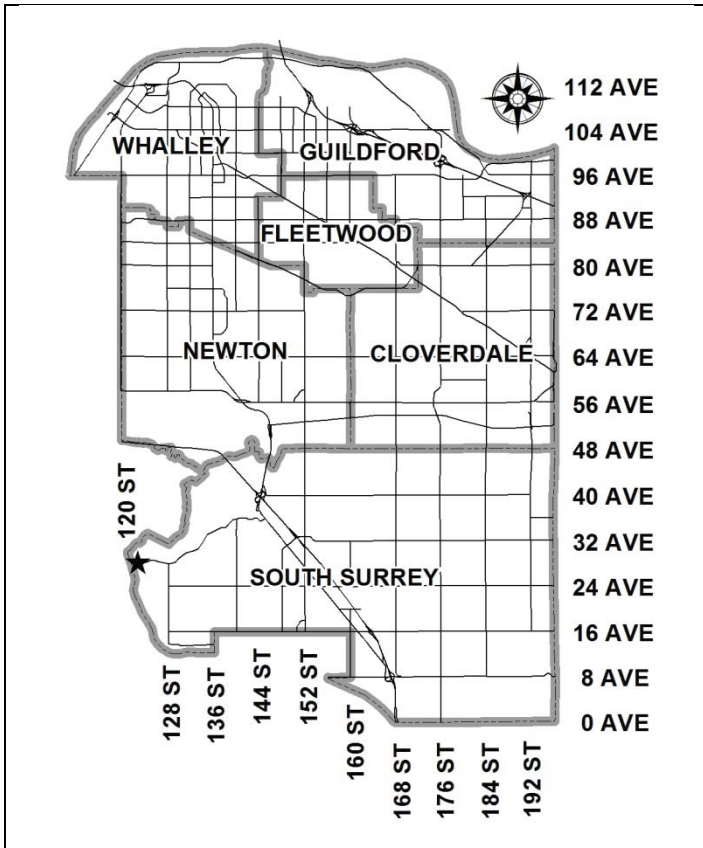


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7916-0001-00

Planning Report Date: January 16, 2017



**PROPOSAL:**

- **Rezoning** from CCR to CD (based on CCR)
- **Development Permit**
- **Development Variance Permit**

to permit an expansion to an existing child care centre in Crescent Beach.

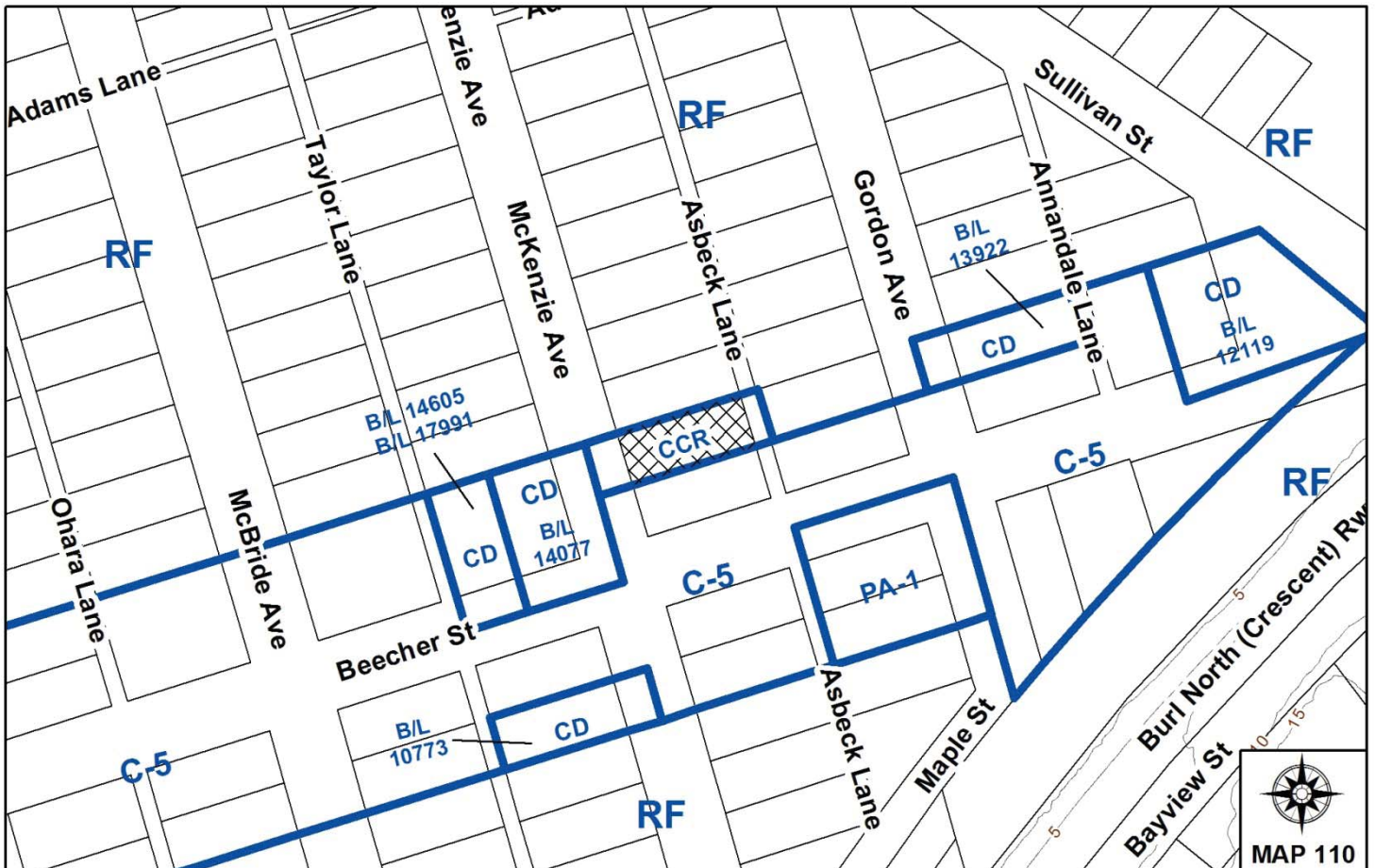
**LOCATION:** 2770 - McKenzie Avenue

**OWNER:** Crescent Beach Holdings Ltd.

**ZONING:** CCR

**OCP DESIGNATION:** Commercial

**LAP DESIGNATION:** Institutional



### RECOMMENDATION SUMMARY

- That the application be referred back to the applicant to consider revisions to the proposal that address staff concerns regarding density, setbacks, parking, Fraser Health issues, and floor plan issues.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking a variance to relax the requirement for on-site parking.

### RATIONALE OF RECOMMENDATION

- The applicant has applied to rezone the property to a Comprehensive Development (CD) Zone in order to accommodate the proposal, to allow for an increase in the number of children in care to 54, and increased lot coverage and density, and reduced setbacks. The applicant is also proposing to eliminate the requirement for any off-street parking. Staff feel that the scale of the proposed addition is out of context with the surrounding residential character.
- Staff also feel that the proposed addition, and the degree of variances sought, are not appropriate in the absence of a Heritage Revitalization Agreement (HRA). An HRA could be used as a tool to achieve the same redevelopment potential as a CD Zone, while also allowing for the protection and long-term preservation of the heritage building on the site (the Church of the Ascension Anglican).
- The applicant has not addressed comments provided by Fraser Health, with respect to deficient outdoor space, floor plan issues, and a discrepancy in the proposed capacity of the child care centre.
- Staff have outlined a number of items to the applicant to address in the proposal, as noted above. To date, the applicant has not satisfactorily responded to staff comments and concerns.

RECOMMENDATION

The Planning & Development Department recommends that this application be referred back to the applicant to consider revisions to the proposal that address staff concerns regarding parking, massing, density, setbacks, Fraser Health concerns and heritage conservation.

REFERRALS

- Engineering:** The Engineering Department does not support the proposed elimination of the requirement for off-street parking. Engineering servicing requirements are outlined in Appendix III.
- Fraser Health Authority:** Comments from Fraser Health were received on October 3, 2016. There are a number of issues which have not been resolved with Fraser Health to date, including the number of children proposed for licensing, the deficiency in proposed outdoor play area, the configuration of outdoor play area, and floor plan issues.
- Heritage Advisory Commission (HAC):** The proposal was presented to the HAC on September 21, 2016. The HAC recommended that the General Manager, Planning & Development direct staff to work with the Applicant to pursue a Heritage Revitalization Agreement (HRA) instead of the proposed CD Zone.

