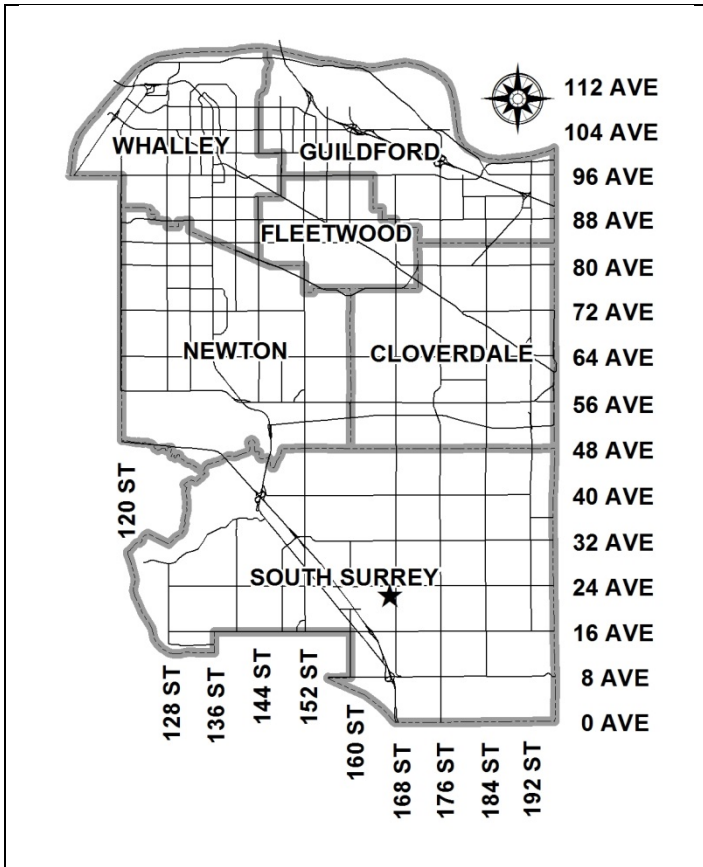


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0026-00

Planning Report Date: May 16, 2016



PROPOSAL:

- **Rezoning** from RA to RF and RF-12 to allow subdivision into six single family residential lots.

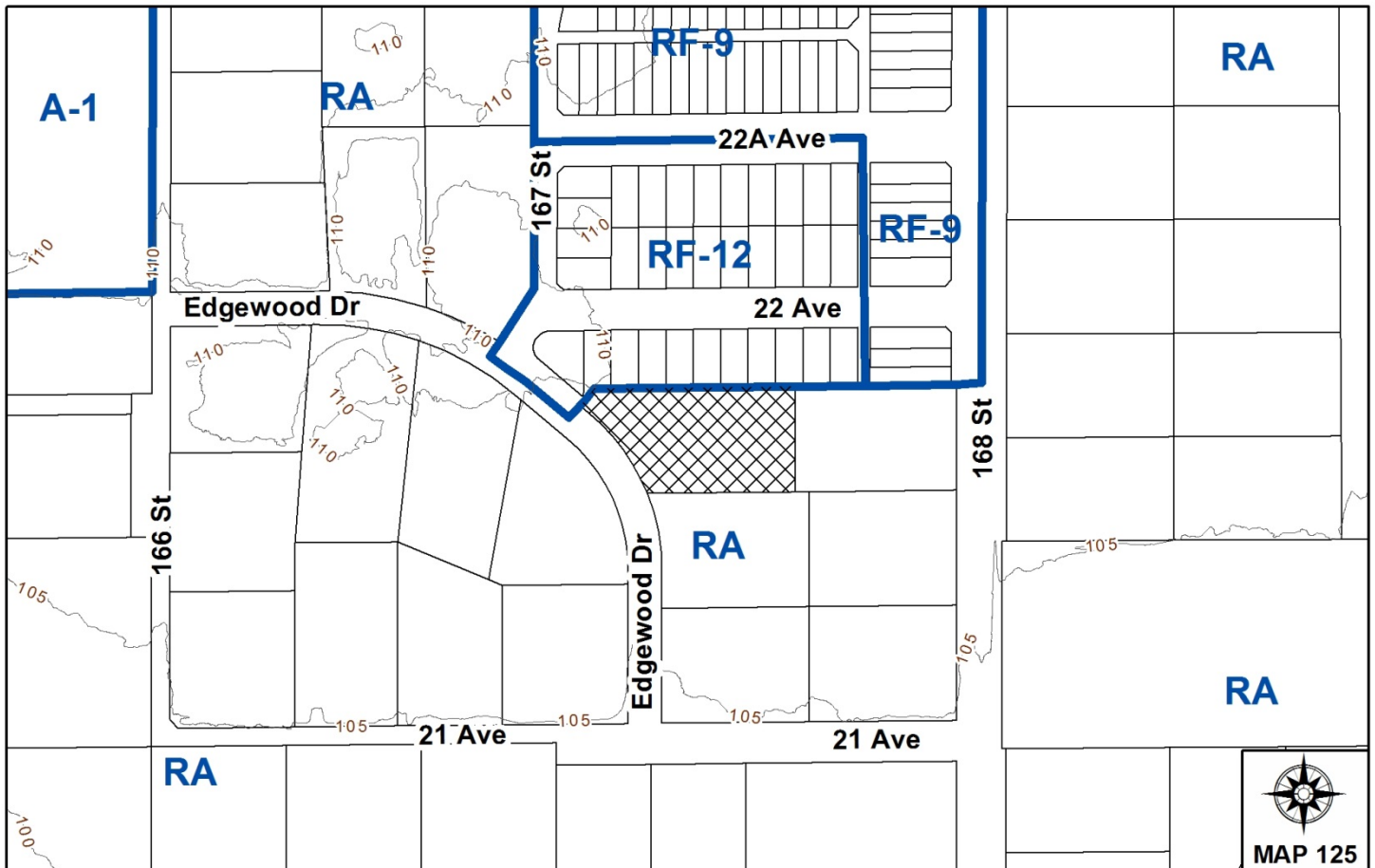
LOCATION: 16729 Edgewood Drive

OWNER: Chuh-Kuang Yang
 Chang Sheng Yang

ZONING: RA

OCP DESIGNATION: Urban

NCP DESIGNATION: Low density residential 6 - 10 upa and Drainage Corridor



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposal complies with site's OCP Designation.
- The proposal complies with the Sunnyside Heights NCP land use designation.
- The proposed land use, density and building form are complementary to the pattern of single family small lot development established to the north and west of the subject site.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Single Family Residential Zone (RF)" shown as Block A on the survey plan attached (Appendix II); and from "One-Acre Residential Zone (RA)" to "Single Family Residential (12) Zone (RF-12)" shown as Block B on the survey plan attached (Appendix II); and a date be set for Public Hearing.
2. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (e) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department; and
 - (f) registration of a Section 219 Restrictive Covenant to ensure tree protection.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

3 Elementary students at Pacific Heights Elementary School
2 Secondary students at Earl Marriott Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by mid-2017.

