

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7915-0438-00

Planning Report Date: September 17, 2018

PROPOSAL:

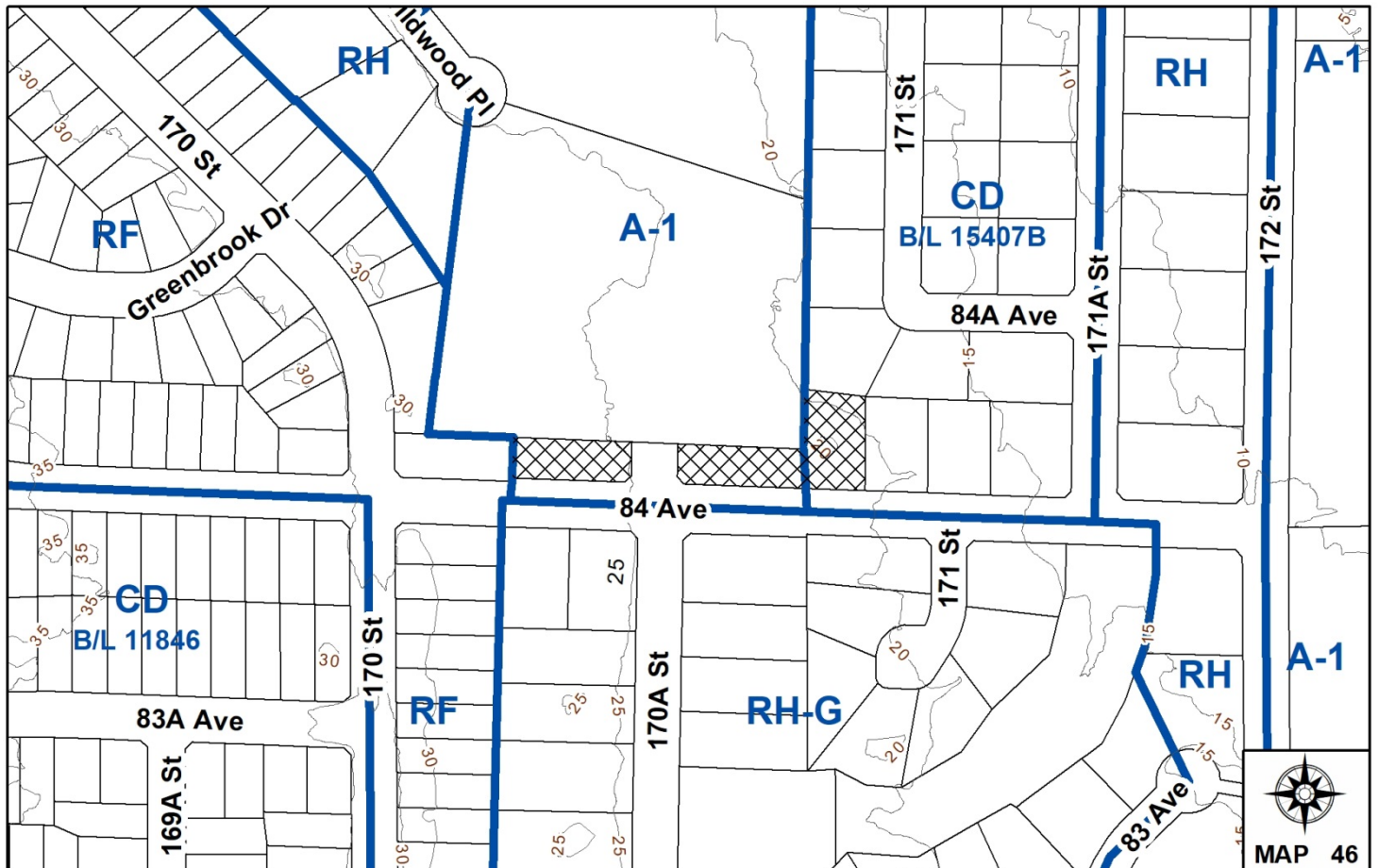
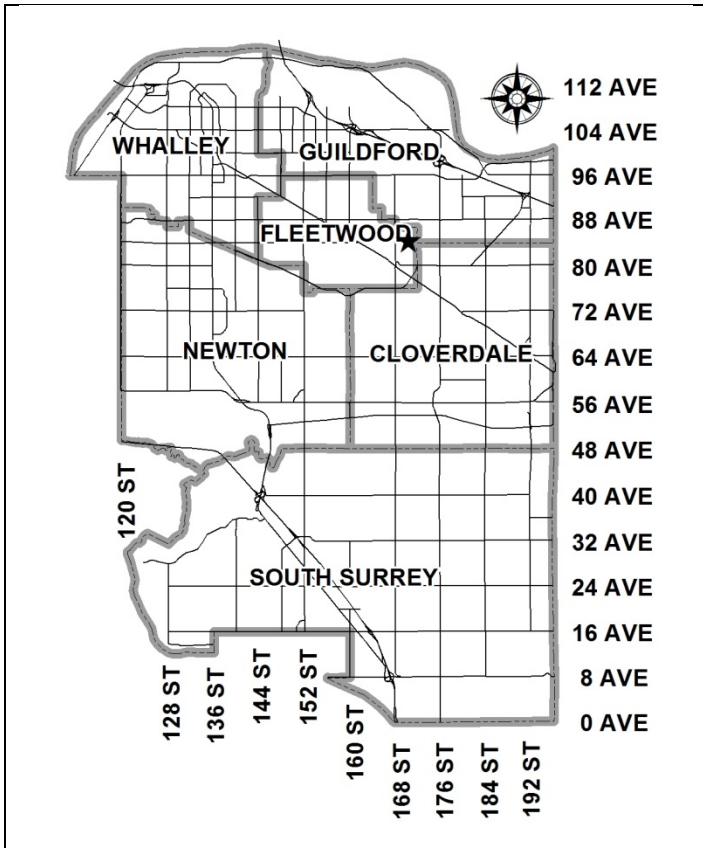
- **Rezoning** from A-1 and CD (By-law No. 15407B) to CD.

to permit subdivision into 3 small suburban residential lots.