SITE CHARACTERISTICS

**Existing Land Use:** Existing child care centre (Village Montessori School) operating out of a registered heritage church building (Church of the Ascension Anglican).

Adjacent Area:

<b>Direction</b>	<b>Existing Use</b>	<b>OCP/LAP Designation</b>	<b>Existing Zone</b>
North:	Single family home	Urban/Urban Residential	RF
East (Across Asbeck Lane):	Single family home	Commercial/Urban Residential	RF
South:	Restaurant (Crescent Beach Bistro)	Commercial/Village Commercial	C-5
West (Across McKenzie Avenue):	Mixed commercial residential, with a Restaurant (Harbour House Restaurant) and residence on second floor	Commercial/Village Commercial	CD (By-law No. 14077)

## DEVELOPMENT CONSIDERATIONS

### Background

- The subject site, at 2770 - McKenzie Avenue, is 556 square metres (5,990 sq. ft.) in size, zoned "Child Care Zone (CCR)" and designated Institutional in the Crescent Beach Land Use Plan, and Commercial in the Official Community Plan.
- There is an existing church on the subject site, the Church of the Ascension Anglican, built in 1931. This church was evaluated and added to Surrey's Community Heritage Register in 1998. It was given a heritage evaluation score of 84% which is considered a "high" score (Appendix V).
- The church is built in a Gothic revival style with Tudor influences, featuring a pitched front-gabled main roof, a shallow arch main roof, hipped vented steeple, and drop siding. In plan view, it is a simple rectangular shape with an enclosed centred front porch projection. The church fits in well with the surrounding single family residential neighbourhood as the lot is roughly the same size, and the setting and massing of the church is similar in scale as a single family dwelling. A photo of the church is attached as Appendix VI.
- A long-standing child care centre (Village Montessori School) operates out of the church building. The facility was first licensed in 1974 for 20 children as a nursery school/preschool program. In 1985, the property was rezoned from "C-L Local Commercial Zone" (Surrey Zoning By-law, 1979, No. 5942) to "P-P(1) Day Care Institutional Zone" (Surrey Zoning By-law, 1979, No. 5942, in order to permit the expansion of the child care centre to 20 children in the morning and 20 children in the afternoon. The rear annex addition was constructed at this time as well.
- The child care centre's current licensing with Fraser Health permits a preschool capacity of 20 children and a Group Child Care (30 months to school age) capacity of 18. The maximum capacity is 38. The programs operate in different sections of the building. According to Fraser Health, since the Fall of 2015, only the front part of the building has been used due to enrolment.
- When the City moved from Surrey Zoning By-law, 1979, No. 5942 to Surrey Zoning By-law, 1993, No. 12000, the zoning of the property was updated from "P-P(1) Day Care Institutional Zone" (Zoning By-law No. 5942) to "Child Care Zone (CCR)" (Zoning By-law No. 12000). Therefore, while the CCR Zone permits a maximum of 25 children, the subject site is permitted to have a higher enrolment as a non-conforming use.
- There are two (2) child care facilities in the Crescent Beach neighbourhood, the Village Montessori School, and the Alexandra Neighbourhood House Children's Centre at Crescent Beach. According to Fraser Health, as of the Fall of 2016, both of these centres were reporting vacancies in their programs. Therefore, unlike other areas of the City where additional child care spaces are in high demand, there is no apparent demand for additional child care space in Crescent Beach.

Current Proposal

- In January 2016, the owner of the subject site submitted a development application proposing to rezone the subject site from "Child Care Zone (CCR)" to "Comprehensive Development Zone (CD)" and for a Development Permit in order to replace the rear annex (added in the mid-1980's) with a new two-storey building for child care use (Appendix II). The new building is intended to allow for an expansion of the existing child care centre to increase the number of children that can be accommodated from the approved capacity of 38 to 54 children.
- A Development Variance Permit (DVP) to eliminate the required parking is proposed as part of the proposal. An additional DVP for floodplain relaxation within the Crescent Beach Floodplain area may also be required to permit construction of the proposed addition.
- The historic church building is approximately 89 square metres (960 sq. ft.) in area and will be retained in its existing location under the proposed development. The owner is proposing to replace the existing rear one-storey annex (90 square metres [968 sq.ft.]) with a two-storey building with a total floor area of 349 square metres (3,755 sq. ft.) (Appendix II).
- Planning staff have encouraged the applicant to pursue a Heritage Revitalization Agreement (HRA) for the purpose of protecting the church while facilitating the sensitive redevelopment of the site. The applicant could achieve the same redevelopment potential using an HRA as he could with the proposed CD By-law. The HRA would protect the heritage church and provide financial benefits to the applicant, including property tax exemption and financial assistance for restoration of the building. The applicant has indicated that they have no interest in entering into a HRA or any other heritage protection instrument.

Comprehensive Development Zone

- The main differences between the CCR Zone and the proposed CD Zone are outlined in the table below:

	<b>CCR Zone</b>	<b>Proposed CD Zone</b>
<b>Permitted Uses</b>	Allows a child care centre with up to 25 children, and one single family dwelling	Allows a child care centre of up to 54 children, but does not allow a single family dwelling
<b>FAR</b>	0.52	0.79
<b>Lot Coverage</b>	40%	45.7%
<b>Setbacks</b>	Front: 7.5 m (25 ft.) Rear: 7.5 m (25 ft.) Side: 1.8 m (6 ft.)	Front: *3.18 m (10.4 ft.) Rear: 0.64 m (2.1 ft.) Side: 1.8 m (6 ft.)

\*The 3.1 metre (10.4 ft.) setback is to the existing church building

- As is described in the comparison table above, the applicant is proposing a CD zone to increase the number of children permitted to a maximum of 54 children. The CD zone also proposes to increase the allowable lot coverage and the FAR, and to reduce the minimum setbacks.
- The applicant proposes no on-site parking for the proposed facility; therefore, a development variance permit is also required to relax this requirement.

## PROJECT EVALUATION

- Staff have identified a number of issues with the proposal, which have not been responded to or adequately addressed by the applicant. These issues including building massing and density, building setbacks, off-street parking, Fraser Health licensing concerns, floor plans, and lack of heritage protection. These issues are outlined below.

### Building Massing and Density

- The applicant is proposing to retain the existing 89 square metre (959 sq. ft.) church building in its current location, demolish the existing "rear annex" and construct a new two-storey 349 square metre (3,755 sq. ft.) building (Appendix II). The proposed lot coverage is 45.7 percent, and the proposed Floor Area Ratio (FAR) is 0.79, whereas the base CCR zone would allow a maximum Lot Coverage of 40 percent and an FAR of 0.52 respectively. It should be noted that the CCR zoned properties are typically located within a residential community and the FAR and Lot Coverage that are permitted reflect this.
- Given this information, staff feel that the scale of the proposed addition is out of context with the surrounding residential character. A sensitive interface should be provided particularly on the north and east sides which are adjacent to existing single family residential (RF) uses.
- The applicant contends that commercial developments on Beecher Street have achieved a similar density to what is proposed under this application. However, the density achieved for commercial developments on Beecher Street in recent years range between 0.57 and 0.70, and provide for some off-street parking.

### Setbacks

- The proposed setbacks for the new addition are 1.8 metres (6 ft.) on the north and south sides, and 0.64 metres (2 ft.) on the east side (Asbeck Lane).
- In consideration of the neighbourhood context, staff recommended the following setbacks:
  - North: Minimum 3.0 metres (10 ft.), which would accommodate an appropriate landscape buffer along the adjacent residential property;
  - South: Minimum setback based on the Tree Protection Zone (TPZ) of the offsite trees' on the property at 12251 Beecher Street as established by the applicant's arborist. A copy of the tree plan prepared by the applicant's arborist is attached as Appendix VII. For areas outside of the trees, a 1.8 metre (6 ft.) setback is supported; and
  - East (Lane): Minimum 2.0 metre (6.5 ft.).
- The applicant has not amended the site plan to increase the setbacks as requested by staff. The proposed south yard setback does not respect the Tree Protection Zone (TPZ) for off-site trees.

### Off-street Parking

- Parking for child care centres requires one (1) parking space per employee, plus an equal number of parking spaces for parent drop-off, or a minimum of two (2) parking spaces, whichever is greater.
- The applicant has indicated that four (4) staff will be required for the proposed expanded child care centre. Therefore, a total of eight (8) parking spaces would be required for this use. If a residence is also proposed, two (2) additional spaces would be required for that use.
- Currently, no off-street parking is proposed, and consequently, a development variance permit is required to eliminate this provision of the Zoning By-law. Staff have indicated that a reduction to the parking requirement could be considered, but that some parking should be provided on-site to address the proposed increase in the number of children for the facility. To date, the applicant has not addressed this issue.