Parks, Recreation & Culture: Parks Planning has no objection to the proposed development.

SITE CHARACTERISTICSExisting Land Use: Single Family ResidentialAdjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North:	Single family residential (small lots)	Urban/ Low Density Residential 6-10 upa	RF-12
East:	Single family residential	Urban/ Low Density Residential 6-10 upa and Buffer	RA
South:	Single family residential	Urban/ Low Density Residential 6-10 upa and Drainage Corridor	RA
West (Across Edgewood Drive):	Single family residential under Development Application No. 7915-0046-00 to develop into single family small lots	Urban/ Low Density Residential 6-10 upa	RA

DEVELOPMENT CONSIDERATIONSSite Context

- The subject site is located south of 22 Avenue and east of Edgewood Drive in Sunnyside Heights. The property is designated “Urban” in the Official Community Plan (OCP), and “Low Density Residential 6-10 units per acre (upa)” with a drainage corridor along Edgewood Drive in the Sunnyside Heights Neighbourhood Concept Plan (NCP).
- The development site area is 0.45 hectares (1.12 acres) and currently zoned “One-Acre Residential Zone (RA)”.
- The properties to the west, across from Edgewood Drive, are currently under Development Application No. 7915-0046-00 for the development of 45 single family small lots (i.e. RF-12 and RF-10). An amendment to the Sunnyside Heights NCP is proposed as part of that application to re-designate the lands from “Low Density Residential 6-10 upa” to “Medium Density Residential 10-15 upa” due to increased road dedication. Application No. 7915-0046-00 has received Third Reading.

Proposal

- The applicant proposes to rezone the subject site from “One-Acre Residential Zone (RA)” to “Single Family Residential Zone (RF)” and “Single Family Residential (12) Zone (RF-12)”, in order to facilitate the subdivision into five (5) RF lots and one (1) RF-12 lot.

- Proposed Lots 1 and 3-6 will be rezoned to RF Zone and range in size from 560 square metres (6,000 sq.ft.) to 597 square metres (6,426 sq.ft.). Proposed Lot 2 is an irregular sized lot, located at the corner of 21A Ave and Edgewood Drive, is proposed to be rezoned to RF-12 Zone and will be 497 square metres (5,350 sq.ft.) in area.
- The proposed net density of the development is 17 units per hectare (7 units per acre), which is well within permitted density intended for this part of the Sunnyside Heights NCP designation of 6-10 units per acre.
- In accordance with the NCP, a 5.0-metre (16 ft.) wide drainage corridor will be provided along the site's western boundary along Edgewood Drive.
- In accordance with the NCP, a new east-west road (21A Avenue) will be constructed along the south side of the subject site to provide access to the new lots.

Building Design and Lot Grading

- The applicant retained design consultant Mike Tynan of Tynan Consulting Ltd. to carry out a character study of the surrounding homes and based on the findings, proposed a set of Building Design Guidelines for the proposed subdivision.
- The subject site is located in an old growth suburban area with large, 30 – 50 years old bungalow or two-storey estate homes situated on acreage properties. Adjacent to the north boundary of the subject site, is a recent (2013) development of single family small lots (i.e. RF-9 and RF-12). The Character Study found that while some of the existing neighbouring homes provide suitable architectural context for use at the subject site, the scale and massing are not suitable for the proposed RF lots.
- The Design Guidelines for the proposed development will propose a character of homes which are identifiable as “Neo-Traditional”, “Neo-Heritage”, or manifestations of the “West Coast Contemporary” design. The new single family dwellings will adopt standards commonly found in post year 2010 RF Zone subdivisions with respect to massing, construction materials, trim and detailing treatments. The proposed Design Guidelines have been reviewed by staff and found to be generally acceptable. A summary is contained in Appendix V.
- Preliminary lot grading and servicing plans, submitted by Hub Engineering Inc., have been reviewed by staff. The applicant proposes minimal fill over portions of the site to accommodate in-ground basements.

TREES

- Peter Mennel, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder/Cottonwood	0	0	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Apple	2	2	0
Cherry	4	4	0
Plum	2	2	0
Walnut	1	1	0
Coniferous Trees			
Douglas Fir	4	1	3
Falsecypress, Sawara	2	2	0
Total (excluding Alder and Cottonwood Trees)	15	12	3
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		18	
Total Retained and Replacement Trees		19	
Contribution to the Green City Fund		\$2,400	

- The Arborist Assessment states that there are a total of 15 protected trees on the site. There are no Alder and Cottonwood trees on the site. It was determined that 3 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and topographical information.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 24 replacement trees on the site. Since only 16 replacement trees can be accommodated on the site (based on an average of [2] trees per lot), the deficit of 8 replacement trees will require a cash-in-lieu payment of \$2,400, representing \$300 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.

PRE-NOTIFICATION

Pre-notification letters were mailed to 54 property owners within a distance of 3 lots deep of the subject site on March 22, 2015, including the Grandview Heights Stewardship Association and the Little Campbell Watershed Society. A Development Proposal Sign was also installed on-site on March 23, 2016.

To date, staff have received no comments from surrounding property owners for the proposed development. The Little Campbell Watershed Society indicated that best management practices should be used to ensure environmental damage is eliminated or mitigated to protect and enhance the integrity of the Little Campbell River, the multiple tributaries flowing into it and the habitat within the watershed.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on January 21, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site located within the Sunnyside Heights NCP.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposal is consistent with the OCP designation for the site. • The proposal is consistent with the NCP designation for the site and complementary to existing and proposed developments in the area.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Absorbent soils, roof downspout disconnection, infiltration trenches, bio-swales, and sediment control devices will be provided for rain water management. • Composting, recycling, and organic waste pick-up will be made available.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • N/A
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • The proposed dwellings will be oriented towards the street to encourage natural surveillance.
6. Green Certification (F1)	<ul style="list-style-type: none"> • N/A
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • N/A

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary, and Project Data Sheet
- Appendix II. Proposed Subdivision Layout and Zoning Block Plan
- Appendix III. Engineering Summary
- Appendix IV. School District Comments
- Appendix V. Building Design Guidelines Summary
- Appendix VI. Summary of Tree Survey and Tree Preservation

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

RJG/dk

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KD 5/12/16 10:05 AM

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Mike Kompter
 Hub Engineering Inc.
 Address: 12992 - 76 Avenu, Unit 212
 Surrey,BC V3W 2V6

