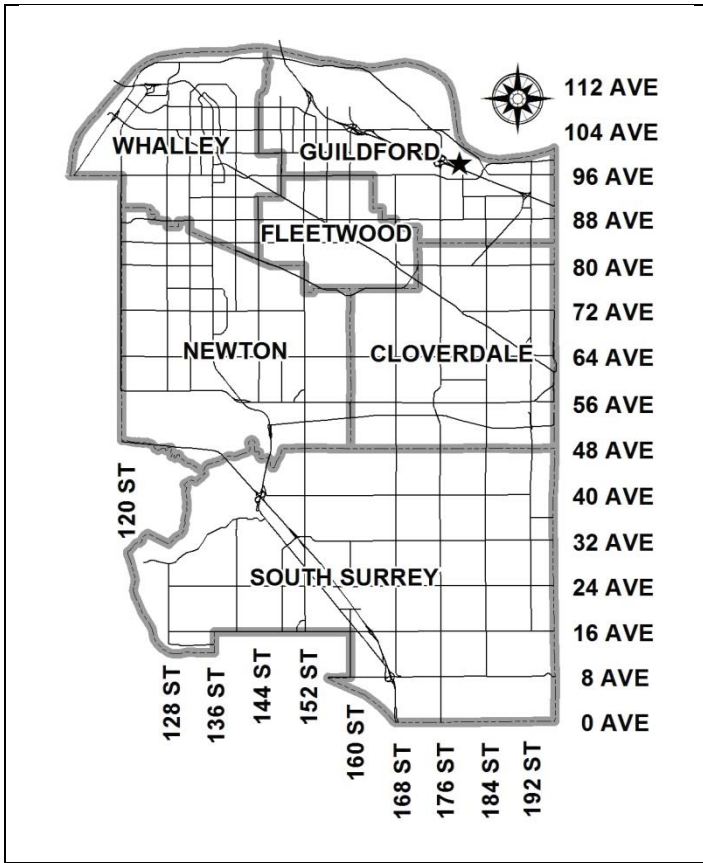


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7916-0032-00

Planning Report Date: February 6, 2017



**PROPOSAL:**

- **OCP Amendment** from Suburban to Urban
- **Rezoning** from RA to CD (based on RF) and RF-13 to allow subdivision into 49 single family lots

**LOCATION:**

17855, 17845, 17821 and  
 17795 - Barnston Drive E  
 9849, 9863 and  
 9873 - Lyncean Drive

**OWNER:**

Canadian Horizons (Abbey Ridge)  
 Land Corp.

**ZONING:**

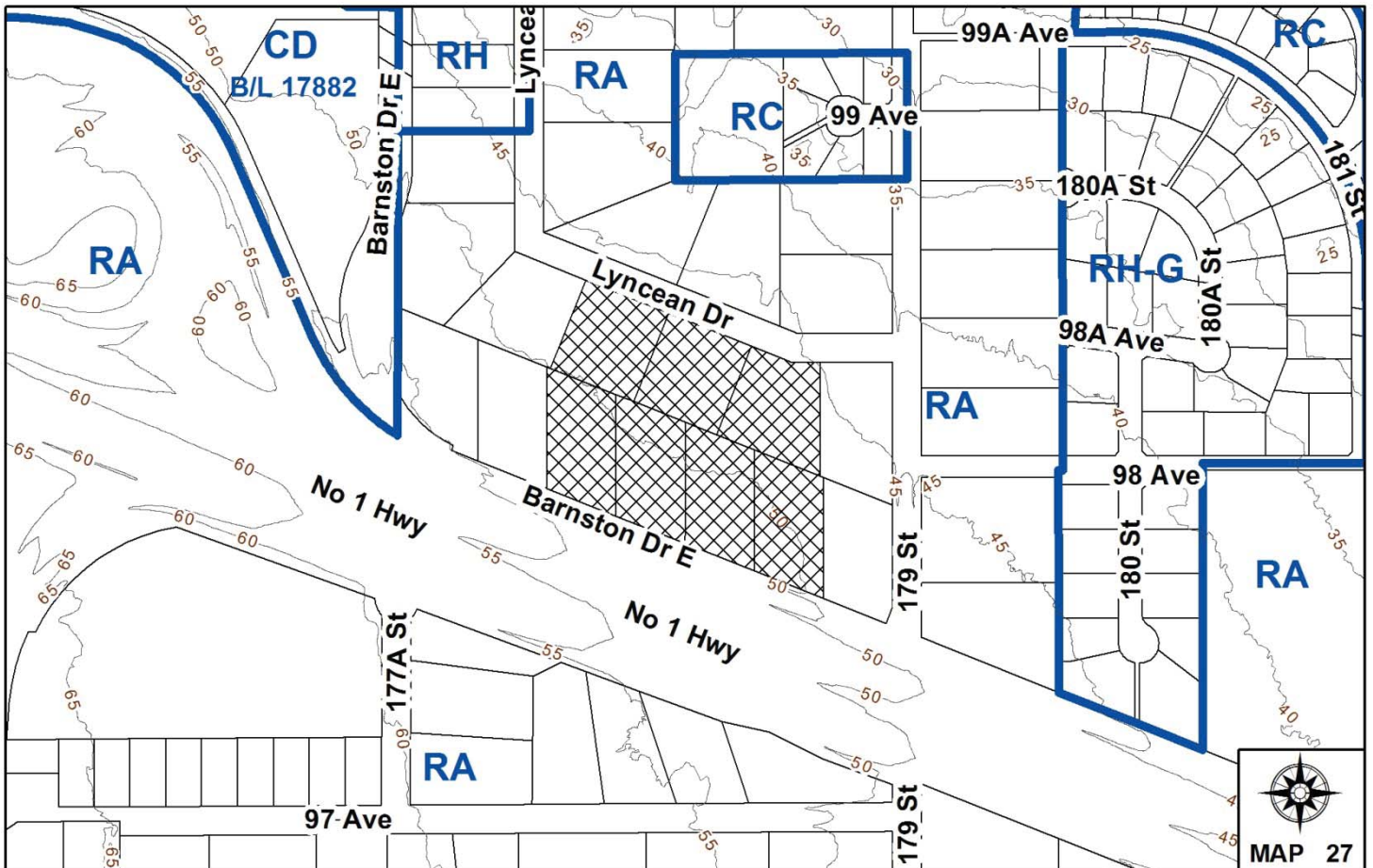
RA

**OCP DESIGNATION:**

Suburban

**LAP DESIGNATION:**

Urban Transition 4-5 upa and  
 Urban Residential 8-10 upa



### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
  - OCP Amendment; and
  - Rezoning.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

### RATIONALE OF RECOMMENDATION

- Complies with the "Urban Transition 4-5 UPA, 20 m. minimum lot width" and "Urban Residential 8-10 UPA" designations in the Abbey Ridge Local Area Plan (LAP), which received Stage 1 approval from Council on December 14, 2015 (Corporate Report No. R243; 2015).
- A CD By-law (based on the RF Zone) is proposed for proposed Lots 1-8 to provide transitional-sized lots a minimum of 20 metres (66 ft.) wide, interfacing with existing Suburban lots to the north along Lyncean Drive.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend the OCP by redesignating the subject site from Suburban to Urban and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. a By-law be introduced to rezone a portion of the subject site shown as Blocks I, II and III on Schedule A of the attached CD Bylaw (Appendix IX) from "One-Acre Residential Zone (RA )" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. a By-law be introduced to rezone a portion of the subject site shown as Blocks A, B, C and D on the attached Survey Plan (Appendix I) from "One-Acre Residential Zone (RA )" to "Single Family Residential (13) Zone (RF-13)" and a date be set for Public Hearing.
5. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) approval from the Ministry of Transportation & Infrastructure;
  - (d) approval from the Ministry of Forests, Lands and Natural Resource Operations under the Water Act;
  - (e) approval from the Department of Fisheries and Oceans;
  - (f) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
  - (h) the applicant secure road dedication for the extension of the new Huckleberry Drive from the property to the east at 9843 - Lyncean Drive;
  - (i) submission of an acoustical report and registration of a Section 219 Covenant to ensure implementation of noise mitigation measures;
  - (j) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
  - (k) Stage 2 approval of the Abbey Ridge Local Area Plan; and

- (1) final adoption of Zoning Amendment By-law, 2016, By-law No. 18772, incorporating the RF-13 Zone in the Zoning By-law.

**REFERRALS**

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

25 Elementary students at Bothwell Elementary School  
 12 Secondary students at Fraser Heights School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by July 2018.

Parks, Recreation & Culture: Parks will accept compensation within Barnston Park for the elimination of the Class B watercourse.

Ministry of Transportation & Infrastructure (MOTI): Preliminary approval of the rezoning is granted for one year by MOTI.

**SITE CHARACTERISTICS**

Existing Land Use: Single family dwellings on one-acre lots, which will be removed.

Adjacent Area:

Direction	Existing Use	OCP and Stage 1 Abbey Ridge LAP Designation	Existing Zone
North (Across Lyncean Drive):	Single family dwellings on 1-acre lots.	Suburban in OCP and Future Neighbourhood Park in LAP	RA
East:	Single family dwellings on 1-acre lots.	Suburban in OCP and Urban Transition 4-5 UPA and Urban Residential 8-10 UPA in LAP	RA
South (Across Barnston Drive and Highway No. 1):	Single family dwellings on 1-acre lots.	Suburban in OCP and Light Industrial in Anniedale Tynehead NCP.	RA
West:	Single family dwellings on acreage.	Suburban in OCP and Urban Transition 4-5 UPA and Urban Residential 8-10 UPA in LAP	RA