LOCATION: 17089 - 84 Avenue

ZONING: CD (By-law No. 15407B) and A-1

OCP DESIGNATION: Suburban



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None

RATIONALE OF RECOMMENDATION

- The proposed development complies with the Suburban designation in the Official Community Plan (OCP) for sites beyond 200 metres (650 ft.) of the Agricultural Land Reserve (ALR) edge.
- The proposed lots provide an appropriate transition between the 5 u.p.ha. (2 u.p.a) Suburban-designated lots to the east and the Urban-designated lots to the west.
- The proposed lot widths do not meet the minimum lot width requirements under the Quarter-Acre Residential (RQ) Zone. One of the proposed lots does meet the minimum lot size requirement, under the Quarter-Acre Residential (RQ) Zone, for lots with no open space. However, the proposed lot width and sizes are similar to neighbouring lots to the west.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the portion of the subject site shown as Block B on the attached Survey Plan (Appendix II) from "General Agricultural Zone (A-1)" and the portion of the subject site shown as Block A on the Survey Plan (Appendix II) from "Comprehensive Development (CD) Zone (By-law No. 15407B)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a finalized subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) the applicant address the concerns from Parks, Recreation and Culture regarding increased pressure on park amenities;
 - (e) location certificate, zoning compliance and spatial separation report for the existing home to be retained on proposed Lot 3;
 - (f) discharge of the registered No-Build Restrictive Covenant for coordinated development with 8464 Wildwood Place;
 - (g) registration of a Section 219 Restrictive Covenant for No-Build for tree protection on proposed lots 1 and 2; and
 - (h) registration of a Section 219 Restrictive Covenant for an amendment and indemnity to the existing Building Scheme to expand the permissible roofing materials to include shake profile asphalt shingles, environmentally sustainable roofing in shake profile and metal roofing.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

1 Elementary students at Coast Meridian Elementary School
0 Secondary students at North Surrey Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by 2021.

Parks, Recreation & Culture: Applicant to address the increased pressure on park amenities in the area. The applicant has proposed a park amenity contribution of \$864 per lot and Parks has accepted this contribution amount to address their concerns.

SITE CHARACTERISTICS

Existing Land Use: Suburban residential dwelling with remainder land.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Single family dwelling on 5-acre lot.	Suburban	A-1
East:	Single family dwellings.	Suburban	CD (By-law No. 15407B)
South (Across 84 Avenue):	Single family dwellings.	Suburban	RH-G
West:	Single family dwelling.	Urban	RF

DEVELOPMENT CONSIDERATIONSBackground

- The subject site is 3,004 square metres (32,335 sq.ft.) in area and is located at 84 Avenue and 170A Street, approximately 500 meters (1,640 ft.) east of the Fleetwood Town Centre.

- The site is designated Suburban under the Official Community Plan (OCP) and is split-zoned "Comprehensive Development Zone (CD By-law No. 15407B)" and "General Agricultural Zone (A-1)".
- The subject site was created in 2004 as part of Development Application No. 7903-0442-00. The portion of the property currently zoned CD contains an existing house which will be retained as part of the proposed development.
- The remainder portion of the subject site, proposed to create the two new lots, is situated greater than 200 metre (656 ft.) from the Agricultural Land Reserve (ALR) boundary, which is located on the east side of 172 Street.
- A Section 219 Restrictive Covenant for a no-build was registered on the western portion of the property, currently zoned A-1, to protect for future subdivision in conjunction with the property directly north (8464 Wildwood Place).

Current Proposal

- The current proposal is to rezone the whole of the subject property from the existing CD and A-1 Zones to a new Comprehensive Development Zone (CD), based on the Quarter-Acre Residential Zone, and subdivide to create two (2) additional lots for a total of three (3) lots.
- The proposed lot sizes range between 916 sq.m (9,860 sq. ft.) to 1,140 sq. m (12,260 sq.ft.) in area. The overall site density is 4 u.p.a (10 u.p.a).
- One (1) of the proposed lots (proposed Lot 3) will retain the existing home.
- Changes to the OCP were introduced in 2014, which allowed for an increase in Suburban density from 5 u.p.ha (2 u.p.a) to 10 u.p.ha. (4 u.p.a) for lands situated greater than 200 metres from the ALR edge.
- Development Application No. 7903-0442-00, which created the subject parcel, incorporated a concept plan for the future subdivision of the subject site in conjunction with the property directly north. At the time of this subdivision, the maximum allowable density under the Suburban designation was 5 u.p.a (2 u.pa). Therefore, the remainder portion of the subject site could not have subdivided without the involvement of the property to the north.
- Following the changes to the maximum allowable density in the Suburban designation in the OCP, the applicant submitted the subject application to rezone and subdivide the property, as the adjacent property to the north was no longer required to comply with the density provisions of the OCP.

Proposed CD By-law

- In July 2017, Corporate Report (No. L002) introduced the Quarter-Acre Residential (RQ) Zone, which has not yet received final adoption.
- The intent of the RQ zone is to accommodate single family housing on small *suburban lots* with substantial public *open space*. Lots of 930 square metres (10,010 sq. ft.) are permitted without the provision of public open space.

- A Comprehensive Development (CD) Zone is proposed, based on the Quarter-Acre Residential (RQ) Zone, in order to accommodate reduced lot widths and area (Appendix VII).
- The proposed CD Zone allows for reduced lot width, on proposed Lots 1 and 2, from 24 metres (80 ft.) to 17 metres (56 ft.). It also allows for reduced lot size, on proposed Lot 1, from 930 square metres (10,000 sq. ft.) to 916 square metres (9,860 sq. ft.). Proposed Lots 2 and 3 exceed the minimum lot size requirement of 930 square metres (10,000 sq. ft.).
- The road dedication and construction of 170A Street, was secured as part of the original development application (No. 7903-0442-00). This road alignment is, therefore, fixed.
- Proposed Lot 1, at 916 square metres (9,860 sq. ft.), is slightly less than the 930 square metre (10,000 sq. ft.) minimum lot size, however, if the road dedication of 170A Street north of 84 Avenue would have been shifted slightly east, the minimum lot size could have been achieved on all proposed lots. For this reason, the proposed reduction in lot size, without the requirement for additional open space, is supportable.
- The maximum density of 10 units per hectare (4 u.p.a) proposed under the CD Zone is consistent with the RQ Zone and the Suburban OCP designation.

Building Design Guidelines and Lot Grading

- Building design guidelines were registered as part of Development Application No. 7903-0442-00 and will remain on title of the proposed lots. Mike Tynan, of Tynan Consulting, has assessed that the registered design guidelines are reflective of the character of the neighborhood and current designs for new houses.
- A new Section 219 Restrictive Covenant will be registered as an amendment and indemnity to the existing building scheme. This amendment will include additional roofing materials commonly used on new houses, including high profile asphalt shingles, metal roofing and environmentally friendly roofing to supplement cedar shakes and shingles. Current landscaping and topsoil requirements will also form part of the proposed amendment (Appendix V).
- A preliminary lot grading plan was submitted by Hub Engineering and is generally acceptable. There is small area of fill in excess of 0.5 meters (1.6 ft.) proposed on the site required to meet grade with the property to the north. Basements are proposed on the new lots.

PRE-NOTIFICATION

- Pre-notification letters were mailed out on November 7, 2017 and the following comments were received (*staff comments in italics*):

- Two (2) nearby residents contacted the City. One (1) resident requested clarification regarding the proposed layout and had no concerns. The second resident expressed concerns over increased traffic, vehicle speeds along 84th Avenue, tree preservation, and encroachment on ALR.

