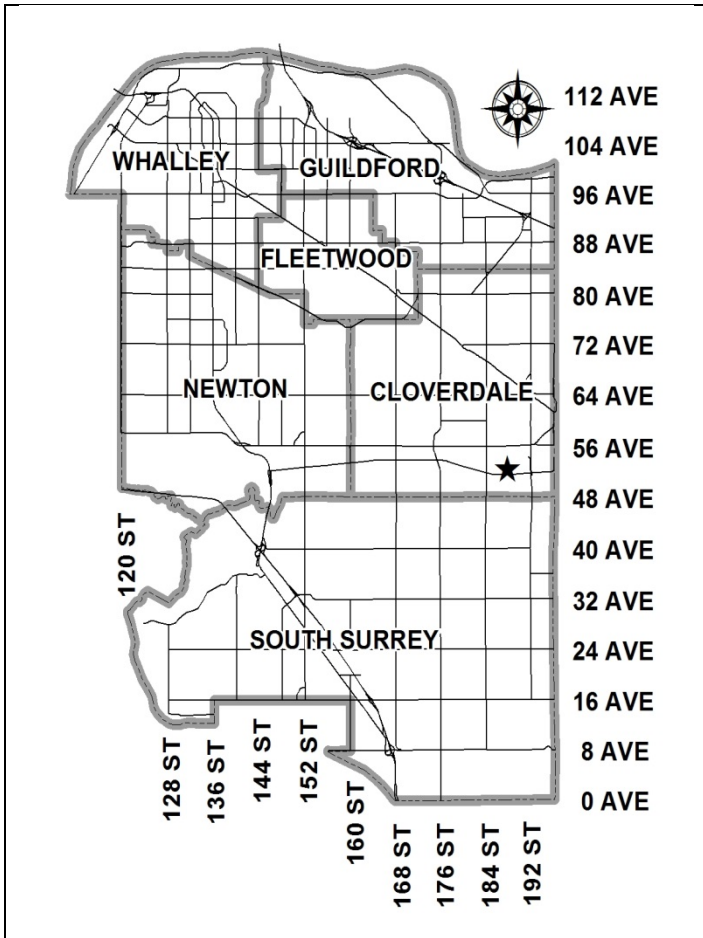


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0027-00

Planning Report Date: June 13, 2016



PROPOSAL:

- **Development Permit**

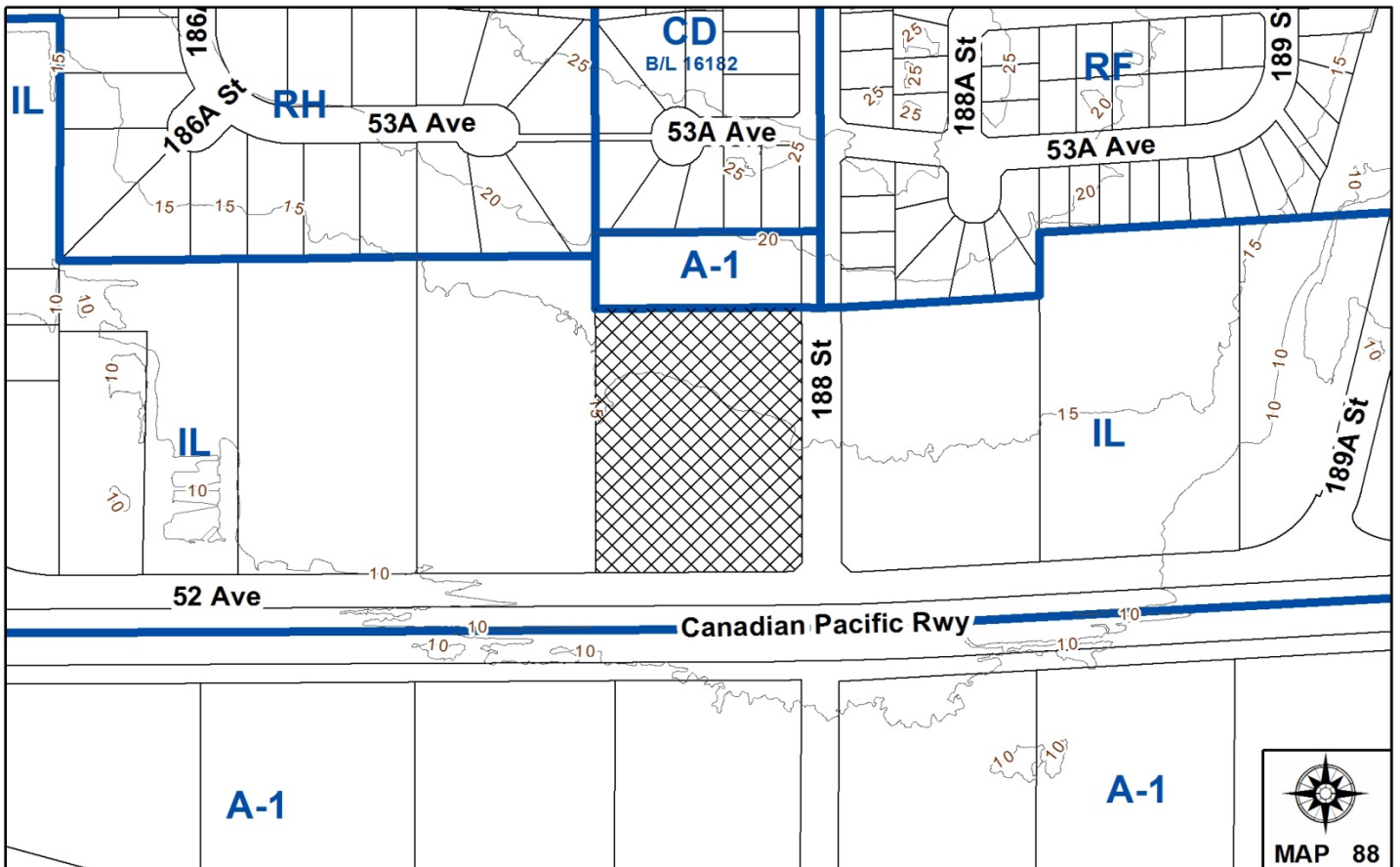
to permit the development of an industrial building.

LOCATION: 5219 - 188 Street

OWNER: 1057725 BC Ltd.

ZONING: IL

OCP DESIGNATION: Industrial



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with the Industrial designation in the OCP and with the regulations of the IL Zone.
- The proposal supports the City's Economic Development and Employment Lands Strategies.
- The proposed building form and land use are appropriate for this area.
- The building features durable materials with substantial glazing towards the street edges.
- Landscaping is proposed along the street frontages and within a 10-metre (33 ft.) wide buffer area along the north property line, adjacent residential lands.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7916-0027-00 generally in accordance with the attached drawings (Appendix II).
2. Council instruct staff to resolve the following issues prior to approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department; and
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

SITE CHARACTERISTICS

Existing Land Use: Vacant

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Single family dwelling with a childcare on 1 acre lot.	Suburban	A-1
East (Across 188 Street):	Truck parking and truck facility under construction.	Industrial	IL
South (Across 52 Avenue and rail right-of-way):	Agricultural land within the ALR.	Agricultural	A-1
West:	Vacant property.	Industrial	IL

DEVELOPMENT CONSIDERATIONS

- The subject property is located at 5219 – 188 Street at the northwest corner of 52 Avenue and 188 Street. The site encompasses an area of 1.65 hectares (4.1 acres). The subject property is designated Industrial in the Official Community Plan (OCP), and is zoned Light Impact Industrial Zone (IL).
- There was a Development Permit application on the subject site (Application No. 7914-0088-00) to permit development of four industrial buildings consisting of approximately 28 industrial units. Staff were authorized by Council to draft the Development Permit on December 15, 2014. In 2015, the property was sold and the application was subsequently closed.
- The site slopes upwards approximately 4%, or 6 metres (20 ft.) from the south end of the site to the north end of the site and slopes upwards approximately 2%, or 2 metres (7 ft.) from the west end of the site to the east end of the site.
- The site borders an acreage property to the north that is currently zoned “General Agricultural Zone (A-1)” and is designated Suburban in the OCP. Adjacent properties to the west and to the east (across 188 Street) are zoned and designated for industrial uses. The Canadian Pacific Railway is located to the south across 52 Avenue.
- The applicant is proposing a Development Permit to permit an industrial building with a primary factory and potentially a second tenant.
- The proposed building will have a floor area of 7,565 square metres (81,431 sq. ft.). The proposal represents a floor area ratio (FAR) of 0.46 and a lot coverage of 41% which is below the maximum FAR of 1.0 and lot coverage of 60% permitted in the IL Zone.
- The primary tenant is proposed to be Viaduct Sheet Metal which primarily manufactures ducting and employs approximately 100 people. The applicant hopes to occupy the proposed warehouse portion of the building by January 2017 with the office portion predicted to be completed by March 2017.

PRE-NOTIFICATION

- A development sign was installed on the property and staff have not received any responses.

DESIGN PROPOSAL AND REVIEW

Building

- The applicant proposes one industrial building with potentially two units. Viaduct Sheet Metal will occupy the majority of the building, with additional space for a potential second tenant. The proposed building is concrete tilt-up construction. The height of the proposed building is 10.7 metres (35 ft.), which is below the maximum 18 metres (60 ft.) permitted in the IL Zone.
- The proposed building is tilt-up concrete construction but features substantial amounts of glazing (windows and spandrel glass) along the front entry façades and on the portions of the building facing the street. Metal overhead doors provide access for loading primarily at the rear (west side) of the building. Three shades of grey are the primary colours used in the development.
- There is a potential for the up-lying residential properties to overlook the roof of this building. Prior to Development Permit issuance, roof top screening details are required.

Site Access and Parking

- As part of the Roberts Bank Rail Corridor (RBRC) Program, a new east-west connector route designed to accommodate industrial traffic has just been constructed between 192 Street and 184 Street, to the east, south and west of the subject site (189A Street). The new route includes a new road (189A Street) connecting 52 Avenue to 54 Avenue east of the subject site, which connects to 192 Street at a signalized intersection. Large and heavy truck traffic will not use 188 Street through the residential area north of the subject site.
- Three (3) driveway accesses are proposed; two off 52 Avenue and one off 188 Street. The proposed driveways will be highlighted by stamped concrete. The primary truck entrance is from 188 Street and the primary truck access is from the most westerly driveway on 52 Avenue. The proposed office access is from the easterly driveway on 52 Avenue.
- The primary loading area is located away from the streets along the western side of the building and includes 3 loading bays for large trucks and 5 overhead doors for smaller vehicles. Three overhead doors are proposed along the eastern side of the building, which are unable to be relocated away from the street due to the large size and logistics of moving some of the metal components manufactured on site.
- Surrey Zoning By-law No. 12000 requires 1 parking space for every 100 square metres (1,075 sq.ft.) of gross floor area for light impact industrial uses. As such, the proposal requires a total of 76 on-site parking spaces for both employees and customers of the business. A total of 108 parking spaces have been proposed on site.
- Applicant is proposing two electric vehicle parking spaces located at the southwest corner of the building.

Landscaping and Lighting

- A 10-metre (33 ft.) wide landscaped buffer is proposed along the north property line adjacent to the residential area and consists of a variety of deciduous and coniferous trees and shrubs. The proposed buffer will help transition the grade down from the property to the north with its approximate slope of 3:1.
- Landscaping is proposed along the entire length of 188 Street and 52 Avenue with a proposed width varying from 3 metres (10 ft.) to 2 metres (7 ft.). At the corner of the two streets a larger landscape area of approximately 62 square metres (671 sq. ft.) is proposed.
- Along 188 Street, 13 pine and maple trees are proposed and along 52 Avenue, seven pine and maple trees are proposed.
- The applicant proposes surface wall lighting on the building. Downward lighting is proposed along the north face adjacent to the buffer and should not impact the neighbouring suburban residential area.
- No pole lighting is proposed within the development.

