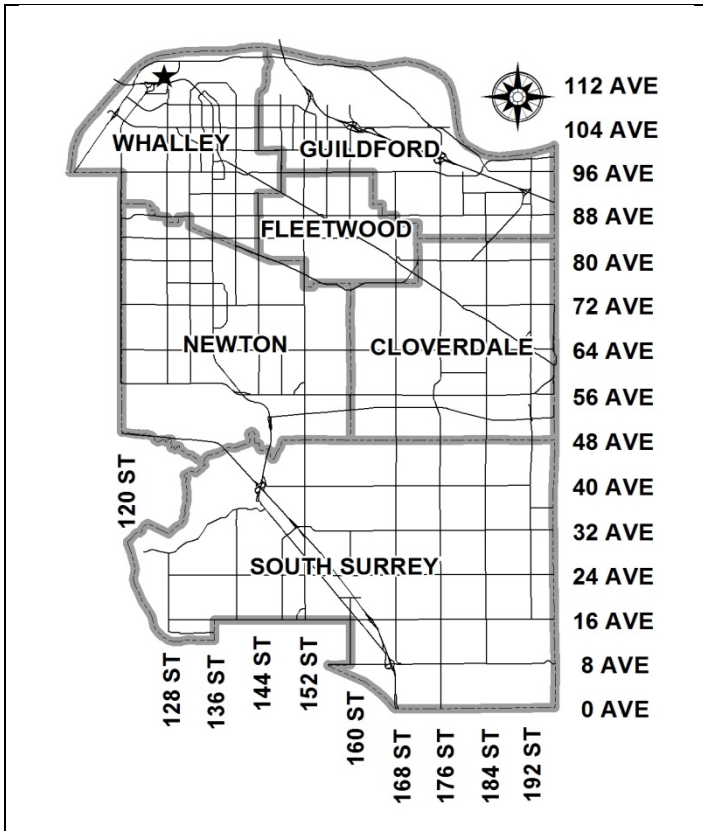


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7916-0004-00

Planning Report Date: March 7, 2016



PROPOSAL:

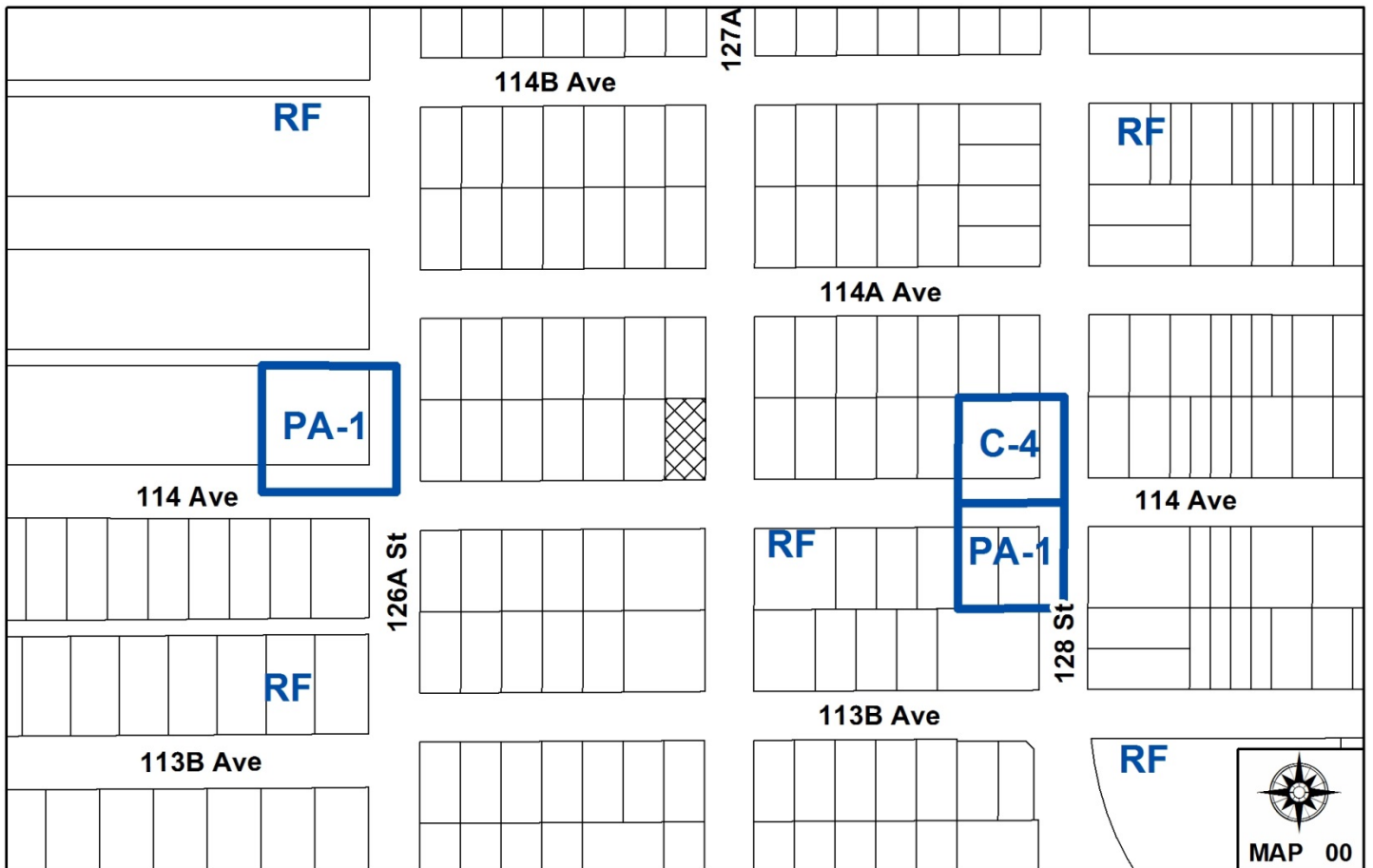
- **Development Variance Permit**
 to reduce the east side yard setback on a flanking street
 to permit the construction of a sanitary pump station.

LOCATION: 12729 - 114 Avenue

OWNER: City Of Surrey

ZONING: RF

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking to vary the RF Zone to reduce the east side yard setback on a flanking street from 3.6 metres (12 feet) to 1.8 metres (6 feet) for the principal building.

RATIONALE OF RECOMMENDATION

- The site is adjacent to the unopened 127A Street road allowance, which is currently used as a pedestrian path and not for vehicle movement.
- The proposed easterly flanking side yard setback variance would maximize the clearance between the proposed pump station and the existing single family lot to the west.

