

Planning Report Date: July 24, 2017

PROPOSAL:

- **Rezoning** from RA and CD (By-law No. 15443) to C-5 and RM-30
- **Development Permit**
- **Development Variance Permit**

to permit the development of two commercial buildings and 45 ground-oriented townhouse units.

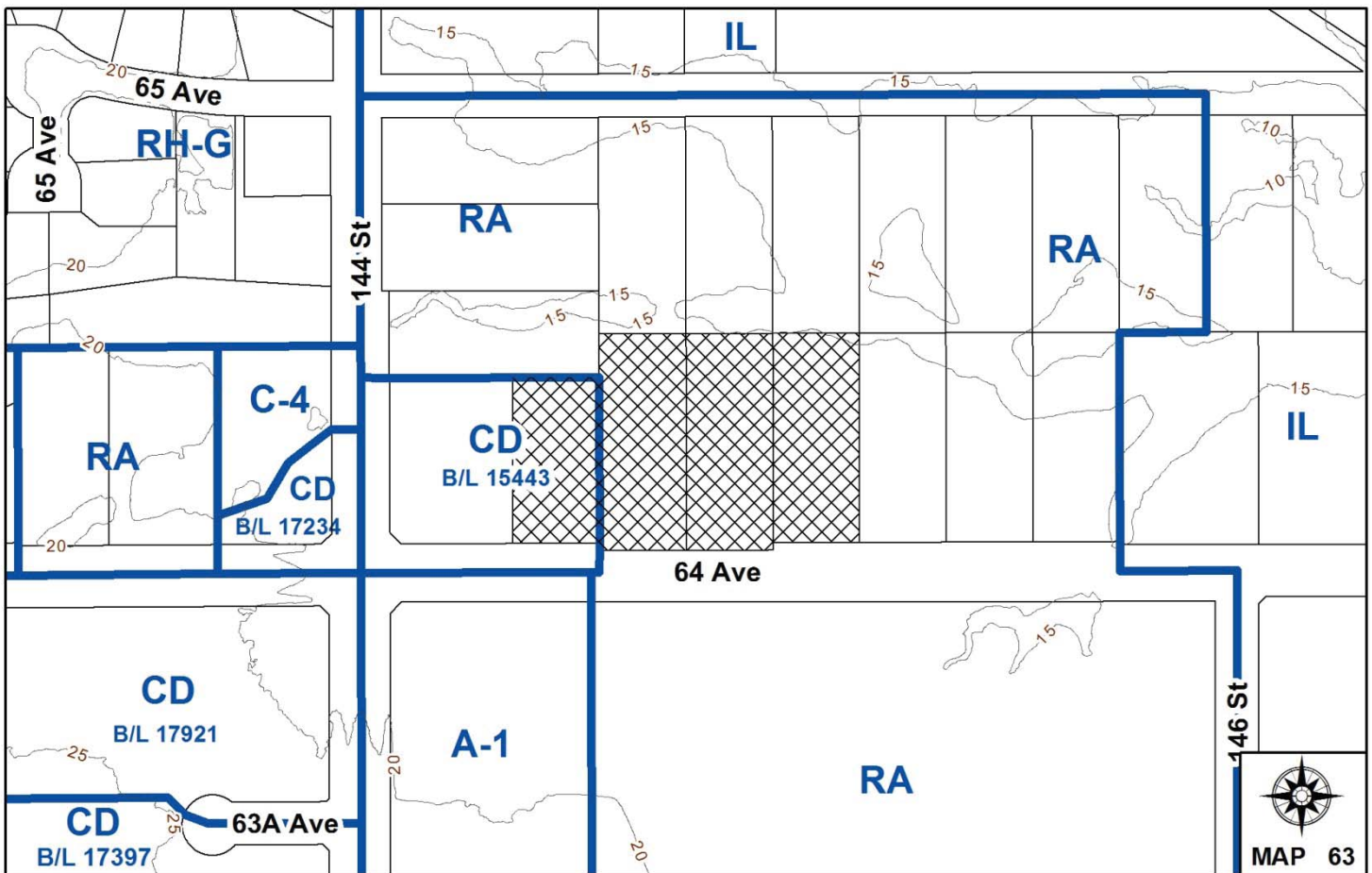
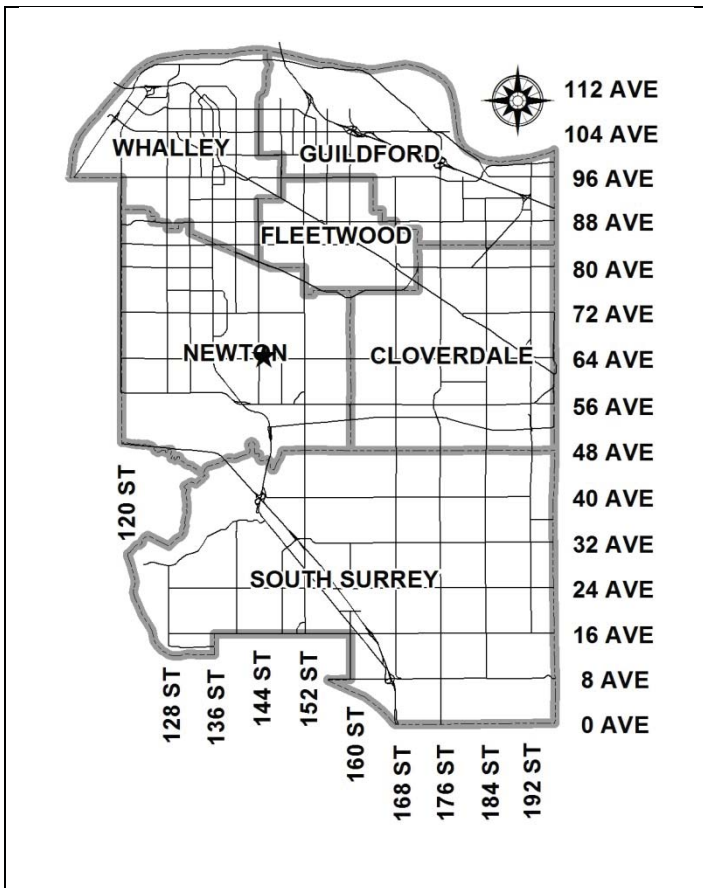
LOCATION: 14467, 14483, 14511 and 14451 - 64 Avenue

OWNER: 1051980 B.C. Ltd.

ZONING: RA and CD (By-law No. 15443)

OCP DESIGNATION: Urban

NCP DESIGNATION: Townhouses (15 u.p.a. max.) or Mixed Commercial-Residential Townhouses, Creeks and Riparian Setbacks and Buffers



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for rezoning.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant proposes a Development Variance Permit (DVP) for reduced setbacks.
- The applicant proposes a DVP to permit two visitor parking spaces within the front yard (south) setback.
- The applicant is proposing a variance to reduce the minimum setback requirement from top-of-bank for a Class A watercourse.

RATIONALE OF RECOMMENDATION

- Complies with the site's Urban designation in the Official Community Plan (OCP).
- Complies with the site's "Mixed Commercial-Residential Townhouses" (alternative land-use designation) in the South Newton Neighbourhood Concept Plan (NCP).
- The proposed density and building form are appropriate for this part of South Newton.
- The proposed setback variances for the commercial development will achieve a more urban and pedestrian streetscape while providing a suitable commercial/residential interface.
- The proposed variance to allow two visitor parking spaces to be located within the minimum front yard setback along the south lot line of the townhouse portion of the development is considered reasonable given existing site constraints and will ensure that the applicant provides the minimum number of on-site visitor parking spaces required under the Zoning By-law.
- The development application was in process prior to Council adopting changes to the OCP to implement Streamside Ecosystem Development Permit (DEP) Areas as well as prior to Part 7A Streamside Protection of the Zoning By-law. In support of the proposed variance, the applicant retained a Qualified Environmental Professional (QEP) to undertake an Impact Mitigation Plan (IMP) that confirms the Streamside Protection Area (SPA) will exceed the prescribed setback from top-of-bank under Riparian Areas Regulations (RAR). In addition, the proposed variance to the minimum streamside setback is offset by 1,671 square metres (17,986 sq. ft.) of additional enhancements, invasive plant removal and maintenance obligations as part of the required P-15 Agreement for the riparian area.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to:
 - (a) rezone a portion of the subject site, shown as Block A, on the attached Survey Plan (Appendix II) from "Comprehensive Development Zone (CD)" (By-law No. 15443) and "One-Acre Residential Zone (RA)" to "Neighbourhood Commercial Zone (C-5)"; and
 - (b) rezone a portion of the subject site, shown as Block B, on the attached Survey Plan (Appendix II) from "Comprehensive Development Zone (CD)" (By-law No. 15443) and "One-Acre Residential Zone (RA)" to "Multiple Residential (30) Zone (RM-30)"and a date for Public Hearing be set.
2. Council authorize staff to draft Development Permit No. 7915-0425-00 for the following:
 - (a) Form and Character; generally in accordance with the attached drawings (Appendix II);
 - (b) Hazard Lands, generally in accordance with the geotechnical assessment prepared by Able Geotechnical Ltd. and dated July 18, 2017; and
 - (c) Sensitive Ecosystems; generally in accordance with the Environmental reports prepared by Envirowest Consultants Inc. and Dillon Consulting Ltd.
3. Council approve Development Variance Permit No. 7915-0425-00 (Appendix VII) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum front yard (south) setback of the C-5 Zone from 7.5 metres (25 ft.) to 3.5 metres (12 ft.);
 - (b) to reduce the minimum side yard (east) setback of the C-5 Zone from 7.5 metres (25 ft.) to 3.6 metres (12 ft.);
 - (c) to reduce the minimum front yard (south) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.7 metres (15 ft.) to the top floor bay, 5 metres (16 ft.) to the building face and 3.5 metres (12 ft.) to the nearest porch post for Building 1 and 8;
 - (d) to reduce the minimum front yard (south) setback of the RM-30 Zone from 7.5 metres (25 ft.) to permit various setbacks of not less than 6.8 metres (22 ft.) to the top floor bay, 7.1 metres (23 ft.) to the building face and 5.5 metres (18 ft.) to the nearest deck post for Buildings 5, 6 and 7;
 - (e) to reduce the minimum side yard (east) setback of the RM-30 Zone from 7.5 metres (25 ft.) to permit various setbacks of not less than 5.4 metres (18 ft.) to the top floor bay, 6 metres (20 ft.) to the building face and 4 metres (13 ft.) to the nearest deck post for Building 1 and 2;

- (f) to reduce the minimum side yard (west) setback of the RM-30 Zone from 7.5 metres (25 ft.) to permit various setbacks of not less than 7 metres (23 ft.) to the top floor bay and 5.7 metres (19 ft.) to the nearest deck post for Building 8 as well as 7 metres (23 ft.) to the electrical room for Building 5;
 - (g) to reduce the minimum rear yard (north) setback of the RM-30 Zone from 7.5 metres (25 ft.) to permit various setbacks of not less than 4 metres (13 ft.) to the top floor bays, 4.6 metres (15 ft.) to the building face and 2.7 metres (9 ft.) to the nearest deck post for Buildings 2, 3 and 4 as well as 2.65 metres (9 ft.) to the electrical room for Building 1.
 - (h) to permit two visitor parking spaces to be located within the minimum front yard (south) setback of the townhouse development between Building 6 and Building 7; and
 - (i) to reduce the minimum setback requirement from top-of-bank for a Class A watercourse from 30 metres (98 ft.) to 13 metres (43 ft.), at the closest point, to accommodate the proposed development.
4. Council instruct staff to resolve the following issues prior to final adoption:
- (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of an acceptable lot grading plan to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (h) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (i) modification of the existing reciprocal access easement registered on title (BA91822) between 14445 – 64 Avenue, 14451 – 64 Avenue and 14467 – 64 Avenue to reflect the proposed vehicular circulation pattern (Appendix II);

- (j) discharge the Restrictive Covenant registered on title (BA91812) against 14451 - 64 Avenue which identifies specific fencing requirements and prohibits buildings or structures within the covenant area for the purposes of watercourse preservation;
- (k) discharge the Easement registered on title (BA91814) against 14467 - 64 Avenue that permits reciprocal access, vehicle storage, garbage storage and collection as well as access to amenity space;
- (l) registration of a Section 219 Restrictive Covenant on the townhouse development to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into liveable space;
- (m) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and
- (n) registration of a Section 219 Restrictive Covenant that requires all fencing adjacent to parkland or riparian areas be permeable, no higher than 1.2 meters (4 ft.) and located on private property.

REFERRALS

- Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
- School District: **Projected number of students from this development:**
 9 Elementary students at Hyland Elementary School
 5 Secondary students at Sullivan Heights Secondary School
 (Appendix IV)
- The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by the end of 2019.
- Parks, Recreation & Culture: A P-15 agreement is required for the monitoring and maintenance of the conveyed riparian area.
- Surrey Fire Department: No concerns.

SITE CHARACTERISTICSExisting Land Use: Vacant parcelsAdjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North:	Vacant lots	Urban/Suburban Residential ½ Acre and Creeks and Riparian Setbacks	RA
East:	Single family residential	Urban/Townhouses (15 u.p.a. max.) or Mixed Commercial-Residential Townhouses and Buffers	RA
South (Across 64 Avenue):	Sullivan Heights Park	Urban/Existing and Future Parks	RA
West:	Gas station and convenience store	Urban/Townhouses (15 u.p.a. max.) or Mixed Commercial-Residential Townhouses, Creeks and Riparian Setbacks and Buffers	CD (By-law No. 15443)

DEVELOPMENT CONSIDERATIONSBackground Information

- The subject properties are located on the north side of 64 Avenue, just east of 144 Street. The site is designated "Urban" in the Official Community Plan (OCP) as well as "Townhouses (15 u.p.a. max.)", "Creeks and Riparian Setbacks" and "Buffers" in the South Newton (NCP). As an alternate land-use option, the NCP permits "Mixed Commercial-Residential Townhouses" at the northeast corner of 64 Avenue and 144 Street.
- The South Newton NCP indicates that the mixed commercial-residential land-use option will require consolidation or coordination of all properties south of Hyland Creek and west of the future detention pond at 14541 / 14567 – 64 Avenue, in order to promote a well-designed and comprehensive commercial-residential development. However, the adjacent site at 14445 - 64 Avenue is occupied by an existing gas station with no immediate redevelopment plans. Also, staff are currently undertaking an update of the South Newton NCP for the properties to the east at 14521/14541/14567 – 64 Avenue. The review will include a discussion of appropriate land-uses as well as recommendations for consolidation to reduce the number of future access points along 64 Avenue and ensure adequate driveway spacing.

Current Proposal

- The applicant is proposing to rezone the site from "One-Acre Residential Zone (RA)" and "Comprehensive Development Zone (CD)" (By-law No. 15443) to "Neighbourhood Commercial Zone (C-5)" and "Multiple Residential (30) Zone (RM-30)". In addition, the applicant proposes a Development Permit (DP) to facilitate the development of two single-storey commercial buildings along 64 Avenue and 45 ground-oriented townhouse units.
- The site will be consolidated and subdivided to create two separate lots in order to accommodate the commercial and townhouse portions of the site (Appendix II).
- The applicant is also proposing a Development Variance Permit (DVP) in order to allow:
 - Two visitor parking spaces to be located within the required setback area of the townhouse development;
 - Reduced building setbacks for both the townhouse and commercial sites; and
 - Reduce the minimum setback requirement, measured from top-of-bank, for a Class A watercourse from 30 meters (98 ft.) to 13 metres (43 ft.), which includes a 5 metre (16 ft.) wide drainage access corridor, to accommodate the proposed development.
- An amendment to the South Newton NCP is not required for the subject application as the proposal complies with the alternate land-use scenario that is shown on the plan (i.e. Mixed Commercial-Residential Townhouses).
- The commercial portion of the site will have a gross floor area of 1,211 square metres (13,032 sq. ft.) which represents a net Floor Area Ratio (FAR) of 0.28 which complies with the maximum permitted FAR of 0.5 allowed under the C-5 Zone.
- The total area of the proposed townhouse development has a new Floor Area Ratio (FAR) of 0.78 and unit density of 23.2 u.p.a or 57.5 u.p.ha., both of which comply with the RM-30 Zone.

Hazard Lands Development Permit (Steep Slopes)

- The subject property is located within a Hazard Lands Development Permit Area, given the presence of steep slopes along the northern boundary of the site. In order to address this requirement, the applicant has submitted a geotechnical report that confirms the site can accommodate the proposed townhouse development.
- The geotechnical report, prepared by Able Geotechnical Ltd. dated July 18, 2017, states that the subject property is considered safe for its intended use and that subsurface investigation has found satisfactory soil conditions for the proposed multi-family development.
- The geotechnical report makes several recommendations on subgrade preparation, building foundations, pavement details, structural fill, utility excavation methods as well as backfill.
- City staff have confirmed that the content of the geotechnical report addresses the OCP Hazard Land Development Permit guidelines.

- The geotechnical report and recommendations contained therein will be incorporated into the requirements of the Hazard Lands Development Permit (DP).

Sensitive Ecosystem Development Permit (Streamside Protection)

- The subject property is located within a Sensitive Ecosystem Development Permit Area, along the northern boundary, for Archibald Creek. In accordance with Part 7A of the Zoning By-law, the minimum setback requirement, measured from top-of-bank, for a Class A watercourse is 30 metres (98 ft.). The applicant is proposing a variance to reduce the minimum setback from top-of-bank to 13 metres (43 ft.), which includes a 5 metre (16 ft.) wide drainage access corridor, in order to accommodate the proposed development.
- The current development application on the subject property was in process at the time the Streamside Protection regulations in Part 7A of the Zoning By-law were adopted by Council on September 12, 2016 (Corporate Report No. R188).
- The applicant provided a Riparian Areas Regulations (RAR) Report (dated November 17, 2015) conducted by Ian Whyte of Envirowest Consultants Inc. and Peer Review (dated March 14, 2016) conducted by Nathan Gregory of Dillon Consulting Ltd. that confirms a 13.5 metre (45 ft.) setback from High Water Mark (HWM) is RAR compliant and meets the objectives identified in the OCP for protecting sensitive ecosystems. The Qualified Environmental Professional (QEP) responsible for completing the RAR Report has subsequently confirmed that 13.5 metres (45 ft.) from HWM is equivalent to a setback of 5 metres (16 ft.) from top-of-bank.
- A Qualified Environmental Professional (QEP), Christie Gibson and Ian Whyte, from Envirowest Consultants Ltd. prepared an Impact Mitigation Plan (IMP) for the subject properties (dated June 28, 2017). The IMP confirms the Streamside Protection Area (SPA) will exceed the RAR-prescribed setback from top-of-bank since it accounts for the Tree Protection Zone (TPZ) of retained trees, windfirm boundary assessment as well as geotechnical slope stability setbacks previously identified in the RAR Report and Peer Review. The applicant will maintain the existing riparian vegetation within the SPA, except for removal of those trees identified as unsuitable for retention, as well as properly delineate the riparian area by erecting permanent fencing with sensitive habitat signage.
- Additional enhancements will take the form of vegetated backyards for those townhouse units directly adjacent the SPA to provide a softer transition between impervious surfaces and the riparian area as well as greater tree planting on the southern boundary of the riparian area which extends the tree line and provides for greater shade cover. In total, the proposed variance to the minimum setback from top-of-bank for the Class A watercourse is offset by 1,671 square metres (17,986 sq. ft.) of additional enhancements, invasive plant removal and maintenance requirements as part of the P-15 Agreement within the riparian area.
- The applicant will convey the Streamside Protection Area, measured to 13 metres (43 ft.) from top-of-bank with a total area of 2,311 square metres (24,875 sq. ft.) to the City for conservation purposes. The Streamside Protection Area includes a 5 metre (16 ft.) wide drainage access corridor. In addition, the applicant will enter into a P-15 Agreement for the future monitoring and maintenance of replanting within the riparian area.

Sensitive Ecosystem Development Permit (Green Infrastructure)

- The property is also located within a Development Permit Area (DPA) for Sensitive Ecosystems (Green Infrastructure), under the Official Community Plan (OCP), given its proximity to a Regional BCS Corridor.
- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141), identifies two Regional BCS Corridors (ID #75 and #76) located within 50 metres (164 ft.) of the site, each with a moderate ecological value and target corridor width of 60 metres (197 ft.).
- A Qualified Environmental Professional (QEP), Christie Gibson and Ian Whyte of Envirowest Consultants Ltd., prepared an Impact Mitigation Plan (IMP) (dated June 28, 2017). The IMP confirms that the proposed development will not negatively impact the Regional BCS Corridor (ID #75). The IMP notes the proposed development will ultimately prevent further fragmentation of habitat areas given the proposed setback of 13 metres (43 ft.), measured from top-of-bank, for the riparian area to be conveyed to the City will meet or exceed the target width of the BCS Corridor on the subject property. Also, the applicant is proposing to provide enhanced planting within the riparian area in the form of native plants, wood debris and additional tree coverage which extends the existing tree line and provides greater shade cover. In addition, the applicant will remove garbage/debris and invasive plant species within the riparian area. As a result, these improvements will help to build a contiguous and enhanced wildlife corridor as well as increase nutrient inputs into in-stream fish habitat.
- As a condition of Development Permit issuance, the applicant will be required to submit a landscape planting plan with appropriate plantings to enhance the portion of the subject property within the Sensitive Ecosystem DPA.

DESIGN PROPOSAL AND REVIEW

Proposed Commercial Development

- The applicant proposes to develop two single-storey multi-tenant commercial buildings adjacent 64 Avenue which will have an approximate floor area of 1,211 square metres (13,032 sq. ft.) within 13 units.
- The proposed building includes an undulating roof design, commercial window system with extensive glazing features, weather protection canopies which extend along all frontages with inverted frosted glass and steel frames, wood soffits, black reveals with coloured flashing and white quartz ledgestone accent materials.
- The proposed building is considered attractive, well-designed and architecturally coordinated with the existing commercial development along 64 Avenue.

Driveway Access, On-site Parking and Pedestrian Circulation

- The proposed commercial development will obtain driveway access from a right-in/right-out entrance located mid-site between the multi-tenant buildings. A second access point to 64 Avenue will be provided through a modified reciprocal access easement between the subject property and the commercial development at 14445 – 64 Avenue (Appendix II). The intent of maintaining a shared access point is to maximize the development potential of the multi-tenant commercial buildings and reduce the number of driveways along 64 Avenue.
- Under the Zoning By-law, a total of 49 parking spaces are required on-site for the proposed commercial development. The applicant proposes to provide 51 parking spaces which exceeds the minimum parking requirement under Zoning By-law No. 12000.
- Pedestrian connectivity is achieved by providing separate internal walkways that extend directly from each unit along the southern building façade to the public sidewalk on the north side of 64 Avenue.

Signage

- The applicant is proposing one fascia sign along the southern building façade for each unit. The fascia signs will consist of individual channel letters with background illumination on neoprene spacers and letter mounts. The fascia signage will not extend more than 0.5 metre (1.6 ft.) from the building façade, in keeping with the Sign By-law.
- The fascia signage will be located directly above the windows and doorway of each unit. No fascia signage is permitted on architectural elements or design features on the exterior of the proposed building. In addition, no additional fascia signage is permitted along the northern building elevation.
- In addition, the applicant is proposing to install under-canopy signage in order to provide further advertising exposure for the multi-tenant commercial buildings. The under-canopy signage will comply with the minimum/maximum dimensions and clearance requirements identified in the Sign By-law.
- A free-standing sign is not being proposed as part of the subject application.