(84th Avenue is a Local Collector Road that does not extend, nor is proposed to extend, further east than 172 Street. Therefore, there is no east-bound thru traffic along 84th Avenue. All eight (8) of the existing trees on-site are proposed for retention. The majority of the subject site is situated greater than 200 metres (650 ft.) from the ALR boundary. The interface with the ALR, along 172 Street, was established under Development Application No. 7903-0442-00, with Half-Acre Residential Zone (RH) lots with landscaping buffers.

TREES

- Trevor Cox, ISA Certified Arborist of Diamond Head Consulting Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	0	0	0
Cottonwood	0	0	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Apple	1	0	1
Japanese Cherry	1	0	1
Japanese Maple	1	0	1
Magnolia	1	0	1
Coniferous Trees			
Serbian Spruce	2	0	2
Yellow Cedar	2	0	2
Total (excluding Alder and Cottonwood Trees)	8	0	8
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		10	
Total Retained and Replacement Trees		18	
Contribution to the Green City Fund		N/A	

- The Arborist Assessment states that there are a total of eight (8) protected trees on the site, excluding Alder and Cottonwood trees. There are no Alder and Cottonwood trees on the site. It was determined that eight (8) trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- The north side yard setback of proposed Lot 2 and front yard setback of proposed Lot 1 need to be increased in order ensure tree preservation of off-site trees. Section 219 no-build restrictive covenants will be required to be registered in order to identify the tree preservation areas.
- There are no replacement trees required, because all of the on-site trees are proposed for retention; however the applicant is proposing to install ten (10) replacement trees, for a total of 18 trees.
- In summary, a total of eighteen (18) trees are proposed to be retained or replaced on the site with no contribution required to the Green City Fund.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	• Single family lots designated Suburban in the OCP and near the Fleetwood Town Centre.
2. Density & Diversity (B1-B7)	• The proposed density complies with the OCP designation
3. Ecology & Stewardship (C1-C4)	• Low Impact Development Standards will be applied.
4. Sustainable Transport & Mobility (D1-D2)	• N/A
5. Accessibility & Safety (E1-E3)	• CPTED principles including houses facing the street.
6. Green Certification (F1)	• Not proposed.
7. Education & Awareness (G1-G4)	• Pre-notification and development proposal sign. • Council Public Hearing.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary (Confidential) and Project Data Sheets
Appendix II.	Survey Plan, Proposed Subdivision Layout
Appendix III.	Engineering Summary
Appendix IV	School District Comments
Appendix V	Building Design Guidelines Amendment Summary
Appendix VI	Summary of Tree Survey and Tree Preservation
Appendix VII	Proposed CD By-law

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

IM/cm

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

SUBDIVISION DATA SHEET

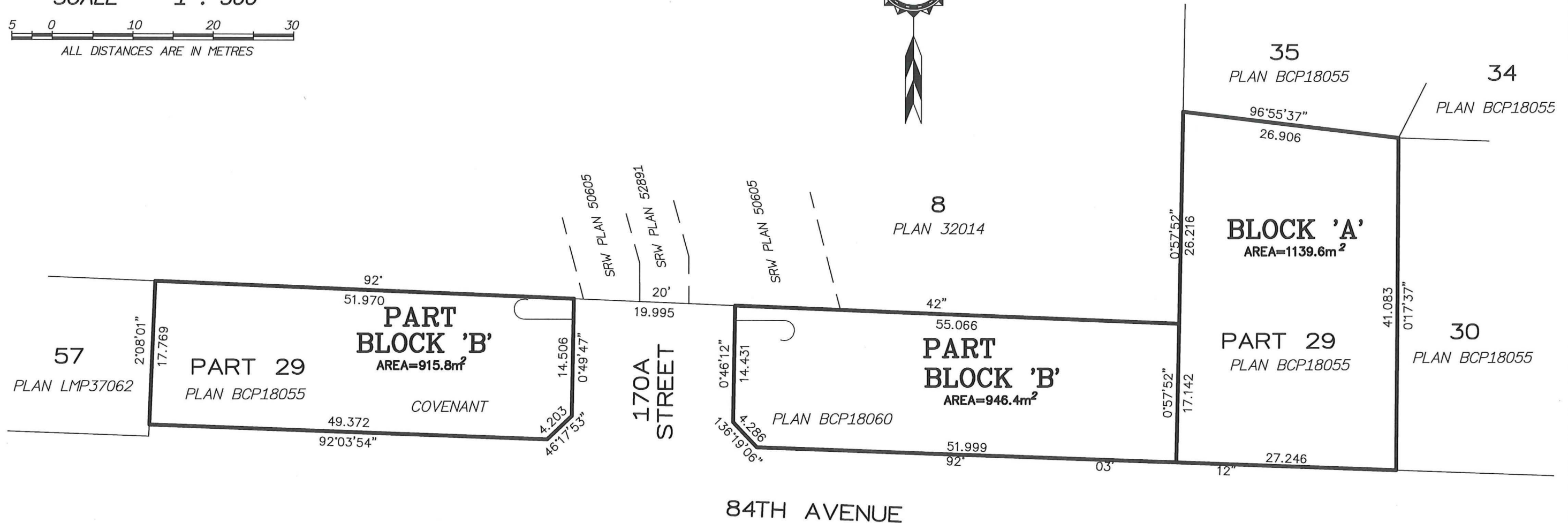
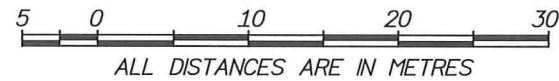
Proposed Zoning: CD

Requires Project Data	Proposed
GROSS SITE AREA	
Acres	0.74 acres
Hectares	0.30 hectares
NUMBER OF LOTS	
Existing	1
Proposed	3
SIZE OF LOTS	
Range of lot widths (metres)	14.2m to 27m
Range of lot areas (square metres)	
DENSITY	
Lots/Hectare & Lots/Acre (Gross)	
Lots/Hectare & Lots/Acre (Net)	10 lots/ha 4 lot/ac
SITE COVERAGE (in % of gross site area)	
Maximum Coverage of Principal & Accessory Building	25%
Estimated Road, Lane & Driveway Coverage	35%
Total Site Coverage	60%
PARKLAND	
Area (square metres)	None
% of Gross Site	
PARKLAND	
5% money in lieu	NO
TREE SURVEY/ASSESSMENT	
	YES
MODEL BUILDING SCHEME	
	YES
HERITAGE SITE Retention	
	NO
FRASER HEALTH Approval	
	NO
DEV. VARIANCE PERMIT required	
Road Length/Standards	NO
Works and Services	NO
Building Retention	NO
Lot Width	NO

SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW No: _____ OF LOT 29 SECTION 30 TOWNSHIP 8 NEW WESTMINSTER DISTRICT PLAN BCP18055

FOR REZONING PURPOSES

SCALE 1 : 500



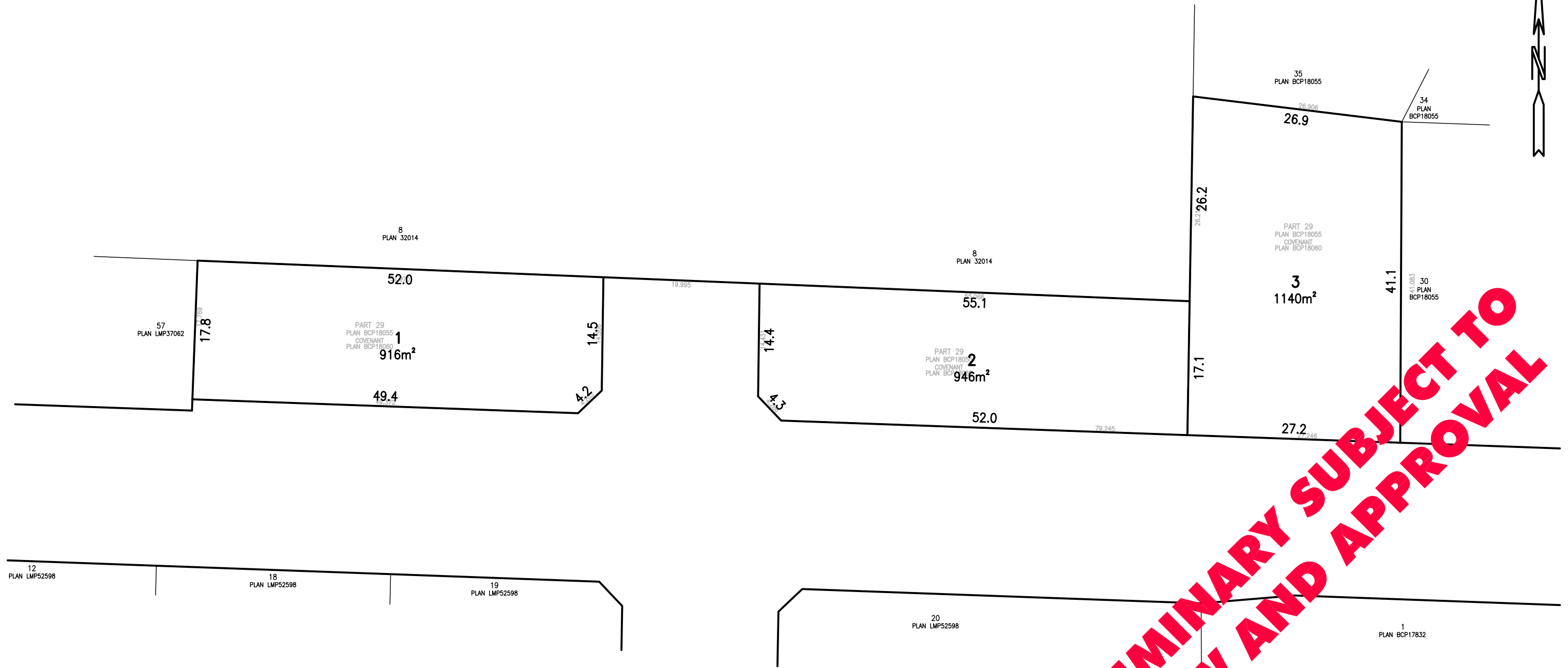
Lot dimensions are derived from FIELD SURVEY

CERTIFIED CORRECT
DATED THIS 17TH DAY OF FEBRUARY, 2016.


M. Adam Fulkerson B.C.L.S.



G:\Projects\15084.sik\A0 Drawings\Layouts\Lot Layout - Op 5 - Sep 29, 2017.dwg [Lot Layout 11x17] 6/14/2018 5:17PM



PRELIMINARY SUBJECT TO REVIEW AND APPROVAL

CLIENT:		PROJECT: 17089 84 AVENUE, SURREY			
DRAWING TITLE: RESIDENTIAL SUBDIVISION					
PROJECT No.	15084	DATE:	JUN 2018	LEGAL:	
		SCALE:	1:500	MUNICIPAL PROJECT No:	
PRELIMINARY PLAN - SUBJECT TO APPROVAL(S) FROM FEDERAL, PROVINCIAL AND LOCAL AUTHORITIES					

Hub Engineering Inc.
 Engineering and Development Consultants

Member
PACIFIC LAND GROUP

Suite 212, 12992 - 76 Avenue, Surrey, B.C. V3W 2V6
 tel: 604-572-4328 | fax: 604-501-1625 | mail@hub-inc.com | www.hub-inc.com

**TO: Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: September 07, 2018 **PROJECT FILE: 7815-0438-00**

**RE: Engineering Requirements
Location: 17089 - 84 Avenue**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- The required dedications along 170A Street and 84 Avenue frontages were secured under Surrey project 7803-0442-00.

Works and Services

- Construct 1.5m wide concrete sidewalk on 84 Avenue fronting proposed Lot 1.
- Construct 1.5m wide off-site concrete sidewalk on 84 Avenue fronting 8402 – 170 Street under Development Coordinated Works (DCW).
- Construct street lighting, boulevard and street trees along both sides of 170A Street.
- Construct storm main on 170A Street.
- Construct 250mm sanitary main on 84 Avenue to service proposed Lot 2.
- Construct water, storm and sanitary connections and letdowns to each lot.
- Register applicable legal documents as determined through detailed design

A Servicing Agreement is required prior to Rezone/Subdivision.



Tommy Buchmann, P.Eng.
Acting Development Services Manager

HB4



August-25-17

Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 15 0438 00

SUMMARY

The proposed 2 single family lots are estimated to have the following impact on the following schools:

Projected # of students for this development:

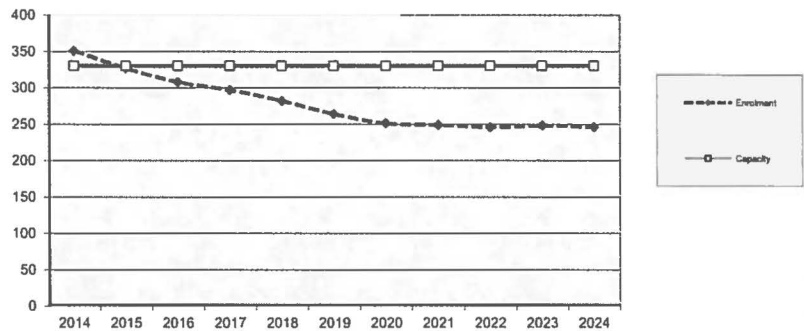
Elementary Students:	1
Secondary Students:	0

