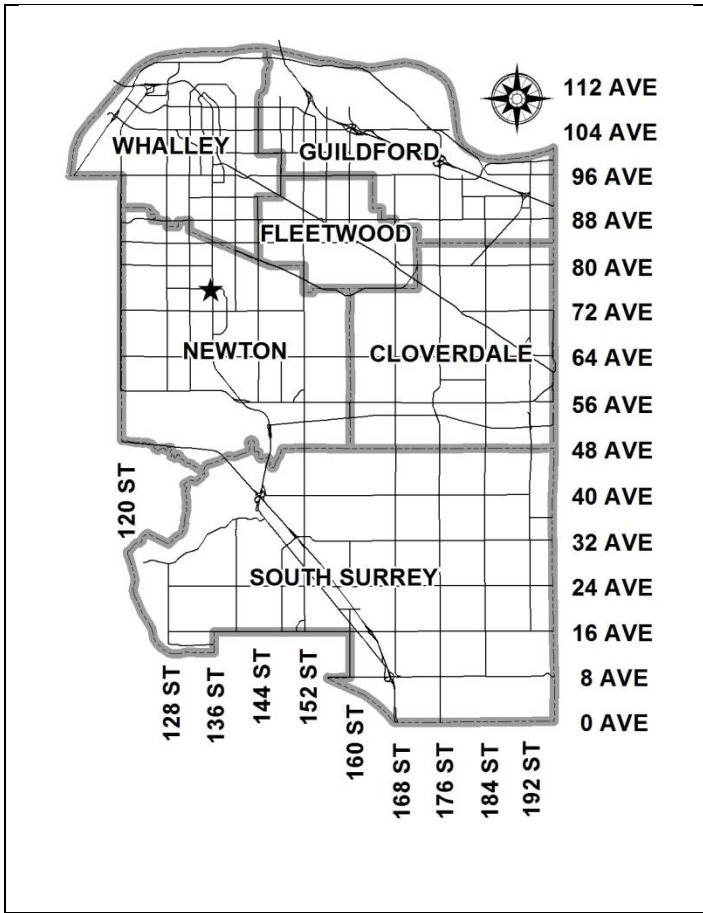


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7915-0418-00

Planning Report Date: September 12, 2016



**PROPOSAL:**

- **Development Permit**
- **Development Variance Permit**

to permit an expansion of the existing Vancity Credit Union.

**LOCATION:** 7555 King George Boulevard  
 (7577 King George Boulevard)

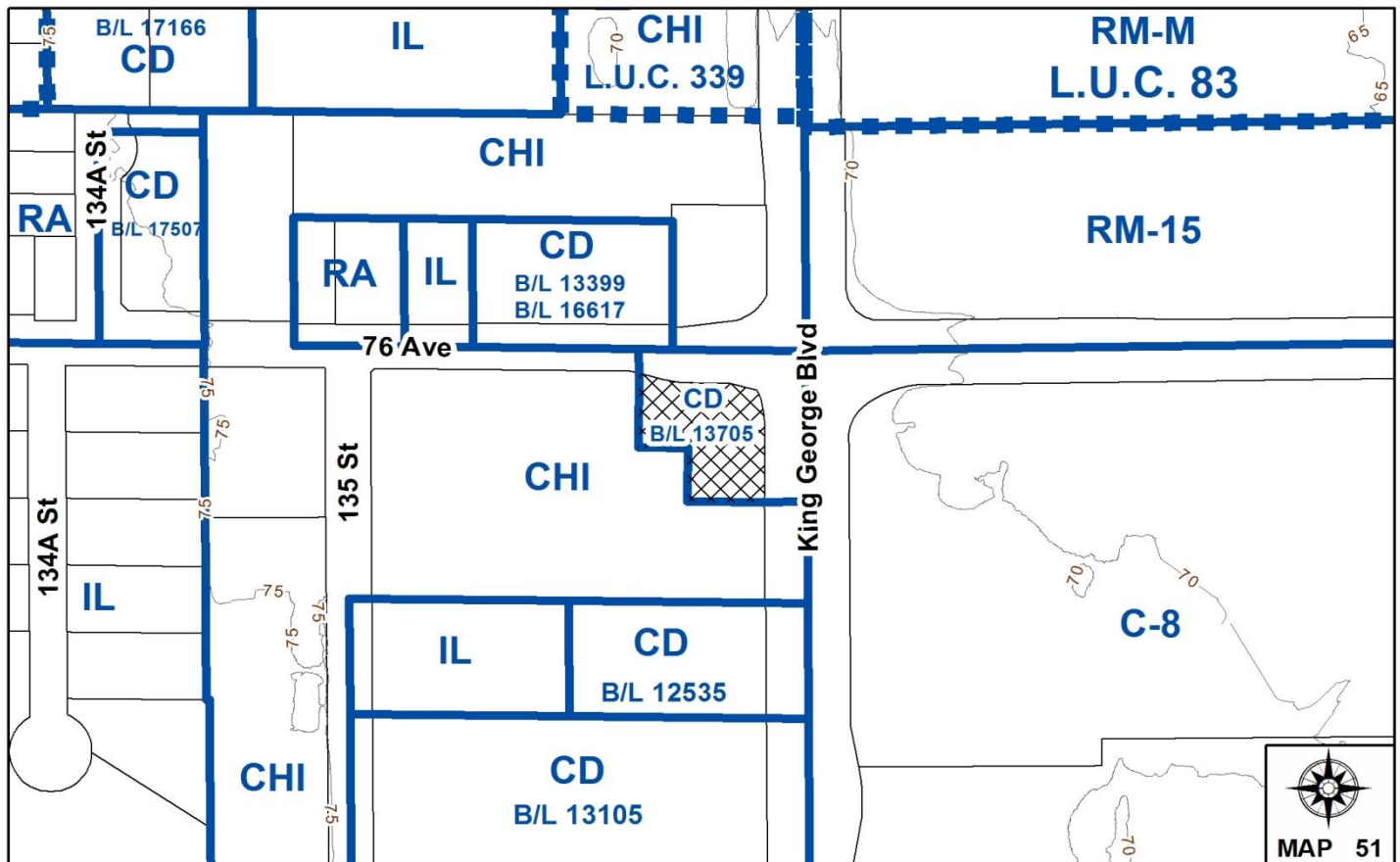
**OWNER:** Surrey-West Business Park Inc.

**ZONING:** CD By-law (No. 13705)

**OCP DESIGNATION:** Mixed Employment

**NEWTON TOWN CENTRE PLAN DESIGNATION:** Mass Merchandising

**DESIGNATION:**



### RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.
- Approval to vary the Sign By-law through a comprehensive sign design package.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is requesting to vary the required rear yard setback (west) of the CD Zone (By-law No. 13705) from 1.75 metres (5.7 ft.) to 1.6 metres (5 ft.) and to vary the maximum permitted lot coverage from 50% to 90%.
- The applicant is seeking to relax Part 7 Special Building Setbacks of the Zoning By-law, to reduce the sum of one-half of the ultimate highway allowance for King George Boulevard and front yard setback for the existing Vancity Credit Union building from 22.75 metres (74.6 ft.) to varying widths between 19.35 metres (63.5 ft.) to 19.78m (64.9 ft.).
- The applicant is also proposing to increase in the number of permitted fascia signs for one tenant, with two (2) signs located on the same façade for both the south and west façades, and to increase the maximum allowable combined fascia sign area for the existing Vancity Credit Union.

### RATIONALE OF RECOMMENDATION

- The proposed addition will be architecturally incorporated into the west side of the existing Vancity building. The design will complement the existing building and will provide an appropriate interface with surrounding uses.
- The site functions as part of a larger commercial centre that includes the Canadian Tire on the westerly adjacent site.
- The owner will register a statutory-right-of-way and Section 219 Restrictive Covenant in favour of the City of Surrey for future road widening and utilities along King George Boulevard.
- The existing drive-through automated teller machine is proposed to be removed to accommodate the addition.
- The proposed fascia signage consists of high-quality, durable materials and is comprehensively designed to match the previously-approved signage for the existing Vancity Credit Union building on the subject site.
- A previously approved Development Permit (No. 7996-0176-00) permitted a total of five (5) fascia signs for the Vancity Credit Union building. The applicant is now proposing one (1) additional fascia signs for a total six (6) fascia signs, all of which are high-quality, and are of an appropriate size and scale for the existing building.

- An increase to the maximum allowable sign area, to accommodate the six (6) proposed fascia signs, will allow corresponding signage on the east, west and south building elevations of the Vancity Credit Union building. The proposed fascia signage is well-coordinated and integrated with the architecture of the building.
- The proposal complies with the site's Official Community Plan (OCP) designation.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
2. Council authorize staff to draft Development Permit No. 7915-0418-00 generally in accordance with the attached drawings (Appendix III).
3. Council approve Development Variance Permit No. 7915-0418-00 (Appendix VI) varying the following, to proceed to Public Notification:
  - (a) To vary the required rear yard (west) setback of the CD Zone (By-law No. 13705) from 7.5 metres (25 ft.) to 1.6 metres (5 ft.);
  - (b) To relax Part 7 Special Building Setbacks of the Zoning By-law to reduce the sum of one-half of the ultimate highway allowance for King George Boulevard and front yard setback for the existing Vancity Credit Union building from 22.75 metres (74.6 ft.) to varying widths between 19.35 metres (63.5 ft.) to 19.78m (64.9 ft.); and
  - (c) to increase the maximum lot coverage permitted under CD By-law No. 13705 from 50% to 90%.
4. Council instruct staff to resolve the following issues prior to Development Permit approval:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (c) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (e) modification of existing parking and access agreements to the satisfaction of the Planning and Development and the Engineering Departments; and
  - (f) registration of a statutory-right-of-way and Section 219 Restrictive Covenant in favour of the City of Surrey for future road widening and utility connections along King George Boulevard in form acceptable to the City of Surrey.

REFERRALS

Engineering: The Engineering Department has no objection to the project, subject to the completion of Engineering servicing requirements, as outlined in Appendix IV.

SITE CHARACTERISTICS

Existing Land Use: A one-storey multi-tenant commercial building (office and restaurant uses) and a one-storey Vancity Credit Union.

Adjacent Area:

<b>Direction</b>	<b>Existing Use</b>	<b>OCP/Town Centre Plan Designation</b>	<b>Existing Zone</b>
North (Across 76 Avenue):	Multi-tenant commercial buildings.	Mixed Employment / Mass Merchandising	CD (By-law Nos. 13399 & 16617)/ CHI
East (Across King George Boulevard):	Great Canadian Superstore.	Commercial/ Mass Merchandising	C-8
South of parking:	Multi-tenant commercial buildings.	Mixed Employment / Mass Merchandising	CD By-law (No. 12535) / IL
West:	Canadian Tire store.	Mixed Employment/ Mass Merchandising	CHI

DEVELOPMENT CONSIDERATIONS

- The 0.25 hectare (0.6 acre) subject site is located at the corner of 76 Avenue and King George Boulevard. The site contains an existing one-storey multi-tenant commercial building containing an office and a restaurant, which fronts onto 76 Avenue, and a separate existing one-storey Vancity Credit Union, fronting King George Boulevard.
- The applicant is proposing a 186 square metre, (2,002 sq. ft.) addition to the Vancity Credit Union along the west side of the existing building.
- The subject site is currently zoned Comprehensive Development (CD By-law No. 13705) and is designated Mixed Employment in the Official Community Plan (OCP).
- A Development Variance Permit is proposed for reduced setbacks, to increase the maximum lot coverage and for additional signage.

- Under Part 1 Introductory Provisions, Section 9 Variance of Sign By-law No. 13656, Council may grant variances to the Sign By-law through the approval of a Development Permit. This is considered when a Development Permit application, such as the current proposal, has been submitted to Council that includes a comprehensive sign design package containing a sign or signs that require a variance of Sign By-law provisions.
- There are existing parking and access easements registered between the subject site and the Canadian Tire site to the west (7599 King George Boulevard) which provide sufficient parking for all of the uses on both sites. An amendment to the existing parking and access easements is required as part of the subject application to reflect the change in the parking layout.
- The existing drive-through automated teller machine is proposed to be removed to accommodate the addition.
- With the addition, the building will have a total floor area of approximately 757 square metres (8,148 sq.ft.), representing a net floor area ratio (FAR) of 0.5, which is within the allowable FAR of 1.0 in the CD Zone (By-law No. 13705).

#### King George Boulevard Road ROW

- The siting of the existing Vancity Credit Union building is in accordance with Development Variance Permit No. 7996-0176-00, which was issued on December 15, 1997 and varied the setback along King George Boulevard from 7.5 metres (25 ft.) to 1.75 metres (5.7 ft.). Since that time, Part 7 Special Building Setbacks were added to the Zoning By-law.
- The existing property line is 18.3 metres (60 ft.) from the centreline of King George Boulevard. Future road widening along King George Boulevard will result in an ultimate property line that is 2.7 metres (9 ft.) west of the existing property line. Given the ultimate right-of-way that is required along this portion of King George Boulevard (42 metres / 140 ft.), the existing Vancity building and free-standing sign will be located within the ultimate right-of-way. The existing building and free-standing sign were previously approved in April, 1998, under Development Permit No. 7996-0176-00.
- No addition is proposed along the east façade (King George Boulevard) as part of the current application with the expansion proposed on the external (west) portion of the site, away from the street. The existing building and sign are considered legally non-confirming relative to the future road right-of-way requirements.
- The owner will register a statutory-right-of-way and Section 219 Restrictive Covenant in favour of the City of Surrey for future road widening and utilities along King George Boulevard.