### DEVELOPMENT CONSIDERATIONS

- The subject site is located on the north side of Barnston Drive, to the west of 179 Street in East Fraser Heights. The subject site is designated Suburban in the Official Community Plan (OCP) and is currently zoned "One-Acre Residential Zone (RA)".
- The subject site is also located within the Abbey Ridge Local Area Plan (LAP) area. The Abbey Ridge LAP received Council's Stage 1 approval for the preferred land use concept on December 14, 2015 (Corporate Report No. R243; 2015), and the preferred land use designation for the subject site is "Urban Transition 4-5 UPA, 20-metre minimum lot width" on the northern portion of the site and "Urban Residential 8-10 UPA" on the southern portion of the site.
- The applicant is proposing to rezone the subject site from "One-Acre Residential Zone (RA)" to "Single Family Residential (13) Zone (RF-13)" and "Comprehensive Development Zone (CD)" (based on the RF Zone), in order to allow subdivision into 49 single family lots. The proposal complies with the Stage 1 Abbey Ridge LAP.
- The subject site is designated Suburban in the OCP. An OCP Amendment is required to redesignate the site from Suburban to Urban in order to comply with the "Urban Transition 4-5 UPA, 20-metre minimum lot width" and "Urban Residential 8-10 UPA" designations in the Stage 1 Abbey Ridge LAP.
- The applicant proposes three new roads within the development site: a frontage road located parallel to Barnston Drive, a new north-south half-road (177B Street) along the western portion of the site, and a new east-west road which will bisect the site in accordance with the Abbey Ridge LAP. The new east-west road is on an angle and has been assigned the name Huckleberry Drive, which reflects the native huckleberry species within the area.
- Proposed Lots 1-8 will have access from Lyncean Drive, proposed Lots 9-22 and 25-36 will have access from the new Huckleberry Drive, proposed Lots 23 and 24 will have access from 177B Street, and proposed Lots 37-48 will have access from the Barnston Drive Frontage Road.
- 177B Street will be completed to the ultimate 20-metre (66 ft.) wide cross-section when the property to the west redevelops in accordance with the Abbey Ridge LAP.
- The subject proposal also includes 4 metres (13 ft.) of dedication for a future ultimate 8-metre (26-ft.) wide walkway connecting Huckleberry Drive to Lyncean Drive.
- Proposed Lots 1-8 are proposed to be rezoned to CD (based on RF). The CD By-law is designed to facilitate the transition lots in accordance with the Abbey Ridge LAP to interface with the existing Suburban lots on the north side of Lyncean Drive (see CD By-law Section). The uses and densities proposed in the CD Zone will be similar to the RF Zone, but will have larger lot area and will require a minimum of 20 metres (66 ft.) in width in accordance with the requirements in the Abbey Ridge LAP.
- Proposed Lots 9-49 are proposed to be rezoned to RF-13. All of the proposed lots meet the minimum area and dimensional requirements of the proposed RF-13 Zone (which is currently at Third Reading).

- The RF-13 Zone will be considered for Final Adoption just prior to the first rezoning application proposing the RF-13 Zone being considered for Final Adoption.
- Due to the proximity of the subject site to Highway No. 1, the applicant will be required to submit an acoustical report making recommendations for noise mitigation measures on the proposed lots as a condition of final adoption of the rezoning by-law. A covenant will be registered on the title of the proposed lots outlining the noise mitigation measures recommended in the report.

### Building Scheme and Lot Grading

- Andy Igel, AIBC Architect of Aplin & Martin Consultants Ltd. has prepared a Neighbourhood Character Study and Building Scheme for the proposed subdivision. The character study involved reviewing a number of existing homes in the neighbourhood and considering the standards of newer construction in order to establish suitable design guidelines for the proposed subdivision. A summary of the design guidelines is attached (Appendix V).
- Preliminary lot grading plans were prepared and submitted by Aplin & Martin Consultants Ltd. and the plans have been reviewed by staff and are generally acceptable.
- Basements are proposed for each of the 49 lots. Final confirmation on whether in-ground basements are achievable will be determined once final Engineering drawings have been reviewed and accepted by the City's Engineering Department.

### Proposed CD By-law

- The applicant is proposing to rezone the northern portion of the subject site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" based on the "Single Family Residential Zone (RF)", in order to allow subdivision into 8 oversized transitional single family lots fronting Lyncean Drive.
- The RF Zone requires a minimum lot size of 560 square metres (6,000 sq.ft.) and 15-metre (50-ft.) minimum lot width.
- The uses and densities proposed in the CD By-law are similar to the RF Zone, but a larger minimum lot area of 700 square metres (7,500 sq.ft.) is required along with a minimum lot width of 20 metres (66 ft.) in accordance with the requirements in the Abbey Ridge LAP.
- The floor area ratio, lot coverage and setbacks in the CD By-law will be identical to those in the RF Zone.
- A comparison between the proposed CD By-law and the RF Zone is provided in the table below.

	RF Zone	Proposed CD By-law
Density		
Units per hectare / units per acre	14.8 u.p.h. / 6 u.p.a.	13.3 u.p.h. / 5 u.p.a.
Floor Area Ratio (FAR)		
Lot size	560 sq.m. (6,000 sq.ft.)	700 sq.m. (7,500 sq.ft.)

	RF Zone	Proposed CD By-law
Lot width	15 m. (50 ft.)	20 m. (65 ft.)
Lot depth	30 m. (100 ft.)	34 m. (111 ft.)
Setbacks		
Front yard	7.5 m. (25 ft.)	7.5 m. (25 ft.)
Rear yard	7.5 m. (25 ft.)	7.5 m. (25 ft.)
Side yard	1.8 m. (6 ft.)	1.8 m. (6 ft.)

### Proposed Riparian Protection

- There is an existing unnamed Class B watercourse located within Lyncean Drive which is proposed to be eliminated. The applicant has submitted an environmental report which recommends compensation at a 2:1 ratio with Barnston Park, an existing City-owned park.
- The proposed compensation is acceptable in principle with Parks staff. However the applicant will be required to consult with the neighbours adjacent to Barnston Park in order to reclaim some of the passive grass as natural area.
- A Water Act application is required for the elimination of this watercourse with compensation in nearby parkland.

### PRE-NOTIFICATION

Pre-notification letters were sent on November 22, 2016, and the Development Proposal Signs were installed on November 14, 2016. Staff received 26 responses from neighbouring residents including from the Fraser Heights Community Association (*staff comments in italics*).

- The Fraser Heights Community Association (FHCA) voiced their opposition to the proposal and to the densities proposed in the Abbey Ridge LAP in general. Residents expressed concern that the proposed RF-13 zoned lots are too small in comparison to the existing homes within Abbey Ridge/East Fraser Heights. The homes will be too large for the proposed lot sizes and not in keeping with the existing character of the neighbourhood.

*(The proposed RF-13 lots comply with the "Urban Residential 8-10 UPA" designation in the Abbey Ridge Local Area Plan (LAP), which received Stage 1 approval on December 14, 2015 (Corporate Report No. R243; 2015).)*

- The proposed RF-13 zoned homes will have suites and will have inadequate parking available on the lots which will result in too many vehicles parking on the street.

*(Based on the proposed lot grading, basements can be achieved on all of the proposed lots. The Zoning By-law permits one secondary suite in all single family homes.)*

*There will be 4 parking spaces provided on each lot, based on 2 in the garage and 2 in the driveway. The completion of the road frontages as part of the proposed development will create additional on-street parking opportunities.)*

- The streets are inadequate to handle the traffic volume, and there is poor connectivity to the City's Major Arterial Roads (e.g. 104 Avenue) and Provincial Highways (e.g. Highway Nos. 15 and 17).

*(The future Golden Ears Connector to the north of the subject site will be connected to 179 Street with a traffic signal. This future intersection will allow vehicles to access 104 Avenue, Highway No. 17, Highway No. 15 and Highway No. 1. 179 Street will ultimately be completed with pavement widening, concrete curbs, sidewalks, and street lighting with future developments as per the Abbey Ridge LAP.)*

- Concerns about over-crowding at Fraser Heights Secondary School.

*(With the potential increase in residential development associated with the Abbey Ridge LAP, the School District is currently evaluating future capital requests for this area.)*

- East Fraser Heights is lacking in bus service, parks and commercial shopping areas to support the growing community.

*(While at this time there are no existing transit services within the Abbey Ridge LAP, 104 Avenue, 100 Avenue, and Barnston Drive will be designed to accommodate bus stops in anticipation of future bus services along these main corridors. Staff will continue to work with TransLink to better define potential future bus service for the area.)*

*The Abbey Ridge LAP proposes three new or expanded neighbourhood parks, serving the western, central and eastern neighbourhoods.*

*There are 1.46 hectares (3.6 acres) of land designated for future commercial uses in the Abbey Ridge LAP. This land is currently under Development Application No. 7916-0037-00 (pre-Council) which is proposing mixed use with a commercial component.)*

- A few of the respondents wanted to know what type of development they could expect adjacent to their existing homes.

*(Staff reviewed each of the addresses and advised of the development potential of their lots and adjacent lots.)*

- Two (2) respondents indicated support of the proposed development

#### JUSTIFICATION FOR PLAN AMENDMENT

- The proposed Urban designation is consistent with the intended land use in the Stage 1 Abbey Ridge LAP.
- As described in Corporate Report No. R243; 2015, it is anticipated that individual OCP Amendment applications will be brought forward, where applicable, with the companion rezoning applications.



**PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT**

Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

**TREES**

- Peter Mennel, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

<b>Tree Species</b>	<b>Existing</b>	<b>Remove</b>	<b>Retain</b>
<b>Alder and Cottonwood Trees</b>			
Alder / Cottonwood	4	4	0
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Ash, Mountain	1	1	0
Cherry	6	6	0
Chestnut	2	2	0
Dogwood	1	1	0
Honeylocust	1	1	0
Maple, Bigleaf	3	3	0
Maple, Norway	1	1	0
Oak	1	1	0
Willow, Weeping	4	4	0
<b>Coniferous Trees</b>			
Cedar, Deodar	5	5	0
Cedar, Western Red	31	31	0
Cedar, Yellow	2	2	0
Douglas-Fir	19	19	0
Falsecypress	12	11	1
Hemlock, Western	8	8	0
Pine	1	1	0
Pine, Austrian	8	8	0
Pine, Scots	1	1	0
Pine, Ponderosa	2	2	0
Pine, Shore	2	0	2
Spruce	2	2	0
Spruce, Blue	2	2	0
Spruce, Norway	1	1	0
Spruce, Sitka	1	1	0
Various Species	16	16	0
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>133</b>	<b>130</b>	<b>3</b>

Tree Species	Existing	Remove	Retain
<b>Total Replacement Trees Proposed</b> (excluding Boulevard Street Trees)		<b>106</b>	
<b>Total Retained and Replacement Trees</b>		<b>109</b>	
<b>Contribution to the Green City Fund</b>		<b>\$63,200</b>	

- The Arborist Assessment states that there are a total of 133 mature trees on the site, excluding Alder and Cottonwood trees. Four (4) existing trees, approximately 2 % of the total trees on the site, are Alder and Cottonwood trees. It was determined that 3 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 264 replacement trees on the site. Since only 106 replacement trees can be accommodated on the site (based on an average of 3 trees per lot), the deficit of 158 replacement trees will require a cash-in-lieu payment of \$63,200, representing \$400 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.
- In addition to the replacement trees, boulevard street trees will be planted on the new Lyncean Drive, Huckleberry Drive, 177B Street, and Barnston Drive. This will be determined by the Engineering Department during the servicing design review process.
- In summary, a total of 109 trees are proposed to be retained or replaced on the site with a contribution of \$63,200 to the Green City Fund.