September 2018 Enrolment/School Capacity

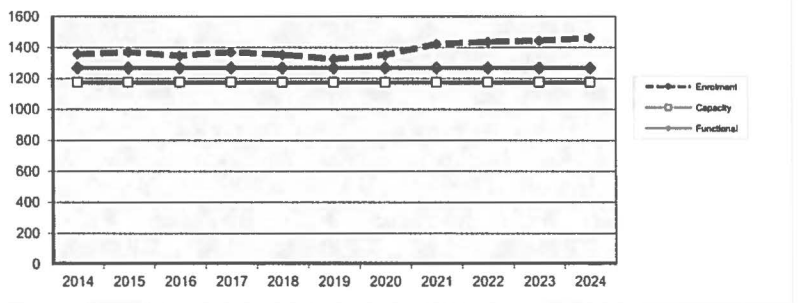
Coast Meridian Elementary	
Enrolment (K/1-7):	24 K + 284
Capacity (K/1-7):	80 K + 250
North Surrey Secondary	
Enrolment (8-12):	1348
Nominal Capacity (8-12):	1175
Functional Capacity*(8-12):	1269

School Enrolment Projections and Planning Update:
 The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.
 In the district's 5-Year Capital Plan there is a request for an addition to North Surrey Secondary and no capital project requests for Coast Meridian Elementary.

Coast Meridian Elementary



North Surrey Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

Building Design Guidelines Amendment Summary

That section 3.6 from the Schedule "A" attached to and forming part of the Covenant be deleted and replaced with the following new section 3.6 :

- (a) that *person* plants trees on the *lot* in accordance with the Tree Preservation and Planting Plan attached hereto as "Appendix 1", providing that not less than one 6 cm caliper deciduous tree and one 3.0 metre coniferous tree conforming to the City of Surrey Tree Preservation By-law, 1996, No. 12880 are planted on each *lot*;
- (b) that *person* installs the landscaping in accordance with the requirements of the latest edition of the "British Columbia Landscape Standard" published jointly by the British Columbia Society of Landscape Architects and British Columbia Nursery Trades Association, and complies with the other requirements in this section;
- (c) all street fronting yard areas on the *lot* are landscaped with lawn, trees, and shrubs and flower beds according to the landscape layout submitted to the *City*;
- (d) in addition to the planting requirement for any trees specified in Appendix 1 herein, that *person* installs the following minimum additional planting materials:
 - (i) Shrubs: provide a minimum of 35 shrubs (5 gallon pot minimum);
 - (ii) Decorative trees : provide a minimum of two decorative trees in the front yard of each lot, as approved by the *consultant*; and
 - (iii) Sod: provide sod from the street to the front face of the home on an interior *lot*, or provide sod from the front and flanking streets to the front and flanking side of the home on a corner *lot*.
- (e) that *person* completes the front yard landscaping within 60 days of the completion of the *improvements*, except if weather conditions make it impossible to do so, in which case that *person* will complete that landscaping as expeditiously as possible, and prior to final inspection;
- (f) that *person* cleans and grades side and rear yards within 60 days of the completion of the *improvements*, and prior to final inspection;
- (g) a minimum 450 mm thick layer of topsoil is required in all pervious surface areas including but not limited to lawn areas and planter beds, except within

any root protection zone protected by covenant, wherein the existing soil shall remain undisturbed;

- (h) roof rain water leaders shall discharge onto the lawn via a concrete splash pad or to an approved on-site rainwater management facility. Roof rain water leaders shall not be connected directly to perimeter drains nor to a storm sewer;
- (i) all impervious areas shall be graded toward landscaped pervious areas; and
- (j) all landscaping on the *lot* shall be completed within one year from the date of occupancy of the *improvements*.

That paragraph 4.7(b) from the Schedule "A" attached to and forming part of the Covenant be deleted and replaced with the following new paragraph 4.7 (b) :

(b) **Pitch**

- (i) the minimum roof pitch is 8:12, except as provided in clauses 4.7(b)(ii), 4.7(b)(iii), and 4.7(b)(iv) herein;
- (ii) the slope of the upper-most roof system shall be reduced where it is determined by the *consultant* that a roof slope reduction would reduce over-shadowing of neighbouring *lots*, or would preserve view corridors for neighbours;
- (iii) the roof pitch is constant, in accordance with clause 2.10(b)(i), except an increased roof pitch is permitted on roofs above street facing wall projections and a decreased roof pitch is permitted at a covered entry veranda or a dormer; and
- (iv) roof slopes may be reduced where it is determined by the *consultant* that the roof slope reduction results in:
 - internal consistency in the front façade, and
 - proportionately consistent volume allocations to various projections on the front façade, and
 - overall balanced massing across the façade, and
 - suitable massing transitions from the roof of any dwelling to the roof of the dwelling on an adjacent *lot* as determined by the *consultant*.

That paragraph 5.1(a) from the Schedule "A" attached to and forming part of the Covenant be deleted and replaced with the following new paragraph 5.1 (a) :

(a) General


only the following roofing materials are used:

- (i) Treated cedar shakes or cedar shingles, or
- (ii) Concrete roof tiles, which are in a "shake profile" only, or
- (iii) Asphalt shingles in a "shake profile" only, with a 30 year or greater warranty, which are accompanied by a pre-formed (manufactured) raised ridge cap, or
- (iv) Environmentally sustainable roofing products in a shake profile only, that meet or exceed the thickness of roofing products specified in clause 2.10 (c)(iii) herein,
- (v) Roll roofing, or other membrane type roofing where the slope of any feature roof is less than 3:12,
- (vi) metal roofing on feature roofs only, in dark brown, grey, and copper hues only, subject to *consultant* approval of the design integrity of the metal feature, and approval of the surface profile.

Table 3. Tree Preservation Summary.