RECOMMENDATION

The Planning & Development Department recommends that Council approve Development Variance Permit No. 7916-0004-00 (Appendix III), to reduce the minimum east side yard setback on a flanking street of the RF Zone from 3.6 metres (12 ft.) to 1.8 metres (6 ft.) for the principal building, to proceed to Public Notification:

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: Vacant land.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Single family dwellings	Urban	RF
East (Across unopened 127A Street):	Single family dwellings	Urban	RF
South (Across 114 Avenue):	Single family dwellings	Urban	RF
West:	Single family dwellings	Urban	RF

DEVELOPMENT CONSIDERATIONS

- The 465-square metre (5,003 sq. ft.) subject lot is located at 12729 – 114 Avenue in the Bridgeview area.
- The subject lot is designated “Urban” in the Official Community Plan (OCP) and is zoned “Single Family Residential Zone (RF)”.
- The lot is owned by the City of Surrey and the City is proposing to install a sanitary pump station on the subject lot (the Bridgeview East Cell pump station).
- The Bridgeview East Cell pump station will replace the existing vacuum sewer system and represents phase four of the replacement strategy adopted by Council in 2006. It will service properties in the Bridgeview area bound approximately by 126A Street to the west, 129 Street to the east, 112B Avenue to the south, and 115B Avenue to the north.

- The single family dwelling which formerly occupied the subject lot has been demolished and the demolition inspection received Final Approval on January 18, 2016.
- The subject lot is within the Hazard Lands Floodplain Development Permit Area. As such, all critical electrical and mechanical building elements will be required to be located above the flood construction level of 4.40 metres (14 ft.) (see Appendix II).

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To reduce the minimum side yard setback on a flanking street of the RF Zone from 3.6 metres (12 ft.) to 1.8 metres (6 ft.) for the principal building.

Applicant's Reasons:

- The proposed easterly setback relaxation maximizes the clearance between the proposed pump station and the existing single family dwelling on the adjacent lot to the west.
- The area directly to the west of the proposed pump station on the subject lot will be used for City vehicle access. The requested east side yard setback relaxation would maximize space for vehicle maneuvering and minimize impact on the adjacent property to the west.

Staff Comments:

- The Zoning By-law states that utility structures such as pumping stations can be located in any Zone but they shall be sited in accordance to the yard restrictions in the applicable Zone. The subject site is zoned RF, therefore the minimum flanking side yard setback for the pumping station is 3.6 metres (12 ft.).
- The unopened road allowance for 127A Street adjacent to the site is currently used as a pedestrian path and not for vehicle movement.
- The proposed reduced east yard setback locates the building further from the existing single family dwelling to the west reducing impact.
- The pump station has been designed to resemble a single family dwelling and is in keeping with the existing streetscape (see Appendix II).
- No trees will be removed to accommodate the proposed construction.
- Staff support the requested variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Action Summary
- Appendix II. Site Plan and Building Elevations
- Appendix III. Development Variance Permit No. 7916-0004-00

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

RC/dk

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: City of Surrey

 Address: 13450 - 104 Avenue
 Surrey, BC V3T 1V8

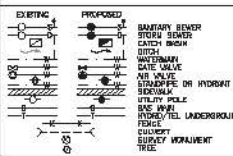
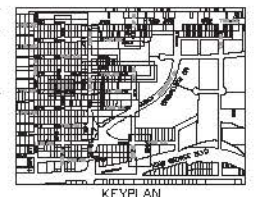
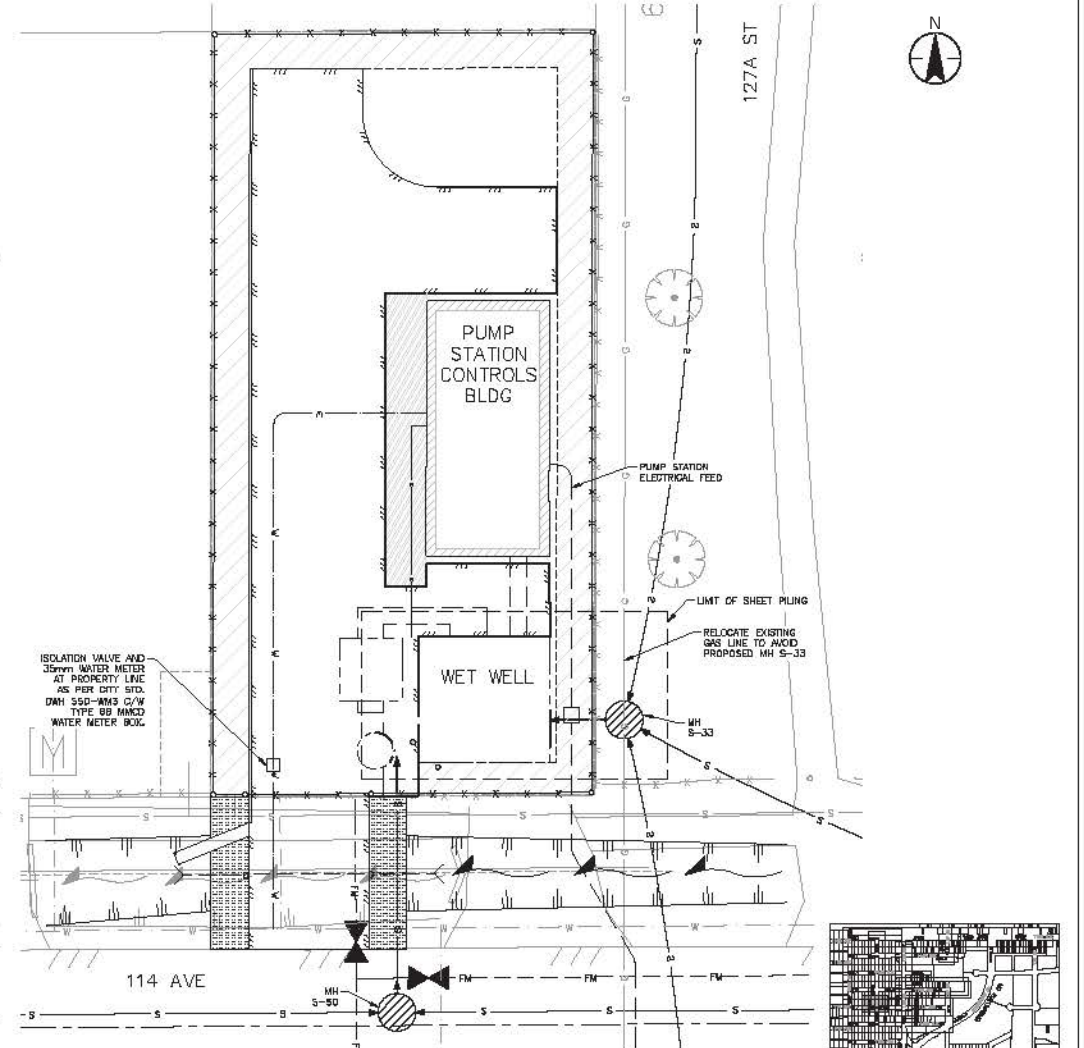
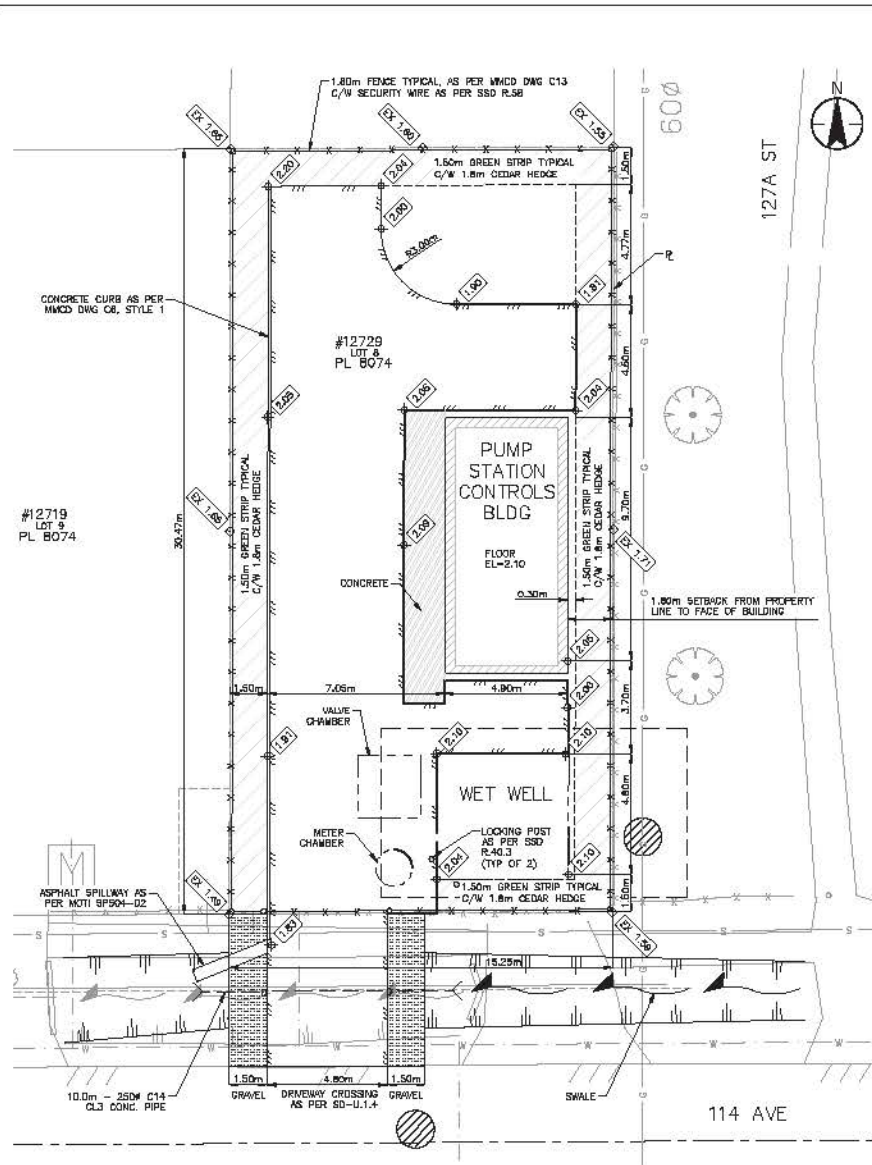
 Tel: 604-598-5722 - Work
 604-598-5722 - Cellular