### Fraser Health Licensing Issues

- Staff contacted Fraser Health to comment on the proposal. Fraser Health provided an e-mail response to Planning staff on October 3, 2016, outlining a number of issues, including:
  - A discrepancy in the proposed capacity for the expansion. The applicant applied to the City for a rezoning to allow for a maximum capacity of 54 children. However, based on the information as of October 3, 2016 provided to Fraser Health, the assumed capacity requested was 46;
  - A discrepancy in the proposed outdoor space available. The current plans for the proposed centre show two separate outdoor play areas with a total area of 86.5 square metres (931 sq. ft.). According to Fraser Health, the requirement for outdoor space would be a minimum of 96 square metres (1,033 sq. ft.) for a proposed maximum of 16 children under a shared playground schedule. If this requirement could not be met, the applicant would have to apply for "Play Area Away" as well as an exemption to the minimum outdoor play area space requirements; and
  - Concerns regarding the proposed floor plan of the new building. The proposed new childcare area seems to have an opening between the two classrooms on the ground floor. The design makes it possible for children to move freely between the two classrooms, resulting in a mixing of the two groups. This is not permissible under the *Child Care Licensing Regulation*.
- The comments from Fraser Health were provided to the applicant via e-mail on October 24, 2016. To date, the applicant has not provided a response to staff to address these issues.

### Floor Plans

- Staff have requested a floor plan for the existing church building, which is labeled "Existing Residence" on the current plans (Appendix II). To date, this information has not been provided. The intended use of this space is unclear at the present time; additional information has been requested but not provided to date.

- As mentioned above, the current ground floor plan for the proposed addition does not meet the requirements of Fraser Health and the *Child Care Licensing Regulation*. This issue has not been resolved.
- The second floor of the proposed addition is 174.4 square metres (1,878 sq. ft.) in area. There are four (4) offices proposed on the second floor, a staff room, lunch room, laundry room, and two (2) full bathrooms. Both the lunch room and the staff room have kitchen facilities (Appendix II).
- Staff have questioned the need for two full bathrooms, two full kitchens, a separate staff room and lunch room, four separate offices, and a separate laundry room on the upper floor when there is a laundry room on the main floor. The applicant has not provided an adequate response to this issue.

#### Lack of Heritage Protection

- Planning staff have encouraged the applicant to pursue a Heritage Revitalization Agreement (HRA) for the purpose of protecting the church while facilitating the sensitive redevelopment of the site. The applicant has indicated that they have no interest in entering an HRA or any other heritage protection instrument.
- While the applicant's proposal for a Development Permit includes retention of the church, there are no assurances that the church would be retained in the long-term under this mechanism. In the absence of an HRA, the owner would still have the ability to redevelop the site in the future, or make alterations to the building, provided they are within the limitations of other by-laws/regulations. The Development Permit is not considered an effective tool that would provide for the long-term preservation of the church as a heritage building.
- Surrey Heritage Advisory Commission (SHAC) reviewed this application at the September 21, 2016 SHAC meeting. The Commission commented that the site is an important heritage resource in the Crescent Beach neighbourhood, and that the same redevelopment could be achieved using an HRA instead of rezoning the site. The Commission recommended that the General Manager, Planning and Development direct staff to work with the applicant to pursue an HRA instead of the proposed CD Zone (Appendix IV).

#### Development within the Flood Plain

- The Floodproofing Section in the Zoning By-law restricts the minimum building elevation to 0.6 metre (2 ft.) above the 200 year flood level of the Nicomekl River. The subject site is located within the identified floodplain region and the proposed addition appears to propose development that would be below the 0.6 m (2 ft.) requirement.
- The applicant will be required to demonstrate that the Zoning By-law requirement for minimum building elevation is located above 0.6 metre (2 ft.) as part of the processing of the subject application or seek a Development Variance Permit to vary this requirement. Staff note that a DVP to vary this requirement are typically supported within Crescent Beach.



### PRE-NOTIFICATION

- Pre-notification letters were mailed out on August 25, 2016, and a development proposal sign was installed on the subject site on June 8, 2016.
- The applicant made a presentation regarding the proposal to the Crescent Beach Property Owners Association (CBPOA) on September 2, 2015. The CBPOA has expressed support for the proposal, particularly with respect to preserving the church building. At this meeting, the applicant also collected 29 signatures in support of the proposed development.
- Staff received six (6) responses from neighbourhood residents indicating support for the proposal. These respondents indicated a desire to preserve the heritage church on the property, and support for the application without providing off-street parking.
- Staff received three (3) responses from neighbourhood residents indicating concerns regarding the proposal. All of these respondents indicated concerns regarding traffic congestion in the neighbourhood and at this location. Two (2) of the respondents indicated concerns regarding the number of children being picked-up and dropped-off.

### CONCLUSION

- The applicant is proposing to rezone the subject site from "Child Care Zone (CCR)" to "Comprehensive Development Zone (CD)" and for a Development Permit in order to replace the existing rear annex portion of the building with a new two-storey building for child care use (Appendix II). The new building is intended to allow for an expansion of the existing child care centre to increase the number of children that can be accommodated from the approved capacity of 38 to 54 children.
- The proposed CD Zone would allow for up to 54 children, reduced setbacks, increased lot coverage, and increased density. Furthermore, a variance is proposed to eliminate the requirement for any off-street parking.
- Staff have outlined a number of items for the applicant to address in the proposal, including the proposed density, setbacks, parking, Fraser Health licensing issues, and floor plan concerns. To date, the applicant has not satisfactorily responded to staff comments and concerns. Staff are of the view that the overall scale and massing of the project, and the degree of variances sought, are not justified in the absence of a Heritage Revitalization Agreement (HRA) to protect the church.
- Therefore, it is recommended that the application be referred back to the applicant to address the concerns raised by staff.
- However, should Council determine that there is merit in considering the applicants proposal, the application should be referred back to staff to work to resolve the remaining outstanding items, including for drafting a CD By-law, the resolution of Fraser Health licensing issues and for determining if development is proposed below the minimum flood level.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
- Appendix II. Site Plan and Building Elevations
- Appendix III. Engineering Summary
- Appendix IV. Excerpt from the September 21, 2016 Heritage Advisory Commission Minutes
- Appendix V. Surrey Heritage Evaluation Worksheet
- Appendix VI. Photo of the Church of Ascension Anglican
- Appendix VII. Tree Plan

*original signed by Ron Hintsche*

Jean Lamontagne  
General Manager  
Planning and Development

HK/da

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent:      Name:                      Scott McDermid  
  
                            Address:                      12720 - Cameron Drive  
                                                            Richmond, BC V6V 2T6
  
2.      Properties involved in the Application
  - (a)      Civic Address:                      2770 - McKenzie Avenue
  
  - (b)      Civic Address:                      2770 - McKenzie Avenue  
                            Owner:                              Crescent Beach Holdings Ltd.  
                            PID:                                      012-720-984  
                            Lot 15 Block 9 District Lot 52 Group 2 New Westminster District Plan 2482
  
3.      Summary of Actions for City Clerk's Office

## DEVELOPMENT DATA SHEET

Proposed Zoning: CD

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total	556 sq.m	
Road Widening area		
Undevelopable area		
Net Total		
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage	40%	45.7%
SETBACKS ( in metres)		
Front	7.5 m	3.18m (to existing church building)
Rear (Lane)	7.5 m	0.64 m
Side #1 (N)	1.8 m	1.8 m
Side #2 (S)	1.8 m	1.8 m
BUILDING HEIGHT (in metres/storeys)		
Principal	9 m	8.7 m
Accessory		
NUMBER OF RESIDENTIAL UNITS		N/A
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
TOTAL BUILDING FLOOR AREA	289 sq.m	438 sq.m

*\* If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

**Development Data Sheet cont'd**

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)	0.52	0.79
FAR (net)		
AMENITY SPACE (area in square metres)		N/A
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial	8	0
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces		
Number of accessible stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	YES	Tree Survey/Assessment Provided	YES
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# VILLAGE MONTESSORI