Signage

- A painted fascia sign identifying the main tenant is proposed on the south elevation which complies with the Sign By-law. A free-standing sign is not proposed for this development

TREES

- Glenn Murray, ISA Certified Arborist of Froggers Creek Tree Consulting Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Cottonwood	5	5	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
White Poplar	2	0	2
Eastern Poplar	1	1	0
Black Locust	1	1	2
Coniferous Trees			
Douglas Fir	3	3	0
Shore Pine	1	1	0
Total (excluding Alder and Cottonwood Trees)	8	6	2

Total Replacement Trees Proposed (excluding Boulevard Street Trees)	34
Total Retained and Replacement Trees	36

- The Arborist Assessment states that there are a total of 8 mature trees on the site, excluding Cottonwood trees. Five (5) existing trees, approximately 38% of the total trees on the site, are Cottonwood trees. It was determined that 2 trees can be retained as part of this development proposal within the buffer area along the north property line. The proposed tree retention was assessed taking into consideration the location of services, building footprint, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 17 replacement trees on the site. The applicant is proposing 34 replacement trees, exceeding City requirements.
- The new trees on the site will consist of a variety of trees including maples, pines, dogwoods and Japanese snowball.
- In summary, a total of 36 trees are proposed to be retained or replaced on the site.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on January 26, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • Conforms to OCP and Cloverdale Local Area Plan.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • N/A
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • All metal waste will be recycled. • Approximately 36 trees will be planted and retained on the site.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • Electric vehicle stations will be provided. • Bike racks to be provided.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • CPTED principles have been applied
6. Green Certification (F1)	<ul style="list-style-type: none"> • All metal waste will be recycled

Sustainability Criteria	Sustainable Development Features Summary
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • Building is being designed for an owner who will be the end user.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
 Appendix II. Site Plan, Building Elevations, Landscape Plans and Perspective
 Appendix III. Engineering Summary
 Appendix IV. Summary of Tree Survey and Tree Preservation

original signed by Judith Robertson

Jean Lamontagne
 General Manager
 Planning and Development

JKS/dk

\\file-server1\net-data\csdc\generate\areaproduct\save\10164470097.doc
 KD 6/8/16 2:13 PM

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Bartek Fara Foszyn
Bartek Construction Ltd.
Address: 19892 - 44 Avenue
Langley, BC V3A 3E2
Tel: 778-990-9663

2. Properties involved in the Application

(a) Civic Address: 5219 - 188 Street

(b) Civic Address: 5219 - 188 Street
Owner: 1057725 B.C. Ltd.
Director Information:
Mark Alan Halvorsen
Officer Information:
Mark Alan Halvorsen (Director/President)
Debbie Halvorsen (Secretary)

PID: 010-083-618
Lot "A" Section 4 Township 8 New Westminster District Plan 15256

DEVELOPMENT DATA SHEET

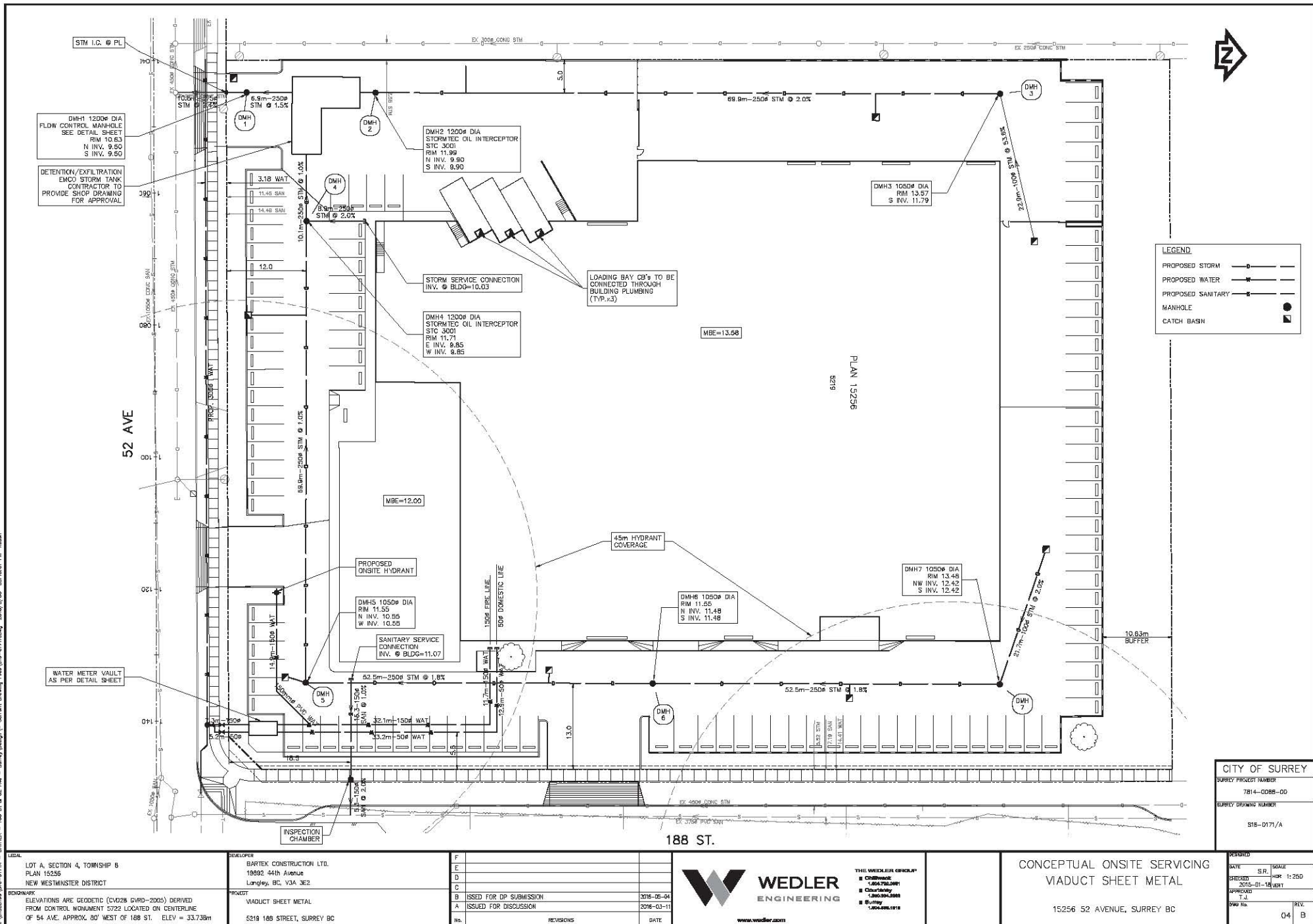
Existing Zoning: IL

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA (in square metres)		
Gross Total		16,509 m ²
Road Widening area		1171 m ²
Undevelopable area		984 m ²
Net Total		14,355 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	60%	41%
Paved & Hard Surfaced Areas		48%
Total Site Coverage		89%
SETBACKS (in metres)		
Front (South)	7.5 m	7.5 m
Rear (North)	7.5 m	25.9 m
Side (West)	0 m	18.29 m
Flanking Side (East)	7.5 m	15.3 m
BUILDING HEIGHT (in metres/storeys)		
Principal	18 m	10.7 m
Accessory	6 m	n/a
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential	n/a	n/a
FLOOR AREA: Commercial	n/a	n/a
Retail	n/a	n/a
Office (serving industrial use)	n/a	928 m ²
Total		
FLOOR AREA: Industrial	14,355 m ²	6,050 m ²
FLOOR AREA: Institutional	n/a	
TOTAL BUILDING FLOOR AREA	14,355 m ²	7,565m ²

Development Data Sheet cont'd


Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	1.0	0.46
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		
Industrial	72	108
Residential Bachelor + 1 Bedroom	n/a	
2-Bed	n/a	
3-Bed	n/a	
Residential Visitors	n/a	
Institutional	n/a	
Total Number of Parking Spaces	72	108
Number of disabled stalls	2	3
Number of small cars	18	0
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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LEGAL:
 LOT A, SECTION 4, TOWNSHIP 8
 PLAN 15256
 NEW WESTMINSTER DISTRICT
BOUNDARY:
 ELEVATIONS ARE GEODETIC (CVD28 (VRD-2005)) DERIVED FROM CONTROL MONUMENT 5722 LOCATED ON CENTERLINE OF 54 AVE. APPROX. 80' WEST OF 188 ST. ELEV. = 33.735m

DEVELOPER: BARTEK CONSTRUCTION LTD. 18992 44th Avenue Langley, BC, V3A 3E2	PROJECT: VIADUCT SHEET METAL 5218 188 STREET, SURREY BC
REVISIONS:	DATE:
F	
E	
D	
C	
B	ISSUED FOR DP SUBMISSION 2014-05-04
A	ISSUED FOR DISCUSSION 2014-03-11
NS	



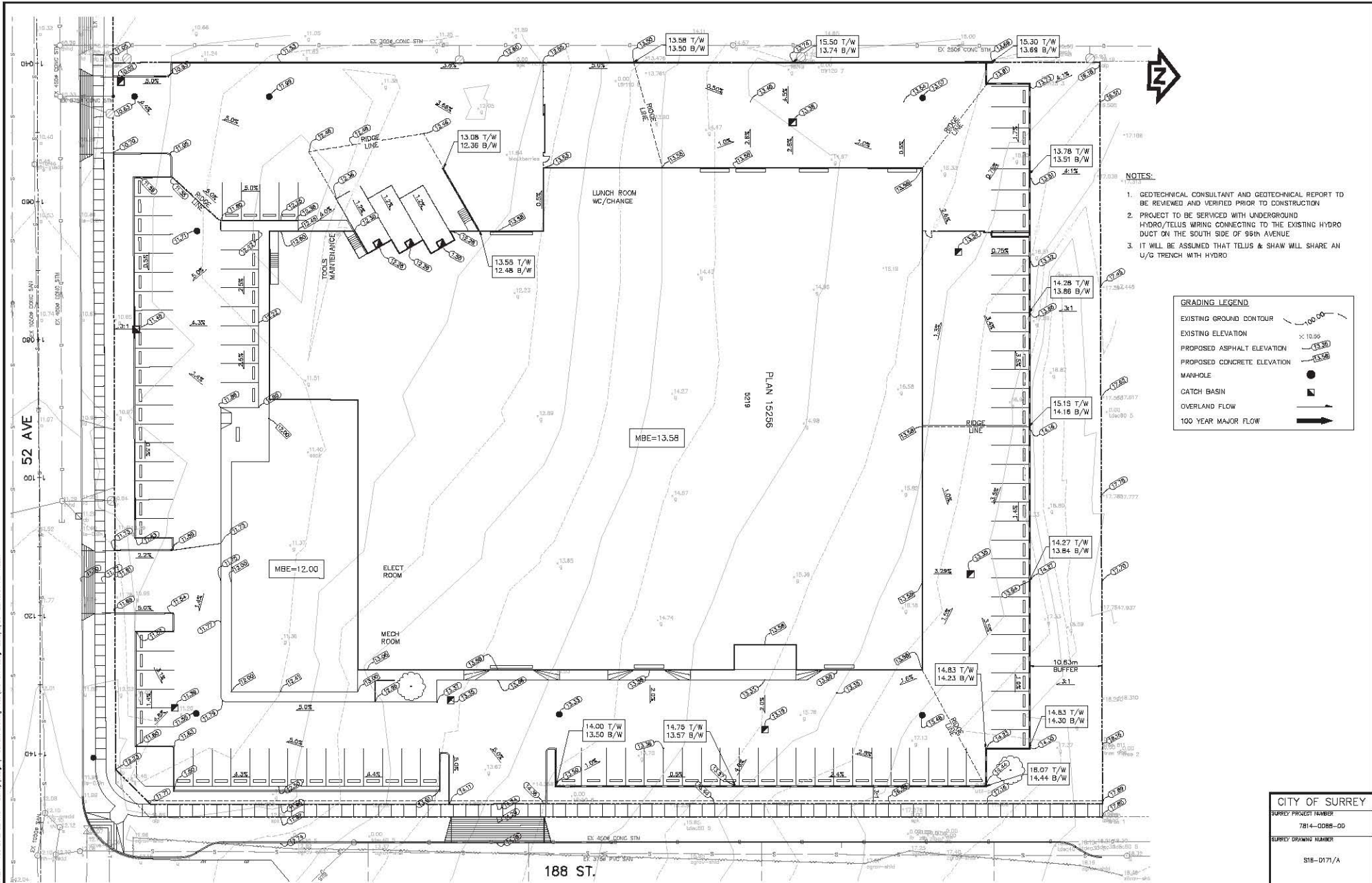
WEDLER ENGINEERING

www.wedler.com

THE WEDLER GROUP

- CHAIRMAN
- VICE PRESIDENT
- PRESIDENT
- SENIOR CONSULTANT
- CONSULTANT
- SURVEYOR

CONCEPTUAL ONSITE SERVICING VIADUCT SHEET METAL	
15256 52 AVENUE, SURREY BC	
REVISED:	DATE:
S.R.	04
SCALE:	1:250
PROJECT:	2015-01-14
APPROVED:	T.J.
DWG No.	REV.
	04
	B



- NOTES:**
1. GEOTECHNICAL CONSULTANT AND GEOTECHNICAL REPORT TO BE REVIEWED AND VERIFIED PRIOR TO CONSTRUCTION
 2. PROJECT TO BE SERVICED WITH UNDERGROUND HYDRO/TELUS WIRING CONNECTING TO THE EXISTING HYDRO DUCT ON THE SOUTH SIDE OF 99th AVENUE
 3. IT WILL BE ASSUMED THAT TELUS & SHAW WILL SHARE AN U/G TRENCH WITH HYDRO

GRADING LEGEND

- EXISTING GROUND CONTOUR
- EXISTING ELEVATION
- PROPOSED ASPHALT ELEVATION
- PROPOSED CONCRETE ELEVATION
- MANHOLE
- CATCH BASIN
- OVERLAND FLOW
- 100 YEAR MAJOR FLOW

CITY OF SURREY	
SURVEY PROJECT NUMBER	7814-0085-00
SURVEY DRAWING NUMBER	S18-D17/A

LOCAL:
 LOT A, SECTION 4, TOWNSHIP 8
 PLAN 15256
 NEW WESTMINSTER DISTRICT

REMARKS:
 ELEVATIONS ARE GEODETIC (CVD28 (VRD-2005) DERIVED FROM CONTROL MONUMENT 5222 LOCATED ON CENTERLINE OF 54 AVE. APPROX. 80' WEST OF 188 ST. ELEV = 33.735m)

DEVELOPER: BARTEK CONSTRUCTION LTD. 18992 44th Avenue Langley, BC, V3A 3E2	PROJECT: VIADUCT SHEET METAL 5218 188 STREET, SURREY BC
DATE: F E D C B A	DATE: 2018-05-04 2018-03-11
ISSUED FOR DP SUBMISSION	
ISSUED FOR DISCUSSION	
REVISIONS	DATE

WEDLER ENGINEERING

THE WEDLER GROUP
 ■ CHAIRMAN
 ■ VICE PRESIDENT
 ■ CHIEF ENGINEER
 ■ SURVEYOR

www.wedler.com

ONSITE GRADING VIADUCT SHEET METAL

15256 52 AVENUE, SURREY BC

DATE:	S.R.:	SCALE:
2018-01-14	14	1:250
APPROVED:	REV.:	
T.L.	05	B

2:00:00 PM 2018-01-14 10:52:00 AM - 188 ST & 52 AVE - Survey\Design\1 - Current Drawing Files\GIS-D17\Lang_2018\7256_15256\PM - Issue

SITE DATA:

- ZONING: LIGHT INDUSTRIAL L-1
- OCCUPANCY: BCBC 2012 GROUP-F2 - SUBSIDIARY GROUP-D BUSINESS

- LEGAL ADDRESS: LOT A, SECTION 4, TOWNSHIP 8, NEW WESTMINSTER DISTRICT PLAN 15256
- CIVIC ADDRESS: 5219 188TH ST. SURREY B.C.