 Tel: 604-572-4328

2. Properties involved in the Application

(a) Civic Address: 16729 Edgewood Drive

(b) Civic Address: 16729 Edgewood Drive
 Owner: Chang Sheng Yang
 Chuh-Kuang Yang
 PID: 005-725-747
 Lot: 45, 005-725-747
 Lot 45 Section 13 Township 1 New Westminster District Plan 59000

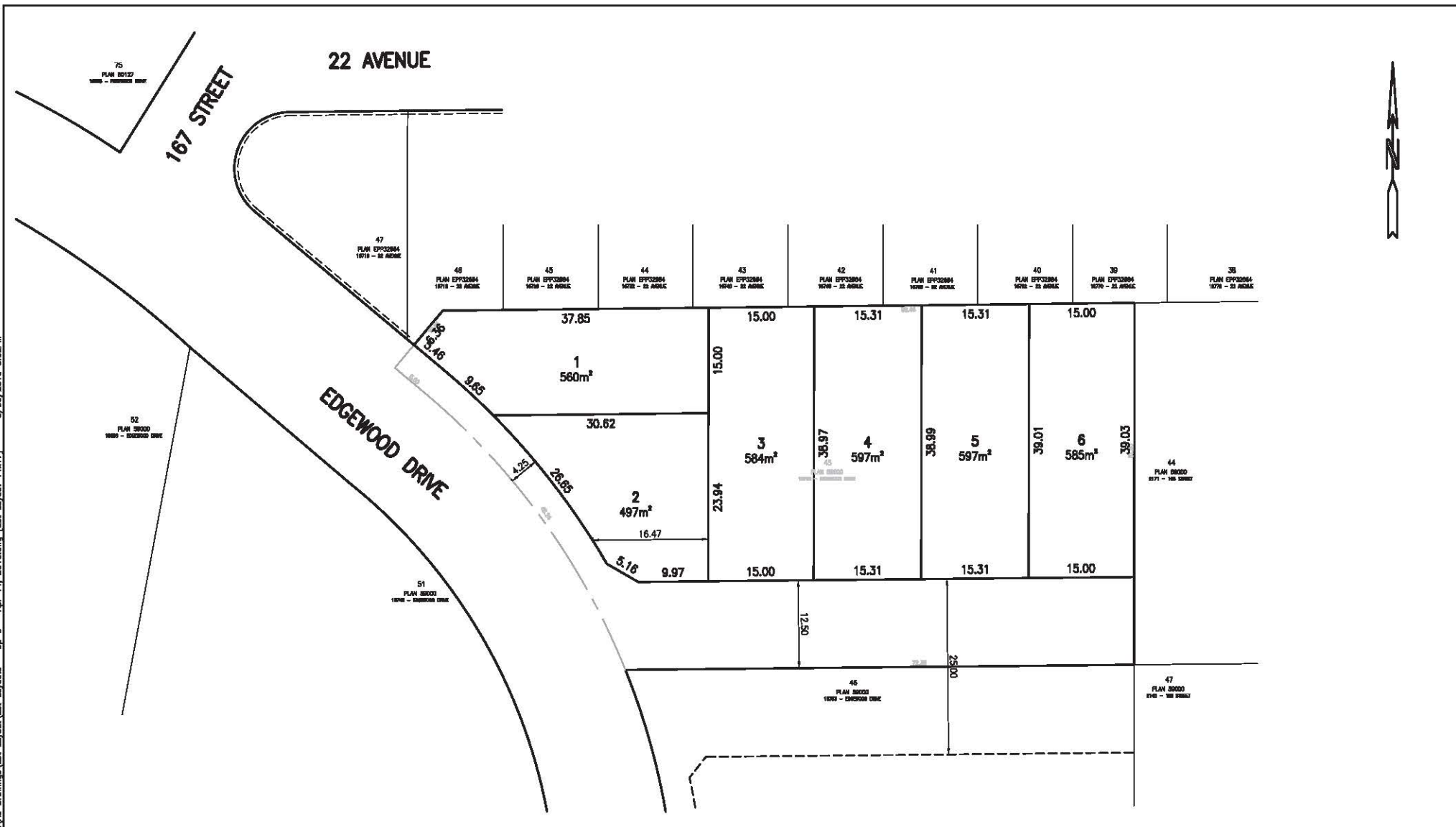
3. Summary of Actions for City Clerk's Office

(a) Introduce a By-law to rezone the site.

SUBDIVISION DATA SHEET

Proposed Zoning: RF and RF-12

Requires Project Data	Proposed	
GROSS SITE AREA		
Acres	1.12	
Hectares	0.45	
NUMBER OF LOTS		
Existing	1	
Proposed	6	
SIZE OF LOTS		
	RF	RF-12
Range of lot widths (metres)	15m	16.5m
Range of lot areas (square metres)	560m ² – 597m ²	497 m ²
DENSITY		
Lots/Hectare & Lots/Acre (Gross)	13.3 lots/ha and 5.4 lots/ac	
Lots/Hectare & Lots/Acre (Net)	17.2 lots/ha and 7.0 lots/ac	
SITE COVERAGE (in % of gross site area)		
	RF	RF-12
Maximum Coverage of Principal & Accessory Building	38%	50%
Estimated Road, Lane & Driveway Coverage		
Total Site Coverage		
PARKLAND		
	N/A	
Area (square metres)		
% of Gross Site		
Required		
PARKLAND		
5% money in lieu	NO	
TREE SURVEY/ASSESSMENT		
	YES	
MODEL BUILDING SCHEME		
	YES	
HERITAGE SITE Retention		
	NO	
FRASER HEALTH Approval		
	NO	
DEV. VARIANCE PERMIT required		
Road Length/Standards	NO	
Works and Services	NO	
Building Retention	NO	
Others	NO	



CLIENT:	PROJECT: 16729 EDGEWOOD DRIVE, SURREY, B.C.		
DRAWING TITLE:	RESIDENTIAL SUBDIVISION		
PROJECT No. 15093	DATE APR 2016	LEGAL:	MUNICIPAL PROJECT No: 7916-0026-00
SCALE: 1:500			
PRELIMINARY PLAN - SUBJECT TO APPROVAL (S) FROM FEDERAL, PROVINCIAL AND LOCAL AUTHORITIES			