ISSUED FOR DEVELOPMENT PERMIT - FILE No. 7916-0001-00  
02 MAY, 2016

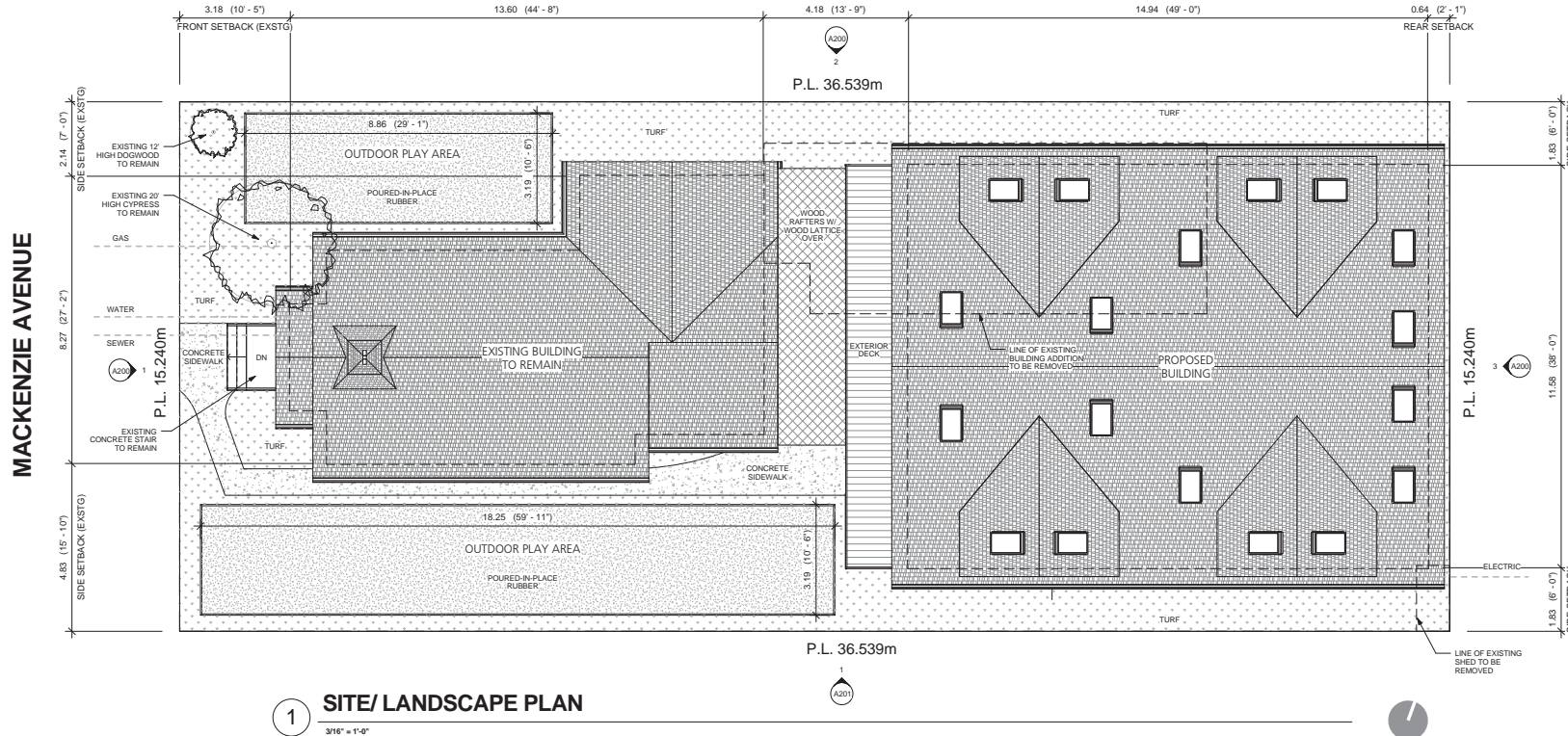
LOCATION PLAN



ZONING AND BYLAW INFORMATION		DRAWING LIST		AREA DATA		
ADDRESS	2770 MCKENZIE AVENUE, SURREY BC	Sheet Number	Sheet Name	PROPOSED LOT COVERAGE	2,736.3 sf (263.5sqm)	45.7%
LEGAL DESCRIPTION	LOT 15 DISTRICT LOT 52 BLOCK 9 PLAN 2482 NWD	A000	COVER	FLOOR	RESIDENTIAL	DAYCARE
PID	012-720-984	A100	FOUNDATION PLAN	GROUND FLOOR	958.7 sf (89.07sqm)	1,877.6 sf (174.43sqm)
EXISTING ZONING	CCR (CHILD CARE ZONE)	A101	GROUND FLOOR PLAN	UPPER FLOOR	0 sf	1,877.6 sf (174.43sqm)
LOT AREA	556 SQM (5,990 SF)	A200	ELEVATIONS	TOTAL	958.7 sf (89.07sqm)	3,755.2 sf (348.86sqm)
		A201	ELEVATIONS & NOTES	ABOVE GRADE	958.7 sf (89.07sqm)	3,755.2 sf (348.86sqm)
		A300	BUILDING SECTION			4,713.9 sf (437.93sqm)

**SCOPE OF WORK**

Conversion of existing daycare to single-family residence. Demolition of existing building addition and shed. Construction of new, two storey daycare.



**Village Montessori**  
2770 McKenzie Avenue  
Surrey BC V4A 3H4

DATE: 03 May, 2016  
1. Initial Submission  
2. Re-submission  
3. Re-submission for DP  
11 November 2016  
13 November 2016

CREATED

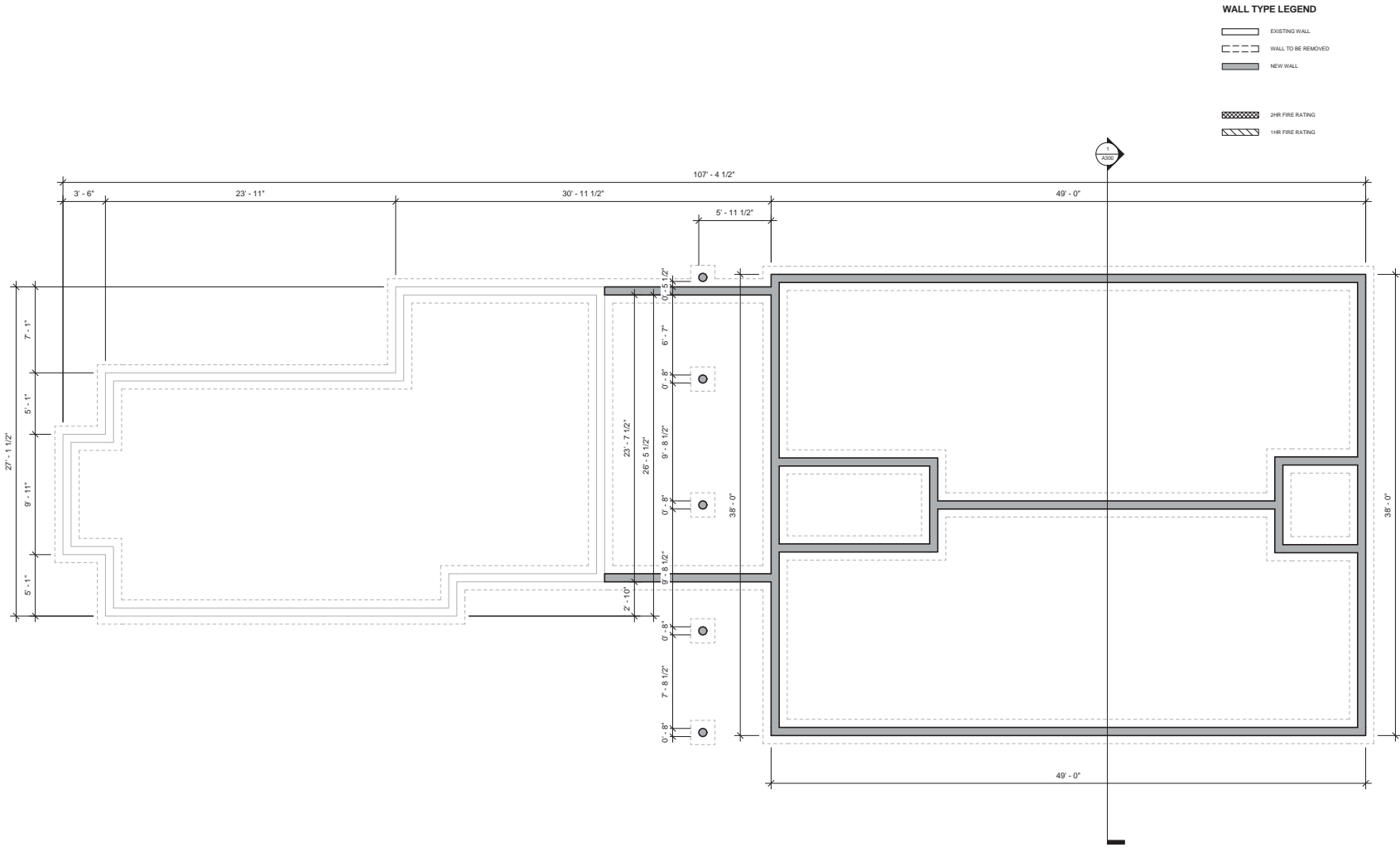
**COVER**

DATE: 13 November, 2016  
**A000**  
SCALE: 3/16" = 1'-0"