2. Properties involved in the Application
 - (a) Civic Address: 12729 - 114 Avenue

 - (b) Civic Address: 12729 - 114 Avenue
 Owner: City Of Surrey
 PID: 000-539-201
 Lot 8 Section 8 Block 5 North Range 2 West New Westminster District Plan 8074

3. Summary of Actions for City Clerk's Office
 - (a) Proceed with Public Notification for Development Variance Permit No. 7916-0004-00 and bring the Development Variance Permit forward for issuance and execution by the Mayor and City Clerk.

EXISTING UNDERGROUND UTILITIES AND SURFACE FEATURES THE SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND SURFACE FEATURES ILLUSTRATED ON THE DRAWINGS CAN BE CONFIRMED APPROPRIATE ONLY. THE CONTRACTOR WILL BE RESPONSIBLE FOR FIELD CONFIRMING THE EXACT SIZE AND LOCATION OF ALL SURFACE FEATURES AND UNDERGROUND UTILITIES WITH THE INDIVIDUAL UTILITY COMPANIES. ANY CONFLICTS SHALL BE REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION.



BENCH MARK No. SURREY MON #2340893 ELD: 3.113m		6	MICROFILMED	SEAL:
ALL ELEVATIONS ARE METRIC & GEODETIC AND REFER TO NIAL		5	AS CONSTRUCTED	
MON. #2340893 AT INTERSECTION 126TH ST. & KING GEORGE BLVD.		4	CONSTRUCTION APPROVAL	
		3	FOR TENDER	
		2	FOR APPROVAL	
		1	PRELIMINARY	15.12.07
No.	DATE	DESCRIPTION	BY	APP. No.
A	15.12.07	70% DESIGN REVIEW	IB GKR	15.12.07
REVISIONS		DRAWING STATUS		

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DRAWN BY: AS
APPROVED BY: GKR
CHECKED BY: GKR

TITLE:
BRIDGEVIEW PH4 VACUUM SEWER
REPLACEMENT WORKS
#12729 114 AVENUE
SANITARY PUMP STATION

GENERAL ARRANGEMENT

CITY OF SURREY

TITLE:
DESIGN PACKAGE S53/15

SCALE: 1:100

CHECKED: P.W.
P.U.L.

SURREY PROJECT No. -
SURREY DRAWING No. -

DATE: JUNE 2016

SHEET:
JOB No. 1111700519

REVISION: A
DRAWING: S300

STATUS:

DRAWN BY: AS
 CHECKED BY: GKR
 APPROVED BY: GKR
 DATE: 15.12.07
 SHEET: 15 OF 15
 PROJECT: BRIDGEVIEW PH4 VACUUM SEWER REPLACEMENT WORKS
 DRAWING: GENERAL ARRANGEMENT

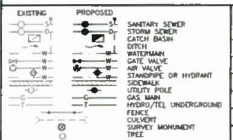


SOUTHWEST VIEW



SOUTHEAST VIEW

SURVEY BY: J. VAN DER BRUG, CIVIL ENGINEER, B.Y. ADDRESS: 111700519_S53/15.dwg, 111700519_S53/15.dwg
 DATE: 15.12.07



No.	DATE	DESCRIPTION	BY	APP	No.	DESCRIPTION	DATE	APP	
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REVISIONS				DRAWING STATUS					