- SITE AREA: 16,511 M2 (177,723 SF)
- SITE COVERAGE: MAX 60% (9906 M2 -106,627 SF)
- SITE COVERAGE - BUILDING: PROPOSED 40.95% (6751 M2 -72,774 SF)
- SITE COVERAGE: PROPOSED HARDSCAPE: 46% (7623 M2 - 82,311 SF)
- SITE COVERAGE: PROPOSED SOFTSCAPE: 11.03% (1822 M2 - 19,615 SF)
- FSR MAX: 1.0 = 16,511 M2 (177,723 SF)
- FSR PROPOSED: .46 = 7565 M2 (81,428 SF)
- SET BACKS:
FRONT 7.5 M (24.61')
SIDE 7.5M
BACK 7.5M

- PROPOSED FLOOR AREA:
LEVEL 1: 6646M2 (71,537 SF)
LEVEL 2: 919M2 (9892 SF)

TOTAL AREA: 7565M2 (81,428 SF)

GENERAL NOTES:

-BUILDING HEIGHT:
MAX. 18M (60'-0")
PROPOSED 11.48M (37'-7")

-PARKING STALLS: 1 STALL/1075SF OF GROSS FLOOR AREA
REQUIRED: 81428SF /1075SF = 76 STALLS
PROVIDED: 108 STALLS
9.5'X18' W/20' DRIVE AISLE MIN.
SIZES VARY REFER PLAN

-DISABILITY PARKING SPACES:
3 STALLS (1:100 STALLS)
-LOADING BAYS: 3 @ 13' X 30' W/15' OH CLEARANCE MIN.
-LOADING MANEUVERING AISLE: 25' MIN. (7.52M)
-BICYCLE STORAGE:
REQUIRED 0
PROVIDED 4

1. ALL CONSTRUCTION TO CONFORM TO B.C.B.C. 2012 AND ALL AUTHORITIES HAVING JURISDICTION
2. ALL DIMENSIONS AND ELEVATIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION : ALL DISCREPANCIES TO BE IMMEDIATELY REPORTED TO ARCHITECT IN WRITING [ALL DIMENSIONS TAKEN TO CENTERLINE OF INTERIOR WALLS AND EITHER OUTSIDE OR INSIDE FACE OF CONCRETE EXTERIOR WALL OR GRADLINE]
3. ALL EXPOSED CORNERS OF CONCRETE WALLS TO BE CHAMFERED EXCEPT WHERE NOTED.
4. PROVIDE AND INSTALL FIRESTOP AND SMOKE SEALS TO ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES.
5. PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS
6. ALL GUARDS AND HANDRAILS TO BE DESIGNED BUILT AND INSTALLED TO CONFORM TO B.C.B.C. 2012
7. REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL AND LANDSCAPE DRAWINGS FOR LOCATIONS OF PENETRATIONS THROUGH SLABS AND WALLS.
8. COORDINATE ALL REQUIRED HEIGHT CLEARANCES PRIOR TO COMMENCEMENT OF CONSTRUCTION AND INFORM ARCHITECT OF ALL CONFLICTS.

DRAWING LIST:

A.0.0 - TITLE SHEET
A.1.0 - SURVEY
A.1.1 - SITE PLAN
A.2.0 - LEVEL 1 FLOOR PLAN
A.2.1 - LEVEL 1 UNIT PLANS
A.3.0 - LEVEL 2 FLOOR PLANS
A.3.1 - LEVEL 2 UNIT PLANS
A.4.0 - ROOF PLAN
A.5.0 - E & S ELEVATIONS
A.5.1 - N & W ELEVATIONS
A.6.0 - BUILDING SECTIONS 1 & 2
A.6.1 - BUILDING SECTION 3
A.xx -
A.xx -
A.xx -
A.xx -
A.xx -

VIADUCT WORKSHOP / WAREHOUSE

5219 188th St. Surrey, B.C.

CONSULTANTS:

ARCHITECTURAL:
GATEWAY ARCHITECTURE
947 SEYMOUR ST. VANCOUVER, B.C.
MIKE COX, PRINCIPLE
604 953 2168
mike@designincancover.com

STRUCTURAL:
WICKE FERST MAVER
8835 BURLINGTON AVE. BURNABY, B.C.
FLORENCIO BAUTISTA, ENGINEER
604 484 2598
fbautista@wfmengineers.com

MECHANICAL
FLOW CONSULTING
740 NICOLA ST. #104 VANCOUVER, B.C.
A.H. TONY LEUNG, PRINCIPLE
604 609 5500
leung@flowgroup.ca

ELECTRICAL
FLOW CONSULTING
740 NICOLA ST. #104, VANCOUVER, B.C.
OTHMAR BRUNNER
604 609 5500
obrunner@flowgroup.ca

CIVIL
WEDLER ENGINEERING
16216 188TH ST. #202, SURREY, B.C.
STAN REID, ENGINEER
604 588 1919
sreid@wedler.com

GEOTECHNICAL ENGINEERING
VALLEY ENGINEERING LTD.
20279 87 AVE. LANGLEY, B.C.
Paul Vander
604 835 8437
n.abeyrathna@valleygeo.ca

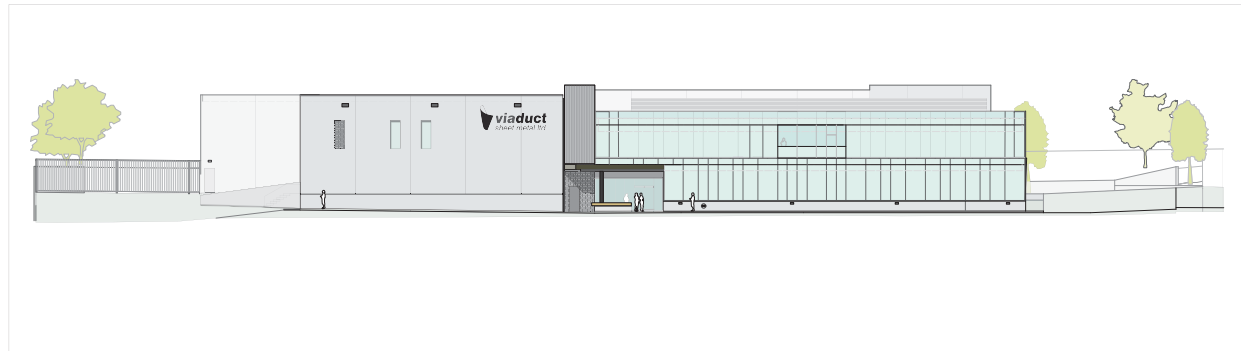
CODE COMPLIANCE
CAMPHORA ENGINEERING
2479 KINGSWAY, VANCOUVER, B.C.
SUSANA D CHUI, PRINCIPLE
604 800 9522
sdchui@camphora.ca

BUILDING ENVELOPE CONSULTANT
CSA BUILDING SCIENCE WESTERN LTD.
42 FAVCETT RD. #12, COQUITLAM, B.C.
SUNNY CORTIZ
604 523 1366
scortiz@csawest.com

TRANSPORTATION PLANNERS/ ENGINEERS
BUNT & ASSOCIATES
1050 WEST PENDER ST. #1550, VANCOUVER, B.C.
YULIA LEM, SENIOR TRANSPORTATION ENGR.
604 685 6427 EXT. 236
yuliam@buntbcg.com

LANDSCAPE ARCHITECTURE
J.H.L. DESIGN GROUP INC.
4370 MAPLE ST. VANCOUVER, B.C.
JENNY LIU
604 283 8613
jliu@jhdg.com

ARBORIST:
FROGGERS CREEK TREE CONSULTANTS
GLEN MURRAY
not in contract



FIRE ALARM AND DETECTION REQUIRED TO MEET B.C. BUILDING CODE REQUIREMENTS
EMERGENCY WASH AND LETTING SHALL BE PROVIDED IN COMPLIANCE WITH B.C. BUILDING CODE REGULATIONS
THIS PROJECT MUST COMPLY WITH AHJRC 86.1.201 IN ACCORDANCE WITH THE B.C. BUILDING CODE PART 11. CONFORMANCE WILL BE REQUIRED AS PART OF THE FINAL DOCUMENTATION PROCESS.
ALL HANDRAILS TO COMPLY TO ARTICLE 3.4.4.4 - GUARDS TO COMPLY TO ARTICLES 3.3.1.17 & 3.4.6.5 - STAIRS TO COMPLY TO ARTICLES 3.4.1.11, 3.4.1.16 & 3.3.1.1

ALL PLUMBING TO COMPLY WITH THE CURRENT BC PLUMBING CODE. NON-COMBUSTIBLE PLUMBING IS REQUIRED WHERE PLUMBING PASSES THROUGH ANY FIRE SEPARATIONS OR MEMBRANES HAVING A FIRE RESISTANCE RATING AND ANY CONCEALED SPACES USE AS PLUMBING.
FIRE STOPPING TO COMPLY TO CANA-S115M STANDARD FLAME SPREAD RATINGS AND SMOKE DEVELOPMENT CLASSIFICATION TO COMPLY TO SUBSECTIONS 3.1.12. & 3.1.13.
BUILDING REQUIREMENTS FOR PERSONS WITH DISABILITIES TO COMPLY WITH SECTION 3.8 OF THE 2006 B.C. BUILDING CODE. IN ADDITION, ACCESSIBLE ENTRANCES TO COMPLY TO ARTICLES 3.7.4.4, 3.7.4.6, 3.7.4.7 & 3.7.4.8.

revision / alteration	
no.	1
revision / addition / deletion	2016.05.11 issued for DP
no.	1
Project Title	Viaduct Work Shop
Drawing Title	5219 188th St. Surrey
Drawn by	Tom T
Date	2016.05.06
Project Number	844
Scale	NTS
Drawing Number	A0.0

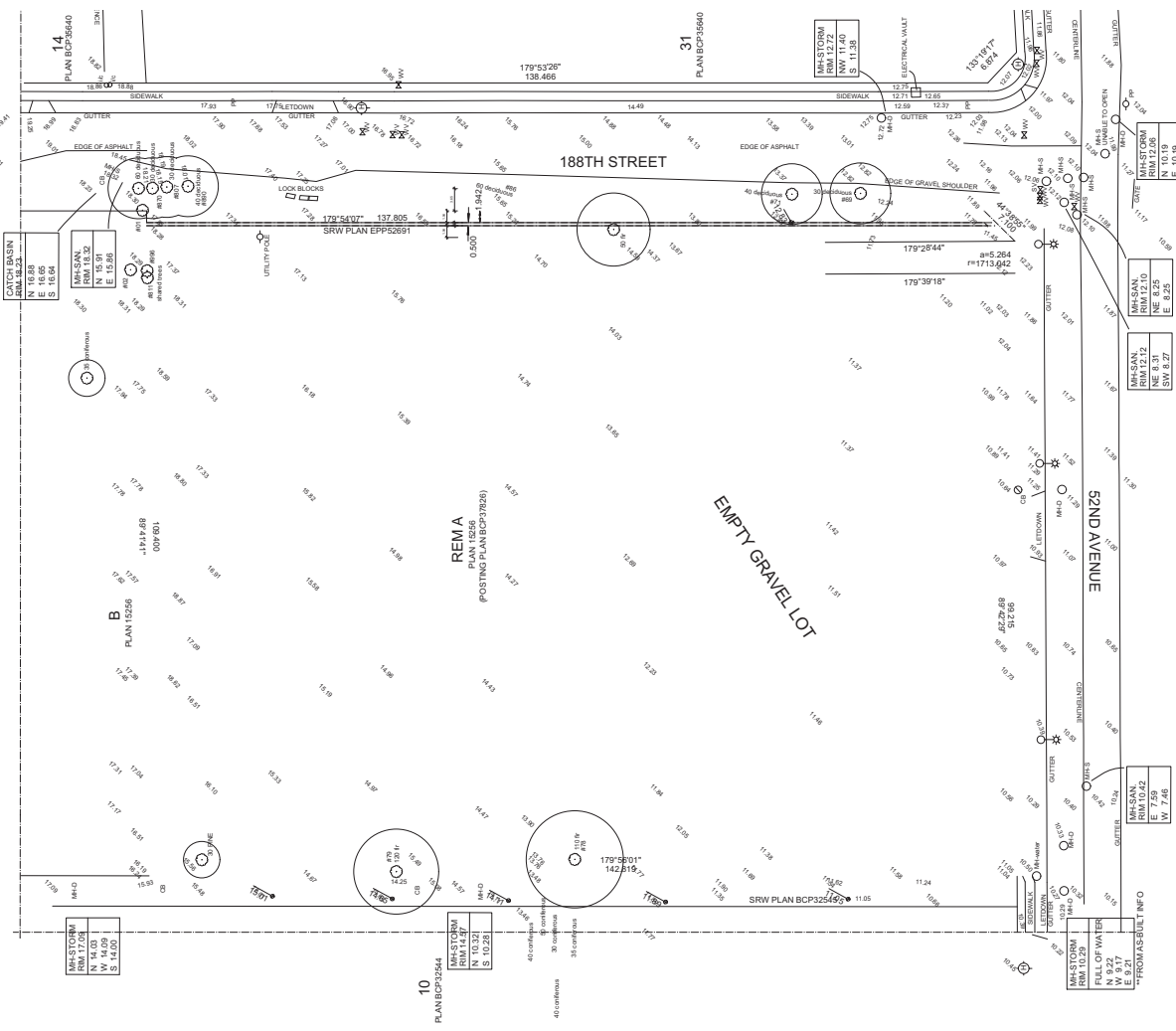
TOPOGRAPHIC SITE SURVEY OF LOT A
SECTION 4 TOWNSHIP 8 NEW WESTMINSTER
DISTRICT PLAN 15256 EXCEPT PLAN EP38476

The recommended size of this plan is 50mm in width and 432mm in height. It is to be printed on a standard A1 size of 594x841mm.