Tony Osborn Architecture + Design  
1902 - 2020 Haro St  
Vancouver BC V6G 1J3  
T 604 363 3790  
W www.toad.design

toad

APPENDIX II



**WALL TYPE LEGEND**

- EXISTING WALL
- WALL TO BE REMOVED
- NEW WALL
- 2HR FIRE RATING
- 1HR FIRE RATING

**1 FOUNDATION PLAN**  
1/4" = 1'-0"



**Village Montessori**

2770 McKenzie Avenue  
Surrey BC V4A 3H4

- 1. INITIAL PROVISION
- 2. RE-DESIGN FOR GP
- 3. RE-DESIGN FOR GP

CREATED

DATE: 03 May, 2016  
13 November 2016  
13 November 2016

**FOUNDATION PLAN**

DATE: 13 November, 2016

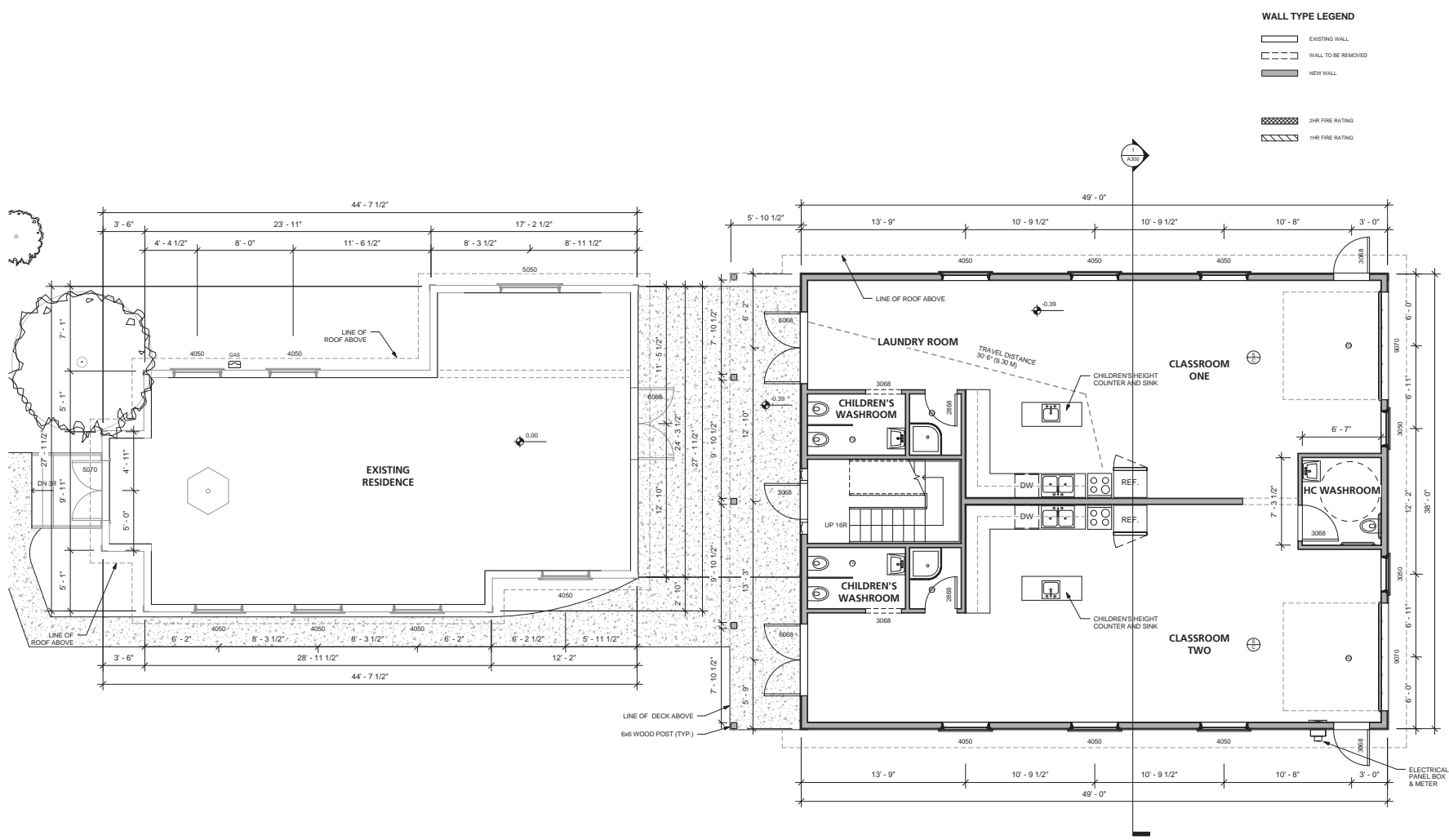
**A100**

SCALE: 1/4" = 1'-0"

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**1 GROUND FLOOR PLAN**  
1/4" = 1'-0"



**Village Montessori**  
2770 McKenzie Avenue  
Surrey BC V4A 3H4

DATE: 03 May, 2016  
CHECKED: [Signature]  
1. Initials  
2. In-hand or GP  
3. Released or GP






DATE: 13 November, 2016  
CHECKED: [Signature]  
1. Initials  
2. In-hand or GP  
3. Released or GP

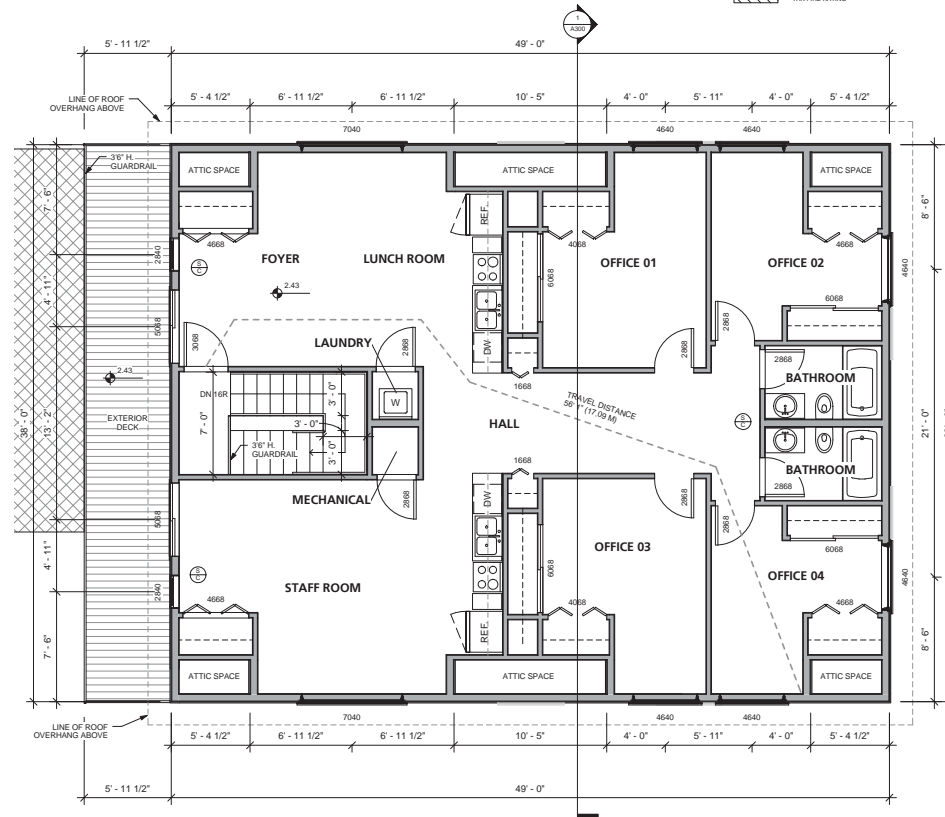
**GROUND FLOOR PLAN**

DATE: 13 November, 2016  
**A101**  
SCALE: 1/4" = 1'-0"