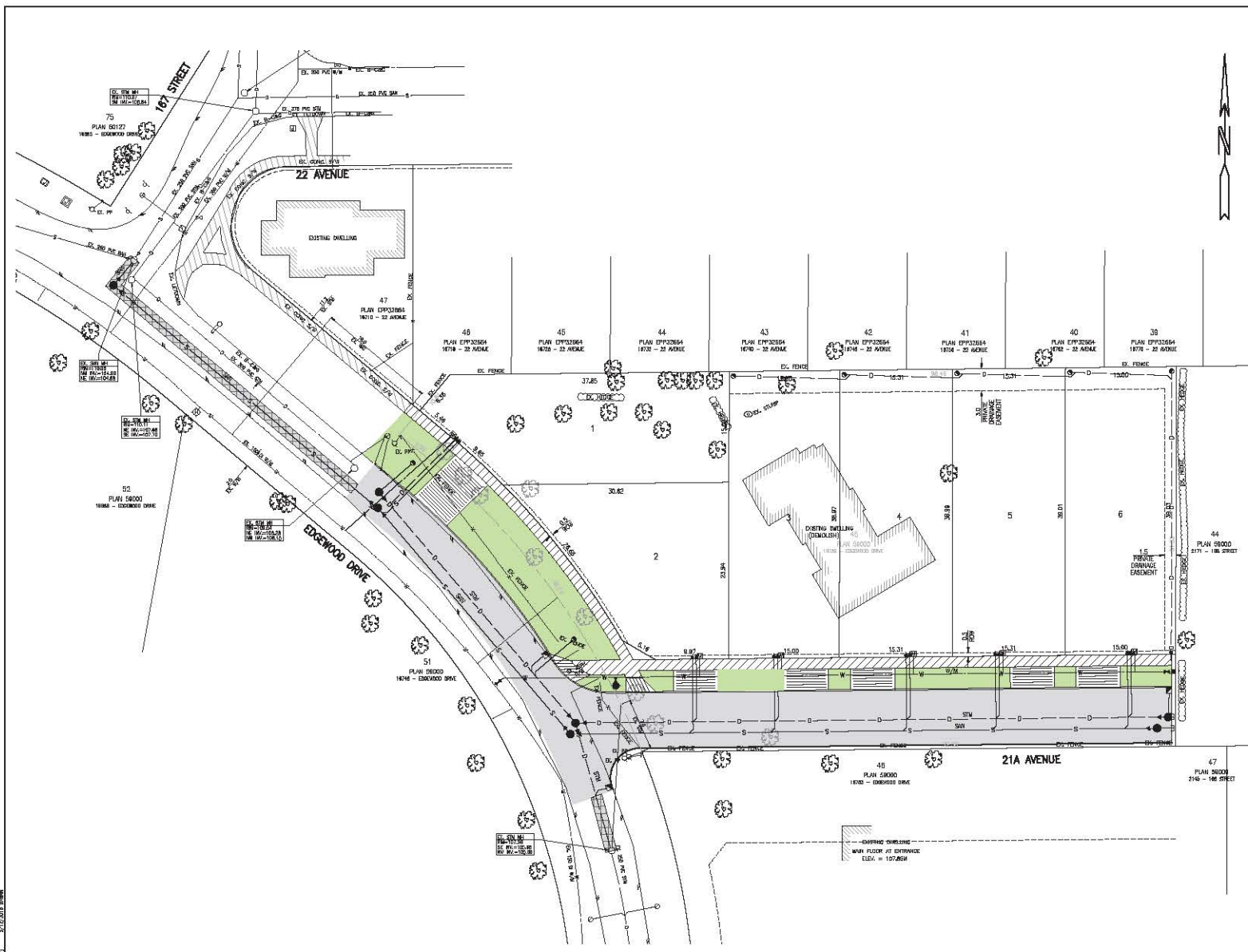
Hub Engineering Inc.
 Engineering and Development Consultants

Member
PACIFIC LAND GROUP

Suite 212, 12992 - 76 Avenue, Surrey, B.C. V3W 2V6
 tel: 604-572-4328 | fax: 604-501-1625 | mail@hub-inc.com | www.hub-inc.com

APPENDIX II

C:\Projects\15093\15093_16729 Edgewood Drive\Drawings\Lot Layouts\Lot Layout_11117.dwg [Lot Layout_11117] 5/09/2016 5:02PM



- NOTES:**
1. ALL DIMENSIONS ARE METRIC UNLESS NOTED OTHERWISE.
 2. CONTRACTOR SHALL REINSTATE ALL DISTURBED WORKS TO PRE-CONSTRUCTION CONDITION OR BETTER AND TO CURRENT CITY OF SURREY STANDARDS.
 3. ALL NEW SERVICE CONNECTIONS SHALL CONFORM TO CURRENT CITY OF SURREY STANDARDS.
 4. ASHRAE PLACEMENT CUTS AND PATCHES SHALL CONFORM TO CURRENT CITY OF SURREY STANDARDS.
 5. ALL EXISTING UNDERGROUND WORKS AND SERVICES SHOWN HEREIN ARE APPROXIMATE ONLY BASED ON AS-CONSTRUCTED RECORDS. CONTRACTOR SHALL EXPOSE AND VERIFY (DEPTH, LOCATION, MATERIAL TYPE AND SIZE OF PIPE AND ALL OTHER UNDERGROUND WORKS AND SERVICES) AT 1M AND EXPOSURE POINTS PRIOR TO CONSTRUCTION AND ADVISE HUB ENGINEERING INC. IMMEDIATELY OF ANY DISCREPANCY.
 6. CONTRACTOR SHALL REPLACE ANY NATIVE WACKILL OVER EXISTING WORKS WITH IMPROVED GRANULAR BACKFILL.
 7. ALL NEW ELECTRICAL AND TELECOMMUNICATIONS SERVICE CONNECTIONS TO BE LOCATED UNDERGROUND.
 8. ALL BULLETDOWN AREAS SHALL BE GRADED BY CONTRACTOR TO CURRENT WARD AND CITY OF SURREY STANDARDS.
 9. CONTRACTOR SHALL ADJUST ALL EXISTING FANS AND COVERS FLUSH WITH NEW SURFACE GRADES (UNLESS NOTED OTHERWISE).
 10. CONTRACTOR TO TIE-IN ALL NEW SURFACE WORKS TO EXISTING SURFACE WORKS FORMING A SMOOTH TRANSITION.
 11. CONTRACTOR SHALL MAKE ARRANGEMENTS WITH CITY OF SURREY TO INSTALL ALL WATER SERVICES, TIE-INS AND VEDICATES AS IDENTIFIED ON DRAWINGS.
 12. ALL EXISTING BUILDINGS, FENCES, DRIVEWAYS, STRUCTURES, POOLS, SEPTIC TANKS AND DISPOSAL TRENCHES ON THE SITE SHALL BE DEMOLISHED AND DISPOSED PRIOR TO CONSTRUCTION WITH A DEMOLITION PERMIT. NO DEMOLITION TO COMMENCE UNTIL ALL EXISTING SERVICES HAVE BEEN DISCONNECTED. CONTRACTOR SHALL PROVIDE COPY OF DEMOLITION SIGN OFF LETTER FROM CITY OF SURREY TO HUB ENGINEERING INC.

- PARKS NOTES:**
1. PARKS DEPARTMENT SHALL BE INVITED TO THE PRE-CONSTRUCTION MEETING. CONTACT EUGENIE THEL AT 604-501-5168 OR ETHEL@SURREY.PA.CA.
 2. DEVELOPER'S CLEARING CONTRACTOR SHALL CONTACT EUGENIE THEL TO DETERMINE NUMBER OF HAZARDOUS TREES AND CONSTRUCTION OF TREE PROTECTION BARRIER REQUIREMENTS PRIOR TO COMMENCEMENT OF SITE WORK. PARKS DEPARTMENT TO ASSESS PARALAND FOR HAZARDOUS TREES.
 3. TEMPORARY BARRIERS SHALL BE INSTALLED ALONG THE PARKS' PROPERTY LINES AFTER THE HAZARDOUS TREES ARE REMOVED AND APPROVED BY THE CITY.
 4. A CHAINLINK FENCE TO C.F.O.'S STANDARDS SHALL BE INSTALLED ALONG THE PARKS' PROPERTY LINES. REFER TO THE KEY PLAN FOR DETAILS.
 5. IF THERE ARE PROPOSED UTILITIES TO BE CONSTRUCTED AND/OR EXISTING UTILITIES TO BE REMOVED WITHIN THE PARALAND, THE PARKS DEPARTMENT SHALL BE CONTACTED PRIOR TO CONSTRUCTION.
 6. TO RECEIVE FINAL APPROVAL FROM THE PARKS DEPARTMENT, THE PARALAND MUST BE FREE OF ANY EXISTING STRUCTURES, HAZARDOUS TREES, HAZARDOUS WEEDS, OLD FENCES, DRAPING, ETC. AND ANY OTHER HAZARDS AND SHALL BE REMOVED AT THE DEVELOPER'S EXPENSE AS DIRECTED BY THE PARKS DEPARTMENT.
 7. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN TREE CUTTING PERMIT AND EROSION SEDIMENT CONTROL PERMIT. CONTRACTOR SHALL COMPLY WITH ALL TERMS OF THESE PERMITS.
 8. CONTRACTOR SHALL RETAIN AN ARBORIST TO ENSURE COMPLIANCE WITH ALL ASPECTS OF THE TREE CUTTING PERMIT.

- TRAFFIC MANAGEMENT PLAN**
1. A TRAFFIC MANAGEMENT PLAN WILL BE REQUIRED FOR WORK ON ARTERIAL AND COLLECTOR ROADS. A SPECIFIC LOCAL ROAD WILL REQUIRE TRAFFIC MANAGEMENT PLAN AS DIRECTED BY THE TRAFFIC OPERATIONS SECTION OF THE ENGINEERING DEPARTMENT.
 2. THE DEVELOPER'S CONTRACTOR SHALL COMPLETE AND OBTAIN APPROVAL FROM THE SURREY TRAFFIC OPERATIONS SECTION. UNTIL APPROVAL HAS BEEN OBTAINED FROM THE TRAFFIC OPERATIONS SECTION THE INSPECTOR SERVICES SECTION WILL NOT CONDUCT A PRE-CONSTRUCTION MEETING OR ISSUE ANY PERMITS FOR WORKS AND SERVICES.

PRELIMINARY

NOT FOR CONSTRUCTION

Scale: 1:250

REVISION NO.	DESCRIPTION	DATE	BY	CHECKED	APPROVED
1	ISSUED FOR ALL ELEVATIONS AND REFER TO SURREY WDN No. 3150	JAN 2016			
2	LOCATED AT 186 STREET & 22 AVENUE	15093			
3	AND HAVING ELEVATION 107.600M				
4	SURVEY DATED 2015-12-14				

Hub Engineering Inc.
Engineering and Development Consultants

Member
PACIFIC AND GROUP

Suite 212, 12992 - 76 Avenue, Surrey, B.C. V3W 2V6
Tel: 604-572-4328 | Fax: 604-501-1425 | mail@hub-inc.com
www.hub-inc.com

CLIENT: RESIDENTIAL SUBDIVISION
16729 - EDGEWOOD DRIVE
SURREY, B.C.
LEGAL: LTY 48 SECTION 13 TOWNSHIP 1
NEW WESTMINSTER DISTRICT PLAN 5800

DATE: [] / [] / []

PROJECT TITLE: KEY PLAN

THE CITY OF SURREY	
TITLE: KEY PLAN	SURREY PROJECT NO.: 7916-0025-00
DATE: May 12, 2016	SURREY DRAWING NO.:
DRAWING NO.: 15093-	SCALE: 1:250
CHECKED: []	DATE: []
BY: []	FILE: []

DESTROY ALL PRINTS BEARING PREVIOUS REVISION NUMBER

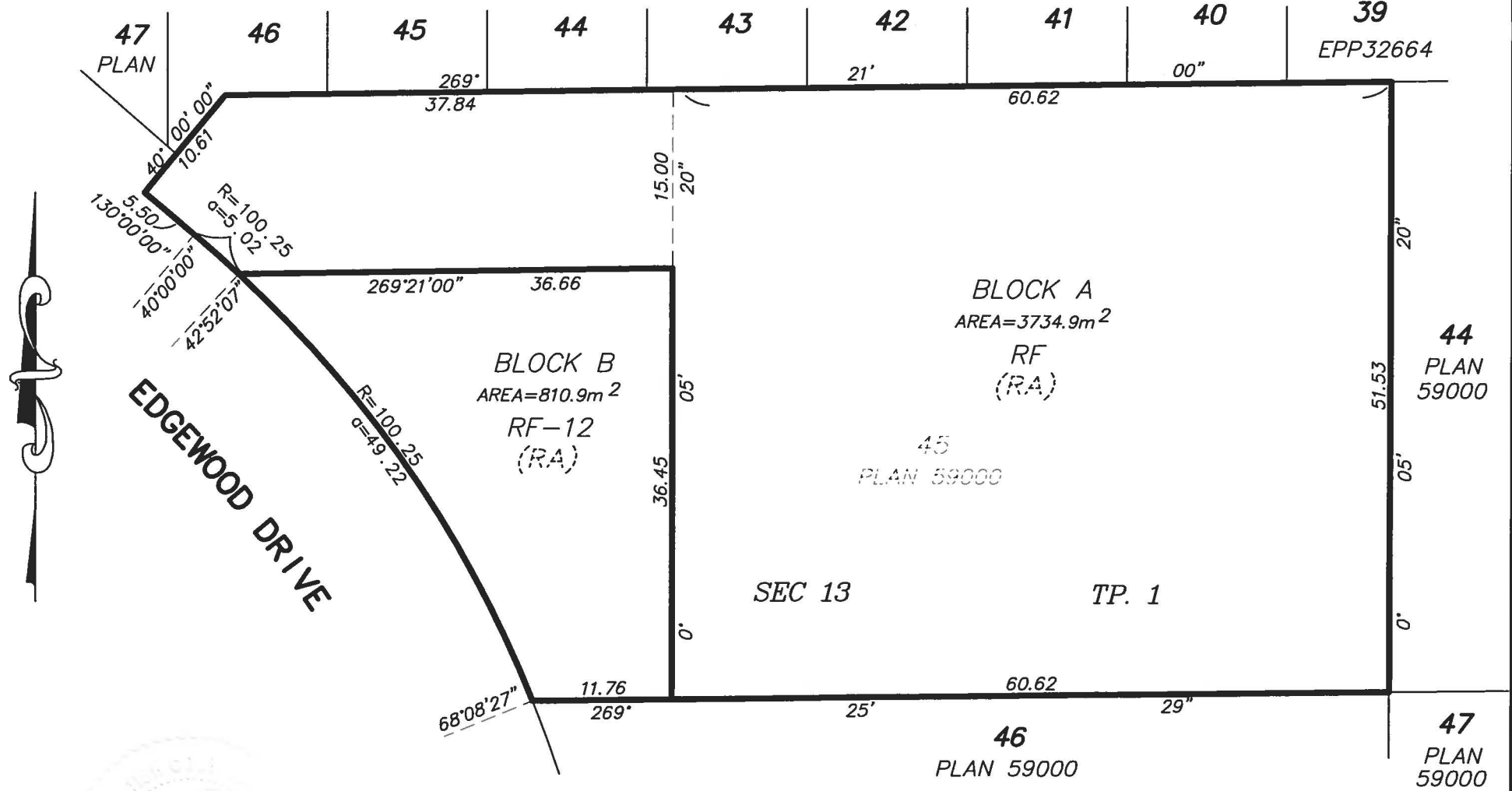
**SURVEY PLAN TO ACCOMPANY
CITY OF SURREY BYLAW No. _____
OVER LOT 45 SECTION 13 TOWNSHIP 1
NEW WESTMINSTER DISTRICT 59000**

FOR THE PURPOSE OF REZONING

SCALE 1 : 500
DISTANCES ARE IN METRES

SURREY FILE NO: 7916-0026-00

THE INTENDED PLOT SIZE OF THIS PLAN
IS LETTER SIZE PAPER
WHEN PLOTTED AT A SCALE OF 1:500



[Signature]
CERTIFIED CORRECT THIS 21st DAY OF MARCH, 2016.
LAKHJOT S. GREWAL B.C.L.S. #809

GRID BEARINGS ARE DERIVED FROM PLAN 59000.

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES
UNLESS OTHERWISE SPECIFIED.

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT

**GREWAL & ASSOCIATES
PROFESSIONAL LAND SURVEYORS**
UNIT 204, 15299-68th AVENUE
SURREY, B.C. V3S 2C1
TEL: 604-597-8567
EMAIL: Office@GrewalSurveys.com
FILE : 1511-049
DWG : 1511-049 SK-RZ

TO: **Manager, Area Planning & Development - South Surrey Division
Planning and Development Department**

FROM: **Development Project Engineer, Engineering Department**

DATE: **May 12, 2016** PROJECT FILE: **7816-0026-00**

RE: **Engineering Requirements
Location: 16729 Edgewood Dr**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- dedicate 4.25 m along Edgewood Drive towards the 25.0 m Local Road allowance;
- dedicate 12.5 m along 21A Avenue towards the 25.0 m Local Road allowance;
- dedicate 3 m x 3 m corner cut at the intersection of Edgewood Drive and 21A Avenue; and
- register 0.50 m statutory right-of-way along Edgewood Drive and 21A Avenue for inspection chambers and sidewalk maintenance.

Works and Services

- construct east side of Edgewood Drive to the Local Road standard;
- construct north side of 21A Avenue to the Local Half Road standard;
- extend storm and sanitary mains along Edgewood Drive and 21A;
- extend water main along proposed 21A Avenue;
- construct driveway located within the 5.0 m drainage corridor to conform to permeability specifications detailed in Engineering Review; and
- provide storm, sanitary and water service connections to service all lots.

A Servicing Agreement is required prior to Rezoning and Subdivision.



Robert Cooke, Eng.L.
Development Project Engineer

M51



Planning

April-04-16

THE IMPACT ON SCHOOLS

APPLICATION #: 7916-0026-00

School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Pacific Heights Elementary is currently over capacity with rapid enrolment growth expected to continue. A new elementary school site has been purchased south of 23rd Avenue - Site #206 near Edgewood Drive. The construction of a new elementary school on this site is a high priority in the District's 5-Year Capital Plan and feasibility planning is underway. The school district has also purchased land for a new secondary school in the Grandview area adjoining the City of Surrey future aquatic centre and recreation property. The construction of this secondary school is also a high priority in the district's 5-Year Capital Plan. A proposed addition to Pacific Heights Elementary is included in the capital plan, but as a lower priority than the two capital projects mentioned above. The enrolment projections include anticipated residential growth from the Grandview and Sunnyside NCPs. The actual enrolment growth rate will be driven by the timing of development, demographic changes and market factors. Enrolment pressures in this area of Surrey are extreme and capital project approval timelines are unknown at this point in time. Additional portables will be required at Pacific Heights for September 2016 and options for placing portables on neighbouring sites are under investigation. Until new elementary and secondary school capital projects are approved, the school district does not support development occurring at a higher density than outlined in approved NCPs.