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4	CONSTRUCTION APPROVAL				
3	FOR TENDER				
2	FOR APPROVAL				

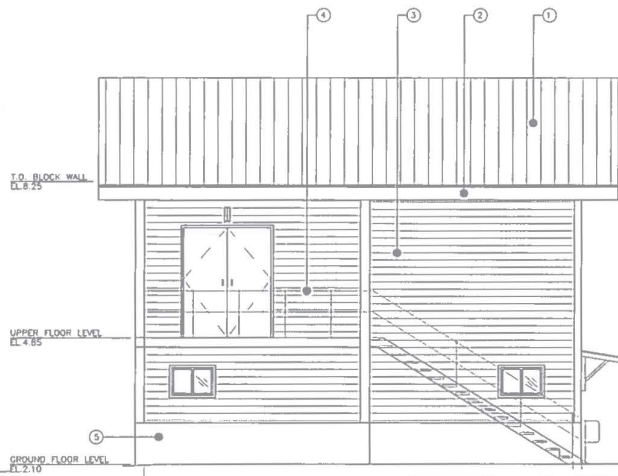


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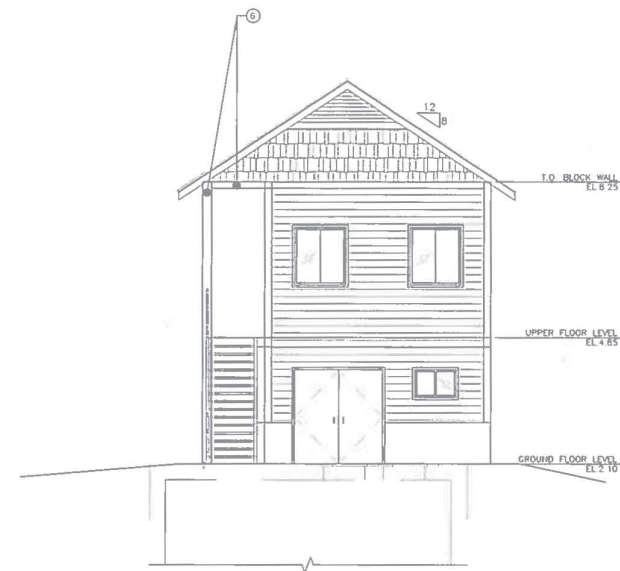
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DRAWN BY:	HH		REPLACEMENT WORKS
APPROVED BY:	GKR		#12729 114 AVENUE
CHECKED BY:	GKR		SANITARY PUMP STATION
			ISOMETRIC VIEWS

CITY OF SURREY	
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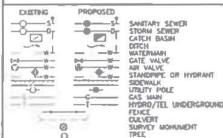
WEST ELEVATION
SCALE 1:50



SOUTH ELEVATION
SCALE 1:50

MATERIALS LEGEND	
MARK	DESCRIPTION
1	RUBBER SHINGLES
2	38MM THK., TIMBER, FASCIA BOARD
3	HARDIE BOARD
4	REMOVABLE PREFINISHED METAL GUARD
5	NORMAN FACE BRICK
6	HARDIE TRIM & CORNERS

Rev. 15.12.07
 SANITARY SEWER
 STORM SEWER
 CATCH BASIN
 DITCH
 INTERMAN
 GATE WALK
 AIR VALVE
 STANDPIPE OR HYDRANT
 SIGNAL
 UTILITY POLE
 GAS MAIN
 HYDRO/TELE UNDERGROUND
 FENCE
 DELIVER
 SURVEY MONUMENT
 TREE



No.	DATE	DESCRIPTION	BY	APP.	No.	DESCRIPTION	DATE	APP.
1	15.12.07	70% DESIGN REVIEW	HH	GKR	1	PRELIMINARY	15.12.07	GKR

MARK	DESCRIPTION	DATE	APP.
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5	AS CONSTRUCTED		
4	CONSTRUCTION APPROVAL		
3	FOR TENDER		
2	FOR APPROVAL		



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DRAWN BY: HH
APPROVED BY: GKR
CHECKED BY: GKR

TITLE:
**BRIDGEVIEW PH4 VACUUM SEWER
 REPLACEMENT WORKS
 #12729 114 AVENUE
 SANITARY PUMP STATION**

ELEVATIONS

CITY OF SURREY	
TITLE: DESIGN PACKAGE S53/15	SHEET
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CHECKED: P.W P.U.	STATUS:

DATE: JUNE 2015
JOB No. 111700519
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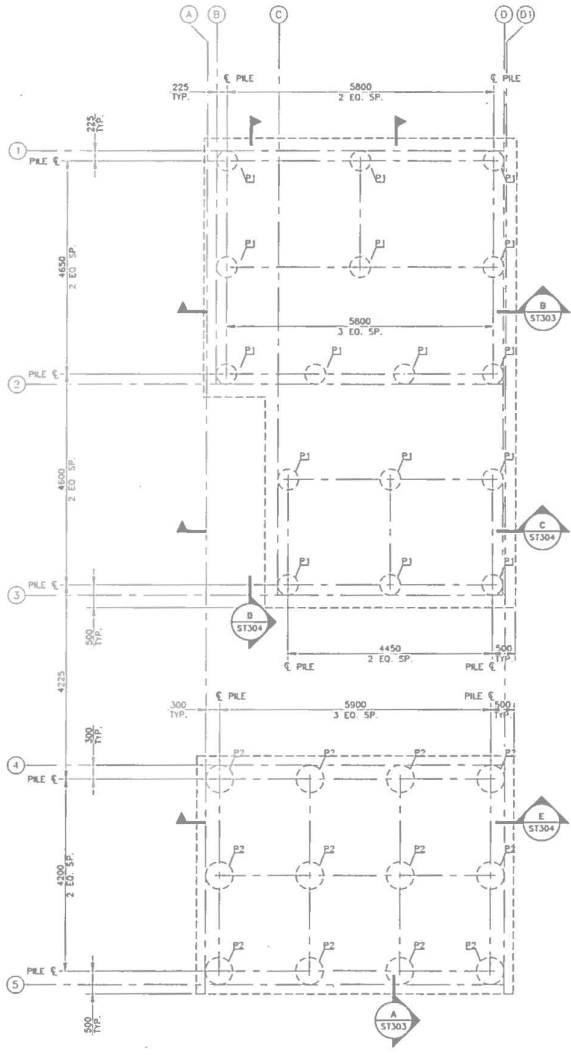
NOTES:
1. FOR GENERAL NOTES AND STANDARD DETAILS, SEE DWG. NOS. ...

WALL SCHEDULE			
TYPE	DESCRIPTION	THICKNESS	REINFORCING
W1	STORAGE ROOM/ ODOUR CONTROL BLOWER ROOM WALLS	300	
W2	WET WELL WALLS	400	
W3	WASH ROOM/ GENERATOR/ ELECTRICAL ROOM WALLS	200 CONC. BLK.	

