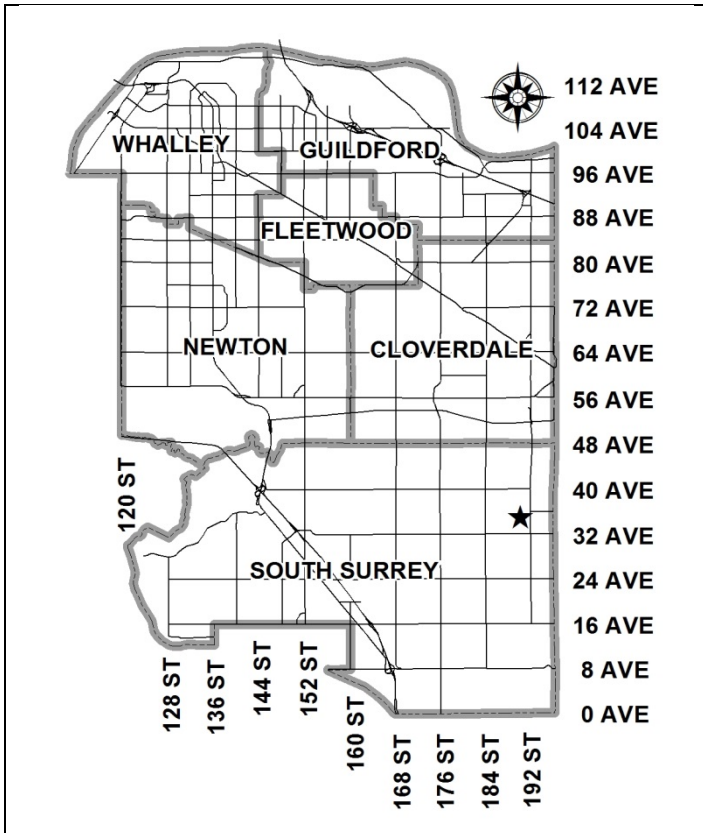


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7915-0384-00

Planning Report Date: March 07, 2016



PROPOSAL:

- **Development Permit**
 to permit the development of a 3,574.5 m² (38,462 sq. ft.) multi-tenant industrial building.

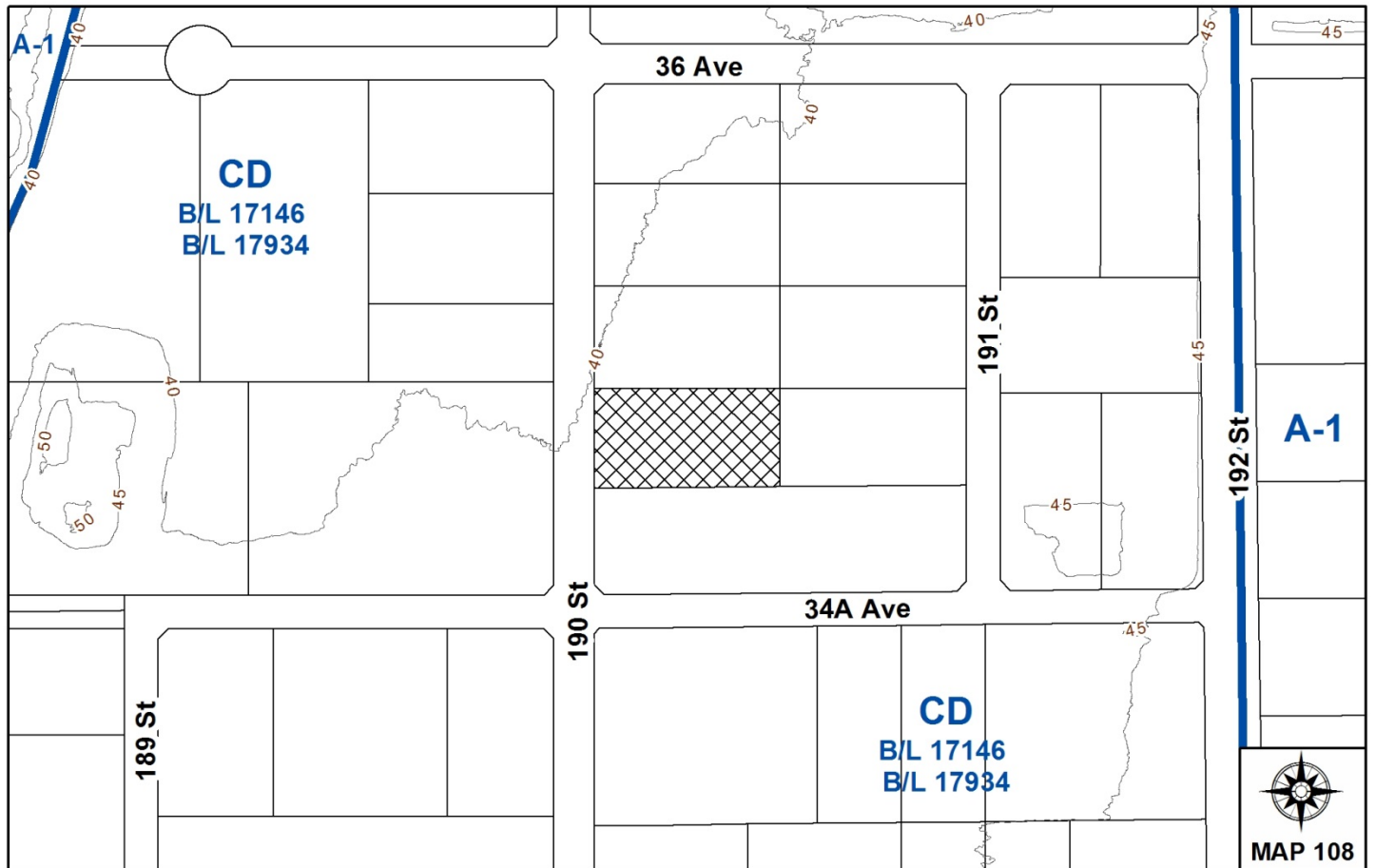
LOCATION: 3488 - 190 Street

OWNER: IDR Construction Development Inc.

ZONING: CD (By-law Nos. 17146 and 17934)

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Business Park



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposal complies with the OCP Designation and with the Campbell Heights Business Park Plan.
- The form and character of the proposed building meets the intent of the general Development Permit and Design Guidelines for Campbell Heights North.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7915-0384-00 including a comprehensive sign design package generally in accordance with the attached drawings (Appendix II).
2. Council instruct staff to resolve the following issues prior to final approval:
 - (a) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the project as outlined in Appendix III.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: The site is a vacant pre-serviced lot, devoid of trees and vegetation.

Adjacent Area:

Direction	Existing Use	OCP/LAP Designation	Existing Zone
North:	Undeveloped industrial land	Mixed Employment / Business Park	CD (By-law Nos. 17146 and 17934)
East:	Undeveloped industrial land	Mixed Employment / Business Park	CD (By-law Nos. 17146 and 17934)
South:	Recently approved Development Application under Application No. 7914-0209-00, for an industrial building	Mixed Employment / Business Park	CD (By-law Nos. 17146 and 17934)
West (Across 190 Street):	Undeveloped industrial land	Mixed Employment / Business Park	CD (By-law Nos. 17146 and 17934)

DEVELOPMENT CONSIDERATIONSContext

- The subject 0.65 hectare (1.61 acres) site is located at 3488 190 Street and is designated Mixed Employment in the Official Community Plan, and Business Park in the Campbell Heights Local Area Plan.

- In May 2012, the site was rezoned from "General Agricultural Zone (A-1)" to "Comprehensive Development Zone (CD)" under By-law No. 17146 (Application File No. 7910-0032-00), in October 2015, the parent property was subdivided to create the subject lot Development Application No. 7912-0159-00. In May 2013, CD By-law No. 17146 was amended (under By-law No. 17934) to adjust the outdoor storage area boundaries.
- CD By-law No. 17146, as amended by By-law 17934, permits light impact industry, warehouse uses, distribution centres, transportation industry, office uses, and other accessory uses, forming part of a comprehensive design.
- Under the original rezoning and subdivision applications, the site was cleared and serviced for development. There are no trees or vegetation on the site.
- There is a General Development Permit registered on the property, No. 7910-0032-00, which provides design guidelines.

Proposal

- The applicant is proposing a Development Permit for a multi-tenant industrial building. Currently, no tenants or future users have been identified.
- The development proposes a gross floor area of 3,574.5 square metres (38,462 sq. ft.), representing a net floor area ratio (FAR) of 0.55, which is less than the 1.0 FAR permitted in the current CD zoning.
- Of the total proposed floor area, 1,377 square metres (14,820 sq. ft.) is proposed for warehouse use, 1,094 square metres (11,770 sq. ft.) for first floor office space, 1,904 square metres (11,770 sq. ft.) is proposed as upper floor office space, and the remaining 9.5 square metres (102 sq. ft.) for a mechanical room.
- The form, character and density of the proposed development comply with the Campbell Heights Local Area Plan (LAP) and the proposed development meets the requirements of the current CD zoning, including floor area, lot coverage, building height and building setbacks.
- The proposal includes a total of 50 parking stalls, including 2 disabled parking stalls, which meets the minimum 47 parking spaces required under the Zoning By-law. 14 loading bays are proposed along the northern portion of the site. The applicant has chosen to base the parking calculation on 3 parking spaces per 100 square metres (1,000 sq. ft.), which is permitted under the Zoning By-law, but it may restrict some uses which are more parking intensive from being provided on the site.
- One vehicular access and one truck access are proposed to this site from 190 Street. The vehicular access is on the southern portion of the site, and the truck access to the loading bays is on the northern portion of the site.

PRE-NOTIFICATION

On February 19, 2016 a development sign was posted on the site and the project was referred to the Little Campbell Watershed Society (LCWS) for review and comment. The LCWS has indicated they have no objection to the proposal as there is no apparent short-term impact perceived on the Little Campbell River at this time. Staff have received no other responses for the proposal.

DESIGN PROPOSAL AND REVIEW

- The proposed building is consistent with the design guidelines outlined in the Campbell Heights North Design Guidelines and the OCP, and is reflective of the existing design standards within the area. The development concept behind Campbell Heights is a high quality, sustainable industrial business park.
- Overall, the building is proposed to have a modern linear appearance. Architectural details are provided with a metal mesh in two colours wrapping the building. Entrance to the units is provided along the internal drive aisle, and a plaza is provided at the southern corner of the building, connecting to the 190 Street sidewalk.
- The building provides 14 separate units, which could be combined into larger units, depending on the ultimate tenant mix.
- The proposed building construction includes tilt up concrete panels, steel structure, synthetic rubber roofing and glazing systems. The proposed colour scheme uses shades of grey and blue using pre-finished perforated vertical wall panels.
- Pedestrian access to the site will be available through the plaza, connecting the 190 Street sidewalk to the main access to the units along the south façade of the building.
- Fascia signs are shown for each individual tenant, to comply with maximum sign area in the Sign By-law. The applicant also proposed a free-standing identification sign for the development (with address), which is not proposed to have the names of individual tenants. The sign complies with setbacks, maximum height and sign area.

TREES

- An arborist report was not provided as there are currently no trees and very little vegetation on the property.

Landscaping

- The proposed landscaping consists of a 7.5 metre (25 ft.) wide landscape strip along 190 Street, and a 1.5 metre (5 ft.) wide landscape strip along the north property line. There is also a 7.5 metre (25 ft.) landscape buffer along the majority of the east property line, with the exception of a few parking stalls along the southern portion of the site, and the garbage enclosure along the northern portion.

- The proposed landscaping along 190 Street will also incorporate a plaza at the south corner of the building.
- For the front yard landscaping, the proposal includes a variety of species, including Aries Peter's Flowering Ash, Autumn Brilliance Serviceberry, Red Jewel Crabapple, and Weeping Nootka Cypress, along with several shrubs and ground cover. For the remainder of the landscaping, the proposal consists of a variety of trees, including October Glory Maple, Crimson Spire Oak, Western Hemlock, Western Red Cedar and a variety of shrubs and ground cover.
- A 7.5 metre (25 ft.) wide section of specialty paving is proposed at the driveway entrance, in a brick parquet pattern.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on November 04, 2015. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The proposal complies with the OCP designation, the Campbell Heights LAP designation and the existing zoning.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed 0.55 FAR is within the maximum 1.0 FAR that is prescribed for the site. • The proposal includes public outdoor amenity area.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • n/a
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • n/a
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • CPTED design principles have been applied, including lighting, glazing and landscaping.
6. Green Certification (F1)	<ul style="list-style-type: none"> • n/a
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • n/a

ADVISORY DESIGN PANEL

- The application was not referred to the Advisory Design Panel (ADP), but was reviewed by City staff and found to be satisfactory. The proposed development was evaluated based on compliance with the design guidelines for Campbell Heights North and the OCP.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- | | |
|---------------|---|
| Appendix I. | Lot Owners, Action Summary and Project Data Sheets |
| Appendix II. | Survey Plan, Site Plan, Building Elevations and Landscape Plans |
| Appendix III. | Engineering Summary |

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Aplin & Martin and C. Kavolinas & Associates Inc., respectively, dated February 23, 2016 and February 22, 2016.