SUMMARY

The proposed 6 Single family with suites are estimated to have the following impact on the following schools:

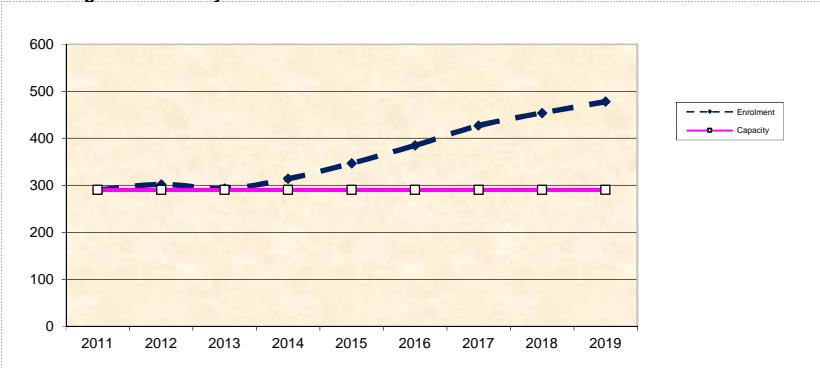
Projected # of students for this development:

Elementary Students:	3
Secondary Students:	2

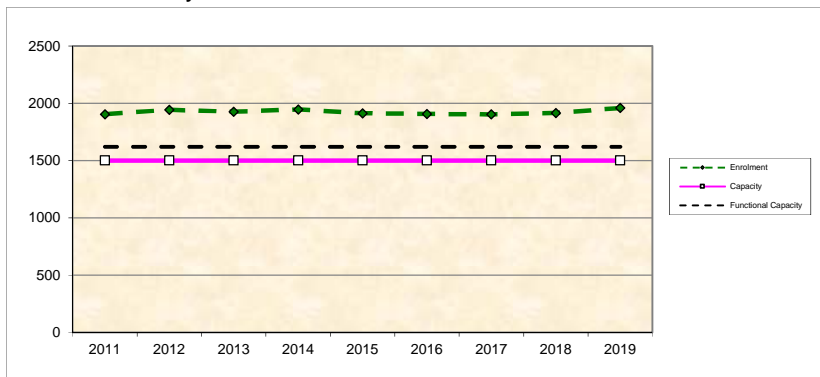
September 2015 Enrolment/School Capacity

Pacific Heights Elementary	
Enrolment (K/1-7):	40 K + 307
Capacity (K/1-7):	40 K + 250
Earl Marriott Secondary	
Enrolment (8-12):	1912
Nominal Capacity (8-12):	1500
Functional Capacity*(8-12):	1620

Pacific Heights Elementary



Earl Marriott Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

BUILDING GUIDELINES SUMMARY

Surrey Project no: 7916-0026-00
 Project Location: 16729 Edgewood Drive, Surrey, B.C.
 Design Consultant: Tynan Consulting Ltd., (Michael E. Tynan)

The draft Building Scheme proposed for this Project has been filed with the City Clerk. The following is a summary of the Residential Character Study and the Design Guidelines which highlight the important features and form the basis of the draft Building Scheme.

1. Residential Character

1.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site:

The subject site is located in an old growth suburban area in the 16600 and 16700 blocks of Edgewater Drive. Homes are large 30 - 50 year old homes situated on RA zoned lots, landscaped to an average standard for old suburban lots. However, adjacent to the north boundary of the subject site is a large new 78 lot RF9 and RF12 development site, most of which is now built out, with the exception of only a few remaining vacant RF-12 lots located along the northern boundary of the subject site.

Overall, this area was built out over a time period spanning from the 1960's to the present. The age distribution from oldest to newest is: 1960's (10%), 1970's (30%), 1980's (30%), and post year 2010's (30%). A majority of homes in this area have a floor area in the 2501 - 3000 sq.ft. size range. Home size distribution is: 2001 - 2500 sq.ft. (10%), 2501 - 3000 sq.ft. (40%), 3001 - 3550 sq.ft. (30%), and over 3550 sq.ft. (20%). Styles found in this area include: "Old Urban" (20%), "West Coast Traditional (English Tudor emulation)" (10%), "West Coast Traditional" (10%), "Traditional English" (20%), "Traditional Cape Cod" (10%), and "Neo-Traditional" (30%). Home types include: Bungalow (20%), Split Level (10%), Basement Entry (10%), and Two-Storey (60%).

Massing scale (front wall exposure) characteristics include: low mass structure (20%), low to mid-scale massing (10%), mid-scale massing with proportionally consistent, well balanced massing design (context homes) (50%), mid to high scale massing (10%), and high scale massing (10%). All homes have a single storey high front entrance.

The range of roof slopes found in this area is: 5:12 (7%), 6:12 (21%), 8:12 (21%), 12:12 (43%), and greater than 12:12 (7%). Main roof forms (largest upper floor truss spans) include: Main common hip roof (60%), Main common gable roof (20%), and Main Dutch hip roof (20%). Feature roof projection types include: Common Hip (42%), Common Gable (42%), and Dutch Hip (17%). Roof surfaces include: Shake profile asphalt shingles (60%), Cedar shingles (40%).

Main wall cladding materials include: Horizontal cedar siding (10%), Horizontal Waney edge cedar siding (10%), Vertical channel cedar siding (10%), Horizontal vinyl siding (10%), Hardiplank siding (30%), and Stucco cladding (30%). Feature wall trim materials used on the front facade include: No feature veneer (7%), Brick feature veneer (29%), Stone feature veneer (21%), Hardiplank shingles accent (7%), Horizontal cedar accent (7%), 1x4 vertical battens over Hardipanel in gable ends (7%), and Tudor style battens over stucco accent (21%). Wall cladding and trim colours include: Neutral (44%), and Natural (56%).

Covered parking configurations include: Double garage (70%), Triple garage (10%), and Quadruple garage (20%). A variety of landscaping standards are evident, ranging from "modest" to "high quality", but there is no evident pattern. Driveway surfaces include: gravel (11%), asphalt (22%), broom finish or smooth concrete (11%), and exposed aggregate (56%).

1.2 Features of Surrounding Dwellings Significant to the Proposed Building Scheme:

- 1) **Context Homes:** 70 percent of existing neighbouring homes provide suitable architectural context for use at the subject site (and therefore 30 percent of homes are considered 'non-context'). Context homes include: 16774 - Edgewood Drive, 16746 - Edgewood Drive, 2218 - 167 Street, 16725 - 22 Avenue, 16710 - 22 Avenue, 16729 - Edgewood Drive, and 16753 - Edgewood Drive. However, some of the context homes on the RA zoned lots are of a scale too large to emulate on the proposed RF zone lots, and although homes in the RF-12 and RF-9 development to the north have context quality massing designs, they are also not of a scale suitable for new RF zone developments. The recommendation therefore is to adopt standards commonly found in post year 2010 RF zoned subdivisions, rather than to specifically emulate the aforesaid context homes.
- 2) **Style Character :** There is a mix of old traditional estate size suburban homes and modern Neo-Traditional styles in this neighbourhood. Preferred styles for this site include "Neo-Traditional" and "Neo-Heritage", as these styles are an ideal bridge between the traditional and Neo-Traditional styles. However, it should also be recognized that there is a strong style change in progress now toward "West Coast Contemporary" designs. Manifestations of this style that are reasonably compatible with other homes approved at the subject site should also be considered. Note that style range is not restricted in the building scheme. However, the consultant refers to the character study when reviewing plans for style-character intent.
- 3) **Home Types :** There are a wide range of home types evident, and so some flexibility is justified. Home type (Two-Storey, Bungalow, Basement Entry, Split Level, etc.) will not be regulated in the building scheme.
- 4) **Massing Designs :** Massing designs should meet new standards for RF zoned subdivisions. New homes should exhibit "mid-scale" massing. Various elements and projections on the front of the home should be interesting architecturally, and should be in pleasing natural proportions to one another. These elements and projections should be located so as to create balance across the façade.
- 5) **Front Entrance Design :** The recommendation is to limit the range of entrance portico heights to between one storey and 1 ½ storeys, a common standard for new RF zone subdivisions, to ensure there is not proportional overstatement of this one element.
- 6) **Exterior Wall Cladding :** This is an area in which new high value homes have been constructed with high quality cladding materials. Vinyl is a low cost utility cladding material that is well suited to areas where affordability is an objective. This is not the case here, as all lots and new homes will be of high value and estate quality. Vinyl therefore, is not recommended.
- 7) **Roof surface :** This is an area in which most homes have asphalt shingle roofs. It is expected that most new homes will also have asphalt shingle roofs, and for continuity, asphalt shingles are recommended. A single cedar shingle or concrete tile roof would stand out as inconsistent due the large difference in textures (thickness) between asphalt shingles and cedar shingles or concrete tiles, and so these products are not recommended. However, where opportunities arise to introduce new environmentally sustainable products, they should be embraced. Generally, these materials have thicknesses between asphalt shingles and cedar shingles and will not appear out of place texturally. Therefore, to ensure consistency of character, only shake profile asphalt shingles and shake profile sustainable products are recommended.

- 8) **Roof Slope** : A significant number of neighbouring homes have low slope roofs that are not well suited to the proposed style range. Emulation of the low slope roof characteristic is therefore not recommended. Roofs slopes of 8:12 or higher are recommended, with standard exceptions to allow lower slopes at verandas (so front windows at the upper floor can be of sufficient depth) and to ensure that roofs are not overly high, resulting in over-shadowing of neighbouring lots, or resulting in view corridor blockage. However, due to emerging trends in which contemporary designs are being increasingly sought, lower slope roofs could be approved subject to the architectural integrity of the contemporary design as determined by the consultant.

Streetscape: Homes along Edgewood Drive are 30 - 50 year old Traditional and "West Coast Traditional" Two-Storey, Bungalow, and Split Level type homes situated on large RA zoned lots. At the north side of the site there are new 2800 sq.ft. "Neo-Traditional" style Two-Storey homes with desirable mid-scale massing characteristics that are finished to a high modern standard.

2. Proposed Design Guidelines

2.1 Specific Residential Character and Design Elements these Guidelines Attempt to Preserve and/or Create:

- the new homes are readily identifiable as one of the following styles: "Neo-Traditional", "Neo-Heritage", or compatible style as determined by the design *consultant*. Note that the proposed style range is not contained within the building scheme, but is contained within the residential character study which forms the basis for interpreting building scheme regulations.
- a new single family dwelling *constructed* on any *lot* meets year 2000's design standards, which include the proportionally correct allotment of mass between various street facing elements, the overall balanced distribution of mass within the front facade, readily recognizable style-authentic design, and a high trim and detailing standard used specifically to reinforce the style objectives stated above.
- trim elements will include several of the following: furred out wood posts, articulated wood post bases, wood braces and brackets, louvered wood vents, bold wood window and door trim, highly detailed gable ends, wood dentil details, stone or brick feature accents, covered entrance verandas and other style-specific elements, all used to reinforce the style (i.e. not just decorative).
- the development is internally consistent in theme, representation, and character.
- the entrance element will be limited in height (relative dominance) to 1 to 1 ½ storeys.

2.2 Proposed Design Solutions:

Interfacing Treatment with existing dwellings)

There are homes in this area that could be considered to provide acceptable architectural context. However, massing design, construction materials, and trim and detailing standards for new homes constructed in most new (post year 2010) RF zone subdivisions are different than those in suburban zones and in the compact lot zones. The recommendation therefore is to adopt standards commonly found in post year 2010 RF zoned subdivisions, rather than to specifically emulate the aforesaid two context homes.

Exterior Materials/Colours:

Stucco, Cedar, Hardiplank, Brick, and Stone. Vinyl siding not permitted on exterior walls.

“Natural” colours such as browns, greens, clays, and other earth-tones, and “Neutral” colours such as grey, white, and cream are permitted. Primary colours are not recommended for this development, except on trim. “Warm” colours such as pink, rose, peach, salmon are not permitted. Trim colours: Shade variation of main colour, complementary, neutral, or subdued contrast only.

- Roof Pitch:** Minimum 7:12, with exceptions to prevent roof ridges from becoming too high (overshadowing of neighbouring lots), to allow for veranda roofs that do not cover upper floor windows, to allow for artistic expression in feature roofs, and to provide a path for exceptional designs with lower slope roofs to be approved subject to consultant approval.
- Roof Materials/Colours:** Only shake profile asphalt shingles with a raised ridge cap and new environmentally sustainable roofing products providing that aesthetic properties of the new materials are equal to or better than the traditional roofing products. Greys, browns, or black only.
- In-ground basements:** Permitted, subject to determination that service invert locations are sufficiently below grade. Basements will appear underground from the front.
- Treatment of Corner Lots:** Significant, readily identifiable architectural features are provided on both the front and flanking street sides of the dwelling, resulting in a home that architecturally addresses both streets. One-storey elements on the new home shall comprise a minimum of 40 percent of the width of the front and flanking street elevations of the single family dwelling. The upper floor is set back a minimum of 0.9 metres [3'- 0"] from the one-storey elements.
- Landscaping:** *Moderate modern urban standard:* Tree planting as specified on Tree Replacement Plan plus minimum 20 shrubs of a minimum 3 gallon pot size. Corner lots shall have an additional 10 shrubs of a minimum 3 gallon pot size, planted in the flanking street sideyard. Sod from street to face of home. Driveways: exposed aggregate, interlocking masonry pavers, or stamped concrete only.

Compliance Deposit: \$5,000.00

Summary prepared and submitted by: Tynan Consulting Ltd. Date: February 23, 2016

Reviewed and Approved by:



Date: February 23, 2016

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: 16-0026-00


Address: 16729 Edgewood Drive, Surrey, BC

Registered Arborist: Peter Mennel

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	16
Protected Trees to be Removed	13
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	3
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 13 X two (2) = 26 	26
Replacement Trees Proposed	18
Replacement Trees in Deficit	8
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0 	0
Replacement Trees Proposed	NA
Replacement Trees in Deficit	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist: 	Date: May 9, 2016
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Mike Fadum and Associates Ltd.
#105, 8277-129 Street, Surrey, BC, V3W 0A6
Phone 778-593-0300 Fax 778-593-0302