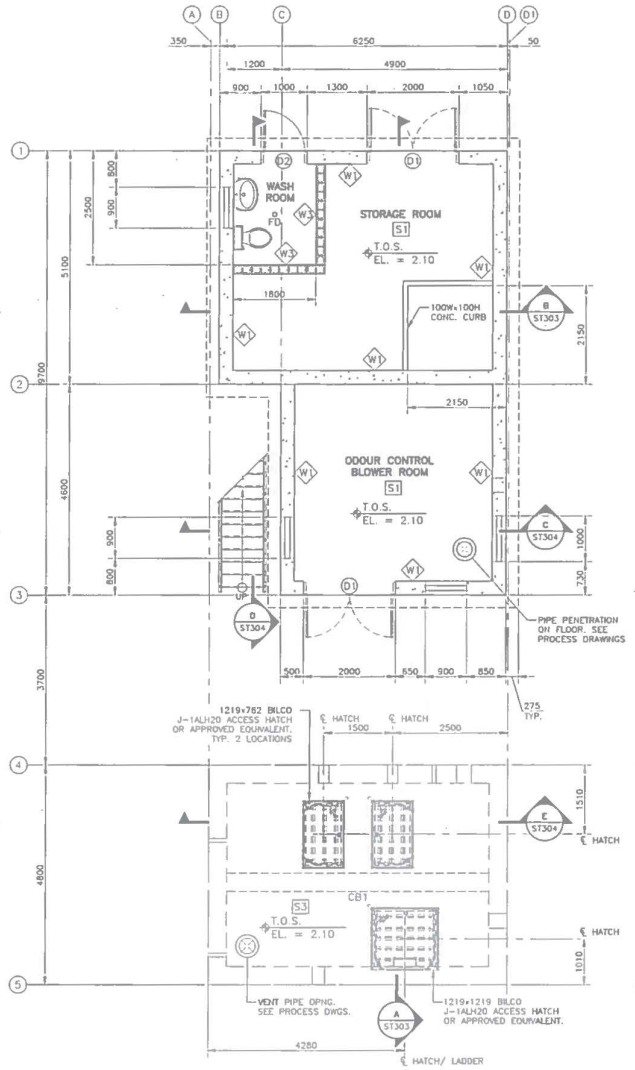
SLAB SCHEDULE			
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S1	STORAGE ROOM/ ODOUR CONTROL BLOWER ROOM SLAB	450	
S2	WET WELL BOTTOM SLAB	600	
S3	WET WELL TOP SLAB	250	
S4	GENERATOR/ ELEC. ROOM	250	

BEAM SCHEDULE			
TYPE	DESCRIPTION	SIZE	REINFORCING
CB1	WET WELL TOP SLAB	400x600	

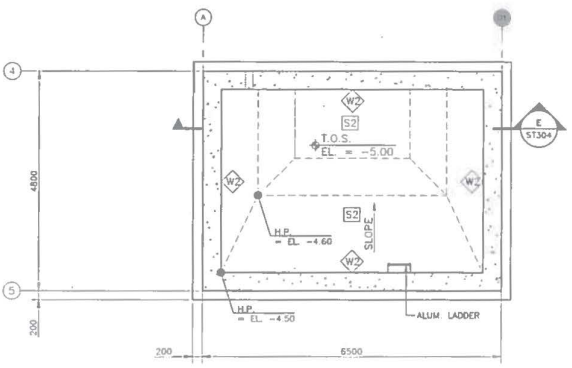
CONCRETE PILE SCHEDULE				
TYPE	DESCRIPTION	TOP OF PILE ELEV.	TIP OF PILE ELEV.	NO. OF PILES
P1	450# VERT. PILES			16
P2	600# VERT. PILES			12
TOTAL NO. OF PILES				28



PILING LAYOUT
SCALE 1:50



GROUND FLOOR PLAN
SCALE 1:50



WET WELL PLAN
SCALE 1:50

Note: Rev. of Foundation Dwg. By: [Name] Date: [Date]
 General Note: All Utility Work to be done in accordance with the City of Surrey Standard Specifications for Construction of Sewerage and Sanitary Sewerage Works, 2010 Edition.

EXISTING	PROPOSED	SAFETY SEWER STOPPING SEWER	CAUTION BARRIER	DITCH	WATERMAIN	GATE VALVE	AIR VALVE	STANDPIPE OR HYDRANT	SEWERLINE	UTILITY POLE	CABLE MARK	HYDRO/TIE UNDERGROUND	UTILITY	CONCRETE	STEEL	CLAY	GLASS	WOOD	IRON	ALUMINUM	BRASS	COPPER	LEAD	ZINC	OTHER
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REVISIONS	NO.	DATE	DESCRIPTION	BY	APP.	DRAWING STATUS	NO.	DATE	DESCRIPTION	BY	APP.
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	3					3					
	4					4					
	5					5					
	6					6					



DESIGNED BY: MR
 DRAWN BY: RA
 APPROVED BY: GKR
 CHECKED BY: GKR

TITLE: BRIDGEVIEW PH4 VACUUM SEWER REPLACEMENT WORKS #12729 114 AVENUE SANITARY PUMP STATION

PLANS

CITY OF SURREY

TITLE: DESIGN PACKAGE S53/15

SCALE: 1:50

CHECKED BY: P.W. P.U.

DATE: JUNE 2015

SHEET: 111700519

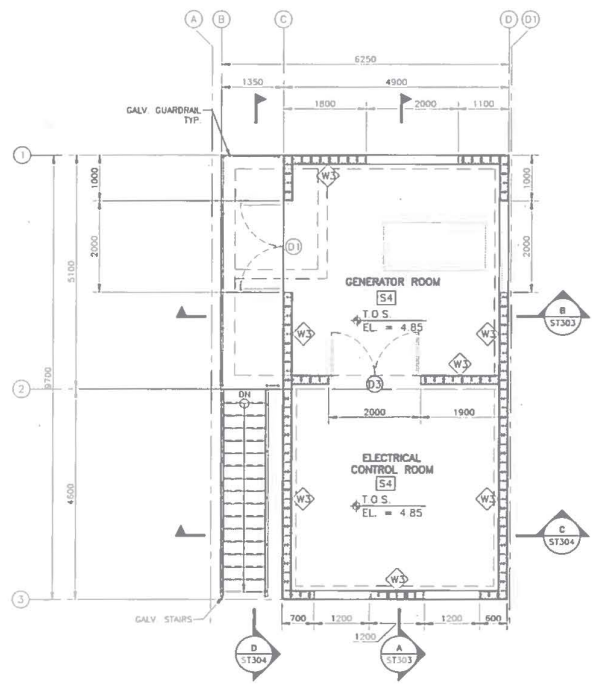
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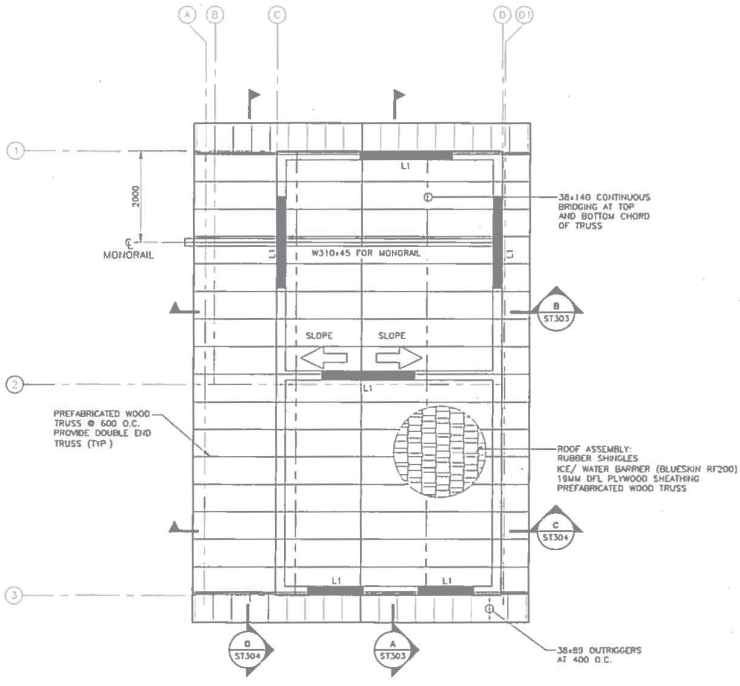
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DRAWING: ST301