Landscaping

- The applicant proposes a 1.5 metre (5 ft.) wide landscape buffer along 64 Avenue in order to separate the boulevard and southern façade of the proposed buildings. The landscaping will include on-site trees (Columnar Red Maple) and low-profile planting in the form of grasses, small shrubs as well as additional groundcover.
- The proposed landscaping includes a heavily planted 5 metre (16 ft.) wide buffer along the eastern and northern boundary of the subject property to provide separation between the proposed commercial development and townhouse component.
- A variety of medium-sized trees are proposed along the northern building façade as well as northern and western boundary of the subject property. The species will consist of Purple Fastigiata Beech, Skyline Honey Locust and Serbian Spruce.

- Decorative paving materials are proposed at the driveway entrances on 64 Avenue.

Proposed Townhouse Development

- The proposed townhouse development is comprised of 8 three-storey buildings with garages that are accessed at grade via an internal drive aisle off 64 Avenue. The proposed ground-oriented townhouses are comprised entirely of three-bedroom units that average 135 square metres (1,453 sq. ft.) in size.
- The unit types range from 130 square metres (1,399 sq. ft.) to 142 square metres (1,529 sq. ft.).
- The ground-floor consists of a double- or tandem garage with direct access to the lower-level patio and rear yard space. In contrast, the second-floor includes a large open floor plan family room/kitchen space that opens onto an outdoor sundeck while the third-floor includes three individual bedrooms.
- The building façade reflects a broad range of materials that include vinyl siding, hardie board accent materials and trim elements, vinyl framed windows with wood trim, asphalt shingles, prefinished aluminum gutters, prefabricated aluminum railings and ledgerstone veneer siding around the individual doorway entrances (Appendix II).
- All units front onto the internal drive aisle and contain active living space on the second-floor which promotes interaction with the public realm. The dwelling units have individual entries facing toward the internal drive aisle with a walkway connecting each unit.
- The building façade that fronts onto the internal drive aisle and rear yard contain a number of larger windows that addresses principles of Crime Prevention Through Environmental Design (CPTED) by providing greater natural surveillance. In addition, the residents will benefit from a ground-floor patio and second-floor sundeck within a landscaped backyard that provides for increased privacy with 1.5 metre (5 ft.) high wood screens providing separation between yards. In addition, the rear yards for Building 2, 3 and 4 will provide greater natural surveillance of the adjacent riparian area.

Driveway Access, On-site Parking and Pedestrian Circulation

- Driveway access is proposed from a private internal drive aisle off 64 Avenue. The drive aisle was shifted as far east as to provide adequate spacing and provide an entrance for townhouse residents that remains separate from the driveway entrance to the commercial development.
- The townhouse development will provide 90 residential parking spaces and 9 visitor parking spaces which meet the Zoning By-law requirement. The units will have a combination of enclosed double- and tandem garages. The tandem garages represent 36% of all townhouse units and, therefore, comply with the Zoning By-law which permits a maximum of 50% of resident parking spaces to be provided as tandem parking.
- All units will have direct access to the internal drive aisle off 64 Avenue while those units with a street presence will have pedestrian linkages from the ground-floor directly to 64 Avenue. In addition, an internal sidewalk is proposed along the west side of the internal drive aisle which provides greater pedestrian connectivity from 64 Avenue to the indoor/outdoor amenity space.

Amenity Space

- The Zoning By-law requires that 135 square metres (1,454 sq. ft.) of indoor and outdoor amenity space be provided on-site to accommodate the proposed townhouse development based on 3 square metres (32 sq. ft.) per dwelling unit.
- The applicant is proposing a total of 135 square metres (1,454 sq. ft.) of indoor amenity space and 141 square metres (1,520 sq. ft.) of outdoor amenity space which meets the Zoning By-law.
- The indoor amenity space will include a lounge area and meeting space. In contrast, the outdoor amenity area consists of patio space, seating areas and playground equipment.

Landscaping

- The proposed landscaping includes a heavily planted 5 metre (16 ft.) wide buffer along the southern and western boundary of the subject property (2 metres/6.6 ft. on the commercial site and 3 metres/10 ft. on the townhouse site) to provide separation between the proposed townhouse component and commercial development on the subject property.
- In addition, a 6 metre (20 ft.) wide landscaped setback is provided along the west lot line in order to provide additional separation between the proposed townhouse development on the subject property and existing gas station at 14445 – 64 Avenue.
- For those units that front onto 64 Avenue, additional landscaping is proposed consisting of by-law sized trees and layered planting beside the ground-floor entrances. In addition, low-level planting is proposed between each garage letdown and individual unit entrance along the internal drive aisle as well as directly adjacent the driveway entrance off 64 Avenue.
- Each unit will have a small rear yard with layered planting that consists of by-law sized trees, low-lying shrubs and additional groundcover.
- A 1.8 metre (6 ft.) high solid wood fence is proposed around the perimeter of the townhouse development, except for those units that front onto 64 Avenue or back onto the riparian area where the applicant is proposing a 1 metre (3 ft.) high picket fence. In addition, the applicant proposes a shorter 1 metre (3 ft.) high wood picket fence and 1.5 metre (5 ft.) high wood patio screen to separate the rear yards of each unit and provide for greater privacy.
- A variety of medium-sized trees are proposed on-site including Japanese Maples, Columnar Red Maples, Eastern Redbud, Weeping Nootka Cypress, Chinese Dogwood, Gingo Trees and Serbian Spruce with layered planting in the form of low-level shrubs, grasses and additional groundcover.

PRE-NOTIFICATION

Pre-notification letters were mailed to 70 property owners within 100 metres (300 ft.) of the subject property on May 1, 2017. To date, staff have not received any responses.

TREES

- Trevor Cox, ISA Certified Arborist from Diamond Head Consulting Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	7	4	3
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Bigleaf Maple	2	0	2
Cherry	1	1	0
Plum	1	1	0
Lombardy Poplar	6	6	0
White Poplar	23	23	0
Paper Birch	3	3	0
Coniferous Trees			
Western Red Cedar	14	4	10
Douglas Fir	1	1	0
Black Pine	2	1	1
Shorepine	1	1	0
Spruce	7	6	1
Western White Pine	1	1	0
Yellow Cedar	1	1	0
Total (excluding Alder and Cottonwood Trees)	63	49	14
Additional [Estimated] Trees in the proposed Riparian Area	15	5	10
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		105	
Total Retained and Replacement Trees		119	
Contribution to the Green City Fund		N/A	

- The Arborist Assessment states that there are a total of 63 protected trees on the site, excluding Alder and Cottonwood trees. Seven existing trees, approximately 10% of the total trees on the site, are Alder and Cottonwood trees. It was determined that 17 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.

- Table 1 includes an additional 15 protected trees that are located within the riparian area. The trees within the proposed riparian area will be retained, except where removal is required due to hazardous conditions. This will be determined at a later time, in consultation with the Parks, Recreation and Culture Department.
- A detailed planting plan prepared by a Registered Professional Biologist (R.P. Bio.) and an associated P-15 agreement are required for the monitoring and maintenance of the proposed trees to be planted in the conveyed riparian area.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 102 replacement trees on the site. The applicant is proposing 105 replacement trees, which exceeds City requirements.
- The new trees on the site will consist of a variety of trees including Columnar Red Maple, Purple Fastigiata beech, Skyline Honey Locust, Serbian Spruce, Japanese Maple, Eastern Redbud, Weeping Nootka cypress, Chinese Dogwood, Gingo Trees and Serbian Spruce.
- In summary, the applicant proposes to retain or replace a total of 119 trees on-site thereby exceeding City requirements.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on July 18, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The subject property is located within the South Newton NCP. • The proposal complies with the "Mixed Commercial-Residential Townhouse" alternate land-use designation in the NCP.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The applicant proposes a mix of uses that includes multi-tenant commercial buildings and a townhouse development on the site. • The multi-family development will have private backyard gardens.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The proposal includes low-impact development standards (LIDS) in the form of: [1] absorbent soils; [2] roof downspout disconnection; [3] natural landscaping; [4] bio-swales, vegetated swales and/or rain gardens; [5] dry swales; [6] sediment control devices; [7] perforated pipe systems; and [8] permeable pavement/surfaces. • The applicant will convey the Streamside Protection Area, measured to 13 metres (43 ft.) from top-of-bank, to the City for riparian preservation. • The proposal includes additional tree planting and tree canopy coverage. • The property is located within 50 metres (164 ft.) of a Class A watercourse (Archibald Creek) and Green Infrastructure Network corridor (ID #75 and ID #76). • The proposed dwellings have access to recycling/organic waste disposal.

Sustainability Criteria	Sustainable Development Features Summary
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> The development is connected to off-site pedestrian/multi-use pathways and provides direct pedestrian linkages to transit stops. Furthermore, the proposal includes covered waiting areas, showers and change facilities as well as bike racks and/or lockers.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> The proposal includes Crime Prevention Through Environmental Design (CPTED) principles in the form of: [1] large residential windows; [2] high tree canopies and low-lying shrubs to provide visual surveillance; [3] no hidden areas; [4] secured residential parking; and [5] tempered glazing on doors and sidelights. The proposal includes playground/recreational space, outdoor gathering space and indoor community amenity space for different age groups.
6. Green Certification (F1)	<ul style="list-style-type: none"> N/A
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> The proposal will comply with current B.C. Energy Act and BCBC ASHRAE 90.1 sustainability requirements.

ADVISORY DESIGN PANEL

The commercial portion of the proposal was reviewed by the Advisory Design Panel (ADP) on June 15, 2017 and July 13, 2017 where it was generally well received by the panel members.

The applicant has resolved all of the outstanding items from the ADP review to the satisfaction of the Planning and Development Department (Appendix VI).

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- to reduce the minimum front yard (south) setback of the C-5 Zone from 7.5 metres (25 ft.) to 3.5 metres (12 ft.).
- to reduce the minimum side yard (east) setback of the C-5 Zone from 7.5 metres (25 ft.) to 3.6 metres (12 ft.).
- to reduce the minimum front yard (south) setback of the RM-30 Zone for from 7.5 metres (25 ft.) to 4.7 metres (15 ft.) to the top floor bay, 5 metres (16 ft.) to the building face and 3.5 metres (12 ft.) to the nearest porch post for Building 1 and 8.
- to reduce the minimum front yard (south) setback of the RM-30 Zone from 7.5 metres (25 ft.) to permit various setbacks of not less than 6.8 metres (22 ft.) to the top floor bay, 7.1 metres (23 ft.) to the building face and 5.5 metres (18 ft.) to the nearest deck post for Buildings 5, 6 and 7.

- to reduce the minimum side yard (east) setback of the RM-30 Zone from 7.5 metres (25 ft.) to permit various setbacks of not less than 5.4 metres (17 ft.) to the top floor bay, 6 metres (20 ft.) to the building face and 4 metres (13 ft.) to the nearest deck post for Building 1 and 2.
- to reduce the minimum side yard (west) setback of the RM-30 Zone from 7.5 metres (25 ft.) to permit various setbacks of not less than 7 metres (23 ft.) to the top floor bay and 5.7 metres (19 ft.) to the nearest deck post for Building 8 as well as 7 metres (23 ft.) to the electrical room for Building 5.
- to reduce the minimum rear yard (north) setback of the RM-30 Zone from 7.5 metres (25 ft.) to permit various setbacks of not less than 4 metres (13 ft.) to the top floor bays, 4.6 metres (15 ft.) to the building face and 2.7 metres (9 ft.) to the nearest deck post for Buildings 2, 3 and 4 as well as 2.65 metres (9 ft.) to the electrical room for Building 1.
- to permit two visitor parking spaces to be located within the minimum front yard (south) setback of the townhouse development between Building 6 and Building 7.
- to reduce the minimum setback requirement from top-of-bank for a Class A watercourse from 30 metres (98 ft.) to 13 metres (43 ft.), at the closest point, to accommodate the proposed development.

Applicant's Reasons:

- The requested variance will improve the layout, maximize development potential and ensure the future economic viability of the current townhouse project. In addition, the existing site constraints and riparian area dedication have further reduced the overall developable area available for the proposed ground-oriented townhouse development.

Staff Comments:

- The front yard (south) and side yard (east) setback variance proposed for the multi-tenant commercial buildings will help the development achieve a more urban and pedestrian streetscape by bringing the buildings closer to the street. The setbacks also help to maximize development potential and accommodate the modified reciprocal access easement with 14445 – 64 Avenue. In addition, the side yard (east) setback variance will respond to interface concerns by providing a heavily planted buffer (5 metres/16 ft. wide) with extensive landscaping that provides separation between the proposed commercial development and townhouse component on the subject property.
- The proposed front yard (south) variance for Building 1 and 8 along 64 Avenue is a side yard condition and will achieve a more urban and pedestrian streetscape while ensuring greater privacy for the residents by providing an extensively landscaped front yard which includes a separate residential entrance accessed from the ground-floor patio. The applicant is proposing an actual setback of 5 metres (16 ft.) to the building façade for Building 1 and 8.
- The front yard (south) setback variance is required for Building 5, 6 and 7 to achieve a functional layout while providing suitable rear yard space for each unit. All buildings

comply with the minimum setback requirement in the RM-30 Zone, when measured to the building façade, except for Building 6 which requires a variance to 7.1 metres (23 ft.). In order to permit the second-floor sundeck, a setback relaxation is required for each building with a minimum setback of 5.5 metres (18 ft.) to the nearest post for Building 6.

- The applicant requires a rear yard (north) setback variance for Building 1 and side yard (west) setback variance for Building 5 to permit an electrical closet. A setback variance is further required for Building 8 to allow a 7 metre (23 ft.) setback to the top floor bay and 5.7 metre (19 ft.) setback, measured to the nearest deck post, in order to permit the second-floor sundeck.
- The side yard (east) setback variance for Building 1 is required to achieve a functional layout while providing suitable rear yard space for each unit. The applicant proposes a minimum setback of 4.2 metres (14 ft.), measured to the nearest post, to allow for the second-floor sundeck without negatively impacting the Tree Protection Zone (TPZ) of the off-site trees proposed for retention along the eastern boundary of the townhouse development.
- The rear yard (north) setback variance is required for Building 2, 3 and 4 to achieve a functional layout while providing suitable rear yard space for each unit. A minimum setback of 4 metres (13 ft.) is provided for the top floor bays while a 4.6 metre (15 ft.) setback is maintained to the building face. In order to permit a second-floor sundeck, the applicant proposes a minimum setback of 2.7 metres (9 ft.) to the nearest post for Building 3 and 4. In addition, a 2.65 metre (9 ft.) setback is proposed to the electrical room for Building 1.
- The proposed setback variances will help to maximize the development potential of the site, provide suitable rear yard space, protect residential privacy through extensive landscaping and assist in off-site tree retention by encouraging a comprehensive and well-designed mixed commercial-residential development.

(b) Requested Variance:

- To permit two visitor parking spaces (#6 and #7) within the minimum front yard (south) setback of the proposed townhouse development.

Applicant's Reasons:

- The requested variance will improve the layout, maximize development potential and ensure the future economic viability of the current townhouse project. In addition, the existing site constraints and riparian area dedication have further reduced the overall developable area available for the proposed ground-oriented townhouse development.

Staff Comments:

- The visitor parking spaces will be heavily screened by a 5 metre (16 ft.) wide landscape buffer that provides separation between the commercial and townhouse developments which further reduces the visual impact of the visitor parking spaces.

- The required variance to allow two visitor parking spaces within the minimum setback requirement for the proposed townhouse development is considered reasonable given the existing site constraints and ensures the applicant is able to provide the minimum required on-site visitor parking spaces required under the Zoning By-law.

(c) Requested Variance:

- To reduce the minimum setback requirement from top-of-bank for a Class A watercourse from 30 metres (98 ft.) to 13 metres (43 ft.), at the closest point, to accommodate the proposed development.

Applicant's Reasons:

- The applicant is requesting a setback relaxation from 30 metres (98 ft.) to 13 metres (43 ft.), measured from top-of-bank, for a Class A watercourse on the northern boundary of the subject property in order to maximize the development potential and achieve a feasible layout. The proposed setback includes a 5 metre (16 ft.) wide drainage access corridor directly adjacent to the Streamside Protection and Enhancement Area (SPEA).

Staff Comments:

- According to the streamside setbacks established under Part 7A of the Zoning By-law, the minimum setback requirement from top-of-bank for a Class A watercourse is 30 metres (98 ft.).
- The development application on the subject property was in process at the time the Streamside Protection regulations were adopted by Council on September 12, 2016 (Corporate Report No. R188).
- The applicant submitted a Riparian Areas Regulations (RAR) Report (dated November 17, 2015) and Peer Review (dated March 14, 2016) prepared by Envirowest Consultants Inc. and Dillon Consulting Ltd., respectively, which confirms that a 13 metre (43 ft.) setback from top-of-bank is RAR compliant and meets the objectives outlined in the OCP for protecting sensitive ecosystems.
- The applicant will convey the Streamside Protection Area, measured to 13 metres (43 ft.) from top-of-bank, to the City for conservation purposes which includes a 5 metre (16 ft.) drainage access corridor. In addition, the applicant will enter into a P-15 Agreement for the future monitoring and maintenance of replanting within the riparian area.
- A Qualified Environmental Professional (QEP) from Envirowest Consultants Inc. has confirmed that the proposed 13 metre (43 ft.) setback, measured from top-of-bank, for the Class A watercourse (Archibald Creek) is RAR compliant and that the protection measures employed by the applicant (e.g. riparian area dedication, entering into a P-15 Agreement, etc.) will ensure that the intent of the DP Area guidelines are achieved.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Survey Plan, Site Plan, Building Elevation Drawings and Landscape Plans
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	ADP Comments and Applicant's Response
Appendix VII.	Development Variance Permit No. 7915-0425-00

INFORMATION AVAILABLE ON FILE

- Geotechnical Study Prepared by Able Geotechnical Ltd. Dated July 18, 2017.
- Environmental Report prepared by Envirowest Consultants Inc. dated November 17, 2015 and June 28, 2017 as well as Peer Reviewed by Dillon Consulting Ltd. dated March 14, 2016.
- Complete Set of Architectural and Landscape Plans prepared by Barnett Dembek Architects Inc. and M2 Landscape Architecture, respectively, dated July 5, 2017 and July 4, 2017.

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

MRJ/da

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Maciej Dembek
Barnett Dembek Architects Inc.
Address: 7536 – 130 Street, Unit #135
Surrey, BC V3W 1H8

2. Properties involved in the Application

(a) Civic Address: 14467 – 64 Avenue
14483 – 64 Avenue
14511 – 64 Avenue
14451 – 64 Avenue

(b) Civic Address: 14467 – 64 Avenue
Owner: 1051980 B.C. Ltd.
Director Information:
Sanveer Singh Shoker

Officer Information as at October 13, 2016:
Sanveer Singh Shoker (President)
PID: 012-129-097
Lot 34 Section 15 Township 2 New Westminster District Plan 1378

(c) Civic Address: 14483 – 64 Avenue
Owner: 1051980 B.C. Ltd.
Director Information:
Sanveer Singh Shoker

Officer Information as at October 13, 2016:
Sanveer Singh Shoker (President)
PID: 005-229-049
Lot 35 Except: Part Dedicated Road on Plan BCP13663; Section 15 Township 2 New
Westminster District Plan 1378

(d) Civic Address: 14511 – 64 Avenue
Owner: 1051980 B.C. Ltd.
Director Information:
Sanveer Singh Shoker

Officer Information as at October 13, 2016:
Sanveer Singh Shoker (President)
PID: 008-131-112
Lot 36, Except Part Dedicated Road on Plan BCP12009, Section 15 Township 2 New
Westminster District Plan 1378

- (e) Civic Address: 14451 – 64 Avenue
Owner: 1051980 B.C. Ltd.
Director Information:
Sanveer Singh Shoker
- Officer Information as at October 13, 2016:
Sanveer Singh Shoker (President)
- PID: 026-673-894
Lot 2 Section 15 Township 2 New Westminster District Plan BCP23422

3. Summary of Actions for City Clerk's Office

- (a) Introduce a By-law to rezone the site.
- (b) Proceed with Public Notification for Development Variance Permit No. 7915-0425-00 and bring the Development Variance Permit forward for an indication of support by Council. If supported, the Development Variance Permit will be brought forward for issuance and execution by the Mayor and City Clerk in conjunction with the final adoption of the associated Rezoning By-law.