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

LFM/dk

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DEVELOPMENT DATA SHEET


Existing Zoning: CD (By-law Nos. 17146 and 17934)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		6,518 m ²
Road Widening area		-
Undevelopable area		-
Net Total		6,518 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	60%	38%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front	7.5 m	7.98 m
Rear	7.5 m	8.23 m
Side #1 (N)	7.5 m	18.19 m
Side #2 (S)	7.5 m	15.0 m
BUILDING HEIGHT (in metres/storeys)		
Principal	14 m	9.35 m
Accessory	6 m	n/a
FLOOR AREA: Commercial (office)		2,188 m ²
FLOOR AREA: Industrial		1,386.5 m ²
FLOOR AREA (TOTAL)	6,518 m ²	3,574.5 m ²
DENSITY		
FAR (gross)		0.55
FAR (net)	1.0	0.55
PARKING (number of stalls)		
Industrial	47	50
Number of disabled stalls	1	2
Number of small cars	-	-

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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MULTI-TENANT WAREHOUSE CAMPBELL HEIGHTS NORTH 3488 190TH STREET

GENERAL NOTES	SHEET DIRECTORY	CONTRACT REQUIREMENTS
<p>ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AS ADOPTED AND AMENDED BY THE AUTHORITY HAVING JURISDICTION.</p> <p>THESE DRAWINGS ARE SUPPLIED TO THE CONTRACTOR AND OTHERS FOR THEIR USE FOR THIS SPECIFIC PROJECT. ALL COPIES OF THESE DRAWINGS SHALL REMAIN THE PROPERTY OF APLIN & MARTIN AND SHALL NOT BE REPRODUCED WITHOUT PERMISSION OF APLIN & MARTIN.</p> <p>THE ORGANIZATION OF DOCUMENTS ARE NOT INTENDED TO CONTROL THE DIRECTION OF WORK. DIRECTION OF WORK SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.</p> <p>THE ORGANIZATION OF DOCUMENTS ARE NOT INTENDED TO CONTROL THE DIRECTION OF WORK. DIRECTION OF WORK SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.</p> <p>DIMENSIONS ARE TO FACE OF STUD, FACE OF MASSORY, FACE OF CONCRETE OR GRID LINE AT NEW CONSTRUCTION AND FACE OF EXISTING FINISH AT EXISTING CONSTRUCTION UNLESS OTHERWISE NOTED.</p> <p>CONTRACTOR SHALL VERIFY DIMENSIONS, REQUIRED CLEARANCES, AND POWER AND PLUMBING REQUIREMENTS FOR ALL OWNER AND NC ITEMS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.</p> <p>EXISTING CONDITIONS SHOWN ARE BASED ON RECORD DRAWINGS AND / OR ORIGINAL CONSTRUCTION DRAWINGS. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.</p> <p>ALL CONSULTANTS' AND ARCHITECT'S DRAWINGS AND SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH EACH OTHER.</p> <p>CONTRACTOR TO KEEP AS-BUILT RECORDS OF CONSTRUCTION AND MAKE AVAILABLE TO THE ARCHITECT AT PROJECT CLOSE.</p>	<p>ARCHITECTURAL:</p> <p>A0.0 COVER SHEET A0.1 SITE CONTEXT PLAN A0.2 SURVEY A1.1 SITE PLAN A1.2 SITE DETAILS A2.1 GROUND FLOOR PLAN A2.2 UPPER FLOOR PLAN A2.3 ROOF PLAN A4.1 EXTERIOR ELEVATIONS A4.2 ENLARGED EXTERIOR ELEVATIONS A4.3 COLOURED EXTERIOR ELEVATIONS A5.1 BUILDING SECTIONS A6.0 RENDERED PERSPECTIVES</p> <p>LANDSCAPING:</p> <p>L01 LANDSCAPING PLAN L02 ENLARGED PLAN</p>	<p>CORRESPONDENCE: ALL CORRESPONDENCE MUST GO THROUGH THE ARCHITECT SO THAT ALL INFORMATION RELATIVE TO THE PROJECT CAN BE PROPERLY DOCUMENTED, COORDINATED AND TRACKED. ANY PERTINENT CORRESPONDENCE NOT INCLUDING THE ARCHITECT SHALL BE SUBMITTED TO THE ARCHITECT IN THE FORM OF WRITTEN MEETING MINUTES.</p> <p>REQUEST FOR INFORMATION: ANY QUESTIONS / CLARIFICATIONS REQUIRED BY THE CONTRACTOR SHALL BE SUBMITTED IN WRITING (EMAIL) TO THE ARCHITECT IN THE FORM OF A RFI (REQUEST FOR INFORMATION). CONTRACTOR SHALL NUMBER HEADER RIFTS SEQUENTIALLY AND INCLUDE ANY SUB-CONTRACTOR RIFTS WITH THEIR NUMBERING SYSTEM. SEPARATE SUB-CONTRACTOR RIFTS FORWARDED DIRECTLY TO THE ARCHITECT WILL NOT BE ACCEPTED. THE ARCHITECT MAY ALSO ASK QUESTIONS/CLARIFICATIONS FROM THE CONTRACTOR IN THE FORM OF A REQUESTS (ARCHITECTURAL SUPPLEMENTAL INFORMATION).</p> <p>THE ARCHITECT MAY SUBMIT ADDITIONAL DESIGN INFORMATION DURING THE COURSE OF CONSTRUCTION IN THE FORM OF AN ADD. IF THE CONTRACTOR BELIEVES THE ADDITIONAL INFORMATION CONSTITUTES A CHANGE IN PROJECT COST OR TIME, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.</p> <p>ASIS (ARCHITECTURAL SUPPLEMENTAL INFORMATION): ARCHITECTURAL SPECIFICATIONS MAY BE ISSUED DURING THE COURSE OF CONSTRUCTION. THEY WILL ACCOMPANY RIFTS, ASIS, PCO'S OR COS (CHANGE ORDERS) BUT WILL NOT BE ISSUED ON THEIR OWN. SIMILARLY STRUCTURAL, MECHANICAL, MEK OR ELECTRICAL ETC., MAY BE ISSUED.</p> <p>PROGRESS DRAWINGS: PROGRESS DRAW APPLICATIONS SHALL BE SUBMITTED TO THE ARCHITECT PER THE REQUIREMENTS OF THE COCCO CONTRACT.</p> <p>CHANGES: CHANGES IN THE PROJECT WILL BE ISSUED AS A: CO (CHANGE ORDER) CO (CHANGE DIRECTIVE) PCO (PROPOSED CHANGE ORDER)</p> <p>PROPOSED CHANGES WILL BE INITIATED BY THE ARCHITECT FOR THE CONTRACTOR TO PRICE AND WILL BE ISSUED AS A: PCO (PROPOSED CHANGE ORDER)</p> <p>SUBMITTALS: FINAL SUBMITTALS ARE ACCEPTABLE AND ENCOURAGED. CONTRACTOR TO IDENTIFY LONG LEAD ITEMS AT START OF PROJECT. TURN AROUND TIME FOR SUBMITTAL REVIEWS BY THE ARCHITECT SHALL BE MAXIMUM 5 DAYS UNLESS OTHERWISE AGREED. ARCHITECT WILL SUPPLY THE CONTRACTOR WITH A LIST OF SUBMITTALS AT THE CONSTRUCTION KICK-OFF MEETING.</p> <p>MEETING MINUTES: CONTRACTOR TO KEEP A CURRENT CONSTRUCTION SCHEDULE AND MAKE AVAILABLE TO THE ARCHITECT. Gantt CHARTS ARE PREFERRED.</p> <p>MEETING MINUTES: CONTRACTOR TO KEEP MEETING MINUTES OF ALL CONSTRUCTION MEETINGS INCLUDING MEETINGS WHERE THE ARCHITECT IS NOT PRESENT. MINUTES TO BE EMAILED TO PROJECT TEAM WITHIN 24HRS.</p> <p>RECORD DIMS (AS-BUILTS): THE CONTRACTOR SHALL KEEP A RECORD OF ALL AS-BUILT CONDITIONS AND MAKE AVAILABLE TO THE CONSULTANT AT PROJECT CLOSE. ALL UNDERGROUND PIPING, CONDUITS, SHALL BE DIMENSIONED TO GROUND OR SURFACE REFERENCE POINTS.</p> <p>INSPECTIONS: AT CONSTRUCTION COMMENCEMENT THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO DETERMINE WHAT INSPECTIONS HE/SHE WILL REQUIRE TO PERFORM DURING THE COURSE OF THE PROJECT (REQUIREMENTS DIFFER FROM JURISDICTION TO JURISDICTION).</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE CITY INSPECTOR WHEN THE WORK IS READY TO BE INSPECTED (USUALLY ONE DAY BEFORE THE REQUIRED INSPECTION - CONFIRM WITH JURISDICTION). THE CONSULTANT SHALL ALSO BE NOTIFIED AT SUCH TIMES (IN WRITING / EMAIL). ALL INSPECTOR CERTIFICATIONS SHALL BE FILED BY THE CONTRACTOR AND MAILED OVER TO THE CONSULTANT AT SUBSTANTIAL COMPLETION.</p> <p>SUBSTANTIAL COMPLETION: SUBSTANTIAL COMPLETION WALK-THRU SHALL BE SCHEDULED MINIMUM 1 WK. PRIOR TO PROJECT COMPLETION/CLIENT MOVE-IN. THIS WILL ALLOW ADEQUATE TIME TO CORRECT ALL DISCREPANCIES. ARCHITECT WILL PREPARE A CERTIFICATE LET AT TIME OF FINAL WALK-THRU AND DISTRIBUTE.</p> <p>CONTRACTOR TO HAND OVER ALL REQUIRED FINAL DOCUMENTATION TO THE ARCHITECT AT FINAL WALK-THRU.</p>
<p>CONTACTS</p>		<p>LOCATION PLAN</p>
<p>OWNER / CONTRACTOR</p> <p>OR CONSTRUCTION DEVELOPMENT INC. ONE 135 - 4471 NUMBER 6 ROAD RICHMOND, BC V6V 1R8 CONTACT: DON SHEPPARD PHONE: 778-271-1347 X334 EMAIL: dsheppard@tdc.com</p> <p>ARCHITECT:</p> <p>APLIN & MARTIN SUITE 1000 - 3450 130 AVENUE SURREY, BC V3T 5C3 CONTACT: ANDY KILL, ARCHITECT ABC PHONE: 604-531-3456 X107 EMAIL: ajkill@aplinmartin.com</p> <p>LANDSCAPING ARCHITECT:</p> <p>C KAVOUNAS & ASSOCIATES 2462 JONGLE COURT ABBOTSFORD, BC V2S 2E9 CONTACT: CLAIR KAVOUNAS, BCQA, CSA PHONE: 604-857-2376 EMAIL: kvad@kav.com</p> <p>CIVIL:</p> <p>APLIN & MARTIN 505 - 1752 WESS BROADWAY VANCOUVER, BC V6J 4K5 CONTACT: JEREMIAH BOUCHER, P. ENG PHONE: 604-274-8827 X247 EMAIL: jboucher@aplinmartin.com</p> <p>STRUCTURAL:</p> <p>KIRWIN ENGINEERING 400 - 34077 GLADYS AVENUE ABBOTSFORD, BC V2S 2E9 CONTACT: PETER KIRWIN, P. ENG PHONE: 604-853-8831 X113 EMAIL: pmk@kirwin.com</p> <p>Mechanical:</p> <p>KIRWIN ENGINEERING 400 - 34077 GLADYS AVENUE ABBOTSFORD, BC V2S 2E9 CONTACT: CHRIS NIKWANASK, ASHT PHONE: 604-853-8831 X113 EMAIL: chad@kirwin.com</p> <p>ELECTRICAL:</p> <p>KIRWIN ENGINEERING 400 - 34077 GLADYS AVENUE ABBOTSFORD, BC V2S 2E9 CONTACT: MIKE MURPHY, Tech PHONE: 604-853-8831 X138 EMAIL: mm@kirwin.com</p>		<p>PROPERTY INFORMATION</p> <p>ADDRESS: 3488 190 STREET SURREY, BC</p> <p>LEGAL DESCRIPTION: LOT 4 SECTION 28 TOWNSHIP 10 PLAN R9941342 MNO</p> <p>PID: 029-430-224</p> 

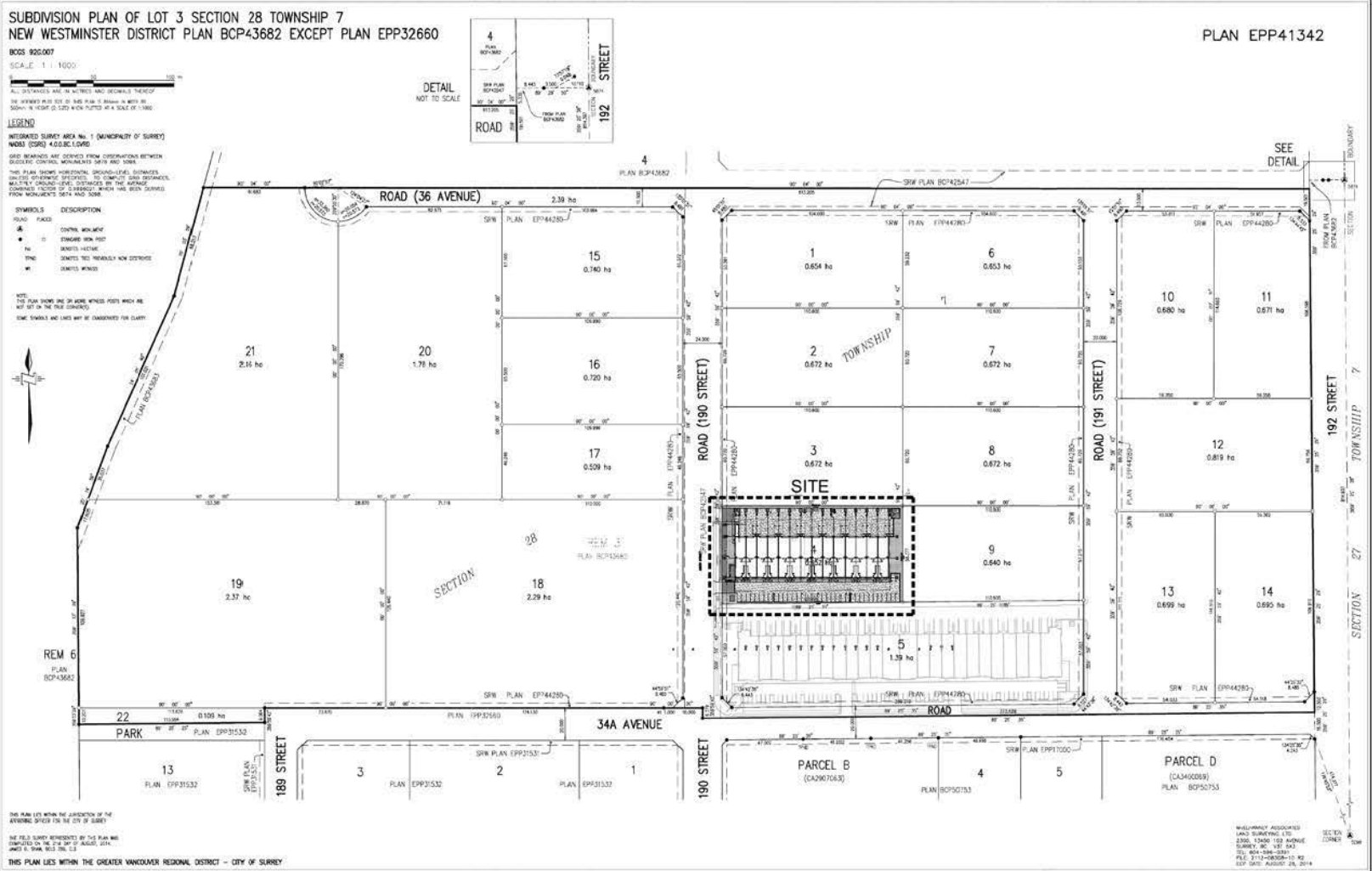
REV	DATE	DESCRIPTION	DR	REV
4	16.03.16	REVISED & RE-ISSUED FOR DP	AC	4
3	16.03.16	REVISED & RE-ISSUED FOR DP	AC	4
2	16.03.16	REVISED & RE-ISSUED FOR DP	AC	4
1	02.15.15	ISSUED FOR DP		

Drawings are prepared and submitted for review and approval by the client and the contractor. The contractor shall be responsible for ensuring that the drawings are in accordance with the applicable codes and standards. The contractor shall be responsible for ensuring that the drawings are in accordance with the applicable codes and standards.

PROJECT:
 CAMPBELL HEIGHTS NORTH WAREHOUSE
 3488 190TH STREET SURREY, BC

COVER SHEET

PROJECT DATE:	FEB.23.2016	PROJECT NO.:	15-901
SCALE:	AS NOTED	REVISION:	
A0.0			



PLAN EPP41342

REV	DATE	DESCRIPTION	DR	REV
4	10.12.16	REVISED & RE-ISSUED FOR SP	AC	4
3	24.05.16	REVISED & RE-ISSUED FOR SP	AC	3
2	24.02.16	REVISED & RE-ISSUED FOR SP	AC	2
1	03.15.15	ISSUED FOR SP	AC	1

DESIGNED AND DEVELOPED AS INSTRUMENTS OF SERVICE
AND THE APPLICANT'S OBLIGATION IS LIMITED TO THE
PROVISION OF A PLAN WHICH ACCURATELY REPRESENTS THE
FIELD SURVEY DATA AS PROVIDED TO THE SURVEYOR.
THE SURVEYOR DOES NOT GUARANTEE THE ACCURACY OF THE
FIELD SURVEY DATA OR THE RESULTS OF THE SURVEY.
THE SURVEYOR'S LIABILITY IS LIMITED TO THE COST OF THE
SURVEY AND THE COST OF THE INSTRUMENTS OF SERVICE.
THE SURVEYOR'S LIABILITY IS LIMITED TO THE COST OF THE
SURVEY AND THE COST OF THE INSTRUMENTS OF SERVICE.

PROJECT
CAMPBELL HEIGHTS
NORTH
WAREHOUSE

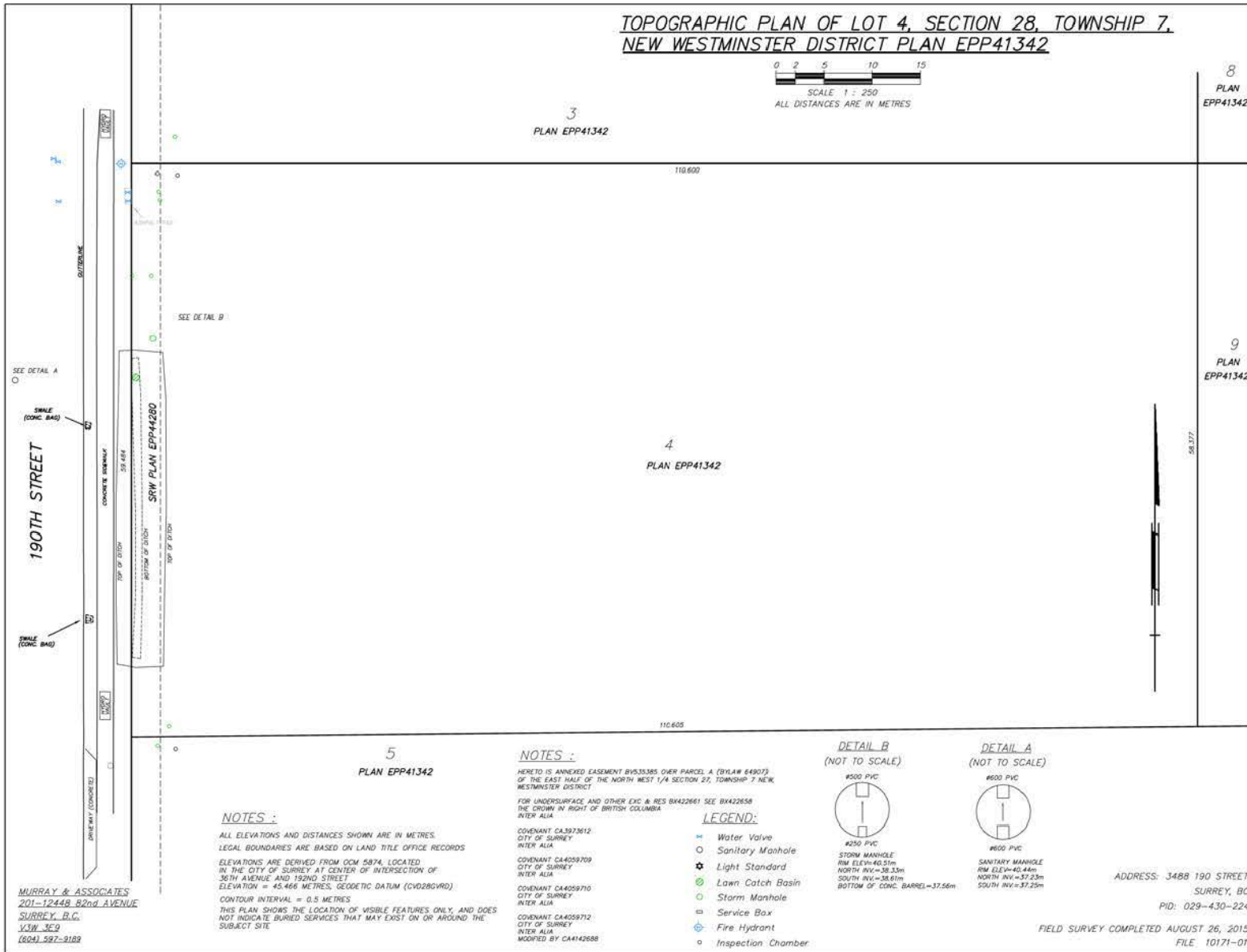
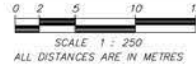
3488 NORTH STREET
SURREY, BC

SITE CONTEXT

DATE	PROJECT NO.
FEB 23 2016	15-901
AS NOTED	REASON

A0.1

**TOPOGRAPHIC PLAN OF LOT 4, SECTION 28, TOWNSHIP 7,
NEW WESTMINSTER DISTRICT PLAN EPP41342**



NOTES :

ALL ELEVATIONS AND DISTANCES SHOWN ARE IN METRES.
LEGAL BOUNDARIES ARE BASED ON LAND TITLE OFFICE RECORDS.
ELEVATIONS ARE DERIVED FROM OCM 5874, LOCATED
IN THE CITY OF SURREY AT CENTER OF INTERSECTION OF
36TH AVENUE AND 192ND STREET
ELEVATION = 45.466 METRES, GEODETIC DATUM (CVD08GVRD).
CONTOUR INTERVAL = 0.5 METRES
THIS PLAN SHOWS THE LOCATION OF VISIBLE FEATURES ONLY, AND DOES
NOT INDICATE BURIED SERVICES THAT MAY EXIST ON OR AROUND THE
SUBJECT SITE.

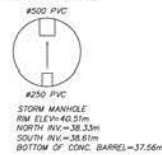
NOTES :

HERETO IS ANNEXED EASEMENT B4533385 OVER PARCEL A (BYLAW 64907)
OF THE EAST HALF OF THE NORTH WEST 1/4 SECTION 27, TOWNSHIP 7, NEW
WESTMINSTER DISTRICT
FOR UNDERSURFACE AND OTHER EXC & RES B4422661 SEE B4422658
THE CROWN IN RIGHT OF BRITISH COLUMBIA
COVENANT CA3973612
CITY OF SURREY
INTER ALIA
COVENANT CA40259709
CITY OF SURREY
INTER ALIA
COVENANT CA4059710
CITY OF SURREY
INTER ALIA
COVENANT CA4059712
CITY OF SURREY
INTER ALIA
MODIFIED BY CA4142668

LEGEND:

- Water Valve
- Sanitary Manhole
- Light Standard
- Lawn Catch Basin
- Storm Manhole
- Service Box
- Fire Hydrant
- Inspection Chamber

**DETAIL B
(NOT TO SCALE)**



**DETAIL A
(NOT TO SCALE)**



ADDRESS: 3488 190 STREET
SURREY, BC
PID: 029-430-224
FIELD SURVEY COMPLETED AUGUST 26, 2015
FILE 10171-01

REV	DATE	DESCRIPTION	DR	REV
4	10/23/16	REVISED & RE-ISSUED FOR SP	AC	4
3	10/23/16	REVISED & RE-ISSUED FOR SP	AC	3
2	10/12/16	REVISED & RE-ISSUED FOR SP	AC	2
1	08/15/15	ISSUED FOR SP	AC	1

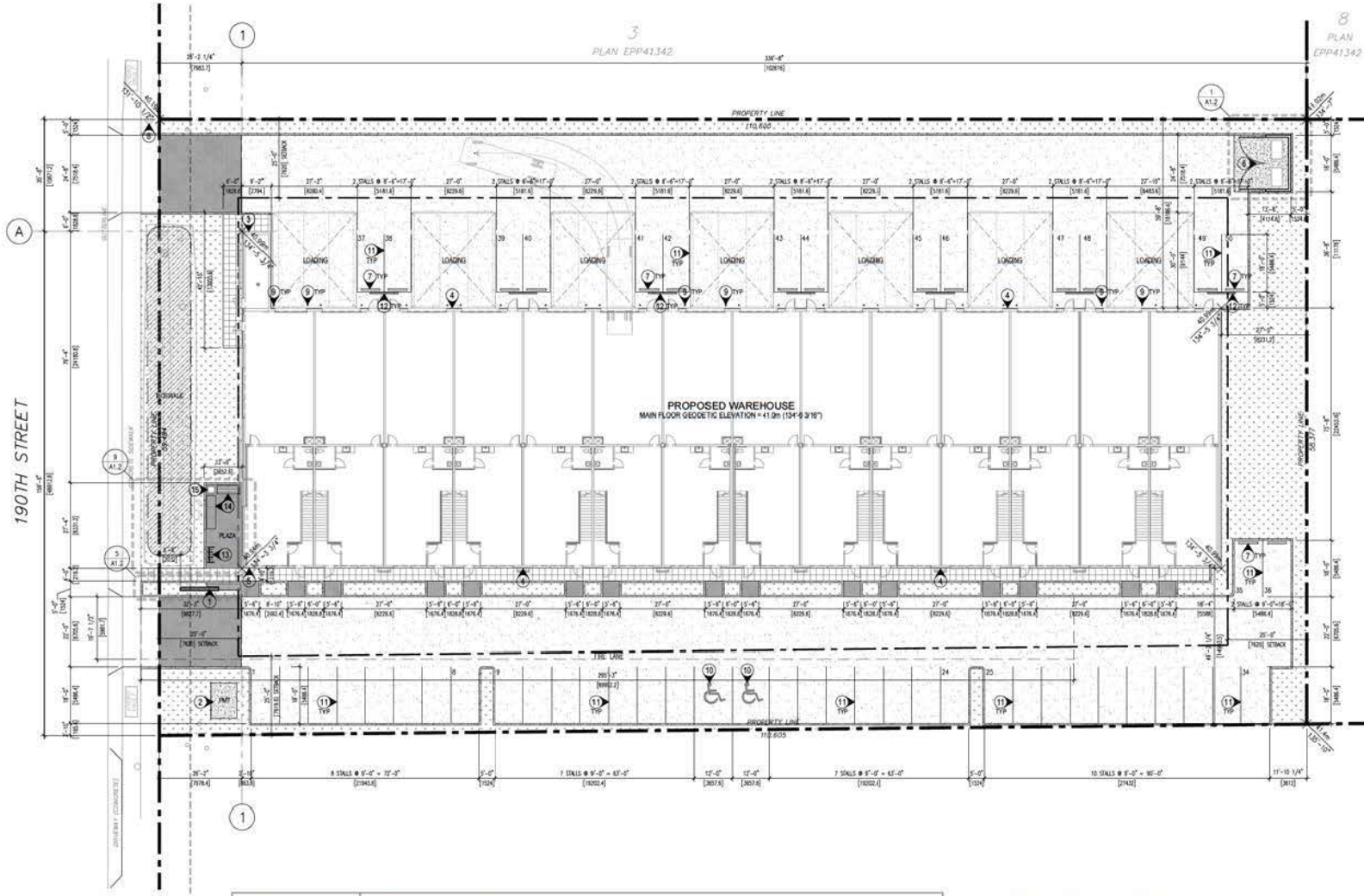
DESIGNED AND SUPERVISED BY INSTRUMENTED SURVEYORS
AND THE PROJECT MANAGER & DESIGN ENGINEER. THE
CONTRACTOR IS RESPONSIBLE FOR THE ACCURACY OF THE
FIELD DATA AND THE CONSTRUCTION OF THE WORK.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE
ACCURACY OF THE FIELD DATA AND THE CONSTRUCTION
OF THE WORK.