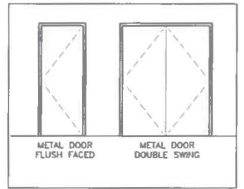
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UPPER FLOOR PLAN
SCALE 1:50



ROOF FRAMING PLAN
SCALE 1:50

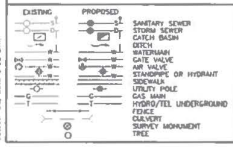


DOOR SCHEDULE				
DOOR NO.	SIZE			REMARKS
	WIDTH	HEIGHT	THICK	
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D2	900	2388	45	3/4 HOUR RATING INSULATED
D3	1900	2388	45	3/4 HOUR RATING INSULATED

CONCRETE BLOCK LINTEL/ COLUMN SCHEDULE					
REF. NO.	SIZE (WxDP)	MAIN REINFORCEMENT	STIRRUPS	DETAILS	NOTES

- NOTES:
- FOR GENERAL NOTES & TYPICAL DETAILS SEE DWG. NOS. ...
 - REFER TO ELEC. DWGS. FOR CABLE TRAY OPENING LOCATIONS ON WALLS. PROVIDE L1 LINTEL @ CABLE TRAY OPENINGS.
 - REFER TO MECH. DWGS. FOR LOUVER OPENING LOCATION, DIMENSION AND MOUNTING HEIGHTS.
 - ALL CONCRETE FLOOR SLABS TO RECEIVE CURING COMPOUND, SURFACE HARDBENER & SEALER
 - GALVANIZE ALL STEELWORK.

Note: Refer to the attached drawings for the location of the proposed works. The drawings are for information only and do not constitute a contract. The drawings are the property of Stantec and shall not be reproduced or used in any way without the prior written consent of Stantec.



BENCH MARK No.	ELEV.	6	MICROFILMED	SEAL
		5	AS CONSTRUCTED	
		4	CONSTRUCTION APPROVAL	
		3	FOR TENDER	
		2	FOR APPROVAL	
		1	PRELIMINARY	

No.	DATE	DESCRIPTION	BY	APP.	No.	DATE	DESCRIPTION	DATE	APP.
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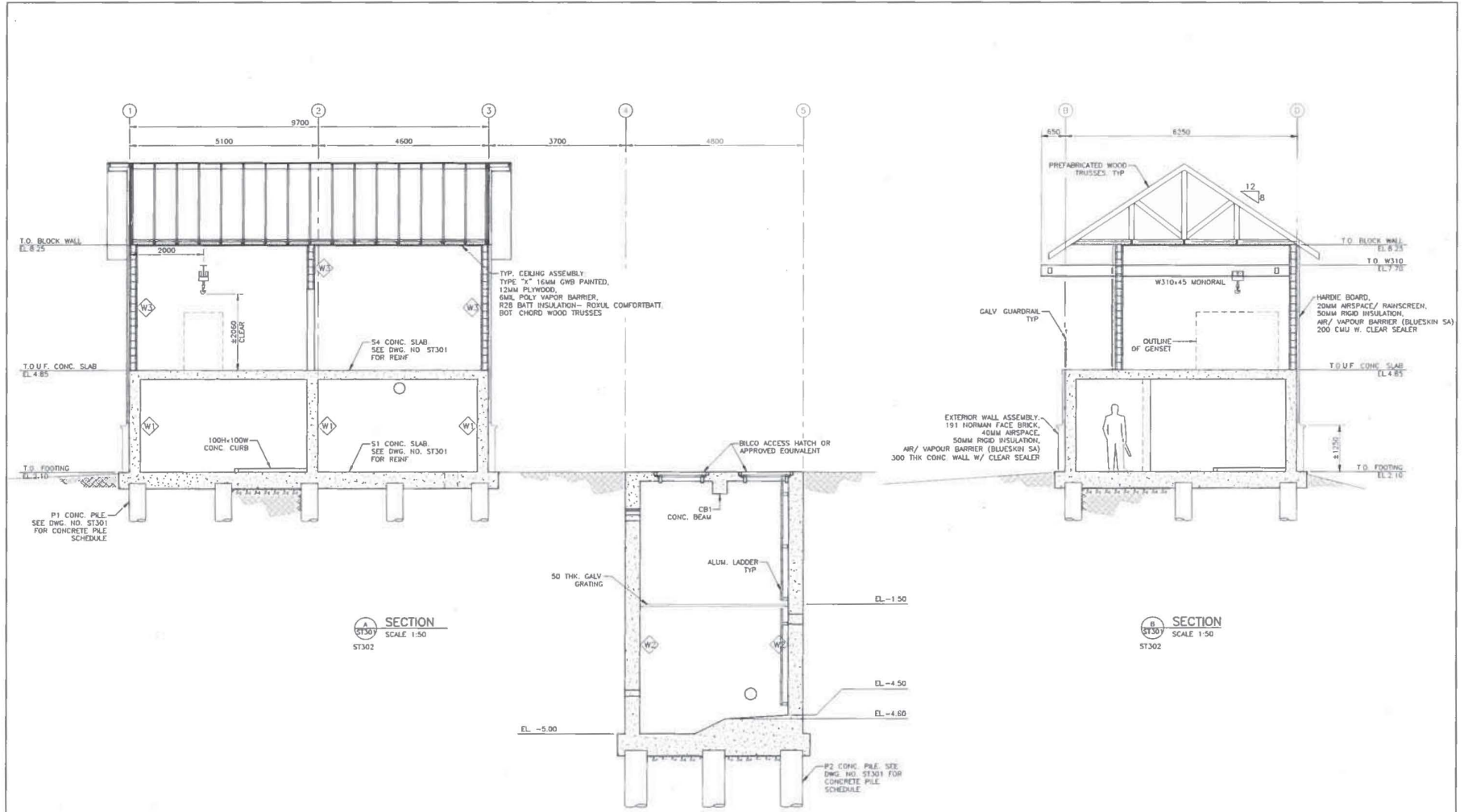


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 APPROVED BY: GKR
 CHECKED BY: GKR

TITLE: BRIDGEVIEW PH4 VACUUM SEWER REPLACEMENT WORKS #12729 114 AVENUE SANITARY PUMP STATION
 PLANS

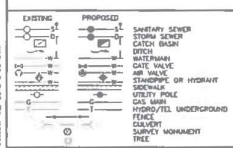
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TITLE: DESIGN PACKAGE S53/15	SURREY PROJECT No.:	SHEET: 1
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CHECKED BY: P.W. P.U.	REVISION: A	DRAWING: ST302
		STATUS: 1



A SECTION
ST302 SCALE 1:50

B SECTION
ST302 SCALE 1:50

Note: By the contractor, the City of Surrey, B.C. is not responsible for the accuracy of the design. The contractor shall be responsible for the accuracy of the design. The City of Surrey, B.C. is not responsible for the accuracy of the design. The contractor shall be responsible for the accuracy of the design.