DEVELOPMENT DATA SHEET

Proposed Zoning: C-5

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total	N/A	N/A
Road Widening area	N/A	N/A
Undevelopable area	N/A	N/A
Net Total	N/A	4,371 sq. m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	N/A	N/A
Paved & Hard Surfaced Areas	N/A	N/A
Total Site Coverage	50%	28%
SETBACKS TO BUILDING (in metres)		
Front (South)	7.5 m.	3.5 m.
Rear (North)	7.5 m.	16.7 m.
Side #1 (East)	7.5 m.	3.6 m.
Side #2 (West)	7.5 m.	9.7 m.
BUILDING HEIGHT (in metres/storeys)		
Principal	9 m.	7.5 m.
Accessory	N/A	N/A
NUMBER OF RESIDENTIAL UNITS		
Bachelor	N/A	N/A
One Bed	N/A	N/A
Two Bedroom	N/A	N/A
Three Bedroom	N/A	N/A
Total	N/A	N/A
FLOOR AREA: Residential		
N/A		
FLOOR AREA: Commercial		
Retail	N/A	1,025 sq. m.
Restaurant	N/A	186 sq. m.
Total	N/A	1,211 sq. m.
FLOOR AREA: Industrial		
N/A		
FLOOR AREA: Institutional		
N/A		
TOTAL BUILDING FLOOR AREA		
N/A		1,211 sq. m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)	N/A	N/A
# of units/ha /# units/acre (net)	N/A	N/A
FAR (gross)	N/A	N/A
FAR (net)	0.5	0.28
AMENITY SPACE (area in square metres)		
Indoor	N/A	N/A
Outdoor	N/A	N/A
PARKING (number of stalls)		
Commercial	49 spaces	51 spaces
Industrial	N/A	N/A
Residential	N/A	N/A
Residential Visitors	N/A	N/A
Institutional	N/A	N/A
Total Number of Parking Spaces	49 spaces	51 spaces
Number of accessible stalls	N/A	2 spaces
Number of small cars	N/A	N/A
Tandem Parking Spaces: Number / % of Total Number of Units	N/A	N/A
Size of Tandem Parking Spaces	N/A	N/A

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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DEVELOPMENT DATA SHEET

Proposed Zoning: RM-30

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total	N/A	N/A
Road Widening area	N/A	N/A
Undevelopable area	N/A	N/A
Net Total	N/A	7,833 sq. m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	N/A	N/A
Paved & Hard Surfaced Areas	N/A	N/A
Total Site Coverage	45%	41.4%
SETBACKS TO BUILDING (in metres)		
Front (South)	7.5 m.	5 m.
Rear (North)	7.5 m.	4.6 m.
Side #1 (East)	7.5 m.	6 m.
Side #2 (West)	7.5 m.	7 m.
BUILDING HEIGHT (in metres/storeys)		
Principal	13 m.	10.5 m.
Accessory	N/A	N/A
NUMBER OF RESIDENTIAL UNITS		
Bachelor	N/A	N/A
One Bed	N/A	N/A
Two Bedroom	N/A	N/A
Three Bedroom	N/A	45 units
Total	N/A	45 units
FLOOR AREA: Residential		
	N/A	5,996.1 sq. m.
FLOOR AREA: Commercial		
Retail	N/A	N/A
Restaurant	N/A	N/A
Total	N/A	N/A
FLOOR AREA: Industrial		
	N/A	N/A
FLOOR AREA: Institutional		
	N/A	N/A
TOTAL BUILDING FLOOR AREA		
	N/A	5,996.1 sq. m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)	N/A	N/A
# of units/ha /# units/acre (net)	30 u.p.a./75 u.p.ha.	23.2 u.p.a./57.5 u.p.ha.
FAR (gross)	N/A	N/A
FAR (net)	0.9	0.78
AMENITY SPACE (area in square metres)		
Indoor	135 sq. m.	117 sq. m.
Outdoor	135 sq. m.	141 sq. m.
PARKING (number of stalls)		
Commercial	N/A	N/A
Industrial	N/A	N/A
Residential	90 spaces	90 spaces
Residential Visitors	9 spaces	9 spaces
Institutional	N/A	N/A
Total Number of Parking Spaces	99 spaces	99 spaces
Number of accessible stalls	N/A	N/A
Number of small cars	N/A	N/A
Tandem Parking Spaces: Number / % of Total Number of Units	45 spaces/50% of units	32 spaces/36% of units
Size of Tandem Parking Spaces	N/A	N/A

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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**SURVEY PLAN TO ACCOMPANY CITY OF SURREY
REZONING BYLAW No: _ _ _ _ _ OVER
LOT 2 PLAN BCP23422 AND LOT 34 PLAN 1378,
LOT 35 EXCEPT: PART DEDICATED ROAD
ON PLAN BCP13663, PLAN 1378 AND
LOT 36 EXCEPT: PART DEDICATED ROAD
ON PLAN BCP12006, PLAN 1378
ALL OF SECTION 15 TOWNSHIP 2 NEW WESTMINSTER DISTRICT**

BOOK OF REFERENCE

ZONE	LEGAL DESCRIPTION	TOTAL AREA
BLOCK A	LOT 2 PLAN BCP23422 AND LOT 34 PLAN 1378, LOT 35 EXCEPT: PART DEDICATED ROAD ON PLAN BCP13663, PLAN 1378, LOT 36 EXCEPT: PART DEDICATED ROAD ON PLAN BCP12006, PLAN 1378 ALL OF SECTION 15 TOWNSHIP 2 NEW WESTMINSTER DISTRICT	0.451 ha
BLOCK B	LOT 2 PLAN BCP23422 AND LOT 34 PLAN 1378, LOT 35 EXCEPT: PART DEDICATED ROAD ON PLAN BCP13663, PLAN 1378, LOT 36 EXCEPT: PART DEDICATED ROAD ON PLAN BCP12006, PLAN 1378 ALL OF SECTION 15 TOWNSHIP 2 NEW WESTMINSTER DISTRICT	1.04 ha

FOR THE PURPOSE OF REZONING
BCGS 92G.016

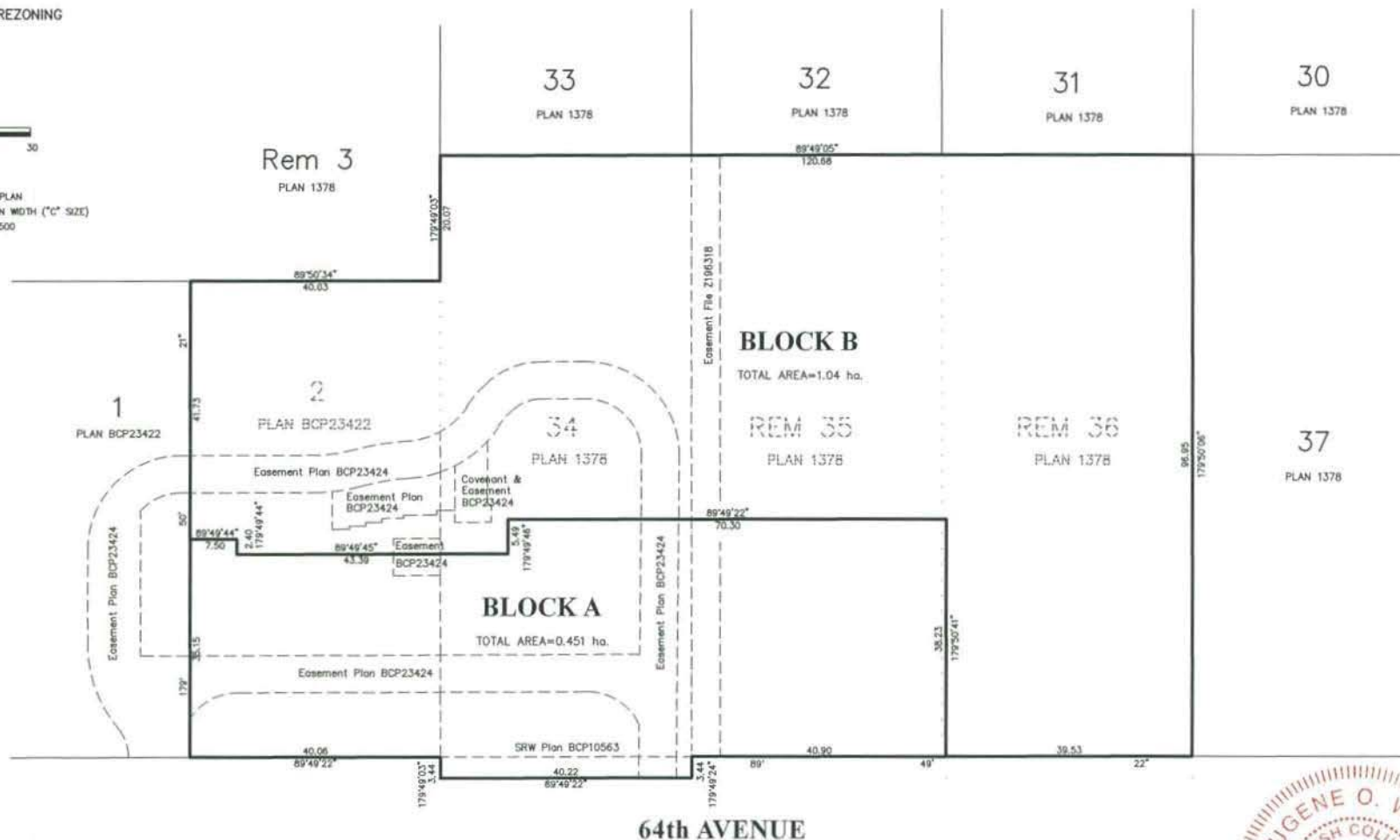
LEGEND

SCALE 1:500



ALL DISTANCES ARE IN METRES.

THE INTENDED PLOT SIZE OF THIS PLAN
IS 432mm IN HEIGHT BY 560mm IN WIDTH ("C" SIZE)
WHEN PLOTTED AT A SCALE OF 1:500



64th AVENUE

H.Y. AND ASSOCIATES
LAND SURVEYING LTD.
200, 9128 - 152nd STREET
SURREY, B.C. V3R 4E7
Ph: (604)583-1616
File: 154219_ZONE.DWG



DEVELOPMENT DATA COMMERCIAL PROPERTY

SITE AREA :

⑥ NET : 47,052 S.F. 1,080 AC 4371 M2 0.437 HA

SITE COVERAGE : 28% 13,032 S.F.

F.A.R. : 0.28

PARKING :

REQUIRED :

RESTAURANT : 10/100M2 10.6 SPACES
COMMERCIAL : 3/100M2 30.7 SPACES
TOTAL : 41.2 SPACES

PROVIDED : 51 SPACES

SETBACKS :

SOUTH : 3.5m
NORTH : 16.7m
EAST : 3.6m
WEST : 4.7m

BUILDING HEIGHT : 7.5m | STOREY

DEVELOPMENT DATA TOWNHOUSE PROPERTY

SITE AREA :

⑥ NET : 84,316 S.F. 1,936 AC 7833 M2 0.783 HA

DENSITY : 29.2 U.P.A. 57.5 U.P.H.A. 45 UNITS

F.A.R. : 0.78

SITE COVERAGE : 41.4% 34,840 S.F.

AMENITY :

REQUIRED :

INDOOR : 1,454 S.F.
OUTDOOR : 1,454 S.F.

PROVIDED :

INDOOR : 1,454 S.F.
OUTDOOR : 1,520 S.F.

PARKING :

REQUIRED :

RESIDENTIAL : 90 SPACES
VISITOR : 9 SPACES
TOTAL : 99 SPACES

PROVIDED :

RESIDENTIAL : 90 SPACES
VISITOR : 9 SPACES
TOTAL : 99 SPACES

SETBACKS :

SOUTH : 5.0m (3.5m TO POST)
NORTH : 4.6m (2.7m TO POST) (2.65m @BLDG #1)
EAST : 6.0m (4.2m TO POST)
WEST : 7.0m (5.7m TO POST)

BUILDING HEIGHT : 10.5m 3 STOREY

UNIT BREAKDOWN

UNIT TYPE	NUMBER OF BEDROOMS	S.F.	M2	NUMBER OF UNITS	TOTAL M2	TOTAL S.F.
A	3	1438	133.6	4	534.4	5752
A1	3	1406	130.6	18	2531.2	25308
A2	3	1428	132.7	2	285.3	2856
A3	3	1426	132.5	1	132.5	1426
A4	3	1415	131.5	1	131.5	1415
A5	3	1427	132.6	3	397.7	4281
B	3	1445	134.2	8	1074.0	11560
C	3	1474	136.9	4	547.8	5896
C1	3	1488	138.2	2	276.5	2976
C2	3	1536	142.7	2	285.4	3072
				45	5996.1	64542

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WITHOUT LICENSE FROM BARNETT
DEMBEK ARCHITECTS INC. INCLUDES
IDEAS, SKETCHES AND CONCEPTS
HEREIN INTO ANY MATERIAL FROM
CANADA. COPYRIGHT ACT R.S.C. 1970.

REV.	DATE	BY	DATE	ISSUED FOR
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SCALE : 1/8"=1'-0"

CLIENT : **SUNMARK DEVELOPMENTS LTD.**
PROJECT : **14451/14467/14483/14511 64 AVE. SURREY**
SHEET CONTENTS :
DEVELOPMENT DATA

barnett dembek
ARCHITECTS INC.

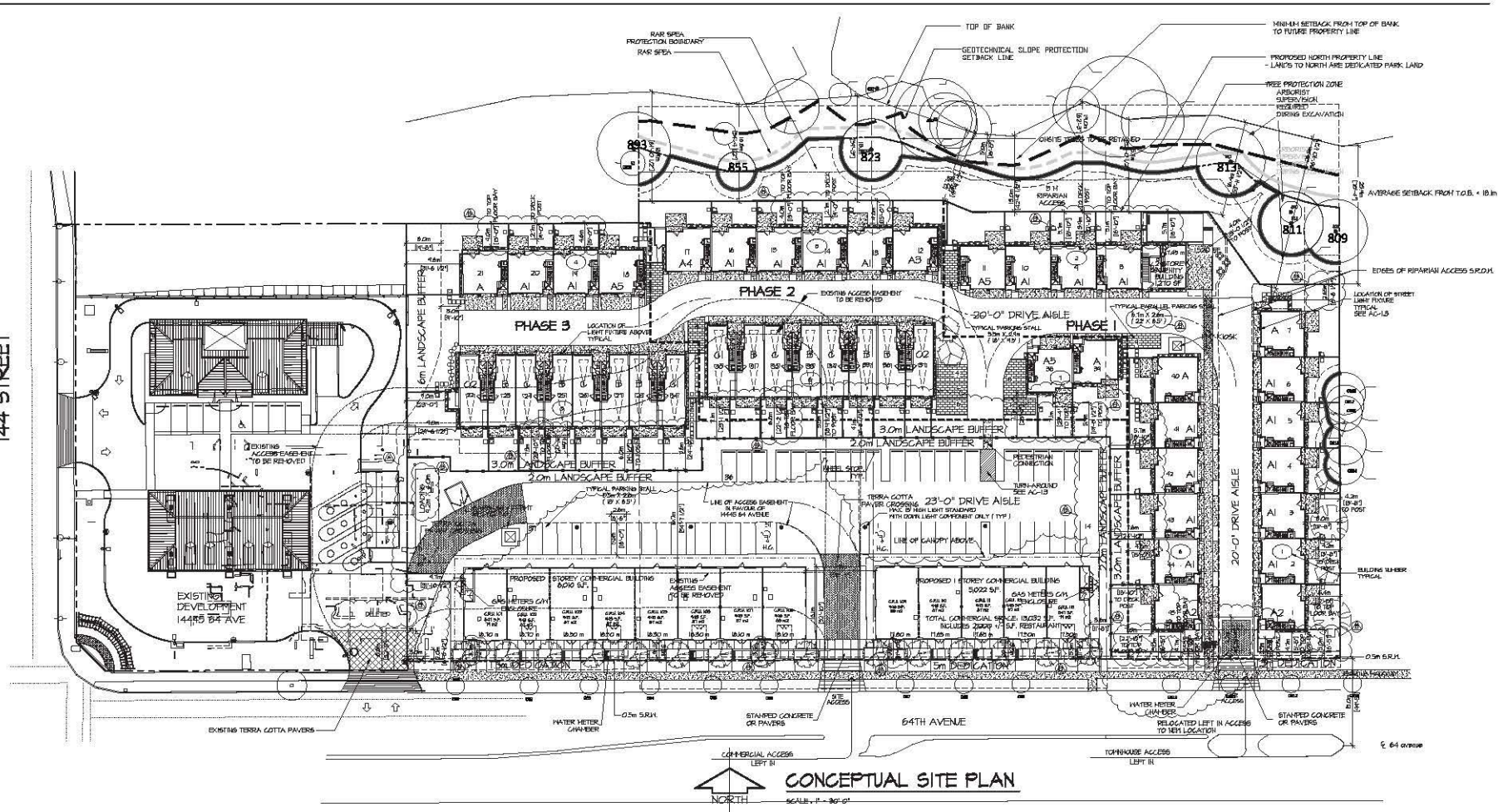
UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (804) 597-7100
FAX: (804) 597-2099
EMAIL: md@bdarkitex.com

CLIENT NO. SHEET NO.
AC-00

PROJECT NO. REV. NO.
15023

144 STREET



CONCEPTUAL SITE PLAN

SCALE: 1" = 30'-0"

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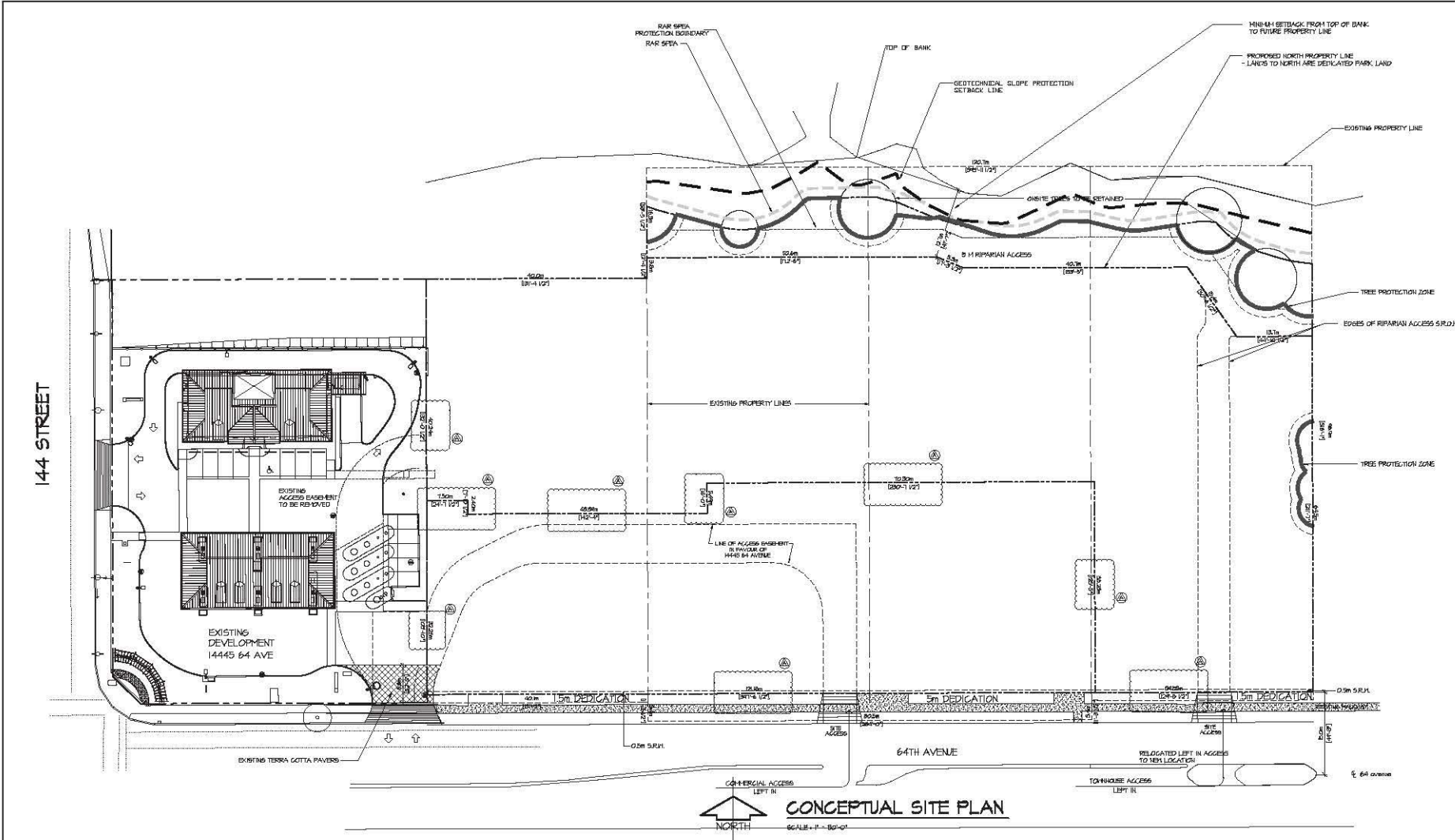
DESIGN: M.D.	DATE: 11/14/11
DRAWN: J.S.	SCALE: 1" = 30'-0"
CHECKED: M.D.	
CLIENT: SUNMARK DEVELOPMENTS LTD.	
PROJECT: 1445/11/4467/14483/4511 64 AVE. SURREY	
SHEET CONDITIONS: CONCEPTUAL SITE PLAN DEVELOPMENT DATA	

barnett dembek

UNIT 135,
7838 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (804) 597-7100
FAX: (804) 597-2099
EMAIL: m.d. @ bdnk.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15023	AC-1.0



CONCEPTUAL SITE PLAN
 SCALE: 1" = 50'-0"

LEDGEND

- RAR SPEA
- GEOTECH SLOPE PROTECTION
- TOP OF BANK
- RAR SPEA PROTECTION BOUNDARY WITH BULGES AT TREES
- TREE PROTECTION ZONE

OCCUPYING ALL RIGHTS AND THE
 NEEDED MANUSCRIPTS, THESE ARE
 THE SITE PROPERTY OF BARNETT
 DEMBEK DEVELOPMENTS LTD. AND WILL
 NOT BE USED WHOLLY OR IN PART
 WITHOUT WRITTEN PERMISSION.
 CONCEPTUAL SITE PLAN AND
 DEVELOPMENT DATA INCLUDES
 DESIGN SERVICES AND CONSTRUCTION
 SERVICES AND IS NOT A FINAL DESIGN.
 OWNER OF SITE ACTS AS CLIENT.

REV. NO.	DATE	BY	ISSUED FOR

REV. NO.	DATE	BY	ISSUED FOR

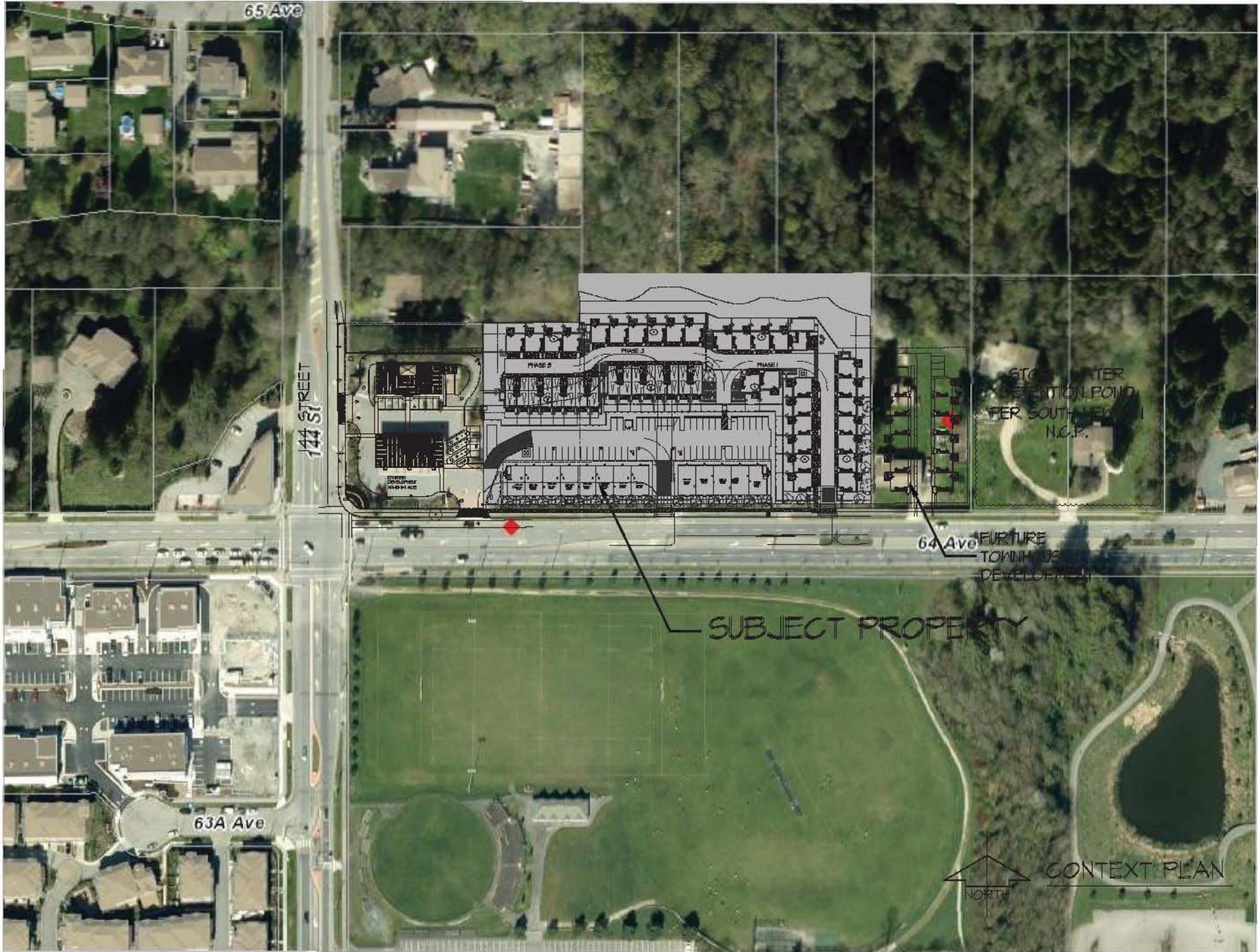
DESIGN: M.D.	DATE: 11/15/11	SCALE: 1" = 50'-0"
DRAWN: M.D.	DATE: 11/15/11	SCALE: 1" = 50'-0"
CHECKED: M.D.	DATE: 11/15/11	SCALE: 1" = 50'-0"
CLIENT: SUNMARK DEVELOPMENTS LTD.	PROJECT: 1445/1446/1448/1451/64 AVE. SURREY	
SHEET CONTENTS: CONCEPTUAL SITE PLAN AND DEVELOPMENT DATA		

barnett dembek

UNIT 135,
 7838 130 STREET,
 SURREY, B.C.
 V3W 1H8

PHONE: (804) 597-7100
 FAX: (804) 597-2099
 EMAIL: mdt@barnettdev.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15023	AC-1.1