SCALE 1:500
ALL DIMENSIONS ARE IN METERS

- LEGEND**
- DENOTES STAKED IRON POST FOUND
 - DENOTES FIRE HYDRANT
 - DENOTES CATCH BASIN - TOP ENTRY
 - DENOTES UTILITY POLE
 - DENOTES STREET LIGHT - CANT
 - DENOTES WATER VALVE
 - DENOTES GUY WIRE
 - DENOTES SWAYWAY MARKER
 - DENOTES STORM MANHOLE
 - DENOTES TREE AND CANOPY EXTENT
 - DENOTES GRASS PATCH
 - DENOTES CATCH BASIN - ROUND

CIVIC ADDRESS:
5219 188th St. Surrey BC
V3J 0J6 01685418
SURVEY DATE: NOV. 19, 2013
UPDATED SURVEY: JAN. 26, 2016



1 SITE SURVEY
1:400

1. Field dimensions are taken at 1.4m above grade and are shown in black.
2. Horizontal dimensions are shown in red.
3. Vertical dimensions are shown in blue.
4. All dimensions are in meters.
5. The contractor is responsible for verifying all dates and dimensions, any discrepancies are to be reported to the architect before the construction of work.
6. The contractor is responsible to ensure that all work is executed in accordance with the requirements of the most current applicable codes and bylaws.

INTEGRATED SURVEY AREA NO. 1, SURREY
NAD 83 (CRS 2000) - PLAN POSITION WITH THE HORIZONTAL DIMENSIONS AND THE VERTICAL DIMENSIONS. HORIZONTAL DIMENSIONS ARE GIVEN IN METERS. VERTICAL DIMENSIONS ARE GIVEN IN METERS. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD. THE SURVEY IS TO BE USED FOR THE PURPOSES OF THE PROPOSED DEVELOPMENT. THE SURVEY IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

CERTIFIED CORRECT
DATED THIS 16 DAY OF MARCH, 2016
B.C.L.S.
M. Adam Johnson

Lot dimensions are derived from field survey.
Elevation and Grade: CVD28, CVD2005, NAD83 (CRS 2000) Derived from Control Station 67722 located on the centreline of 5th Ave. Approx. 80' Elevation = 53.726m

SURVEY B.C.
604-884-9181
FILE: 1537DP0016

Spot elevations along curb are taken on gutter.
This plan is a utility diagram. It is not to be used for any other purpose without the written consent of the architect.
Contractor to verify all service locations and levels prior to construction.

Prepared Title: Survey
Drawing Title: SURVEY
Date: 2016.05.06
Project Number: 844
Scale: 1:400

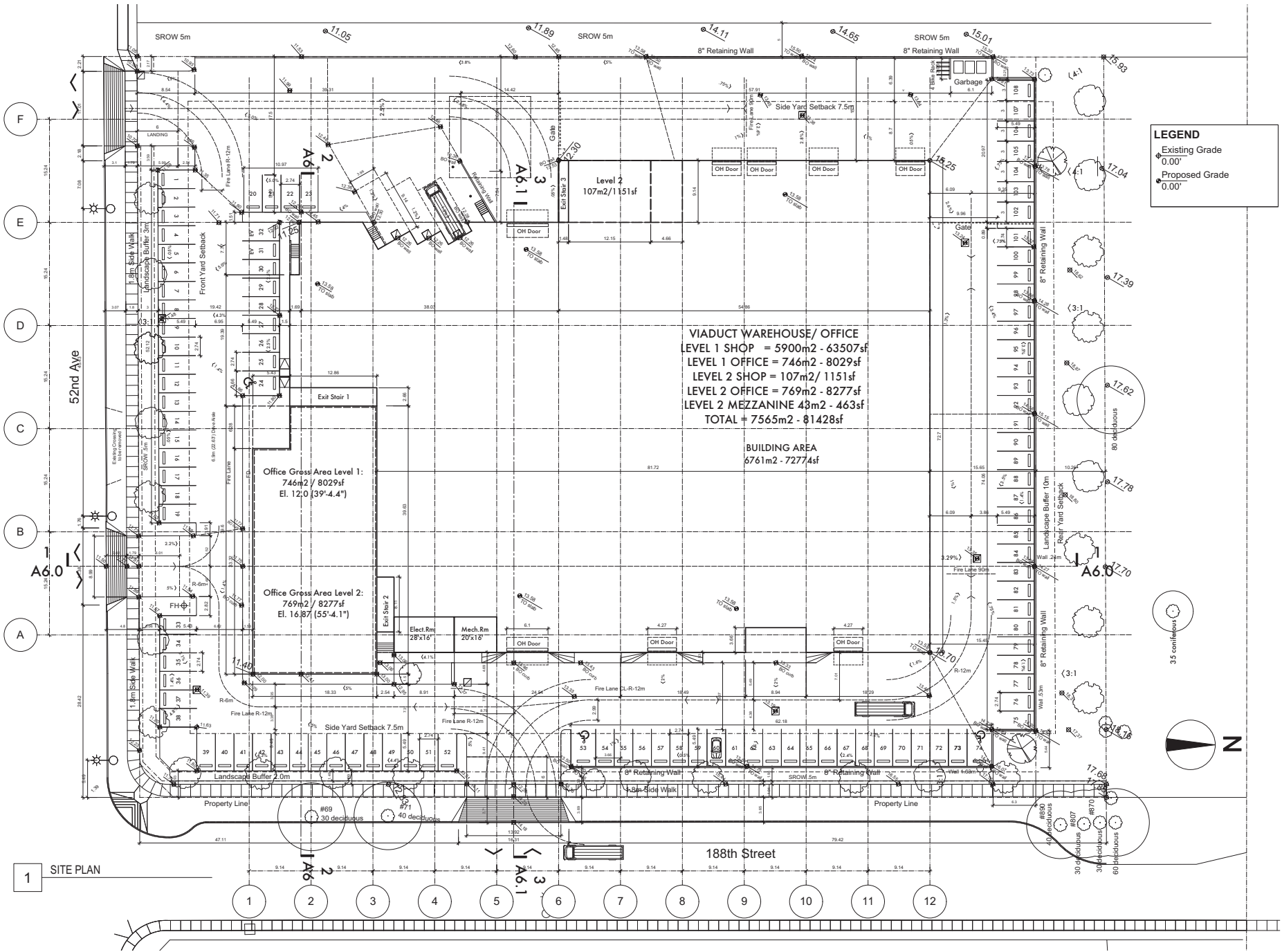
A1.0

Project Title: Survey
Drawing Title: SURVEY
Date: 2016.05.06
Project Number: 844
Scale: 1:400

no.	1	revision / addition / issued for DP
no.	1	revision / addition / issued for DP



GATEWAY ARCHITECTURE INCORPORATED
MICHAEL COX, Architect AIBC
947 Seymour Street
Vancouver BC V6B 3M1
Tel: (604) 608-1868
Fax: (604) 683-3908
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The contractor is responsible for verifying all dates and dimensions, any discrepancies are to be reported to the architect before the construction of work.
Contractor is responsible to ensure that all work is executed in accordance with the requirements of the most current applicable codes and bylaws.



LEGEND
 Existing Grade
 0.00'
 Proposed Grade
 0.00'

VIADUCT WAREHOUSE/ OFFICE
 LEVEL 1 SHOP = 5900m² - 63507sf
 LEVEL 1 OFFICE = 746m² - 8029sf
 LEVEL 2 SHOP = 107m²/ 1151sf
 LEVEL 2 OFFICE = 769m² - 8277sf
 LEVEL 2 MEZZANINE 43m² - 463sf
TOTAL = 7565m² - 81428sf

BUILDING AREA
 6761m² - 72774sf

Office Gross Area Level 1:
 746m² / 8029sf
 El. 12.0 (39'4.4")

Office Gross Area Level 2:
 769m² / 8277sf
 El. 16.87 (55'4.1")

1 SITE PLAN



MICHAEL COX, Architect AIBC
 947 Seymour Street
 Vancouver BC V6B 3M1
 Tel: (604) 608-1868
 Fax: (604) 683-3900

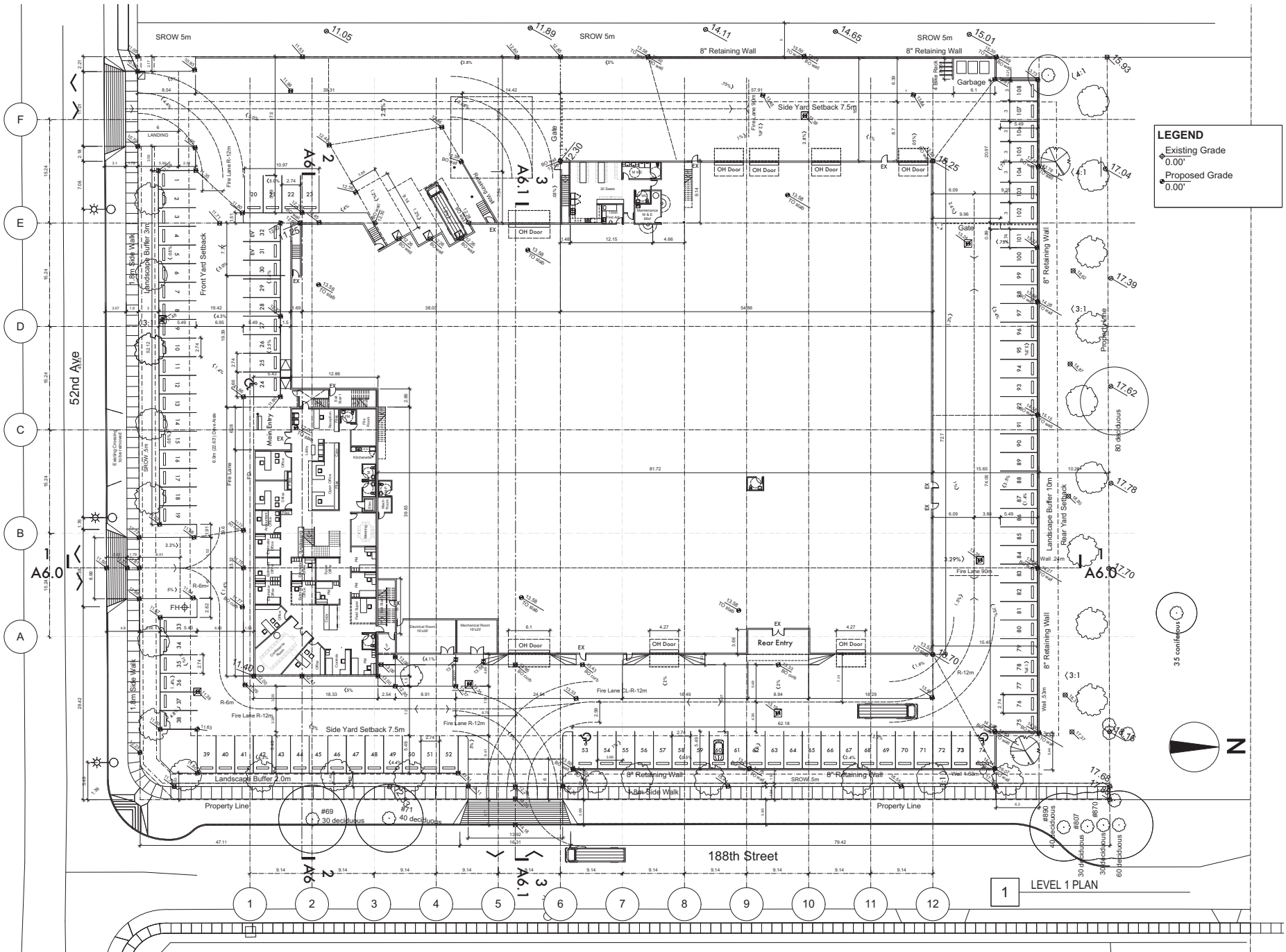
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revision / addition	
no.	1
date	2016/05/11
revision / addition	
no.	1
date	2016/05/11
revision / addition	
no.	1
date	2016/05/11

Viaduct Work Shop	Task 1
5210 188th St.	Date: 2016/04/29
Surrey	Project Number: 844
	Scale: 1:250
	Drawing Number:

A1.1



LEGEND
 Existing Grade
 0.00'
 Proposed Grade
 0.00'



MICHAEL COX, Architect AIBC
 947 Seymour Street
 Vancouver, BC V6B 3M1
 Tel: (604) 608-1868
 Fax: (604) 683-3908

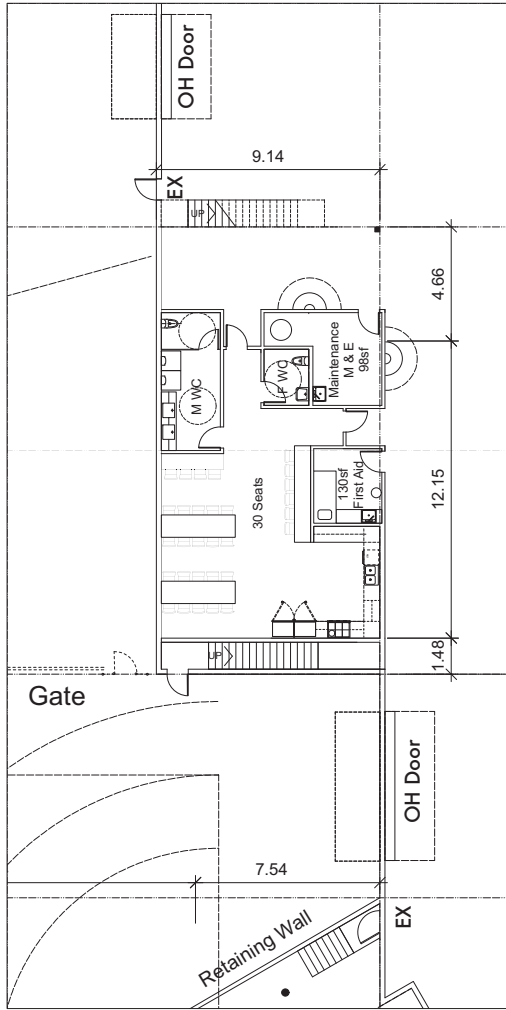
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 The contractor is responsible for verifying all dates and dimensions, any discrepancies are to be reported to the architect before the commencement of work.
 Customers are responsible to ensure that all work is executed in accordance with the requirements of the most current applicable codes and bylaws.



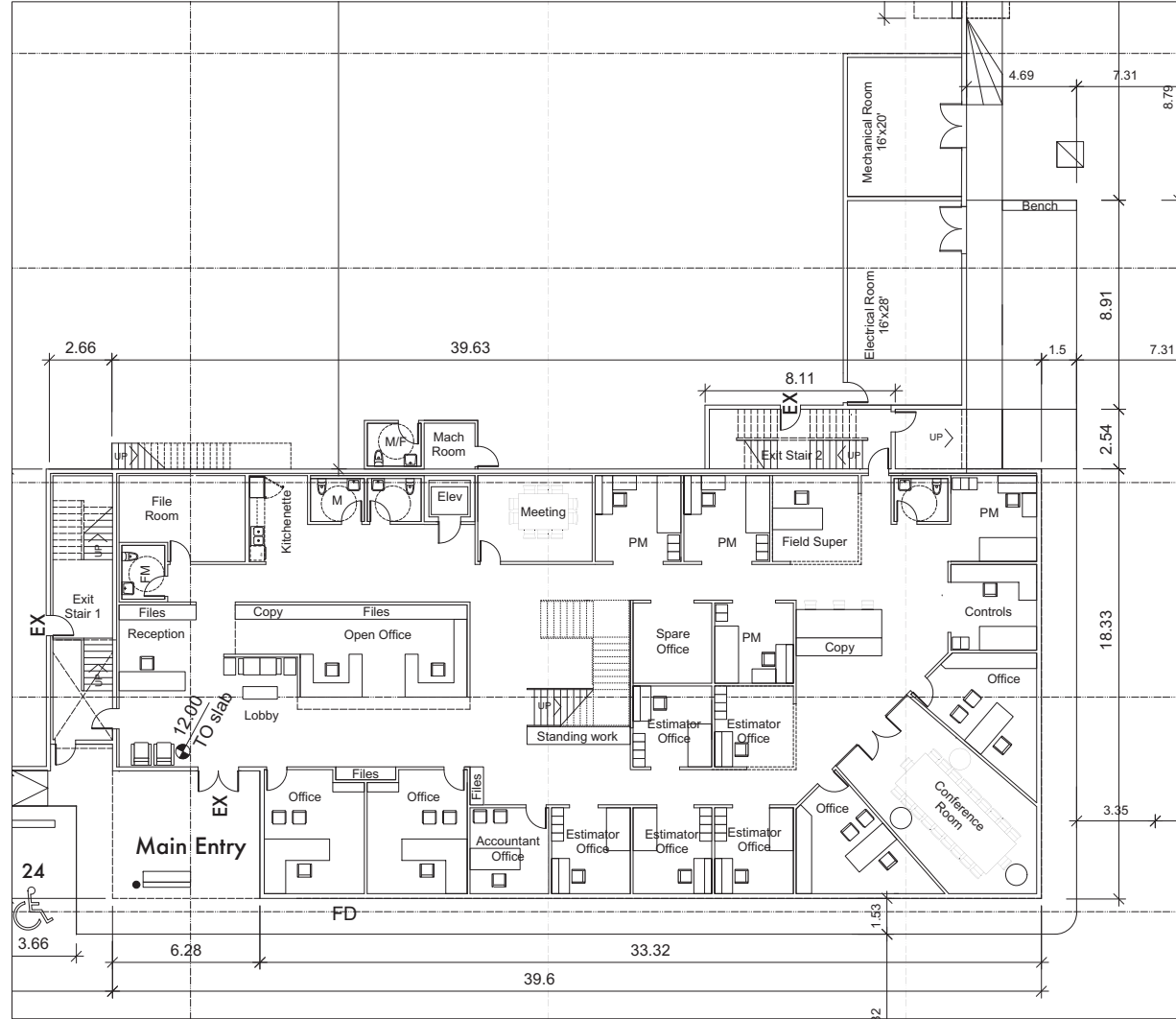
no.	yrms-8	no.	yrms-8
revision / addition	revision / addition	no.	yrms-8
1	2016/05/11	Issued for GP	

Project Title:	Drawing Title:
Vraduc Work Shop	LEVEL 1 PLAN
2210 188th St.	
Surrey	
Drawn:	Date:
844	2016.04.29
844	844
1:250	1:250
Drawing Number:	

A2.0



2 LEVEL 1 LUNCH ROOM PLAN



1 LEVEL 1 OFFICE PLAN

no.	1	revision / addition / deletion	1	2016/05/11	Issued for GP
no.	1	revision / addition / deletion	1	2016/05/11	Issued for GP
Project Title	Vraduct Work Shop 2210 188th St. Surrey				
Drawing Title	LEVEL 1 UNIT PLANS				
Drawn by	2016/04/01	844	1:1000		
Checked by					
Scale					
Drawing Number	A2.1				

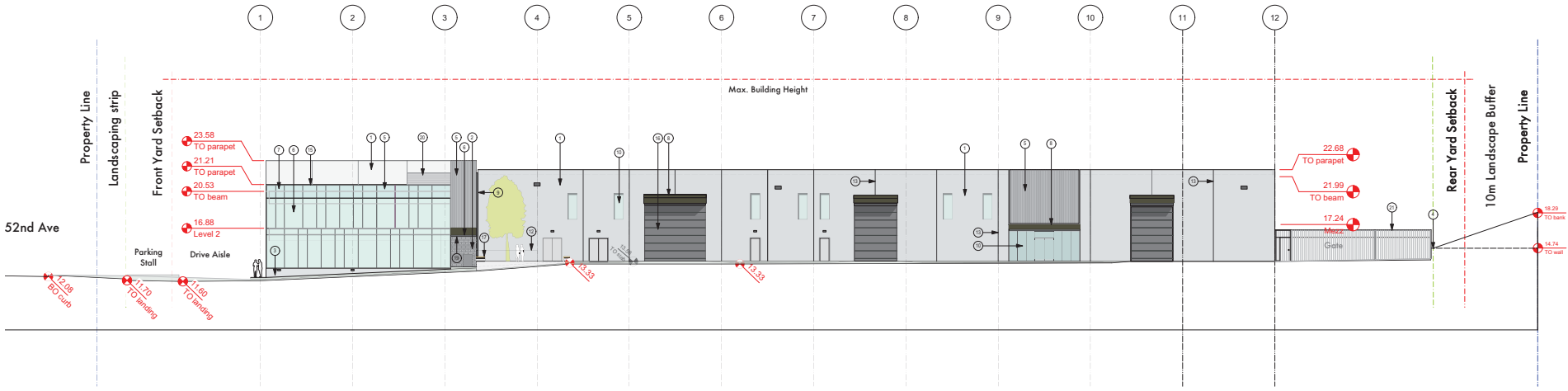
no.	1	revision / addition
no.	1	revision / addition

no.	1	revision / addition
no.	1	revision / addition

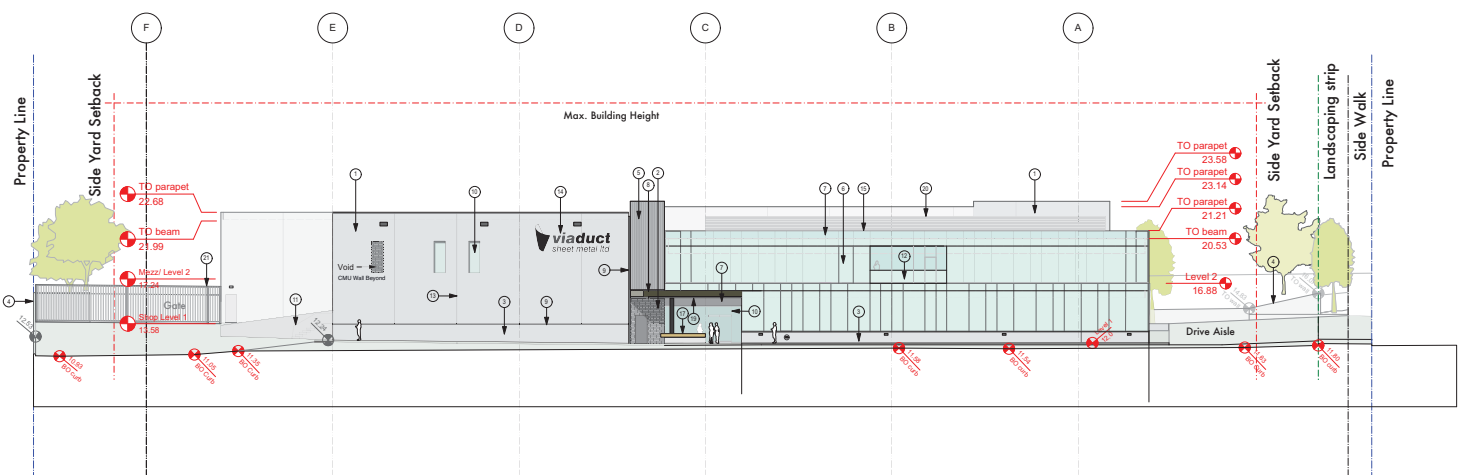
Project Title	Drawing Title
Viaduct Work Shop	Building Elevations
2210 188th St. Surrey	
Drawn by:	2016 04 07
Checked by:	844
Scale:	1:250

Drawing Number

A5.0



1 EAST ELEVATION



2 SOUTH ELEVATION

MATERIAL FINISHES LEGEND

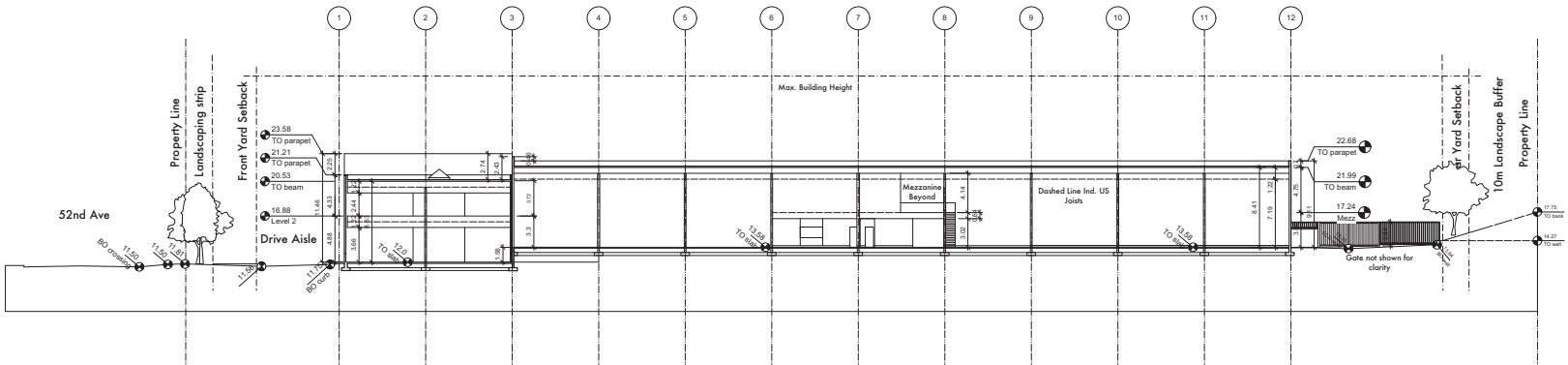
FINISH	COLOR
SLIP CONCRETE SMOOTH	CLAY BRICK SLATE
CONCRETE MASONRY UNIT	SMOOTH FACE TBS
SLIP CONCRETE	CLAY BRICKS MIMICRY
SLIP CONCRETE RETAINING WALL	CLAY BRICKS NO SLAKE
SLIP CONCRETE (RIBBED)	CLAY BRICKS
CURTAIN WALL GLAZING	FRY BRK W/ PAPERED GLP
CURTAIN WALL GLAZING	FRY BRK BRANDERD
PRE-FINISHED METAL FINISH	PRE-FINISHED COLOR TBS
FINISHES	CL
ALUMINUM STOREFRONT WINDOWS	ALUMINUM
METAL POCKET GUARDRAIL	CERAMIC BLACK
METAL GLASS GUARDRAIL	CLAY BRICKS METAL
REVEALS IN TILT-UP CONCR. PANELS	BRICK CONCRETE
WEDGE STORAGE	BRICK CONCRETE
PRE-FINISHED METAL FLASHING	STEEL ALUMINUM SURFACE
TILT-UP METAL DOOR	CLAY BRICKS
WALL FINISHED WOOD BENCH	CLAY BRICK TBS
WALL FINISH LIGHTING FIXTURE	BRICKS METAL
WOOD ROOFIT BEYOND	CLAY BRICKS METAL
PRE-FINISHED METAL SCREEN	ALUMINUM
PRE-FINISHED STEEL GATE	CLAY TBS