BENCH MARK No.	ELEV	6	MICROFILMED	SEAL
		5	AS CONSTRUCTED	
		4	CONSTRUCTION APPROVAL	
		3	FOR TENDER	
		2	FOR APPROVAL	
		1	PRELIMINARY	15.12.07 GKR
Ho	DATE	DESCRIPTION	BY	APP
1	15.12.07	70% DESIGN REVIEW	MR GKR	1

Ho	DATE	DESCRIPTION	DATE	APP

REVISIONS	DRAWING STATUS



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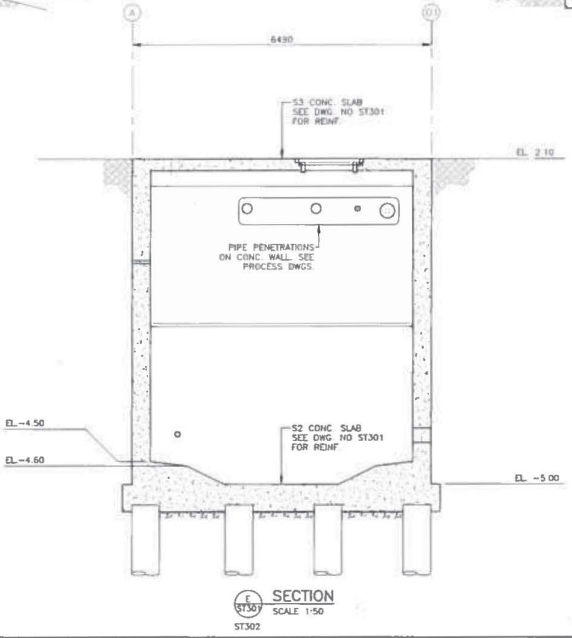
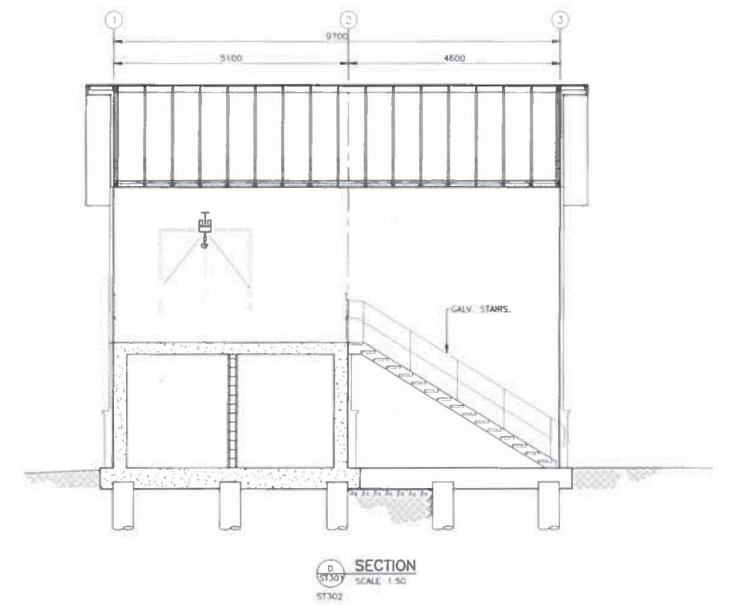
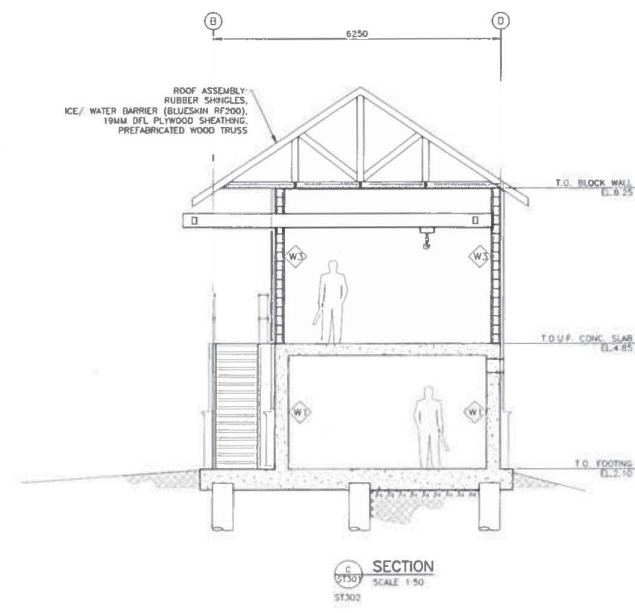
The Contractor shall verify and be responsible for all drawings. GCR shall verify the drawings and ensure they are correct to the design. The Contractor shall be responsible for the accuracy of the design. The City of Surrey, B.C. is not responsible for the accuracy of the design. The contractor shall be responsible for the accuracy of the design.

DESIGNED BY: MR	APPROVED BY: GKR	CHECKED BY: GKR
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TITLE: BRIDGEVIEW PH4 VACUUM SEWER
 REPLACEMENT WORKS
 #12729 114 AVENUE
 SANITARY PUMP STATION

SECTIONS

CITY OF SURREY		DATE: NOV 2015
SHEET		JOB No. 111700519
TITLE: DESIGN PACKAGE S53/15		DRAWING: ST303
SCALE: 1:50	SURREY PROJECT No. -	REVISION: A
CHECKED: P.W. P.U.	SURREY DRAWING No. -	STATUS: 1



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		5	CONSTRUCTION APPROVAL			
		4	FOR TENDER			
		3	FOR APPROVAL			
		2	PRELIMINARY			
No.	DATE	DESCRIPTION	BY	APP.	No.	DESCRIPTION
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 DRAWN BY: RA
 APPROVED BY: GKR
 CHECKED BY: GKR

TITLE: BRIDGEVIEW PH4 VACUUM SEWER REPLACEMENT WORKS #12729 114 AVENUE SANITARY PUMP STATION
 SECTIONS

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SHEET: DESIGN PACKAGE S53/15		JOB No: 111700519
SCALE: 1:50	SURREY PROJECT No: -	DRAWING: A
CHECKED: P.W.	SURREY DRAWING No:	REVISION: 1
P.U.		STATUS: ST304

Note: Rev. of: SANITARY SEWER, PH 4, Bridgeview PH4, Vancouver B.C. 11/11/2015, 1:00 PM
 Drawing: J:\Surrey\111700519\114_AVENUE_SANITARY_PUMP_STATION_S53\15\ST304.dwg, 11/11/2015, 1:00 PM

