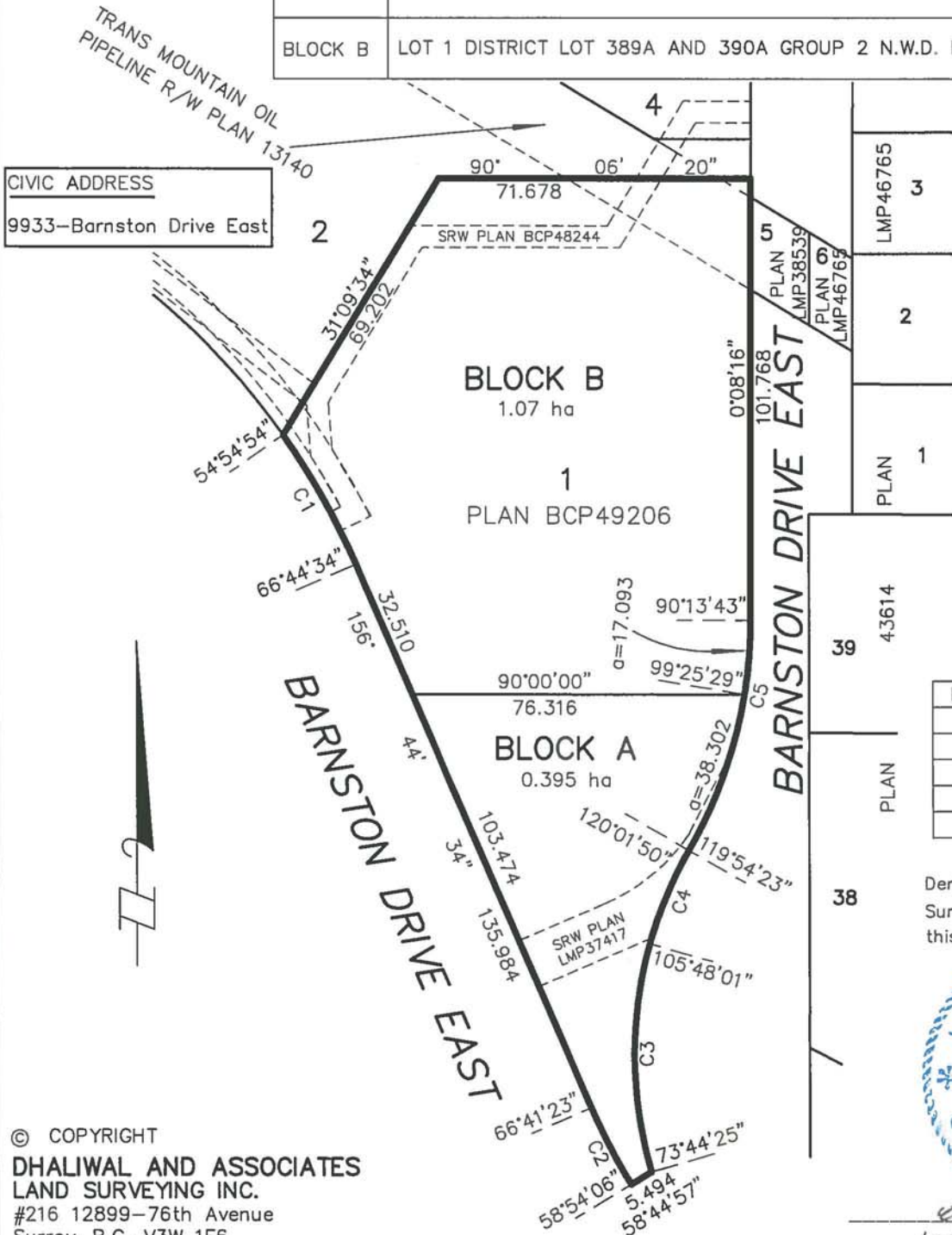


BLOCK PLAN TO ACCOMPANY CITY OF SURREY ZONING BYLAW  
 NO. \_\_\_\_\_ OVER LOT 1 DISTRICT LOT 389A AND 390A  
 GROUP 2 N.W.D. PLAN BCP49206

BCGS 92G.017  
 CITY OF SURREY  
 SCALE 1:1500

BOOK OF REFERENCE

ZONE	LEGAL DESCRIPTION	AREAS
BLOCK A	LOT 1 DISTRICT LOT 389A AND 390A GROUP 2 N.W.D. PLAN BCP49206	3947.4 m <sup>2</sup>
BLOCK B	LOT 1 DISTRICT LOT 389A AND 390A GROUP 2 N.W.D. PLAN BCP49206	10734.1 m <sup>2</sup>



NUM	ARC	RADIUS
C1	34.221	165.772
C2	19.815	145.780
C3	53.158	95.000
C4	23.389	95.000
C5	55.395	106.500

Derived from Land Title and  
 Survey Authority records  
 this 3rd day of March, 2017



Lorin Levac BCLS 881

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 DHALIWA AND ASSOCIATES  
 LAND SURVEYING INC.  
 #216 12899-76th Avenue  
 Surrey, B.C. V3W 1E6  
 Phone: 604 501-6188  
 Fax: 604 501-6189  
 File: 0908001-Z03.DWG

THIS PLAN LIES WITHIN THE  
 GREATER VANCOUVER REGIONAL DISTRICT

THIS DOCUMENT IS NOT VALID UNLESS  
 ORIGINALLY SIGNED AND SEALED



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TO: **Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **May 18, 2017** PROJECT FILE: **7816-0037-00**

---

RE: **Engineering Requirements  
Location: 9933 Barnston Dr E**

### OCP AMENDMENT/LAP AMENDMENT

There are no engineering requirements relative to the OCP Amendment or the proposed Abbey Ridge LAP Amendment beyond those noted below.