revision / filtration	
no.	1
revision / admission	
no.	1

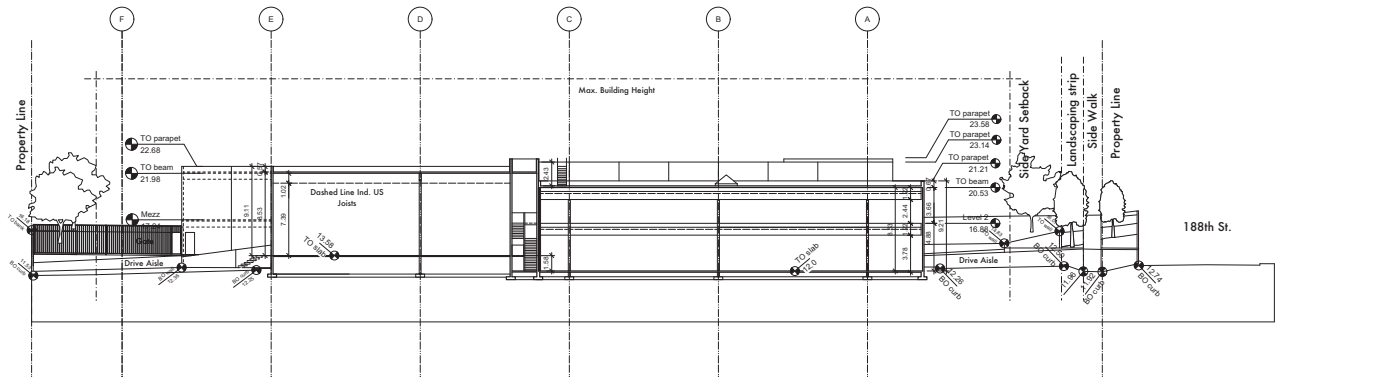
revision / admission	
no.	1
revision / admission	
no.	1

Project Title	Drawing Title
Vraduct Work Shop	Building Sections
2210 188th St.	Surry
Drawn by:	2016/05/06
Date:	844
Project Number:	844
Scale:	as noted

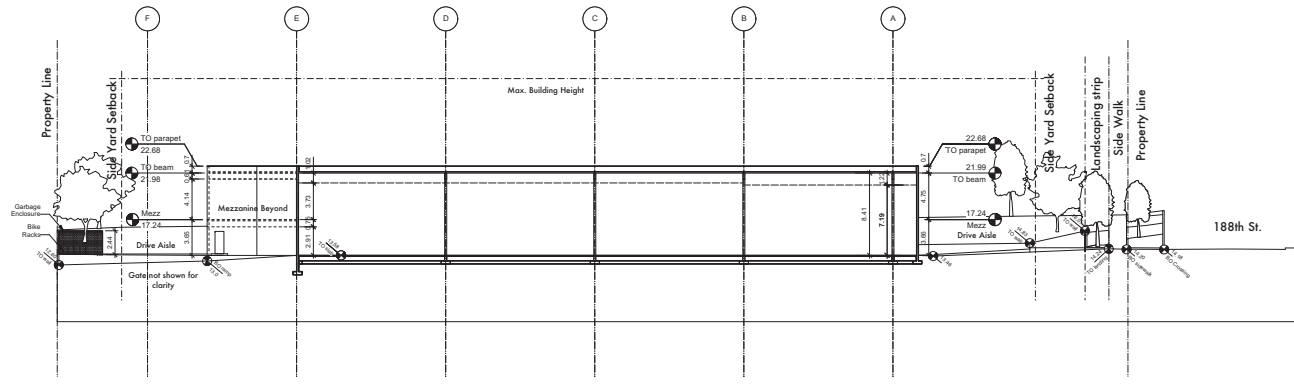
Drawing Number
A6.0



1 SECTION
A6.0 1:250



2 SECTION
A6.0 1:250

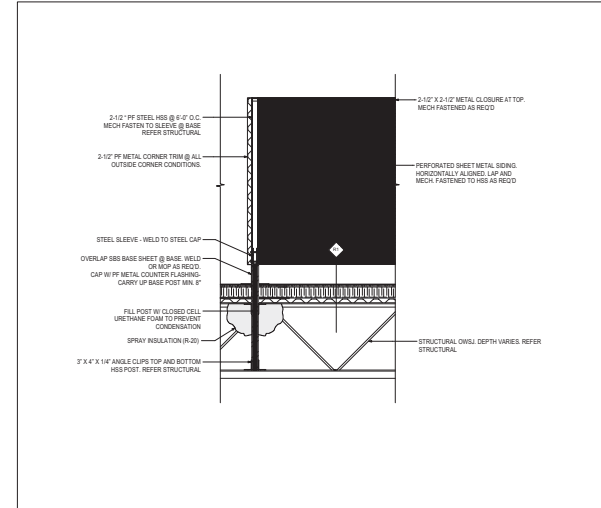


3 SECTION
A6.1 1:250

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no.	1	2016/05/11	revision / admission Issued for DP
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no.	1	2016/05/11	revision / admission Issued for DP
no.	1	2016/05/11	revision / admission Issued for DP
no.	1	2016/05/11	revision / admission Issued for DP

Project Title:	Drawing Title:
Vraduct Work Shop 3210 188th St. Surrey	Building Sections
Drawn by: Tom T	Scale: as noted
Date: 2016/04/01	Sheet Number: 844
Project Number: 844	Sheet: 844
Scale: as noted	Sheet: 844

Drawing Number
A6.1



1 HSS POST @ ROOF SCREEN
SCALE: 1/2" = 1'-0"

revision / addition	
revision / subtraction	
no.	
no.	
revision / addition Issued for DP	
no.	
revision / addition Issued for DP	
no.	
Project Title	Drawing Title
Vraduct Work Shop 5210 188th St. Surrey	DETAILS
Drawn by: [blank]	Checked by: [blank]
Date: 2016.05.27	Project Number: 844
Scale: 1/2" = 1'-0"	
Drawing Number	

A10

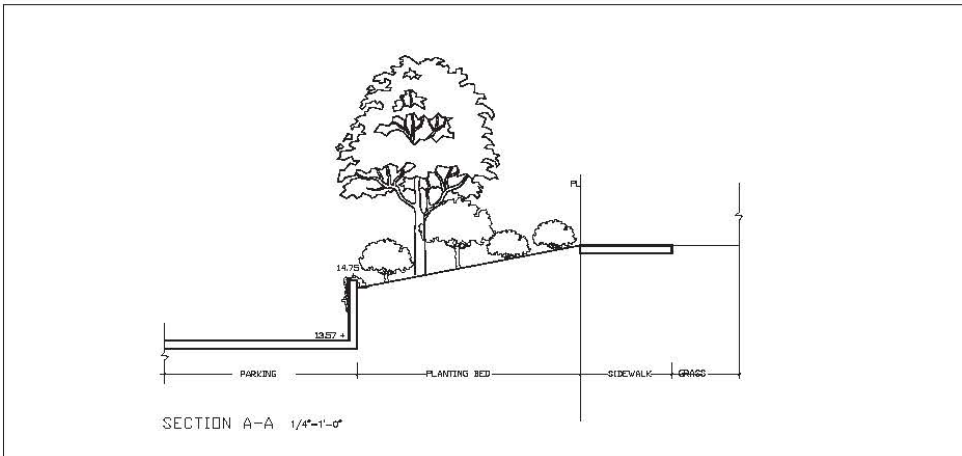
NOTES:

- Maintain min. 2% slope away from building.
- All plants and landscape installation to conform to BCSLA Landscape Standards Latest Edition.
- All growing medium to be tested by PSAI (604-273-8226) and amended accordingly if necessary, and to be tested again at Substantial Completion.
- Minimum planting medium depths:
lawn-6"/150mm, 9" on slab
groundcover &
shrubs-18"/450mm, min 18" on slab
trees-12"/300mm, all around the rootball, 24" small trees on slab,
30" medium sized trees on slab
For detailed info see specifications
- All plant material shall meet minimum size requirements as indicated in plant list.
- Trees planted in lawn areas to have 1 m dia. mulched ring.
- Make sure twine around rootballs to be cut and removed to prevent gridding.
- All proposed trees should be planted min. 3 m away from building foundation or face of buildings or retaining walls.
- Install min. 2" of composted bark mulch on all shrub beds after planting and rake smooth. Mulch to be "9.5mm screened composted bark mulch".
- Contractor to ensure all plant material delivered to site is from nurseries certified to be free from the Phytophthora ramorum virus (Sudden Oak Death).
- Contractor to report any discrepancies in plant numbers immediately to Landscape Architect.

NOTE: TOTAL 34 REPLACEMENT TREES PROPOSED

TOTAL 5 EX. ON-SITE TREES TO BE REMOVED

PLANT LIST					
Quantity	Symbols	Botanical Name	Common Name	Size	Spacing
Trees					
2	A	Acer circinatum	Vine Maple	5cm cal B&B	as shown
13	B	Acer rubrum 'Red Sunset'	Red Sunset Maple	6cm cal B&B	as shown
4	C	Cornus mas	Cornelian Cherry Dogwood	5cm cal B&B	as shown
14	D	Pinus nigra	Austrain Black Pine	3m High	as shown
1	E	Styrax japonica	Japanese Snowbell	5cm cal B&B	as shown
Shrubs & Others					
0	a	Buxus microphylla 'Winter Gem'	Asian Boxwood	# 1 pot	as shown
0	b	Carex morrowii 'Aureovariegata'	Variiegated Sedge	# 1 pot	as shown
63	c	Cornus sericea	Redtwig Dogwood	# 2 pot	as shown
28	d	Cornus sericea 'Flaviramea'	Yellowtwig Dogwood	# 2 pot	as shown
124	e	Erica x darleyensis 'Mediterranean Pink'	Mediterranean Pink Heather	# 1 pot	as shown
86	f	Euonymus japonicus 'Silver Queen'	Silver Queen Euonymus	# 2 pot	as shown
89	g	Festuca glauca 'Blue Glow'	Blue Glow Blue Fescue	# 1 pot	as shown
38	h	Helictotrichon sempervirens	Blue Oat Grass	# 1 pot	as shown
94	i	Mahonia aquifolium 'Compact'	Dwarf Oregon Grape	# 2 pot	as shown
0	j	Polystichum munitum	Western Sword Fern	# 1 pot	as shown
0	k	Prunus laurocerasus 'Otto Luker'	Otto Luker Laurel	# 2 pot	as shown
77	l	Prunus lusitanica	Portugal Laurel	# 2 pot	as shown
235	m	Rose meidiland 'Carefree Delight'	Meipotal Rose	# 2 pot	as shown
0	n	Viburnum davidii	David Viburnum	# 1 pot	as shown
0	o	Stipa tenuissima	Mexican Feather Grass	# 1 pot	as shown
25	p	Euonymus alatus 'Compactus'	Dwarf Burning Bush	# 1 pot	as shown
575	q	Arctostaphylos uva ursi 'Vancouver Jade'	Kinnikinnick	# 1 pot	12" o.c.
82	r	Ilex x Meserveae 'Blue Boy' and 'Blue Girl'	Blue Holly	# 2 pot	as shown
354	s	Berberis chenaultii	Chenaultii Barberry	# 2 pot	as shown



CORNELIAN CHERRY DOGWOOD



RED SUNSET MAPLE



AUSTRAIN BLACK PINE



REDTWIG DOGWOOD

Varieties of hardy and low maintenance plants were carefully selected to provide year round visual interest, many of them are drought tolerant and some of them are native species.