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7916-0004-00

Issued To: KEN WOODWARD CITY OF SURREY

("the Owner")

Address of Owner: 13450 - 104 Avenue
Surrey, BC V3T 1V8

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 000-539-201
Lot 8 Section 8 Block 5 North Range 2 West New Westminster District Plan 8074

12729 - 114 Ave

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section F of Part 16 Single Family Residential Zone (RF), the minimum east side yard on a flanking street setback is reduced from 3.6 metres (12 feet) to 1.8 metres (6 feet) for the principal building.
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

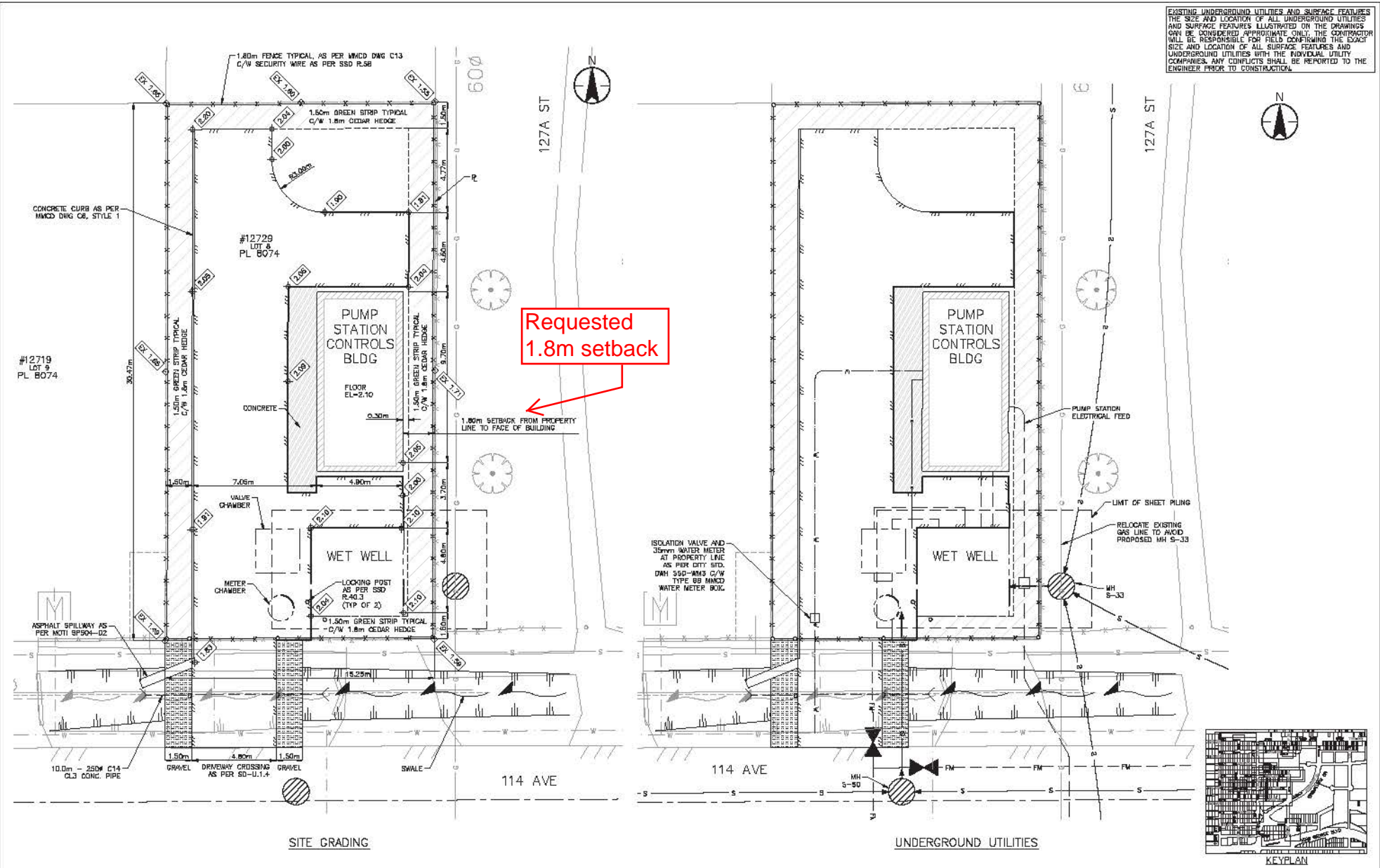
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

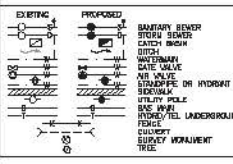
Mayor – Linda Hepner

City Clerk – Jane Sullivan

EXISTING UNDERGROUND UTILITIES AND SURFACE FEATURES THE SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND SURFACE FEATURES ILLUSTRATED ON THE DRAWINGS CAN BE CONFIRMED APPROPRIATE ONLY. THE CONTRACTOR WILL BE RESPONSIBLE FOR FIELD CONFIRMING THE EXACT SIZE AND LOCATION OF ALL SURFACE FEATURES AND UNDERGROUND UTILITIES WITH THE INDIVIDUAL UTILITY COMPANIES. ANY CONFLICTS SHALL BE REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION.



DRAWN BY: J. GIBSON, DESIGNED BY: J. GIBSON, CHECKED BY: J. GIBSON, SCALE: AS SHOWN, DATE: 15/12/07, PROJECT: BRIDGEVIEW PH4 VACUUM SEWER REPLACEMENT WORKS



BENCH MARK: No. SURREY MON #9240893 ELD: 3.113m		6	MICROFILMED	SEAL:
ALL ELEVATIONS ARE METRIC & GEODIC AND REFER TO NAD 83 MON #9240893 AT INTERSECTION 128TH ST. & KING GEORGE BLVD.		5	AS CONSTRUCTED	
		4	CONSTRUCTION APPROVAL	
		3	FOR TENDER	
		2	FOR APPROVAL	
		1	PRELIMINARY	15/12/07 QKR
No.	DATE	DESCRIPTION	BY	APP.
A	15/12/07	70% DESIGN REVIEW	JG	QKR
REVISIONS		DRAWING STATUS		

Stantec
 10th Floor 13401 - 108th Avenue
 Surrey BC Canada V3T 5P9
 Tel: (604) 592-9600
 www.stantec.com

DESIGNED BY: TITLE
 BN BRIDGEVIEW PH4 VACUUM SEWER
 DRAWN BY: AS REPLACEMENT WORKS
 APPROVED BY: GKR #12729 114 AVENUE
 SANITARY PUMP STATION
 CHECKED BY: GENERAL ARRANGEMENT
 GKR

CITY OF SURREY
 TITLE: DESIGN PACKAGE S53/15
 SCALE: 1:100
 SURREY PROJECT No. 1111700519
 SURREY DRAWING No. A
 DATE: JUNE 2016
 SHEET: 1
 REVISION: 1
 DRAWING: S300
 STATUS: