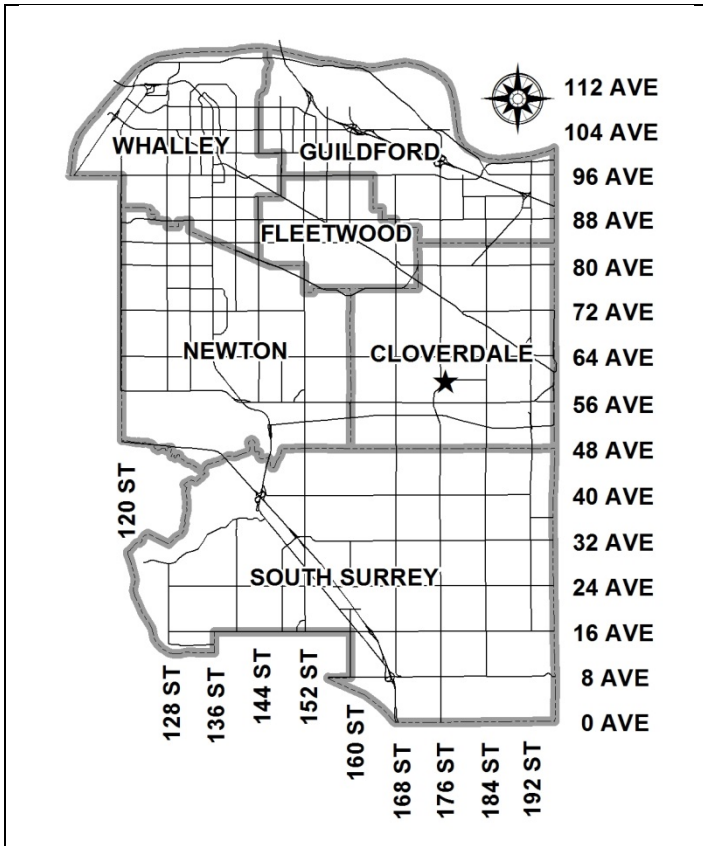


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7915-0414-00

Planning Report Date: May 30, 2016



PROPOSAL:

- **Rezoning** from RF to CD (based on RM-30)
- **Development Permit**

to permit the development of 18 townhouse units.

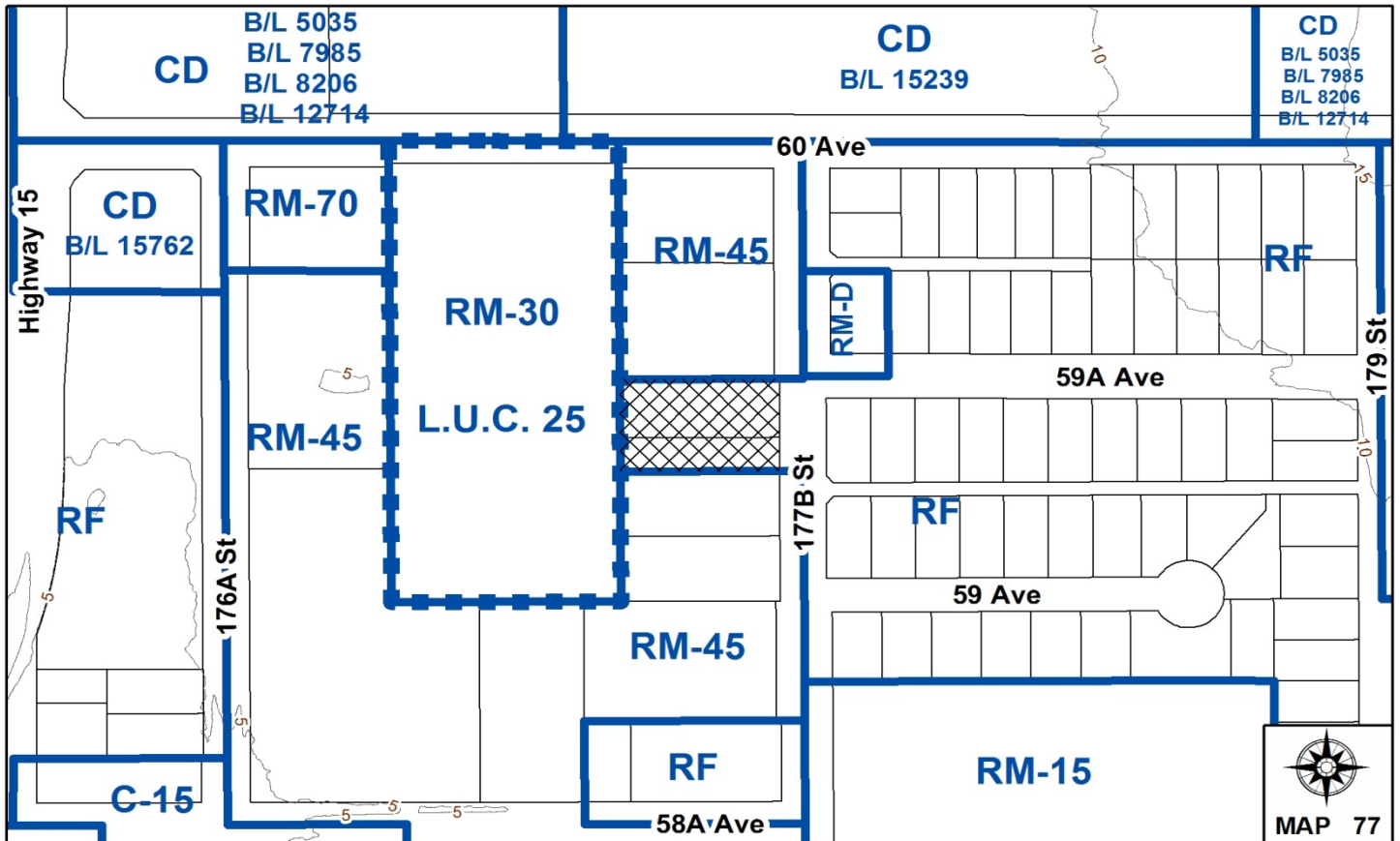
LOCATION: 5933 - 177B Street
 5943 - 177B Street

OWNER: 1049471 B.C. Ltd.

ZONING: RF

OCP DESIGNATION: Multiple Residential

TCP DESIGNATION: Medium Density Residential



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to eliminate indoor amenity space.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with the Multiple Residential designation in the OCP.
- Complies with the Medium Density Residential designation in the Cloverdale Town Centre Plan.
- The proposed form and density is appropriate for this part of Cloverdale Town Centre. The townhouse form provides an appropriate transitional interface to the existing single family homes to the east, 2-storey townhouses to the south and west, and 3-storey apartment building to the north

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from “Single Family Residential Zone (RF)” to “Comprehensive Development Zone (CD)” and a date be set for Public Hearing.
2. Council approve the applicant's request to eliminate the required indoor amenity space.
3. Council authorize staff to draft Development Permit No. 7915-0414-00 generally in accordance with the attached drawings (Appendix II).
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (g) the applicant address the concern that the development will place additional pressure on existing park facilities to the satisfaction of the General Manager, Parks, Recreation and Culture;
 - (h) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (i) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
 - (j) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and
 - (k) the applicant adequately address the impact of no indoor amenity space.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

4 Elementary students at Martha Currie Elementary School
2 Secondary students at Lord Tweedsmuir School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Spring 2018.

Parks, Recreation & Culture: Parks have some concerns about the pressure this project will place on existing Parks, Recreation and Culture facilities in the neighbourhood. The applicant will be required to address these concerns prior to final adoption of the rezoning by-law.

Ministry of Transportation & Infrastructure (MOTI): Preliminary approval for the proposed rezoning is granted by MOTI for one year.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Two lots, each with an existing single family dwelling to be removed.

Adjacent Area:

Direction	Existing Use	TCP Designation	Existing Zone
North:	3-storey apartment building	Medium Density Residential	RM-45
East (Across 177B Street):	Single family dwellings	Urban Single Family Residential	RF
South:	2-storey townhouse development	Medium Density Residential	RM-45
West:	2- and 3-storey multiple residential development with surface parking	Medium Density Residential	LUC 25 (RM-30 underlying zone)

DEVELOPMENT CONSIDERATIONS

Proposal

- The 2,856-square metre (0.7 ac.) subject site consists of two lots located at 5933 and 5943 – 177B Street in Cloverdale Town Centre. The site is designated “Multiple Residential” in the Official Community Plan (OCP), “Medium Density Residential” in the Cloverdale Town Centre Plan, and is zoned “Single Family Residential (RF) Zone”.
- The applicant proposes to rezone the site from RF to “Comprehensive Development (CD) Zone” based on the “Multiple Residential 30 Zone” (RM-30), in order to construct 18 townhouse units.
- The RM-30 Zone permits a maximum floor area ratio (FAR) of 0.9. The development proposes an FAR of 0.95, therefore, a CD Zone is being proposed.
- The “Medium Density Residential” designation in the Cloverdale Town Centre Plan permits a density up to 45 units per acre (upa). The proposed townhouse development has a net unit density of 26 upa.
- The applicant will dedicate 2 metres (6.5 ft.) of road along 177B Street, which amounts to 3% of the gross site area.
- The applicant initially considered a four-storey apartment building, however, the applicant indicated that underground parking was not economically feasible.
- The existing two lots will be consolidated into one lot that will be 2,773 square metres (0.69 ac.) in size, after road dedication.