YELLOWTWIG DOGWOOD



BLUE OAT GRASS



MEIPOTAL ROSE

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DATE	REVISION
May 16	DP Submission
May 26	DP Revision Submission

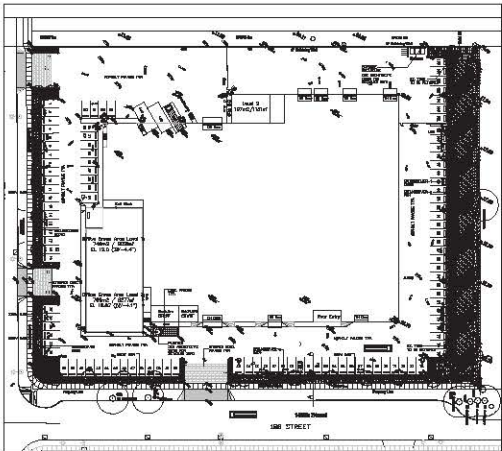
JHL Design Group Inc.
Landscape Architecture + Urban Design

4230 Maple Street, Vancouver, BC
Tel: 604-278-8913
Fax: 1-866-277-8554
Email: jhl@jhl.ca

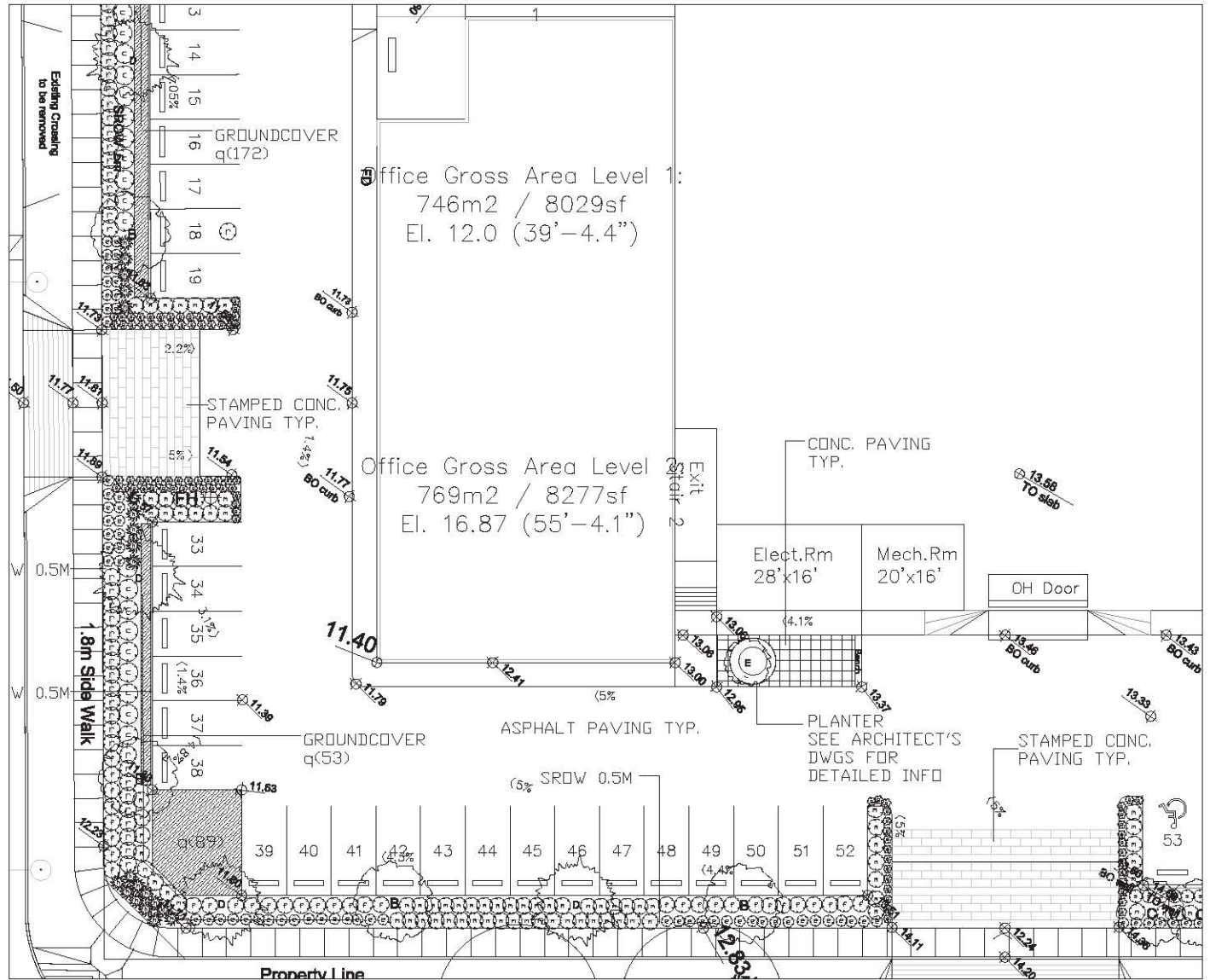
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DATE	May 16
DRAWN	
CHECKED	
JOB NO.	

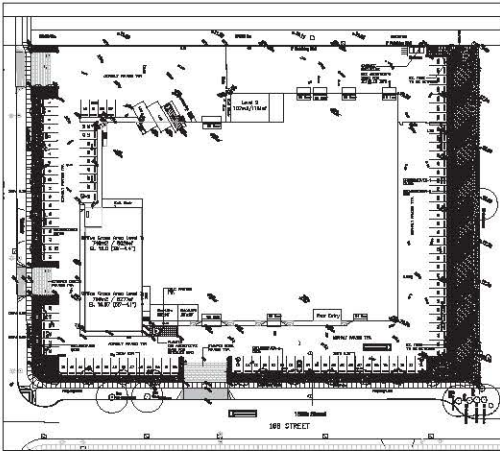
PROJECT TITLE	Vivud Work Shop
	2216, 1883 Street
	Burnaby, BC

DRAWING TITLE	PLANT LIST
	NOTES

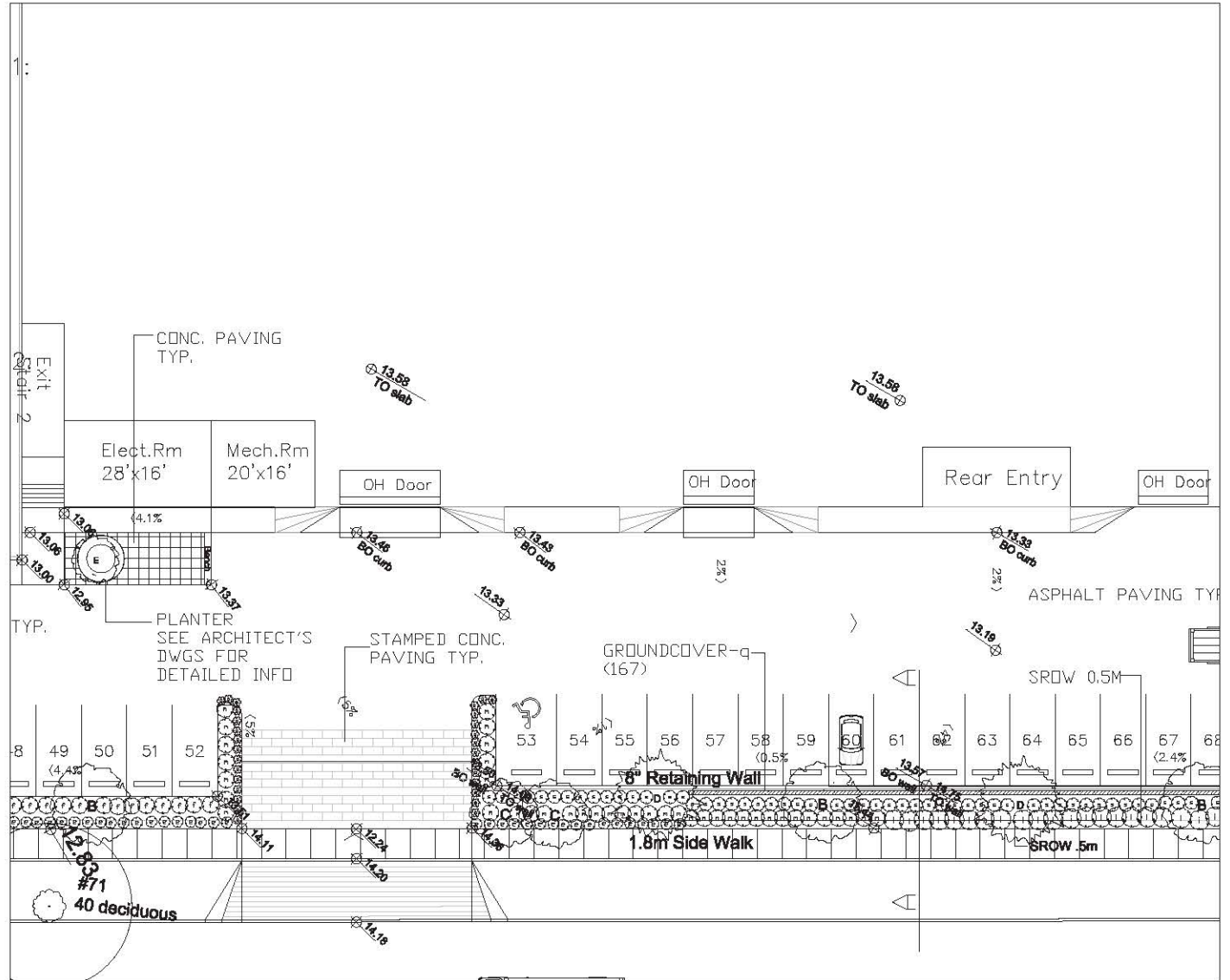


OVERALL REFERENCE PLAN





OVERALL REFERENCE PLAN



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DATE	REVISIONS
May 16	DS Submission
May 25	DP Revision Submission

JHL Design Group Inc.
Landscape Architecture + Urban Design

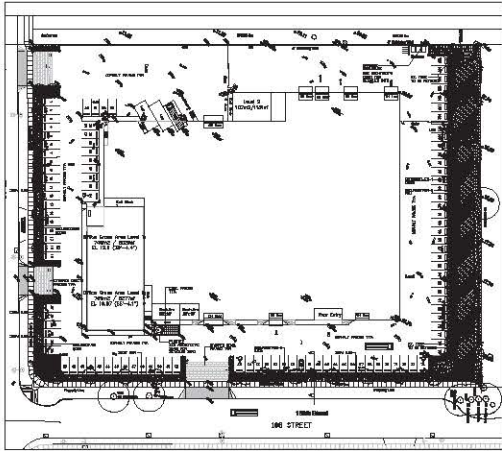
4370 Maple Street, Vancouver, BC
Tel: 604-281-9613
Fax: 1-866-577-8524
Email: jhl@jhl.com

SCALE: 1/32"=1'-0"
DATE: May 16
DRAWN:
JOB NO.:

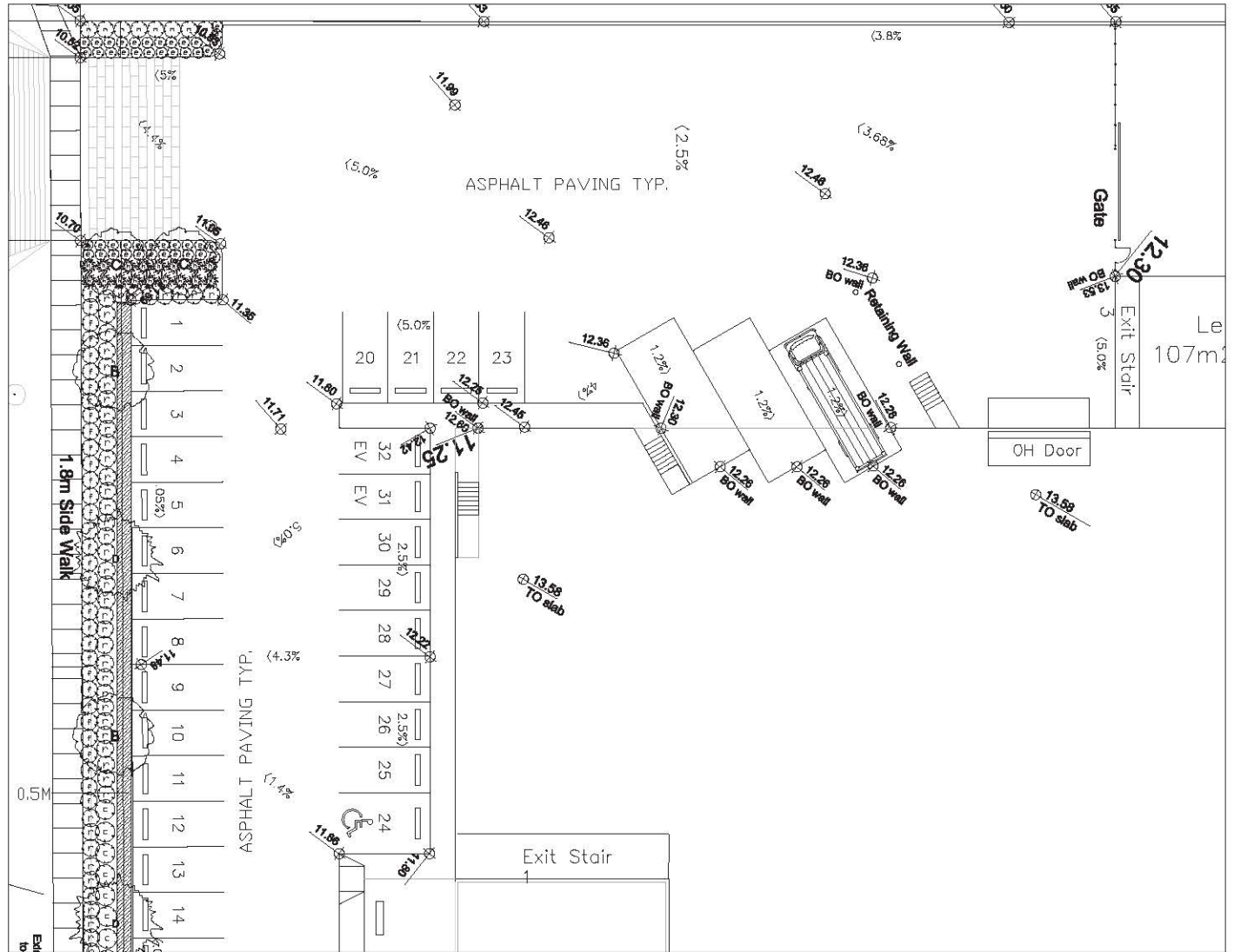
PROJECT TITLE:
Vinduct Work Shop
8119, 1601 Street
Surrey, BC

DRAWING TITLE:
**LANDSCAPE PLAN/
PLANTING PLAN**

L-3



OVERALL REFERENCE PLAN



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DATE	REVISIONS
May 16	DP Submission
May 26	DP Revision Submission