PROJECT
CAMPBELL HEIGHTS
NORTH
WAREHOUSE
3488 190TH STREET
SURREY, BC

SURVEY

ISSUE DATE	PROJECT NO.
FEB 23 2016	15-901
SCALE 1/16" = 1'-0"	REVISION

A0.2



SITE PLAN
SCALE: 1/16" = 1'-0"

LEGEND		ZONING INFORMATION	
	ASPHALT	PROPERTY INFORMATION	BUILDING AREA
	STAMPED CONC.	ADDRESS: 3488 190 STREET	FIRST FLOOR OFFICE: 11,770 SF / 1,084 SM
	SCORED CONC. (2x2 PATT)	LEGAL DESCRIPTION: LOT 4 SECTION 28 TOWNSHIP 1 PLAN EPP41342 1/40	WAREHOUSE: 14,800 SF / 1,377 SM
	LANDSCAPE	R/D: 020-400-024	MECHANICAL ROOM: 102 SF / 9.5 SM
	BORNTALE	APPLICABLE BYLAW: BYLAW NUMBER 17146	MEZZANINE OFFICE: 11,770 SF / 1,084 SM
	CONCRETE PADS & CURBS	ALLOWABLE FAR: 1.0	TOTAL BUILDING AREA: 36,402 SF / 3,374.3 SM
		PROPOSED FAR: .35	SITE AREA
		ALLOWABLE SITE COVERAGE: 60%	GROSS SITE AREA: 75,165.74 SF / 6,917.68 SM
		PROPOSED SITE COVERAGE: 38%	NET SITE AREA: 75,166.74 SF / 6,917.68 SM
		SETBACKS	BUILDING HEIGHT
		FRONT YARD: 7.5M (25')	ALLOWABLE: 14M (46')
		SIDE YARD: 7.5M (25')	PROPOSED: 8.7M (28'-7")
		REAR YARD: 7.5M (25')	
			PARKING, LOADING & UNLOADING
			REQUIRED SPACES: 11,100 SM (WAREHOUSE SPACE) 11,100 SM (ACCESSORY OFFICE)
			47 SPACES (INCLUDING 1 ACCESSIBLE)
			PROVIDED SPACES: 50 SPACES (INCLUDING 2 ACCESSIBLE)
			14 LOADING SPACES
			BICYCLE SPACES
			REQUIRED: 0.06 / 100 SM (OFFICES) 2 SPACES
			PROVIDED: 5 SPACES

CONSTRUCTION NOTES

- 1 SITE SIGNAGE. REFER TO DWG A1.2.
- 2 ELECTRICAL TRANSFORMER CW CONCRETE PAD, REFER TO ELECTRICAL. PROVIDE PIPE BOLLARDS AS PER BC HYDRO REQUIREMENTS. CONFIRM LOCATION ON SITE, REFER TO ELECTRICAL.
- 3 GAS METERS. REFER TO MECHANICAL.
- 4 HOSE BIB. REFER TO MECHANICAL.
- 5 FIRE ALARM ANNUNCIATOR. REFER TO ELECTRICAL.
- 6 GARBAGE & RECYCLING DISPOSAL ENCLOSURE. REFER TO DWG A1.2.
- 7 TIRE STOP ANCHORED TO ASPHALT. SAFETY YELLOW PAINT.
- 8 EXISTING FIRE HYDRANT. REFER TO CIVIL.
- 9 5 1/2" DIA. PAINTED HEAVY DUTY STEEL PIPE BOLLARDS. SAFETY YELLOW PAINT.
- 10 PAINTED DESIGNATED HANDICAPPED PARKING SYMBOL. TRAFFIC WHITE PAINT.
- 11 4" WIDE PAINTED PARKING STALL LINES. TYPICAL TRAFFIC WHITE PAINT.
- 12 9'-0" LONG x 3'-0" HIGH x 4 1/2" DIA. PAINTED HEAVY DUTY STEEL BUMPER GUARD. SAFETY YELLOW PAINT.
- 13 STEEL PIPE BIKE RACK.
- 14 WOOD BENCH. REFER TO DETAIL 10/A1.2.
- 15 SURFACE-MOUNT ALUMINUM WASTE RECEPTACLE.

REV	DATE	DESCRIPTION	CHK	REV
44	FEB 24 2016	REVISED & RE-ISSUED FOR SP	AC	N
4	FEB 23 16	REVISED & RE-ISSUED FOR SP	AC	N
3	JAN 26 16	REVISED & RE-ISSUED FOR SP	AC	N
2	JAN 12 16	REVISED & RE-ISSUED FOR SP	AC	N
1	OCT 15 15	ISSUED FOR SP		

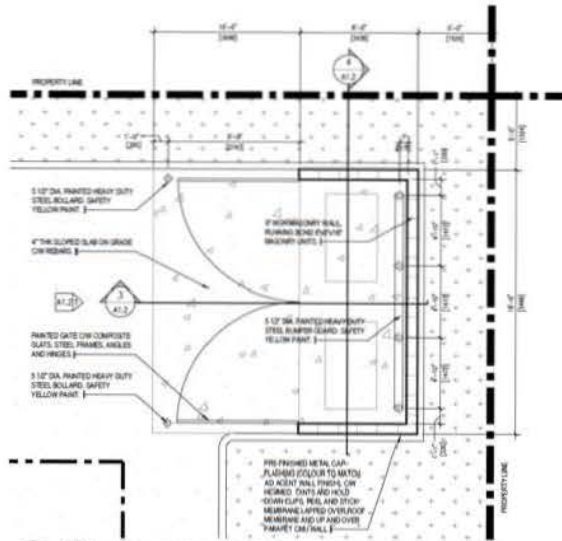
DESIGNED AND PREPARED BY THE ARCHITECTS OF RECORD FOR THE PROJECT AND THE ENGINEER OF RECORD FOR THE PROJECT. THE INFORMATION ON THIS DRAWING IS THE PROPERTY OF APLIN & MARTIN INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF APLIN & MARTIN INC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.

PROJECT
CAMPBELL HEIGHTS
NORTH
WAREHOUSE
3488 190th STREET
SURREY, BC

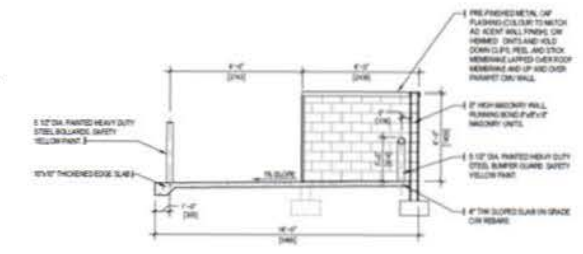
SITE PLAN

PROJECT NO. FEB 24 2016	PROJECT REV. 15-901
SCALE AS NOTED	REVISION

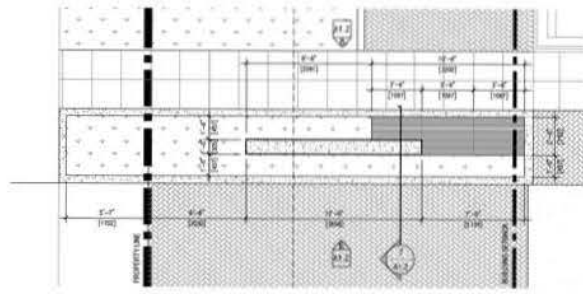
A1.1



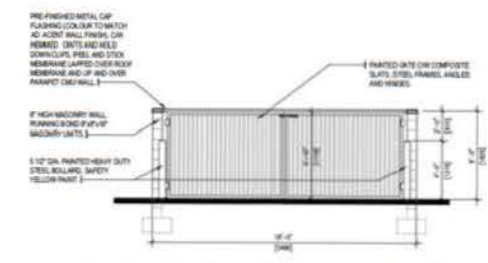
1 GARBAGE & RECYCLING ENCLOSURE PLAN
A1.1 SCALE: 1/4" = 1'-0"



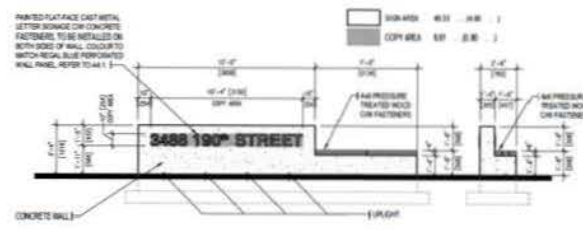
4 GARBAGE & RECYCLING ENCLOSURE - SECTION 2
A1.2 SCALE: 1/4" = 1'-0"



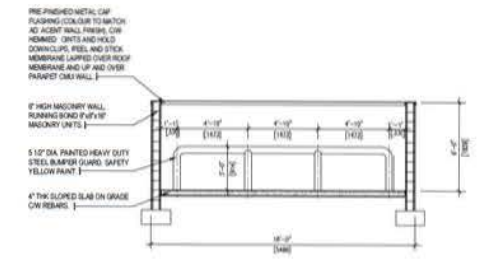
5 SITE SIGNAGE PLAN
A1.1 SCALE: 1/4" = 1'-0"



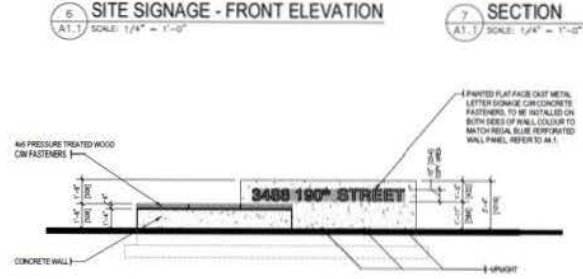
2 GARBAGE & RECYCLING ENCLOSURE - FRONT ELEVATION
A1.2 SCALE: 1/4" = 1'-0"



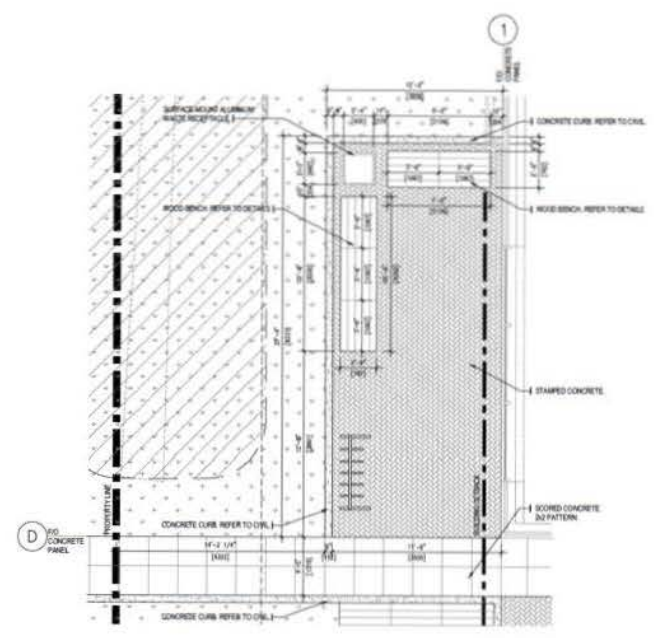
6 SITE SIGNAGE - FRONT ELEVATION
A1.1 SCALE: 1/4" = 1'-0"



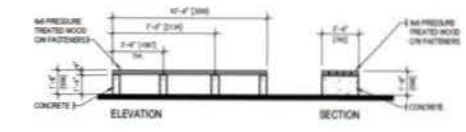
3 GARBAGE & RECYCLING ENCLOSURE - SECTION 1
A1.2 SCALE: 1/4" = 1'-0"



8 SITE SIGNAGE - REAR ELEVATION
A1.1 SCALE: 1/4" = 1'-0"



9 PLAZA - ENLARGED PLAN
A1.1 SCALE: 1/4" = 1'-0"



10 WOOD BENCH TYPICAL DETAIL
A1.1 SCALE: 1/4" = 1'-0"

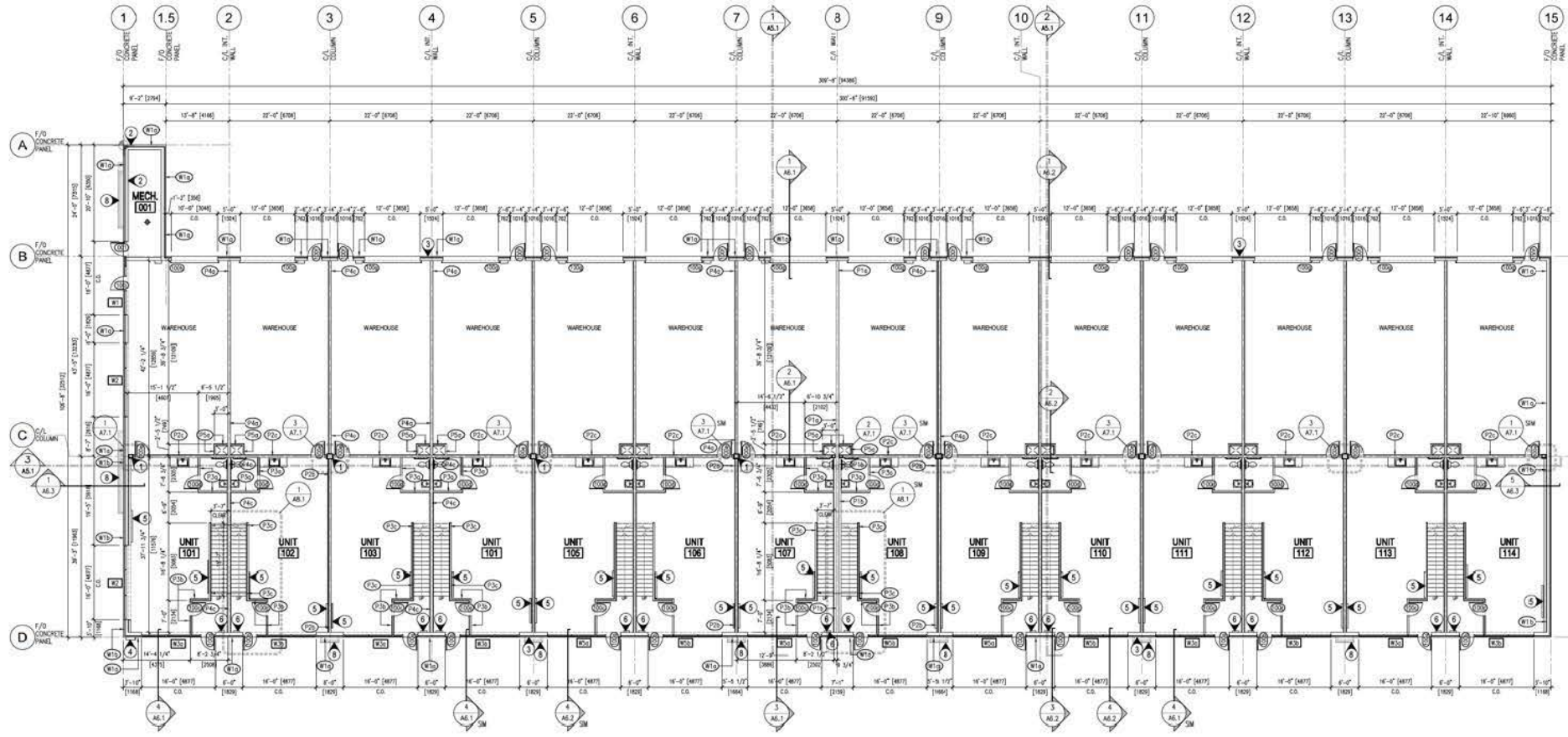
NOTE: REFER TO LANDSCAPE DRAWINGS FOR MORE INFORMATION.

REV.	DATE	DESCRIPTION	BY	CHK
4	10/22/18	REVISED TO 48\"/>		

PROJECT:	CAMPBELL HEIGHTS NORTH WAREHOUSE
3488 190TH STREET SUDBURY, ON	

SITE DETAILS

DATE PLOTTED:	FEB.23.2018	PROJECT NO.:	15-901
SCALE:	AS NOTED	DRAWN BY:	REMARK
A1.2			



GENERAL NOTES:

1. ALL EXTERIOR DIMENSIONS ARE TO FACE OF CONCRETE, UNLESS NOTED OTHERWISE.
2. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD/ FACE OF CONCRETE, UNLESS NOTED OTHERWISE.
3. INTERIOR DOORS ARE TO BE INSTALLED 1/2" FROM FACE OF STUD TO EDGE OF ROUGH OPENING UNLESS NOTED OTHERWISE. IF DIMENSIONS ARE REQUIRED, THEY SHALL BE TO CENTER OF ROUGH OPENING.
4. ALL WINDOWS AND DOORS IN CONCRETE SHALL BE DIMENSIONED TO EDGE OF ROUGH OPENING.

CONSTRUCTION NOTES:

- 1 HSS COLUMN. REFER TO STRUCTURAL.
- 2 GAS METERS. REFER TO MECHANICAL.
- 3 HOSE BIB. REFER TO MECHANICAL.
- 4 FIRE ALARM MANUATOR. REFER TO ELECTRICAL.
- 5 ELECTRIC BASEBOARD HEATER. REFER TO MECHANICAL.
- 6 FORCE FLOW HEATER. REFER TO MECHANICAL.
- 7 FIRE ALARM CONTROL PANEL. REFER TO ELECTRICAL.
- 8 PREFINISHED PERFORATED VERTICAL WALL PANELS. REFER TO DWG A4.1.

SYMBOL LEGEND:

- FLOOR DRAIN. REFER TO MECHANICAL.
- ① CONSTRUCTION NOTE
- ② WALL TYPE. REFER TO DWG A5-A5 ASSEMBLIES
- ③ DOOR NUMBER. REFER TO DWG A4 WINDOW & DOOR SCHEDULE.
- ④ WINDOW NUMBER. REFER TO DWG A4 WINDOW & DOOR SCHEDULE.
- ⑤ WORKPOINT
- ① A5.1 BUILDING CROSS SECTION NUMBER SHEET NUMBER
- ① A6.3 WALL SECTION NUMBER SHEET NUMBER
- ① A8.1 DETAIL NUMBER SHEET NUMBER



GROUND FLOOR PLAN
SCALE: 3/32" = 1'-0"

TYPICAL OFFICE SPACE: 805 / 74.8 (G)
TYPICAL WAREHOUSE SPACE: 886 / 83.2 (B)
TOTAL BUILDING AREA: 38,462 / 3,574.5

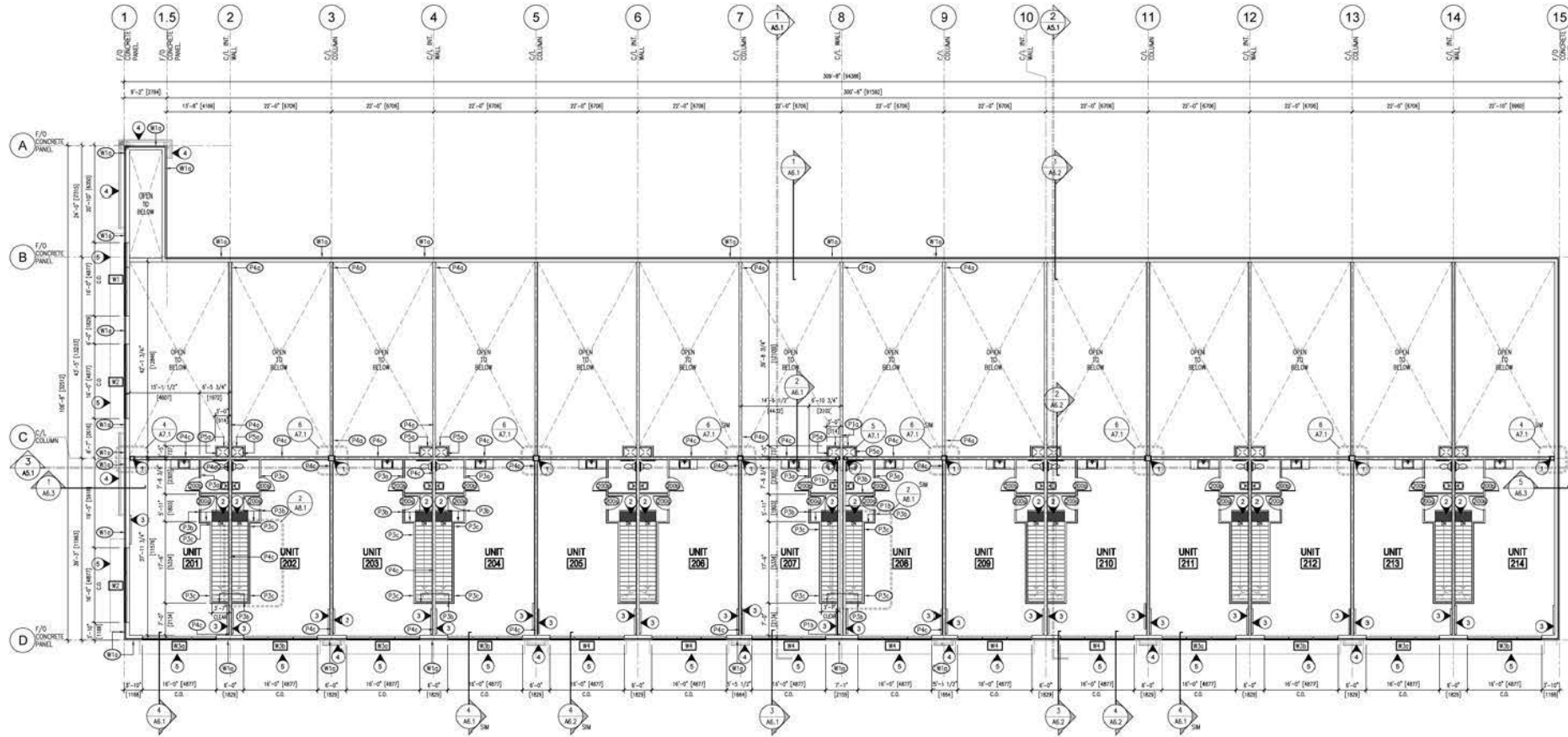
REV	DATE	DESCRIPTION	DRW	BY
4	FEB 23 16	REVISED & RE-DESIGNED FOR DP	AC	W
3	JAN 23 16	REVISED & RE-DESIGNED FOR DP	AC	W
2	JAN 12 16	REVISED & RE-DESIGNED FOR DP	AC	W
1	OCT 13 15	ISSUED FOR DP		

STANDARD AND SPECIFICATIONS, AS SUPPLEMENTS TO SPECIFICATIONS AND SCHEDULES OF FINISHES AND MATERIALS, SHALL BE THE SUPPLEMENT TO THE 2012 INTERNATIONAL BUILDING CODE, AS AMENDED BY THE 2015 INTERNATIONAL BUILDING CODE, AND THE 2015 INTERNATIONAL MECHANICAL AND ELECTRICAL CODE, AS AMENDED BY THE 2015 INTERNATIONAL MECHANICAL AND ELECTRICAL CODE. ALL MEASUREMENTS SHALL BE IN FEET AND INCHES. ALL DIMENSIONS SHALL BE TO CENTER UNLESS NOTED OTHERWISE.

**CAMPBELL HEIGHTS
WAREHOUSE**
3485 190TH STREET
BURNETT, WI

**GROUND
FLOOR PLAN**

REVISED FEB 23 2016	PROJECT NO. 15-901
SCALE 3/32" = 1'-0"	REVISION
DRAWING NO. A2.1	



GENERAL NOTES:

1. ALL EXTERIOR DIMENSIONS ARE TO FACE OF CONCRETE, UNLESS NOTED OTHERWISE.
2. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD TO FACE OF CONCRETE, UNLESS NOTED OTHERWISE.
3. INTERIOR DOORS ARE TO BE INSTALLED 4 1/2" FROM FACE OF STUD TO EDGE OF ROUGH OPENING UNLESS NOTED OTHERWISE. IF DIMENSIONS ARE REQUIRED, THEY SHALL BE TO CENTER OF ROUGH OPENING.
4. ALL WINDOWS AND DOORS IN CONCRETE SHALL BE DIMENSIONED TO EDGE OF ROUGH OPENING.

CONSTRUCTION NOTES:

1. HSE COLUMN REFER TO STRUCTURAL.
2. TACTILE WARNING STRIP.
3. ELECTRIC BASEBOARD HEATER REFER TO MECHANICAL.
4. PRE-FINISHED PERFORATED VERTICAL WALL PANELS REFER TO DWG A4.1.
5. SUNSCREEN BELOW REFER TO DWG A.1.

SYMBOL LEGEND:

- ◆ FLOOR DRAIN REFER TO MECHANICAL
- ◆ CONSTRUCTION NOTE
- W WALL TYPE REFER TO DWG A05 ASSEMBLIES
- DOOR NUMBER REFER TO DWG A04 AND A DOOR SCHEDULE
- WINDOW NUMBER REFER TO DWG A04 AND A DOOR SCHEDULE
- WORKPOINT
- 1 AS.1 BUILDING CROSS SECTION NUMBER SHEET NUMBER
- 1 AS.5 WALL SECTION NUMBER SHEET NUMBER
- 1 AS.1 DIGITAL NUMBER SHEET NUMBER



1 UPPER FLOOR PLAN
A2.2

TYPICAL OFFICE SPACE 806 / 74.8 (SQ)
TYPICAL WAREHOUSE SPACE 806 / 183.2 (SQ)
TOTAL BUILDING AREA 58,862 / 1,574.5

REV	DATE	DESCRIPTION	CHK	REV
4	02/23/16	REVISED & RE-ISSUED FOR SP	AC	6
3	04/20/16	REVISED & RE-ISSUED FOR SP	AC	6
2	04/12/16	REVISED & RE-ISSUED FOR SP	AC	6
1	01/15/16	ISSUED FOR SP		

CONTRACT AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE AND THE ARCHITECT'S CONTRACT ADMINISTRATION AGREEMENT, THE PROFESSIONAL ARCHITECT'S AGREEMENT WITH THE CLIENT AND A REVISIONS CONTROL SYSTEM SHALL BE REFERRED TO AS THE CONTRACT DOCUMENTS. THE CONTRACT DOCUMENTS SHALL BE THE BASIS FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT'S CONTRACT ADMINISTRATION AGREEMENT SHALL BE THE BASIS FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT'S CONTRACT ADMINISTRATION AGREEMENT SHALL BE THE BASIS FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