**SUSTAINABLE DEVELOPMENT CHECKLIST**

The applicant prepared and submitted a sustainable development checklist for the subject site on November 18, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>• Located within the Abbey Ridge Local Area Plan</li> </ul>
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>• A range of lot and house sizes proposed.</li> <li>• Secondary suites proposed.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>• Absorbent soils proposed, and other provisions according to the Abbey Ridge LAP.</li> <li>• Garbage, recycling, and organics pickup available.</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>• Front-loaded lots proposed to create a more animated street frontage.</li> <li>• 4m pathway dedication from Huckleberry Drive to Lyncean Drive.</li> <li>• Frontage road provided for increased pedestrian and vehicle safety along Barnston.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>• Front-loaded garages allows for increased surveillance of and by the community.</li> <li>• Pedestrian path will not be constructed until other half is achieved and / or the park is secured by the City to avoid creating an unsafe pedestrian condition.</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>• N/A</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>• Developer and planning consultants held a voluntary meeting with the Fraser Heights Community Association.</li> </ul>

**INFORMATION ATTACHED TO THIS REPORT**

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary, Project Data Sheets and Survey Plan
Appendix II.	Proposed Subdivision Layout
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Building Design Guidelines Summary
Appendix VI.	Summary of Tree Survey and Tree Preservation
Appendix VII.	LAP Plan
Appendix VIII.	OCP Redesignation Map
Appendix IX.	Proposed CD By-law

INFORMATION AVAILABLE ON FILE

- Environmental Report Prepared by Envirowest Consultants Ltd. Dated November 7, 2016
- Environmental Report Prepared by Envirowest Consultants Ltd. Dated January 9, 2016

*original signed by Judith Robertson*

Jean Lamontagne  
General Manager  
Planning and Development

LM/da

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent:       Name:                Anya Paskovic  
  Aplin & Martin Consultants Ltd.  
  Address:           13450 - 102 Avenue, Suite 1680  
  Surrey, BC V3T 5X3
  
2.     Properties involved in the Application
  - (a)     Civic Addresses:       17855 - Barnston Drive E  
  17845 - Barnston Drive E  
  17821 - Barnston Drive E  
  17795 - Barnston Drive E  
  9849 - Lyncean Drive  
  9863 - Lyncean Drive  
  9873 - Lyncean Drive
  
  - (b)     Civic Address:       17855 - Barnston Drive E  
  Owner:             Canadian Horizons (Abbey Ridge) Land Corp.  
  PID:                009-083-081  
  Lot 21 District Lot 390"A" Group 2 New Westminster District Plan 29126
  
  - (c)     Civic Address:       17845 - Barnston Drive E  
  Owner:             Canadian Horizons (Abbey Ridge) Land Corp.  
  PID:                009-083-120  
  Lot 22 District Lot 390"A" Group 2 New Westminster District Plan 29126
  
  - (d)     Civic Address:       17821 - Barnston Drive E  
  Owner:             Canadian Horizons (Abbey Ridge) Land Corp.  
  PID:                006-989-276  
  Lot 23 District Lot 390A Group 2 New Westminster District Plan 29126
  
  - (e)     Civic Address:       17795 - Barnston Drive E  
  Owner:             Canadian Horizons (Abbey Ridge) Land Corp.  
  PID:                002-670-721  
  Lot 24 of District Lot 390"A" Group 2 New Westminster District Plan 29126
  
  - (f)     Civic Address:       9849 - Lyncean Drive  
  Owner:             Canadian Horizons (Abbey Ridge) Land Corp.  
  PID:                007-023-812  
  Lot 34 District Lot 390A Group 2 New Westminster District Plan 43614
  
  - (g)     Civic Address:       9863 - Lyncean Drive  
  Owner:             Canadian Horizons (Abbey Ridge) Land Corp.  
  PID:                007-024-096  
  Lot 35 District Lot 390A Group 2 New Westminster District Plan 43614

(h) Civic Address: 9873 - Lyncean Drive  
Owner: Canadian Horizons (Abbey Ridge) Land Corp  
PID: 007-024-118  
Lot 36 District Lot 390A Group 2 New Westminster District Plan 43614

3. Summary of Actions for City Clerk's Office

- (a) Introduce a By-law to amend the Official Community Plan to redesignate the site.
- (c) Introduce a By-law to rezone the site.
- (e) Application is under the jurisdiction of MOTI.  
MOTI File No. 2016-06161

## SUBDIVISION DATA SHEET

Proposed Zoning: CD (based on RF) and RF-13

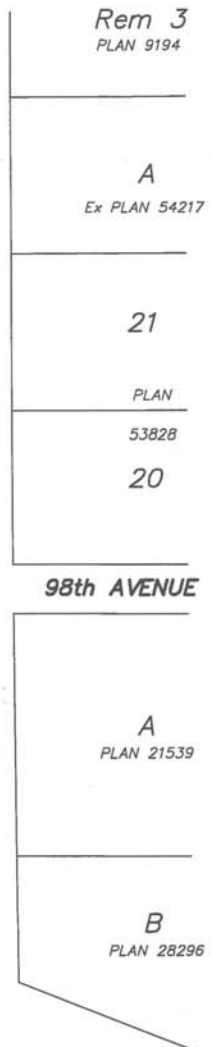
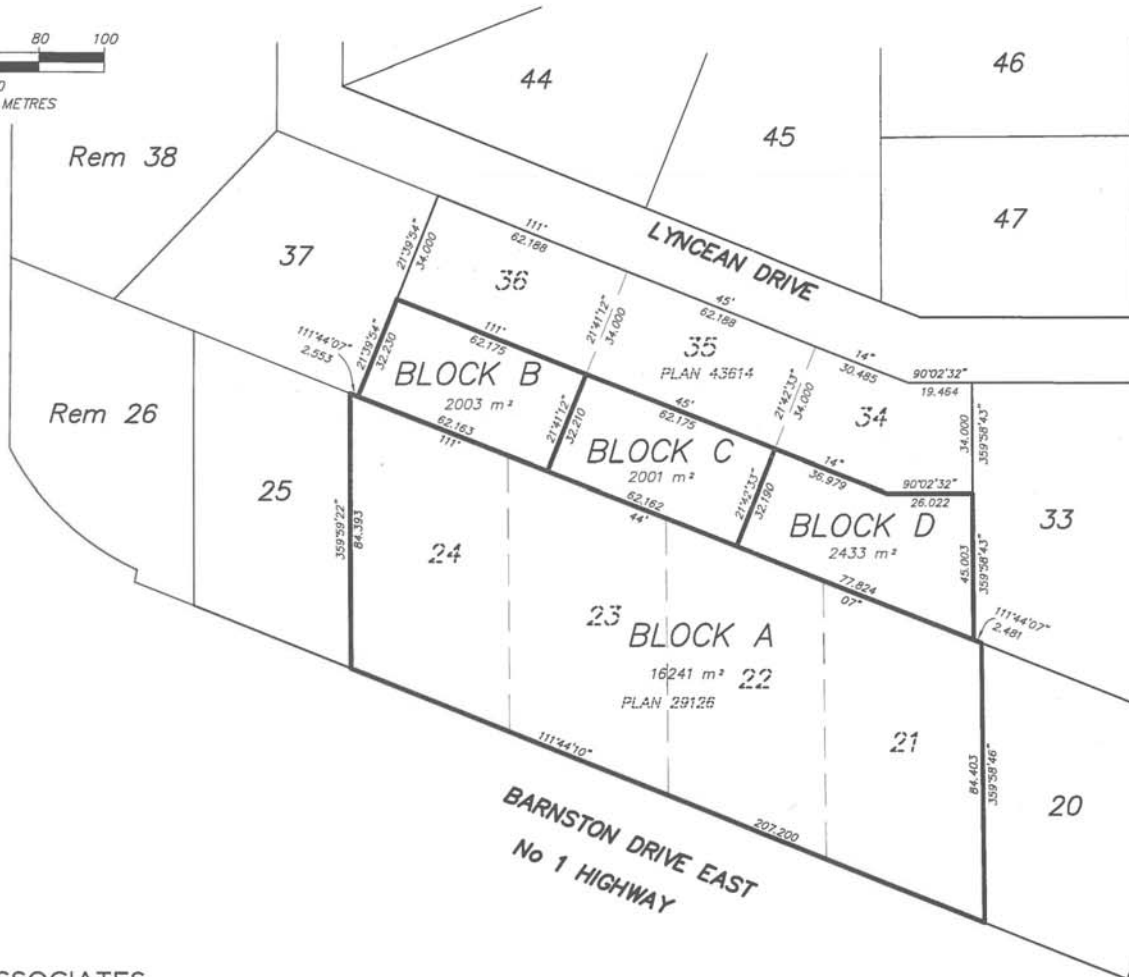
Requires Project Data	Proposed	
	CD (like RF)	RF-13
<b>GROSS SITE AREA</b>		
Acres	9.5 Ac	
Hectares	3.8 Ha	
<b>NUMBER OF LOTS</b>		
Existing	7	
Proposed	49 (8 CD & 41 RF-13)	
<b>SIZE OF LOTS</b>		
Range of lot widths (metres)	20.0-21.6 m.	13.4 – 18.2 m.
Range of lot areas (square metres)	703 -904 sq.m.	343-559 sq.m.
<b>DENSITY</b>		
Lots/Hectare & Lots/Acre (Gross)	10.1 uph / 4.1 upa	18.1 uph / 7.3 upa
Lots/Hectare & Lots/Acre (Net)	13.3 uph / 5 upa	22.8 uph / 9.3 upa
<b>SITE COVERAGE (in % of gross site area)</b>		
Maximum Coverage of Principal & Accessory Building	34-38%	45%
Estimated Road, Lane & Driveway Coverage	5%	5%
Total Site Coverage	39-43%	50%
<b>PARKLAND</b>		
Area (square metres)	N/A	
% of Gross Site	N/A	
<b>Required</b>		
<b>PARKLAND</b>		
5% money in lieu	YES	
<b>TREE SURVEY/ASSESSMENT</b>		
YES		
<b>MODEL BUILDING SCHEME</b>		
YES		
<b>HERITAGE SITE Retention</b>		
NO		
<b>FRASER HEALTH Approval</b>		
NO		
<b>DEV. VARIANCE PERMIT required</b>		
Road Length/Standards	NO	
Works and Services	NO	
Building Retention	NO	
Others	NO	

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY ZONING BYLAW \_ \_ \_  
OVER LOTS 21 TO 24 INCLUSIVE, PLAN 29126  
AND  
PORTIONS OF LOTS 34 TO 36 INCLUSIVE, PLAN 43614,  
ALL OF DISTRICT 390A, GROUP 2, NEW WESTMINSTER DISTRICT**

92G.017



SCALE 1 : 1500  
ALL DISTANCES ARE IN METRES



CERTIFIED CORRECT DATED THIS  
17th DAY OF JANUARY, 2017.

*[Signature]*  
B. C. L. S.

**MURRAY & ASSOCIATES**  
PROFESSIONAL LAND SURVEYORS  
201-12448 82nd AVENUE  
SURREY, BC V3W 3E9  
(604) 597-9189





Canadian Horizons  
 Single Family Subdivision  
 9873, 9863, 9849 Lyncean Dr.  
 17795, 17821, 17845, 17855 Barnston Dr. E.

**SUBDIVISION CONCEPT  
 OPTION 1**

- RF-13  
 Defined Net Area  
 (1.8 Ha / 4.4 Ac)
  
- CD (based on RF)  
 Defined Gross Area  
 (0.8 Ha / 1.96 Ac)

**GROSS SITE AREA**  
 2.88 hectares / 7.12 acres (approx.)

**NET SITE AREA**  
 2.16 hectares / 5.34 acres (approx.)

**EXISTING DESIGNATIONS**  
 Zoning: RA  
 NCP: N/A (Future Abby Ridge)  
 OCP: Suburban

**PROPOSED DESIGNATIONS**  
 Zoning: CD (based on RH-G)/ RF-13  
 NCP: N/A  
 OCP: Urban

**CD (based on RF) DENSITY**  
 Defined Gross Area: 0.79 Ha / 1.96 Ac  
 Number of Lots: 8  
 Defined Gross Density: 10.1 uph / 4.1 upa

**RF-13 DENSITY**  
 Defined Net Area: 1.8 Ha / 4.4 Ac  
 Number of Lots: 41  
 Defined Net Density: 22.8 uph / 9.3 upa

**TOTAL LOT YIELD**  
 Existing Number of Lots: 7  
 Proposed Number of Lots: 49



Scale: 1:1250



Project No.: 14-352  
 Date: 26 / 01 / 2017

Drawing  
**1**

NOTE: Conceptual layout only, subject to change without notice. Property of Aplin & Martin Consultants Ltd. and not to be reproduced or used without written permission by the Company.

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TO: **Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **February 1, 2017** PROJECT FILE: **7816-0032-00**

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RE: **Engineering Requirements  
Location: 9873/9863/9849 Lyncean Drive and 17795/17821/17845 Barnston Drive**

**REZONE/SUBDIVISION**

***Property and Right-of-Way Requirements***

- Dedicate 17.2 metres north from the existing south edge of the pavement along Barnston Drive for the Unique Collector Road Standard.
- Dedicate 11.6 metres for the Barnston Drive Frontage Road. Additional Dedications required at the intersection of the frontage road with 177B Street and 179 Street to facilitate 6.0 metre queuing distance from Barnston Drive.
- Dedicate 18.0 metres for the Unnamed Road to connect to 98 Avenue at 179 Street (to be further referred to as 98 Avenue) for the ultimate 18.0 metre Through Local Road Standard.
- Dedicate 11.5 metres for 178 Street for the Half Road Standard.
- Dedicate 3.0 x 3.0 metre corner cuts at the intersections of 177B Street and Barnston Drive Frontage Road, 177B Street and 98 Avenue, 98 Avenue and 179 Street.
- Dedicate 4.0 metres between 98 Avenue and Lyncean Drive towards the ultimate 8.0 metre Pathway Dedication.
- Provide a 0.50 metre Statutory Right-of-Way (SRW) along Lyncean Drive, Barnston Drive Frontage Road, 98 Avenue, and 178 Street.

***Works and Services***

- Construct Barnston Drive to the Unique Collector Standard.
- Construct the Barnston Drive Frontage Road to the Frontage Road Standard.
- Construct the south side of Lyncean Drive and 98 Avenue to the Through Local Road Standard
- Construct 178 Street to the Half Road Standard
- Construct the walkway between 98 Avenue and Lyncean Drive
- ***Provide all necessary approvals to allow the removal of the Class "B" watercourse along Lyncean Drive. Failure to secure the necessary approvals will require revisions to the proposed layout.***
- Construct water, storm, and sanitary mains to service the development.
- Replace the existing sanitary mains within SRW E1977-0038 between 100A Avenue to the manhole within Barnston Park and within SRW E1977-0030/E1977-0029 between the manhole located at the property line of 10245 and 10267 176 Street to the manhole located at the north property line of 10267 176 Street to eliminate the downstream constraint.
- Construct on-lot stormwater management features in accordance with the Abbey Ridge Local Area Plan.
- Provide water, storm, and sanitary service connections to each lot.

A Servicing Agreement is required prior to Rezone/Subdivision.



Rémi Dubé, P.Eng.  
Development Services Manager

CE4

NOTE: Detailed Land Development Engineering Review available on file



Thursday, December 22, 2016  
 Planning

**THE IMPACT ON SCHOOLS**

APPLICATION #: 16 0032 00

**SUMMARY**

The proposed 49 Single family with suites are estimated to have the following impact on the following schools:

**Projected # of students for this development:**

Elementary Students:	25
Secondary Students:	12

September 2016 Enrolment/School Capacity

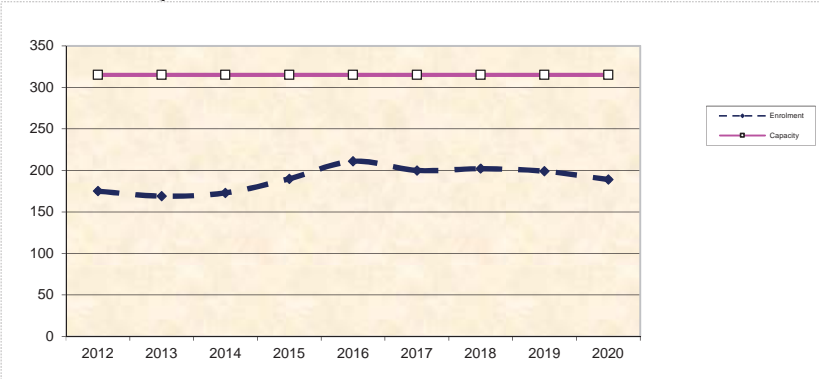
<b>Bothwell Elementary</b>	
Enrolment (K/1-7):	26 K + 185
Capacity (K/1-7):	40 K + 275
<b>Fraser Heights Secondary</b>	
Enrolment (8-12):	1405
Nominal Capacity (8-12):	1250
Functional Capacity*(8-12):	1350

**School Enrolment Projections and Planning Update:**

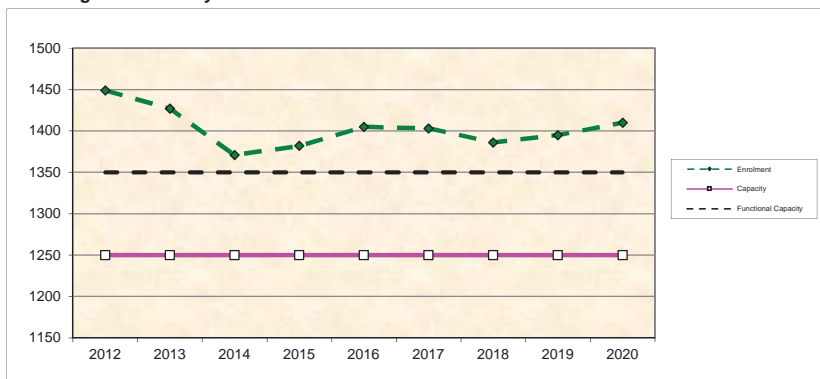
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

There is enough space at Bothwell Elementary to accommodate additional enrolment. An addition to Fraser Heights Secondary was completed in April 2014, increasing the school's nominal capacity from 1000 to 1200 + Neighbourhood Learning Centre. Fraser Heights Secondary still has some capacity constraints. With the potential increase in residential development associated with the Abbey Ridge Local Area Plan, the school district is currently evaluating future capital requests for this area.

**Bothwell Elementary**



**Fraser Heights Secondary**



\*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

## BUILDING GUIDELINES SUMMARY

**Project Location:** 9873, 9863, 9849 Lyncean Drive, 17795, 17821, 17845 & 17855 Barnston Drive East  
**Design Consultant:** Aplin & Martin Consulting Ltd., (Andy Igel)

The draft Building Scheme proposed for this Project has been filed with the City Clerk. The following is a summary of the Residential Character Study and the Design Guidelines which highlight the important features and form the basis of the draft Building Scheme.

### 1. Residential Character

#### 1.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site:

This area was built out in the 1960s and 1970s. The homes along Lycean Drive were built in the 1970s, and the homes along Barnston Drive East were built in the 1970s.

A majority of homes in this area have a floor area in the 200 - 300 sq.m. size range. Home size distribution is: 150-199 sq. m. (29%), 200-249 sq.m. (29%), 250 - 300 sq.m. (14%) and over 300 sq. m (29%). Styles found in this area include: "Old Urban", "Modern", "Neo-Heritage", and "Neo-Traditional". Home types mainly include Two-Storey and split level.

Massing scale (front wall exposure) characteristics include: Low mass (43%) and Mid-scale massing (57%) The scale (height) range for front entrance structures include: One storey front entrance (71%), one and a half storey entrance (29%).

The range of roof slopes found in this area is: 2:12 (29%), 4:12 (57%), 8:12 (14%). Main roof forms (largest upper floor truss spans) include: Main common hip roof (14%), and Main common gable roof (86%). Feature roof projection types include: Common Gable (57%), Single Pitch (14%), and none (29%). Roof surfaces include: asphalt shingles (71%) and membrane (29%).

Main wall cladding materials include: Plank (wood/Hardi) cladding (71%), Brick (14%), and Stucco (14%). Feature wall trim materials used on the front facade include: No feature veneer (29%), Brick feature veneer (29%), Plank Feature Veneer (29%), and Stone feature veneer (14%). Wall cladding and trim colours include: Neutral (71%), and Natural (29%).

Covered parking configurations include: Double garage (86%) and Triple garage (14%).

A variety of landscaping standards are evident ranging from a modest standard including sod a few shrubs, and large asphalt coverage, to a high modern standard featuring two dozen or more shrubs, sod, trees, and exposed aggregate driveways. Driveway surfaces include: exposed aggregate (43%) and asphalt (57%).

#### 1.2 Features of Surrounding Dwellings Significant to the Proposed Building Scheme:

- 1) **Context Homes:** None of existing neighbouring homes provide suitable architectural context for use at the subject site (and therefore are considered 'non-context'). Current standards of post 2010 RF developments will be used to establish the guidelines.
- 2) **Style Character :** There are a mix of old urban and modern urban styles in this neighbourhood. Preferred styles for this site include "Neo-Traditional" and "Neo-

Heritage”, as these styles are an ideal bridge between old urban and modern urban. Note that style range is not restricted in the building scheme. However, the consultant refers to the character study when reviewing plans for meeting style-character intent.

- 3) **Home Types:** While homes are largely two-storey, so some flexibility is justified. Home type (Two-Storey, Bungalow, Basement Entry, Split Level, etc.) will not be regulated in the building scheme.
- 4) **Massing Designs:** Massing designs should meet new standards for RF zoned subdivisions. New homes should exhibit “mid-scale” massing. Various elements and projections on the front of the home should be interesting architecturally, and should be in pleasing natural proportions to one another. These elements and projections should be located so as to create balance across the façade.
- 5) **Front Entrance Design:** Front entrance porticos are typically one storey in height. The recommendation is to limit the range of entrance portico heights to between one storey and 1½ storeys to ensure there is not proportional overstatement of this one element.
- 6) **Exterior Wall Cladding:** Recent housing is largely clad with plank siding (either wood or composite material), with brick and stone being used as an accent. Vinyl is not recommended on the front, nor on side walls within 3 feet of the front.
- 7) **Roof Surface:** The main roof surfacing material used in this area is asphalt shingles. The roof surface is not a uniquely recognizable characteristic of this area and so flexibility in roof surface materials is warranted. The recommendation is to permit cedar shingles, shake profile concrete roof tiles, shake profile asphalt shingles with a raised ridge cap, and new environmentally sustainable roof products that have a strong shake profile.

## 2. Proposed Design Guidelines

### 2.1 Specific Residential Character and Design Elements these Guidelines Attempt to Preserve and/or Create:

- The new homes are readily identifiable as one of the following styles: “Neo-Traditional”, “Neo-Heritage”, “Craftsman-Heritage” “Rural Heritage”, “Mid-century Modern”, or “West Coast Modern”. Note that the proposed style range is not contained within the building scheme, but is contained within the residential character study which forms the basis for interpreting building scheme regulations.
- a new single family dwelling *constructed* on any *lot* meets year 2000’s design standards, which include the proportionally correct allotment of mass between various street facing elements, the overall balanced distribution of mass within the front facade, readily recognizable style-authentic design, and a high trim and detailing standard used specifically to reinforce the style objectives stated above.
- trim elements will include several of the following: furred out wood posts, articulated wood post bases, wood braces and brackets, louvered wood vents, bold wood window and door trim, highly detailed gable ends, wood dentil details, stone or brick feature accents, covered entrance verandas and other style-specific elements, all used to reinforce the style (i.e. not just decorative).
- the development is internally consistent in theme, representation, and character.
- the entrance element will be limited in height (relative dominance) to 1 to 1 ½ storeys.

## 2.2 Proposed Design Solutions:

**Interfacing Treatment** None of existing neighbouring homes provide suitable architectural context for use at the subject site (and therefore are considered 'non-context'). Current standards of post 2010 RF developments will be used to establish the guidelines.

**Exterior Materials/Colours:** Stucco, Cedar, Vinyl, Fibre-Cement Board, Brick, and Stone. Note that vinyl siding will not be permitted on the front of the home, nor on the side of the home at any point within 3 feet of the front. Also, there must be a seamless colour transition from materials used on the front to vinyl used on the side. "Natural" colours such as browns, greens, clays, and other earth-tones, and "Neutral" colours such as grey, white, and cream are permitted. "Primary" colours in subdued tones such as navy blue, colonial red, or forest green can be considered on trim only. "Warm" colours such as pink, rose, peach, salmon are not permitted. Trim colours: Shade variation of main colour, complementary, neutral, or subdued contrast only.

**Roof Pitch:** Minimum 3:12.

**Roof Materials/Colours:** Cedar shingles, shake profile concrete roof tiles, shake profile asphalt shingles with a raised ridge cap, and new environmentally sustainable roofing products should be permitted, providing that the aesthetic properties of the new materials are equal to or better than that of the traditional roofing products. Greys, black, or browns only.

**In-ground basements:** Permitted, subject to determination that service invert locations are sufficiently below grade. Basements will appear underground from the front.

**Treatment of Corner Lots:** Significant, readily identifiable architectural features are provided on both the front and flanking street sides of the dwelling, resulting in a home that architecturally addresses both streets. One-storey elements on the new home shall comprise a minimum of 40 percent of the width of the front and flanking street elevations of the single family dwelling. The upper floor is set back a minimum of 0.9 metres [3'- 0"] from the one-storey elements.

**Landscaping:** *Moderate modern urban standard.* Tree planting as specified on Tree Replacement Plan plus minimum 40 shrubs of a minimum 3 gallon pot size. Sod from street to face of home. Driveways: exposed aggregate, interlocking masonry pavers, or stamped concrete. Broom finish concrete is permitted only where the driveway directly connects the lane to the garage slab at the rear side of the dwelling.

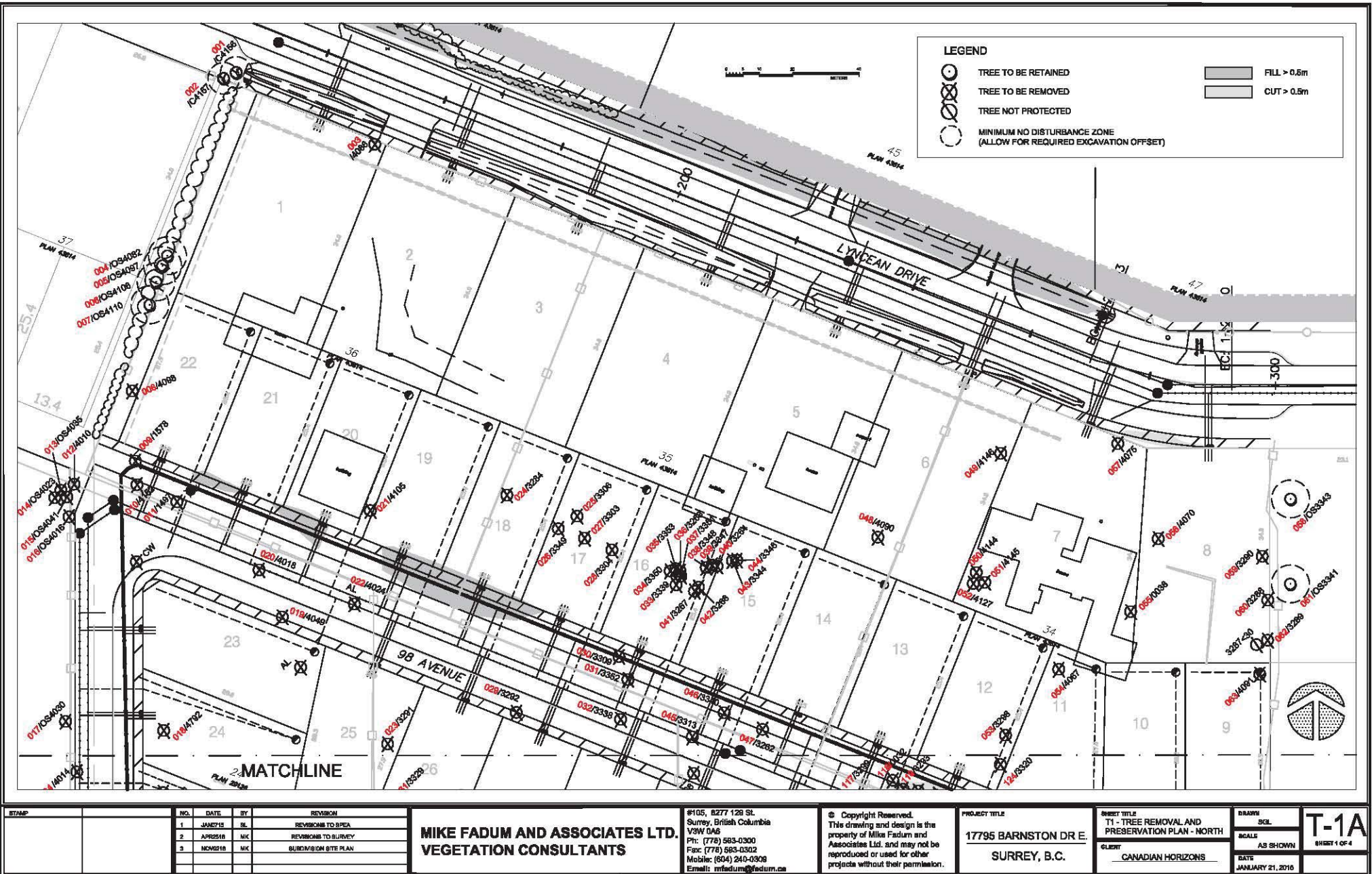
**Compliance Deposit:** \$5,000.00

**Summary prepared and submitted by:** Aplin & Martin Consultants Ltd.      **Date:** November 02, 2016

**Reviewed and Approved by:**



**Date:** November 02, 2016



NO.	DATE	BY	REVISION
1	JAN2715	SL	REVISIONS TO SPEA
2	APR2515	MIC	REVISIONS TO SURVEY
3	NOV2115	MIC	BUILDING ON SITE PLAN

**MIKE FADUM AND ASSOCIATES LTD.**  
**VEGETATION CONSULTANTS**

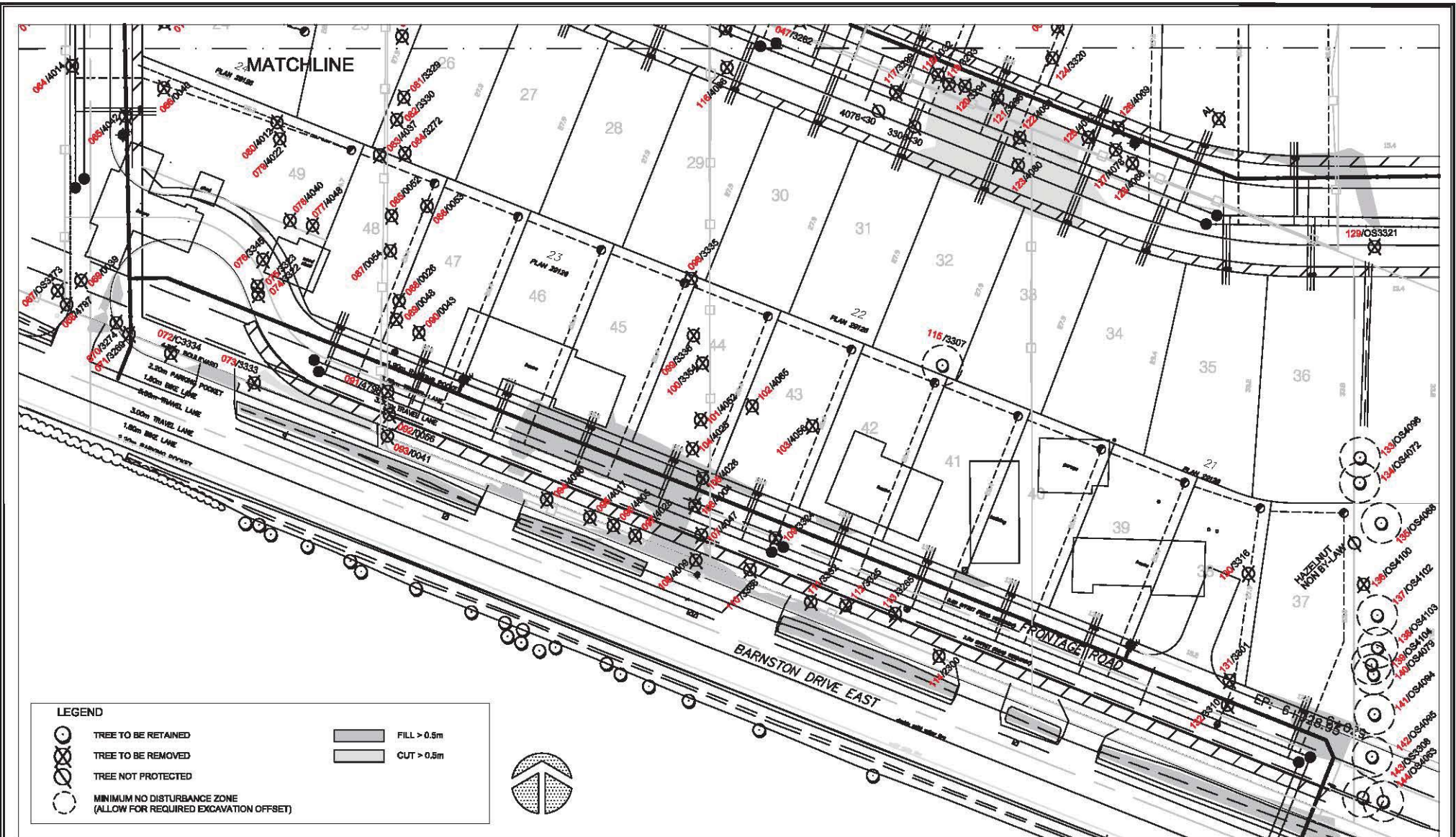
#105, 8277 128 ST.  
 Surrey, British Columbia  
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 Fax: (778) 583-0302  
 Mobile: (604) 240-0908  
 Email: mfadum@mfadum.ca

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PROJECT TITLE  
**17795 BARNSTON DR E.**  
**SURREY, B.C.**

DRAWN TITLE  
**T1 - TREE REMOVAL AND PRESERVATION PLAN - NORTH**  
 CLIENT  
**CANADIAN HORIZONS**

DRAWN  
 SCALE  
 AS SHOWN  
 DATE  
 JANUARY 21, 2016  
**T-1A**  
 SHEET 1 OF 4



NO.	DATE	BY	REVISION
1	JAN2715	SL	REVISIONS TO SPEA
2	APR2516	MIC	REVISIONS TO SURVEY
3	NOV2116	MIC	SUBDIVISION SITE PLAN

**MIKE FADUM AND ASSOCIATES LTD.**  
**VEGETATION CONSULTANTS**

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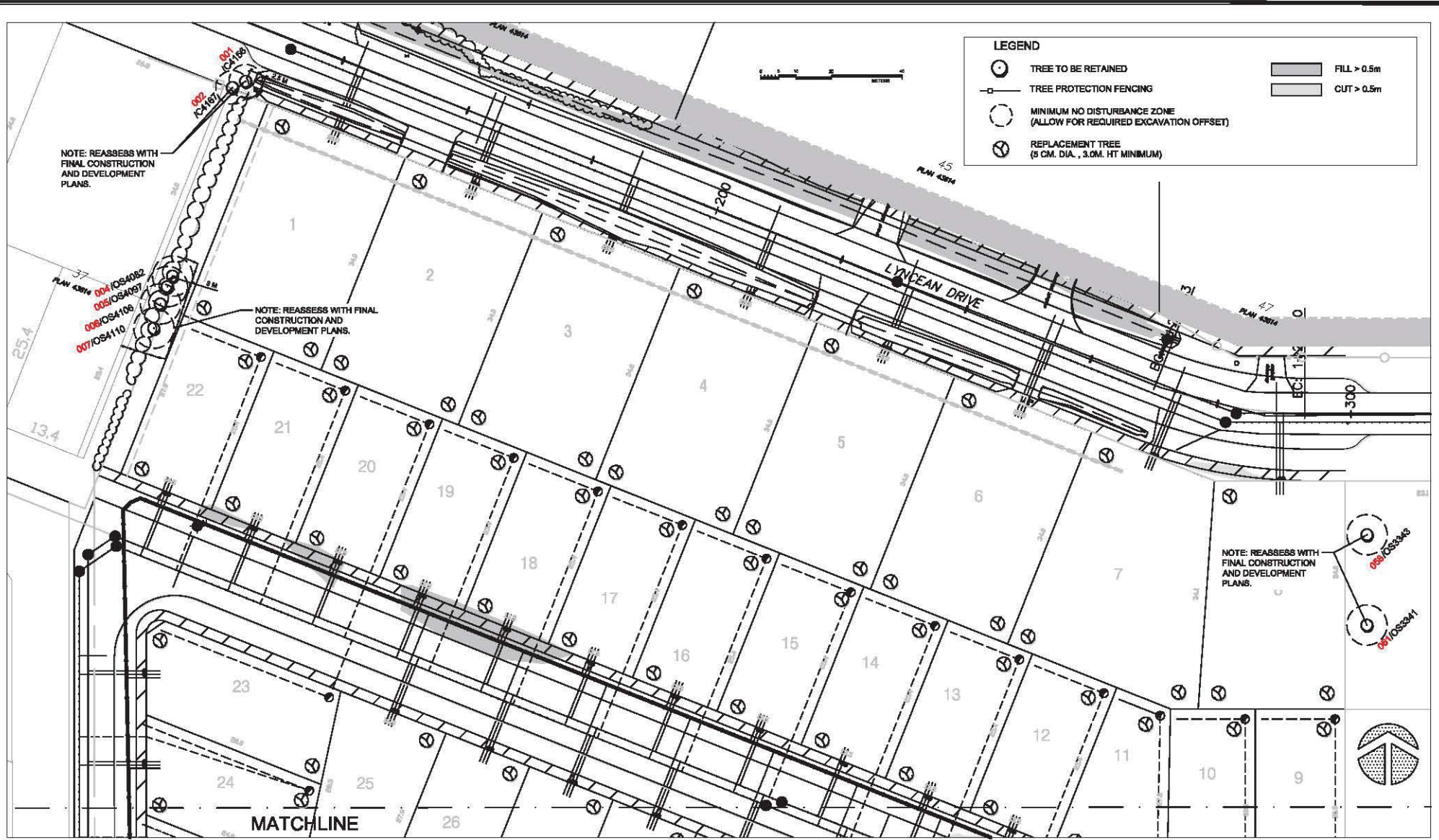
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**17795 BARNSTON DR E.**  
 SURREY, B.C.

DRAWN  
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 AS SHOWN  
 CLIENT  
**CANADIAN HORIZONS**  
 DATE  
 JANUARY 21, 2016

DRAWN  
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 SCALE  
 AS SHOWN  
 DATE  
 JANUARY 21, 2016

**T-1B**  
 SHEET 2 OF 4





STAMP	NO.	DATE	BY	REVISION
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	2	APR2515	MIC	REVISIONS TO SURVEY
	3	NOV2515	MIC	SUBDIVISION SITE PLAN

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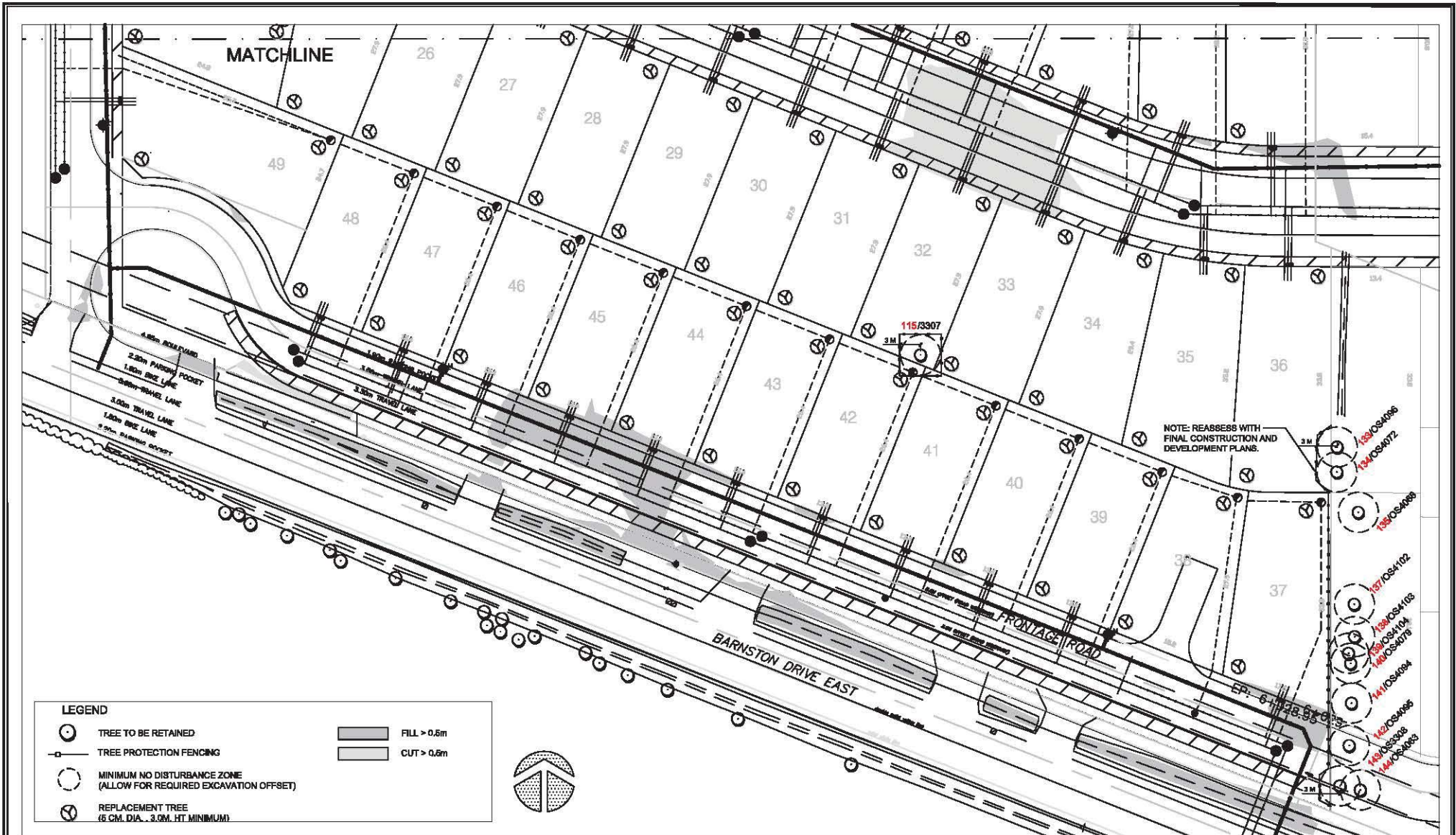
#105, 8277 128 St.  
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**SURREY, B.C.**

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**CANADIAN HORIZONS**  
 DATE  
 JANUARY 21, 2016

**T-2A**  
 SHEET 3 OF 4



NO.	DATE	BY	REVISION
1	JAN2015	SL	REVISIONS TO SPEA
2	APR2018	MIC	REVISIONS TO SURVEY
3	NOV2018	MIC	SUBDIVISION SITE PLAN

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PROJECT TITLE  
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SURREY, B.C.

CLIENT  
CANADIAN HORIZONS

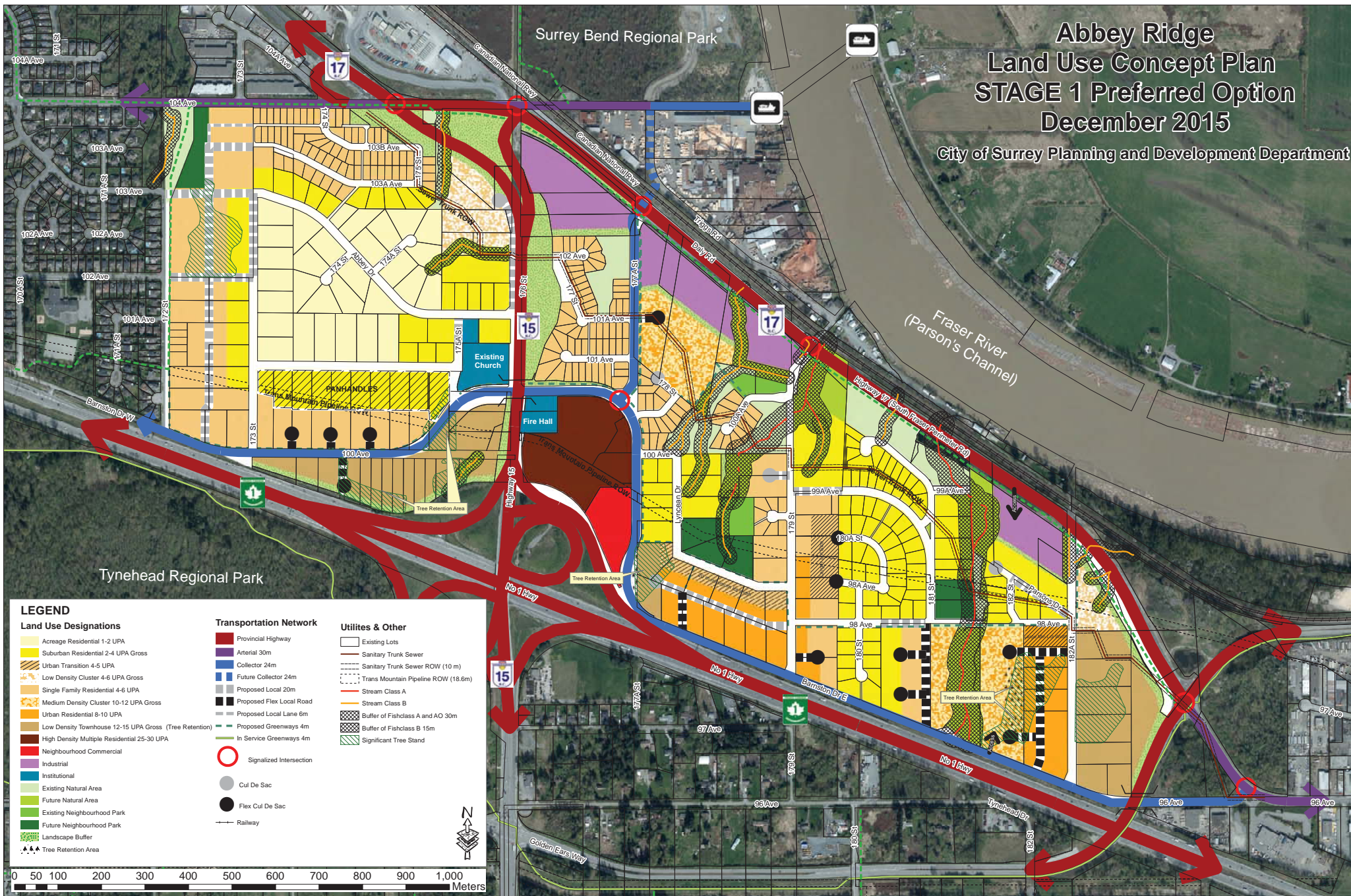
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JANUARY 21, 2010

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DATE  
JANUARY 21, 2010

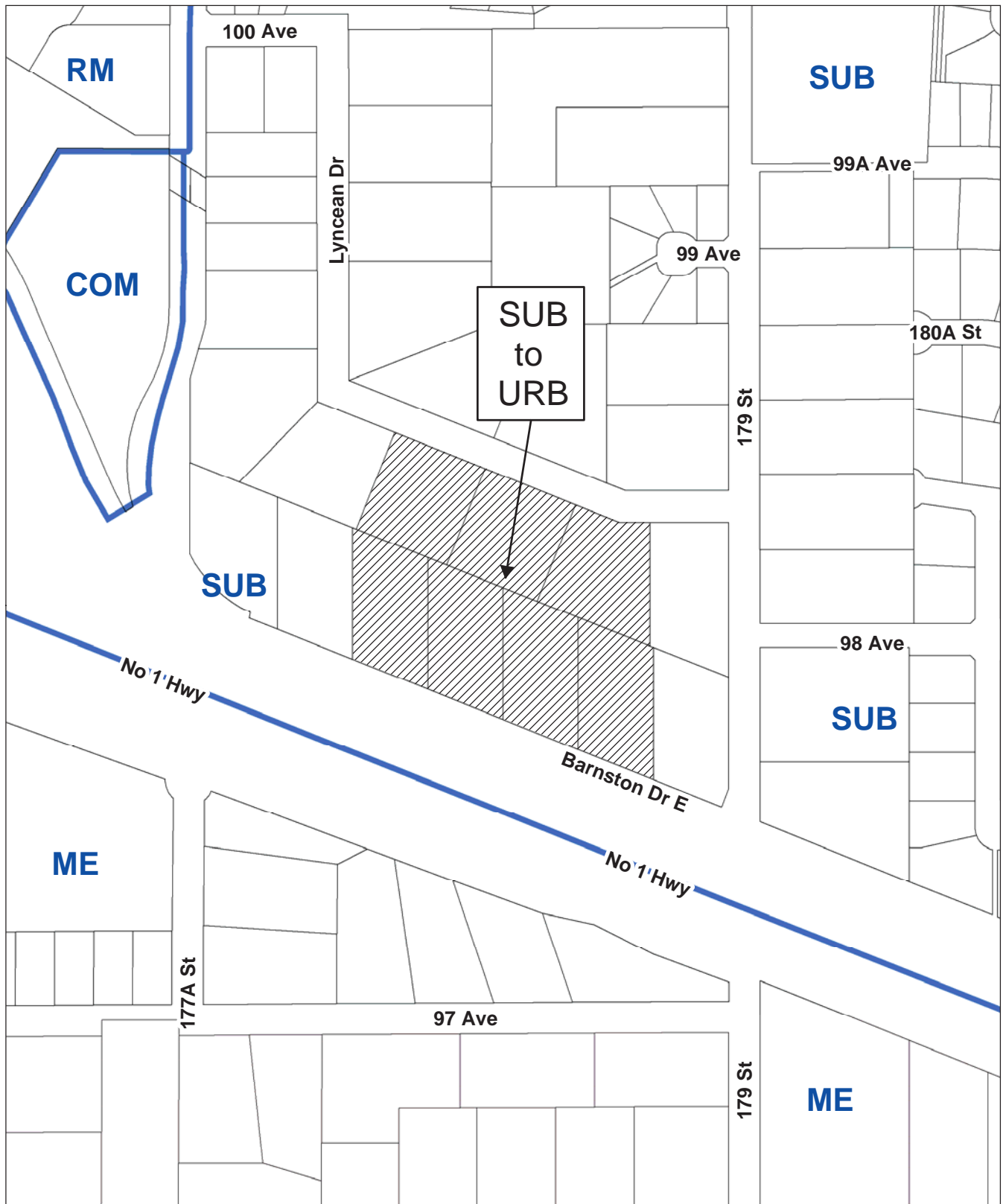
**T-2B**  
SHEET 4 OF 4

# Abbey Ridge Land Use Concept Plan STAGE 1 Preferred Option December 2015

City of Surrey Planning and Development Department



V:\Policy\Long Range\GIS\_ANALYSIS\FRASER\_HEIGHTS\East\_Fraser\_heights\_Abbey\_Ridge\LAND\_USE\_PLAN



# OCP Amendment 7916-0032-00

Proposed amendment from Suburban to Urban



BYLAW NO. \_\_\_\_\_

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended

.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

---

Portion of Parcel Identifier: 007-024-118

Lot 36 District Lot 390A Plan 43614 New Westminster District, as shown on the Survey Plan attached hereto and forming part of this Bylaw as Schedule A, certified correct by Greg Marston B.C.L.S. on the 17<sup>th</sup> day of January, 2017, containing 2,114 square metres, called Block I.

Portion of 9873 Lyncean Drive

Portion of Parcel Identifier: 007-024-096

Lot 35 District Lot 390A Plan 43614 New Westminster District, as shown on the Survey Plan attached hereto, containing 2,114 square metres, called Block II.

Portion of 9863 Lyncean Drive

Portion of Parcel Identifier: 007-023-812

Lot 34 District Lot 390A Plan 43614 New Westminster District Group 2, as shown on the Survey Plan attached hereto, containing 1,920 square metres, called Block III

Portion of 9849 Lyncean Drive

(hereinafter referred to as the "*Lands*")

2. The following regulations shall apply to the *Lands*:

**A. Intent**

This Comprehensive Development Zone is intended to accommodate and regulate the development of *single family dwellings*.

**B. Permitted Uses**

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. One *single family dwelling* which may contain 1 *secondary suite*.
2. *Accessory uses* including the following:
  - (a) *Bed and breakfast* use in accordance with Section B.2, Part 4 General Provisions, of Surrey Zoning By-law, 1993, No. 12000, as amended; and
  - (b) The keeping of *boarders* or *lodgers* in accordance with Section B.2, Part 4 General Provisions, of Surrey Zoning By-law, 1993, No. 12000, as amended.

**C. Lot Area**

Not applicable to this Zone.

**D. Density**

1. For the purpose of subdivision the maximum *unit density* is 2.5 *dwelling units* per hectare [1 u.p.a.] and the dimensions of the *lots* created in a subdivision shall be in accordance with Section K.1 of this Zone. The maximum *unit density* may be increased to 13.3 *dwelling units* per hectare [5 u.p.a.] and Section K.2 of this Zone shall apply if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. For *building* construction within a *lot*:
  - (a) The *floor area ratio* must not exceed 0.60 for the first 560 square metres [6,000 sq.ft.] of *lot* area and 0.35 for the remaining *lot* area in excess of 560 square metres [6,000 sq.ft.], provided that 39 square metres [420 sq.ft.] must be reserved for use only as a garage or carport;
  - (b) Notwithstanding Sub-section D.2.(a), the maximum allowable floor area is 465 square metres [5,000 sq.ft.];

- (c) The maximum permitted floor area of a second storey for a *principal building* must not exceed 80% of the floor area of the main floor level including attached garage and that portion of any porch or veranda at the front that is covered by a sloped roof, but not including any portion of the *structure* located within 7.5 metres [25 ft.] of the *front lot line*. The reduced floor area of the second storey shall be accomplished by an offset at the second storey level from the wall at the main floor level from either the front or side walls or a combination thereof; and
- (d) For the purpose of this Section and notwithstanding the definition of *floor area ratio* in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended, the following must be included in the calculation of *floor area ratio*:
  - i. Covered area used for parking unless the covered parking is located within the *basement*;
  - ii. The area of an *accessory building* in excess of 10 square metres [108 sq.ft.];
  - iii. Covered outdoor space with a height of 1.8 metres [6 ft.] or greater, except for a maximum of 10% of the maximum allowable floor area of which 15 square metres [160 sq. ft.] must be reserved for a front porch or veranda; and
  - iv. Floor area with extended height including staircases, garages and covered parking, must be multiplied by 2, where the extended height exceeds 3.7 metres [12 ft.], except for a maximum of 19 square metres [200 sq.ft.] on the *lot*.

#### **E. Lot Coverage**

- 1. For *lots* with a size of 750 square metres [8,000 sq.ft.] or less, the *lot coverage* shall not exceed 36%.
- 2. For *lots* with a size greater than 750 square metres [8,000 sq.ft.], the *lot coverage* shall not exceed 32%.

**F. Yards and Setbacks**

*Buildings and structures* shall be sited in accordance with the following minimum setbacks:

<b>Use</b>	<b>Setback</b>	<b>Front Yard<sup>1, 2</sup></b>	<b>Rear Yard<sup>3</sup></b>	<b>Side Yard</b>
<i>Principal Buildings</i>		7.5 m. [25 ft.]	7.5 m. [25 ft.]	1.8 m.
<i>Accessory Buildings and Structures Greater Than 10 square metres [108 sq.ft.] in Size</i>		18.0 m. [60 ft.]	1.8 m [6 ft.]	1.0 m [3 ft.]
<i>Other Accessory Buildings and Structures</i>		18.0 m [60 ft.]	0.0 m	0.0 m.

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

- 1 Except for a garage, the *front yard setback* may be relaxed at the lower floor level to 5.5 metres [18 ft.] for a maximum of 50% of the width of the *principal building*. If a minimum of 50% of the width of the *principal building* is set back 9 metres [30 ft.], the *setback* to an attached garage may be relaxed to 6.7 metres [22 ft.].
- 2 With the exception of a garage with its main access doors facing a *side yard*, an attached garage to the *principal building* must not extend towards the *highway* for more than half the depth of the said garage, measured from the front face of the *principal building*, excluding any front face of the exterior wall above the said garage. If an attached garage with its main access doors facing a *highway* contains more than 2 parallel parking bays, the additional parking bay(s) and the garage entrance leading to the additional parking bay(s) must be set back at least 0.9 metre [3 ft.] from the front of the said garage.
- 3 50% of the length of the rear *building* wall may be set back a distance of 6.0 metres [20 ft.] from the *rear lot line* provided the remainder of the *building* wall is set back at least 8.5 metres [28 ft.] from the *rear lot line*.

**G. Height of Buildings**

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings:*
  - (a) The *building height* shall not exceed 9 metres [30 ft]; and
  - (b) The *building height* of any portion of a *principal building* with a roof slope of less than 1:4 shall not exceed 7.3 metres [24 ft.]



2. Accessory buildings and structures: The *building height* shall not exceed 4 metres [13 ft.] except that where the roof slope and construction materials of an *accessory building* are the same as that of the *principal building*, the *building height* of the *accessory building* may be increased to 5 metres [16.5 ft.].

## H. Off-Street Parking

1. Resident *parking spaces* shall be provided as stated in Table C.1 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Outside parking or storage of *campers*, boats and *vehicles* including cars, trucks and *house trailers* ancillary to a residential use shall be limited as follows:
  - (a) A maximum of 3 cars or trucks;
  - (b) *House trailer, camper* or boat, provided that the combined total shall not exceed 1; and
  - (c) The total amount permitted under (a) and (b) shall not exceed 3.
3. *Vehicle* parking may be permitted in either the *front yard* or *side yard* subject to the following:
  - (a) No off-street *parking space* shall be permitted within the required *front yard* or *side yard setback* except on a *driveway*. *Driveways* may be constructed off the *frontage*;
  - (b) *Parking spaces* shall be located only on a *driveway* leading to a garage, carport or parking pad, in a garage, in a carport, or on a parking pad; and
  - (c) The total area surfaced or paved for a *driveway* shall be as follows:
    - i. Every *lot* may have one *driveway* with a uniform width of 8.0 metres [26 ft.] extending from the *lot line* to the garage, carport, or parking pad on the *lot*;
    - ii. Notwithstanding Sub-section H.3.(c) i additional *driveway* width may also be allowed to provide access to additional *parking spaces* in a garage, carport or parking pad, where the garage, carport or parking pad has more than 2 side by side *parking spaces*, provided that such width is no more than 3 metres [10 ft.] times the number of adjacent side by side *parking spaces* measured at the required *front yard setback* and is uniformly tapered over the required *front yard* to a width of 8 metres [26 ft.] at the *front lot line*; and

- iii. Notwithstanding Sub-sections H.3.(c) i and ii, a *driveway* shall not exceed 53% of the total area of the *front yard* or required *side yard* within which the *driveway* is located.
4. No outside parking or storage of a *house trailer* or boat is permitted within the *front yard setback*, or within the required *side yards* adjacent the *dwelling unit*, or within 1 metre [3 ft.] of the *side lot line*, except as follows:
  - (a) Either 1 *house trailer* or 1 boat may be parked in the front *driveway* or to the side of the front *driveway* or in the *side yard*, but no closer than 1 metre [3 ft.] to a *side lot line* nor within 1 metre [3 ft.] of the *front lot line* subject to the residential parking requirements stated in Table C.1 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended; and
  - (b) Adequate screening, as described in Section I.2 of this Zone is provided.

## I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. A minimum of 30% of the *lot* must be covered by porous surfaces.
3. The parking or storage of *house trailers* or boats shall be adequately screened by compact evergreen trees or shrubs at least 1.8 metres [6 ft.] in height and located between the said *house trailer* or boat and any point on the *lot line* within 7.5 metres [25 ft.] of the said *house trailer* or boat, in order to obscure the view from the abutting *lot* or street, except:
  - (a) Where the *driveway* or the parking area is used for parking or storage of a *house trailer* or boat, the landscape screen is not required within the said *driveway*; and
  - (b) In the case of *rear yards*, this screening requirement may be provided by a 1.8-metre [6 ft.] high solid fence.

## J. Special Regulations

1. A *secondary suite* shall:
  - (a) Not exceed 90 square metres [968 sq. ft.] in floor area; and
  - (b) Occupy less than 40% of the habitable floor area of the *building*.
2. Basement access and basement wells are permitted only between the *principal building* and the *rear lot line* and must not exceed a maximum area of 28 square metres [300 sq. ft.], including the stairs.

**K. Subdivision**

1. The *lots* created shall conform to the minimum standards prescribed in Section K of Part 12 One-Acre Residential Zone RA of the Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Where amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended, the *lots* created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
703 sq. m. [7,567 sq.ft.]	20 metres [65 ft.]	34 metres [111 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

**L. Other Regulations**

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RF Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.

8. Subdivisions shall be subject to the applicable Surrey Development Cost Charge Bylaw, 2014, No. 18148, as may be amended or replaced from time to time, and the development cost charges shall be based on the RF Zone.
9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
10. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002, c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, \_\_\_\_\_, No. \_\_\_\_\_."

PASSED FIRST READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

PASSED SECOND READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

PUBLIC HEARING HELD thereon on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

PASSED THIRD READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

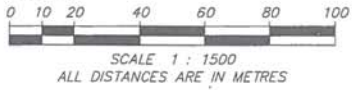
RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

\_\_\_\_\_ MAYOR

\_\_\_\_\_ CLERK

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY ZONING BYLAW  
OVER PORTIONS OF LOTS 34 TO 36 INCLUSIVE, PLAN 43614,  
ALL OF DISTRICT 390A, GROUP 2, NEW WESTMINSTER DISTRICT**

92G.017



**MURRAY & ASSOCIATES**  
PROFESSIONAL LAND SURVEYORS  
201-12448 82nd AVENUE  
SURREY, BC V3W 3E9  
(604) 597-9189

CERTIFIED CORRECT DATED THIS  
17th DAY OF JANUARY, 2017.

*[Signature]*  
B. C. L. S.