#### TREES

- Glenn Murray, ISA Certified Arborist of Froggers Creek Tree Consultants Ltd., prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Deciduous Trees</b> (excluding Alder and Cottonwood Trees)			
Pin Oak	3	0	3
<b>Total</b> (excluding Alder and Cottonwood Trees)	<b>3</b>	<b>0</b>	<b>3</b>
<b>Total Replacement Trees Proposed</b> (excluding Boulevard Street Trees)			
		<b>0</b>	
<b>Total Retained and Replacement Trees</b>		<b>3</b>	

- The Arborist Assessment states that there are a total of 3 protected trees on the site, excluding Alder and Cottonwood trees. It was determined that all 3 trees can be retained as part of this development proposal.

#### DESIGN PROPOSAL AND REVIEW

- The existing Vancity building has a gross floor area of 571 square metres (6,146 sq. ft.).
- The proposed addition, totaling 186 square metres, (2,002 sq. ft.) will be located to the west of the existing Vancity building, and will contain 7 offices, an equipment room and various banking-related services.

#### Building Design

- The existing one-storey building was constructed in the late 1990s and is comprised of aluminum cladding, ceramic tile, cement fibreboard and glass.
- The one-storey addition is proposed at the west side of the existing Vancity building and will be both complementary and architecturally integrated into the existing building form. Materials will match those on the existing building.
- Skylights are proposed to be installed in the roof of the addition as well as the existing building to bring natural light into the interior.

#### Proposed Fascia Signs

- The proposed fascia signage consists of two (2) non-illuminated sign bands along the west and south façades and four (4) “Vancity” signs consisting of single-face illuminated channel letters.
- The sign bands include the Vancity tag line “Make Good Money” and the Newton Community Branch and credit union affiliates” and are approximately 0.7 metres (2.3 ft.) high and 6.7 metres (22 ft.) in length.
- The illuminated channel letter signs are approximately 1.1 metres (3.6 ft.) high and 3.7 (12 ft.) in length.

- The combined sign area of all six (6) fascia signs is approximately 26 square metres (85 sq. ft.), which exceeds the maximum sign area of 22 square metres (73 sq. ft.) permitted under the Sign By-law based on the length of the premise frontage of the Vancity Credit Union.
- No additional signs are proposed along King George Boulevard.

### Landscaping

- The existing landscaping along King George Boulevard, comprised of trees, hedges and low shrubs, is proposed to be retained.
- A new landscape bed is proposed along the west property line consisting of a variety if shrubs, including evergreen huckleberry, rhododendron, leather leaf sedge and various grasses.
- A bike rack is proposed to be installed in the plaza at the entrance to the building.
- Sandblasted, saw-cut concrete paving is proposed around the building and at the entrance plaza.

### Parking

- The Zoning By-law requires 53 parking spaces be provided to accommodate the office, restaurant and credit union uses on the subject site.
- Currently, there are 229 parking spaces located on the subject site and the adjacent Canadian Tire site (7955 King George Boulevard). Existing parking and access easements registered between the subject site and the adjacent site provide sufficient parking for all of the uses on both sites.
- The proposed addition will eliminate some of the existing parking spaces, resulting in a total of 224 parking spaces over both sites, which will provide sufficient parking for all of the uses on both sites.
- An amendment to the existing parking and access easements is required as part of the subject application to reflect the change in the parking layout.

### SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on November 19, 2015. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>• The subject site is located in the Newton Town Centre Plan.</li> <li>• The subject site is designated Mixed Employment in the OCP.</li> </ul>
2. Density & Diversity	<ul style="list-style-type: none"> <li>• Proposed gross density is 0.5 FAR.</li> </ul>



Sustainability Criteria	Sustainable Development Features Summary
(B1-B7)	
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>• N/A</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>• Electric vehicle plug-ins are proposed.</li> <li>• A bike rack is proposed.</li> <li>• Direct pedestrian linkage is proposed to a transit stop on King George Boulevard.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>• The removal of overgrown vegetation will allow for better sight lines across the site.</li> <li>• The proposed addition will improve the pedestrian access points close to the building entrance.</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>• N/A</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>• N/A</li> </ul>

#### ADVISORY DESIGN PANEL

The application was not referred to the ADP for review. The design and landscaping plans were reviewed by staff and found to be generally acceptable.

#### BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To vary the required rear yard (west) setback of the CD Zone (By-law No. 13705) from 7.5 metres (25 ft.) to 1.6 metres (5 ft.).

Applicant's Reasons:

- The proposed addition can only be accommodated along the west or side of the building.

Staff Comments:

- The rear lot line is internal and located adjacent to the existing parking area. While technically the internal property line separates the subject site and the existing Canadian Tire site, in practice this area functions as one development with shared parking between the buildings and uses.

(b) Requested Variance:

- To increase the maximum lot coverage permitted by CD By-law No. 13705 from 50% to 90%.

## Applicant's Reasons:

- The proposed addition to the existing Vancity Credit Union complies with the site's Mixed Employment OCP designation.

## Staff Comments:

- The site functions as part of a larger commercial centre that includes the Canadian Tire on the westerly adjacent site.
- The lot coverage is appropriate for this mixed-employment site.
- Parking is shared between both lots and there is sufficient parking for all of the uses on both sites.
- Landscaping is proposed along the west property line to improve the overall commercial centre.

## (c) Requested Variance:

- To relax Part 7 Special Building Setbacks of the Zoning By-law, to reduce the sum of one-half of the ultimate highway allowance for King George Boulevard and front yard setback for the existing Vancity Credit Union building from 22.75 metres (74.6 ft.) to varying widths between 19.35 metres (63.5 ft.) to 19.78m (64.9 ft.).

## Applicant's Reasons:

- The siting of the existing Vancity Credit Union building is in accordance with Development Variance Permit No. 7996-0176-00, which was issued on December 15, 1997 and varied the setback along King George Boulevard from 7.5 metres (25 ft.) to 1.75 metres (5.7 ft.).

## Staff Comments:

- Part 7 Special Building Setbacks were added to the Zoning By-law after the building was sited and constructed in accordance with Development Variance Permit No. 7996-0176-00.
- Given the ultimate right-of-way that is required along this portion of King George Boulevard (42 metres / 140 ft.), the existing Vancity building and free-standing sign will be located within the ultimate right-of-way.
- The owner will register a statutory-right-of-way and Section 219 Restrictive Covenant in favour of the City of Surrey for future road widening and utilities along King George Boulevard.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
- Appendix II. Proposed Sign By-law Variances Table
- Appendix III. Survey Plan, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix IV. Engineering Summary
- Appendix V. Summary of Tree Survey and Tree Preservation
- Appendix VI. Development Variance Permit No. 7915-0418-00

*original signed by Ron Hintsche*

Jean Lamontagne  
General Manager  
Planning and Development

TH/dk



## DEVELOPMENT DATA SHEET

Existing Zoning: CD (By-law No. 13705)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>LOT AREA*</b> (in square metres)		
Gross Total		2,477.2 m <sup>2</sup>
Road Widening area		
Undevelopable area		
Net Total		2,477.2 m <sup>2</sup>
<b>LOT COVERAGE</b> (in % of net lot area)		
Buildings & Structures		50.9%
Paved & Hard Surfaced Areas		38.6%
Total Site Coverage	50%	89.5%
<b>SETBACKS</b> ( in metres)		
Front	1.75 m	1.75 m
Rear	7.5 m	1.66 m
Side #1 (North)	4.27 m	4.27 m
Side #2 (South)	7.5 m	7.5 m
<b>BUILDING HEIGHT</b> (in metres/storeys)		
Principal	9.0 m	5.11 m
Accessory	9.0 m	5.71 m
<b>NUMBER OF RESIDENTIAL UNITS</b>		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
<b>FLOOR AREA: Residential</b>		N/A
<b>FLOOR AREA: Commercial</b>		
Retail	321.5 m <sup>2</sup>	321.5 m <sup>2</sup>
Office	752.9 m <sup>2</sup>	752.9 m <sup>2</sup>
Total	1074.4 m <sup>2</sup>	1260.4 m <sup>2</sup>
<b>FLOOR AREA: Industrial</b>		
<b>FLOOR AREA: Institutional</b>		
<b>TOTAL BUILDING FLOOR AREA</b>	1074.4 m <sup>2</sup>	1260.4 m <sup>2</sup>

*\* If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

**Development Data Sheet cont'd**

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	1.0	0.5
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor	327 m <sup>2</sup>	259.5 m <sup>2</sup>
PARKING (number of stalls)		
Commercial	53	20
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional	53	20
Total Number of Parking Spaces		
Number of disabled stalls	1	1
Number of small cars	25%	13%
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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# MULTIPLE BUILDINGS DATA SHEET

Existing Zoning: CD (By-law No. 13705)

Required Development Data	Building #1	Building #2	Building #3
SETBACK (in metres)			
Front	1.75 m	7.5 m	
Rear	1.66 m	7.5 m	
Side #1 (N,S,E, or W)	7.5 m	4.27 m	
Side #2 (N,S,E, or W)	7.5 m	7.5 m	
Side #3 (N,S,E, or W)			
BUILDING HEIGHT (in metres/storeys)			
NUMBER OF RESIDENTIAL UNITS/ SIZE RANGE			
Bachelor			
One Bedroom			
Two Bedroom			
Three Bedroom +			
TOTAL FLOOR AREA			

## PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To allow four (4) additional fascia signs for a total of size (6) for the Vancity Credit Union.	A maximum of two (2) fascia signs are permitted for each premises (Part 5, Section 27(2)(a)).	There are five (5) existing fascia signs on the building, approved under Development Permit (No. 7996-0176-00). The applicant is proposing one (1) additional sign. All of the proposed fascia signs are of an appropriate size and scale in relation to the proposed building. No additional signs are proposed along King George Boulevard.
2	To allow two fascia signs to be installed on the same (south) building façade for the Vancity Credit Union.	A maximum of two (2) fascia signs are permitted provided that both of the fascia signs are not located on the same façade of the premises (Part 5, Section 27(2)(a)).	The second fascia sign proposed along the south façade consists of the Vancity Credit Union logo and is appropriate in size and scale in relation to the building.
3	To allow two fascia signs to be installed on the same (west) building façade for the Vancity Credit Union.	A maximum of two (2) fascia signs are permitted provided that both of the fascia signs are not located on the same façade of the premises (Part 5, Section 27(2)(a)).	The second fascia sign proposed along the west façade consists of the Vancity Credit Union logo and is appropriate in size and scale in relation to the building.
4	To increase the allowable sign area from 22 square metres (73 sq. ft.) to 26 square metres (85 sq. ft.).	The combined sign area of all signs on a lot, excluding free-standing signs, shall not exceed 1 sq. m. per linear metre [3 sq. ft. per linear foot] of premises frontage (Part 5, Section 27(2)(b)).	The proposed increase in the allowable sign area is minimal. The proposed fascia signage is well-coordinated and integrated with the architecture of the building, and provides a cohesive look to the building, without being excessive.

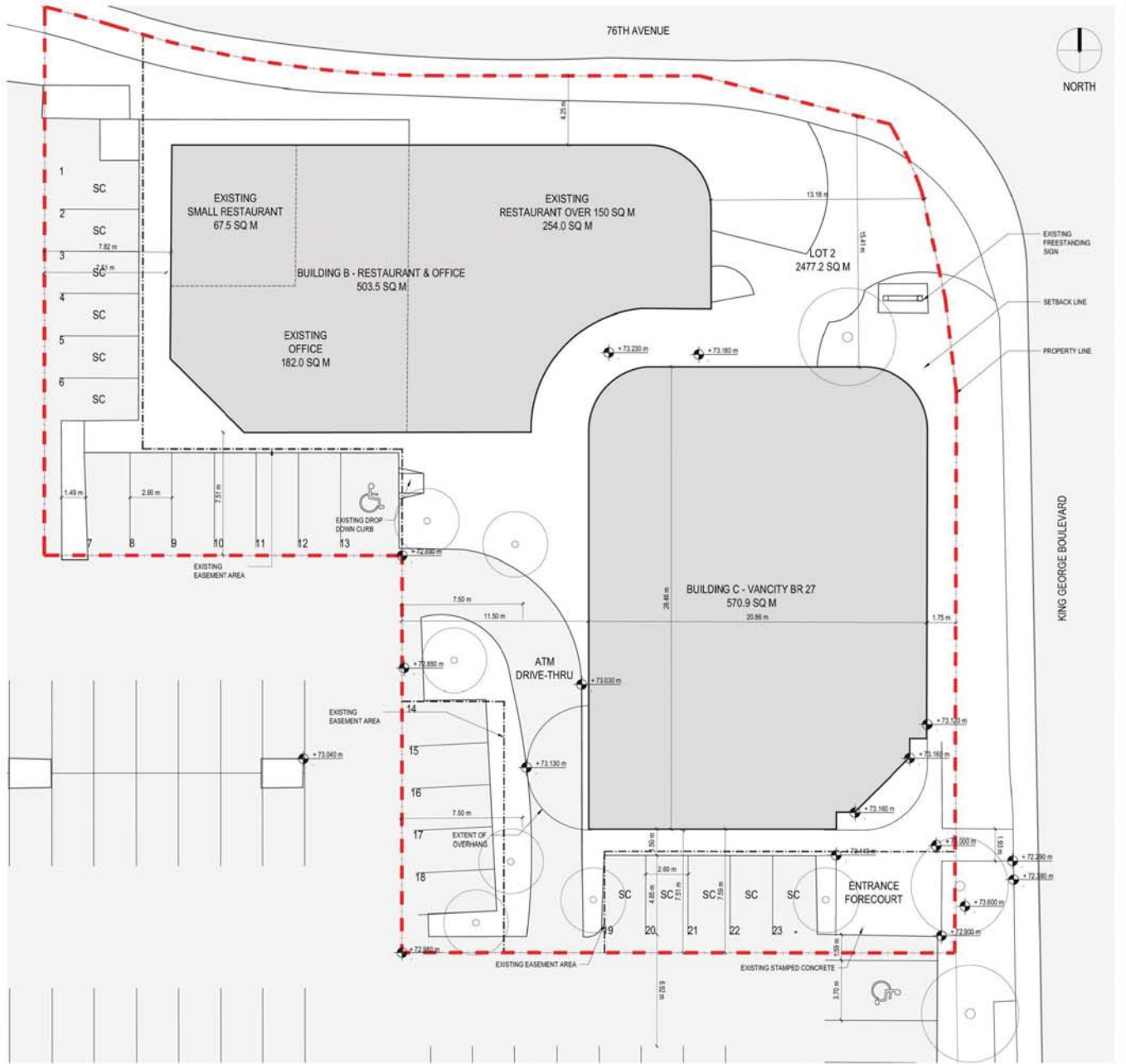




**PARKING CALCULATION**

152	BUILDING A (CANADIAN TIRE) - BYLAW PARKING REQUIREMENT
34	BUILDING B (RESTAURANT & OFFICE) - BYLAW PARKING REQUIREMENT
19	BUILDING C (VANCITY) - BYLAW PARKING REQUIREMENT
205	TOTAL BYLAW PARKING REQUIREMENT
206	BUILDING A (CANADIAN TIRE) - EXISTING PARKING
13	BUILDING B (RESTAURANT & OFFICE) - EXISTING PARKING
10	BUILDING C (VANCITY) - EXISTING PARKING
229	TOTAL EXISTING PARKING
204	BUILDING A (CANADIAN TIRE) - PROPOSED PARKING
13	BUILDING B (RESTAURANT & OFFICE) - PROPOSED PARKING
7	BUILDING C (VANCITY) - PROPOSED PARKING
224	TOTAL PROPOSED PARKING

BASED ON SURREY ZONING BYLAW UPDATED TO MAY 30, 2016



1 EXISTING SITE PLAN  
1/25

ISSUED FOR DP

DRAWING ISSUES	
2015 12 02	ISSUED FOR DP
2016 05 18	ISSUED FOR DP (R1)
2016 09 28	ISSUED FOR DP (R2)

CONSULTANT

CLIENT

**Vancity**

PROJECT

VANCITY BR27

7555 KING GEORGE BOULEVARD

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SEAL

**RATIO** ARCHITECTURE, INTERIOR DESIGN, PLANNING INC.

SHEET TITLE

EXISTING SITE PLAN

JOB NO. 8173

SCALE 1:125

DRAWN BY JC

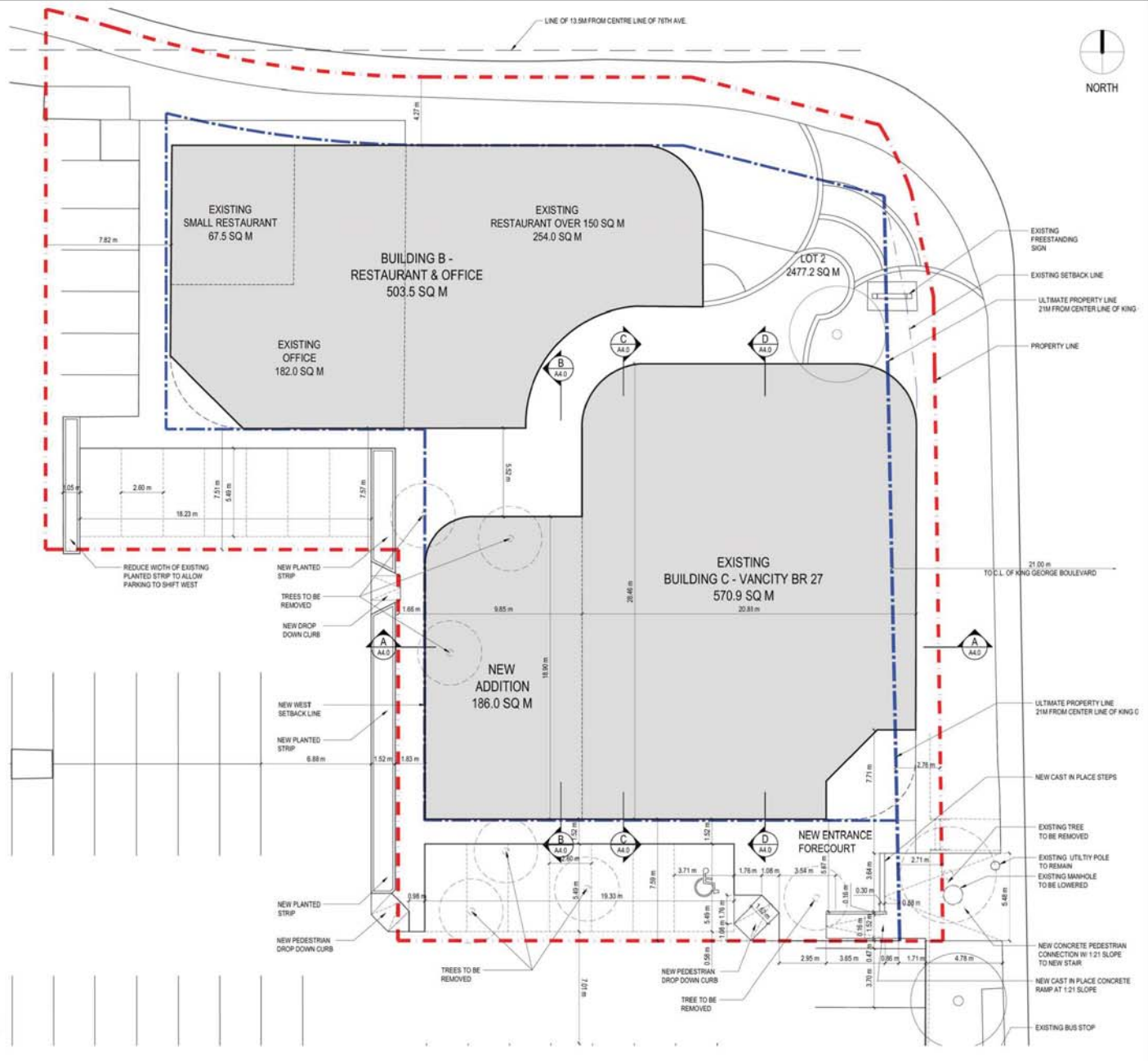
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**PARKING CALCULATION**

152	BUILDING A (CANADIAN TIRE) - BYLAW PARKING REQUIREMENT
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7	BUILDING C (VANCITY) - PROPOSED PARKING
224	TOTAL PROPOSED PARKING

BASED ON SURREY ZONING BYLAW UPDATED TO MAY 30, 2016



1 PROPOSED SITE PLAN  
- 1.125

**ISSUED FOR DP**

DRAWING ISSUES	ISSUED FOR DP
2015 12 02	ISSUED FOR DP (R1)
2016 05 18	ISSUED FOR DP (R1)
2016 09 28	ISSUED FOR DP (R2)

CONSULTANT  
CLIENT  
PROJECT  
VANCITY BR27  
7555 KING GEORGE BOULEVARD



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**RATIO** ARCHITECTURE, INTERIOR DESIGN, PLANNING, INC.  
RATIO ARCHITECTURE, INTERIOR DESIGN, PLANNING, INC.  
1100 WEST 10TH AVENUE, SUITE 100  
VANCOUVER, BC V6H 2T6  
TEL: 604.681.1100

PROPOSED SITE PLAN  
JOB NO. 8173  
SCALE 1:125  
DRAWN BY JC  
CHECKED BY CP

A0.2







DRAWING ISSUES	ISSUED FOR DP
2016 05 18	ISSUED FOR DP (R1)
2016 04 28	ISSUED FOR DP (R2)

CONSULTANT

CLIENT

**Vancity**

PROJECT

VANCITY BR27

7555 KING GEORGE  
BOULEVARD

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SEAL

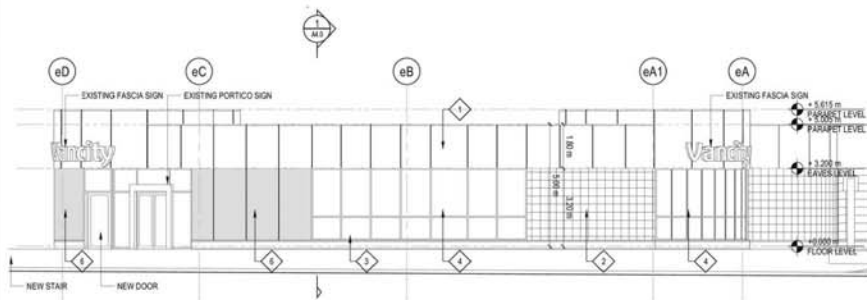
**RATIO** ARCHITECTURE  
INTERIOR DESIGN  
PLANNING

SHEET TITLE

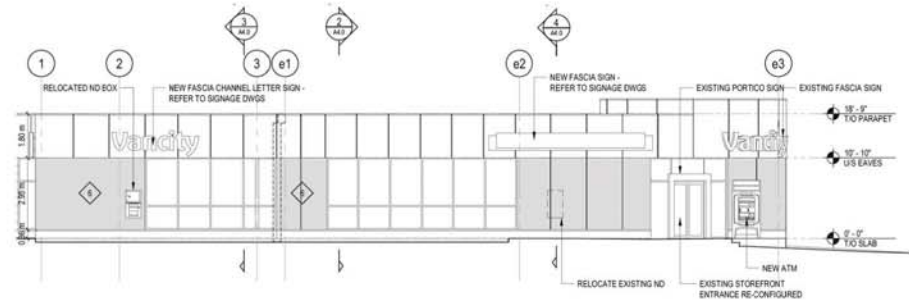
PROPOSED ELEVATIONS  
& STREETSCAPE

JOB NO.	8173
SCALE	1:100
DRAWN BY	JC
CHECKED BY	CP

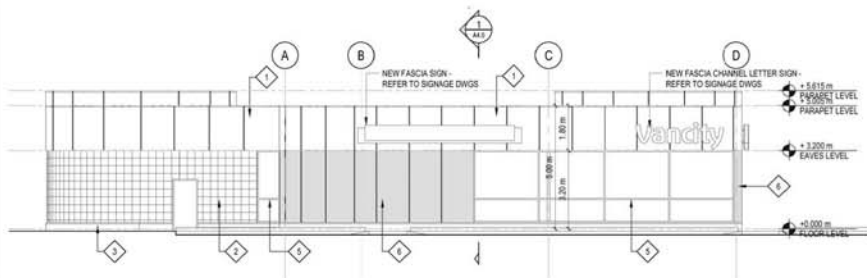
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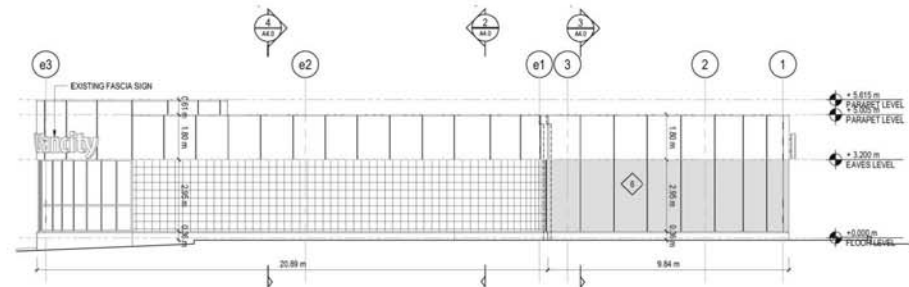
1 ELEVATION EAST  
1:100



2 ELEVATION SOUTH  
1:100



3 ELEVATION WEST  
1:100



4 ELEVATION NORTH  
1:100



5 STREETSCAPE  
1:125

ELEVATION KEYNOTE LEGEND	
1	PRE-FINISHED ALUMINUM CLADDING
2	CERAMIC TILE
3	CONCRETE BASE
4	ALUMINUM STOREFRONT GLAZING
5	ALUMINUM CURTAIN WALL
6	CEMENT FIBRE BOARD PANELS

ELEVATION HATCH LEGEND	
[Hatched Box]	EXTENT OF NEW WORKS
[Dotted Box]	EXTENT OF EXISTING BUILDING TO BE DEMOLISHED
[Cross-hatched Box]	EXTENT OF PANELS TO BE REMOVED AND REPLACED

ISSUED FOR DP

DRAWING ISSUES  
2015 12 02 ISSUED FOR DP  
2016 05 18 ISSUED FOR DP (R1)  
2016 08 28 ISSUED FOR DP (R2)

CONSULTANT

CLIENT

**Vancity**

PROJECT

**VANCITY BR27**  
7555 KING GEORGE  
BOULEVARD

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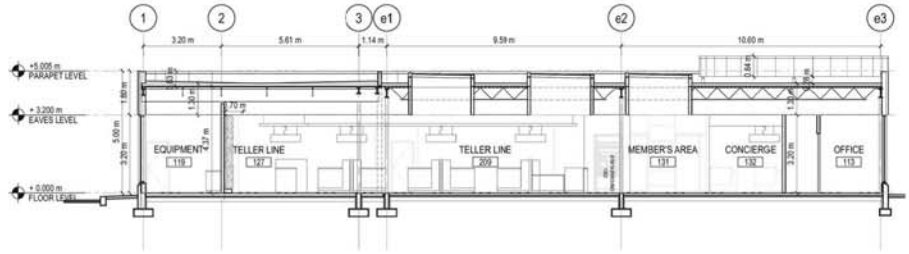
**RATIO** ARCHITECTURE  
INTERIOR DESIGN  
PLANNING  
RATIO ARCHITECTURE  
INTERIOR DESIGN  
PLANNING INC.  
1100 WEST 10TH AVENUE  
VANCOUVER, BC V6H 2V6  
TEL: 604.681.1100  
WWW.RATIOARCH.COM

SHEET TITLE

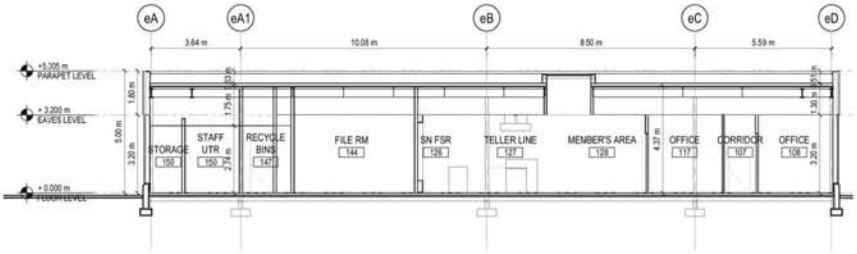
**BUILDING SECTIONS**

JOB NO. 8173  
SCALE 1:100  
DRAWN BY JC  
CHECKED BY CP

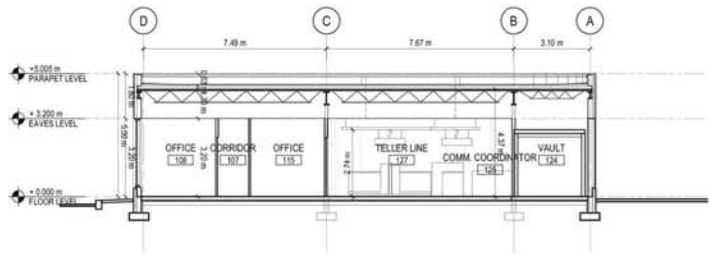
**A4.0**



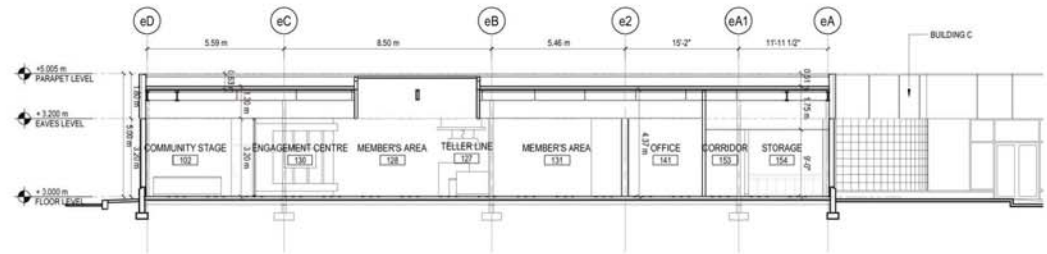
1 BUILDING SECTION A-A  
1:100



2 BUILDING SECTION C-C  
1:100



3 BUILDING SECTION B-B  
1:100



4 BUILDING SECTION D-D  
1:100

ISSUED FOR DP

DRAWING ISSUES  
2015 12 02 ISSUED FOR DP  
2016 05 18 ISSUED FOR DP (R1)  
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VANCOUVER BC V6H 3G9

SHEET TITLE

COLOURED ELEVATIONS

JOB NO. 8173

SCALE 1:50

DRAWN BY JC

CHECKED BY CP

A4.2



1 COLOURED ELEVATION - EAST  
1:50

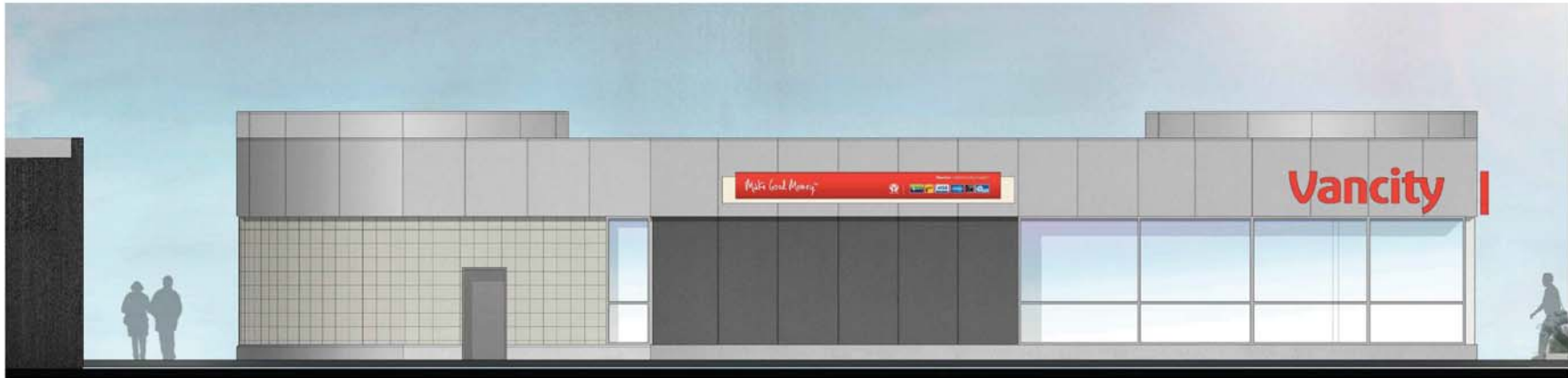


2 COLOURED ELEVATION - SOUTH  
1:50

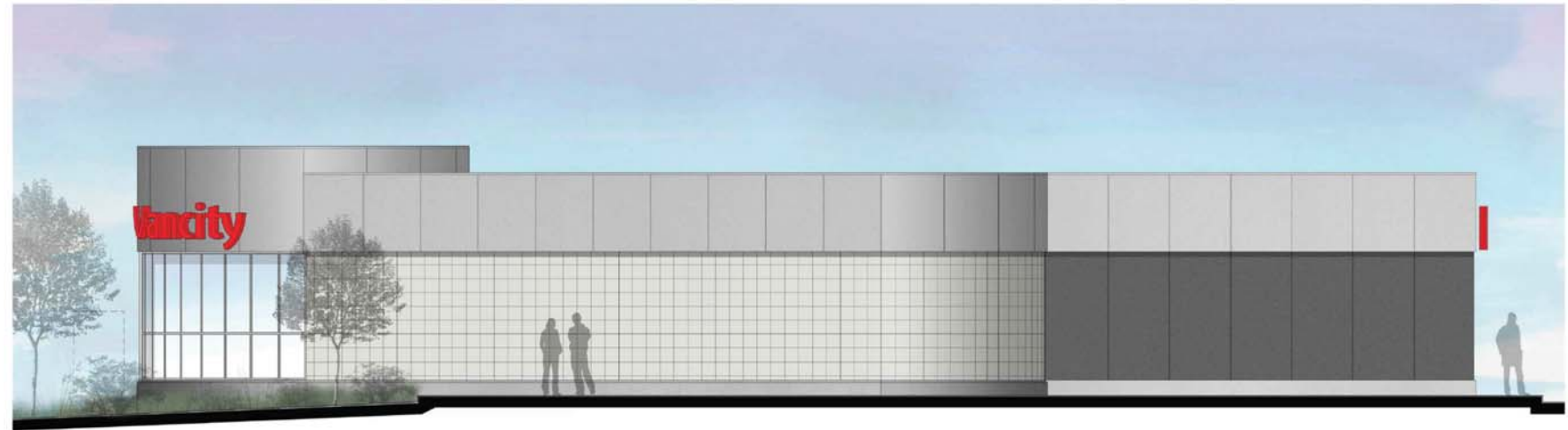


ISSUED FOR DP

2015 12 02	ISSUED FOR DP
2016 05 18	ISSUED FOR DP (R1)
2016 08 28	ISSUED FOR DP (R2)



1 COLOURED ELEVATION - WEST  
- 1:50



2 COLOURED ELEVATION - NORTH  
- 1:50

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V6C 2K8  
604.681.1000

SHEET TITLE

COLOURED ELEVATIONS

JOB NO. 8173

SCALE 1:50

DRAWN BY JC

CHECKED BY CP

A4.3





1 3D VIEW 01  
- NTS



2 3D VIEW 02  
- NTS



3 3D VIEW 03  
- NTS

ISSUED FOR DP

DRAWING ISSUES	
2015 12 02	ISSUED FOR DP
2016 05 18	ISSUED FOR DP
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SHEET TITLE

3D VIEWS

JOB NO.	B173
SCALE	NTS
DRAWN BY	JC
CHECKED BY	CP

A5.0







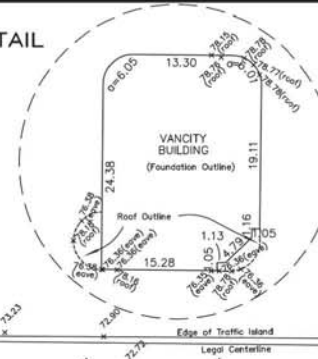
**TOPGRAPHIC SITE PLAN OF LOT A PLAN LMP45123 &  
LOT 1 PLAN LMP38641 ALL OF SEC 20 TP 2 NWD**

CIVIC ADDRESSES: 7555, 7577 & 7599 King George Highway, Surrey, B.C.  
P.I.D.'S 024-718-599  
024-205-591

SCALE 1 : 500  
ALL DISTANCES ARE IN METRES

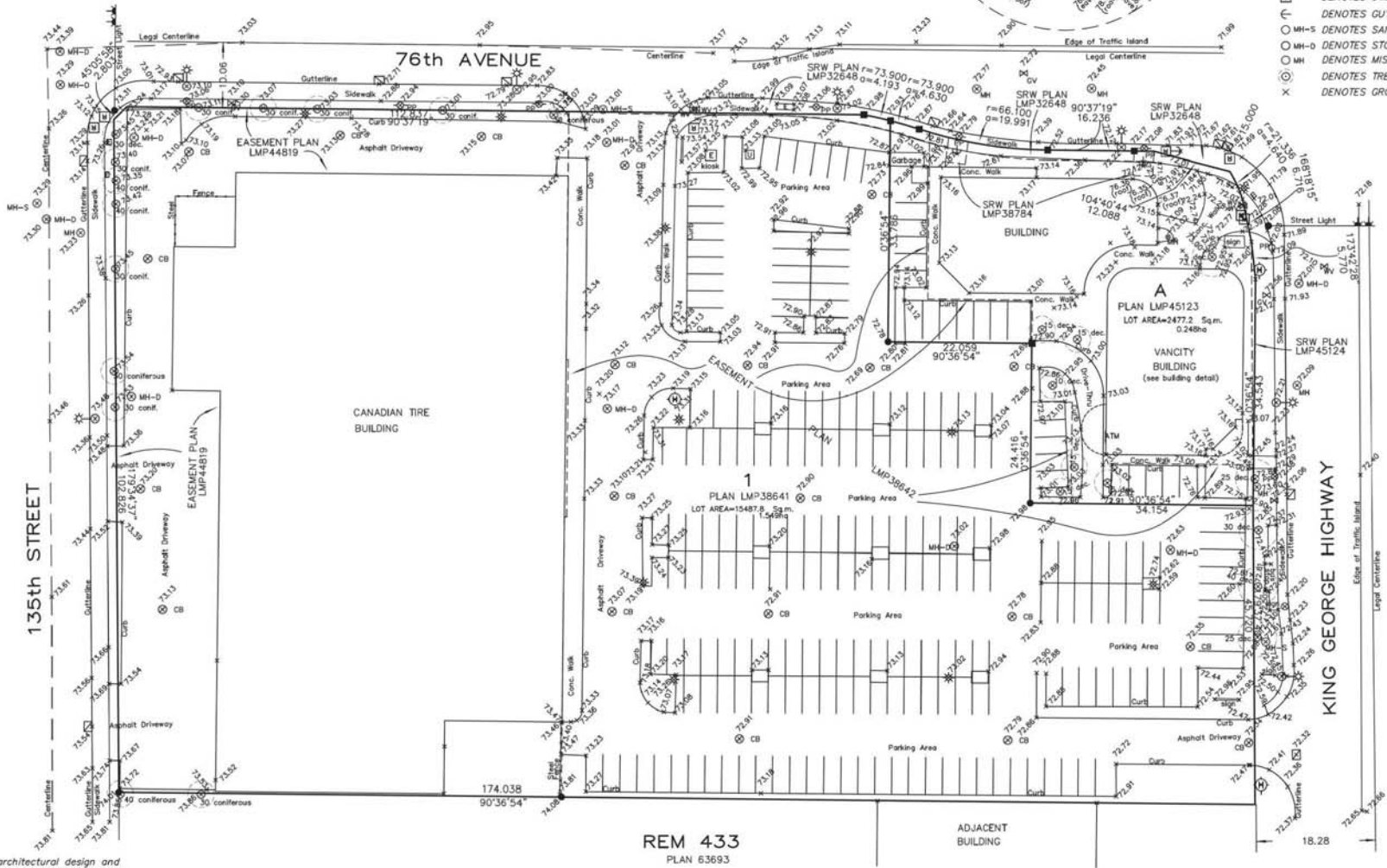
The intended plot size of this plan is 560mm in width and 432mm in height (C size) when plotted at a scale of 1:500.

DETAIL



LEGEND

- DENOTES LEAD PLUG FOUND
- DENOTES STANDARD IRON POST FOUND
- ⊕ DENOTES FIRE HYDRANT
- ⊠ DENOTES CATCH BASIN - TOP ENTRY
- ⊙ CB DENOTES CATCH BASIN - ROUND
- ⊕ PP DENOTES UTILITY POLE
- ⊙ DENOTES STREET LIGHT - DAVIT
- ⊕ DENOTES STREET LIGHT - POST TOP
- ⊕ WW DENOTES WATER VALVE
- ⊕ WM DENOTES WATER METER
- ⊕ GV DENOTES GAS VALVE
- ⊕ DENOTES ELECTRICAL VAULT
- ⊕ DENOTES UTILITY VAULT
- ⊕ DENOTES GUY WIRE
- ⊙ MH-5 DENOTES SANITARY MANHOLE
- ⊙ MH-D DENOTES STORM MANHOLE
- ⊙ MH DENOTES MISCELLANEOUS MANHOLE
- ⊙ DENOTES TREE AND CANOPY EXTENT
- X DENOTES GROUND ELEVATION



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CERTIFIED CORRECT  
DATED THIS 17th DAY OF July, 2015

M. Adam Fulkerson B.C.L.S.

If this plan is used in digital form, Target Land Surveying will only assume responsibility for information content shown on original unaltered drawing.

Tree diameters are taken at 1.4m above grade and are shown in cm.

Spot elevations along curb are taken in gutter  
Lot dimensions are derived from Plans LMP38641 & LMP45123

Elevations are Geodetic (CVD28 GVD-2005 - IN METERS)  
Derived from Central Monument 7940031 located at the intersection of 134th St. & 76th Ave.  
Elevation = 78.221m



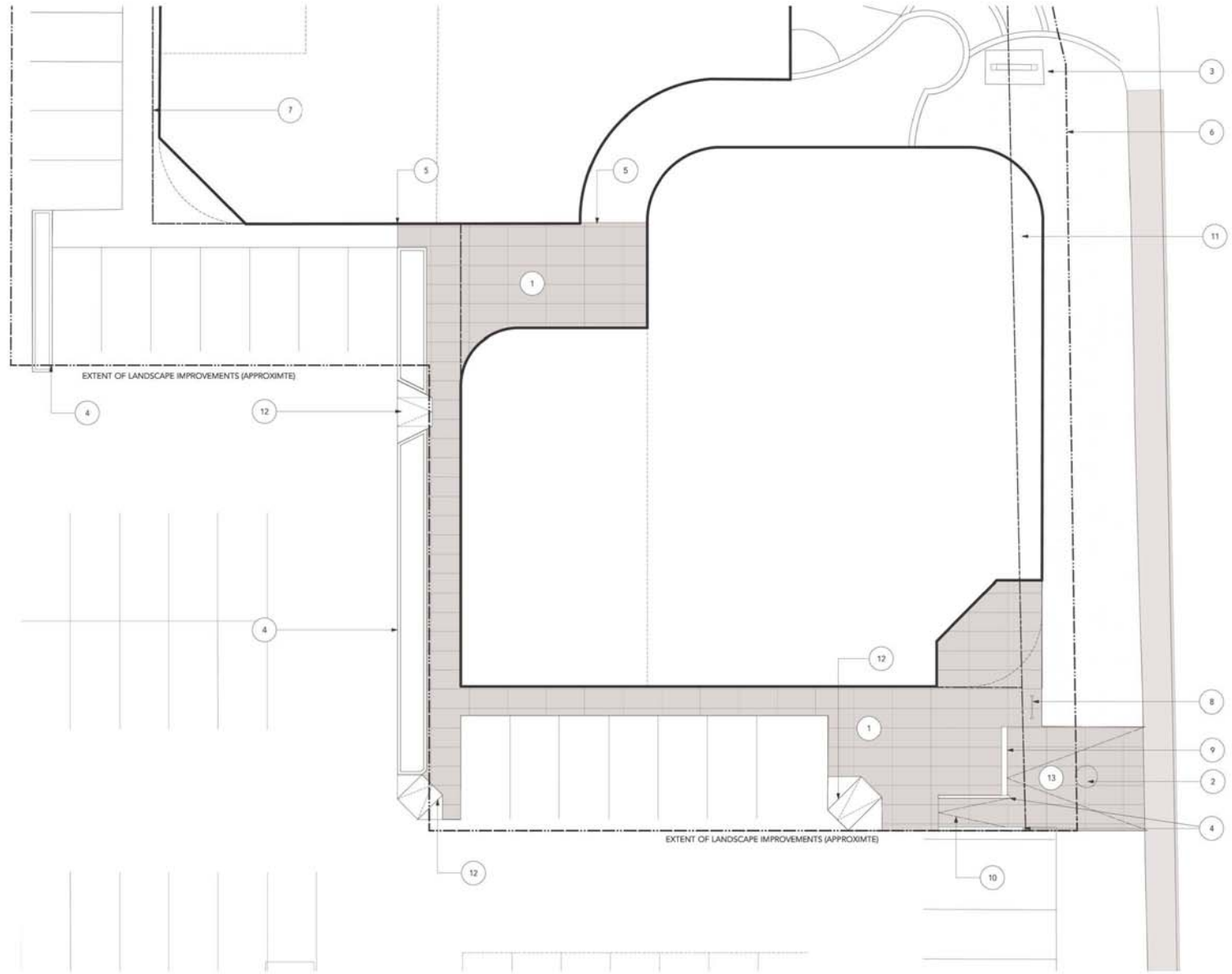
FILE: 7680\_site

# VANCITY BRANCH 27 REDEVELOPMENT

## DEVELOPMENT PERMIT

### LANDSCAPE DRAWING INDEX

Sheet No.	Sheet Name
L0	TITLE
L1	LAYOUT AND MATERIALS PLAN
L2	WEST PLANTING PLAN
L3	EAST PLANTING PLAN
L4	TYPICAL DETAILS



**LAYOUT AND MATERIALS LEGEND**

- 1. CIP CONCRETE PAVING WITH SAW CUT LINES, MEDIUM SANDBLAST, REFER TO DETAIL 4/14
- 2. EXISTING MANHOLE TO BE PROTECTED AND LOWERED - REFER TO CIVIL
- 3. EXISTING SIGNAGE TO BE PROTECTED
- 4. FLUSH CIP CONCRETE CURB
- 5. NEW PAVING TO CONNECT FLUSH TO EXISTING
- 6. PROPERTY LINE
- 7. SETBACK LINE
- 8. CORA BIKE RACK, REFER TO DETAIL 6/14
- 9. CIP CONCRETE STEP, REFER TO DETAIL 5/14
- 10. CIP CONCRETE RAMP, REFER TO DETAIL 7/14
- 11. ULTIMATE PROPERTY LINE; 21M FROM CENTRE LINE OF KING GEORGE
- 12. LETDOWNS - REFER TO CIVIL
- 13. PEDESTRIAN RAMP - REFER TO CIVIL
- 14. REFER TO CIVIL DRAWINGS FOR EXACT MEASUREMENTS AND SLOPE PERCENTAGES

1 LAYOUT AND MATERIALS PLAN  
Scale: 1:100



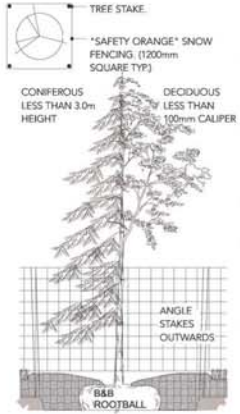
C	DP REVISIONS	2016-08-26
B	DEVELOPMENT PERMIT	2016-05-27
A	REVISED DP	2016-05-17

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15101

**L1**  
**LAYOUT AND MATERIALS PLAN**

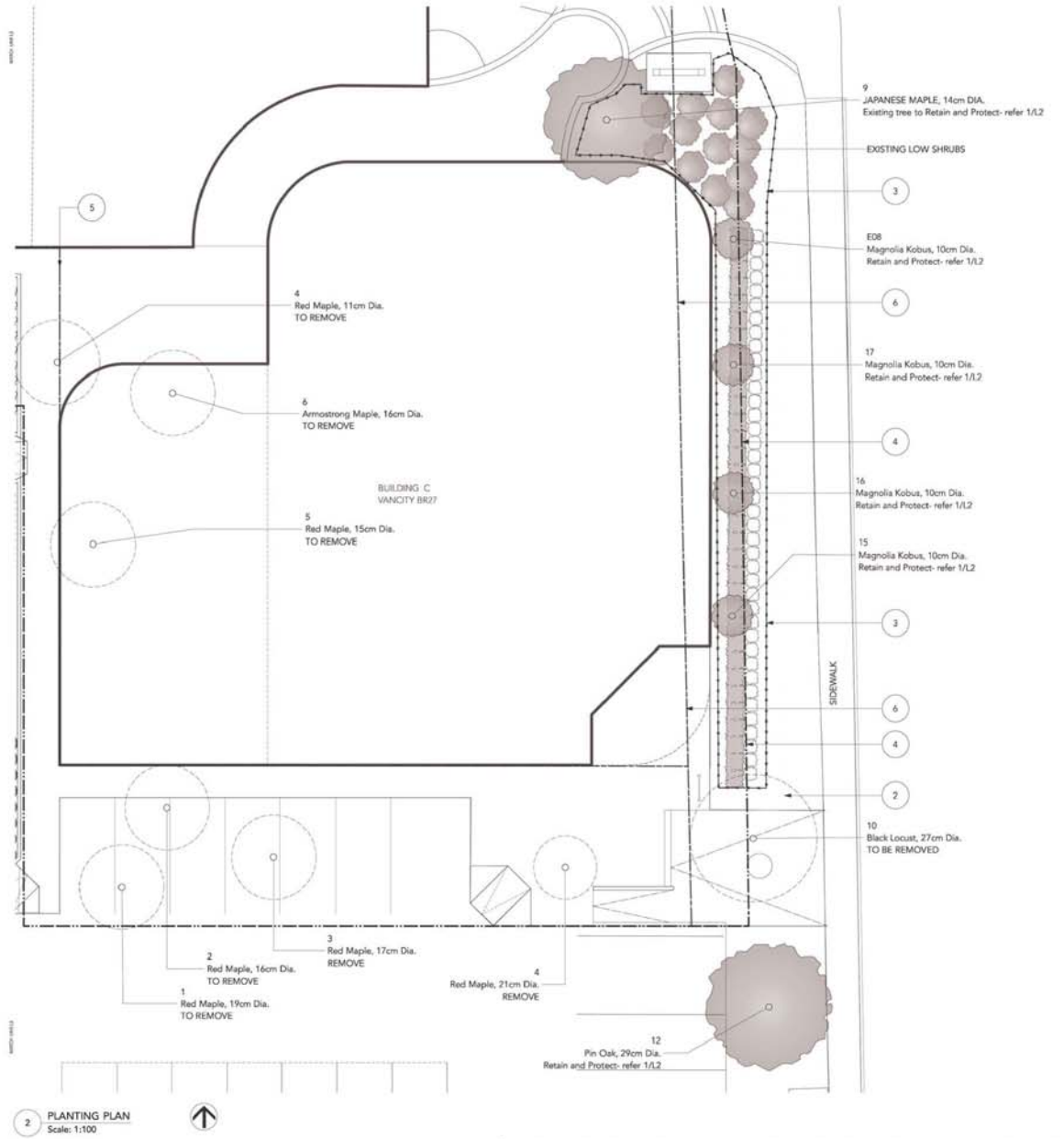




- NOTES:**
- SPECIFICATIONS, ALL COMPONENTS AND WORKMANSHIP TO CONFORM TO BCLNA STANDARDS TYPICAL.
  - POSITION TREE STAKES INTO DIRECTION OF PREVAILING WINDS IF MINIMUM UTILITY SETBACKS PERMIT.
  - ALL TREE STAKES TO HAVE A MINIMUM 1.0m CLEARANCE FROM ALL U/G POWER, TELEPHONE AND GAS ALIGNMENTS.
  - ALL ROOTBALL HOLES TO BE DUG BY HAND WHEN CLOSER THAN 1.0m TO U/G POWER, TELEPHONE AND GAS ALIGNMENTS.
  - FOR TREES WITH DRIP LINES FROM 3m - 5m FROM CONSTRUCTION ACTIVITY, PLACE STANDARD 'SAFETY ORANGE' SNOW FENCE MIN. OF 4.5m FROM TREE TRUNK, EXACT SIZE/SHAPE TO BE DETERMINED ON SITE.
  - FOR EXCAVATION WITHIN 1-3m OF ANY TREE'S DRIP LINE, ROOT PRUNING REQUIRED TO A DEPTH OF 500mm. IMMEDIATELY AFTER EXCAVATION, PRUNE ALL EXPOSED ROOTS FLUSH WITH THE EXCAVATION WALL. A MINIMUM OF 25% OF ANY TREE'S
  - ROOTS AT THE DRIP LINE SHOULD BE IMPACTED BY EXCAVATION IF THE TREE IS EXPECTED TO SURVIVE.
  - INSTALL AND MAINTAIN HOARDING IN CLEAN AND SAFE CONDITION THROUGHOUT
  - CONSTRUCTION PROCESS: HOARDING REQUIREMENTS ARE ON ALL EXISTING TREES THROUGHOUT CONSTRUCTION.
  - ALL EQUIPMENT, SOIL, BUILDING MATERIAL AND OTHER DEBRIS SHALL BE KEPT OUTSIDE THE HOARDING. IF HOARDING IS PUNCTURED AND DAMAGE OCCURS TO HOARDED TREES, NOTIFY LANDSCAPE ARCHITECT.

1 TREE PROTECTION FENCING, TYP.  
Scale: 1:25

- PLANTING LEGEND**
- EXISTING HEDGE/SHRUBS TO PROTECT
  - NEW SOO, REFER TO DETAIL 3/1.4
  - TREE PROTECTION FENCING - REFER TO DETAIL 1/1.2
  - PROPERTY LINE
  - SETBACK LINE
  - ULTIMATE PROPERTY LINE 21M FROM CENTRE LINE OF KING GEORGE



2 PLANTING PLAN  
Scale: 1:100

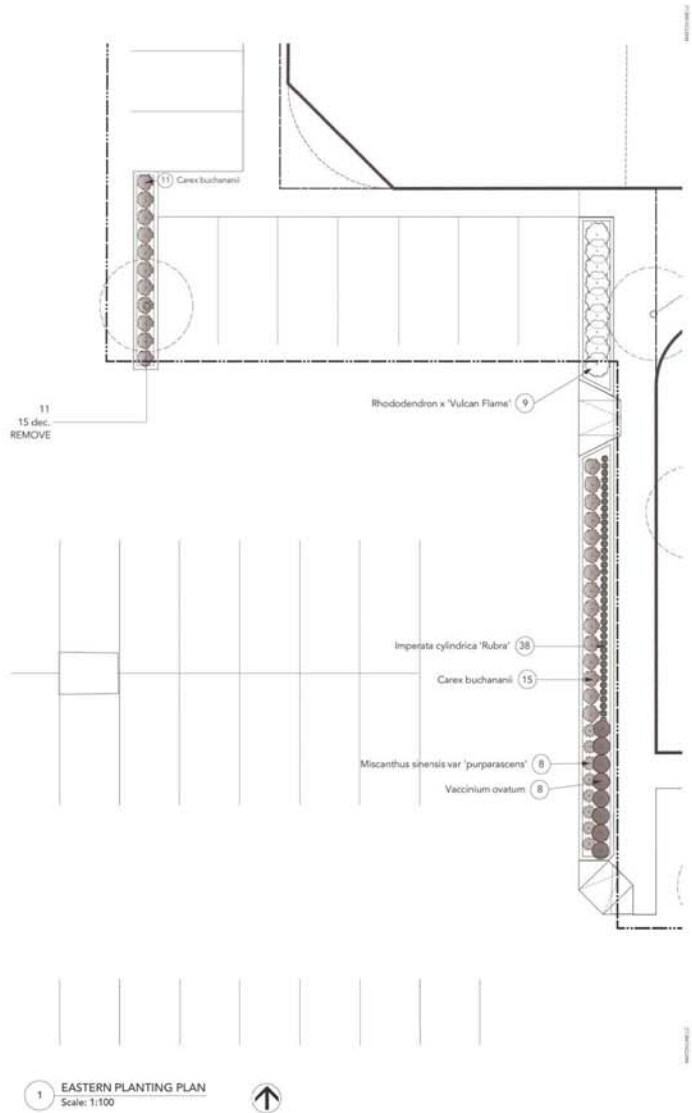
C	DP REVISIONS	2016-08-26
B	DEVELOPMENT PERMIT	2016-05-27
A	REVISED DP	2016-05-17

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**L2**  
WEST PLANTING PLAN





**PLANTING LEGEND:**

Quantity	Latin Name	Common Name	Scheduled Size	Spacing	Notes
<b>SHRUBS:</b>					
8	<i>Vaccinium ovatum</i>	Evergreen Huckleberry	#3 Pot	2'0"	
9	<i>Rhododendron</i> x 'Vulcan Flame'	Vulcan Flame Rhododendron	#5 Pot	42" o.c.	Specimen
<b>PERENNIALS:</b>					
26	<i>Carex buchananii</i>	Leatherleaf Sedge	#2 Pot	2'6"	
38	<i>Imperata cylindrica</i> 'Rubra'	Japanese Blood Grass	#2 Pot	1'0"	
8	<i>Miscanthus sinensis</i> var 'purpurascens'	Flame Grass	#3 Pot	18" o.c.	

**NOTES:**

1. ALL PLANT MATERIAL AND LANDSCAPING PRACTICES SHALL BE COMPLIANT WITH THE LATEST EDITION OF THE BCJNA NURSERY STANDARD
2. IN CASE OF DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL
3. FINAL SOFTSCAPE AND GRADING LAYOUTS AS WELL AS LOCATION AND SPACING TO BE APPROVED BY LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION
4. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD
5. INSTALL TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO CITY STANDARDS, INSTALL TREE PROTECTION FENCING AS PER ARBORIST REPORT



EVERGREEN HUCKLEBERRY



VULCAN FLAME RHODODENDRON



LEATHER LEAF SEDGE



JAPANESE BLOOD GRASS



FLAME GRASS

1 EASTERN PLANTING PLAN  
Scale: 1:100



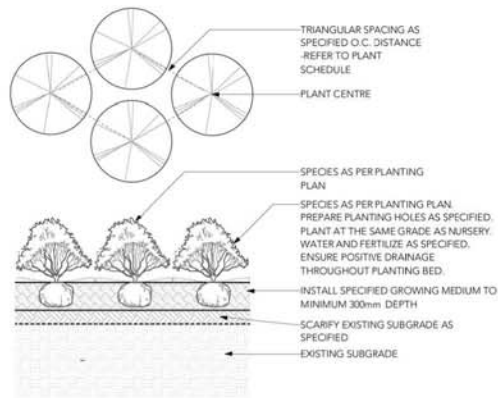
C DP REVISIONS 2016-08-26  
B DEVELOPMENT PERMIT 2016-05-27  
A REVISED DP 2016-09-17

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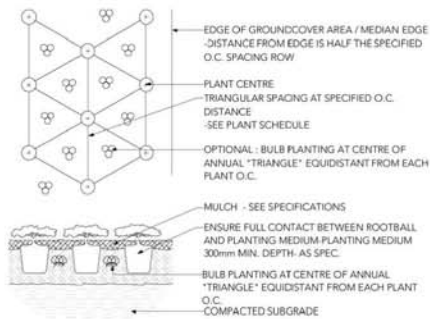
VanCity  
15101

**L3**  
EAST PLANTING PLAN

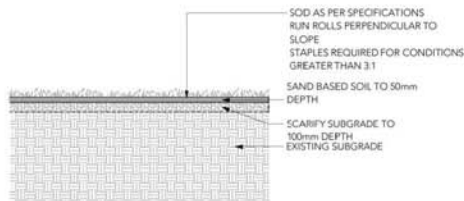




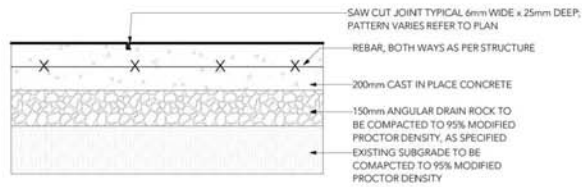
1 SHRUB PLANTING ON GRADE, TYP.  
Scale: 1:25



2 GROUNDCOVER PLANTING ON GRADE, TYP.  
Scale: 1:25

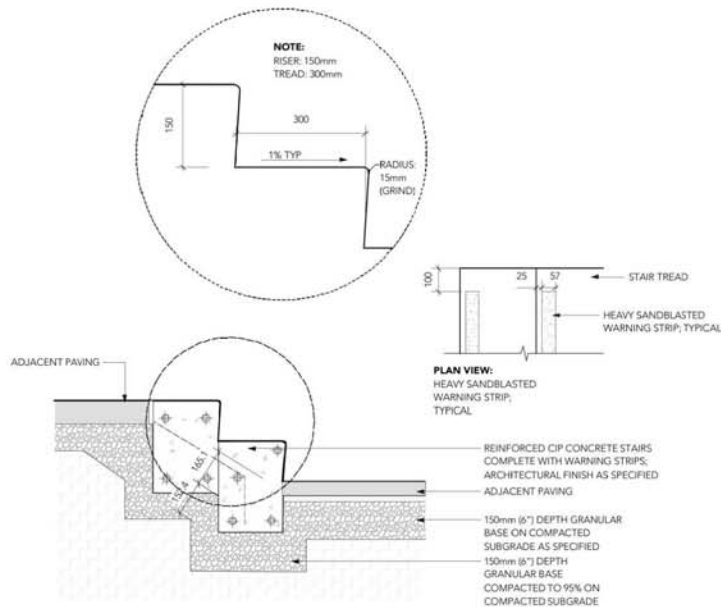


3 SOD, TYP.  
Scale: 1:25



NOTES:  
1. EXPANSION JOINTS 6m o.c. MAX. CONTROL JOINTS AT 1.5m o.c. ADJUST TO SUIT SITE LAYOUT PLAN  
2. APPLY MEDIUM SANDBLAST TO SURFACE OF CONCRETE

4 CIP CONCRETE PAVING WITH SAW CUTS, TYP.  
Scale: 1:10

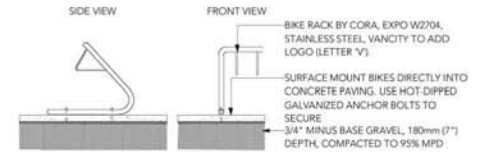


NOTES:  
1. FOR NUMBER OF RISERS SEE LAYOUT DRAWINGS  
2. REFER TO STRUCTURAL FOR ALL REINFORCING  
3. SLOPE TREADS 1% TYPICAL

5 CIP CONCRETE STEP, TYP.  
Scale: 1:10

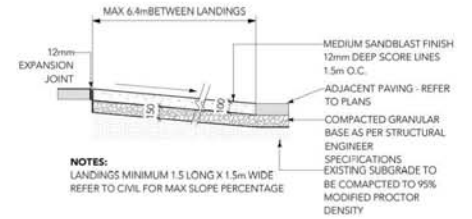


SUPPLIER: CORA CANADA  
ITEM #: W0204  
FINISH: STAINLESS STEEL

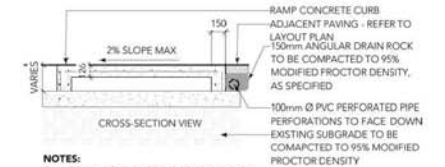


NOTE:  
REFER TO MANUFACTURERS SPECIFICATIONS FOR INSTALLATION.

6 BICYCLE RACK, TYP.  
Scale: 1:25



NOTES:  
LANDINGS MINIMUM 1.5 LONG X 1.5m WIDE REFER TO CIVIL FOR MAX SLOPE PERCENTAGE



NOTES:  
CIVIL TO APPROVE PRIOR TO CONSTRUCTION MAXIMUM 2% CROSS SLOPE ENSURE POSITIVE DRAINAGE OF ALL AREAS

7 CIP CONCRETE RAMP, TYP.  
Scale: 1:25



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120-7885 North Fraser Way  
Burnaby, BC, Canada V5J 5M7  
Tel (604) 215-5526  
Fax (604) 215-0696  
www.pattisonsign.com

DATE: MAY 13, 2016  
SKETCH: V15-4511 SITE R5  
SALES: B. GRIMSHAW  
ARTIST: P. WONG  
SCALE: NTS  
VOLTAGE: 120V  
PAGE: 1 OF 7

*Customer Approval*

*Landlord Approval*

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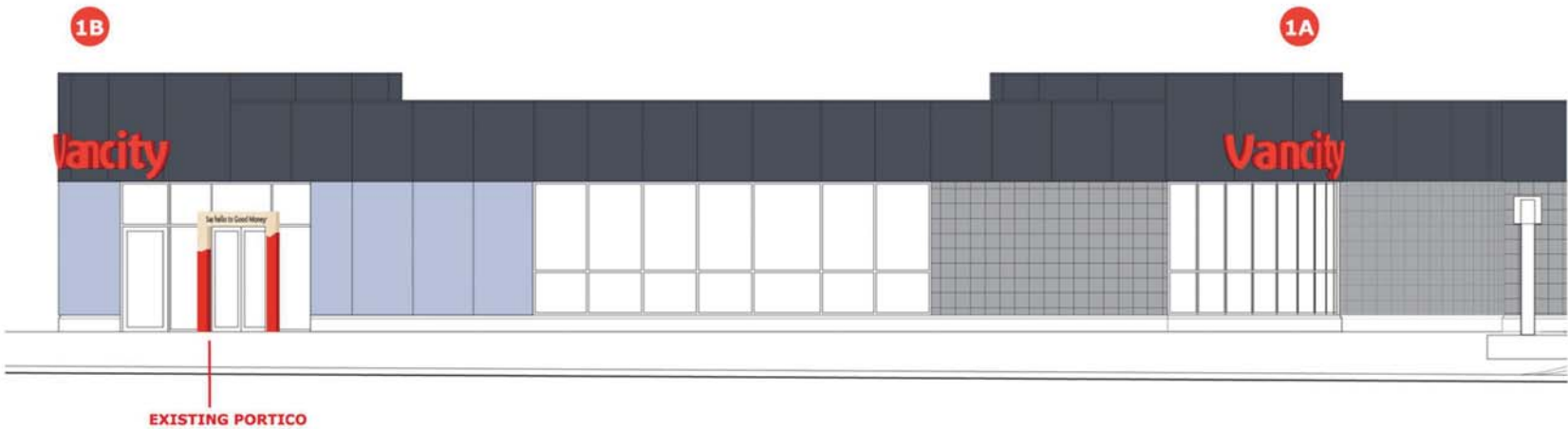
- R2 - ADD SIGN C
- R3 - REMOVE SIGN 1C, AND 1D BECAME 1C / 1E BECAME 1D
- R4 - UPDATE PLAN VIEW AND TOP PERSPECTIVE VIEW
- R5 - NEW PLAN VIEW & PERSPECTIVE DRAWINGS



Fluorescent, Neon and HID lamps contain Mercury. Dispose of these lamps according to Local, Provincial, State or Federal Laws.

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BRANCH 27  
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1 EAST ELEVATION  
A1.01 SCALE- 1:125



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SCALE: 1:125  
VOLTAGE: 120V  
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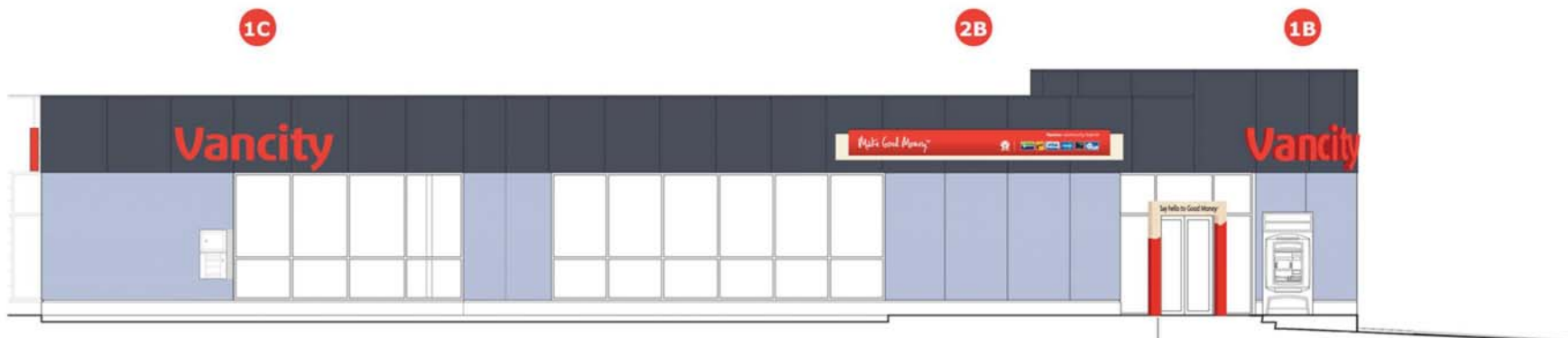
- R2 - NEW ELEVATION DWG
- R3 - NO CHANGE TO THIS PAGE
- R4 - UPDATE ELEVATION DWG. AND CHANGE TO METRIC SCALE
- R5 - NEW ELEVATION DRAWING & APPLIED COLOURS



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BRANCH 27  
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2 SOUTH ELEVATION  
A1.01 SCALE- 1:125

EXISTING STOREFRONT  
ENTRANCE RE-CONFIGURED



120-7885 North Fraser Way  
Burnaby, BC, Canada V5J 5M7  
Tel (604) 215-5526  
Fax (604) 215-0696  
www.pattisonsign.com

DATE: MAY 13, 2016  
SKETCH: V15-4511 SITE R5  
SALES: B. GRIMSHAW  
ARTIST: P. WONG  
SCALE: 1:125  
VOLTAGE: 120V  
PAGE: 3 OF 7

Customer Approval

Landlord Approval

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REVISION HISTORY (PRIOR TO MASTER ART):

- R2 - NEW ELEVATION DWG
- R3 - REMOVE SIGN 1C, AND 1D BECAME 1C
- R4 - UPDATE ELEVATION DWG. AND CHANGE TO METRIC SCALE
- R5 - NEW ELEVATION DRAWING & APPLIED COLOURS



Fluorescent, Neon and HID lamps contain Mercury. Dispose of these lamps according to Local, Provincial, State or Federal Laws.

**Vancity**

BRANCH 27  
7555 KING GEORGE HWY, SURREY



3 WEST ELEVATION  
A1.01 SCALE- 1:125



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REVISION HISTORY (PRIOR TO MASTER ART):

- R3 - REMOVE SIGN 1C, 1E BECAME 1D
- R4 - UPDATE ELEVATION DWG. AND CHANGE TO METRIC SCALE
- R5 - NEW ELEVATION DRAWING & APPLIED COLOURS

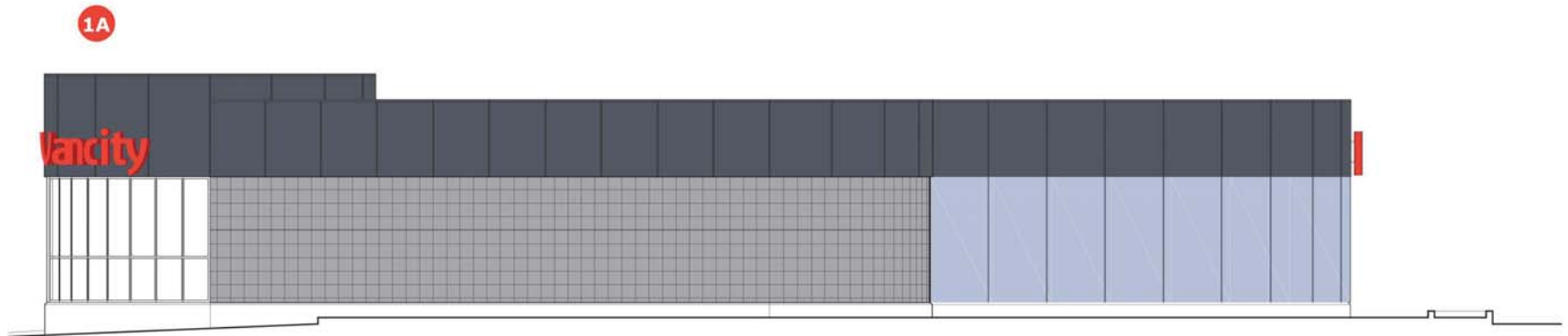


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**Vancity**

BRANCH 27  
7555 KING GEORGE HWY, SURREY





4 NORTH ELEVATION  
A1.01 SCALE- 1:125



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**Vancity**

BRANCH 27

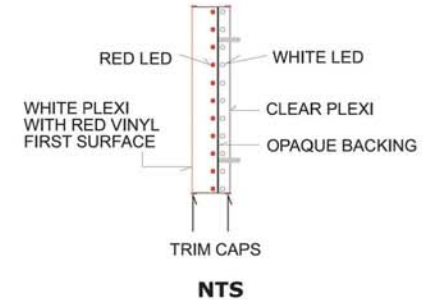
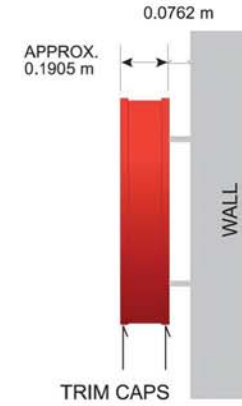
7555 KING GEORGE HWY, SURREY

# New The Primary Identity Clip - Channel Letters (QTY. 1 SET)

SIGN 1A, 1B (EXISTING - NO CHANGE)

1C (EXISTING - RELOCATE)

1D (NEW)



NTS

**SIGN 1D - ONE (1) SET OF SINGLE FACE ILLUMINATED CHANNEL LETTERS (WITH TRIM CAPS ) FRONT ILLUMINATION WITH RED LED BACK HALO ILLUMINATION WITH WHITE LED AND 3" STOOD OFF WALL**  
**SIGN 1A & 1B - EXISTING, NO CHANGE**  
**SIGN 1C - RELOCATE**

MOUNTED ON FACIA OF BUILDING

OVERALL SIZE: 1.1176 m x 3.6576 m

### CONSTRUCTION

**SUBSTRATE:** FRONT - WHITE PLEXIGLAS... VINYL FIRST SURFACE  
 BACK - CLEAR PLEXIGLAS

**RETURNS & TRIM CAPS:** PAINTED PANTONE 32C RED

**ILLUMINATION:** FRONT - RED LED / BACK - WHITE LED

### COLOUR DATA

**VINYL:**  
 3M 3630-143 POPPY RED

**PAINT:**  
 RED - TO MATCH PANTONE 32C RED

**LED:**  
 RED / WHITE

### GRAPHICS

PRIMARY COPY: RED



NIGHT TIME EFFECT



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DATE: MAY 13, 2016  
 SKETCH: V15-4511-1 R5  
 SALES: B. GRIMSHAW  
 ARTIST: P. WONG  
 SCALE: 1:20  
 VOLTAGE: 120V  
 PAGE: 6 OF 7

Customer Approval

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# Vancity

BRANCH 27

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### SIGN 2A / 2B - TWO (2) SF SECONDARY CLIPS



MANUFACTURE AND INSTALL... EXTERIOR

**TWO (2) WHITE LED ILLUMINATED ALUM. CURVE FACE PANELS WITH ROUTED OUT RETANGLES & SQUARES, BACKED WITH WHITE ACRYLIC WITH DIGITAL PRINT ATM SYMBOLS ON 2" DEEP ALUM. BACKER PANELS (RED LED LIGHT SPILL AT SIDES & BOTTOM OF BACKER PANEL)**

#### CONSTRUCTION

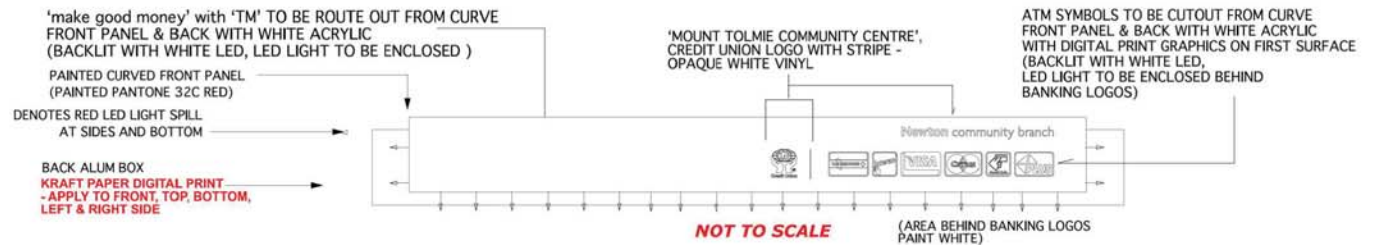
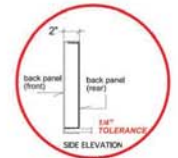
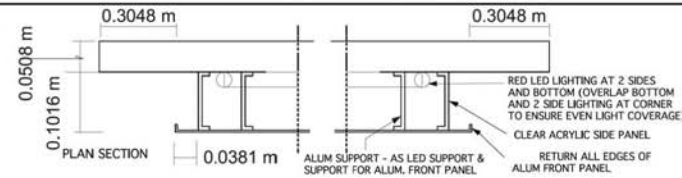
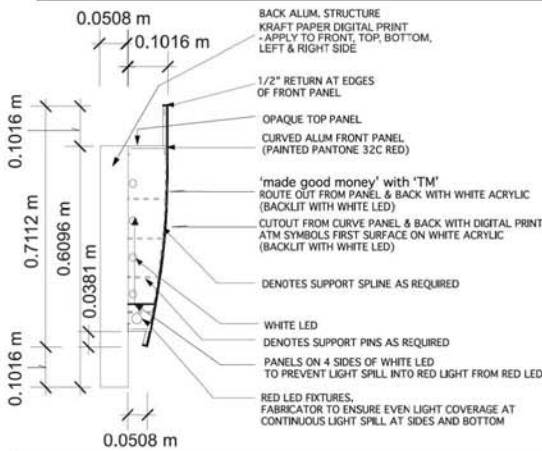
**SUBSTRATE:** PAINTED ALUM. CURVE FACE WITH ROUTED OUT RETANGLES & SQUARES BACKED WITH WHITE ACRYLIC WITH DIGITAL PRINT ATM SYMBOLS  
**'NEWTON COMMUNITY BRANCH', C/U LOGO WITH STRIPE:** OPAQUE WHITE VINYL (NON ILLUMINATED)  
**'MAKE GOOD MONEY' WITH 'TM':** ROUTED AND BACKED WITH TRANSLUCENT WHITE ACRYLIC  
**CURVE PANEL:** RED  
**BACKER PANEL:** APPLY WITH KRAFT PAPER DIGITAL IMAGE TO FRONT & FOUR SIDES  
**ILLUMINATION:** WHITE LED FOR COPY & RED LED FOR LIGHT SPILL

#### GRAPHICS

**COPY -** WHITE  
**CURVE BKGD:** RED  
**BACKED PANEL BKGD:** KRAFT PAPER IMAGE

#### COLOUR DATA

**PAINT:**  
 RED - PANTONE 32C RED  
**VINYL:**  
 OPAQUE WHITE - 3M 3635-20B BLOCK OUT FILM WHITE MATTE



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 SALES: B. GRIMSHAW  
 ARTIST: P. WONG  
 SCALE: 1:30  
 VOLTAGE: 120V  
 PAGE: 7 OF 7

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# Vancity

BRANCH 27  
 7555 KING GEORGE HWY, SURREY



## INTER-OFFICE MEMO

---

TO: **Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **September 8, 2016** PROJECT FILE: **7815-0418-00**

---

RE: **Engineering Requirements (Commercial/Industrial)  
Location: 7555 King George Boulevard**

### DEVELOPMENT PERMIT

The following issues are to be addressed as a condition of issuance of the subsequent Building Permit:

#### ***Property and Right-of-Way Requirements***

- Easement documents BP024593 and BM190763 must be amended as part of the application, as the building addition is proposed over the easement/parking areas.

#### ***Works and Services***

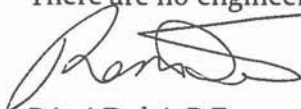
- Provide a sanitary service connection (minimum 150 mm) and abandon the existing service connection to City standards.
- Provide a water quality/sediment control inlet chamber to be installed as a component of the on-site drainage system before discharge at the inspection chamber. A restrictive covenant must be registered on the title of the land to require the owner/operator to maintain and keep functional the water quality/sediment control inlet chamber.
- Provide a video inspection of the existing storm service connection servicing the proposed development.

A Servicing Agreement is not required for the proposed Development Permit. The sanitary connection can be constructed subject to issuance of a City Road and Right-of-Way Permit obtainable as part of the Building Permit review and processing by the Engineering Department which includes payment of securities and permit fees.

A processing fee of \$1,401.75 (GST included) is required to administer the storm water review, and/or legal document requirements.

### DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Variance Permit.



Rémi Dubé, P.Eng.  
Development Services Manager

MB

## Tree Preservation Summary

**Surrey Project No:**

**Address:** 7555 King George Highway Surrey

**Registered Arborist:** Glenn Murray

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	<b>3</b>
<b>Protected Trees to be Removed</b>	<b>0</b>
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	<b>3</b>
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio  <math>\underline{\quad 0 \quad} \times \text{one (1)} = 0</math></li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio  <math>\underline{\quad 0 \quad} \times \text{two (2)} = 0</math></li> </ul>	<b>0</b>
<b>Replacement Trees Proposed</b>	<b>0</b>
<b>Replacement Trees in Deficit</b>	<b>0</b>
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	<b>0</b>
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio  <math>\underline{\quad \quad \quad} \times \text{one (1)} = 0</math></li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio  <math>\underline{\quad \quad \quad} \times \text{two (2)} = 0</math></li> </ul>	<b>0</b>
<b>Replacement Trees Proposed</b>	
<b>Replacement Trees in Deficit</b>	<b>0</b>

Summary, report and plan prepared and submitted by:



\_\_\_\_\_  
(Signature of Arborist)

20-Nov-15

\_\_\_\_\_  
Date

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7915-0418-00

Issued To: Surrey-West Business Park Inc

(the Owner)

Address of Owner: C/O TRANSPACIFIC REALTY ADVISO  
203-4300 NORTH FRASER WAY  
BURNABY BC V5J 0B3

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 023-769-033

7577 King George Blvd

Parcel Identifier: 024-718-599

Lot A Sec 20 Tp 2 LMP45123

7555 King George Blvd

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

(a) In Section E. Lot Coverage, of CD By-law No. 13705, as amended, the maximum lot coverage permitted by CD By-law No. 13705 is increased from 50% to 90%.

(b) In Section F. Yards and Setbacks, of CD By-law No. 13705, as amended, the minimum rear yard setback of the is reduced from 7.5 metres (25 ft.) to 1.6 metres (5 ft.).

(c) In Section A of Part 7 Special Building Setbacks of the Zoning By-law, as amended, the sum of one-half of the ultimate highway allowance for King George Boulevard and front yard setback for the existing Vancity Credit Union building is reduced from 22.75 metres (74.6 ft.) to varying widths between 19.35 metres (63.5 ft.) to 19.78m (64.9 ft.).

5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

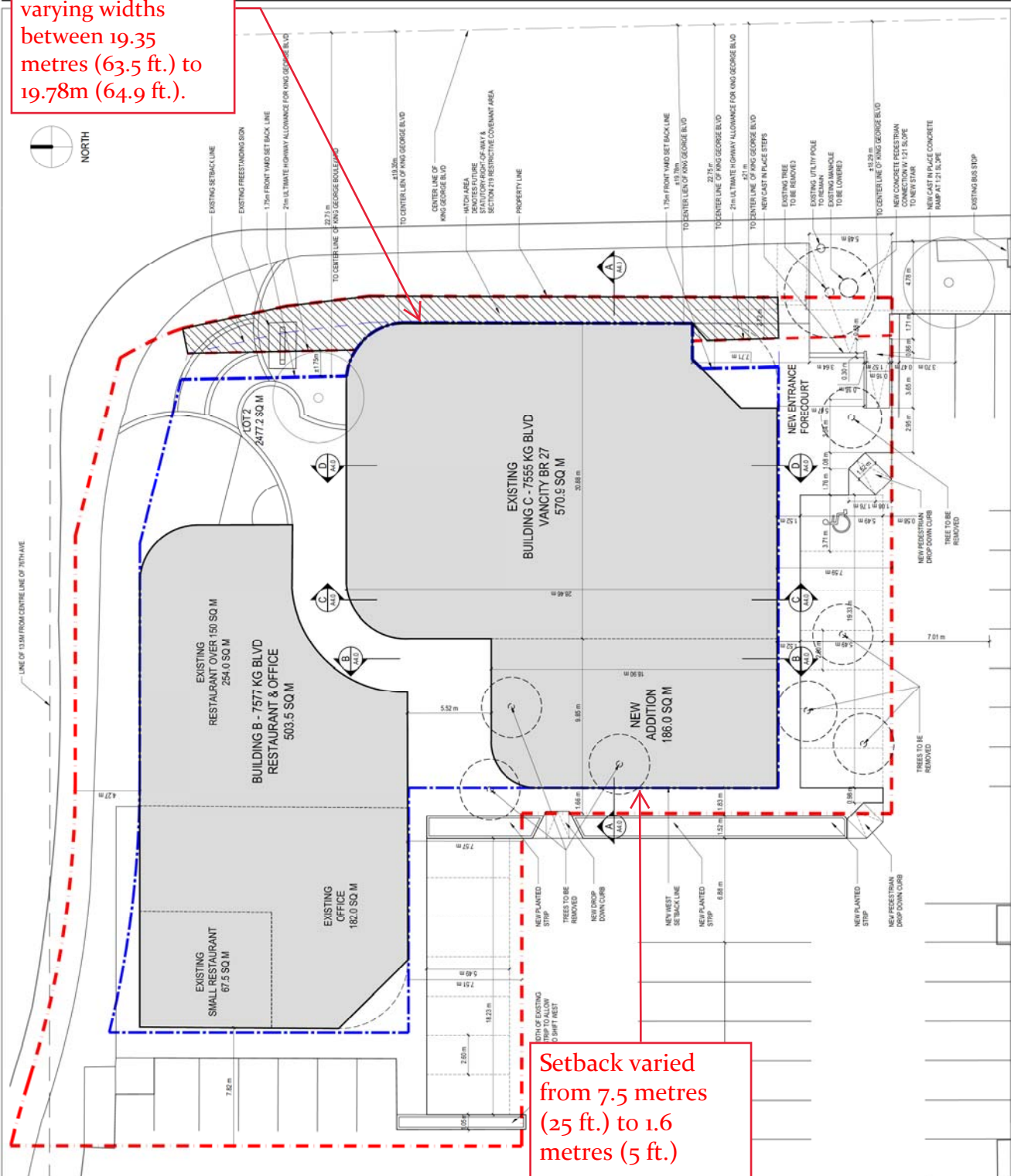
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Mayor – Linda Hepner

---

City Clerk – Jane Sullivan

Setback varied from 22.75 metres (74.6 ft.) to varying widths between 19.35 metres (63.5 ft.) to 19.78m (64.9 ft.).



Setback varied from 7.5 metres (25 ft.) to 1.6 metres (5 ft.).

PARKING CALCULATION	
152	BUILDING A (CANADIAN TREE) - BY-LAW PARKING REQUIREMENT
14	BUILDING B (RESTAURANT & OFFICE) - BY-LAW PARKING REQUIREMENT
19	BUILDING C (VANCITY) - BY-LAW PARKING REQUIREMENT
205	TOTAL BY-LAW PARKING REQUIREMENT
206	BUILDING A (CANADIAN TREE) - EXISTING PARKING
13	BUILDING B (RESTAURANT & OFFICE) - EXISTING PARKING
10	BUILDING C (VANCITY) - EXISTING PARKING
229	TOTAL EXISTING PARKING
204	BUILDING A (CANADIAN TREE) - PROPOSED PARKING
13	BUILDING B (RESTAURANT & OFFICE) - PROPOSED PARKING
7	BUILDING C (VANCITY) - PROPOSED PARKING
224	TOTAL PROPOSED PARKING

BASED ON SURREY ZONING BY-LAW UPDATED TO MAY 30, 2018

CONSULTANT  
 CLIENT  
 PROJECT  
**Vancity**  
 VANCITY BR27  
 7555 KING GEORGE  
 BULEVARD  
 VESICULAR  
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**RATIO**  
 ARCHITECTURE AND PLANNING  
 1100 WEST 10TH AVENUE  
 VANCOUVER, BC V6H 2B6  
 TEL: 604.681.1100  
 WWW.RATIOARCHITECTURE.COM

PROPOSED SITE PLAN

JOB NO.	8173
SCALE	1:100
DRAWN BY	JC
CHECKED BY	LP

A0.2