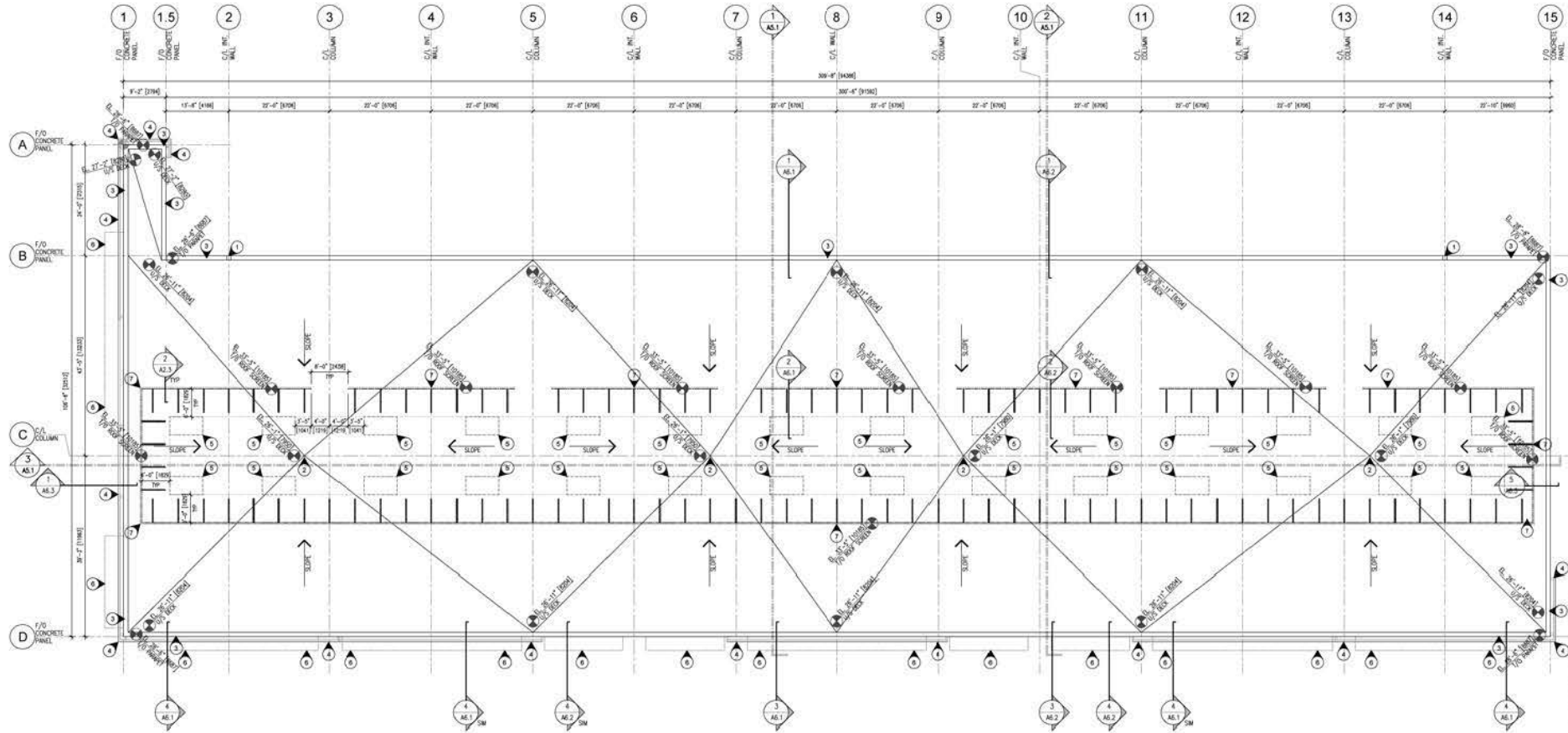
PROJECT:
CAMPBELL HEIGHTS
NORTH
WAREHOUSE

3408 NORTH STREET
SUNBELT, NC

**UPPER FLOOR
PLAN**

PROJECT DATE: FEB 23 2016
SCALE: 3/32" = 1'-0"
DRAWING NO: A2.2

PROJECT NO: 15-901
REVISION:



GENERAL NOTES:

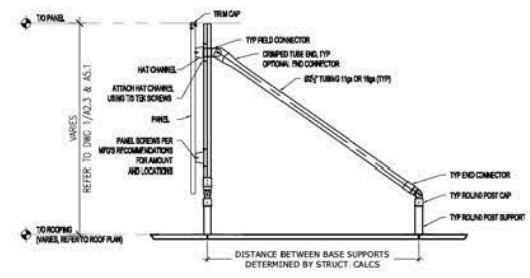
- REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL FOR ADDITIONAL INFORMATION AND PROVIDE COORDINATION OF DISCIPLINES AS REQUIRED.
- REFER TO MECHANICAL DRAWINGS FOR LOCATION AND SIZE OF ALL ROOF PENETRATIONS.
- REFER TO STRUCTURAL FOR ALL STRUCTURAL SUPPORT MEMBER LOCATIONS AND SIZES PERTAINING TO MECHANICAL UNIT ROOF SUPPORT AND/OR MECHANICAL DUCT PENETRATIONS.

CONSTRUCTION NOTES:

- PRE-FINISHED ALUMINUM OVERFLOW ROOF DRAINAGE SCUPPER BOX COLOUR TO MATCH ADJACENT WALL FINISH COLOUR. CONFIRM COLOUR WITH PROJECT ARCHITECT PRIOR TO FABRICATION, FABRICATE AND INSTALL AS PER ROOFING ASSOCIATION GUIDELINES.
- MECHANICAL ROOF DRAIN, REFER TO MECHANICAL.
- PRE-FINISHED METAL ROOF PARAPET CAP FLASHING, REFER TO DWG A4.1 FOR COLOUR, FABRICATE AND INSTALL AS PER ROOFING ASSOCIATION GUIDELINES.
- PRE-FINISHED PIPERFORATED VERTICAL WALL PANELS REFER TO DWG A4.1.
- FUTURE RTU LOCATIONS, REFER TO MECHANICAL.
- SUNSCREEN BELOW, REFER TO DWG A4.1.
- ROOF SCREEN, MAINTAIN 5" CLEAR DISTANCE FROM MECHANICAL EQUIPMENT, REFER TO DETAIL 2 - A2.3.

SYMBOL LEGEND:

- ROOF DRAIN, REFER TO MECHANICAL
- ◇ CONSTRUCTION NOTE
- ▽ WALL TYPE, REFER TO DWG A5.5 ASSEMBLIES
- DOOR NUMBER, REFER TO DWG A4.1 HOW & DOOR SCHEDULE
- WINDOW NUMBER, REFER TO DWG A4.1 HOW & DOOR SCHEDULE
- ✚ WORKPOINT
- ◇ 1 A2.1 BUILDING CROSS SECTION NUMBER SHEET NUMBER
- ◇ 1 A2.3 WALL SECTION NUMBER SHEET NUMBER
- ◇ 1 A2.1 DETAIL NUMBER SHEET NUMBER
- ▽ US DECK HEIGHT FROM FINISH FLOOR - MAIN FLOOR



2 ROOF SCREEN DETAIL
A2.3 NTS

REV	DATE	DESCRIPTION	DR	REV
4	12/23/16	REVISED & RE-ISSUED FOR SP	AC	N
3	JAN/25/18	REVISED & RE-ISSUED FOR SP	AC	N
2	JAN/12/18	REVISED & RE-ISSUED FOR SP	AC	N
1	OCT/15/15	ISSUED FOR SP		

DESIGNED AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.

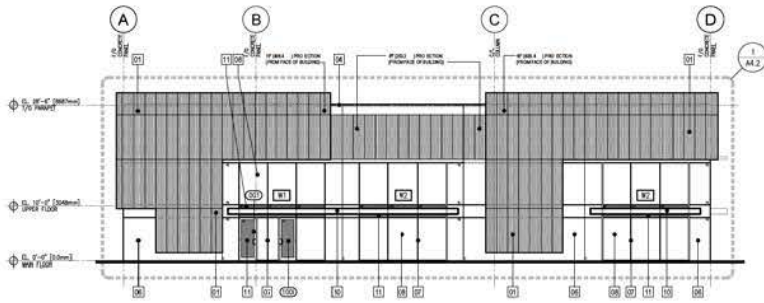
PROJECT:
**CAMPBELL HEIGHTS
NORTH
WAREHOUSE**
3408 NORTH B STREET
SUNBELT, NC

ROOF PLAN

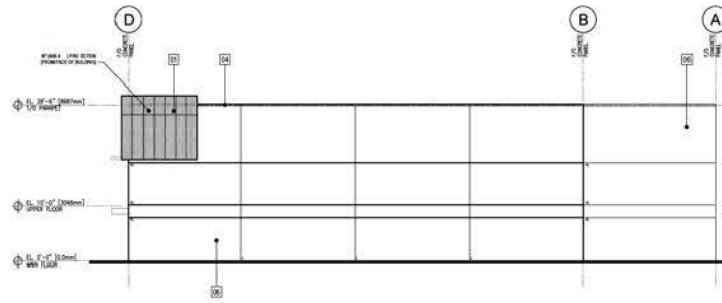
PROJECT NO. FEB 23 2016	PROJECT NO. 15-901
SCALE 3/32" = 1'-0"	REVISION
DRAWING NO. A2.3	



1 ROOF PLAN
A2.3 SCALE: 3/32" = 1'-0"



1 WEST ELEVATION
SCALE: 3/32" = 1'-0"



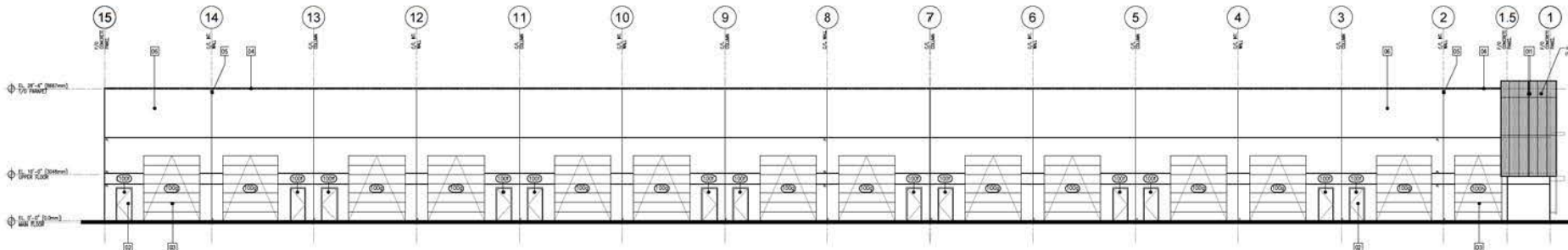
2 EAST ELEVATION
SCALE: 3/32" = 1'-0"

SYMBOL LEGEND

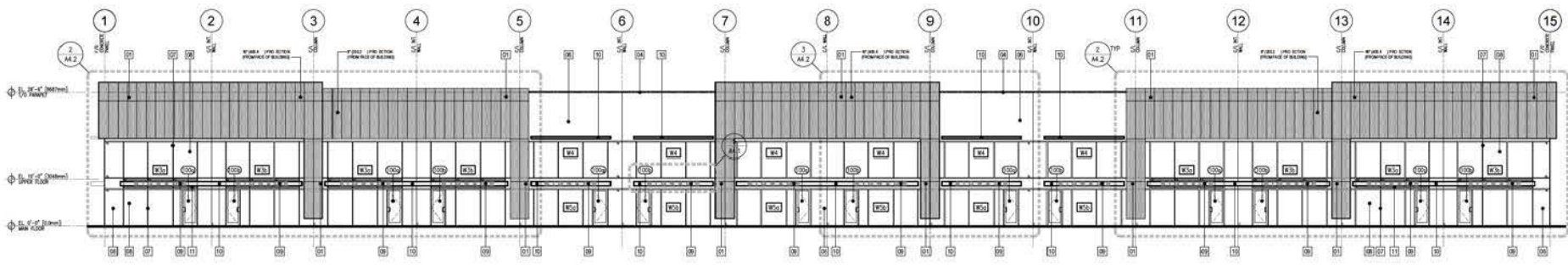
- CU CONTROL JOINT REFER TO STRUCTURAL.
- RL REVEAL REFER TO DETAIL 7(A7.1).
- SP SPANDREL GLASS PANEL REFER TO DWG A4.4.