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ISSUE NO.	BY	DATE	REVISION

CCD-Consulting

CLIENT	PROJECT	DATE	SCALE
SUN-HARK DEVELOPMENTS LTD.	144 ST/146 ST/148 ST/150 ST/152 ST/154 ST/156 ST/158 ST/160 ST/162 ST/164 ST/166 ST/168 ST/170 ST/172 ST/174 ST/176 ST/178 ST/180 ST/182 ST/184 ST/186 ST/188 ST/190 ST/192 ST/194 ST/196 ST/198 ST/200 ST	JAN 2017	1" = 300'-0"

CLIENT : SUN-HARK DEVELOPMENTS LTD.	SHEET NO. : AC-12
PROJECT : 144 ST/146 ST/148 ST/150 ST/152 ST/154 ST/156 ST/158 ST/160 ST/162 ST/164 ST/166 ST/168 ST/170 ST/172 ST/174 ST/176 ST/178 ST/180 ST/182 ST/184 ST/186 ST/188 ST/190 ST/192 ST/194 ST/196 ST/198 ST/200 ST	REV. NO. :
SHEET CONTENTS : CONTEXT PLAN	

barnett dembek

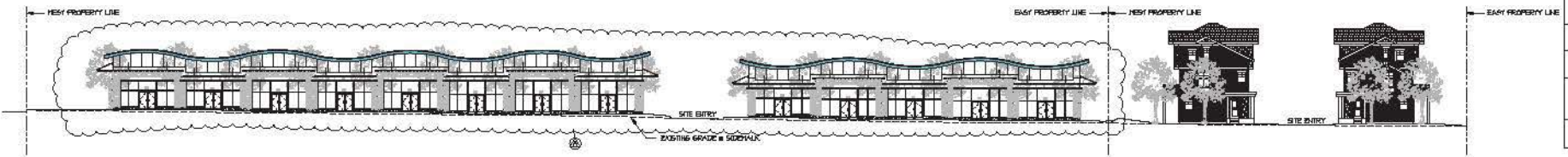
UNIT 135,
7938 130 STREET,
SURREY, B.C.
V3W 1T8

PHONE: (804) 587-7100
FAX: (804) 587-2099
EMAIL: info@barnett-dembek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15025	AC-12

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REV#	DATE	BY	REVISION



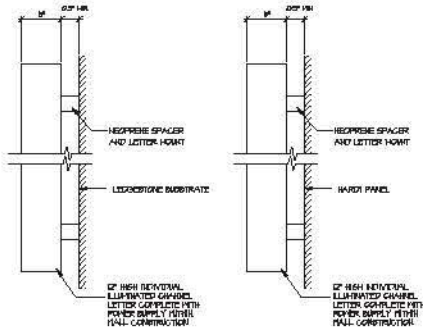
STREET ELEVATION - ALONG 64 AVENUE
SCALE: 1" = 30'-0"



COMMERCIAL LIGHT STANDARD
SCALE: 1/4" = 1'-0"



TOWNHOUSE EXTERIOR LIGHT FIXTURE
(RESIDENTIAL DRIVE AISLE LIGHT)



CHANNEL LETTER SIGNAGE DETAIL

DESIGN #	DATE	SCALE

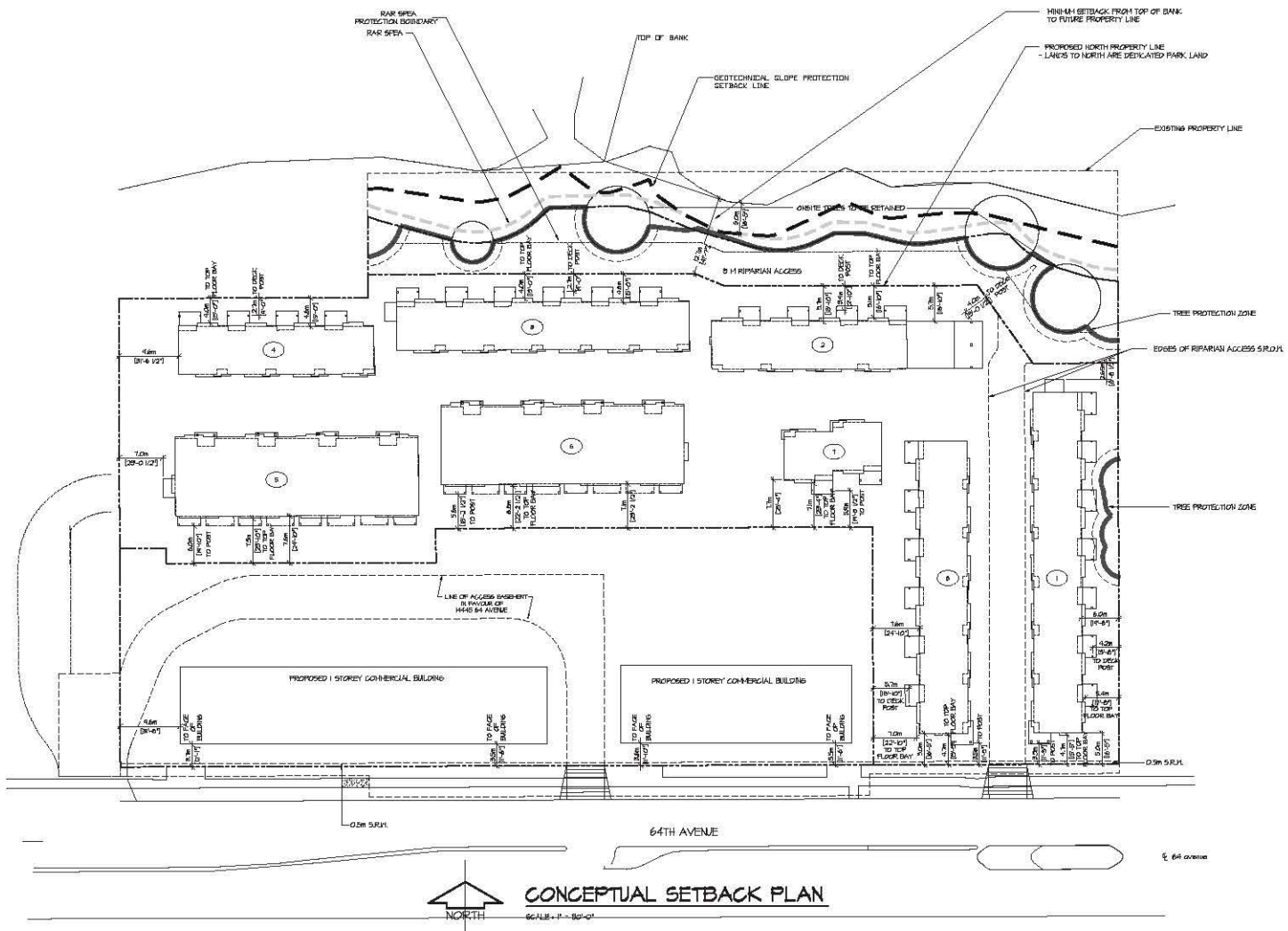
CLIENT : SUNMARK DEVELOPMENTS LTD.
PROJECT : H-49114674410341211 64 AVE. SUDBURY
SHEET CONTAINS : STREET ELEVATION ALONG 64 AVENUE

barnett dembek

UNIT 136,
7436 130 STREET,
SUDBURY, B.C.
V3W 1Y8

PHONE: (804) 567-7100
FAX: (804) 567-2099
EMAIL: info@barnettdev.com

CLIENT NO.	SHEET NO.
	AC-13
PROJECT NO.	REV. NO.
15023	



CONCEPTUAL SETBACK PLAN

REV#	DATE	BY	ISSUE

REV#	DATE	BY	ISSUE

DESIGN :	MAP :	DATE :	SCALE :
CLIENT :	PROJECT :	SHEET CONTENTS :	
SUNMARK DEVELOPMENTS LTD.	14451/14467/14483/14511 64 AVE. SURREY	SETBACK PLAN	

barnett dembek

UNIT 135,
7838 130 STREET,
SURREY, B.C.
V3W 1H8

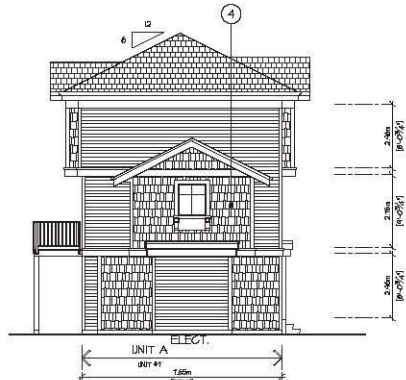
PHONE: (804) 597-7100
FAX: (804) 597-2099
EMAIL: md@bdemk.com

CLIENT NO.	SHEET NO.
15023	AC-14



WEST ELEVATION

SCALE: 1/8" = 1'-0"

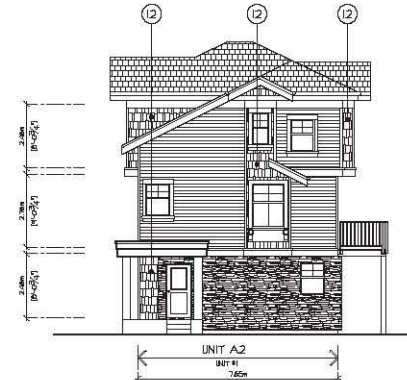


NORTH ELEVATION

SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① ASPHALT SHINGLE ROOF
- ② PREFINISHED ALUMINUM GUTTER ON 12" HARDI TRIM FASCIA
- ③ 1 X 4 WOOD ON 12" HARDI TRIM
- ④ VINYL SHINGLE SIDING
- ⑤ HORIZONTAL HARDI SIDING
- ⑥ VINYL FRAMED WINDOW C/W 1 X 6 WOOD TRIM
- ⑦ 12" HARDI TRIM
- ⑧ PREFAB. ALUMINUM PICKET RAILING
- ⑨ HARDI BOARD SIDING
- ⑩ 12 X 12 WOOD POST C/W HARDI SIDING
- ⑪ LEDGESTONE VENER Siding
- ⑫ HARDI SHINGLE SIDING



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

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REV. NO.	DATE	BY	REASON

CDS-EXHIBITING

DESIGN:	DATE:	SCALE:
M.D.	14th 4 11	1/8" = 1'-0"
DRWING:	14th 4 11	1/8" = 1'-0"
CLIENT:	SUNMARK DEVELOPMENTS LTD.	
PROJECT:	14451/14461/14463/1451 64 AVE. SURREY	
SHEET CONTENTS:	ELEVATIONS BUILDING #1	

barnett dembek

UNIT 135,
7838 130 STREET,
SURREY, B.C.

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mo@barnett.com

CLIENT NO.	SHEET NO.
15023	AC-3.1
PROJECT NO.	REV. NO.

BUILDING #1



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① ASPHALT SHINGLE ROOF
- ② PREFINISHED ALUMINUM GUTTER ON 12" HARDI TRIM FASCIA
- ③ 1 X 4 WOOD ON 12" HARDI TRIM
- ④ VINYL SHINGLE SIDING
- ⑤ HORIZONTAL HARDI SIDING
- ⑥ VINYL FRAMED WINDOW C/M 1 X 6 WOOD TRIM
- ⑦ 12" HARDI TRIM
- ⑧ PREFAB. ALUMINUM PICKET RAILING
- ⑨ HARDI BOARD SIDING
- ⑩ 12 X 12 WOOD POST C/M HARDI SIDING
- ⑪ LEDGESTONE VENEER SIDING



EAST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

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REVISION	DATE	BY	REASON



DESIGN: M.D.	DRAWN: M.D.	DATE: 1/14/15	SCALE: 1/8" = 1'-0"
CLIENT: SUNMARK DEVELOPMENTS LTD.		PROJECT: 14531/14463/14483/14511 64 AVE. SURREY	
SHEET CONTENTS:		ELEVATIONS	
BUILDING #2			

barnett dembek
 7838 130 STREET,
 SURREY, B.C.
 V3W 1H8

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: m.d. @ dembek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15023	AC-5.2

BUILDING #2

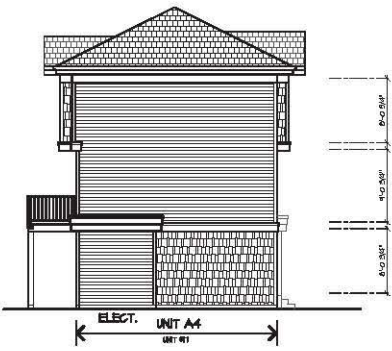
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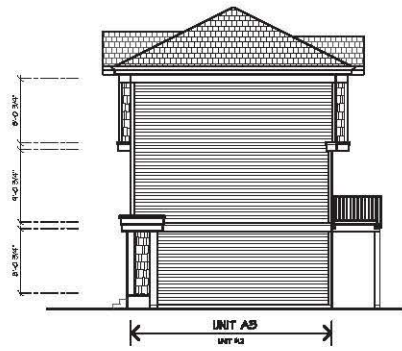
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① ASPHALT SHINGLE ROOF
- ② PREFINISHED ALUMINUM GUTTER ON 12" HARDI TRIM FASCIA
- ③ 1 X 4 WOOD ON 12" HARDI TRIM
- ④ VINYL SHINGLE SIDING
- ⑤ HORIZONTAL VINYL SIDING
- ⑥ VINYL FRAMED WINDOW WITH 1 X 6 WOOD TRIM
- ⑦ 12" HARDI TRIM
- ⑧ PREFAB. ALUMINUM PICKET RAILING
- ⑨ HARDI BOARD SIDING
- ⑩ 12 X 12 WOOD POST WITH HARDI SIDING
- ⑪ LEDGESTONE VENEER SIDING



WEST ELEVATION
SCALE: 1/8" = 1'-0"

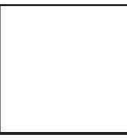


EAST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

REVISION NO.	
DATE	
BY	
CHKD BY	
DATE	
BY	
CHKD BY	
DATE	
BY	
CHKD BY	
DATE	



CLIENT : DENBEK DEVELOPMENTS LTD.
 PROJECT : 1420/1421/1422/1423/1424 AVE. SURREY
 SHEET : ELEVATIONS BUILDING #3

denbek
 ARCHITECTURE INC.

PHONE: (604) 587-7100
 FAX: (604) 587-2089
 EMAIL: info@denbek.com

CLIENT NO. SHEET NO.
 PROJECT NO. AC-33
 15029 REV. NO.

BUILDING #3

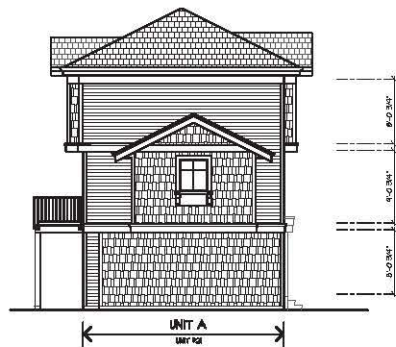
DISCLAIMER: ALL MEASURES AND THE SHOWN DIMENSIONS THEREOF ARE THE SOLE PROPERTY OF BARRETT DONBEK ARCHITECTURE INC. AND MAY NOT BE USED EXCEPT AS SHOWN HEREIN. UNLESS OTHERWISE SPECIFIED, DIMENSIONS SHOWN ARE CONSIDERED TO BE THE DIMENSIONS FOR CONSTRUCTION. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF BARRETT DONBEK ARCHITECTURE INC.



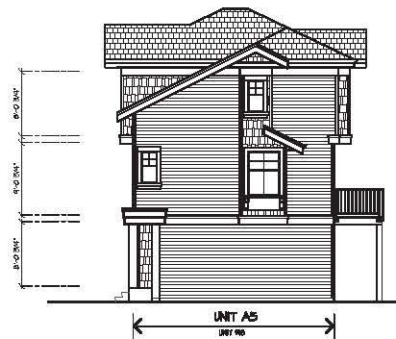
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

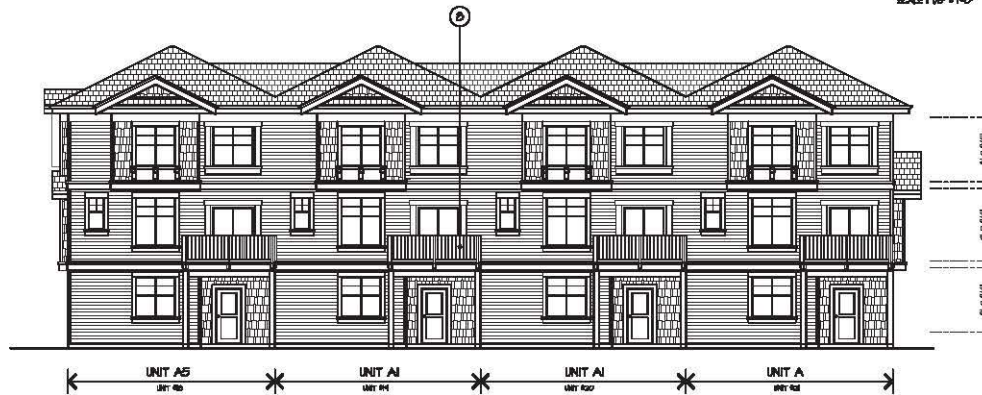
- ① ASPHALT SHINGLE ROOF
- ② PREFINISHED ALUMINUM GUTTER ON 12" HARDI TRIM FASCIA
- ③ 1 X 4 MOOD ON 12" HARDI TRIM
- ④ VINYL SHINGLE SIDING
- ⑤ HORIZONTAL VINYL SIDING
- ⑥ VINYL FRAMED WINDOW CAS 1 X 6 MOOD TRIM
- ⑦ 12" HARDI TRIM
- ⑧ PREFAB. ALUMINUM PICKET RAILING
- ⑨ HARDI BOARD SIDING
- ⑩ 12 X 12 MOOD POST CAS HARDI SIDING
- ⑪ LEDGESTONE VENEER SIDING



WEST ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

REVISION		
DATE		
BY		
CHKD		
DATE		
BY		
CHKD		
DATE		
BY		
CHKD		
DATE		

CLIENT :	BARRETT DONBEK DEVELOPMENTS LTD.
PROJECT :	K4201/442/1A4420/4201 64 AVE. SURREY
DATE :	17 FEB 2017
SCALE :	1/8" = 1'-0"
SHEET :	BUILDING PLANS
DRAWN BY :	BUILDING INC.

barrett donbek
ARCHITECTURE INC.

UNIT 135,
7238 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 587-7100
FAX: (604) 587-2089
EMAIL: mail@barrett.com

BUILDING #4

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15029	AC-3.4

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SCHEDULE OF FINISHES

- ① ASPHALT SHINGLE ROOF
- ② PREFINISHED ALUMINUM GUTTER ON 12" HARDI TRIM FASCIA
- ③ 1 X 4 WOOD ON 12" HARDI TRIM
- ④ VINYL SHINGLE SIDING
- ⑤ HORIZONTAL VINYL SIDING
- ⑥ VINYL FRAMED WINDOW C/M 1 X 6 WOOD TRIM
- ⑦ 12" HARDI TRIM
- ⑧ PREFAB. ALUMINUM PICKET RAILING
- ⑨ HARDI BOARD SIDING
- ⑩ 12 X 12 WOOD POST C/M HARDI SIDING
- ⑪ LEDGESTONE VENEER SIDING



NO.	DATE	BY	CHKD.

CPD-Certified

CLIENT :	5888468 DEVELOPMENTS LTD.
PROJECT :	4281/46/14488/421 64 AVE. SURREY
DATE :	May 11 11
SCALE :	1/8" = 1'-0"
SHEET :	CONCRETE / ELEVATIONS BUILDING #5

barnett denbek

7338 130 STREET, SURREY, B.C. V3W 1H8

PHONE: (604) 587-7100
FAX: (604) 587-2089
EMAIL: mail@denbektac.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
5029	AC-33

BUILDING #5

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NO.	DATE	BY	CHKD



CPD-1000000.dwg

CLIENT :	50004636 DEVELOPMENTS LTD.
PROJECT :	K4201/442/1A4420/4201 64 AVE. SURREY
SHEET CONTENT :	ELEVATIONS BUILDING #6
DATE :	MAR 17 11
SCALE :	1/8" = 1'-0"

denbek

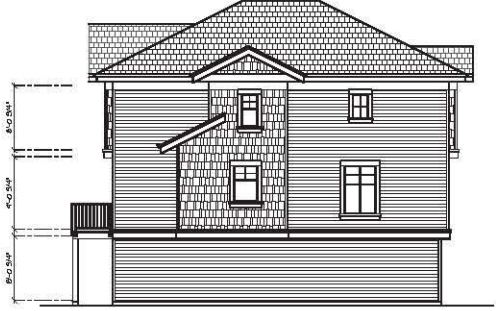
UNIT 135,
7336 130 STREET,
SURREY, B.C.
V3W 1H6

PHONE: (604) 587-7100
FAX: (604) 587-2089
EMAIL: mail@denbek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-3.6
15029	REV. NO.



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① ASPHALT SHINGLE ROOF
- ② PREFINISHED ALUMINUM GUTTER ON 12" HARDI TRIM FASCIA
- ③ 1 X 4 WOOD ON 12" HARDI TRIM
- ④ VINYL SHINGLE SIDING
- ⑤ HORIZONTAL VINYL SIDING
- ⑥ VINYL FRAMED WINDOW C/M 1 X 6 WOOD TRIM
- ⑦ 12" HARDI TRIM
- ⑧ PREFAB. ALUMINUM PICKET RAILING
- ⑨ HARDI BOARD SIDING
- ⑩ 12 X 12 WOOD POST C/M HARDI SIDING
- ⑪ LEDGESTONE VENEER SIDING



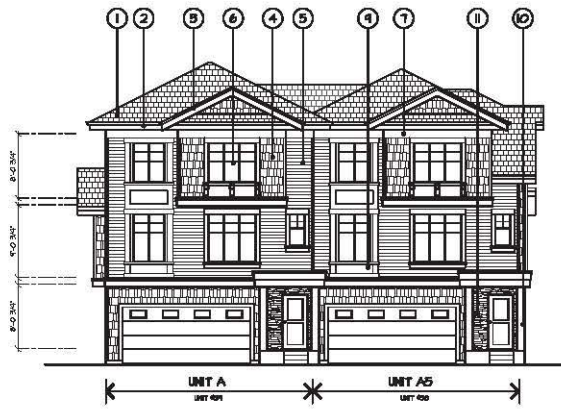
WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

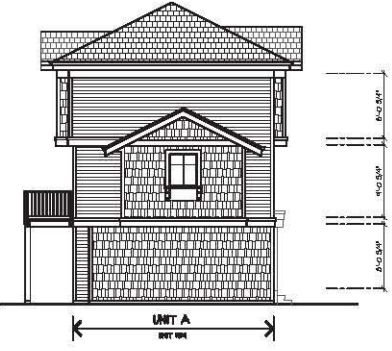
BUILDING #6

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NORTH ELEVATION

SCALE: 1/8" = 1'-0"

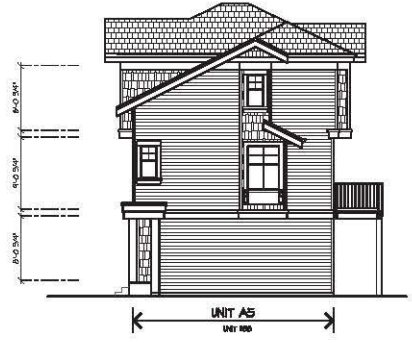


SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① ASPHALT SHINGLE ROOF
- ② PREFINISHED ALUMINUM GUTTER ON 12" HARDI TRIM FASCIA
- ③ 1 X 4 WOOD ON 12" HARDI TRIM
- ④ VINYL SHINGLE SIDING
- ⑤ HORIZONTAL VINYL SIDING
- ⑥ VINYL FRAMED WINDOW ON 1 X 6 WOOD TRIM
- ⑦ 12" HARDI TRIM
- ⑧ PREFAB. ALUMINUM PICKET RAILING
- ⑨ HARDI BOARD SIDING
- ⑩ 12 X 12 WOOD POST ON HARDI SIDING
- ⑪ LEDGESTONE VENEER SIDING



WEST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

REVISION	DATE	BY	CHKD



CLIENT: BARNETT DENBEK DEVELOPMENTS LTD.
PROJECT: 14201/14217/14450/14211 64 AVE. SURREY
SHEET CONTAINS: BUILDING PLANS
BUILDING #7

CLIENT: BARNETT DENBEK DEVELOPMENTS LTD.
PROJECT: 14201/14217/14450/14211 64 AVE. SURREY
SHEET CONTAINS: BUILDING PLANS
BUILDING #7

barnett denbek

7538 130 STREET,
SURREY, B.C.
V3W 1H8

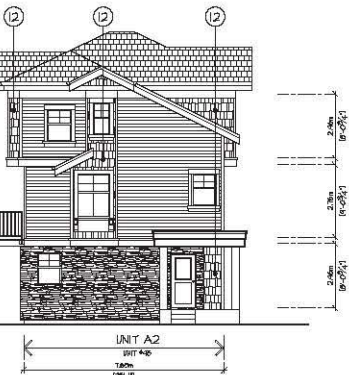
PHONE: (604) 587-7100
FAX: (604) 587-2089
EMAIL: mail@barnettdenbek.com

CLIENT NO.	SHEET NO.
15029	AC-3.7

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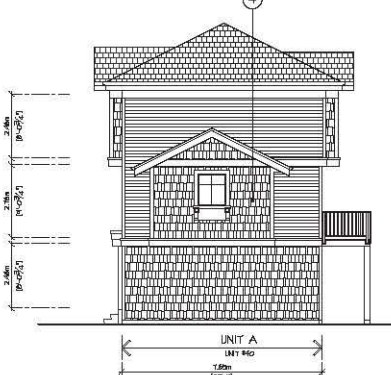
EAST ELEVATION
SCALE : 1/8" = 1'-0"



SOUTH ELEVATION
SCALE : 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① ASPHALT SHINGLE ROOF
- ② PREFINISHED ALUMINUM GUTTER ON 12" HARDI TRIM FASCIA
- ③ 1 X 4 WOOD ON 12" HARDI TRIM
- ④ VINYL SHINGLE SIDING
- ⑤ HORIZONTAL HARDI SIDING
- ⑥ VINYL FRAMED WINDOW C/M 1 X 6 WOOD TRIM
- ⑦ 12" HARDI TRIM
- ⑧ PREFAB. ALUMINUM PICKET RAILING
- ⑨ HARDI BOARD SIDING
- ⑩ 12 X 12 WOOD POST C/M HARDI SIDING
- ⑪ LEDGESTONE VENEER SIDING
- ⑫ HARDI SHINGLE SIDING



NORTH ELEVATION
SCALE : 1/8" = 1'-0"



WEST ELEVATION
SCALE : 1/8" = 1'-0"

ISSUE	DATE	BY	REVIEWER



DESIGN / DTD	DRAWN / DTD	DATE / 1485/11/14	SCALE / 1/8" = 1'-0"

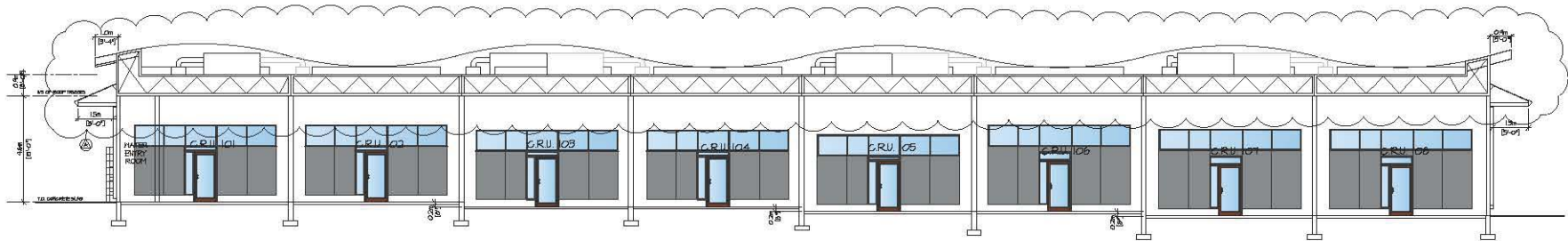
CLIENT : SUNMARK DEVELOPMENTS LTD.
PROJECT : 1485/11/1467/44483/45/1 64 AVE. SURREY
SHEET CONTENTS : ELEVATIONS BUILDING #8

barnett dembek
 UNIT 135,
 7838 130 STREET,
 SURREY, B.C.
 V3W 1H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mo@barker.com

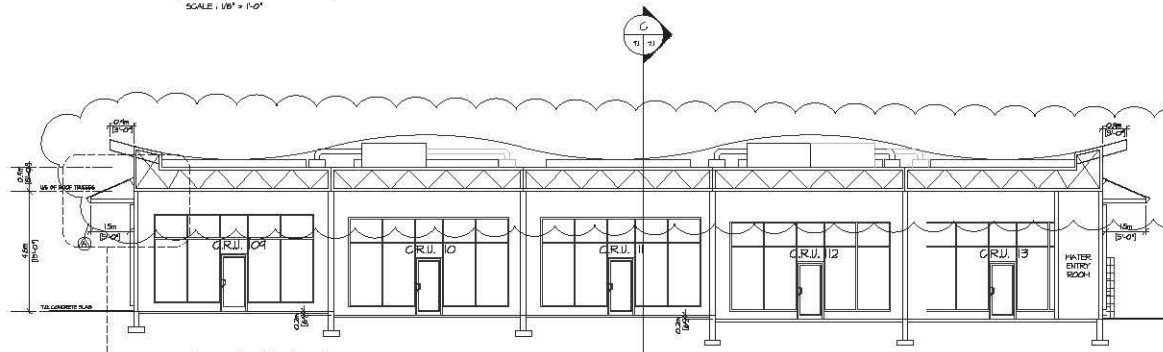
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.

BUILDING #8

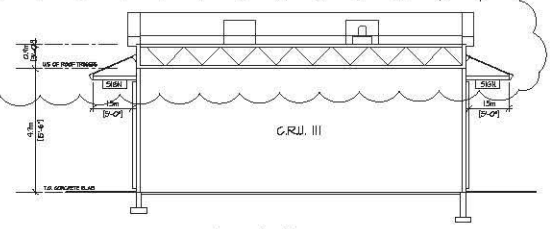
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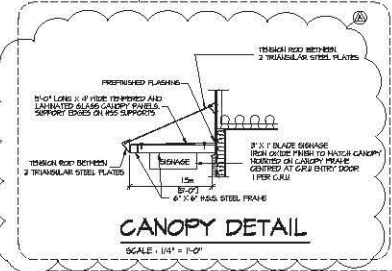
SECTION A-A
 SCALE: 1/8" = 1'-0"



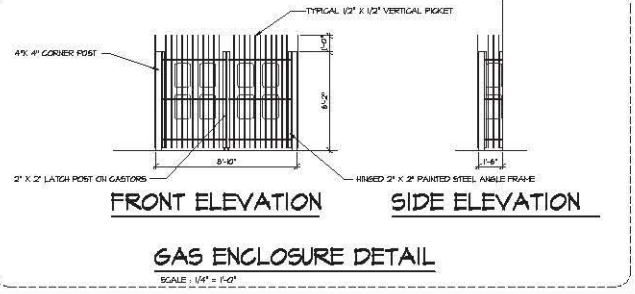
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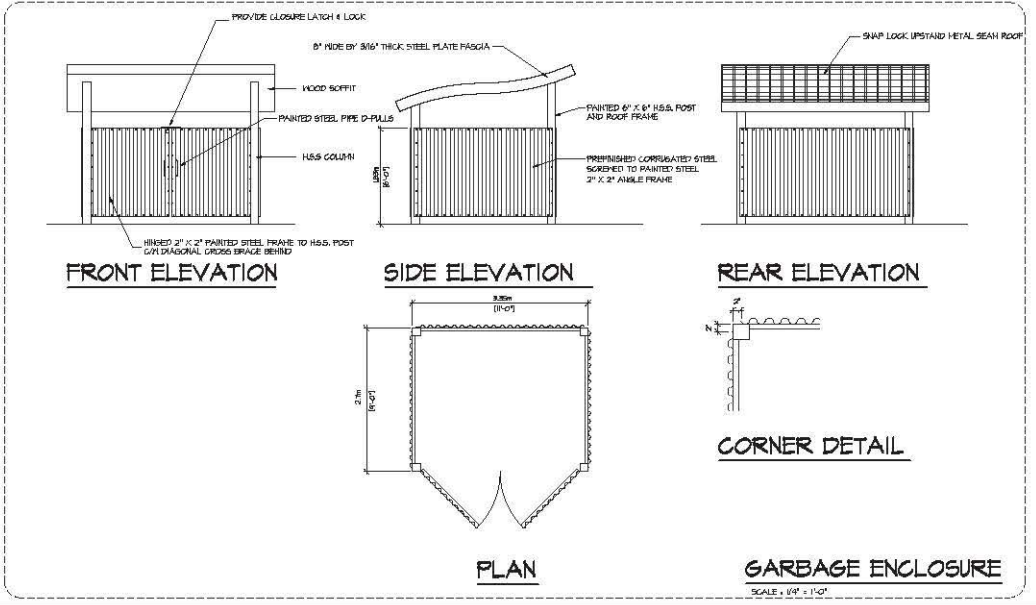
SECTION C-C
 SCALE: 1/8" = 1'-0"



CANOPY DETAIL
 SCALE: 1/4" = 1'-0"



GAS ENCLOSURE DETAIL
 SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SIDE ELEVATION

REAR ELEVATION

PLAN

CORNER DETAIL

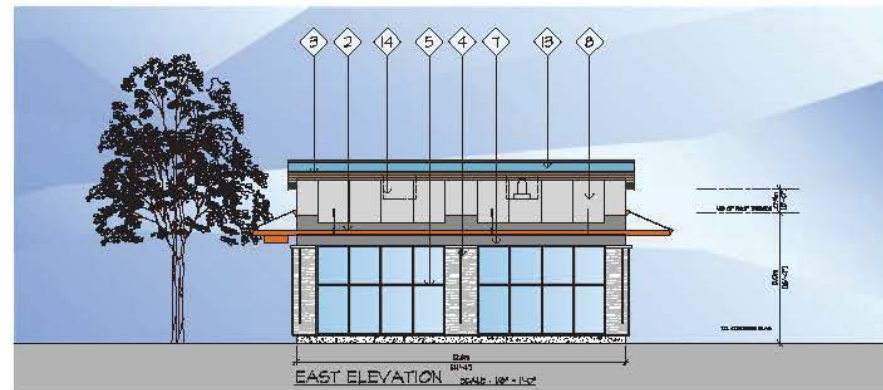
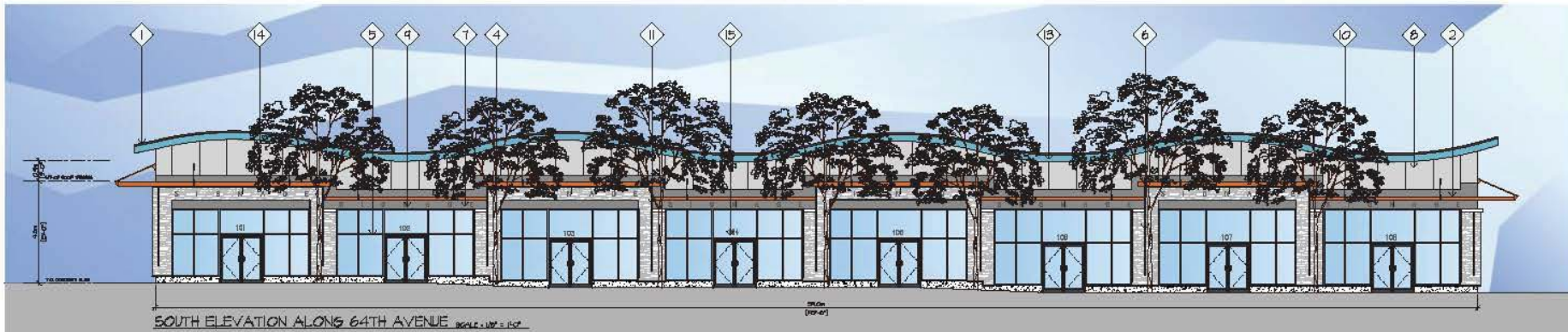
GARBAGE ENCLOSURE
 SCALE: 1/4" = 1'-0"

REV	DATE	BY	CHKD	APP	DESCRIPTION

DESIGN: SUNMARK DEVELOPMENTS LTD.
 CLIENT: SUNMARK DEVELOPMENTS LTD.
 PROJECT: 1451/1467/1483/1491 64 AVE. SURREY
 SHEET CONTENTS: SECTIONS BUILDING 42
 DRAWN: JWG/JIT
 DATE: JUN 9 11
 SCALE: 1/8" = 1'-0"
 barnett dembek
 UNIT 135, 7838 130 STREET, SURREY, B.C. V3W 1H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mol@barnettd.com
 CLIENT NO. SHEET NO. 15023 AC-TJ
 PROJECT NO. REV. NO.

MATERIAL PALETTE

- 1 SWAP LOCK UPSTAIR METAL SIGN POST
- 2 GLASS CANOPY
- 3 PINK SPLIT LEUNG SPITS
- 4 WHITE QUARTZ LEONORSTONE
- 5 ALUMINUM STAIRCASE BLAZING
- 6 BLACK REVEAL, CIVIL ARCHITECTURAL PLASTER, BELLAMUN HOURSE 2013-14
- 7 HARDI PANEL, 3/8" BIRD 1 CORNER SPOT 1 BELLAMUN HOURSE 2013-14
- 8 HARDI PANEL, CIVIL ENR TREND 1 CORNER SPOT 1 BELLAMUN HOURSE 2013-14
- 9 SIGN LETTER AND LOGO
- 10 TENSIONING ROD
- 11 HOLLOW METAL DOOR [RED OXIDE] BELLAMUN HOURSE 2013-14 PRAT FINISH
- 12 ALL-TIEN PICKET [RED OXIDE] BELLAMUN HOURSE 2013-14 VERTICAL FORMER PICKET ALL-TIEN PICKET BELLAMUN HOURSE 2013-14
- 13 STEEL PLATE FRAMA [BLUE PARRY] BELLAMUN HOURSE 2013-14 UP/POST OF CIVIL TRAIL STEEL PLATE FRAMA BOLTS W/ED FORMANT AND ROOF TENSIONING ROD FINISH SPITS
- 14 TECHNICAL SIGN [BLACK I] LOCATION OF REGISTER VERTICAL, MET NUMBER FINISH
- 15 ADDRESS DECAL LETTERS [BLACK I] IF RED BLACK REGISTER ADDRESS DECAL LETTERS
- 16 UNIT NUMBER [BLACK I] FINISH METAL TALL VERTICAL



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REV	DATE	BY	DATE	BY	DESCRIPTION

DATE: 10/11/2023
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]

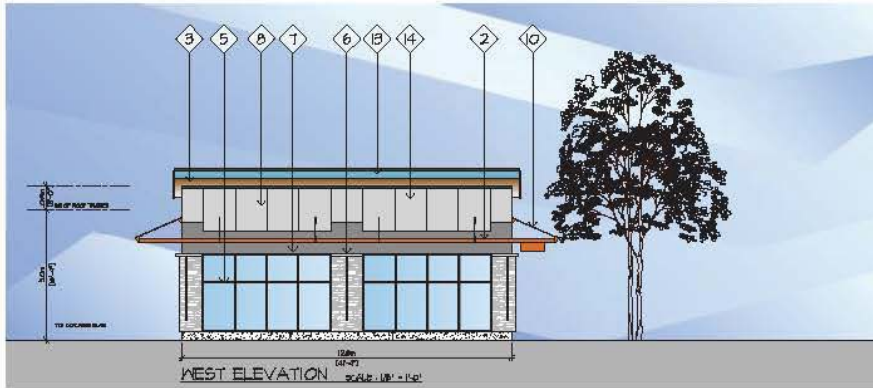
CLIENT: SUNMARK DEVELOPMENTS LTD.
 PROJECT: 14451N/46TH/4480/4431 64th AVE. SURVEY
 SHEET CONTENTS: ELEVATIONS BUILDING #1

barnett dembek
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 EMAIL: info@barnettdempek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15023	AC-61

MATERIAL PALETTE

1	SLANT LOCK UPSTAIRS METAL BROWN ROOF	2	GLASS CANOPY ADDED 1" THICK GLASS CANOPY TO PROTECT 8' X 6' 1/2" STEEL FRAME INTERIOR USE	3	WOOD SPOKE WOOD SPOKE	4	PURE QUARTZ LEONESTONE	5	ALUMINUM STOREFRONT SLATING *SPE. BEAM ADDED ALUMINUM	6	BLACK REVEAL 5/8" MECHANICAL FLASHING BELLUMIN (COLOUR 212142)	7	HARDY PANEL 9.5x16 BAND (1 COLOUR SPECK) BELLUMIN (COLOUR 212142)	8	HARDY PANEL 9.5x16 TRIM (1 COLOUR SPECK) BELLUMIN (COLOUR 212142) *SPE. BEAM BELLUMIN (COLOUR 212142) BELLUMIN (COLOUR 212142)	9	SMALL LETTER AND LOGO *HAWAII FISH SERIALS ONLY SMALL LETTER AND LOGO *SPE. BEAM	10	TRUCKING ROAD NOTIFIED TO TRUCKING PEAK DRIVE PLACES
11	HOLLOW METAL DOOR (RED COLOUR) BELLUMIN (COLOUR 208642) PAINT FINISH	12	ALUMINUM PANEL (BLUE COLOUR) BELLUMIN (COLOUR 208642) VERTICAL INTERLOCK ALUMINUM PANEL 20x16x1/2" ENCLAVE	13	STEEL PLATE PANEL (BLUE COLOUR) BELLUMIN (COLOUR 208642) 1/2" THICK 20x16x1/2" STEEL PLATE PANEL BUILT OVER PANELS AND WOOD SPOKE THAT IS 1/2" THICK ALUMINUM	14	MECHANICAL UNIT LOCATION OF MECHANICAL UNIT BEFORE PANELS	15	ADDRESS SERIAL LETTERS (BLACK) *IF ANY BLACK SERIALS ADDED COOL LETTERS	16	WRT 14-8895 (BLACK) *IF ANY METAL WALL COURED								



BUILDING #2

REV	DATE	DESCRIPTION	BY	DATE	DESCRIPTION

DATE: 10/20/2019
SCALE: 1/8" = 1'-0"

CLIENT: SUNHARK DEVELOPMENTS LTD.
PROJECT: 14511/46TH/44/63/45/11 64 AVE. SURVEY
SHEET CONTENTS: ELEVATIONS BUILDING #2

barnett dembek

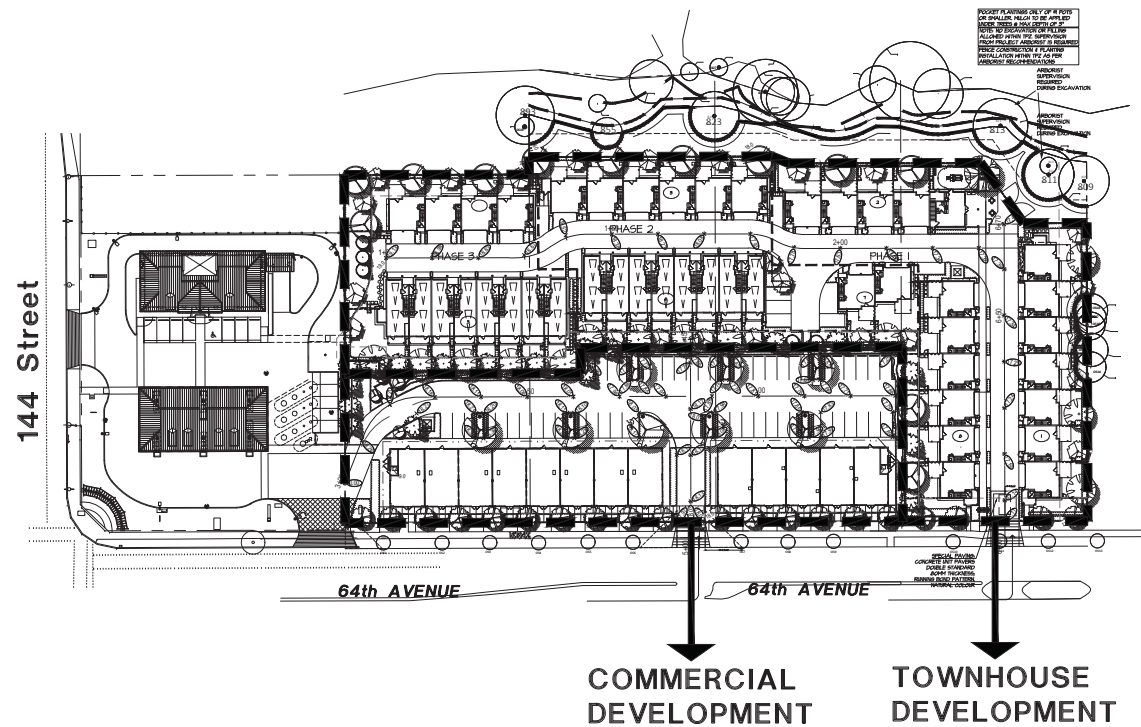
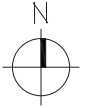
UNIT 135,
7306 130 STREET,
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CLIENT NO. SHEET NO.
PROJECT NO. AC-6.2
15023



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New Westminster, British Columbia
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Email: office@m2la.com



POCKET FEATURES ONLY IF 4' HIGH OR SMALLER, NEED TO BE APPLIED WITH STEEL AND GROUND LEVEL ALLOWED FROM THE SURFACE. THIS MEANS THEY MUST BE INSTALLED WITH CONSIDERATION TO PLANT AVAILABILITY FROM THE AS SHOWN (SUBSTITUTIONS SUBJECT TO APPROVAL).