### WALL TYPE LEGEND

-  EXISTING WALL
-  WALL TO BE REMOVED
-  NEW WALL
-  2HR FIRE RATING
-  1HR FIRE RATING



**1 LEVEL TWO PLAN**  
1/4" = 1'-0"



**Village Montessori**  
2770 McKenzie Avenue  
Surrey BC V4A 3H4

CHECKED  
DATE: 03 May, 2016  
1. Initial dimension  
2. In-Field for GP  
3. In-Field for GP

DATE: 13 November, 2016  
1. In-Field for GP  
2. In-Field for GP

### LEVEL TWO PLAN

DATE: 13 November, 2016  
**A102**  
SCALE: 1/4" = 1'-0"

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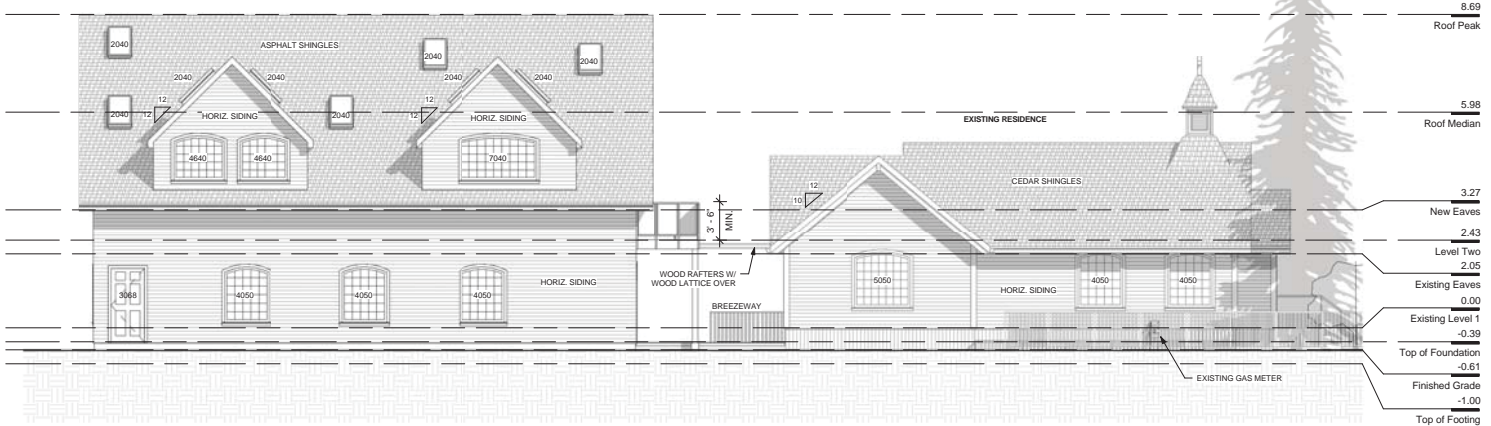
**1 WEST ELEVATION**  
3/16" = 1'-0"



**3 EAST ELEVATION**  
3/16" = 1'-0"

**SPATIAL SEPARATION CALCULATION**  
 AREA OF EXTERIOR WALL OF EXISTING BUILDING ADJACENT TO PROPOSED NEW LOT LINE: 852.2 SQ. FT. (a)  
 AREA OF ALL OPENINGS IN THE WALL: 124.50 SQ. FT. (b)  
 CALCULATIONS: 100 X (b) / 124.50 DIVIDED BY (a) 852.2 SQ. FT. = 14.55 % (c)

**PROPOSED DAYCARE**



**2 NORTH ELEVATION**  
3/16" = 1'-0"

**Village Montessori**  
 2770 McKenzie Avenue  
 Surrey BC V4A 3H4  
 DATE: 03 May, 2016  
 1. Initial Submission  
 2. In-land or GP  
 3. Re-submission of GP  
 11 November 2016  
 13 November 2016  
 ONE COPY

**ELEVATIONS**

DATE: 13 November, 2016  
**A200**  
 SCALE: 3/16" = 1'-0"

Tony Osborn Architecture + Design  
 1902 - 2020 Haro St  
 Vancouver BC V6G 1J3  
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 W www.toad.design

**GENERAL NOTES**

- 1 THE FOLLOWING NOTES ARE TO BE INCLUDED WITH AND BECOME PART OF THE ATTACHED DRAWINGS.
- 2 ALL WORK CARRIED OUT SHALL CONFORM TO BC BUILDING CODE - 2012 (AND/OR APPLICABLE BYLAWS & REGULATIONS OF THE LOCAL AUTHORITIES HAVING JURISDICTION).
- 3 ALL PLANS MUST BE CHECKED AND APPROVED BY A QUALIFIED STRUCTURAL ENGINEER, AND SOIL ENGINEER IF NECESSARY.
- 4 STRUCTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL & MECHANICAL DRAWINGS. ETC. FOR DETAILED DIMENSIONS OF DOORS, WINDOWS, AND DUCT OPENINGS, REBATES, CHASES, NAILERS...ETC.
- 5 CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND INFORMATION PRIOR TO COMMENCING WORK AND REPORT ANY DISCREPANCY TO THE DESIGNER.
- 6 ANY STRUCTURAL ALTERATION MADE MUST BE REPORTED TO THE DESIGNER AND SUBMITTED TO THE APPROPRIATE ENGINEER FOR APPROVAL PRIOR TO PERFORMANCE.
- 7 DESIGNER ASSUMES NO LIABILITY FOR ERROR, OMISSION, DEFICIENCY, DESIGN OR STRUCTURAL FLAW NOT REPORTED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- 8 DO NOT SCALE DRAWINGS.
- 9 CONTRACTOR IS RESPONSIBLE FOR ON SITE LOCATION OF BUILDING AND SERVICES. BUILDING SETBACKS TO BE CONFIRMED WITH SURVEYOR PRIOR TO CONSTRUCTION.
- 10 ALL CONCRETE FORMWORK, SHORING FOR THE EXCAVATION AND UNDERPINNING OF ADJACENT STRUCTURES, IF REQUIRED, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE DESIGNED AND INSPECTED IN ACCORDANCE WITH W.C.B. REGULATIONS.

**GENERAL NOTES**

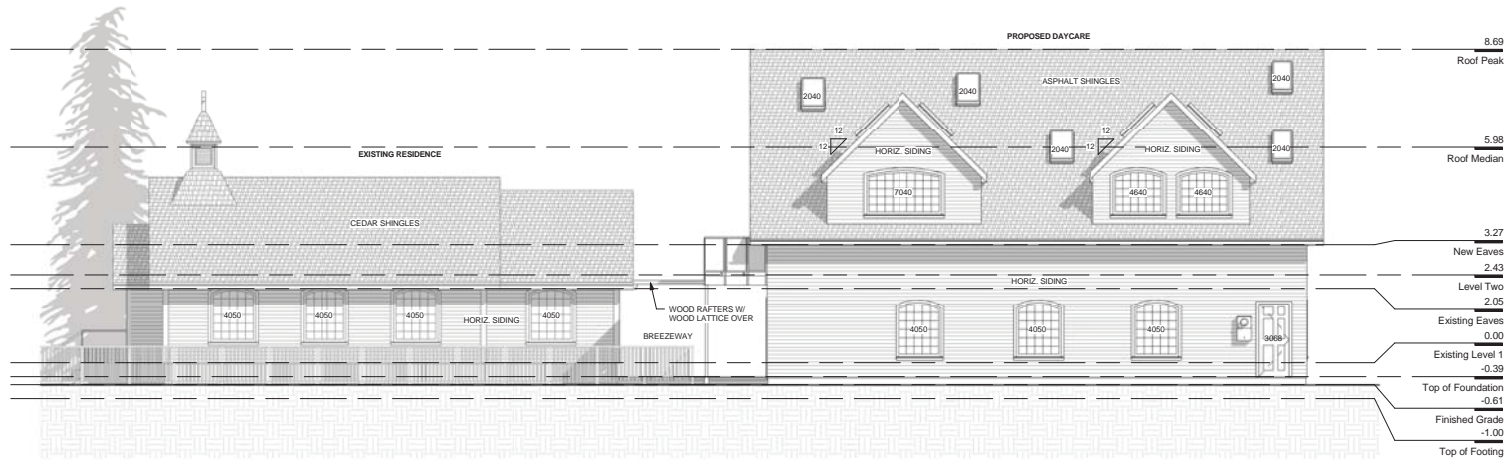
- 11 CONTRACTOR SHALL ENSURE THAT ALL WORK CARRIED OUT CONFORMS TO MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS, AND IS PERFORMED WITH CARE AND DILIGENCE ACCORDING TO GOOD BUILDING PRACTICES.
- 12 WHERE ALTERNATE PRODUCTS, MATERIALS, OR METHODS ARE PROPOSED, COMPLETE AND APPROPRIATE DETAILS, LITERATURE, AND SAMPLES SHALL BE SUBMITTED TO THE DESIGNER FOR REVIEW AND APPROVAL PRIOR TO ORDERING OR FABRICATION.
- 13 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, INSURANCE, AND W.C.B. PAYMENT.
- 14 OPENING SIZES FOR MANUFACTURED COMPONENTS TO BE VERIFIED WITH EACH INDIVIDUAL SUPPLIER OR MANUFACTURER.
- 15 PROVIDE ALUM. / GALV. STEEL FLASHING OVER ALL EXTERIOR WALL OPENINGS, DOORS, WINDOWS, PARAPETS, ROOF CURES, AND AROUND ALL ROOF PENETRATIONS.
- 16 CAULK AND SEAL ALL EXTERIOR WALL PENETRATIONS.
- 17 ALL WOOD MEMBERS IN CONTACT WITH CONCRETE SHALL BE PROTECTED WITH CONTINUOUS CLOSED CELL POLYETHYLENE DAMP-PROOFING STRIPS.
- 18 PROVIDE MINIMUM 8" CLEARANCE BETWEEN FINISHED GRADE AND STUCCO, WOOD, OR ANY FINISHES.
- 19 FACTORY BUILT FIREPLACES AND THEIR INSTALLATION SHALL CONFORM TO ULC S 610, "STANDARD FOR FACTORY BUILT FIREPLACES".
- 20 PROVIDE CONTINUOUS MIN. 4" DIA. PERFORATED PLASTIC DRAIN PIPE WITH MIN. 6" CLEAN GRAVEL COVER TO ENTIRE PERIMETER OF BUILDINGS. CONNECT ALL ROOF, PATIO / DECK, PORCH, PARKING, AND FOUNDATION DRAINAGE TO STORM SEWER.

**GENERAL NOTES**

- 21 PROVIDE 2 LAYERS OF BITUMINOUS DAMP-PROOFING OVER CONCRETE FOUNDATION WALLS IN CONTACT WITH GRADE, DOWN TO FOOTING.
- 22 CEILING INSULATION SHALL NOT OBSTRUCT SOFFIT VENTILATION. STOPS OR OTHER METHODS SHALL BE USED TO MAINTAIN A MIN. 2" CLEARANCE BETWEEN INSULATION AND UNDERSIDE OF ROOF ASSEMBLY.
- 23 FACTORY BUILT GLASS / PLASTIC SKYLIGHTS SHALL MEET PERFORMANCE REQUIREMENTS OF CGSP 63-GP-14M.
- 24 ALL GLAZING EXTENDING LESS THAN 12" ABOVE FINISHED FLOOR SHALL BE TEMPERED.
- 25 WHERE SPRINKLER SYSTEM IS REQUIRED, ALL SYSTEM DESIGN, INSTALLATION AND TESTING SHALL CONFORM TO NFPA 13(D).
- 26 EXCEPT FOR SPRINKLERED BUILDINGS, PROVIDE WINDOW ACCESS TO THE EXTERIOR FOR ALL BEDROOMS CONFORMING TO BCBC SENTENCE 9.7.1.3 & 9.7.1.4.
- 27 SMOKE ALARMS TO COMPLY WITH BCBC 9.10.19 & 9.36.2.20. INSTALL SMOKE ALARM / CARBON MONOXIDE DETECTOR CONFORMING TO ULC-S531 "STANDARD FOR SMOKE ALARMS" TO EACH STOREY.
- 28 PROVIDE MECHANICAL VENTILATION SYSTEM AT LEAST ONE HALF AN AIR CHANGE PER HOUR.
- 29 ALL WALLS DIMENSIONED FROM FACE OF SHEATHING, DRYWALL, OR CONCRETE.
- 30 WHERE SHOWN, MILLWORK AND CABINETS DIMENSIONED FROM FACE OF DRYWALL.
- 31 GRID LINES ARE TO FACE OF CONCRETE, SHEATHING, OR DRYWALL.
- 32 EXTERIOR WALL SHEATHING TO ALIGN WITH FACE OF CONCRETE.
- 33 FRAMING LUMBER TO BE D.FIR #2 OR BETTER.
- 34 STRUCTURAL CONCRETE TO BE 25MPa.

**SPATIAL SEPARATION CALCULATION**

AREA OF EXTERIOR WALL OF EXISTING BUILDING ADJACENT TO PROPOSED NEW LOT LINE: 814.2 SQ. FT. (a)  
 AREA OF ALL OPENINGS IN THE WALL: 97.6 SQ. FT. (b)  
 CALCULATIONS: 100 x (b) / (a) = 97.6 / 814.2 SQ. FT. = 12.00 % (c)



**1 SOUTH ELEVATION**  
 3/16" = 1'-0"

**Village Montessori**  
 2770 McKenzie Avenue  
 Surrey BC V4A 3H4

DATE: 13 November, 2016  
 03 May, 2016  
 11 November, 2016

1. Initial Consultation  
 2. In-kind or GP  
 3. In-kind or GP

**ELEVATIONS & NOTES**

DATE: 13 November, 2016  
**A201**  
 SCALE: 3/16" = 1'-0"

Tony Osborn Architecture + Design  
 1902 - 2020 Haro St  
 Vancouver BC V6G 1J3  
 T 604 363 3790  
 W www.toad.design



**1 SECTION A**  
1/4" = 1'-0"

**Village Montessori**  
2770 McKenzie Avenue  
Surrey BC V4A 3H4

DATE: 03 May, 2016  
13 November 2016  
13 November 2016

CREATED  
1. Initial Submission  
2. In-hand for GP  
3. In-hand for GP

**BUILDING SECTION**

DATE: 13 November, 2016  
**A300**  
SCALE: 1/4" = 1'-0"

Tony Osborn Architecture + Design

1902 - 2020 Haro St  
Vancouver BC V6G 1J3  
T 604 363 3790  
W www.toad.design

## INTER-OFFICE MEMO

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**TO: Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

**FROM: Development Services Manager, Engineering Department**

**DATE: January 11, 2017** PROJECT FILE: **7816-0001-00**

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**RE: Engineering Requirements (Commercial/Industrial)  
Location: 2770 McKenzie Avenue**

**REZONE*****Property and Right-of-Way Requirements***

- Provide a 0.5 m statutory right-of-way along McKenzie Avenue for inspection chambers and sidewalk maintenance.

***Works and Services***

- Engineering has concerns with current on-site parking as proposed. The Zoning Bylaw requires twelve (12) parking stalls be provided. Currently zero (0) parking stalls are proposed. It is recommended that efforts be made to accommodate parking on-site. Consultation with the community association and surrounding neighbours will be needed to gauge their concerns and develop parking mitigation measures to address City concerns through detailed design.
- Construct the east side of McKenzie Avenue to Local Road Standard.
- Construct Asbeck Lane to Unique Residential Land Standard.
- The proposed building is located in Crescent Beach which is entirely in a floodplain. The MBE of any building must take Flood Construction Level into account to determine elevation. High groundwater table is also an issue in some locations of Crescent Beach.
- Provide water quality/sediment control inlet chamber for on-site parking.
- Provide storm service connection for lot.
- Remove and replace water and sanitary service connections >30 years in age.

A Servicing Agreement is required prior to Rezone.

**DEVELOPMENT PERMIT**

The above engineering requirements are to be addressed as condition of the issuance of the Development Permit.



Rémi Dubé, P.Eng.  
Development Services Manager  
P206358

NOTE: Detailed Land Development Engineering Review available on file

**D. NEW BUSINESS****1. PLANNING & DEVELOPMENT****(f) Church of the Ascension Anglican, 2770 McKenzie Avenue**

File: 6800-10 (On-Table)

The following comments were made:

- The Commission requested clarification as to whether the variances being sought through the proposed Comprehensive Development (CD) Zone could also be achieved through a Heritage Revitalization Agreement (HRA). Staff, in response, confirmed that the Applicant would have the same options available to them under an HRA as they would under the requested CD Zone and that an HRA would also serve as a tool to allow for the long-term protection of the Church.
- The Commission commented that the site is an important heritage resource in the Crescent Beach neighbourhood. They further noted that the Applicant can not only achieve the same redevelopment potential under an HRA, but would also be eligible for financial benefits including property tax exemption and financial assistance for restoration of the building by entering into an HRA.

It was

Moved by Commissioner Priddy  
 Seconded by Commissioner Plug  
 That the Surrey Heritage Advisory

Commission (SHAC):

1. Receive the "**Church of the Ascension Anglican, 2770 McKenzie Avenue**" report as information; and
2. Recommend that the General Manager, Planning and Development direct staff to work with the Applicant to pursue a Heritage Revitalization Agreement (HRA) instead of the proposed CD Zone.

Carried**B. DELEGATIONS****C. OUTSTANDING BUSINESS**

**SURREY'S HERITAGE EVALUATION WORKSHEET**

Address	2770 McKenzie Avenue
Local Area	Crescent Beach
Building / Natural Feature	Church of the Ascension Anglican
Construction Date	1931
Current Owner / Applicant	Mary A. Dickhoff
Evaluated By	Hugh McLean
Inspection Date	September 1997

**SECTION 1 - HISTORY (If Known)**

Excellent = 9-10 Very Good = 7-8 Good = 5-6 Fair = 3-4 Poor = 1-2

<p><b>Historical Context / Association with Events/People:</b>  Alexander Annandale was the first to settle near present day Crescent Beach, arriving in 1864. He as followed in 1868 by Walter Blackie, the beach being called Blackie's Spit, as it fronted his homestead. After a road was built providing wagon access to the beach, it became a popular site for Victoria and Dominion Day picnics. This was to the chagrin of Blackie who on at least one occasion attempted to prevent access. When the Great Northern Railway coastal route was completed in 1909, the area was much easier to access, and Crescent Beach was the only part of the route where the tracks did not follow the shoreline. William Shelly of Vancouver (after whom the Shelly Building in Vancouver was named) organized a syndicate to develop the shoreline for an exclusive summer resort community, complete with restrictive covenants and gated road access. By 1912, four trains passed daily, and wealthy Vancouver and New Westminster residents were building summer homes. Captain Williams, who had previously operated a post office from his home on the hill above the beach, established a hotel with a store and a post office. In 1931, the Crescent congregation was loaned \$1,000 from the Church and Parsonage Building Loan Fund. The church obtained Lot 165, Block 9, DL 52 (otherwise known as the "Brown" lot) in May 1931 for \$500 cash. E. Croy was hired to build the church with a stipulation that the cost was not to exceed \$800.</p> <p><b>Cultural Association / Community Importance:</b>  Anglican services were first held in the Crescent Beach area starting in 1925, in Crescent United Church, under an agreement with the United Church congregation. A dispute between the congregations resulted in a termination of the agreement by the Anglican side. A decision was made to build an Anglican church in Crescent Beach, and in the interim, services were held at the house of Mrs. Roberts. By 1931, the syndicate was suffering the effects of the Great Depression and refused Reverend Thompson's request for a donation of a townsite lot. The congregation subsequently acquired an alternate site, the "Brown" lot. Since land prices were likely depressed, the church probably had little difficulty in obtaining a lot on the market. The first service in the new church was on June 14, 1931 by Rev. L.J. Thompson (Vicar). The church now serves an important community role as a day-care centre.</p>	8 / 10
<p><b>Ownership / Construction History:</b>  The Anglican congregation purchased this lot in May 1931. At the time of the first service on June 14, 1931, there were no windows or pews. Thirteen pews were delivered by Galbraiths Ltd., of New Westminster, later in June. The lectern, baptismal font and other furnishings came from Camp Slough. During the latter part of Rev. W.A. Jeffert's ministry, from September 1939 to November 1949, a hall was added to the rear of the church. On August 6, 1950, Archdeacon J. Thompson dedicated a stained glass memorial window in the chancel which was presented by Dr. Honor M. Kidd in memory of her parents, Mr. and Mrs. Robert M. Kidd. The last service was held on September 2, 1972, and the church was closed with permission to sell. A new roof was installed at this time. The memorial window was removed and installed in the narthex of St. Mark's Church which was opened in 1966. Mary Ann Dickhoff has been listed as the owner since June 1976.</p> <p><b>Designer / Builder (If Known):</b>  The builder was E. Croy, a contractor from White Rock, and assisted with volunteer labour.</p>	10 / 10

**SECTION 2 - SITE AND CONTEXT  
EVALUATION**

Excellent = 7-8 Very Good = 5-6 Good = 3-4 Fair = 1-2 Poor = 0

<p><b>Landmark Value:</b> The church is located very close to the road, with the spire visible from Beecher Street. There is no obstruction to the view of the front, although as it is not a corner lot, it is difficult to see the north side and rear without walking through the property.</p>	<p>6 /8</p>
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Excellent = 4 Very Good = 3 Good = 2 Fair = 1 Poor = 0

<p><b>Context / Streetscape:</b> McKenzie Avenue is a tree lined residential street and is a very attractive setting.</p>	<p>4 /4</p>
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<p><b>Setting / Site Description and Features:</b> The site is constrained by the size of the (50 foot-wide) lot and the fact that the church occupies much of the lot. There are several large trees around the periphery and the property is very well maintained. The front of the lot is bordered by an attractive white picket fence.</p>	<p>3 /4</p>
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<p><b>Environmental Value:</b> The lot offers a small amount of green space and minimal landscaping, and as a result the environmental value is fair.</p>	<p>1 /4</p>
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**SECTION 3 - ARCHITECTURAL  
EVALUATION**

Excellent = 9-10 Very Good = 7-8 Good = 5-6 Fair = 3-4 Poor = 1-2

<p><b>Stylistic Influence:</b> Gothic Revival with Tudor Influences</p>
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<p><b>Design Features:</b> <i>Exterior (Cladding, Trim, etc.):</i> Simple rectangle plan shape with enclosed centred front porch projection and a steeple at front on roof ridge. The church is covered in simple drop siding. <i>Windows - Type, Assembly:</i> Wood frame and sash rectangular windows having vertical frames and shallow Tudor-influenced arch on the side. Side windows are rectangular pane, two wide by four high. <i>Roof Type, Material:</i> The main roof is pitched and front-gabled with an identical pitch to the front vestibule projection, and a flared roof on the steeple. The main roof is covered in composition shingle while the church hall addition at the rear is covered in cedar shingle.</p>	<p>8 /10</p>
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<p><b>Unique Details or Design Elements:</b> <i>Exterior:</i> The front entrance has a shallow arched door frame, identical to the triple window arch in the rear (apse) and decorative iron hinges. The square steeple is vented steeple with the flared steep pitched roof surmounted by a cross. <i>Interior:</i> Not assessed.</p>	<p>6 /10</p>
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## SECTION 4 - PHYSICAL ASSESSMENT

Excellent = 9-10 Very Good = 7-8 Good = 5-6 Fair = 3-4 Poor = 1-2

<b>Architectural Integrity:</b> <i>Exterior:</i> The integrity of the church is intact, with the exception of the removal of the stained glass window to St. Mark's. <i>Interior (Where Applicable):</i> Not assessed.	9 / 10
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Excellent = 5 Very Good = 4 Good = 3 Fair = 1-2 Poor = 0

<b>Architectural Condition:</b> <i>Foundation / Structure:</i> Both the concrete foundation and the wood frame structure appear to be in excellent condition.	5 / 5
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Excellent = 5 Very Good = 4 Good = 3 Fair = 1-2 Poor = 0

<b>Additions / Alterations:</b> The addition to the rear of the church was made in a very appropriate manner. It cannot be seen from the street, it is set back and connects to the rear corner of the church, and the roof lines and materials are similar or complementary. The exception to this is the cedar shingles on the addition and the composition shingles on the church.	4 / 5
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## SECTION 5 - USABILITY

Excellent = 9-10 Very Good = 7-8 Good = 5-6 Fair = 3-4 Poor = 1-2

<b>Compatibility With Context:</b> The church fits in well with the surrounding single family residential as the lot is roughly the same size and the setting and massing of the church is on the same scale as a single family dwelling. It does not dominate the surrounding area.	10 / 10
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<b>Potential for Use / Future Use (If Known):</b> The building no longer provides a religious function. However, the potential for use as a day-care facility is excellent. There is an on-going demand for such a facility and the building will continue to provide a social service to the community.	10 / 10
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## SECTION 6 - OVERALL HERITAGE SIGNIFICANCE

<b>Summary and Recommendations:</b> The church has both historical and architectural significance. Recommended for addition to Heritage Register.
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<b>Documentation and Reference Material:</b> Surrey's Heritage, Volume 2; Site visit and photographs.
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**TOTAL: 84/100<sup>1</sup>  
or 84%**

<sup>1</sup> Where information is not available or not applicable, scoring must be left blank and the maximum of 100 must be discounted by an equivalent amount. A site may be considered for the Heritage Register with a score of at least 70/100 or equivalent percentage if discounted.