MATERIALS LEGEND

- 01 PREFINISHED PERFORATED VERTICAL WALL PANELS
MANUFACTURER: MORN
COLOUR: (TO BE APPROVED PER COLOURED ELEVATION, REFER TO A4.3)
METAL: BLUE
C/PURMAN GRAY
- 02 PREFINISHED HOLLOW METAL INSULATED DOORS ON PRESSED STEEL FRAMES
COLOUR: BM 1485 - SILVER COLLAR
- 03 PREFINISHED INSULATED OVERHEAD METAL DOOR
COLOUR: BM 1485 - SILVER COLLAR (TBC BY OWNER)
- 04 PREFINISHED METAL CAP FLASHING
COLOUR: BM 1485 - SILVER COLLAR
- 05 PREFINISHED METAL SCUPPER IF WIDE & HIGH
COLOUR TO MATCH ADJACENT WALL FINISH
- 06 CONCRETE PANELS - SILVER BELLS
COLOUR: BM 1485 - SILVER COLLAR
- 07 STOREFRONT FRAMING AND DOORS
ANODIZED ALUMINUM
- 08 VISION GLASS
- 09 FUTURE BONNAGE BY TENANT, REFER TO DETAILS FOR QUOTE/MEET.
CONTRACTOR TO PROVIDE ELECTRICAL ROUGH IN, REFER TO ELECTRICAL.
- 10 PREFINISHED METAL STRUCTURE
COLOUR: BM 1485 - SILVER COLLAR
- 11 SPANDREL GLASS



3 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



4 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

REV	DATE	DESCRIPTION	DR	REV
4	FEB 25 2016	REVISED & RE-ISSUED FOR SP	AC	A
3	JAN 26 2016	REVISED & RE-ISSUED FOR SP	AC	A
2	JAN 12 2016	REVISED & RE-ISSUED FOR SP	AC	A
1	OCT 15 2015	ISSUED FOR SP		

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PROJECT:
 CAMPBELL HEIGHTS
 NORTH
 WAREHOUSE
 3485 NORTH STREET
 SUITE 101

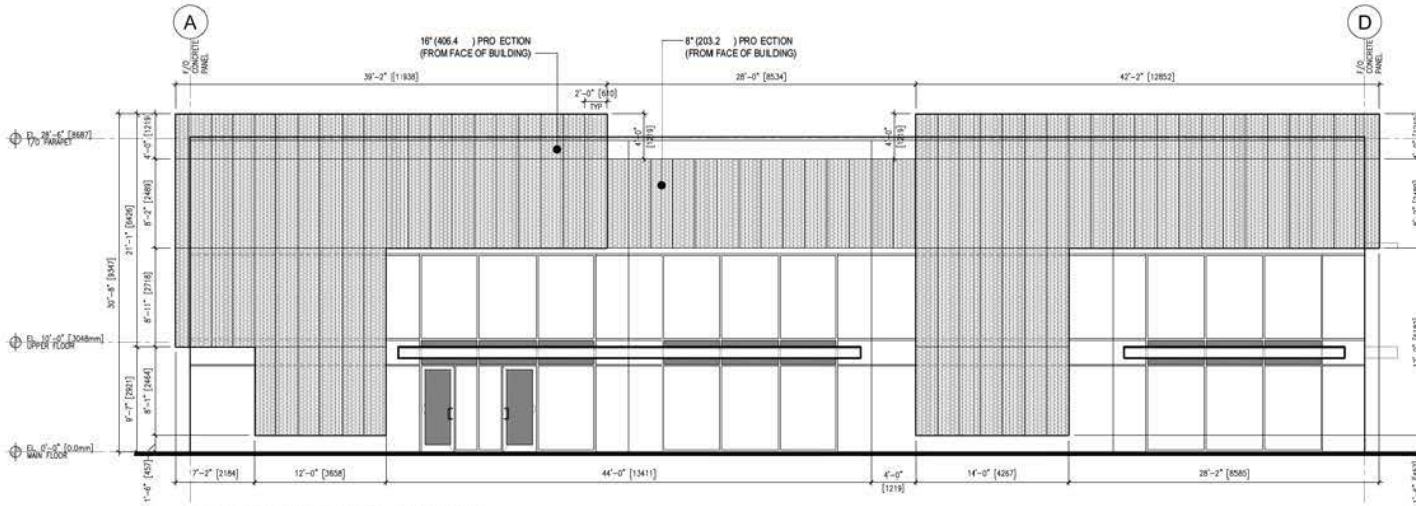
DATE:
 FEB 25 2016

SCALE:
 3/32" = 1'-0"

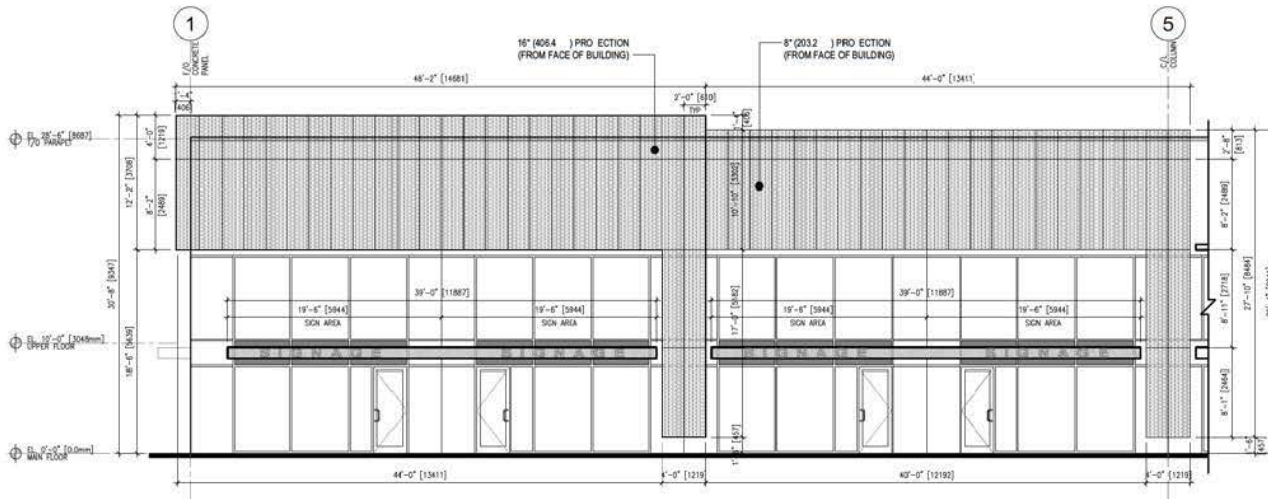
PROJECT NO.:
 15-901

REVISION:

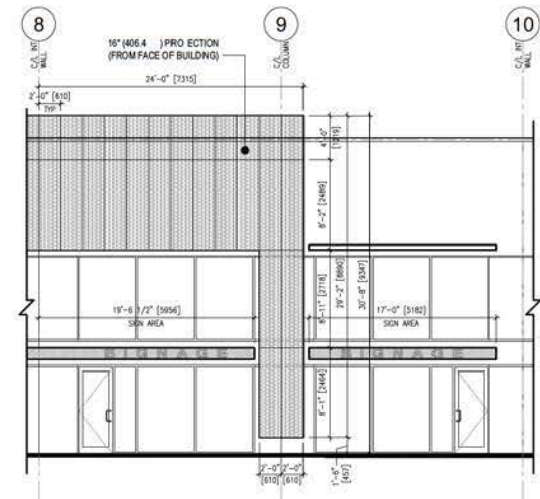
A4.1



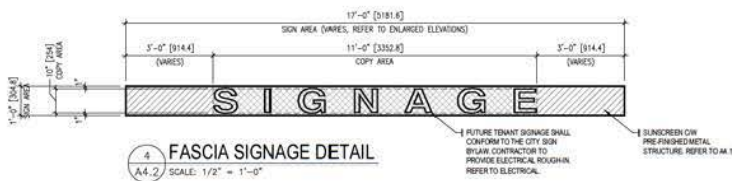
1 WEST ELEVATION - ENLARGED
A4.1 SCALE: 3/16" = 1'-0"



2 PARTIAL SOUTH ELEVATION - ENLARGED
A4.1 SCALE: 3/16" = 1'-0"



3 PARTIAL SOUTH ELEVATION - ENLARGED
A4.1 SCALE: 3/16" = 1'-0"



4 FASCIA SIGNAGE DETAIL
A4.2 SCALE: 1/2" = 1'-0"

REV	DATE	DESCRIPTION	CHK	APP
4	02.03.16	REVISED & RE-ISSUED FOR SP	AC	AC
3	01.20.16	REVISED & RE-ISSUED FOR SP	AC	AC
2	01.13.16	REVISED & RE-ISSUED FOR SP	AC	AC
1	01.15.15	ISSUED FOR SP		

DIMENSIONS AND NOTATIONS ARE AS NOTATIONS OF RECORD AND THE PROJECTOR'S RESPONSIBILITY. THE PROJECTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND NOTATIONS. THE PROJECTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND NOTATIONS. THE PROJECTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND NOTATIONS. THE PROJECTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND NOTATIONS.

PROJECT: CAMPBELL HEIGHTS NORTH WAREHOUSE

3488 NORTH STREET SUITE 100, DC

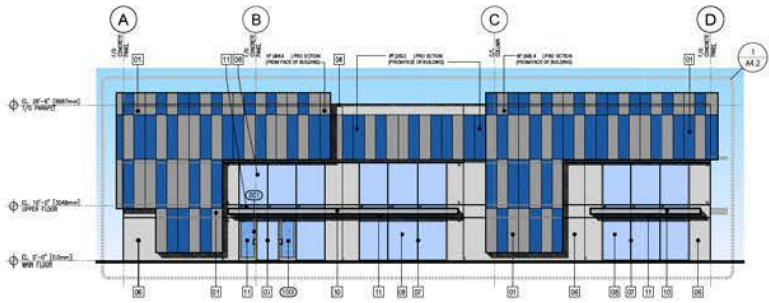
DATE: FEB 25 2016

SCALE: 3/16" = 1'-0"

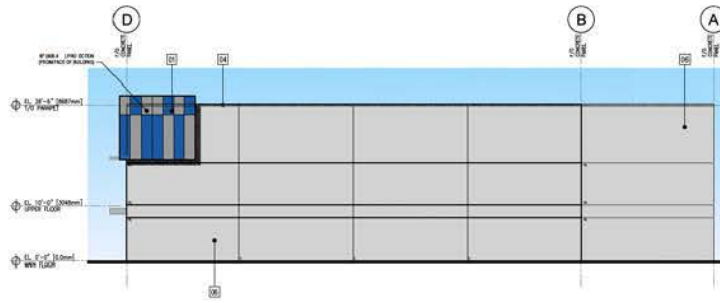
PROJECT NO: 15-901

REVISION:

A4.2



1 WEST ELEVATION
SCALE: 3/32" = 1'-0"



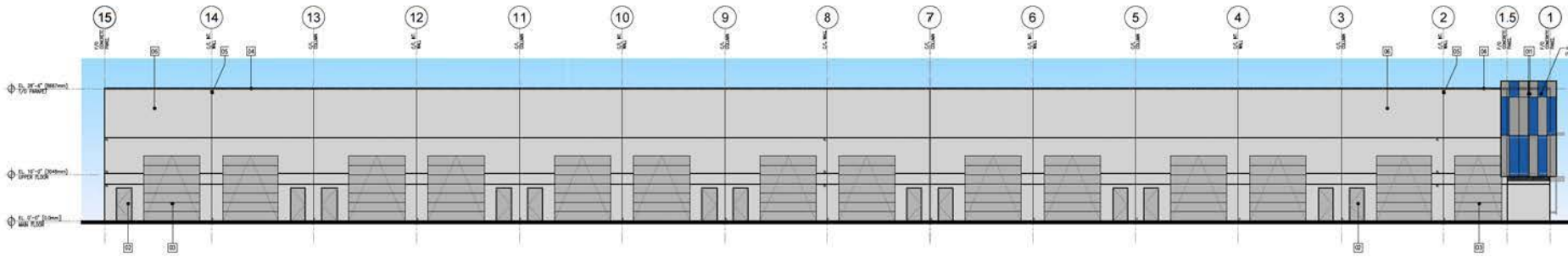
2 EAST ELEVATION
SCALE: 3/32" = 1'-0"

SYMBOL LEGEND

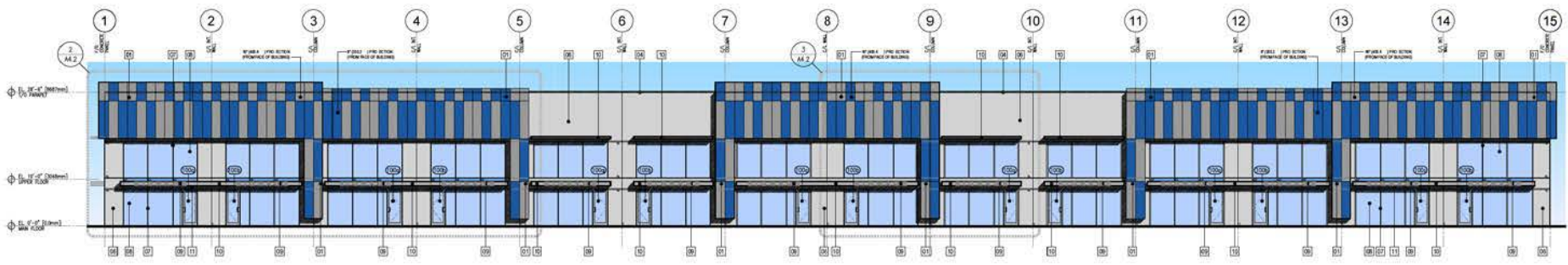
- CU CONTROL JOINT. REFER TO STRUCTURAL.
- RL REVEAL. REFER TO DETAIL 7(A2.1).
- SP SPANDREL GLASS PANEL. REFER TO DWG A4.4.

MATERIALS LEGEND

- 01 PRE-FINISHED PERFORATED VERTICAL WALL PANELS
MANUFACTURER: MORN
COLOUR: TO BE APPROVED PER COLOURED ELEVATION. REFER TO A4.3
RIVAL BLUE
OR PERMAN GRAY
- 02 PRE-FINISHED HOLLOW METAL INSULATED DOORS ON PRESSED STEEL FRAMES
COLOUR: BM 1485 - SILVER DOLLAR
- 03 PRE-FINISHED INSULATED OVERHEAD METAL DOOR
COLOUR: BM 1485 - SILVER DOLLAR (TBC BY OWNER)
- 04 PRE-FINISHED METAL CAP FLASHING
COLOUR: BM 1485 - SILVER DOLLAR
- 05 PRE-FINISHED METAL SCUPPER IF WIDE & HIGH
COLOUR TO MATCH ADJACENT WALL FINISH
- 06 CONCRETE PANELS
COLOUR: BM 1485 - SILVER BELLS
- 07 STOREFRONT FRAMING AND DOORS
ANODIZED ALUMINUM
- 08 VISION GLASS
- 09 FUTURE SIGNAGE BY TENANT. REFER TO DETAILS FOR GUIDELINES.
CONTRACTOR TO PROVIDE ELECTRICAL ROUGH IN. REFER TO ELECTRICAL.
- 10 PRE-FINISHED METAL STRUCTURE
COLOUR: BM 1485 - SILVER DOLLAR
- 11 SPANDREL GLASS



3 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



4 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

REV	DATE	DESCRIPTION	DR	REV
4	12.13.16	REVISED & RE-ISSUED FOR SP	AL	A
3	10.25.16	REVISED & RE-ISSUED FOR SP	AL	A
2	10.12.16	REVISED & RE-ISSUED FOR SP	AL	A
1	02.15.15	ISSUED FOR SP		

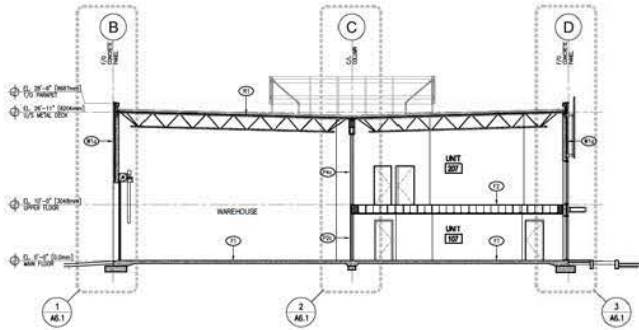
DESIGNED AND SPECIFIED AS INSTRUMENTS OF SERVICE AND THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE PROVISION OF A DESIGN SUBJECT TO THE REVISIONS OF OWNER AND CONTRACTOR. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE AND TO BE RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL CONSTRUCTION. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE WORK SHOWN HEREIN, SUBJECT TO THE CONDITIONS OF THE CONTRACT.