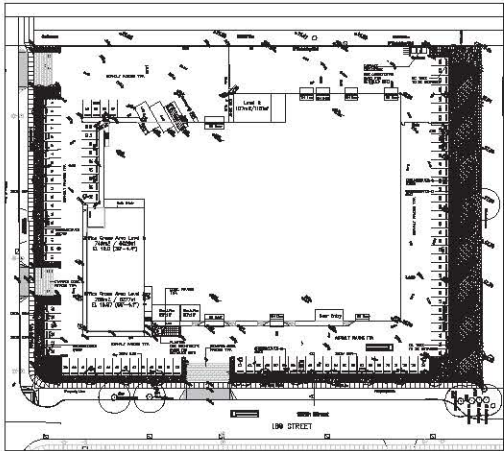
JHL Design Group Inc.
Landscape Architecture + Urban Design

4370, Maple Street, Vancouver, BC
Tel: 604-263-8031
Fax: 1-888-277-8354
Email: jhl@jhlgroup.com

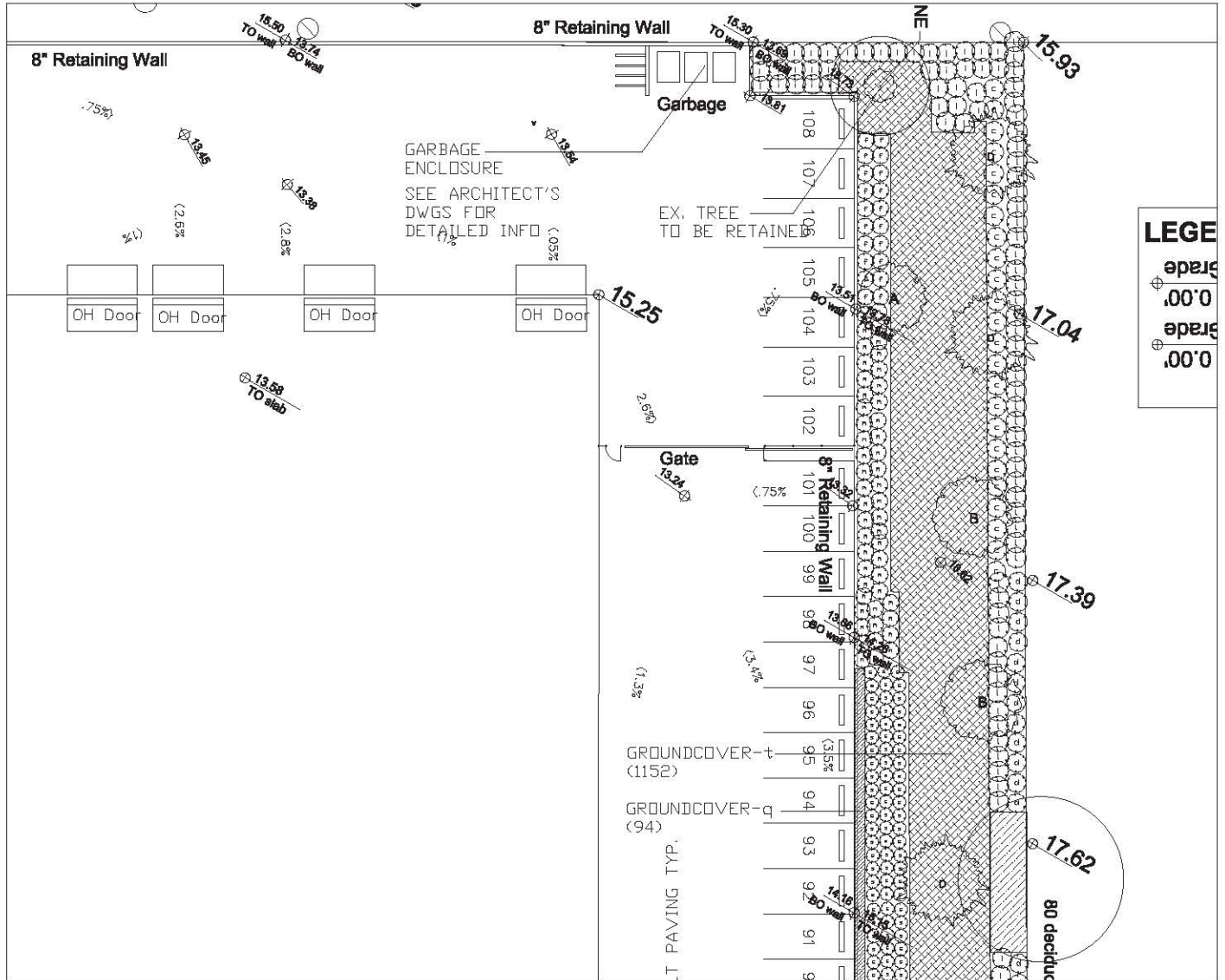
SCALE	3/32" = 1'-0"
DATE	May 16
DRAWN	
JOB NO.	

PROJECT TITLE
Vandal Work Shop
6210, 188th Street
Surrey, BC

DRAWING TITLE
LANDSCAPE PLAN/
PLANTING PLAN



OVERALL REFERENCE PLAN



LEGE

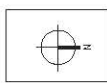
grade

±.00'0

grade

±.00'0

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DATE	REVISIONS
May 16	DP Submission
May 28	DP Revision Submission

JHL Design Group Inc.
Landscape Architecture + Urban Design

4370 Nicola Street, Vancouver, BC
Tel: 604-263-9613
Fax: 1-888-877-8554
Email: info@jhlinc.ca

SCALE: 3/32"=1'-0"
DATE: May 16
DRAWN:
CHECKED:

PROJECT TITLE	Victus Work Shop
	6210, 188th Street
	Surrey, BC

DRAWING TITLE	LANDSCAPE PLAN/ PLANTING PLAN
---------------	----------------------------------

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **May 25, 2016** PROJECT FILE: **7816-0027-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 5219 - 188 Street**

DEVELOPMENT PERMIT

The Development Permit for this application is related to the onsite building design elements. The following engineering requirements will be triggered through the Building Permit for the site.

Property and Right-of-Way Requirements

- 1.942 metres dedication on 188 Street is requested;
- 5.0m x 5.0m dedication at the intersection of 188 Street and 52 Avenue is requested; and
- Provide additional 0.5m wide statutory rights-of-way (SROW) along the full frontage of both 188 Street and 52 Avenue.

Should the applicant decline City's request for dedications, the following statutory rights-of-way (SROW) will be required in lieu:

- Provide 1.942 metres on 188 Street; and
- Provide 5.0m x 5.0m at the intersection of 188 Street and 52 Avenue.

Works and Services

- Construct west side of 188 Street to Collector standard;
- Construct a concrete sidewalk and ensure that the onsite grades match the existing boulevard on 52 Avenue;
- Provide two driveways to 52 Ave. (11 m and 7.3 m wide) and one to 188 Street (11 m wide),
- Construct a water main for the full frontage of 52 Avenue;
- Provide a restrictive covenant (RC) for a private onsite oil / water separator, an RC for on-site detention and an RC for a sanitary pumped connection if required;
- Modify to existing private drainage easement, if applicable; and
- Pay applicable latecomer fees.

A Servicing Agreement is required prior to issuance of the Building Permit.

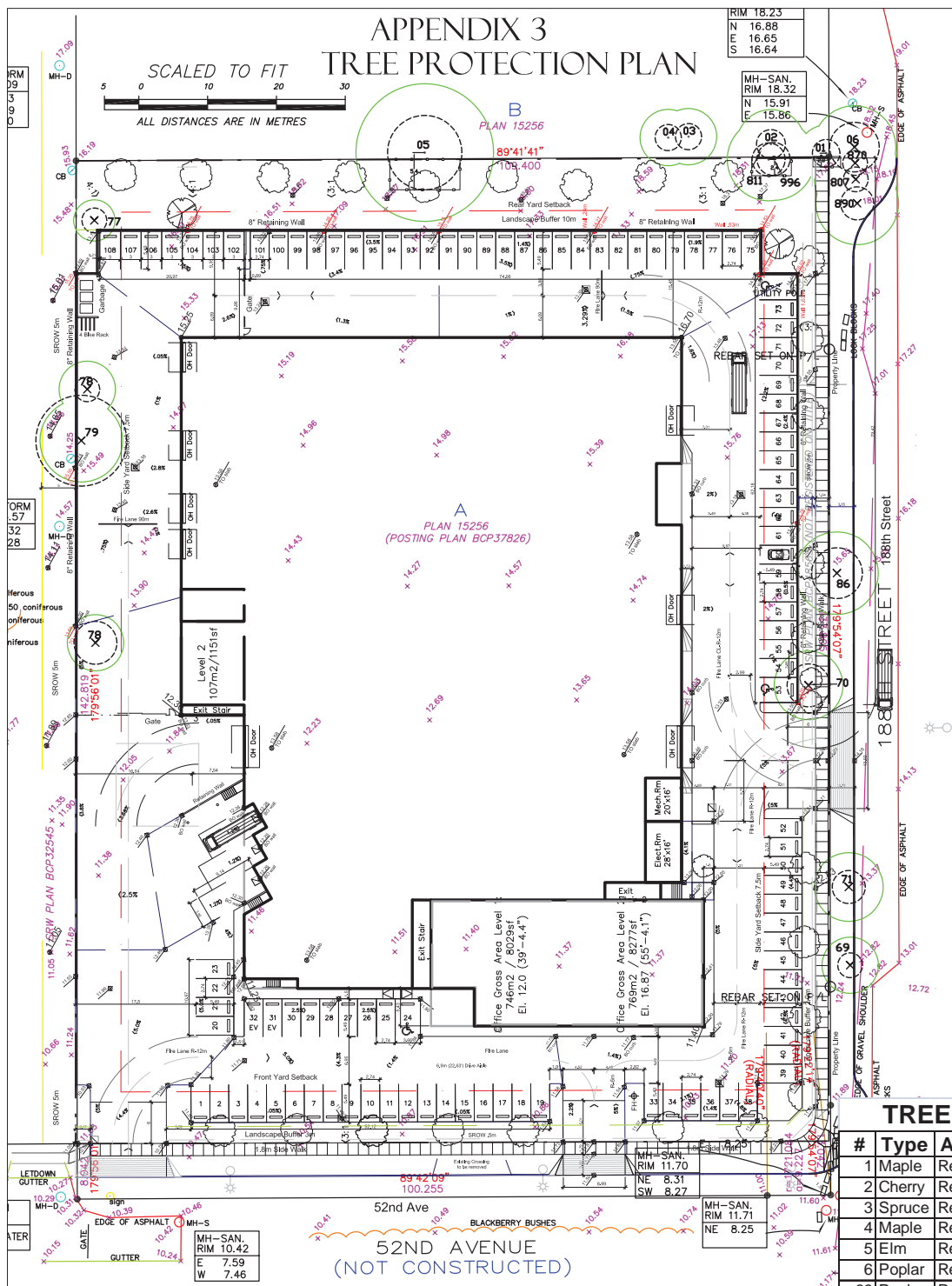


Rémi Dubé, P.Eng.
Development Services Manager
HB4

APPENDIX 3 TREE PROTECTION PLAN



SCALED TO FIT
ALL DISTANCES ARE IN METRES



TREE INVENTORY

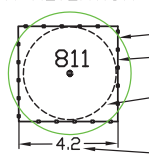
#	Type	Action	DBH	MPZ
1	Maple	Retain	27/15/15	2.0m
2	Cherry	Retain	35cm	2.1m
3	Spruce	Retain	30cm	1.8m
4	Maple	Retain	32cm	1.9m
5	Elm	Retain	90cm	5.4m
6	Poplar	Remove	60cm	3.6m
69	Poplar	Remove	35cm	2.1m
70	D. Fir	Remove	60cm	3.6m
71	Locust	Remove	40cm	2.4m
77	Pine	Remove	30cm	1.8m
78	D. Fir	Remove	30cm	1.8m
79	D. Fir	Remove	110cm	6.6m
86	Poplar	Remove	45/45cm	3.6m
807	Poplar	Remove	30cm	1.8m
811	Poplar	Retain	40cm	2.4m
870	Poplar	Remove	30cm	1.8m
890	Poplar	Remove	40cm	2.4m
996	Poplar	Retain	40cm	2.4m

TREE PROTECTION FENCING

Minimum Radial Distance from trunk

#	Type	DBH	Metres	Feet
1	Bigleaf Maple	27/15/15	2.0m	6.6ft
2	Cherry	35cm	2.1m	6.9ft
5	Elm	90cm	5.4m	17.7ft
811	White Poplar	40cm	2.4m	7.9ft
996	White Poplar	40cm	2.4m	7.9ft

TREE PROPOSED FOR RETENTION



CANOPY PROTECTION FENCING
MINIMUM PROTECTION ZONE (MPZ)
FENCING DIMENSIONS IN METRES

LEGEND

TREE PROPOSED FOR REMOVAL



- NOTES:
- SITE LAYOUT INFORMATION AND TREE SURVEY DATA PER SUPPLIED DRAWING
 - REFER TO ATTACHED TREE PROTECTION REPORT FOR INFORMATION CONCERNING TREE SPECIES, STEM DIAMETER, HEIGHT, CANOPY SPREAD AND CONDITION.
 - PROPOSED TREE REMOVAL AND RETENTION REFLECTS PRELIMINARY DRIVEWAY AND SERVICE CORRIDOR ALIGNMENT CONSIDERATIONS.
 - ALL MEASUREMENTS ARE METRIC

Froggers Creek
Tree Consultants Ltd

7763 McGregor Avenue Burnaby BC V5J 4H4
Telephone: 604-721-6002 Fax: 604-437-0970

5219 188th Street, Surrey BC

TREE PROTECTION DRAWING

THE DRAWING PLOTS ALL TREES, PROPOSED FOR RETENTION, REMOVAL, THEIR CANOPIES, PROTECTION ZONES AND PROTECTION FENCING IN RELATION TO PROPOSED LAYOUT

June 7, 2016