TREE PRESERVATION SUMMARY	
Surrey Project No:	15 0438
Address:	17089 84 th Ave Surrey, BC
Registered Arborist:	Michael Harrhy, B.Sc., MSFM ISA Certified Arborist (PN-8025A) ISA Qualified Tree Risk Assessor (TRAQ) Forester in Training Biologist in Training
On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	10
Protected Trees to be Removed	0
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio ___ X one (1) = 0	0
- All other Trees Requiring 2 to 1 Replacement Ratio X two (2) = 0	
Replacement Trees Proposed	10
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio ___ X one (1) = 0	0
- All other Trees Requiring 2 to 1 Replacement Ratio X two (2) = 0	
Replacement Trees Proposed	
Replacement Trees in Deficit	0

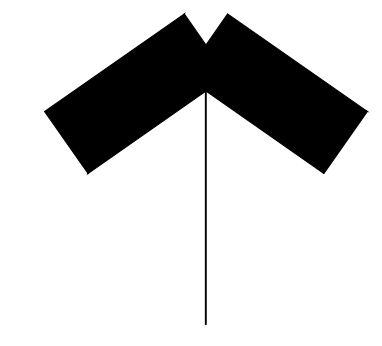
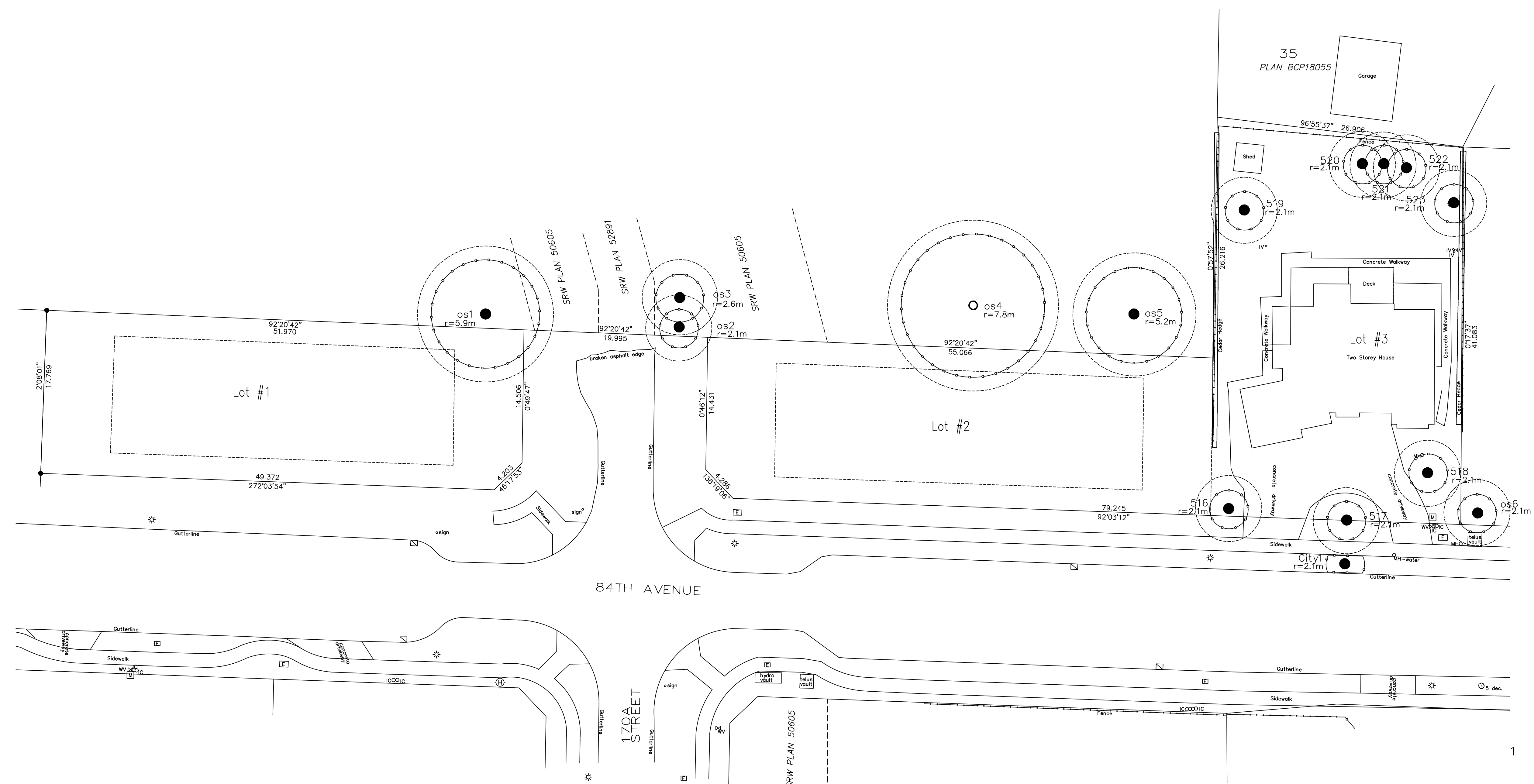
Summary prepared and submitted by:



 Arborist

May 24, 2018

 Date



LEGEND

- = TREES NOT SURVEYED
- = TREES TO BE RETAINED
- ⊗ = TREES TO BE REMOVED
- (with dashed line) = PROTECTION BARRIER

DATE	REMARKS	NO.
	REVISIONS	

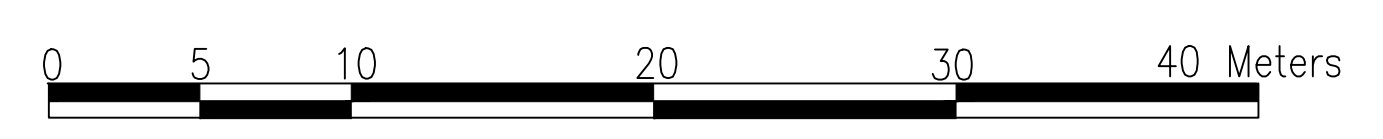
C.KAVOLINAS & ASSOCIATES INC.
 BCSLA CSLA
 2462 JONQUIL COURT
 ABBOTSFORD, B.C.
 V3G 3E8
 PHONE (604) 857-2376

CLIENT
 MR. MIKE KOMPTER
 HUB ENGINEERING INC.
 SUITE #212
 12992 - 76th AVENUE
 SURREY, B.C.
 V3W 2V6
 604-572-4328

TITLE
 PLAN VIEW
 TREE LOCATION PLAN
 TREE RETENTION PLAN
 3 LOT SUBDIVISION
 17089 - 84 AVENUE
 SURREY, B.C.

SCALE 1:250	DATE FEB/12
DRAFT	CHK'D
ENG.	CHK'D
APPR'D	AS BUILT

PRINTED	JOB No.
	DRAWING No.
	TR-1



CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

- (a) FROM: GENERAL AGRICULTURE ZONE (A-1)
- TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Portion of Parcel Identifier: 026-336-871
Lot 29 Section 30 Township 8 New Westminster District Plan BCP18055

Portion of 17089 -84 Avenue

As shown on the Survey Plan attached hereto and forming part of this Bylaw as Schedule A, certified correct by Adam Fulkerson, B.C.L.S. on the 17th day of February, 2016, containing 1,862 square metres, called Block B.

- (b) FROM: COMPREHENSIVE DEVELOPMENT ZONE (CD By-law No. 15407B)
- TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Portion of Parcel Identifier: 026-336-871
Lot 29 Section 30 Township 8 Plan BCP18055 New Westminster District

Portion of 17089 - 84 Avenue

As shown on the Survey Plan attached hereto and forming part of this Bylaw as Schedule A, certified correct by Adam Fulkerson, B.C.L.S. on the 17th day of February, 2016, containing 1139.6 square metres, called Block A.