Context

- The lots to the immediate north, south and west are designated “Medium Density Residential” in the Cloverdale Town Centre Plan. The lots to the east are designated “Urban Single Family Residential” in the Cloverdale Town Centre Plan.
- The two lots to the immediate north of the subject site each contain a three-storey apartment building. The lot to the immediate south of the subject site contains a two-storey townhouse development. The lot to the immediate west of the subject site consists of a two- and three-storey ground-oriented multiple residential development. Lots to the east, on the east side of 177B Street, between 60 Avenue and the south side of 59 Avenue consist of single family houses and a duplex.
- The proposed density and three-storey form of the townhouse development is compatible with the form and density of the surrounding area, and is consistent with the “Multiple Residential” designation in the OCP and the “Medium Density Residential” designation in the Cloverdale Town Centre Plan.
- Although higher density (apartment) residential development is typically recommended for lands within the Cloverdale Town Centre, in this context the proposed townhouse form has

merit given the interface with single family lots to the east and ground-oriented townhomes to the south and west.

Proposed CD By-law

- The proposed CD By-law is based on the RM-30 Zone. The following table provides a comparison between between the RM-30 Zone and the proposed CD By-law:

	RM-30 Zone	Proposed CD By-law
Maximum FAR	0.9	1.0
Maximum units per hectare/acre	75 upha / 30 upa	75 upha / 30 upa
Setbacks	7.5 m. from all lot lines	Front (East): 4.0 m. Rear (West): 3.0 m. Side (North and South): 5.5 m.
Subdivision		
Lot Size:	2,000 sq. m. (0.5 ac.)	2,400 sq. m. (0.6 ac.)
Lot Width:	30 m. (100 ft.)	40 m. (130 ft.)
Lot Depth:	30 m. (100 ft.)	60 m. (645 ft.)

- The proposed development is within the allowable 75 dwelling units per hectare (30 upa) unit density in the RM-30 Zone, but will have a slightly higher (floor area ratio) FAR. The proposed FAR of 1.0 is supportable given that the proposed development is less than 75 dwelling units per hectare (30 upa), and a 1.0 FAR is permitted under the “Multiple Residential” designation in the OCP. This site is also within a Town Centre location.
- The proposed form and density will provide an appropriate edge interface with existing single family dwellings on the east side of 177B Street, which are designated “Urban Single Family Residential” in the Cloverdale Town Centre Plan.
- Under the RM-30 Zone all buildings and structures are required to be set back a minimum of 7.5 metres (25 ft.) from all lot lines. The proposed CD By-law has reduced setbacks along all four property lines, but the development still provides a compatible interface with adjacent multiple residential developments to the north, south and west and an appropriate streetscape along 177B Street. Landscape screening along the north, south and west lot lines will be provided.
- The minimum subdivision requirements are increased in the CD By-law, compared to the RM-30 Zone, to reflect the proposed consolidated lot size.
- All other aspects of the proposed CD By-law are consistent with the RM-30 Zone.

PRE-NOTIFICATION

Pre-notification letters were mailed on March 4, 2016. Staff received three responses as summarized below (staff comments in italics):

- All three respondents requested further information on the proposal. One caller noted that one of the existing houses is abandoned and has had several suspicious incidents, some of which have been reported to the RCMP.

(Staff explained the proposal to each caller, and indicated that the existing houses would need to be removed as a condition of final approval. The callers had no further comments.)

DESIGN PROPOSAL AND REVIEW

- The proposed townhouse development will consist of four (4) buildings with a combined total of 18 units. All units will be 3 storeys in height.
- All 18 units will have three (3) bedrooms. The units range in size from 137 square metres to (1,475 sq. ft.) to 161 square metres (1,732 sq. ft.).
- The development will be accessed from one driveway on 177B Street.
- The townhouse project is designed with north/south oriented units that are accessed from an internal drive aisle.
- Balconies face the internal drive aisle and will not over-look adjacent residential properties.
- The façade of the buildings will have subtle variations to avoid a repetitive look.
- The proposed exterior finishing includes hardi-shingles and horizontal siding, vertical board and batten, stone, and wood trim boards.
- The proposed colour scheme includes white and shades of greens and blues.

Parking

- Thirty-six (36) resident and 4 visitor parking stalls are proposed, which complies with the minimum off-street parking requirements of the Zoning By-law.
- All units will have a two-car garage. Fourteen (14) out of 18 units (78%) will have a double garage (i.e. vehicles parked side-by-side) which exceeds the minimum 50% requirement of the RM-30 Zone. The remaining four (4) units will have tandem garages.
- An outdoor bicycle rack is proposed within the outdoor amenity space.
- Stamped concrete will be used to distinguish the visitor parking stalls from the drive aisle.

Landscaping and Private Outdoor Space

- A variety of trees are proposed including Spruce, Pear and Japanese Snowbell trees.
- A variety of shrubs, grasses, perennials, and a ground cover will be planted.
- The entry to the complex will be marked by a decorative wall feature containing the project name and address. The feature wall will be surrounded by ground oriented plantings.

- The west lot line interfaces with a drive aisle of the adjacent development. Trees and shrubs will be planted, and a 1.8-metre (6 ft.) tall fence will be installed to provide a buffer and screen. The 1.8-metre (6 ft.) tall fence will be constructed along the north, south and west property lines.
- Each townhouse unit will have access to a front patio, which will provide private outdoor space for the residents. Sixteen (16) out of 18 proposed townhouse units will have a balcony.

Amenity Space

- Three (3) square metres (32 sq. ft.) of outdoor amenity space and 3 square metres (32 sq. ft.) of indoor amenity space per dwelling unit is required.
- Fifty-four (54) square metres (580 sq. ft.) of outdoor amenity space is proposed, meeting the minimum requirement. The outdoor amenity space is located in a central location on the site, and will contain seating and play equipment.
- Due to the small scale of the proposed townhouse development and location within the Cloverdale Town Centre and close proximity to the Cloverdale Recreation Centre, no indoor amenity space is proposed. The applicant will provide a monetary contribution of \$21,600 (based on \$1,200 per unit) in accordance with City Policy No. O-48, to address the indoor amenity space deficiency.

TREES

- Vanessa Melney, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees			
Cherry	1	1	0
Plum	1	1	0
Poplar, Lombardy	7	7	0
Willow, Weeping	2	2	0
Coniferous Trees			
Douglas Fir	1	0	1
Pine	2	2	0
Spruce, Norway	2	2	0
Total	16	15	1
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		36	

Total Retained and Replacement Trees	37
Contribution to the Green City Fund	N/A

- The Arborist Assessment states that there are a total of 16 mature trees on the site. It was determined that 1 tree can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 30 replacement trees on the site. The applicant is proposing 36 replacement trees, exceeding City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on 177B Street. This will be determined by the Engineering Department during the servicing design review process.
- In summary, a total of 37 trees are proposed to be retained or replaced on the site, which exceeds the City's requirements.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	• The subject site is located within a town centre plan.
2. Density & Diversity (B1-B7)	• Each unit will have private outdoor space.
3. Ecology & Stewardship (C1-C4)	• Low impact development standards will be applied to the site.
4. Sustainable Transport & Mobility (D1-D2)	• N/A
5. Accessibility & Safety (E1-E3)	• Amenities and features will be suitable for a variety of age groups.
6. Green Certification (F1)	• N/A

Sustainability Criteria	Sustainable Development Features Summary
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • A development proposal sign was installed on site, pre-notification letters were mailed to area residents, and a Public Hearing will be held for the proposed rezoning.

ADVISORY DESIGN PANEL

- This application was not referred to the ADP but was reviewed by staff. Many of the comments identified by staff have been satisfactorily addressed by the applicant, however, there are a few remaining minor design and landscape items which the applicant has agreed to address before consideration of final approval.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Site Plan, Building Elevations and Landscape Plan
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	Cloverdale TCP Plan
Appendix VII.	Proposed CD By-law
Appendix VIII.	Cloverdale Community Association Comments

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

JD/dk

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SUBDIVISION DATA SHEET

Proposed Zoning: CD (based on RM-30)

Requires Project Data	Proposed
GROSS SITE AREA	
Acres	0.705
Hectares	0.2853
NUMBER OF LOTS	
Existing	2
Proposed	1
SIZE OF LOTS	
Range of lot widths (metres)	41 m.
Range of lot areas (square metres)	2,770 sq. m.
DENSITY	
Lots/Hectare & Lots/Acre (Gross)	3.5 lots/hectare & 1.4 lots/acre
Lots/Hectare & Lots/Acre (Net)	3.7 lots/hectare & 1.5 lots/acre
SITE COVERAGE (in % of gross site area)	
Maximum Coverage of Principal & Accessory Building	43%
Estimated Road, Lane & Driveway Coverage	32%
Total Site Coverage	75%
PARKLAND	
Area (square metres)	N/A
% of Gross Site	
	Required
PARKLAND	
5% money in lieu	NO
TREE SURVEY/ASSESSMENT	
	YES
MODEL BUILDING SCHEME	
	NO
HERITAGE SITE Retention	
	NO
FRASER HEALTH Approval	
	NO
DEV. VARIANCE PERMIT required	
Road Length/Standards	NO
Works and Services	NO
Building Retention	NO
Others	NO

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on RM-30)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		2,856 sq. m.
Road Widening area		83 sq. m.
Undevelopable area		
Net Total	2,400 sq. m.	2,773 sq. m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	43%
Paved & Hard Surfaced Areas		32%
Total Site Coverage		75%
SETBACKS (in metres)		
Front (east)	4.0 m.	4.0 m.
Rear (west)	3.0 m.	3.0 m.
Side (north and south)	5.5 m.	5.5 m.
BUILDING HEIGHT (in metres/storeys)		
Principal	13 m.	13 m.
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		0
One Bed		0
Two Bedroom		0
Three Bedroom +		18
Total	N/A	18
FLOOR AREA: Residential	2,773 sq. m.	2,627 sq. m.
FLOOR AREA: Commercial		N/A
Retail		
Office		
Total		
FLOOR AREA: Industrial		N/A
FLOOR AREA: Institutional		N/A
TOTAL BUILDING FLOOR AREA	2,773 sq. m.	2,627 sq. m.

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		64 upha / 25.5 upa
# of units/ha /# units/acre (net)	75 upha / 30 upa	66 upha / 26.3 upa
FAR (gross)	N/A	0.92
FAR (net)	0.95	0.95
AMENITY SPACE (area in square metres)		
Indoor	54 sq. m.	0
Outdoor	54 sq. m.	54 sq. m
PARKING (number of stalls)		
Commercial		N/A
Industrial		N/A
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed	36	36
Residential Visitors	4	4
Institutional		N/A
Total Number of Parking Spaces	40	40
Number of disabled stalls		0
Number of small cars		0
Tandem Parking Spaces: Number / % of Total Number of Units	18 / 50%	8 / 22%
Size of Tandem Parking Spaces width/length	3.2 m. / 6.1 m.	3.3 m. / 6.1 m.

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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18 UNIT TOWNHOUSE PROJECT

5933 & 5943 - 177B STREET, SURREY BC

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LEGAL: LOTS 2 & 3, SEC. 8, TOWNSHIP 8, NWD PL. 10222

ZONING RM 45

CITY FILE 14-0414

LIST OF DRAWINGS

- DP000 TITLE SHEET
- DP101 SITE PLAN
- DP201 BUILDING 1 FLOOR PLANS
- DP202 BUILDING 2 FLOOR PLANS
- DP203 BUILDING 3 FLOOR PLANS
- DP204 BUILDING 4 FLOOR PLANS
- DP301 BUILDING 1 ELEVATIONS
- DP302 BUILDING 2 ELEVATIONS
- DP303 BUILDING 3 ELEVATIONS
- DP304 BUILDING 4 ELEVATIONS

No.	Date	Revision Details
1	2016-04-05	BUILDING #4 REVISED FOLLOWING TO COMMENT FROM TRANSPORTATION DISTANCE REQUIRED FROM FRONT PROPERTY LINE TO TOWNHSE UNIT



W G ARCHITECTURE INC
 1030 - 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V5
 TEL: (604) 331 2378
 FAX: (604) 683 7494

Project Title:
**18 UNIT TOWNHOUSE
 5933 & 5943 - 177 B ST.
 SURREY BC**

Drawing Title:
TITLE SHEET

DRAWINGS ISSUED FOR DEVELOPMENT PERMIT APPLICATION - MAY 05, 2016

Date: November 2015	Project Number: 1602
Scale: 1/8"=1'-0"	Sheet No: DP000
Drawn By: YA, NC	
Approved By: WGD	



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No.	Date	Revision Details
1	2016.04.26	BUILDING 4 REVISED FOLLOWING COMMENTS FROM REVISION/PERMITS REQUIRED: IN DISTANCE FROM FRONT PROPERTY LINE AND TRENCH UNIT

- LEGEND :**
- PERMEABLE SURFACE
 - TREE PROTECTION FENCING
 - PATIOS
- MB - MAIL BOXES**
BR - BICYCLE RACK
H - HYDRANT
LA - LANDSCAPED AREA
PMT. - TRANSFORMER
F# - FENCE # F.
PS - PRIVACY SCREENS
 BAY WINDOW PROJECTION
 ROOF EAVE PROJECTION

PROJECT STATISTICS (TO BE VERIFIED)
 ZONE: RM 45
 GROSS LOT AREA: 2,856m² = 0.705 ACRE
 NET LOT AREA: 2,773m² = 0.685 ACRE

18 UNITS
 DENSITY: GROSS: 25.53upa
 NET: 26.28upa

BUILDING # 1 - 556.32 m² = 0,009.96 sf
 BUILDING # 2 - 755.89 m² = 8,136.59 sf
 BUILDING # 3 - 589.15m² = 6,341.76 sf
 BUILDING # 4 - 723.89 m² = 7,792.14 sf
 TOTAL BLD. FLOOR AREA: 2,627.25m² = 28,280.40 sf
 FAR GROSS: 0.92 FAR NET: 0.947

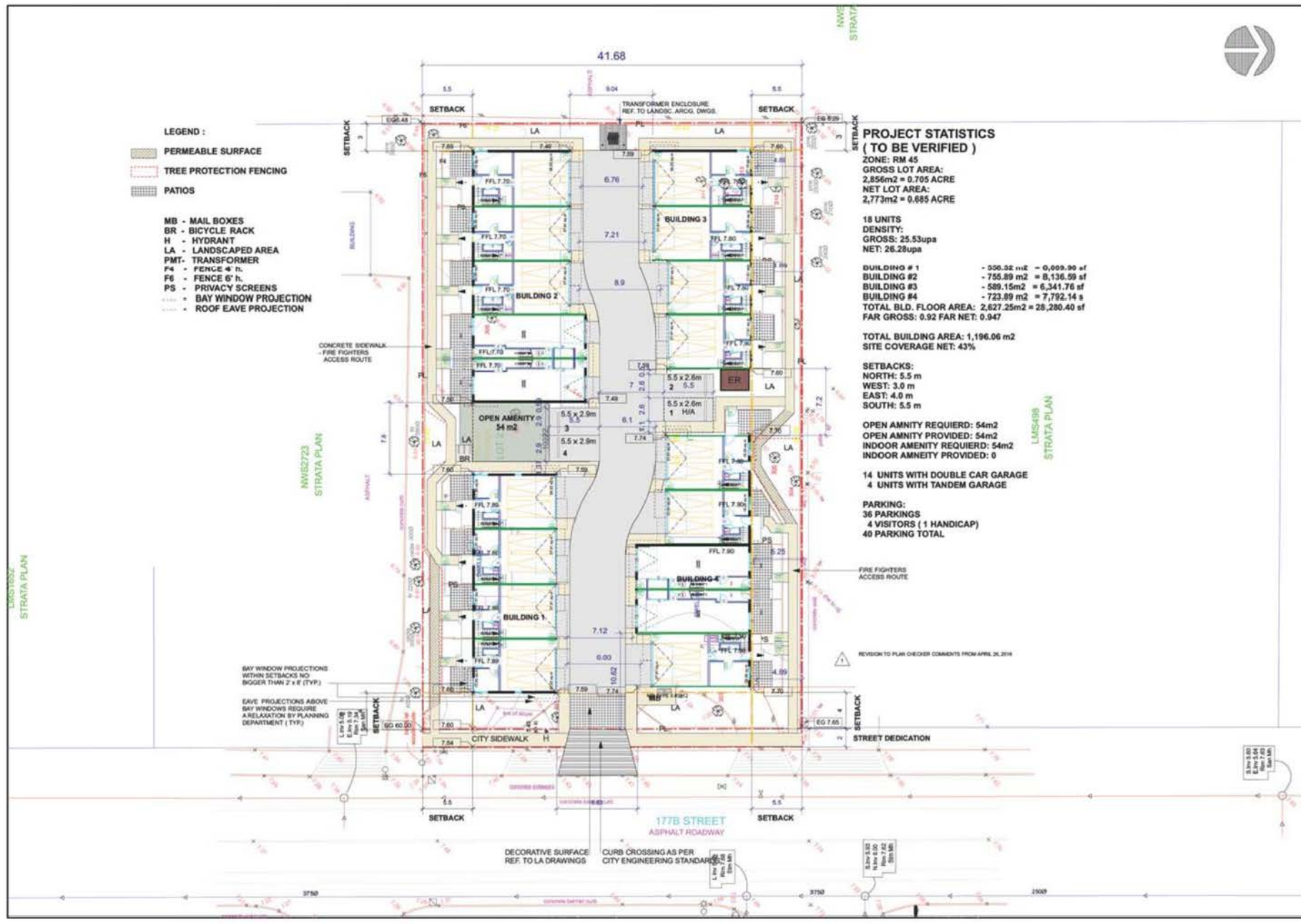
TOTAL BUILDING AREA: 1,196.06 m²
 SITE COVERAGE NET: 43%

SETBACKS:
 NORTH: 5.5 m
 WEST: 3.0 m
 EAST: 4.0 m
 SOUTH: 5.5 m

OPEN AMNITY REQUIRED: 54m²
 OPEN AMNITY PROVIDED: 54m²
 INDOOR AMNITY REQUIRED: 54m²
 INDOOR AMNITY PROVIDED: 0

14 UNITS WITH DOUBLE CAR GARAGE
 4 UNITS WITH TANDEM GARAGE

PARKING:
 36 PARKINGS
 4 VISITORS (1 HANDICAP)
 40 PARKING TOTAL



WG ARCHITECTURE INC
 1030 - 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V5
 TEL: (604) 331 2378
 FAX: (604) 683 7494

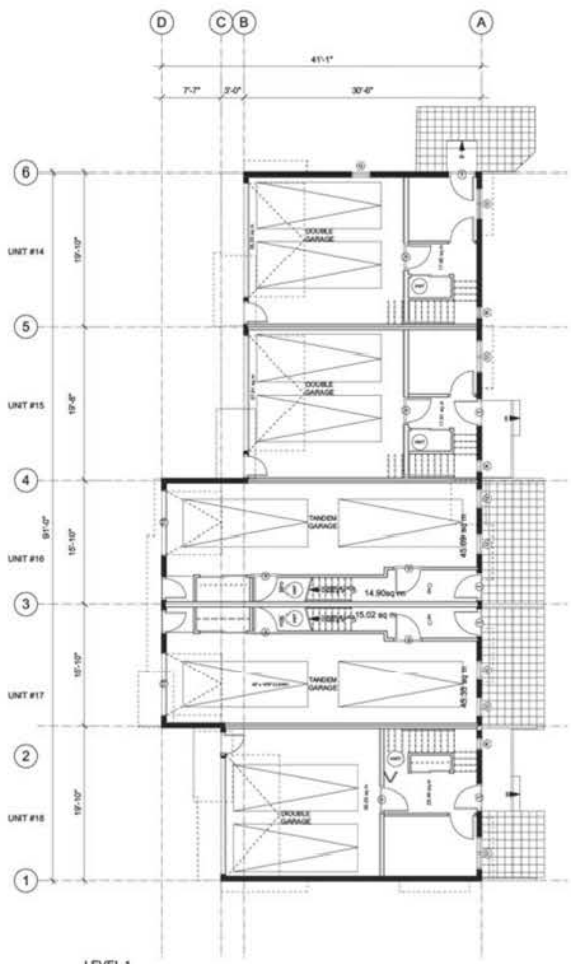
Project Title:
18 UNITS TOWNHOUSE PROJECT
 5933 & 5943-177 B St.
 SURREY, B.C.

Drawing Title: SITE PLAN	Date: November 2015	Project Number: 1602
Scale: 1/16"=1'-0"	Drawn By: EB	Approved By: WVG
		DP101

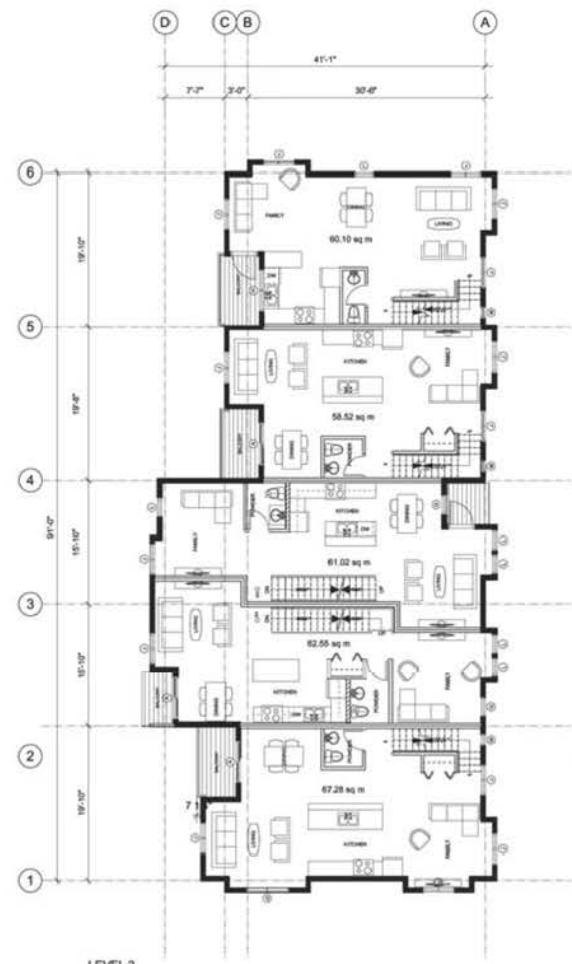


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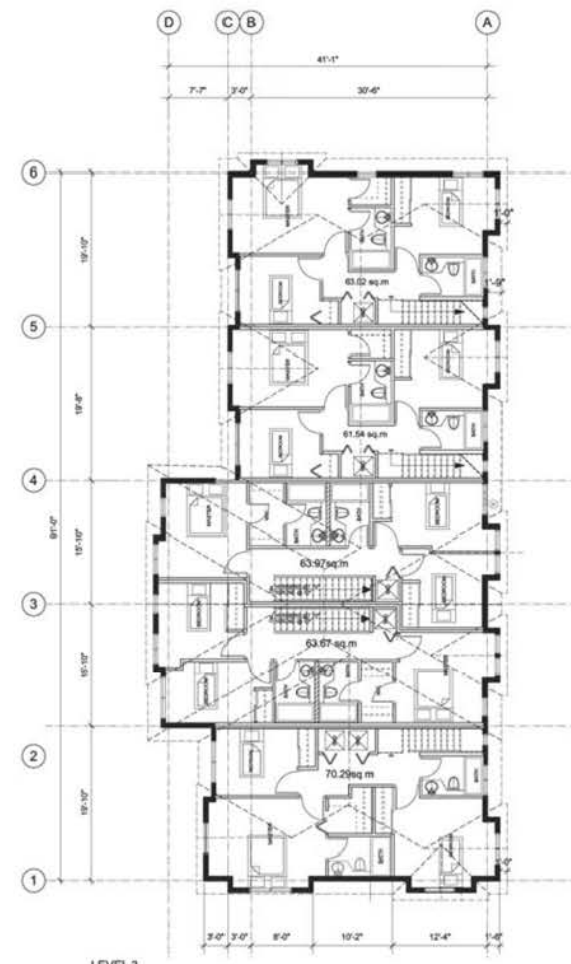
No: / Date: / Revision Details:
 1 BREAK-OR-BUILD, AS REVISED AFTER "PROFESSIONAL COMMENT" IN DISTANCE REQUIRED FROM FRONT FRONT LINE TO TACKLE UNIT



LEVEL 1
 BUILDING 4



LEVEL 2



LEVEL 3



**WG
 ARCHITECTURE
 INC**
 1030 - 470 GRANVILLE STREET
 VANCOUVER, B.C. V6C 1V5
 TEL: (604) 331 2378
 FAX: (604) 683 7494

Project Title:
**18 UNIT TOWNHOUSE
 5933 & 5943 - 177 B ST.
 SURREY, B.C.**

Drawing Title:
BUILDING 4

Date: May 2012	Project Number: 1602
Scale: 1/8"=1'-0"	Sheet: DP204
Drawn By: VA, NC	
Approved By: WVG	

May 2012
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SOUTH ELEVATION



EAST ELEVATION

NOTE:
FOR COLOUR AND MATERIAL TAGS
REF TO BUILDING 1 ELEVATIONS
DWG DP301



NORTH ELEVATION



WEST ELEVATION

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No: Date: Revision Details:



**WG
ARCHITECTURE
INC**

1030 - 470 GRANVILLE STREET
VANCOUVER, B.C. V6C 1V5
TEL: (604) 331 2378
FAX: (604) 683 7494

Project No:

**18 UNIT TOWNHOUSE
PROJECT**
5933 & 5943 - 177B ST.
SURREY BC

Drawing Title:

**ELEVATIONS
BUILDING 3**

Date:

November 2015

Project Number:

1602

Scale:

1/8" = 1' - 0"

Drawn By:

NG

Approved By:

WVG

DP303

Drawn: 2016, May 5
Time: 10:33:15 AM



SOUTH ELEVATION



EAST ELEVATION

NOTE:
FOR COLOUR AND MATERIAL TAGS
REF. TO BUILDING 1 ELEVATIONS
DWG DP301



NORTH ELEVATION



WEST ELEVATION

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No.	Date	Revision Details
1	2016-05-04	ISS. AS REVISED AFTER TRANSMISSION FROM CONSULTING DISTANCE REQUIRED FROM FRONT PROPERTY LINE TO FINISH LEVEL



WG ARCHITECTURE INC
1030 - 470 GRANVILLE STREET
VANCOUVER, B.C. V6C 1V5
TEL: (604) 331 2378
FAX: (604) 683 7494

Project Title:
**18 UNIT TOWNHOUSE PROJECT
5933 & 5943 - 177B ST. SURREY BC**

Drawing Title:
**ELEVATIONS
BUILDING 4**

Date: November 2015	Project Number: 1602
Scale: 1/8" = 1' - 0"	Drawn By: NG
Approved By: WVG	DP304

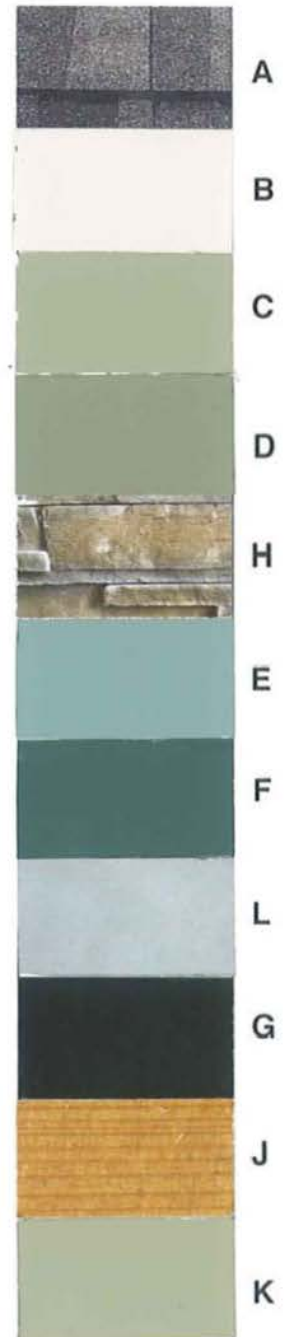
Drawn: 2016, May 5
Time: 10:27:20 AM

18 UNIT TOWNHOUSE PROJECT

5933 & 5944- 177B ST.
SURREY, B.C.

COLOUR SCHEME

- A. "DRIFTWOOD"- Cambridga Series by IKO
- Asphalt Shingles
- B. " CLINICAL" General Paint CL 3252 W LRV63
- Roof Fascia, Horizontal Trims, Garage Door Trims,
some Gable Decorative Trims
- C. " MONTEREY TAUPE " - pre-painted
- Exterior Walls -Hardie Planka 6" Siding w/wood texture
- D. " WOODSTOCK BROWN " - pre-painted
- Exterior Walls - Hardie Planks 6" Siding w/wood texture
- E. " BOOTHBAY BLUE" - pre-painted
- Exterior Walls, 6" Hardie Board Siding w/wood texture,
some Hardie Flat Panels
- F. " TADPOLE" - custom painted General Paint CL 3086 A LRV13
- Exterior Walls - Hardie Flat Panels, Vertical, Horizontal
and Window Trims, some Gable Decorative trims
- G. " PORTAGE " - GENERAL PAINT CLV 1184 LRV53
- Metal Balcony Railings, painted
- H. EASYFIT LEDGESTONE T8016
- Exterior Wall Stone Veneer by Pacific Art Stone Inc.
- J. " NATURAL " - wood stain by Behr
- Entry Doors, Balcony Fascias
- K. "WICKET" General Paint CL2934 D LRV36
- Garage Doors, painted
- L. NATURAL ALUMINIUM - Fry Riglet
- Joint Profiles



SCALE:



NO.	DATE	REVISION DESCRIPTION	DR.
1	16-MAR-22	ISSUED FOR NEW PERM PLAN	CSG
2	16-MAR-22	ISSUED FOR PERM PLAN	CSG
3	16-MAR-22	ISSUED FOR PERM PLAN	CSG
4	16-MAR-22	FOR SETUP	CSG

CLIENT:

PROJECT:

18 UNIT TOWNHOUSE
5933 & 5943-177B STREET
SURREY BC

DRAWING TITLE:
**TREE MANAGEMENT
PLAN**

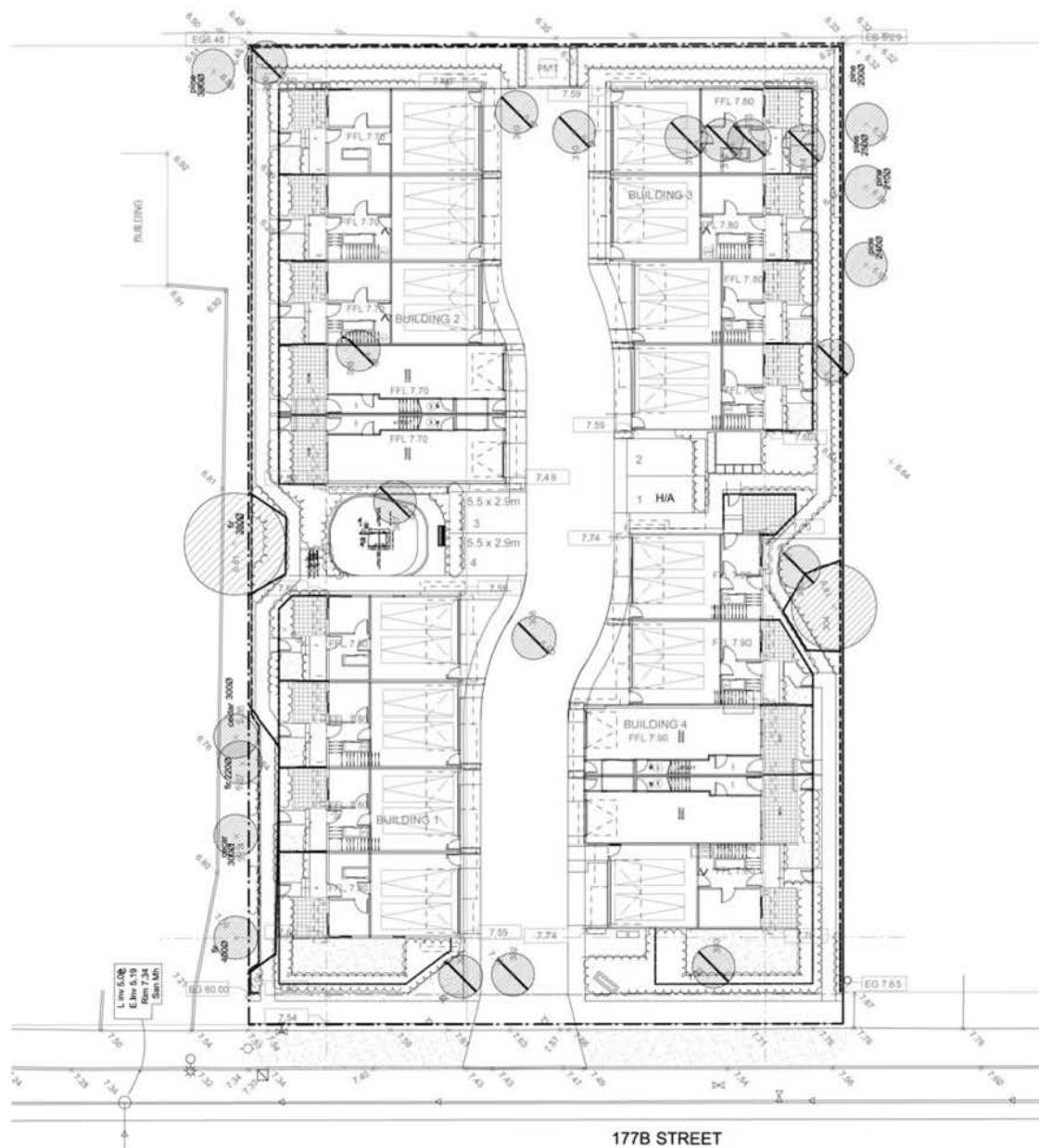
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DESIGN: CSG
CHECKED: PNC

L1

OF 1

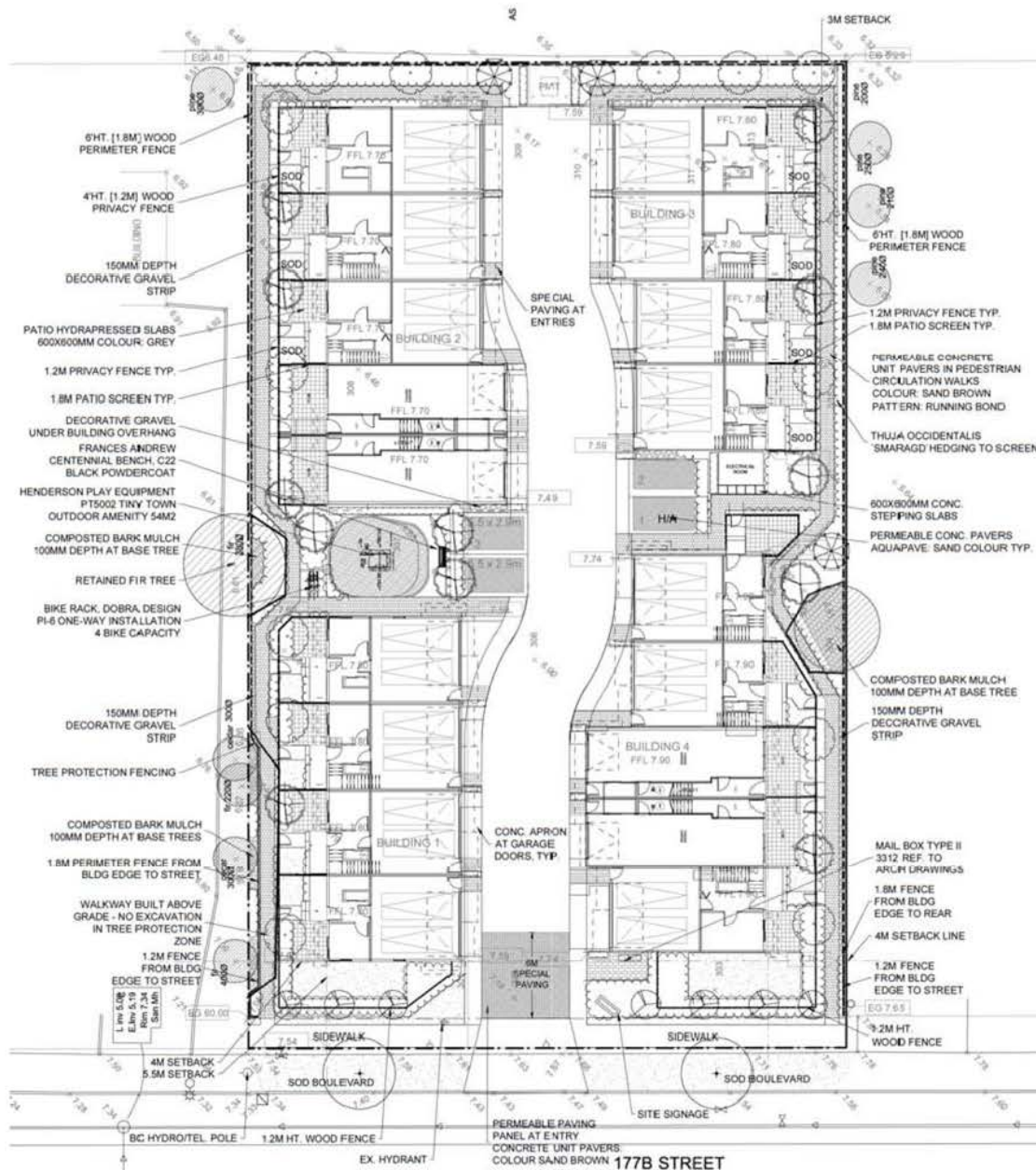
TREE LEGEND

	EX. TREE TO REMOVE
	EX. TREE TO RETAIN



177B STREET

SCALE



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2	2024.07.27	ISSUE FOR PERMITS	CS
3	2024.07.27	ISSUE FOR PERMITS	CS
4	2024.07.27	ISSUE FOR PERMITS	CS

CLIENT:

PROJECT:

18 UNIT TOWNHOUSE
5933 & 5943-177B STREET
SURREY BC

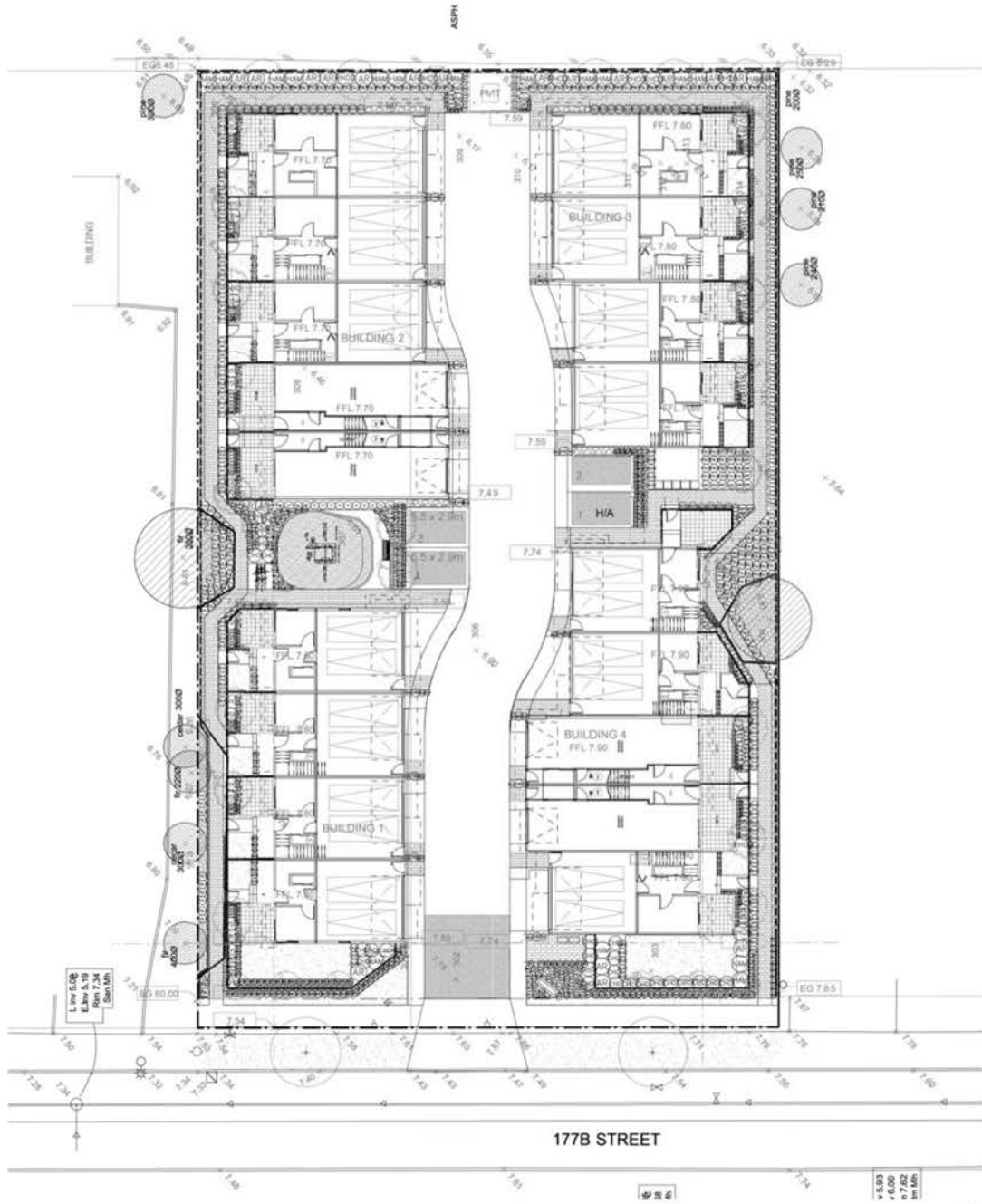
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LANDSCAPE PLAN

DATE: 16 MAR 2024 DRAWING NUMBER:
SCALE: 1:50
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DESIGN: CS
CHECK: PNC

L2

OF 1

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P: 604 294-0911 • F: 604 294-0252

SEAL

NO.	DATE	REVISION DESCRIPTION	DR.
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CLIENT:

PROJECT:

18 UNIT TOWNHOUSE
5933 & 5943-177B STREET
SURREY BC

DRAWING TITLE:
SHRUB PLAN

DATE: 16 MAR 22 DRAWING NUMBER:
SCALE: 1:50
DRAWN: CSG
DESIGN: CSG
CHECK: PNC

L3

OF 1

INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Project Engineer, Engineering Department**

DATE: **May 24, 2016** PROJECT FILE: **7815-0414-00**

RE: **Engineering Requirements
Location: 5943 177B Street**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 1.942 metres along 177B Street for the ultimate 24.0 metre Collector Road Standard.
- Provide a 0.500 metre Statutory Right-of-Way (SRW) along the 177B Street frontage.

Works and Services

- Remove the existing sidewalk along 177B Street and construct a 1.800 metre concrete sidewalk, 3.2 metre boulevard, and street lighting.
- Construct a 7.3 metre concrete driveway letdown with curb extension.
- Provide on-lot source controls to meet the requirements of the Cloverdale-McLellan Integrated Stormwater Management Plan (ISMP).
- Provide water, storm, and sanitary service connections to service the proposed development.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit



for Robert Cooke, Eng.L.
Development Project Engineer

CE4



Wednesday, May 25, 2016
 Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 15 0414 00

School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Martha Currie Elementary is at capacity and Lord Tweedsmuir is over capacity, on an extended day schedule and will have 18 portables in 2016. The Ministry has approved a new secondary school in North Clayton which will provide some relief to the over crowding at Lord Tweedsmuir. The new school, Salish Secondary, it expected to open in September 2018.

SUMMARY

The proposed 18 townhouse units are estimated to have the following impact on the following schools:

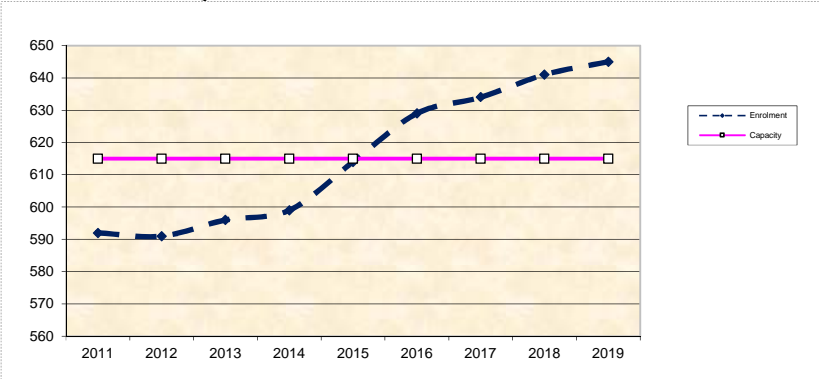
Projected # of students for this development:

Elementary Students:	4
Secondary Students:	2

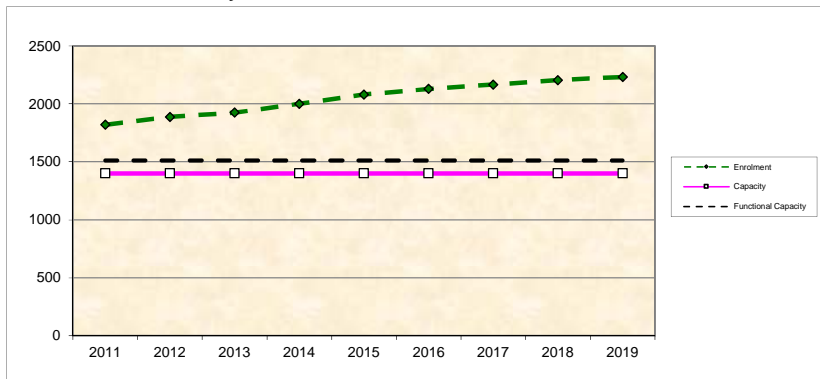
September 2015 Enrolment/School Capacity

Martha Currie Elementary	
Enrolment (K/1-7):	73 K + 541
Capacity (K/1-7):	40 K + 575
Lord Tweedsmuir Secondary	
Enrolment (8-12):	2081
Nominal Capacity (8-12):	1400
Functional Capacity*(8-12):	1512

Martha Currie Elementary



Lord Tweedsmuir Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: 15 - 0414 - 00

Address: 5933 177B Street

Registered Arborist: Vanessa Melney

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	16
Protected Trees to be Removed	15
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	1
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 _____ - All other Trees Requiring 2 to 1 Replacement Ratio 15 X two (2) = 2 _____ 	30
Replacement Trees Proposed	36
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	NA
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0 	0
Replacement Trees Proposed	NA
Replacement Trees in Deficit	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist:



Date: April 28, 2016

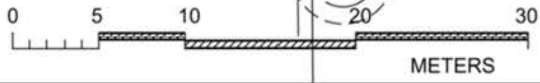


NOTE: CONSTRUCT WALKWAY ABOVE GRADE WITH NO EXCAVATION INSIDE THE TPZ.

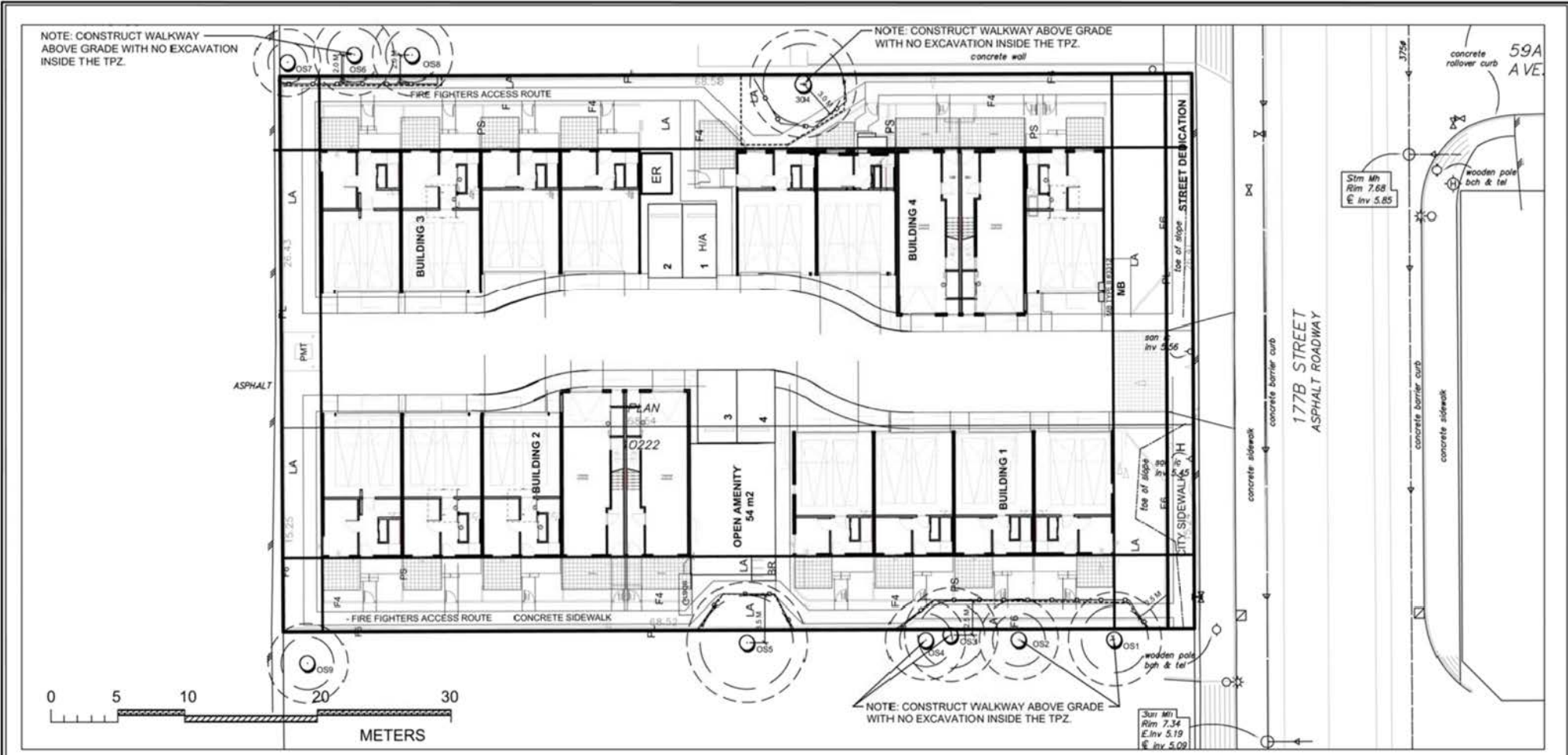
NOTE: CONSTRUCT WALKWAY ABOVE GRADE WITH NO EXCAVATION INSIDE THE TPZ.
concrete wall

NOTE: CONSTRUCT WALKWAY ABOVE GRADE WITH NO EXCAVATION INSIDE THE TPZ.

NOTE: TREE PROTECTION FENCING TO BE MEASURED FROM THE OUTER EDGE OF TREE TRUNK AND SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS. REASSESS TREES WITH LOT GRADING PLANS.



LEGEND	
	TREE TO BE RETAINED
	MINIMUM NO DISTURBANCE ZONE
	TREE PROTECTION FENCING
	1M EXCAVATION OFFSET



STAMP	NO.	DATE	BY	REVISION
	1	DEC215	MK	NEW TOWNHOUSE LAYOUT
	2	MAR216	MK	NEW TOWNHOUSE LAYOUT
	3	APR216	MK	NEW TOWNHOUSE LAYOUT
	4	APR216	MK	REVISED TOWNHOUSE LAYOUT

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
Surrey, British Columbia
V3W 0A6
Ph: (778) 593-0300
Fax: (778) 593-0302
Mobile: (604) 240-0309
Email: mfadum@fadum.ca

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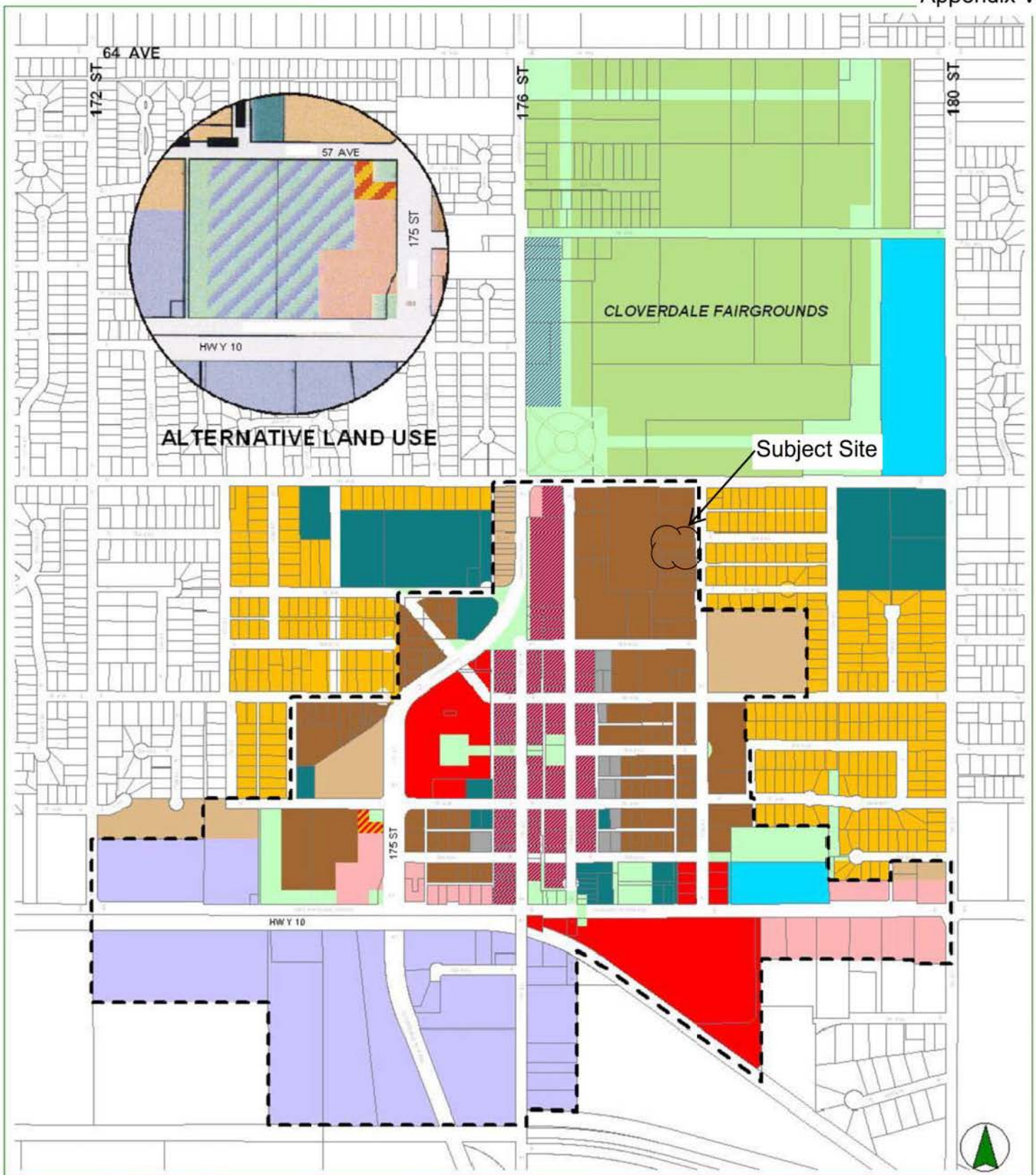
PROJECT TITLE
5933 5943 177B ST.
SURREY, B.C.

SHEET TITLE
T2 - TREE PROTECTION PLAN
CLIENT _____
DATE
JANUARY 27, 2016

DRAWN
MK
SCALE
AS SHOWN
DATE
JANUARY 27, 2016



T-2
SHEET 2 OF 2



- | | | | |
|---------------------------|----------------------------|--------------------|------------------------|
| TOWN CENTRE COMMERCIAL | MEDIUM DENSITY RESIDENTIAL | INSTITUTIONAL | SCHOOL |
| RETAIL/SERVICE COMMERCIAL | TOWNHOUSES | COMMUNITY SERVICES | CLOVERDALE FAIRGROUNDS |
| RESIDENTIAL/COMMERCIAL | INDUSTRIAL | PARKING | STUDY BOUNDARY |
| HIGHWAY COMMERCIAL | INDUSTRIAL BUSINESS PARK | PARKS/OPEN SPACE | |

CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: SINGLE FAMILY RESIDENTIAL ZONE (RF)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 002-569-221
Lot 2 Section 8 Township 8 New Westminster District Plan 10222

5933- 177B Street

Parcel Identifier: 009-274-537
Lot 3 Section 8 Township 8 New Westminster District Plan 10222

5943 - 177B Street

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium *density, ground-oriented multiple unit residential buildings* and related *amenity spaces* which are to be developed in accordance with a *comprehensive design*.

B. Permitted Uses

Lands and *structures* shall be used for *ground-oriented multiple unit residential buildings*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. The *floor area ratio* shall not exceed 1.0.
2. The *unit density* shall not exceed 75 *dwelling units* per hectare [30 u.p.a].
3. The indoor *amenity space* required in Sub-section J.1(b) of this Zone is excluded from the calculation of *floor area ratio*.

E. Lot Coverage

The *lot coverage* shall not exceed 45%.

F. Yards and Setbacks

1. *Buildings and structures* shall be sited in accordance with the following minimum *setbacks*:

	<i>Setback</i>	<i>Front Yard</i>	<i>Rear Yard</i>	<i>Side Yard</i>
<i>Use</i>				
<i>Principal Buildings and Accessory Buildings and Structures</i>		4.0 m. [13 ft.]	3.0 m. [10 ft.]	5.5 m. [18 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Notwithstanding the definition of *setback* in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended, roof overhangs above bay or boxed windows may encroach up to 0.6 metre [2 ft.] into the required *setback*.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*: The *building height* shall not exceed 13 metres [43 ft.].

2. Accessory buildings and structures:
 - (a) Indoor *amenity space buildings*: The *building height* shall not exceed 11 metres [36 ft.]; and
 - (b) Other *accessory buildings and structures*: The *building height* shall not exceed 4.5 metres [15 ft.].

H. Off-Street Parking

1. Resident and visitor *parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. All required resident *parking spaces* shall be provided as *parking within building envelope*.
3. *Tandem parking* is permitted, subject to the following:
 - (a) A maximum of fifty percent (50%) of all required resident *parking spaces* may be provided as *tandem parking spaces*;
 - (b) *Parking spaces* provided as *tandem parking* must be enclosed and attached to each *dwelling unit*;
 - (c) *Parking spaces* provided as *tandem parking* must be held by the same owner; and
 - (d) Access to *parking spaces* provided as *tandem parking* is not permitted within 6 metres [20 ft.] from *lot* entrances/exits.
4. Visitor parking within the required *setbacks* is not permitted.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings, a landscaping* screen, a solid decorative fence, or a combination thereof.

J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit*.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
2,400 sq. m. [0.6 acre]	40 metres [130 ft.]	60 metres [645 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-30 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.

6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2014, No. 18148, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-30 Zone.
9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20__ .

PASSED SECOND READING on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

PASSED THIRD READING on the _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

_____ MAYOR

_____ CLERK



Cloverdale Community Association

Website: www.cloverdalecommunity.org

May 25, 2016

Jeff Denney
City of Surrey
Planning and Development Department
13450-104 Avenue
Surrey BC V3T 1V8

Re: 15-0414 / 5933 and 5943 – 177B Street

Dear Mr. Denney:

The Cloverdale Community Association (CCA) has received the preliminary notice for the proposed development noted above.

The CCA requests that adequate on-street and off-street parking be provided in addition to a Green Boulevard and sidewalks. Other than the above noted comments, we do not have any concerns with this project.

Please keep us updated with any changes which may occur after this letter has been received by you.

We trust the above information is satisfactory and as always, we expect our comments to be added in the planning report and project file for council to review.

Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read "Mike Bola".

Mike Bola
President
Cloverdale Community Association
604-318-0381

Cc: Board of Directors