### REZONE/SUBDIVISION

#### *Property and Right-of-Way Requirements*

- Provide 0.5m wide statutory rights-of-way along Barnston Drive E.
- Provide additional statutory rights-of-way for drainage access.

#### *Works and Services*

- Construct 1.8m wide concrete sidewalk along Barnston Drive E frontage.
- Construct pedestrian crossing with refuge on Barnston Drive E.
- Install street lighting on the west side of Barnston Drive E along site frontage.
- Resolve downstream sanitary constraint if applicable.
- Register restrictive covenant for on-site detention and for water quality/sediment control.
- Secure outside agency approvals as applicable.

A Servicing Agreement is required prior to Rezone/Subdivision.

### DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit beyond those noted above.



Rémi Dubé, P.Eng.  
Development Services Manager

HB4



Thursday, March 16, 2017  
 Planning

**School Enrolment Projections and Planning Update:**

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

There is enough space at Bothwell Elementary to accommodate additional enrolment. An addition to Fraser Heights Secondary was completed in April 2014, increasing the school's nominal capacity from 1000 to 1200 + Neighbourhood Learning Centre. Fraser Heights Secondary still has some capacity constraints. With the potential increase in residential development associated with the Abbey Ridge Local Area Plan, the school district is currently evaluating future capital requests for this area.

**THE IMPACT ON SCHOOLS**

APPLICATION #: 16 0037 00

**SUMMARY**

The proposed 54 townhouse units and 51 lowrise units are estimated to have the following impact on the following schools:

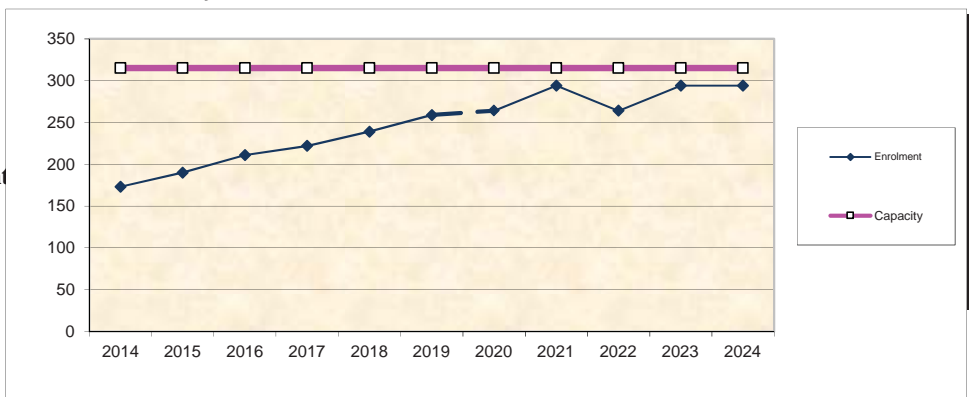
**Projected # of students for this development**

Elementary Students:	13
Secondary Students:	7

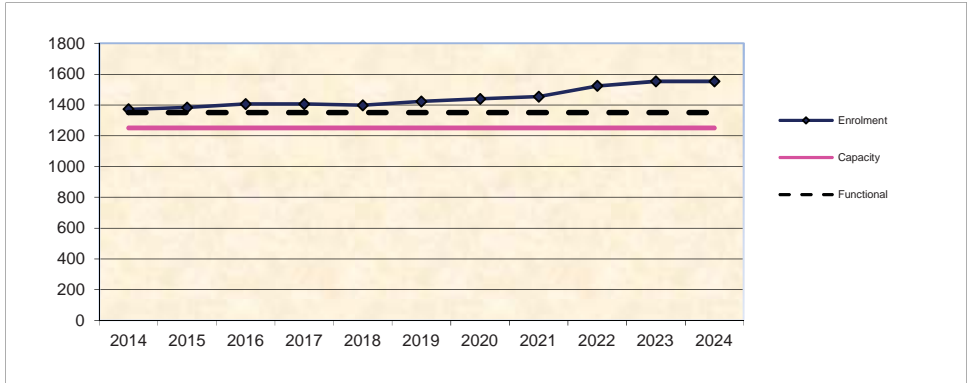
September 2018 Enrolment/School Capacity

<b>Bothwell Elementary</b>	
Enrolment (K/1-7):	26 K + 185
Capacity (K/1-7):	40 K + 275
<b>Fraser Heights Secondary</b>	
Enrolment (8-12):	1405
Capacity (8-12):	1250
Functional Capacity*(8-12):	1350

**Bothwell Elementary**



**Fraser Heights Secondary**



\*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.



# Advisory Design Panel Minutes

## Present:

Chair – K. Johnston  
 M. Enns  
 M. Lesack  
 M. MacCaull  
 S. McFarlane  
 D. Nelson  
 A. Scott  
 D. Staples  
 M. Younger

## Guests:

L. Barnett, Barnett Dembek Architects Ltd.  
 M. Chan-Yip, PMG Landscape Architects  
 R. Bernstein, Chris Dikeakos Architects  
 J. Basran, Chris Dikeakos Architects  
 J. McDougall, Perry & Associates  
 R. Jenkins, WestStone Group  
 V. Jeon, WestStone Group  
 M. Ciriello, Lo Studio Architecture Inc.  
 M. Mitchell, M2 Landscape Architecture

## Staff Present:

M. Rondeau, Acting City Architect,  
 Planning & Development  
 L. Luaifoa, Legislative Services

## A. RECEIPT OF MINUTES

It was Moved by D. Staples  
 Seconded by M. Younger  
 That the minutes of the Advisory Design  
 Panel meeting of February 9, 2017 be received.  
Carried

## B. NEW SUBMISSIONS

1. 4:00 PM

<b>File No.:</b>	7916-0037-00
<b>New or Resubmit:</b>	New
<b>Last Submission Date:</b>	N/A
<b>Description:</b>	OCP/NCP Amendment, Rezoning and DP to permit a 5-storey mixed-use building containing approximately 51 residential dwelling units and 375 sq. m. of ground floor commercial with underground and above grade parking on proposed Lot A.
<b>Address:</b>	<b>9933 Barnston Drive East in Fraser Heights/Abbey Ridge</b>
<b>Developer:</b>	Joe Dhaliwal, Mainland Contracting
<b>Architect:</b>	Lance Barnett, Barnett Dembeck Architect Inc.
<b>Landscape Architect:</b>	Mary Chan Yip, PMG Landscape Architects
<b>Planner:</b>	Donald Nip
<b>Urban Design Planner:</b>	Mary Beth Rondeau

The Acting City Architect provided the following comments:

- Staff has no specific issues with use, form and density.

- There are concerns from the surrounding neighbourhood with the reduced amount of commercial for local uses.
- The masterplan shows 4 storeys visible along the highway for future phases which this proposal meets the intent.
- As part of the project, an acoustics assessment will be completed and highway lighting will be considered.

The **Project Architect** presented an overview of the site plan, building plans, streetscapes and elevations. The following was highlighted:

- Single Family homes are situated to the east of the project site with proposed townhouses on the site to the north. Multifamily condos are proposed for the area to the east of the subject site.
- Parking spaces at grade are provided for the commercial units.
- Regarding sustainability, 20% of materials are manufactured and supplied within 800 km of the project site. Materials will be used that require low maintenance.

The **Landscape Architect** presented an overview of the Landscape plans and highlighted the following:

- A 3.5 m planted buffer located along Barnston Drive consists of evergreen, coniferous and deciduous trees.
- Outdoor amenity will take advantage of north views of mountains framed in structural elements.

#### **ADVISORY DESIGN PANEL STATEMENT OF REVIEW**

**OCP/NCP Amendment, Rezoning and DP to permit a 5-storey mixed-use building containing approximately 51 residential dwelling units and 375 sq. m. of ground floor commercial with underground and above grade parking on proposed Lot A.**

File No. 7916-0037-00

It was

Moved by M. Enns

Seconded by M. Lesack

That the Advisory Design Panel (ADP)

recommends C - that the applicant address the following issues to the satisfaction of the Planning & Development Department and, at the discretion of Planning staff, resubmit the project to the ADP for review.

Carried



## STATEMENT OF REVIEW COMMENTS

The Design Panel supports the project in general and has no issues with use, form or density of the project.

### Site

- The site is well done for an irregular shape.
- Further consideration for the commercial parking area is needed paving i.e. paving, pedestrian access. Concern tight parking for turning.

### Building Form and Character

- Building materials, character and detailing could be more responsive to polarity of the different sides of the building with the highway on one side and the more trees in the large lots and mountain views on the other side. **A contrasting material has been added to the highway side.**
- Good relationship between the indoor and outdoor amenity spaces.
- One member suggested the addition of another storey on the building while another did not support additional height. **No adjustment.**
- Consider changes to colours used to improve the monotone feel such as changing the amount of beige Hardie Panel used. **Colours have been adjusted to add more contrast and variety.**
- The material samples shown should be better reconciled with the building. Stronger use of colour can enhance the building. **As above.**
- Retail seems a bit subterranean especially at the east. **Landscape/planter has been moved back to open up the site in front of CRUs.**
- Signage on the building could improve awareness from the street. **18" raised channel letters to be provided.**

### Landscaping **As per Landscape Consultants drawings.**

- Commend the "mountain frame" thematic. Recommend using this thematic/material/colour at the entry or with other furnishings.
- Consider selecting tree planning on south east side to allow for evening sun on residential patios.
- Consider an evergreen hedge on the west side as a buffer to residential patios.
- Recommend shift to east parking zone to provide a planted buffer to the east face of the building.
- Consider simplifying landscape materials. Currently there are 2 types of fencing; wood and metal.

**CPTED**

- CRU's 1 and 2 are isolated and more consideration should be given for adequate lighting during off hours. **Increased lighting at CRU level to be provided as recommended.**

**Accessibility**

- Suggest adding canopy over north east entry door. **Canopy is provided at entry.**

**Sustainability**

- Recommend the use of Energy Recovery Ventilators for suite ventilation. **Will be reviewed by Mechanical Consultants at the Building Permit stage.**
- Encourage the use of ducted ventilation to all living and bedroom spaces.
- Provide openable windows for bedrooms and living room. **Provided.**
- Encourage further development of site storm water management as the majority of the site is on structure or parking. **As per Civil Engineering drawings.**
- Consider design/detail of sunscreens to ensure passive solar protection is achieved. **Drapes and blinds to be used.**
- Consider rain garden/temporary water retention area in landscape bed at north south corner of site (adjacent to the parking lot). **As per Civil Engineering drawings.**

**D. NEXT MEETING**

The next Advisory Design Panel is scheduled for **Thursday, April 13, 2017.**

**E. ADJOURNMENT**

The Advisory Design Panel meeting adjourned at 7:00 p.m.

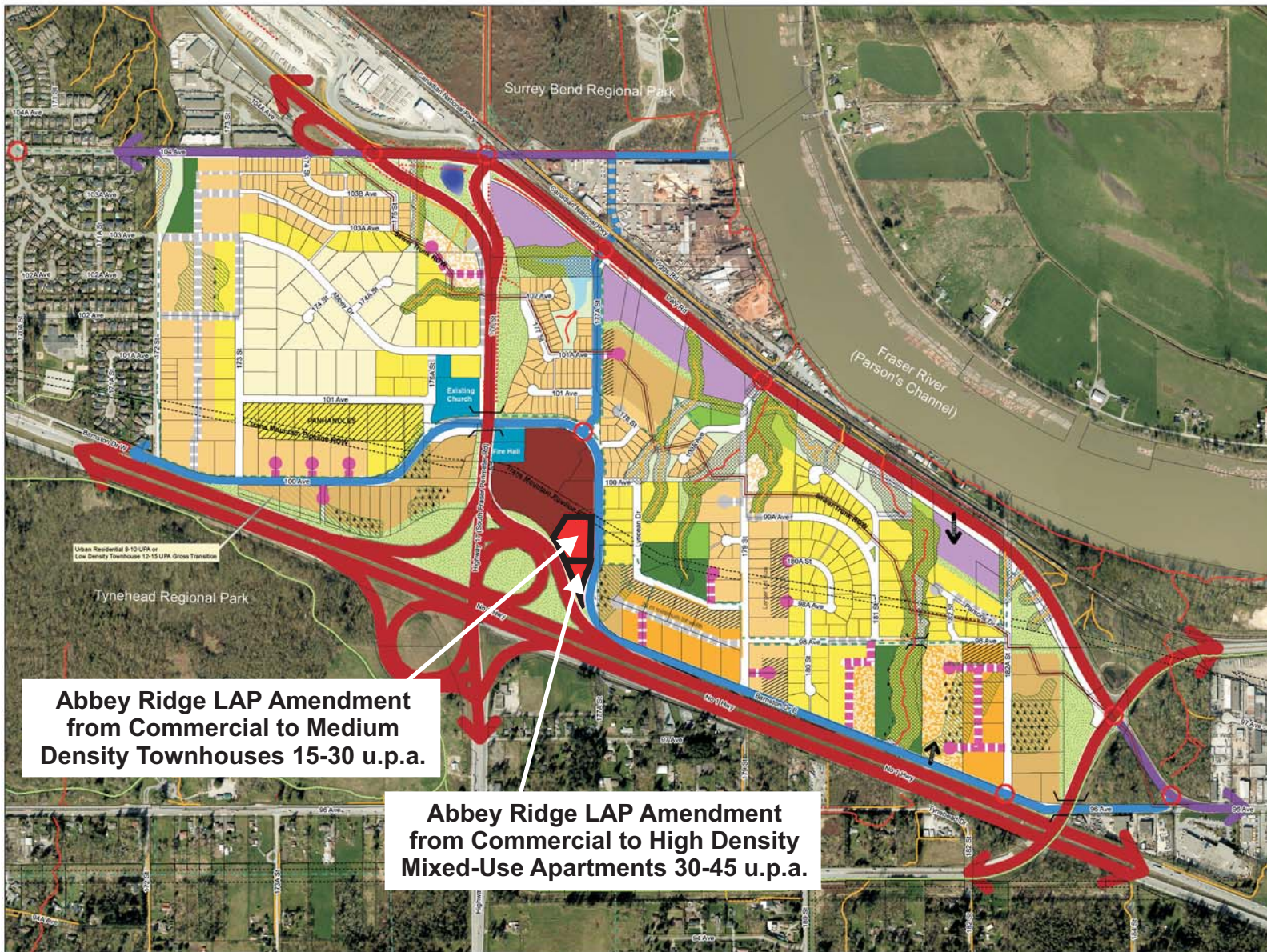
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Jane Sullivan, City Clerk

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Kimberly Johnston, Chair  
Advisory Design Panel





**LEGEND**

**Land Use Designations**

- Acres Residential 1-2 UPA
- Suburban Residential 2-4 UPA Gross
- Urban Transition 4-5 UPA
- Low Density Cluster 4-6 UPA Gross
- Single Family Residential 4-6 UPA
- Medium Density Cluster 10-12 UPA Gross
- Urban Residential 8-10 UPA Transition
- Urban Residential 8-10 UPA
- Low Density Townhouse 12-15 UPA Gross Transition
- Low Density Townhouse 12-15 UPA Gross
- High Density Multiple Residential 30-45 UPA
- Neighbourhood Commercial
- Industrial
- Institutional
- Existing Natural Area
- Future Natural Area
- Existing Neighbourhood Park
- Future Neighbourhood Park
- Landscape Buffer
- Storm Water Pond
- Wet Land
- Tree Retention Area

**Transportation Network**

- Proposed City Greenway
- Railway
- Signalized Intersection
- Cul De Sac
- Flex Cul De Sac
- Provincial Highway
- Arterial 30m
- Collector 24m
- Future Collector 24m
- Proposed Local 20m
- Proposed Flex Local Road
- Proposed Local Lane 6m
- Proposed Greenways 4m
- In Service Greenways 4m

**Utilities & Other**

- SanitaryTrunkSewer\_ROW\_10m\_AbbyRidge
- SanitaryTrunkSewer\_AbbyRidge
- Significant Tree Stand
- Trans Mountain Pipeline ROW (18.6m)
- Stream Class A
- Stream Class B
- Buffer of Fishclass A and AO 30m
- Buffer of Fishclass B 15m

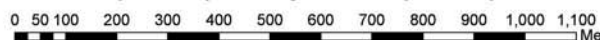
**Abbey Ridge LAP Amendment  
from Commercial to Medium  
Density Townhouses 15-30 u.p.a.**

**Abbey Ridge LAP Amendment  
from Commercial to High Density  
Mixed-Use Apartments 30-45 u.p.a.**

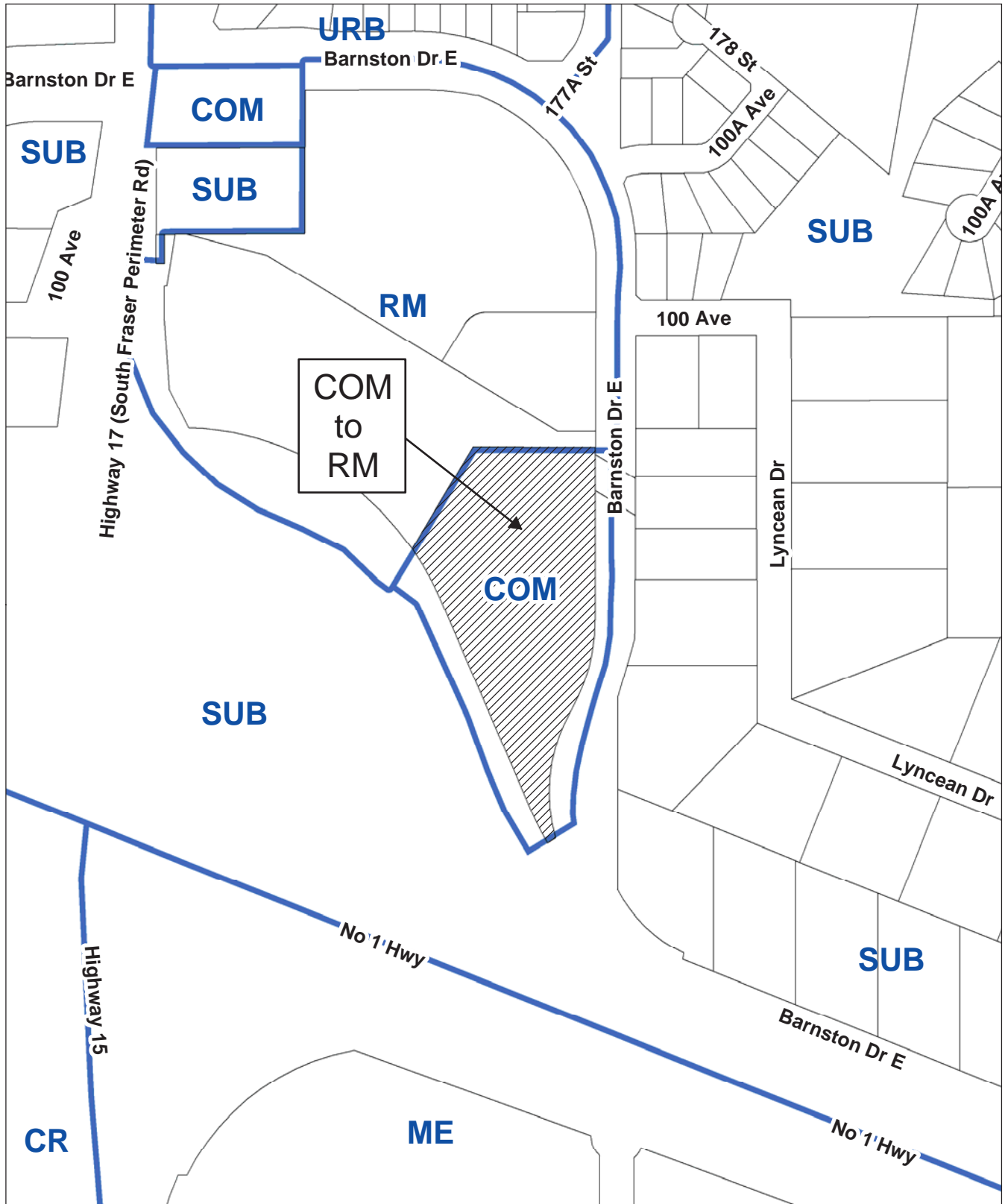
**Abbey Ridge  
Stage 2 - Land Use Concept Plan**

Approved by Council at it's Regular Council Meeting of February 6, 2017 - Resolution RES R17-383

City of Surrey Planning and Development Department



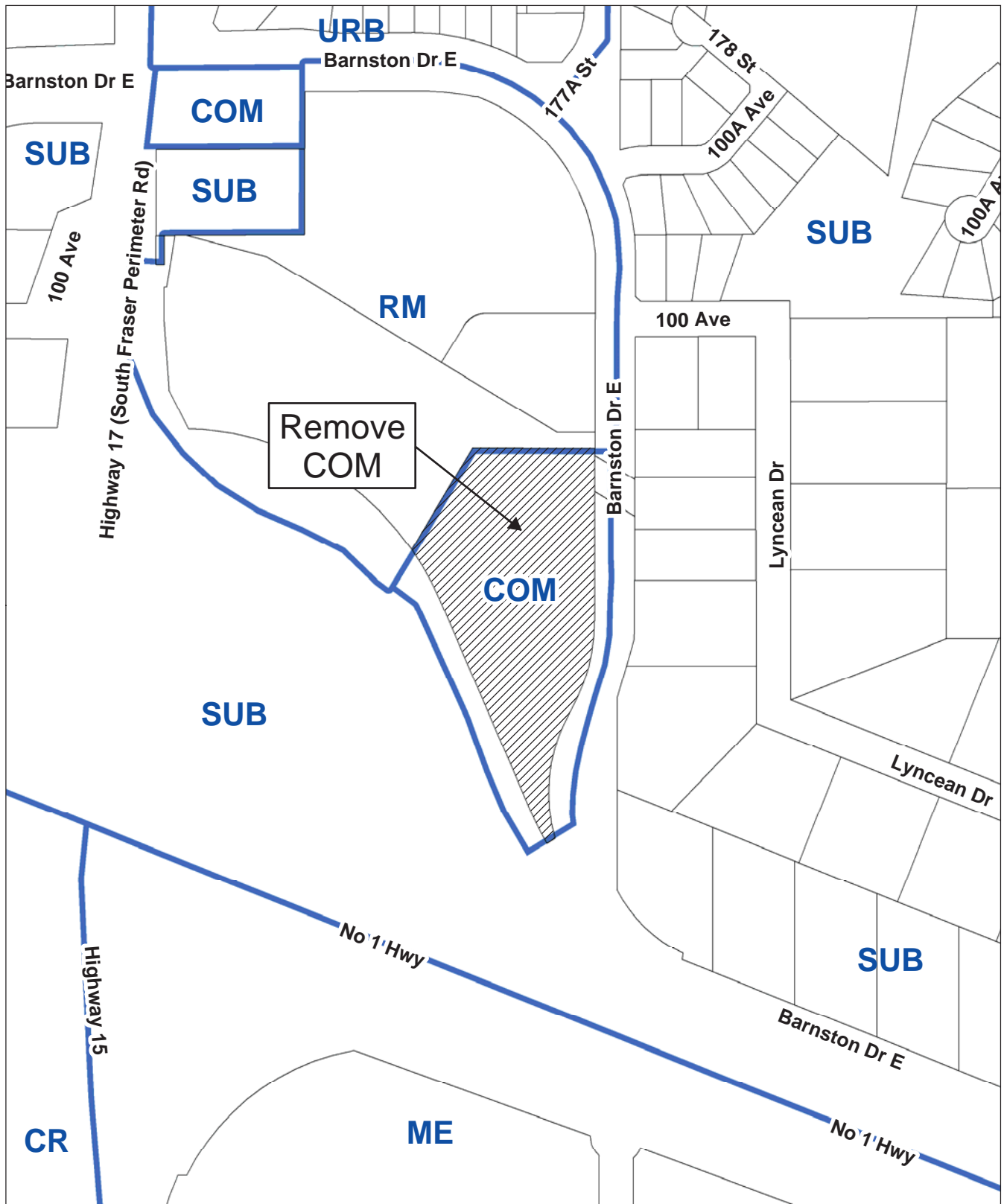




OCP Amendment 7916-0037-00  
Proposed amendment from Commercial  
to Multiple Residential in Figure 3: General  
Land Use Designations







### OCP Amendment 7916-0037-00

Proposed amendment by removing  
Commercial designation in Figure 42: Major  
Employment Areas



BYLAW NO. \_\_\_\_\_

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended

.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM:           COMPREHENSIVE DEVELOPMENT ZONE (CD) (BY-LAW NOS. 17028 AND 17882) (SURREY ZONING BY-LAW, 1993, NO. 12000 AMENDMENT BY-LAW, 2011, NO. 17028 AND AMENDMENT BY-LAW, 2013, NO. 17882)

TO:               COMPREHENSIVE DEVELOPMENT ZONE (CD)

---

Parcel Identifier: 028-675-096  
 Lot 1 District Lot 389A and 390A Group 2 New Westminster District Plan BCP49206  
 9933 - Barnston Drive East

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

**A. Intent**

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium density, mixed-use buildings, *ground-oriented multiple unit residential buildings* and related *amenity spaces*, which are to be developed in accordance with a *comprehensive design*.

The *Lands* are divided into Blocks A and B as shown on the Survey Plan attached hereto and forming part of this Bylaw as Schedule A, certified correct by Lorin Levac, B.C.L.S. on the 3<sup>rd</sup> day of March, 2017.

**B. Permitted Uses**

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. Block A

- (a) *Retail stores* excluding *adult entertainment stores*, auction houses, *secondhand stores* and *pawnshops*;
- (b) *Personal service uses* excluding *body rub parlours*;
- (c) *General service uses* excluding funeral parlours and *drive-through banks* and *rental vehicles*;
- (d) *Beverage container return centres*;
- (e) *Eating establishments* excluding *drive-through restaurants*;
- (f) *Neighbourhood pubs*;
- (g) *Liquor store*;
- (h) Office uses excluding *social escort services* and *methadone clinics*;
- (i) *Indoor recreational facilities*;
- (j) *Entertainment uses* excluding *arcades* and *adult entertainment stores*;
- (k) *Child care centres*;
- (l) *Community services*; and
- (m) *Multiple unit residential building* may be provided subject to such use forming an integral part of the commercial uses on the *lot*.

2. Block B

- (a) *Multiple unit residential buildings* and *ground-oriented multiple unit residential buildings*.
- (b) *Child care centres*, provided that such centres:
  - i. Do not constitute a singular use on the *lot*; and
  - ii. Do not exceed a total area of 3.0 square metres [32 sq.ft.] per *dwelling unit*.

**C. Lot Area**

Not applicable to this Zone.

#### D. Density

1. For the purpose of *building* construction, the *floor area ratio* shall not exceed 0.1.
2. Where amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended, the maximum *floor area ratio* shall be increased as follows:
  - (a) Block A: The *floor area ratio* shall not exceed 1.17; and
  - (b) Block B: The *floor area ratio* shall not exceed 0.80.
3. Notwithstanding the definition of *floor area ratio*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section D of this Zone, and further provided that the *floor area ratio* calculated from the cumulative floor areas of the *buildings* within all of the air space parcels and the remainder *lot* of the airspace subdivision shall not exceed the maximum specified in Section D.2 of this Zone.
4. The indoor *amenity space* required in Sub-section J.1(b) of this Zone is excluded from the calculation of *floor area ratio*.

#### E. Lot Coverage

1. Block A
  - (a) The *lot coverage* shall not exceed 40%; and
  - (b) Notwithstanding the definition of *lot coverage*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section E of this Zone, and further provided that the *lot coverage* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Section E.1(a) of this Zone.
2. Block B: The *lot coverage* shall not exceed 48%.



**F. Yards and Setbacks**

*Buildings and structures shall be sited in accordance with the following minimum setbacks:*

1. Block A

	<i>Setback</i>	<i>Front Yard (east)</i>	<i>Rear Yard (west)</i>	<i>Side Yard (north)</i>	<i>Side Yard (south)</i>
<b>Use</b>					
<i>Principal Buildings &amp; Accessory Buildings and Structures</i>		4.0 m. [13 ft.]	7.5 m. [25 ft.]	5.0 m. [16.5 ft.]	7.5 m. [25 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Block B

	<i>Setback</i>	<i>Front Yard (east)</i>	<i>Rear Yard (west)</i>	<i>Side Yard (north)</i>	<i>Side Yard (south)</i>
<b>Use</b>					
<i>Principal Buildings</i>		5.0 m. [13 ft.]	7.5 m. [25 ft.]	7.5 m. [25 ft.]	4.5 m. [15 ft.]
<i>Amenity Space Building</i>		6.0 m. [20 ft.]	6.0 m. [20 ft.]	7.5 m. [25 ft.]	4.5 m. [15 ft.]
<i>All Other Accessory Buildings and Structures</i>		6.0 m. [20 ft.]	6.0 m. [20 ft.]	7.5 m. [25 ft.]	4.5 m. [15 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

3. The minimum setbacks of *principal buildings* and *accessory buildings* and *structures* from interior *lot lines* for *lots* created by an air space subdivision may be 0.0 metre [0 ft.].
4. Notwithstanding the definition of *setback* in Part 1 Definitions of Surrey Zoning By-law, 1993, No.12000, as amended, decks, architectural features and roof overhangs may encroach 1.5 metre [4.5 ft.] into the required *setbacks*.
5. Notwithstanding Sub-section E.17(b) of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended, stairs with more than three risers may encroach into the required *setbacks*.

## G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

### 1. Block A

- (a) Principal buildings: The *building height* shall not exceed 19 metres [62.5 ft.]; and
- (b) Accessory buildings and structures: The *building height* shall not exceed 4.5 metres [15 ft.].

### 2. Block B

- (a) Principal buildings: The *building height* shall not exceed 12 metres [39.5 ft.];
- (b) Indoor amenity space buildings: The *building height* shall not exceed 11 metres [36 ft.]; and
- (c) Other accessory buildings and structures: The *building height* shall not exceed 4.5 metres [15 ft.].

## H. Off-Street Parking

### 1. Block A

- (a) Non-residential parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended;
- (b) Resident and visitor *parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended; and
- (c) All required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*.

### 2. Block B

- (a) Resident and visitor *parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended;
- (b) All required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*;
- (c) Parking within the required *setbacks* is not permitted;

- (d) *Tandem parking for ground-oriented multiple unit residential buildings* shall be permitted as follows:
- i. A maximum of fifty percent (50%) of all required resident *parking spaces* may be provided as *tandem parking spaces*, excluding *parking spaces* provided as *underground parking*;
  - ii. *Dwelling units* with *tandem parking spaces* shall not be permitted direct vehicular access to an adjacent *highway*;
  - iii. Access to *parking spaces* provided as *tandem parking* is not permitted within 6 metres [20 ft.] from *lot* entrances/exits;
  - iv. *Tandem parking spaces* must be attached to each *dwelling unit*; and
  - v. Both *tandem parking spaces* must be held by the same owner.

## I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be:
  - (a) located within the *underground parking* or within a *building* on Block A as shown on the Survey Plan attached as Schedule A; and
  - (b) screened to a height of at least 2.5 metres [8 ft.] by *buildings, a landscaping* screen, a solid decorative fence, or a combination thereof, on Block B as shown on the Survey Plan attached as Schedule A.

## J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
  - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit* and shall not be located within the required *setbacks* on Block B as shown on the Survey Plan attached as Schedule A; and

- (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*.
- 2. *Child care centres* shall be located on the *lot* such that these centre have direct access to an *open space* and play area within the *lot*.
- 3. *Balconies* are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 square metres [50 sq. ft.] per *dwelling unit*, whichever is greater.

**K. Subdivision**

- 1. *Lots* created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	
Block A	3,900 sq.m. [0.96 acre]
Block B	10,000 sq.m. [2.5 acres]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

- 2. Air space parcels and the remainder *lot* created through an air space subdivision in this Zone are not subject to Section K.1.

**L. Other Regulations**

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

- 1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
- 2. Prior to any use, the Block A *Lands* as shown on the Survey Plan attached as Schedule A, must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-70 Zone for the residential portion and the C-8 Zone for the commercial portion.
- 3. Prior to any use, the Block B *Lands* as shown on the Survey Plan attached as Schedule A, must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-30 Zone.
- 4. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.



- 5. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
- 6. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
- 7. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
- 8. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
- 9. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2016, No. 18664, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-70 Zone for the residential portion and the C-8 Zone for the commercial portion for Block A, and the development cost charges shall be based on the RM-30 Zone for Block B.
- 10. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
- 11. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.
- 12. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002, c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.
- 13. Provincial licensing of *neighbourhood pubs* is regulated by the Liquor Control and Licensing Act, R.S.B.C. 1996, c. 267, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, \_\_\_\_\_, No. \_\_\_\_\_."

PASSED FIRST READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_.

PASSED SECOND READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_.

PUBLIC HEARING HELD thereon on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_.

PASSED THIRD READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_ MAYOR

\_\_\_\_\_ CLERK

BLOCK PLAN TO ACCOMPANY CITY OF SURREY ZONING BYLAW NO. \_\_\_\_\_ OVER LOT 1 DISTRICT LOT 389A AND 390A GROUP 2 N.W.D. PLAN BCP49206

BCGS 92G.017  
CITY OF SURREY  
SCALE 1:1500

BOOK OF REFERENCE

ZONE	LEGAL DESCRIPTION	AREAS
BLOCK A	LOT 1 DISTRICT LOT 389A AND 390A GROUP 2 N.W.D. PLAN BCP49206	3947.4 m <sup>2</sup>
BLOCK B	LOT 1 DISTRICT LOT 389A AND 390A GROUP 2 N.W.D. PLAN BCP49206	10734.1 m <sup>2</sup>



NUM	ARC	RADIUS
C1	34.221	165.772
C2	19.815	145.780
C3	53.158	95.000
C4	23.389	95.000
C5	55.395	106.500

Derived from Land Title and Survey Authority records this 3rd day of March, 2017



Lorin Levac BCLS 881

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Surrey, B.C. V3W 1E6  
Phone: 604 501-6188  
Fax: 604 501-6189  
File: 0908001-Z03.DWG

THIS PLAN LIES WITHIN THE  
GREATER VANCOUVER REGIONAL DISTRICT

THIS DOCUMENT IS NOT VALID UNLESS  
ORIGINALLY SIGNED AND SEALED





NOTE: SITE PLAN PREPARED BY  
 SURREY DESIGN ARCHITECTS

1 SITE PLAN  
 A2 SCALE: 1" = 100'