(hereinafter both 1. (a) and (b) shall be referred to as the "Lands")

2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended for single family housing on small *suburban lots*.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. One *single family dwelling* which may contain 1 *secondary suite*.
2. *Accessory uses* including the following:
 - (a) *Bed and breakfast* use in accordance with Section B.2, Part 4 General Provisions, of Surrey Zoning By-law, 1993, No. 12000, as amended; and
 - (b) The keeping of *boarders* or *lodgers* in accordance with Section B.2, Part 4 General Provisions, of Surrey Zoning By-law, 1993, No. 12000, as amended.

C. Lot Area

Not applicable to this Zone.

D. Density

1. For the purpose of subdivision, the maximum *unit density* shall not exceed 10 *dwelling units* per hectare (4 u.p.a).
2. For *building* construction within a *lot*:
 - (a) The *floor area ratio* must not exceed 0.60 for the first 560 square metres (6,000 sq. ft.) of *lot* area and 0.35 for the remaining *lot* area in excess of 560 square metres (6,000 sq. ft.) provided that 39 square metres (420 sq. ft.) must be reserved for use only as a garage or carport;
 - (b) Notwithstanding Sub-section D.2 (a), the maximum allowable floor area is 465 square metres (5,000 sq. ft.);
 - (c) The maximum permitted floor area of a second storey for a *principal building* must not exceed 80% of the floor area of the main floor level including attached garage and that portion of any porch or veranda at the front that is covered by a sloped roof, but not including any portion of the *structure* located within 7.5 metres (25

ft.) of the *front lot line*. The reduced floor area of the second storey shall be accomplished by an offset at the second level from the wall at the main floor level from either the front or side walls or a combination thereof; and

- (d) For the purpose of this Section and notwithstanding the definition of *floor area ratio* in Part 1 Definition of Surrey Zoning By-law, 1993, No. 12000, as amended, the following must be included in the calculation of *floor area ratio*:
- i. Covered areas used for parking, unless the covered parking is located within the *basement*;
 - ii. The area of an accessory building in excess of 10 square metres (108 sq. ft.);
 - iii. Covered outdoor space with a height of 1.8 metres (6 ft.), or greater, except for a maximum of 10% of the maximum allowable floor area of which 15 square metres (160 sq. ft.) must be reserved for a front porch or veranda; and
 - iv. Floor area including staircases, garages and covered parking with extended height exceeding 3.7 metres (12 ft.) must be multiplied by 2, excluding:
 - (a) 19 square metres (200 sq. ft.); and
 - (b) floor area directly below a sloped ceiling less than 4.6 metres (15 ft.) in height, provided that the area has at least one wall 3.7 metres (12 ft.) or less in height.

E. Lot Coverage

The *lot coverage* shall not exceed 32% for *lots* less than 1,000 square metres (10,760 sq. ft.) in size and shall not exceed 26% for *lots* greater than or equal to 1,000 square metres (10,760 sq. ft.) in size.

F. Yards and Setbacks

Buildings and structures shall be sited in accordance with the following minimum setbacks:

Setback Use	Front 1, 2 Yard	Rear 3 Yard	Side Yard	Side Yard on Flanking Street
<i>Principal Building</i>	7.5 m [25 ft.]	7.5 m [25 ft.]	2.4 m [8 ft.]	3.6 m [12 ft.]
<i>Accessory Buildings And Structures Greater than 10 square metres (108 sq. ft.) in size</i>	18.0 m [60 ft.]	1.8 m [6 ft.]	1.0 m [3 ft.]	7.5 m [25 ft.]
<i>Other Accessory Buildings and Structures</i>	18.0 m [60 ft.]	0.0 m [0 ft.]	0.0 m [0 ft.]	7.5 m [25 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. Except for a garage, the *front yard setback*, may be relaxed at the lower floor level to 5.5 metres (18 ft.) for a maximum of 50% of the width of the *principal building*. If a minimum of 50% of the width of the *principal building* is set back 9 metres (30 ft.), the setback to an attached garage may be relaxed to 6.7 metres (22 ft.).
2. With the exception of a garage with its main access doors facing a *side yard*, an attached garage to the *principal building* must not extend towards the *highway* for more than half the depth of the said garage, measured from the front face of the *principal building*, excluding any front face of the exterior wall above the said garage. If an attached garage with its main access doors facing a *highway* contains more than 2 parallel parking bays, the additional parking bays and the garage entrance leading to the additional parking bays must be set back at least 0.9 metres (3 ft.) from the front of the said garage.
3. 50% of the length of the rear *building face* may be *setback* a distance of 6.0 metres (20 ft.) from the *rear lot line* provided the remainder of the *building face* is *setback* at least 8.5 metres (28 ft.) from the *rear lot line*.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings:*
 - (a) The *building height* shall not exceed 9.0 metres [30 ft.].

- (b) The *building height* of any portion of a *principal building* with a roof slope of less than 1:4 shall not exceed 7.3 metres (24 ft.)
- 2. *Accessory buildings and structures:* The *building height* shall not exceed 4 metres [13 ft.] except that where the roof slope and construction materials of an *accessory building* are the same as that of the *principal building*, the *building height* of the *accessory building* may be increased to 5 metres (16.5 ft.).

H. Off-Street Parking

- 1. Resident and visitor *parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
- 2. Outside parking or storage or *campers*, boats and *vehicles* including cars, trucks and *house trailers* ancillary to the residential use, shall be limited to:
 - (a) A maximum of 3 cars or trucks;
 - (b) *House trailer, camper* or boat provided that the combined total shall not exceed 1; and
 - (c) The total amount permitted under Sub-sections H.2 (a) and (b) shall not exceed 4.
- 3. *Vehicle* parking may be permitted in either the *front yard* or *side yard* subject to the following:
 - (a) No off-street *parking space* shall be permitted within the required *front yard* or *side yard setback* except on a *driveway*. *Driveways* may be constructed off either the *frontage* or *flanking street*;
 - (b) *Parking spaces* shall be located only on a *driveway* leading to a garage, carport or parking pad, in a garage, a carport, or on a parking pad; and
 - (c) The total area surfaced or paved for a *driveway* shall be as follows:
 - i. Every *lot* may have one *driveway* with a uniform width of 8.0 metres (26 ft.) extending from the *lot line* to the garage, carport, or parking pad on the *lot*;
 - ii. Notwithstanding Sub-section H.3.(c)(i) additional *driveway* width may also be allowed to provide access to additional *parking spaces* in a garage, carport, or parking pad, where the garage, carport or parking pad has more than 2 side by side *parking spaces*, provided that such width is no more than 3 metres (10 ft.) times the number of adjacent side by side *parking spaces* measured at the required *front yard* to a width of 8 metres (26 ft.) at the *front lot line*;

- iii. Notwithstanding Sub-section H.3.(c)(i) and (ii), a driveway shall not exceed 53% of the total area of the *front yard* or required *side yard* within which the *driveway* is located; and
 - iv. Where the *driveway* is constructed in a *side yard* off of a *flanking street* all references to *front yard* within this Section shall be read as *side yard*.
4. No outside parking or storage of a *house trailer* or boat is permitted within the *front yard setback*, or within the required *side yards* adjacent the *dwelling unit*, or within 1 metre (3 ft.) of the *side lot line*, except as follows:
- (a) On *lots* which have no vehicular access to the *rear yard* or where access is not feasible through modification of *landscaping* or fencing or both, either 1 *house trailer* or 1 boat may be parked in the front *driveway* or to the side of the front *driveway* or in the *side yard* but no closer than 1 metres (3 ft.) to a *side lot line* nor within 1 metre (3 ft.) of the *front lot line* subject to the residential parking requirements stated in Table C.1 of Part 5 off-Street Parking and Loading/Unloading of Surrey Zoning By-law, No. 12000, 1993, as amended;
 - (a) Notwithstanding Sub-section H.4(a), no outside parking or storage of a *house trailer* or boat is permitted on *corner lots* in an area bounded by the intersecting *lot lines* at a street corner and a straight line joining point 9 metres (30 ft.) along the said *lot lines* from the point of intersection of the two *lot lines*; and
 - (b) Adequate screening, as described in Section I.3 of this Zone is provided.

I. Landscaping

- 1. All developed portions of the *lot* not covered by *buildings*, *structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
- 2. A minimum of 30% of the *lot* must be covered by porous surfaces.
- 3. The parking or storage of *house trailers* or boats shall be adequately screened by compact evergreen trees or shrubs at least 1.8 metres (6 ft.) in height and located between the said *house trailer* or boat and any point on the *lot line* within 7.5 metres (25 ft.) of the said *house trailer* or boat, in order to obscure the view from the abutting *lot* or street, except:
 - (a) on a *corner lot*, this required landscape screening shall not be located in an area bounded by the intersecting *lot lines* at a street corner and a straight line joining points 9 metres (30 ft.) along the said *lot lines* from the point of intersection of the 2 *lot lines*;

- (b) where the *driveway* or the parking area is used for parking or storage of a *house trailer* or boat, the landscape screen is not required within the said *driveway*; and
- (c) in the case of *rear yards*, this screening requirement may be provided by a 1.8 metres (6 ft.) high solid fence.

J. Special Regulations

- 1. A *secondary suite* shall:
 - (a) Not exceed 90 square metres [968 sq.ft.] in floor area; and
 - (b) Occupy less than 40% of the habitable floor area of the *building*.
- 2. Basement access and basement wells are permitted only between the *principal building* and the *rear lot line* and must not exceed a maximum area of 28 square metres (300 sq. ft.), including stairs.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
915 sq.m. [9,850 sq. ft]	17 metres [56 ft.]	41 metres [135 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

- 1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
- 2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RQ Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.

3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended and Surrey Development Cost Charge By-law, 2017, No. 19107, as may be amended or replaced from time-to-time, and the development cost charges shall be based on the RQ Zone.
8. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
9. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002, c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20__ .

PASSED SECOND READING on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

PASSED THIRD READING on the _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

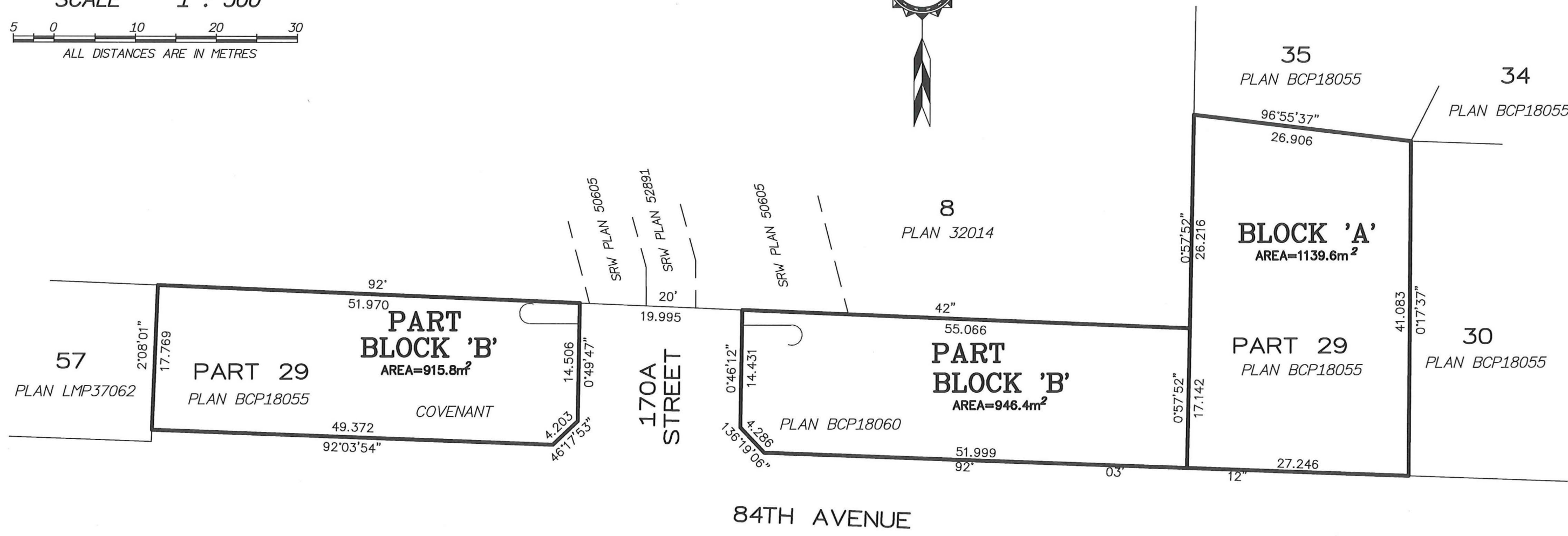
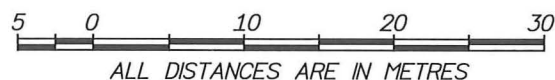
_____ MAYOR

_____ CLERK

SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW No: _____ OF LOT 29 SECTION 30 TOWNSHIP 8 NEW WESTMINSTER DISTRICT PLAN BCP18055

FOR REZONING PURPOSES

SCALE 1 : 500



Lot dimensions are derived from FIELD SURVEY

CERTIFIED CORRECT
DATED THIS 17TH DAY OF FEBRUARY, 2016.


M. Adam Fulkerson B.C.L.S.