REMOVE EXISTING CONCRETE SURFACING FROM EXISTING DRIVEWAY PATTERNS

COMMERCIAL DEVELOPMENT **TOWNHOUSE DEVELOPMENT**

PLANT SCHEDULE - TREES COMMERCIAL DEV. M2 JOB NUMBER: 17-008

KEY QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
18	ACER RUBRUM 'ARHISTRONUM'	COLUMBIA RED MAPLE	5CH CAL, 15M STD, B4B
4	FAGUS SYLVATICA 'DAPHNIGII PURPLE'	PURPLE FASTIGIATE BEECH	5CH CAL
8	SILENTIA T. INERHIS 'SKYLINE'	SKYLINE HONEY LOCUST	5CH CAL, 15M STD, B4B
4	PICEA OROKUA	SERBIAN SPRUCE	3M HT, B4B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER REQUIREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

PLANT SCHEDULE - TREES TOWNHOUSE DEV. M2 JOB NUMBER: 17-008

KEY QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
24	ACER PALMATH 'ELLEGROOD'	JAPANESE MAPLE	5CH CAL, 15M STD, B4B
4	ACER RUBRUM 'ARHISTRONUM'	COLUMBIA RED MAPLE	5CH CAL, 15M STD, B4B
12	CERCIS CANADENSIS	EASTERN REDBUD	5CH CAL, B4B
5	CHAMAECYPARIS NODICATENENSIS 'VENEDULA'	KEEPSH NODOSA CYPRESS	3M HT, B4B
13	CORNUS KOUSA 'CHINENSIS'	CHINESE DOGWOOD	3M HT, B4B
1	GINKGO BILBOBA (MALE FORM) ; SPECIMEN TREE	GINKGO TREE	8CH CAL, 2M STD, B4B
4	PICEA OROKUA	SERBIAN SPRUCE	3M HT, B4B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER REQUIREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

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- DRAWING INDEX:**
- L1 KEY PLAN
 - L2 TREE PLAN
 - L3 SHRUB PLAN WEST
 - L4 SHRUB PLAN EAST
 - L5 LANDSCAPE DETAIL PLAN
 - L6 LANDSCAPE SPECIFICATIONS

PROJECT:
TOWNHOUSE AND COMMERCIAL DEVELOPMENT
14451-14511 64 AVENUE
SURREY, BC

DRAWING TITLE: **KEY PLAN**

DATE: 30 JAN 17	DRAWING NUMBER:
SCALE: 1/250	L1
DRAWN: -	
DESIGN: -	
CHK'D: MM	

OF 7



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NO.	DATE	REVISION DESCRIPTION	DR.
1	11/20/20	ISSUED FOR O.P.	MM
2	11/20/20	ISSUED FOR O.P.	MM
3	11/20/20	ISSUED FOR O.P.	MM
4	11/20/20	ISSUED FOR O.P.	MM
5	11/20/20	ISSUED FOR O.P.	MM
6	11/20/20	ISSUED FOR O.P.	MM
7	11/20/20	ISSUED FOR O.P.	MM
8	11/20/20	ISSUED FOR O.P.	MM
9	11/20/20	ISSUED FOR O.P.	MM
10	11/20/20	ISSUED FOR O.P.	MM
11	11/20/20	ISSUED FOR O.P.	MM
12	11/20/20	ISSUED FOR O.P.	MM
13	11/20/20	ISSUED FOR O.P.	MM
14	11/20/20	ISSUED FOR O.P.	MM
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17	11/20/20	ISSUED FOR O.P.	MM
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19	11/20/20	ISSUED FOR O.P.	MM
20	11/20/20	ISSUED FOR O.P.	MM

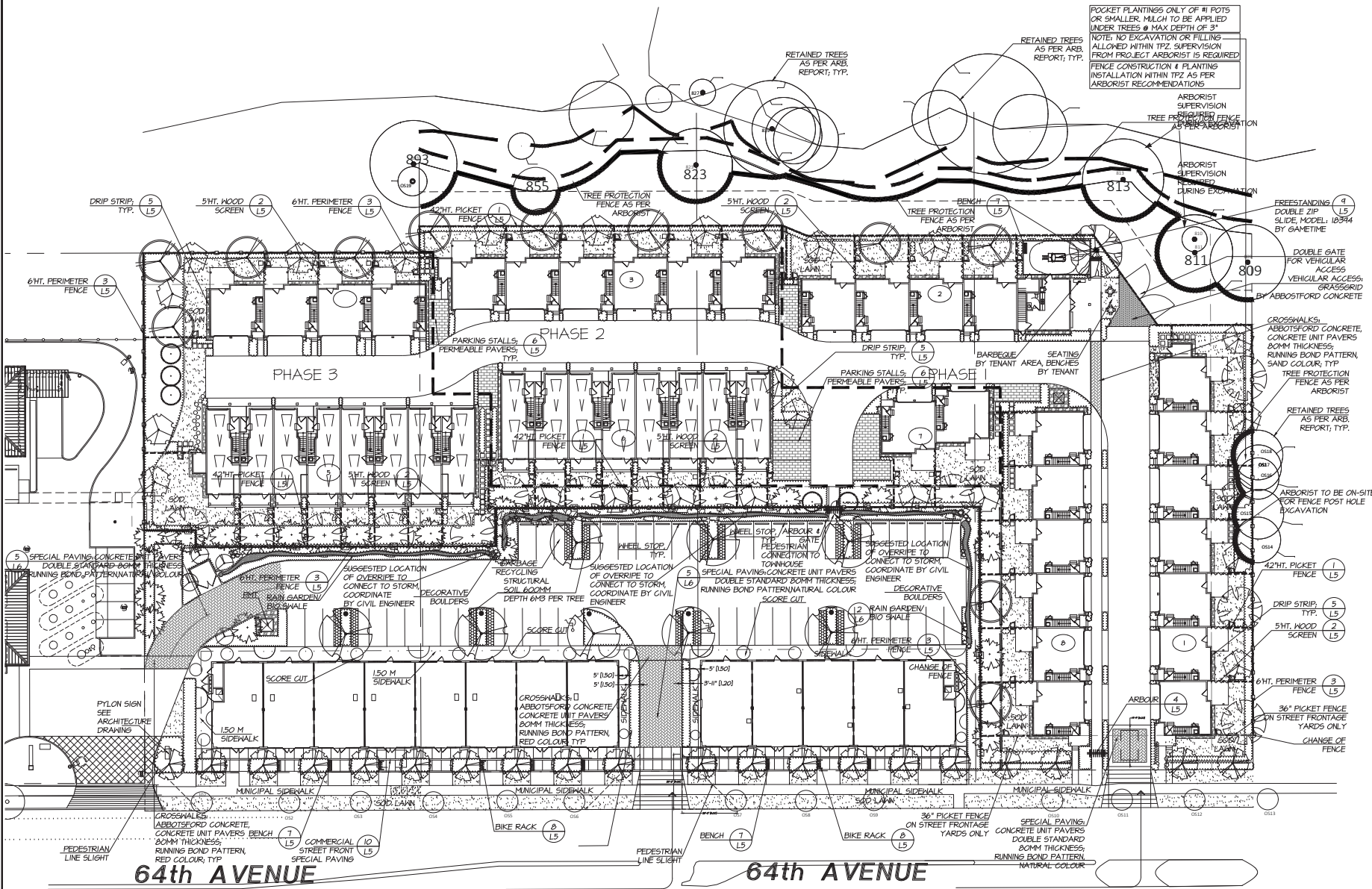
NO. DATE REVISION DESCRIPTION DR.

SEAL:

PROJECT:
**TOWNHOUSE AND
COMMERCIAL
DEVELOPMENT**
14451-14511 64 AVENUE
SURREY, BC

DRAWING TITLE:
**TREE
PLAN**

DATE: 30/JAN/21	DRAWING NUMBER:
SCALE: 1/250	
DRAWN: -	L2
DESIGN: -	
CHKD: MM	OF 7
M2LA PROJECT NUMBER:	JOB NO 17 008



POCKET PLANTINGS ONLY OF #1 POTS OR SMALLER MULCH TO BE APPLIED UNDER TREES @ MAX DEPTH OF 3"
NOTE: NO EXCAVATION OR FILLING ALLOWED WITHIN TPZ. SUPERVISION FROM PROJECT ARBORIST IS REQUIRED.
FENCE CONSTRUCTION & PLANTING INSTALLATION WITHIN TPZ AS PER ARBORIST RECOMMENDATIONS

RETAINED TREES AS PER ARB. REPORT; TYP.

RETAINED TREES AS PER ARB. REPORT; TYP.

ARBORIST SUPERVISION REQUIRED DURING EXCAVATION

ARBORIST SUPERVISION REQUIRED DURING EXCAVATION

DOUBLE ZIP SLIDE, MODEL 10394 BY GAMETIME

DOUBLE GATE FOR VEHICULAR ACCESS
VEHICULAR ACCESS: GRASSGRID BY ABBOTSFORD CONCRETE

CROSSWALKS: ABBOTSFORD CONCRETE, CONCRETE UNIT PAVERS, 80MM THICKNESS, RUNNING BOND PATTERN, SAND COLOUR, TYP.
TREE PROTECTION FENCE AS PER ARBORIST

RETAINED TREES AS PER ARB. REPORT; TYP.

ARBORIST TO BE ON-SITE FOR FENCE POST HOLE EXCAVATION

42" H. PICKET FENCE

D RIP STRIP, TYP.

5" H. WOOD SCREEN

6" H. PERIMETER FENCE

36" PICKET FENCE ON STREET FRONTAGE YARDS ONLY

CHANGE OF FENCE

ARBOR

36" PICKET FENCE ON STREET FRONTAGE YARDS ONLY

SPECIAL PAVING: CONCRETE UNIT PAVERS, DOUBLE STANDARD, RUNNING BOND PATTERN, NATURAL COLOUR

64th AVENUE

64th AVENUE

PEDESTRIAN LINE SLIGHT

PEDESTRIAN LINE SLIGHT

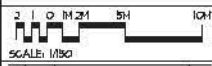
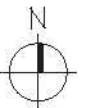
PEDESTRIAN LINE SLIGHT

PEDESTRIAN LINE SLIGHT

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NO.	DATE	REVISION DESCRIPTION	DR.
1			
2			
3			
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10			

NO. DATE REVISION DESCRIPTION DR.

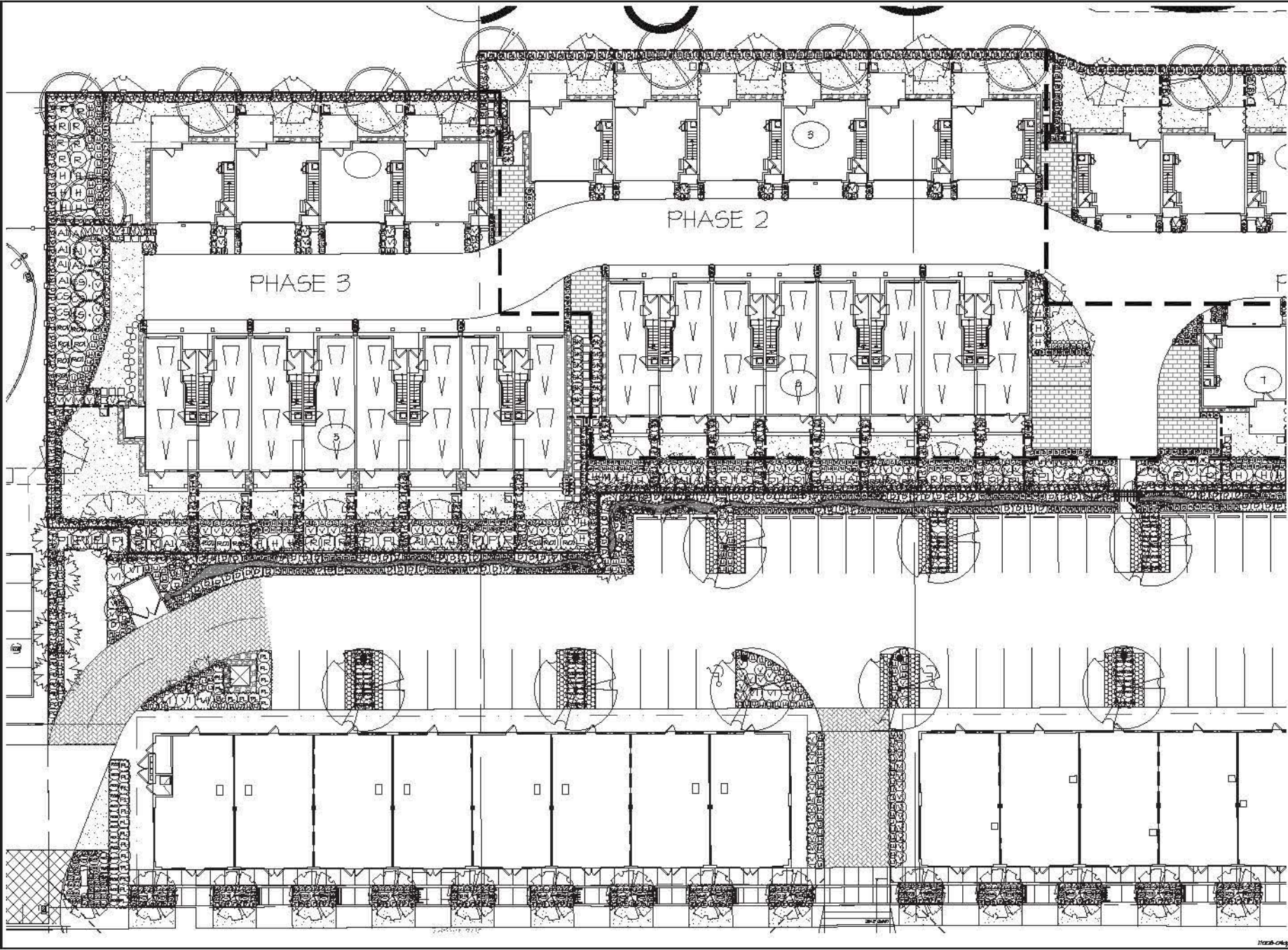
SEAL:

PROJECT:
 TOWNHOUSE AND
 COMMERCIAL
 DEVELOPMENT
 14451-14511 64 AVENUE
 SURREY, BC

DRAWING TITLE:
**SHRUB PLAN
 WEST**

DATE: 20/04/17	DRAWING NUMBER:
SCALE: 1/80	L3
DRAWN: -	
DESIGN: -	
CHKD: MFM	CF 7

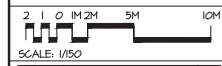
M2LA PROJECT NUMBER: JOB NO 17 001



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NO.	DATE	REVISION DESCRIPTION	DR.
1		ISSUED FOR O.P.	SM
2		ISSUED FOR O.P.	SM
3		ASPT SUBMISSION	EW
4		REV AS PER NEW SITE PLAN	EW
5		REV AS PER NEW SITE PLAN	EW
6		REV AS PER NEW SITE PLAN	EW

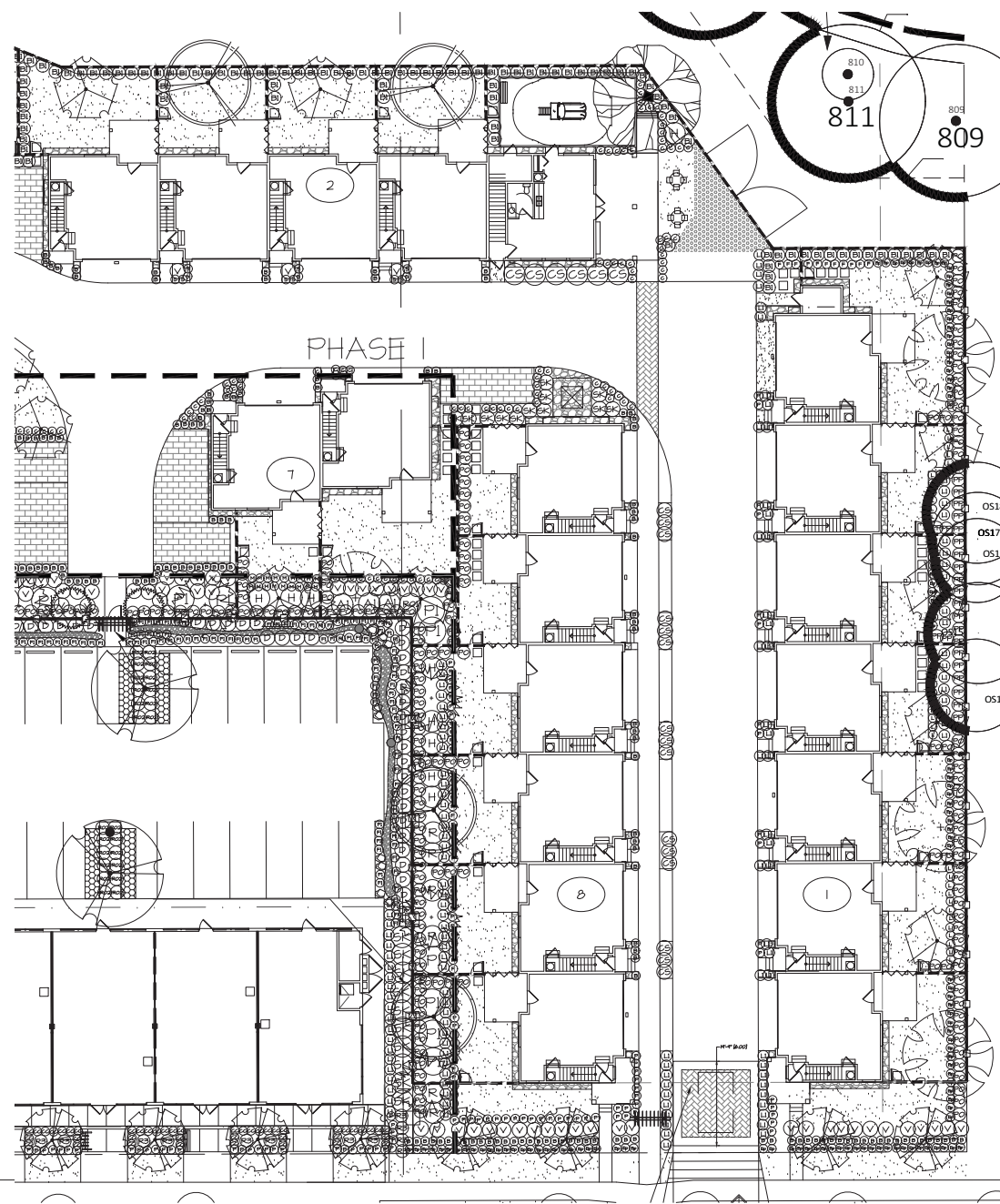
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1		ISSUED FOR O.P.	SM
2		ISSUED FOR O.P.	SM
3		ASPT SUBMISSION	EW
4		REV AS PER NEW SITE PLAN	EW
5		REV AS PER NEW SITE PLAN	EW
6		REV AS PER NEW SITE PLAN	EW

PROJECT:
TOWNHOUSE AND COMMERCIAL DEVELOPMENT
14451-14511 64 AVENUE
SURREY, BC

DRAWING TITLE:
SHRUB PLAN EAST

DATE: 30 JAN 17	DRAWING NUMBER:
SCALE: 1/50	L4
DRAWN: -	
DESIGN: -	
CHKD: MM	OF 7

M2LA PROJECT NUMBER: **JOB NO 17 008**



PLANT SCHEDULE - SHRUBS COMMERCIAL DEV. M2 JOB NUMBER: 17-008

KEY QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SRUB	106 CORNUS SERICEA	RED OSIER DOGWOOD	12 POT, 50CM
4	PIERIS JAPONICA FOREST FLAME	PIERIS	15 POT, 50CM
25	FRAXINUS LAUROCARPIS OTTO LYXEN	OTTO LYXEN LAUREL	12 POT
2	FRAXINUS LISITANGICA	PORTUGUESE LAUREL	12 POT, 40CM
2	RICODENDRON DORA A'	RICODENDRON WHITE	12 POT, 50CM
37	ROSA 'WHITE HEEDLAND'	WHITE HEEDLAND ROSE	12 POT
77	ROSA RUGOSA PRISTINE PAVEMENT	PRISTINE PAVEMENT RUGOSA ROSE, WHITE	12 POT, 40CM
10	SKIMMIA JAPONICA (DOB MALE)	JAPANESE SKIMMIA	15 POT
46	VIERNUM DAVIDII	DAVID'S VIERNUM	15 POT
7	VIERNUM P.T. 'SUMMER SNOWFLAKE'	SUMMER SNOWFLAKE VIERNUM	15 POT, 60CM
GRASS	276 HAKONEGLIOA MACRA 'ALL GOLD'	JAPANESE FOREST GRASS	12 POT
110	PENNETUM ALPHEGROIDES 'HAHELIN'	DWARF FOUNTAIN GRASS	11 POT
141	CORNUS CANADENSIS	BANESBERRY	11 POT, 20CM
144	LONGERA PLEATA	PRIVET HONEYSUCKLE	11 POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR CRITICAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER HAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

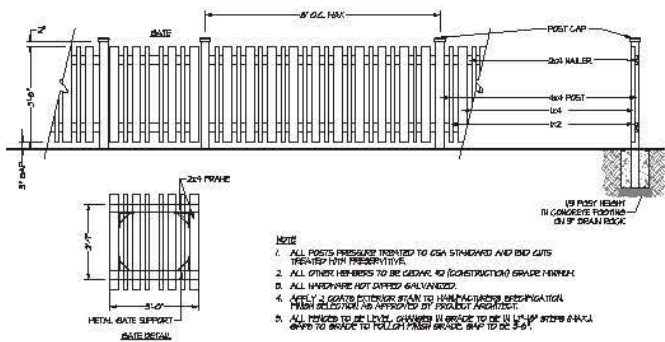
ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

PLANT SCHEDULE - SHRUBS TOWNHOUSE DEV. M2 JOB NUMBER: 17-008

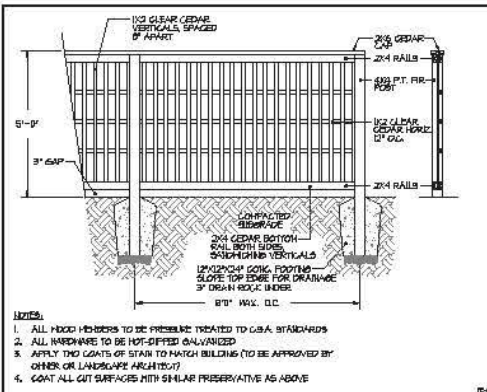
KEY QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SRUB	21 ARBUTUS UNEDO COMPACTA	COMPACT STRAWBERRY BUSH	15 POT
210	BUXUS MICROPHYLLA WINTER GEM	LITTLE-LEAF BOX	12 POT, 25CM
56	BUXUS SEMPERVIRENS	COMMON BOXWOOD	12 POT
26	CORNUS SERICEA	RED OSIER DOGWOOD	15 POT
24	HYDRANGEA QUERCIFOLIA 'SNOWFLAKE'	SNOWFLAKE HYDRANGEA	15 POT
11	PIERIS JAPONICA FOREST FLAME	PIERIS	15 POT, 50CM
25	FRAXINUS LISITANGICA	PORTUGUESE LAUREL	11 POT
394	FRAXINUS LISITANGICA	PORTUGUESE LAUREL	12 POT, 40CM
15	RICODENDRON DORA A'	RICODENDRON WHITE	15 POT, 50CM
26	ROSA RUGOSA 'ALBA'	RUGOSA ROSE	12 POT
41	SKIMMIA JAPONICA (DOB MALE)	JAPANESE SKIMMIA	15 POT
128	VIERNUM DAVIDII	DAVID'S VIERNUM	15 POT
GRASS	163 CAREX MORROCHII 'AURO VARIEGATA'	GOLDEN VARIEGATED JAPANESE SEDGE	11 POT
112	PENNETUM ALPHEGROIDES 'HAHELIN'	DWARF FOUNTAIN GRASS	11 POT
27	STIPA TENISSONIA	MEXICAN FEATHER GRASS	11 POT
PERENNIAL	123 LAVENDULA ANGUSTIFOLIA 'HIDCOTE BLUE'	ENGLISH LAVENDER	11 POT
132	BUONNYMUS JAPONICA 'PALOMA BLANCA'	PALOMA BLANCA BUONNYMUS	11 POT
132	LONGERA PLEATA	PRIVET HONEYSUCKLE	11 POT
132	NAKURA NERVOZA	LONGLEAF HAKONIA	11 POT
23	POLYSTICHUM SETIPERM	ALASKAN FERNS	11 POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR CRITICAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER HAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

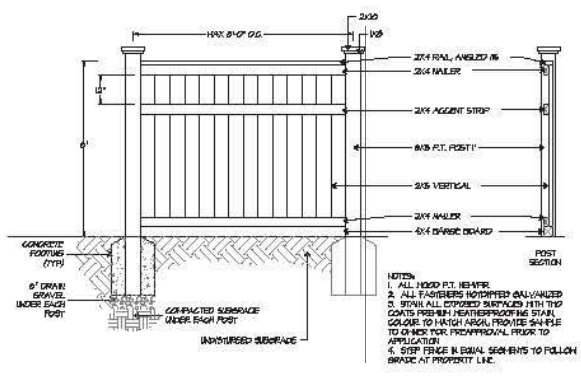
ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.



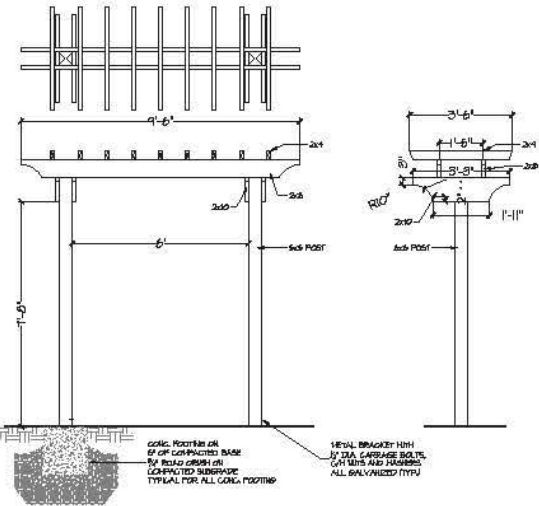
1 42" HT. WOOD PICKET FENCE
SCALE: 1/2"=1' 0"



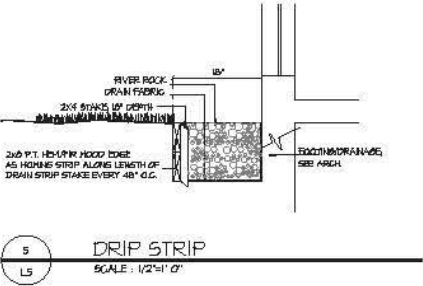
2 5' HT. LATH PATIO SCREEN
SCALE: 1/2"=1' 0"



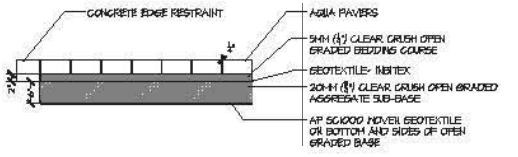
3 6' HT. PERIMETER SOLID FENCE
SCALE: 1/2"=1' 0"



4 ARBOUR
SCALE: 1/2"=1' 0"



5 DRIP STRIP
SCALE: 1/2"=1' 0"



6 PERMEABLE PAVERS
SCALE: 1/2"=1' 0"
PARKING STALLS: RUNNING BAND PATTERN, NATURAL COLOUR



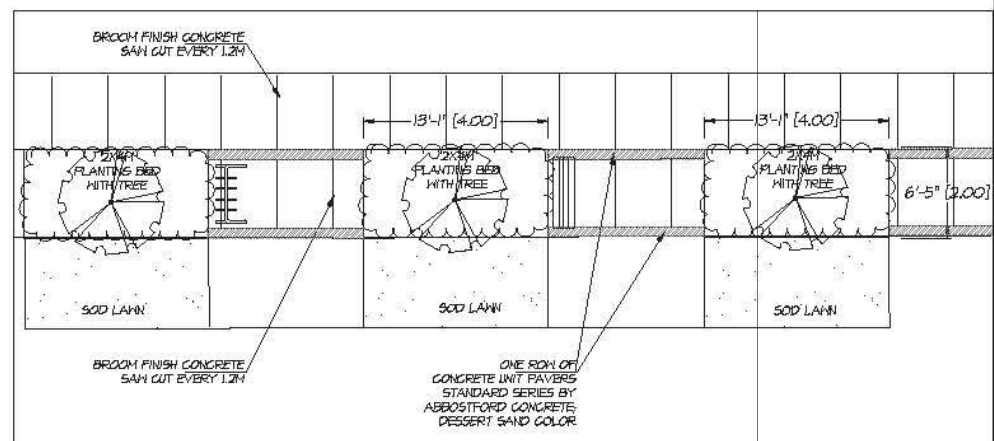
7 BENCH
HLR20-H BY HAGLIN
SCALE: 1/2"=1' 0"



8 BIKE RACK
HLR300-4-5 BY HAGLIN
SCALE: 1/2"=1' 0"



9 FREESTANDING DOUBLE ZIP SLIDE
MODEL # 18244 BY BARNETTE
SCALE: 1/2"=1' 0"



10 SPECIAL PAVING - COMMERCIAL SITE
SCALE: 1/2"=1' 0"

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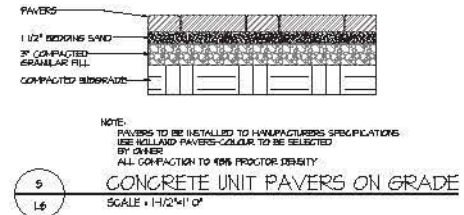
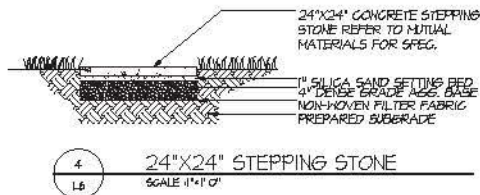
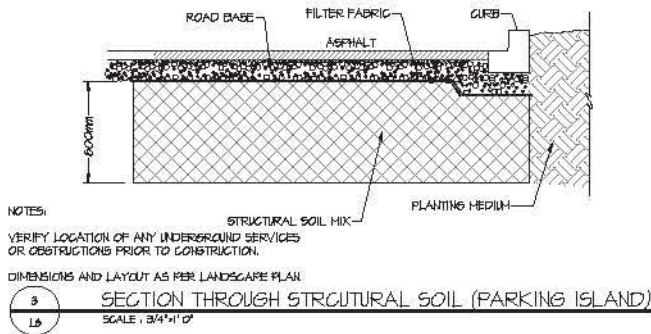
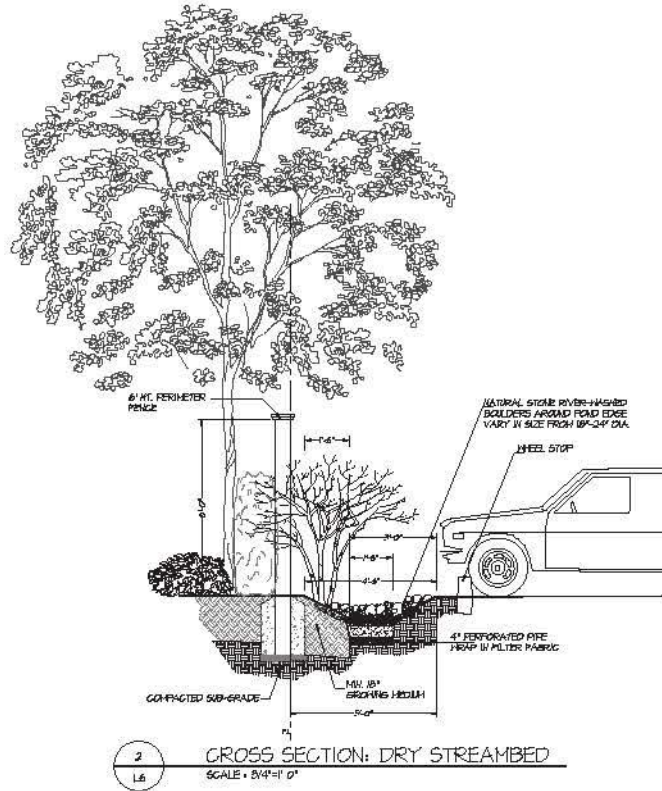
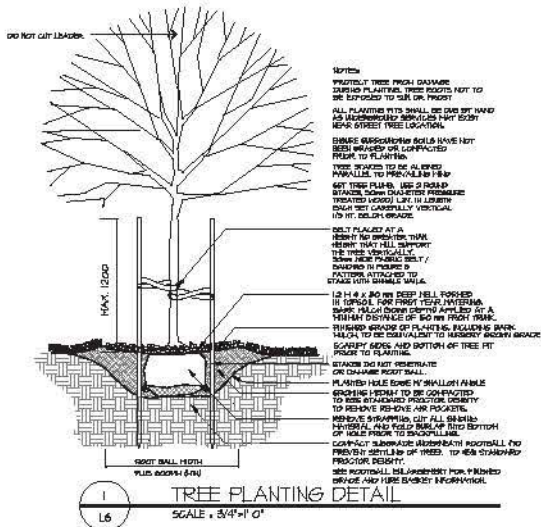


#220 - 26 Lorne Mews
New Westminster, British Columbia
V3M 3L7
Tel: 604.553.0044
Fax: 604.553.0045
Email: office@m2la.com

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PROJECT:
TOWNHOUSE AND
COMMERCIAL
DEVELOPMENT
14451-14511 64 AVENUE
SURREY, BC

DRAWING TITLE:
**LANDSCAPE
DETAILS**
DATE: 26-JAN-24 DRAWING NUMBER:
SCALE: 1/2"=1' 0"
DRAWN: -
DESIGN: -
CHK'D: NIN
M2LA PROJECT NUMBER: **L5** OF 7
JOB NO 17 008



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#220 - 26 Lorne Mews
 New Westminster, British Columbia
 V3M 3L7
 Tel: 604.553.0044
 Fax: 604.553.0045
 Email: office@m2la.com

NO.	DATE	REVISION DESCRIPTION	DR.
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PROJECT:
 TOWNHOUSE AND
 COMMERCIAL
 DEVELOPMENT
 14451-14511 64 AVENUE
 SURREY, BC

DRAWING TITLE:
**LANDSCAPE
 DETAILS (2)**

DATE: 20.11.17 DRAWING NUMBER:
 SCALE: -
 DRAWN: -
 DESIGN: -
 L6
 OF 7
 CHECKED: MTH
 M2LA PROJECT NUMBER: JOB NO 17-008



#220 - 26 Lorne Mews New Westminster, British Columbia V3M 3L7 Tel: 604.553.0044 Fax: 604.553.0045 Email: office@m2la.com

Table with 3 columns: NO, DATE, REVISION DESCRIPTION. It contains a list of revision entries for the drawing.

SEAL: [Blank space for professional seal]

PROJECT: TOWNHOUSE AND COMMERCIAL DEVELOPMENT 14451-14511 64 AVENUE SURREY, BC

DRAWING TITLE: LANDSCAPE SPECIFICATION

DATE: 2024/07 DRAWING NUMBER: L7 SCALE: - DRAWN: - DESIGN: - CHECK: JHM

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

1.1. The contractor shall be responsible for the design and construction of the landscape development in accordance with the approved landscape plan and specifications.

1.2. The contractor shall be responsible for the procurement and installation of all landscape materials, including plants, trees, and hardscape elements.

1.3. The contractor shall be responsible for the maintenance and watering of the landscape during the construction period.

1.4. The contractor shall be responsible for the final inspection and approval of the landscape development by the relevant authorities.

1.5. The contractor shall be responsible for the final cleanup and removal of any construction materials or debris.

1.6. The contractor shall be responsible for the final site restoration and reinstatement of the landscape to its original condition.

1.7. The contractor shall be responsible for the final site inspection and approval by the relevant authorities.

1.8. The contractor shall be responsible for the final site cleanup and removal of any construction materials or debris.

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PART ONE GENERAL REQUIREMENTS

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TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **July 19, 2017**

PROJECT FILE: **7815-0425-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 14467/14483/14511/14451 - 64 Avenue**

OCP AMENDMENT/NCP AMENDMENT/ALR EXCLUSION

There are no engineering requirements relative to the NCP Amendment.

REZONE/SUBDIVISION/CONSOLIDATION

Property and Right-of-Way Requirements

- dedicate 1.500 metres fronting 14451 and 14511 – 64 Avenue.
- dedicate 4.942 metres fronting 14467/14483 – 64 Avenue.
- provide 0.5 metre ROW fronting 64 Avenue.
- provide restrictive covenant for right-in/right-out access only.
- provide a 5.0 metre ROW from RAR/SPEA boundary of Hyland Creek for drainage maintenance access.

Works and Services

- modify existing left turn bays on 64 Avenue to accommodate access into the proposed development.
- modify existing accesses to meet current criteria.
- provide service connections in support of the development.

A Servicing Agreement is required prior to Rezone/Subdivision.



Rémi Dubé, P.Eng.
Development Services Manager
LRi



Wednesday, April 26, 2017
 Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 7915-0425-00

SUMMARY

The proposed 45 townhouse units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	9
Secondary Students:	5

September 2018 Enrolment/School Capacity

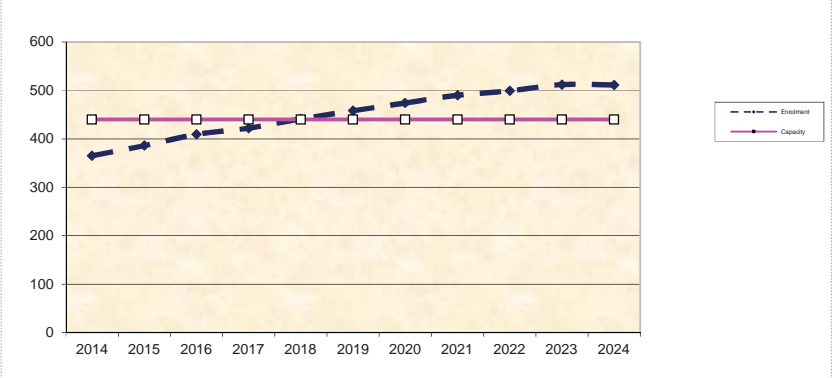
Hyland Elementary	
Enrolment (K/1-7):	56 K + 353
Capacity (K/1-7):	40 K + 400
Sullivan Heights Secondary	
Enrolment (8-12):	1518
Nominal Capacity (8-12):	1000
Functional Capacity*(8-12):	1080

School Enrolment Projections and Planning Update:

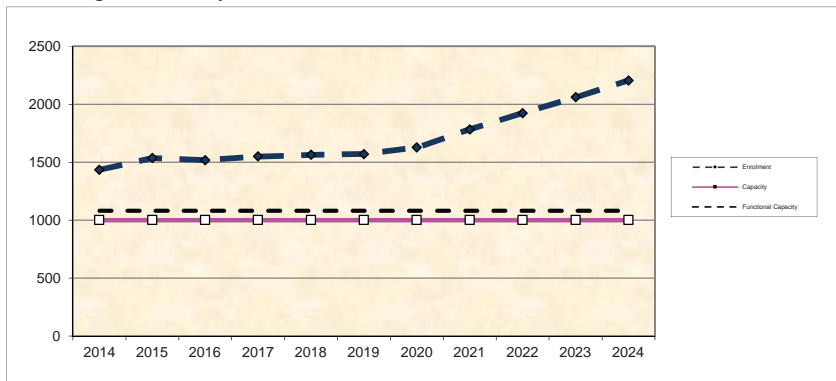
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

There are no capital projects proposed for Hyland Elementary. There is extreme enrolment pressure at Sullivan Heights Secondary and the school is on an extended day schedule, has 14 portables on-site and was capped in September 2016 (meaning all new in-catchment registrants were held on a waitlist and only allowed in as space permitted). A 700 student addition to Sullivan Heights Secondary is an approved capital project which is in planning stage timing of the addition is subject to final project agreement with the Ministry.

Hyland Elementary



Sullivan Heights Secondary

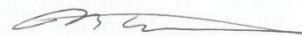


*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

Table 4. Tree Preservation Summary

TREE PRESERVATION SUMMARY	
Surrey Project No:	14451, 14467, 14483, 14511 64th Ave. and 14466 65th Ave. Surrey, BC
Address:	
Registered Arborist:	Michael Coulthard Registered Professional Forester (#3772), Registered Professional Biologist (#1338), Certified Tree Risk Assessor (45), BC Parks Wildlife and Danger Tree Assessor
On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	70
Protected Trees to be Removed	53
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	17
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 4 X one (1) = 4	102
- All other Trees Requiring 2 to 1 Replacement Ratio 49 X two (2) = 98	
Replacement Trees Proposed	NA
Replacement Trees in Deficit	NA
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]*	10
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio ___ X one (1) = 0	0
- All other Trees Requiring 2 to 1 Replacement Ratio X two (2) = 0	
Replacement Trees Proposed	
Replacement Trees in Deficit	0

Summary prepared and submitted by:



April 25, 2017

Arborist

Date

*This includes only inventoried windfirm boundary trees and hazard trees in the SPEA.

Present:

Chair – L. Mickelson
M. Enns
S. Forrest
K. Johnston
M. Lesack
A. Scott
R. Solivar
M. Younger

Guests:

B. Weih, Wensley Architecture Ltd.
M. Mitchell, M2 Landscape Architecture Ltd.
M. Dembek, Barnett Dembek Architects Inc.
S. Chan, Ionic Architecture Inc.
C. Kavolinas, C. Kavolinas & Associates Inc.
L. Barnett, Barnett Dembek Architects Inc.
M. Chan, PMG Landscape Architects

Staff Present:

M. Rondeau, Acting City Architect, Planning & Development
N. Chow, Urban Designer, Planning & Development
L. Luaifoa, Legislative Services

B. NEW SUBMISSIONS

2. **5:15 PM**

File No.:	7915-0425-00
New or Resubmit:	New
Last Submission Date:	N/A
Description:	NCP Amendment, Rezoning and DP to permit two single-storey, multi-tenant, commercial buildings. DVP is required to reduce the minimum setback from top-of-bank for a Class A (red-coded) watercourse.
Address:	14451/14467/14483/14511 – 64 Avenue
Developer:	Sunmark Developments Inc.
Architect:	Maciej Dembek, Barnett Dembek Architecture Inc.
Landscape Architect:	Meredith Mitchell, M2 Landscape Architecture
Planner:	Misty Jorgensen
Urban Design Planner:	Nathan Chow

The **Urban Design Planner** noted that the City is generally in support of the use, form and density of this project and have no specific issues.

The **Project Architect** presented an overview of the revised site plan, building plans and elevations and highlighted the following:

- There is a creek behind the site which became the impetus for the wave feature on the buildings.
- There is shared driveway right of ways with the adjacent gas station to the west.
- Primary commercial frontage proposed along 64th Avenue with walk around from the parking.

The **Landscape Architect** presented the landscape plans.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

NCP Amendment, Rezoning and DP to permit two single-storey, multi-tenant, commercial buildings. DVP is required to reduce the minimum setback from top-of-bank for a Class A (red-coded) watercourse.

File No. 7915-0425-00

It was

Moved by A. Scott

Seconded by K. Johnston

That the Advisory Design Panel (ADP) is not in support of the project as presented and recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department and re-submit to the ADP for review.

Carried

STATEMENT OF REVIEW COMMENTS

Site

- The proposed loading bay is too tight and should be moved away from the residential. (Loading stall not likely required in Parking By-Law for this proposal.) **Per ADP recommendation, the loading bay is moved to the west side of the project site against the existing commercial development, and is perpendicular to the drive aisle as opposed to parallel**
- Recommend re-location of garbage off of the main access. **The garbage / recycling is moved eastwards, beside the new loading bay.**
- Consideration pedestrian link the residential (townhouse site). **The turn around bay is moved to a position by the fire truck turn around on the residential site. A pedestrian connection with gate and arbour is added at this location.**

Building Form and Character

- A number of suggestions were made related to refinement of the wave building treatment:
 - The proportion of the wave and canopy on top of the building seems heavy; **The parapet is dropped 3' lower, and alternating masonry bays are revised to climb higher up the elevations rising and falling with the parapet waves.**
 - There are too many materials and colours breaking up the top piece **The masonry is revised to a white ledgestone to complement the light tone of the wave as opposed to contrast with it. The wave is reduced to the light grey tone only, with the blue wave riding the top edge.**
 - The canopy angle/shape appears contradictory and does not relate to the doors below. **The angled canopy is removed and replaced with a horizontal canopy that rides up and down with the parapet wave over the masonry wall finish below. Individual door bays are capped with the horizontal canopy segments, bay by bay.**

- The wave parapet appears a bit relentless and could be more playful. At the driveway opening from 64th, this could be a stronger piece. **As stated, the wall treatment and horizontal glazed canopies are refined to ride up and down with the wave, better integrating the wave form into the overall architectural vocabulary. On the building sides along the entry, a coping and darker upstand wall treatment are added over the masonry pilasters.**
- **Improve the material treatment of the rear of commercial units. Sidelight and transom glazing is added beside and above the rear doors.**

Landscaping

- Consider building “flow” thematic to be mimicked in paring accents (i.e. blue wave/riparian).

Sustainability

- Recommended Bioswales be wider as 4.5 feet seems narrow for tree and shrub plants, slope and water retention. **Wheel stops are placed at 16’ stall length and the remaining 2’ of parking stall is given over to the rain garden bioswales. The front ends of vehicles, up to the wheels, are therefore permitted to overhang a portion of the water retention surfaces.**
- Recommend integrating storm water management with the adjacent site, if possible. **Due to the fact these will become 2 separate lots and strata groups, this will be too complex and fraught with potential problems. Each site with have separate storm water retention and management strategies.**
- Investigate potential for integrating south canopy for use as solar shade. **The glazing is frosted to disperse ultra violet light and provide diffused natural lighting.**
- Consider how vestibules can be accommodated for CRU spaces and above Energy Code requirements. **Vestibules are dotted in on every second commercial retail unit, per paired floor levels.**

Accessibility

- Recommend power doors for commercial entrances. **Power doors are to be provided per BCBC requirements, which depend on the occupancy. They will be provided with Tenant Improvements as required.**
- Reconsider the disabled parking and consider an additional parking stall if the demand is there. **The 2 disabled parking stalls are moved to the entry drive aisle location to be as close as possible to the front of the building, and the corresponding unit entries.**

CPTED

- No comments provided specific to CPTED.

D. NEXT MEETING

The next Advisory Design Panel is scheduled for **Thursday, July 13, 2017**.

E. ADJOURNMENT

The Advisory Design Panel meeting adjourned at 8:35 p.m.

Jane Sullivan, City Clerk

Julien Leger, Chairman
Advisory Design Panel

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7915-0425-00

Issued To: 1051980 B.C. LTD.

(the "Owner")

Address of Owner: 5566 – 120 Street
Surrey, BC V3X 1Z3

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 012-129-097

Lot 34 Section 15 Township 2 New Westminster District Plan 1378

14467 – 64 Avenue

Parcel Identifier: 005-229-049

Lot 35 Except: Part Dedicated Road on Plan BCP13663; Section 15 Township 2 New Westminster District Plan 1378

14483 – 64 Avenue

Parcel Identifier: 008-131-112

Lot 36, Except Part Dedicated Road on Plan BCP12009, Section 15 Township 2 New Westminster District Plan 1378

14511 – 64 Avenue

Parcel Identifier: 026-673-894

Lot 2 Section 15 Township 2 New Westminster District Plan BCP23422

14451 – 64 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
-

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Section F. of Part 35, Neighbourhood Commercial Zone (C-5), the minimum front yard (south) setback is reduced from 7.5 metres (25 ft.) to 3.5 metres (12 ft.);
- (b) In Section F. of Part 35, Neighbourhood Commercial Zone (C-5), the minimum side yard (east) setback is reduced from 7.5 metres (25 ft.) to 3.6 metres (12 ft.);
- (c) In Section F. of Part 22, Multiple Residential (30) Zone (RM-30), the minimum front yard (south) setback is reduced from 7.5 metres (25 ft.) to 4.7 metres (15 ft.) to the top floor bay, 5 metres (16 ft.) to the building face and 3.5 metres (12 ft.) to the nearest porch post for Building 1 and 8;
- (d) In Section F. of Part 22, Multiple Residential (30) Zone (RM-30), the minimum front yard (south) setback is reduced from 7.5 metres (25 ft.) to permit various setbacks of not less than 6.8 metres (22 ft.) to the top floor bay, 7.1 metres (23 ft.) to the building face and 5.5 metres (18 ft.) to the nearest deck post for Buildings 5, 6 and 7;
- (e) In Section F. of Part 22, Multiple Residential (30) Zone (RM-30), the minimum side yard (east) setback is reduced from 7.5 metres (25 ft.) to permit various setbacks of not less than 5.4 metres (18 ft.) to the top floor bay, 6 metres (20 ft.) to the building face and 4 metres (13 ft.) to the nearest deck post for Building 1 and 2;
- (f) In Section F. of Part 22, Multiple Residential (30) Zone (RM-30), the minimum side yard (west) setback is reduced from 7.5 metres (25 ft.) to permit various setbacks of not less than 7 metres (23 ft.) to the top floor bay and 5.7 metres (19 ft.) to the nearest deck post for Building 8 as well as 7 metres (23 ft.) to the electrical room for Building 5;
- (g) In Section F. of Part 22, Multiple Residential (30) Zone (RM-30), the minimum rear yard (north) setback is reduced from 7.5 metres (25 ft.) to permit various setbacks of not less than 4 metres (13 ft.) to the top floor bays, 4.6 metres (15 ft.) to the building face and 2.7 metres (9 ft.) to the nearest deck post for Buildings 2, 3 and 4 as well as 2.65 metres (9 ft.) to the electrical room for Building 1.
- (h) In Section H.3. of Part 22, Multiple Residential (30) Zone (RM-30), two visitor parking spaces are permitted within the minimum required front (south) yard setback of the townhouse development between Building 6 and 7; and

- (i) In the table in Section B.1 of Part 7A, Streamside Protection, the minimum setback measured from top-of-bank for a Class A watercourse is reduced from 30 metres (98 ft.) to 13 metres (43 ft.), at the closest point, to accommodate the proposed development.
5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

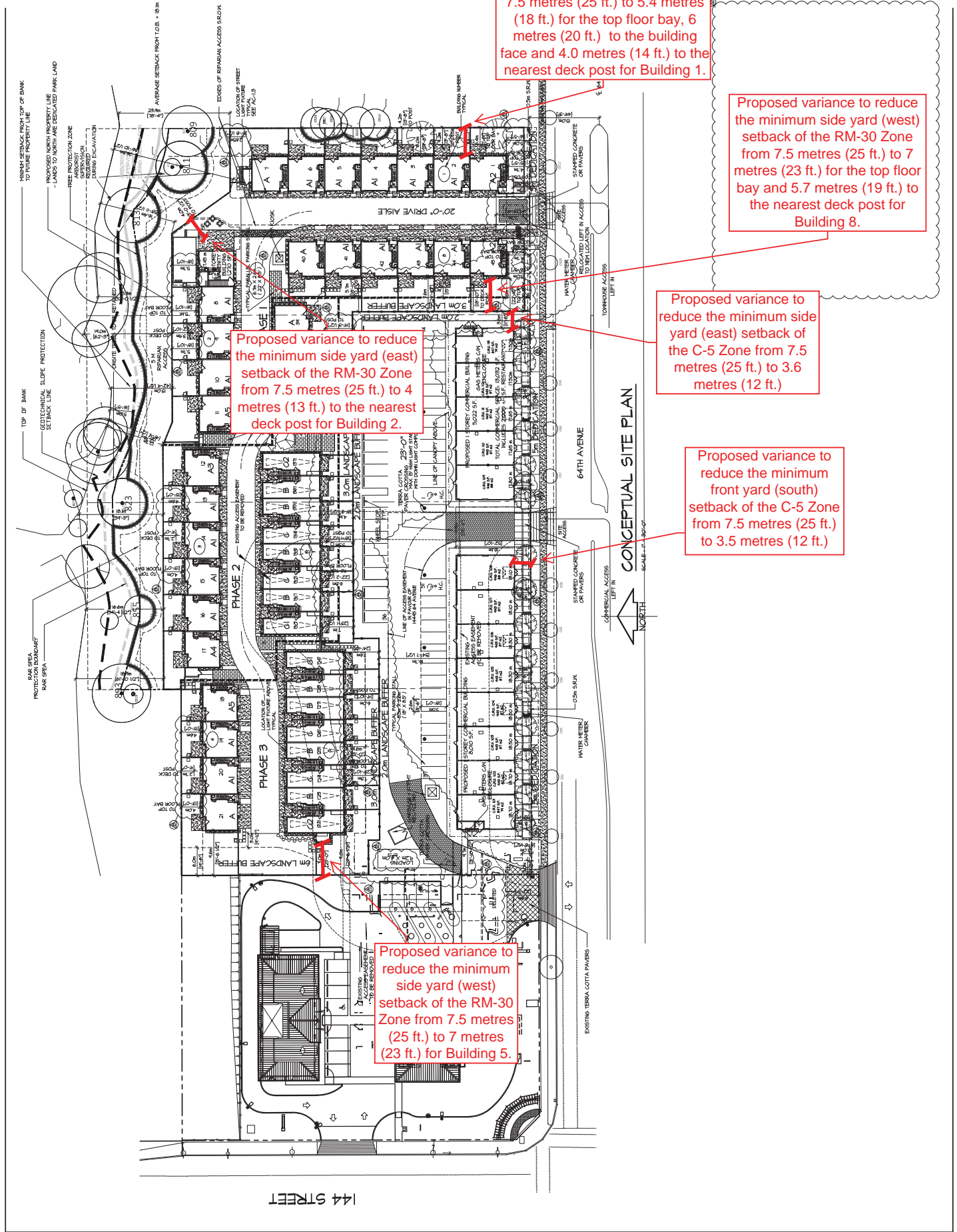
Schedule A

CONCEPTUAL SITE PLAN
SCALE: 1" = 30'-0"

PROJECT: 14451/14467/
CLIENT: SUNMARK DE
barnett
UNIT 136
7336 130 STR
SURREY, B.C.
V3W 1H6
PHONE: (604) 441-1100
FAX: (604) 441-1101
EMAIL: info@barnett.ca
CLIENT NO.
PROJECT NO. 15023

REV	DATE	DRN	CHK	APPR	ISSUE
01	JAN 2017	DK	MB		PERM APP COMMENTS
02	MAY 2017	DK	MB		REVISED PER CITY COMMENTS

CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES AND THE LOCATION OF ANY WATER MAINS OR SEWER MAINS BEFORE ANY CONSTRUCTION BEGINS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY AND FOR OBTAINING ALL NECESSARY ACCESS FROM ADJACENT PROPERTY OWNERS.



Proposed variance to reduce the minimum side yard (east) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 5.4 metres (18 ft.) for the top floor bay, 6 metres (20 ft.) to the building face and 4.0 metres (14 ft.) to the nearest deck post for Building 1.

Proposed variance to reduce the minimum side yard (west) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 7 metres (23 ft.) for the top floor bay and 5.7 metres (19 ft.) to the nearest deck post for Building 8.

Proposed variance to reduce the minimum side yard (east) setback of the C-5 Zone from 7.5 metres (25 ft.) to 3.6 metres (12 ft.)

Proposed variance to reduce the minimum front yard (south) setback of the C-5 Zone from 7.5 metres (25 ft.) to 3.5 metres (12 ft.)

Proposed variance to reduce the minimum side yard (east) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4 metres (13 ft.) to the nearest deck post for Building 2.

Proposed variance to reduce the minimum side yard (west) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 7 metres (23 ft.) for Building 5.

144 STREET

CONCEPTUAL SITE PLAN
SCALE: 1" = 30'-0"



LEFT IN

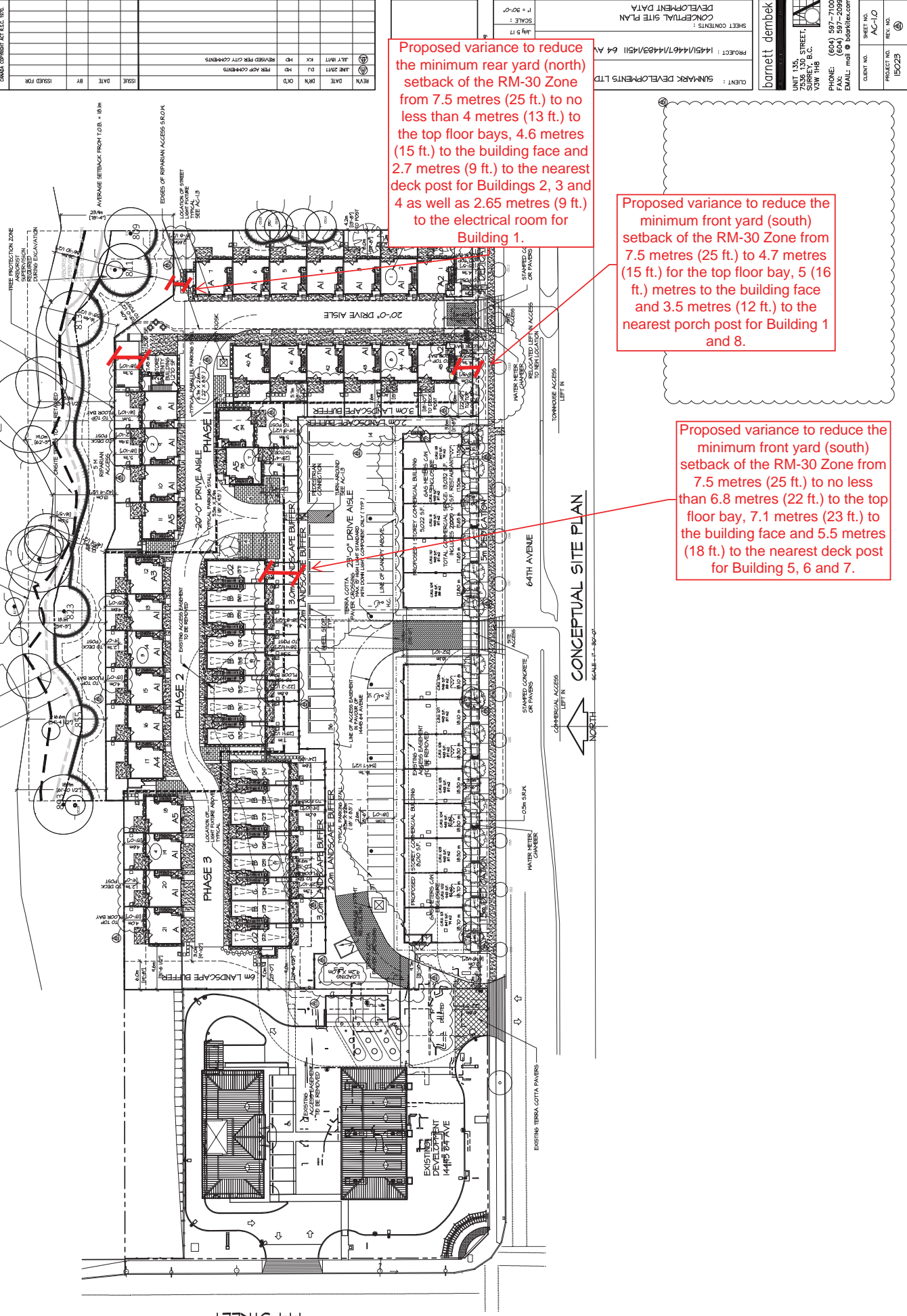
64TH AVENUE

20'-0" DRIVE AISLE

CONCEPTUAL SITE PLAN
SCALE: 1:1000

144 STREET
64TH AVENUE

CONCEPTUAL SITE PLAN
SCALE: 1:1000



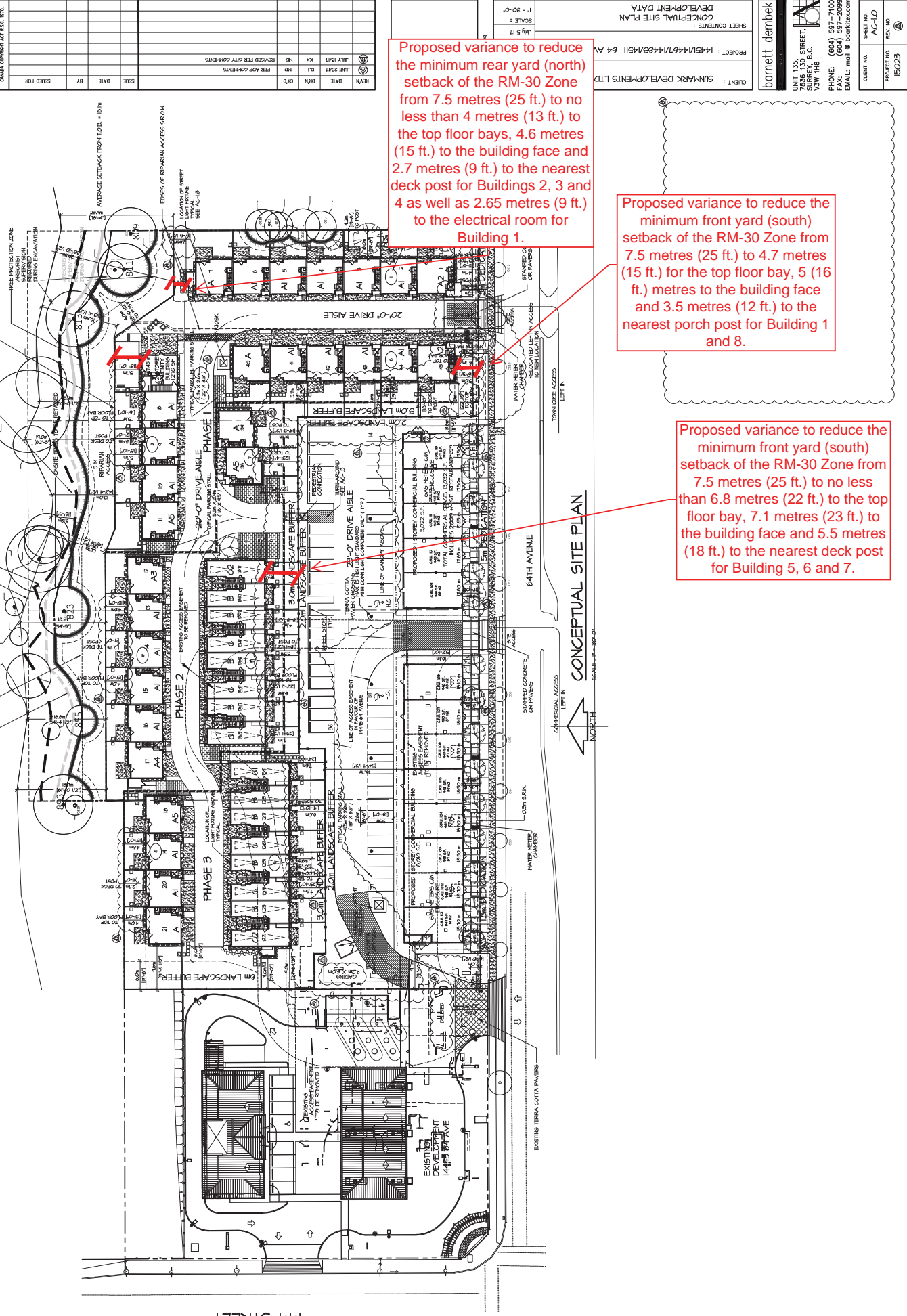
Proposed variance to reduce the minimum rear yard (north) setback of the RM-30 Zone from 7.5 metres (25 ft.) to no less than 4 metres (13 ft.) to the top floor bays, 4.6 metres (15 ft.) to the building face and 2.7 metres (9 ft.) to the nearest deck post for Buildings 2, 3 and 4 as well as 2.65 metres (9 ft.) to the electrical room for Building 1.

Proposed variance to reduce the minimum front yard (south) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.7 metres (15 ft.) for the top floor bay, 5 (16 ft.) metres to the building face and 3.5 metres (12 ft.) to the nearest porch post for Building 1 and 8.

Proposed variance to reduce the minimum front yard (south) setback of the RM-30 Zone from 7.5 metres (25 ft.) to no less than 6.8 metres (22 ft.) to the top floor bay, 7.1 metres (23 ft.) to the building face and 5.5 metres (18 ft.) to the nearest deck post for Building 5, 6 and 7.

CONCEPTUAL SITE PLAN
SCALE: 1:1000

144 STREET
64TH AVENUE



Proposed variance to reduce the minimum rear yard (north) setback of the RM-30 Zone from 7.5 metres (25 ft.) to no less than 4 metres (13 ft.) to the top floor bays, 4.6 metres (15 ft.) to the building face and 2.7 metres (9 ft.) to the nearest deck post for Buildings 2, 3 and 4 as well as 2.65 metres (9 ft.) to the electrical room for Building 1.

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Proposed variance to reduce the minimum front yard (south) setback of the RM-30 Zone from 7.5 metres (25 ft.) to no less than 6.8 metres (22 ft.) to the top floor bay, 7.1 metres (23 ft.) to the building face and 5.5 metres (18 ft.) to the nearest deck post for Building 5, 6 and 7.

CONCEPTUAL SITE PLAN
SCALE: 1:1000

REV#	DATE	BY	CHKD	DESCR	ISSUED FOR

UNIT: 1:36
7236 130 STREET
SURREY, B.C.
V3N 1H6
PHONE: (604) 597-7100
(604) 597-2089
FAX: (604) 597-2089
EMAIL: info@dembeck.com

CLIENT: SINMARK DEVELOPMENTS LTD.
PROJECT: 145/146/147/148/149/150/151/152/153/154/155/156/157/158/159/160/161/162/163/164/165/166/167/168/169/170/171/172/173/174/175/176/177/178/179/180/181/182/183/184/185/186/187/188/189/190/191/192/193/194/195/196/197/198/199/200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500

THE CLIENT HAS REVIEWED AND APPROVED THE CONCEPTUAL SITE PLAN FOR THE DEVELOPMENT OF THE PROJECT. THIS PLAN IS SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY AND IS NOT TO BE USED FOR CONSTRUCTION OR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE CLIENT. THE CLIENT IS NOT RESPONSIBLE FOR ANY DAMAGE TO ANY ADJACENT PROPERTY OR FOR ANY COSTS INCURRED BY ANY PARTY IN CONNECTION WITH THIS PLAN.

REV	DATE	BY	ISSUED FOR

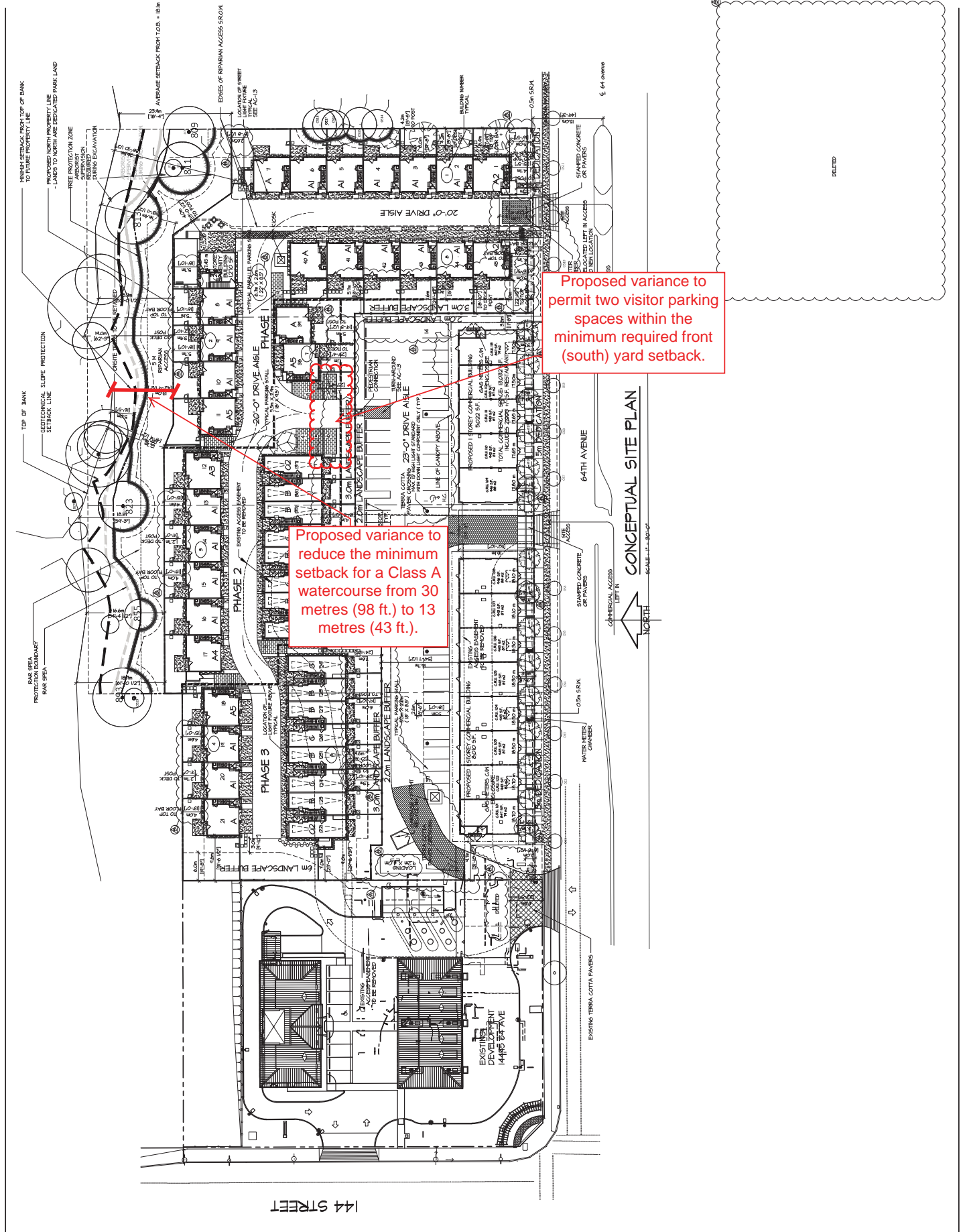
REV	DATE	BY	ISSUED FOR

REV	DATE	BY	ISSUED FOR

REV	DATE	BY	ISSUED FOR

CLIENT: SUNMARK DEVELOPMENTS LTD.
 SHEET CONTENTS: CONCEPTUAL SITE PLAN
 DEVELOPMENT DATA
 SCALE: 1" = 30'-0"
 DATE: JUL 5 17
 DRAWN BY: [Signature]
 DESIGN: [Signature]

barnett dembek
 UNIT 135
 7236 130 STREET
 SURREY, B.C.
 V3W 1H6
 PHONE: (604) 597-7100
 FAX: (604) 597-2089
 EMAIL: info@barnettdembek.com
 CLIENT NO. AC-10
 PROJECT NO. 15023
 SHEET NO. [Blank]
 REV. NO. [Blank]



Proposed variance to permit two visitor parking spaces within the minimum required front (south) yard setback.

Proposed variance to reduce the minimum setback for a Class A watercourse from 30 metres (98 ft.) to 13 metres (43 ft.).

CONCEPTUAL SITE PLAN
 SCALE: 1" = 30'-0"
 NORTH