PROJECT
CAMPBELL HEIGHTS
NORTH
WAREHOUSE
3485 100TH STREET
SURREY, BC

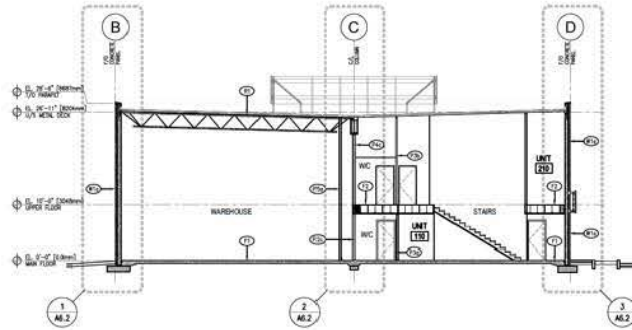
PROJECT TITLE
COLOURED
EXTERIOR
ELEVATIONS

ISSUE DATE	FEB 25 2016	PROJECT NO.	15-901
SCALE	3/32" = 1'-0"		
DRAWING NO.		REVISION	

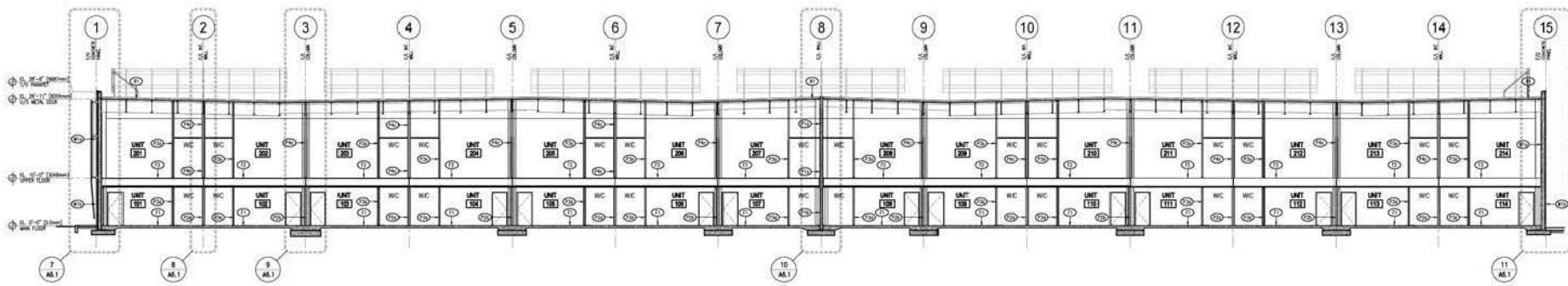
A4.3



1 BUILDING SECTION 1
A2.1 SCALE: 3/32" = 1'-0"



2 BUILDING SECTION 2
A2.1 SCALE: 3/32" = 1'-0"



3 BUILDING SECTION 3
A2.1 SCALE: 3/32" = 1'-0"

REV	DATE	DESCRIPTION	BY	CHK	REV
4	10.25.16	REVISED IN RE-ROSES FOR SP	AC		A
3	JAN.25.16	REVISED IN RE-ROSES FOR SP	AC		A
2	JAN.12.16	REVISED IN RE-ROSES FOR SP	AC		A
1	OCT.15.15	ISSUED FOR SP			

DESIGNED AND CONSTRUCTION AS INSTRUMENTS OF SERVICE AND THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREIN. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREIN. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREIN. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREIN.

PROJECT
CAMPBELL HEIGHTS
NORTH
WAREHOUSE
3485 10TH STREET
SUNBELT, NC

**BUILDING
SECTIONS**

PROJECT NO.	FEB 25 2016	PROJECT NO.	15-901
SCALE	3/32" = 1'-0"	DATE	REVISION
DATE	A5.1		



1 VIEW FROM 190TH STREET
A6.0 N.T.S.



2 VIEW FROM 190TH STREET
A6.0 N.T.S.



3 TYPICAL UNIT ELEVATIONS
A6.0 N.T.S.



4 METAL CLADDING DETAIL
A6.0 N.T.S.

REV	DATE	DESCRIPTION	DR	BY
4	FEB 23 16	NOTED & RE-ISSUED FOR SP	AC	N
3	JAN 26 16	NOTED & RE-ISSUED FOR SP	AC	N
2	JAN 12 16	NOTED & RE-ISSUED FOR SP	AC	N
1	OCT 15 15	ISSUED FOR SP		

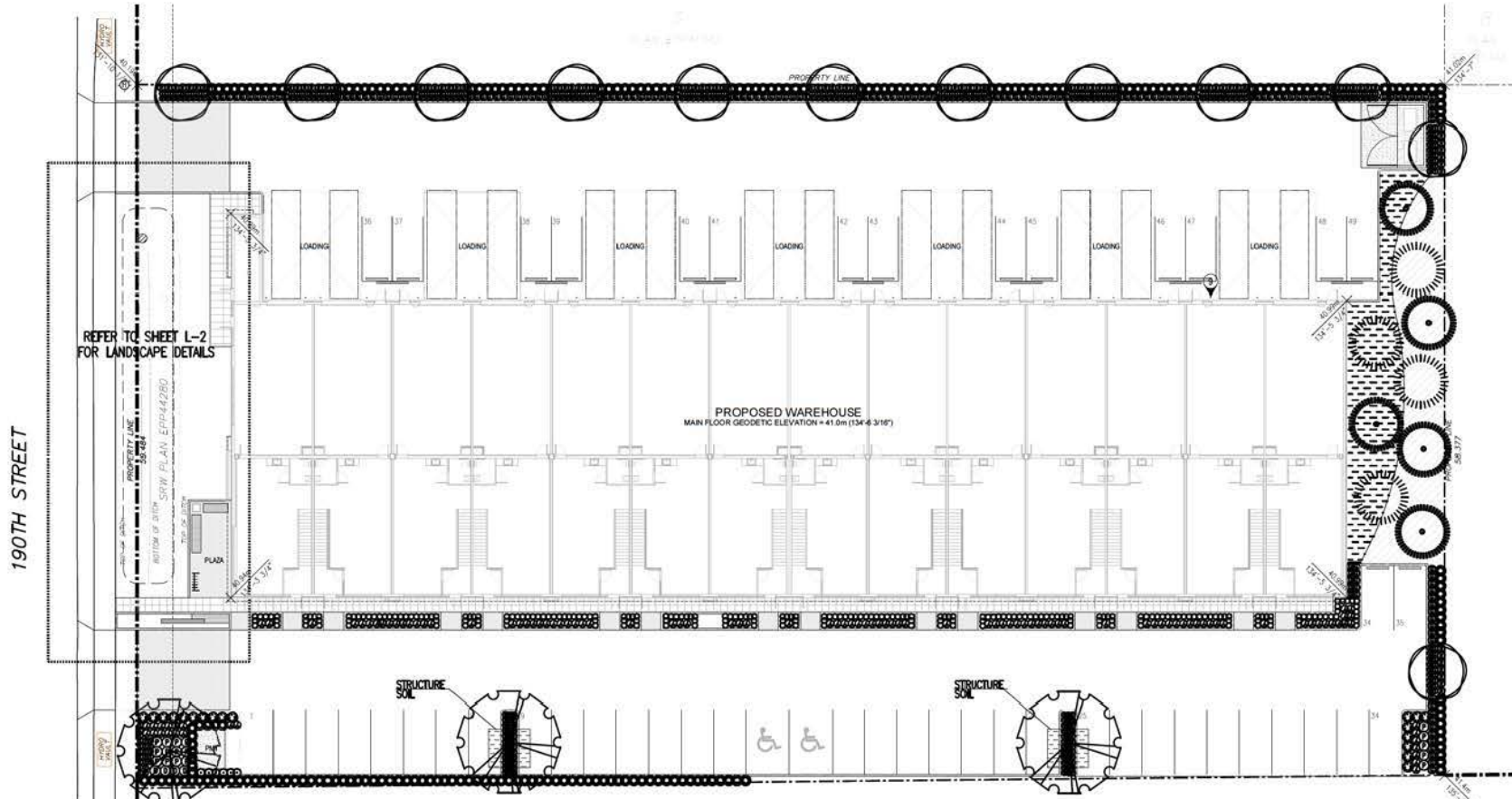
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DIMENSIONS MUST BE AT SCALE. THE DIMENSIONS TO BE SHOWN ON THE SITE AND IN THE CONSTRUCTION DOCUMENTS SHALL BE THE DIMENSIONS TO BE SHOWN ON THE SITE AND IN THE CONSTRUCTION DOCUMENTS. THE DIMENSIONS TO BE SHOWN ON THE SITE AND IN THE CONSTRUCTION DOCUMENTS SHALL BE THE DIMENSIONS TO BE SHOWN ON THE SITE AND IN THE CONSTRUCTION DOCUMENTS.

PROJECT:
 CAMPBELL HEIGHTS
 NORTH
 WAREHOUSE
 3400 190TH STREET
 SURREY, BC

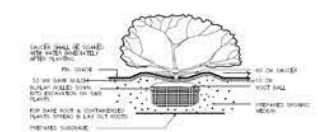
SHEET TITLE:
 RENDERED
 PERSPECTIVES

ISSUE DATE	PROJECT NO.
FEB 23 2016	15-901
SCALE: N.T.S.	REVISION
DRAWING NO. A6.0	

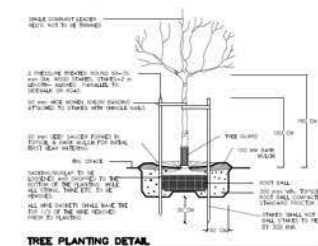


KEY	BOTANICAL NAME	PLANT LIST COMMON NAME	QTY.	SIZE	SPACING	REMARKS
○	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	3	3.00 METERS	AS SHOWN	B. & B.
○	QUERCUS ROBUR 'CRIMSCROT'	CRIMSON SPIRE OAK	12	6 CM. CAL.	AS SHOWN	B. & B.
○	TSUGA HETEROPHYLLA	WESTERN HEMLOCK	5	2.50 METERS	AS SHOWN	B. & B.
○	THUJA PLICATA	WESTERN RED CEDAR	4	2.50 METERS	AS SHOWN	B. & B.
○	CORNUS ALBA 'BULHARD 'NORY HALO'	VARIGATED DOGWOOD	4	#3 POT	90 CM. O.C.	
○	POLYSTICHUM MUNITUM	SWORD FERN	17	#3 POT	90 CM. O.C.	
○	ROSA MEDIALAND 'PINK'	MEDIALAND ROSE	108	#3 POT	65 CM. O.C.	
○	BUXUS MACROPHYLLA 'WINTER GEM'	ASHM BOXWOOD	154	#3 POT	45 CM. O.C.	
○	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD ARBORVITAE	177	1.50 METERS	65 CM. O.C.	
○	PRUNUS LAUROCESSUS OTTO LUYKEN	OTTO LUYKEN LAUREL	4	#3 POT	65 CM. O.C.	
○	JUNIPERUS HORIZONTALIS HUGHES	HUGHES JUNIPER	17	#3 POT	90 CM. O.C.	
○	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REEDED GRASS	77	#3 POT	65 CM. O.C.	
○	MAHONIA AQUIFOLIUM COMPACTA	DWARF OREGON GRAPE	151	#3 POT	65 CM. O.C.	
○	FESTUCA GLAUCA 'ELIJAH BLUE'	ELIJAH BLUE FESCUE	108	#3 POT	45 CM. O.C.	
○	NESSSELLA TENUISSIMA	MEXICAN FEATHER GRASS	202	#3 POT	45 CM. O.C.	
○	ARCTOSAPHYLUS UVA URSI	BEARBERRY	450	#3 POT	30 CM. O.C.	
○	GAULTHERIA SHALLOW	SALAL	174	#3 POT	65 CM. O.C.	

- NOTES:**
- PLANT SPECIES IN THIS LIST ARE SPECIFIED ACCORDING TO THE LANDSCAPE STANDARD 'LATEST EDITION' (CONTRACTOR SPECIES ARE SPECIFIED AS PER 'CONTRACT STANDARD' FROM PLANT CODE AND COMMON USES ARE THE MINIMUM ACCEPTABLE QUALITY, SEASON AND GROWTH RATE PLANT MATERIAL AVAILABLE FOR ORIGINAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF GROWTH TO INCLUDE LIGHT SHADING AND FROST TOLERANCE 'TOLERANT' MUST OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO FURNISHED SPECIES. SUBSTITUTIONS MUST BE SELECTED WITHIN A MINIMUM OF FIVE METERS FROM THE SOURCE OF SUPPLY TO DELIVER TO THE SITE. SUBSTITUTIONS ARE SUBJECT TO THE LANDSCAPE STANDARD.
 - ALL PLANT MATERIAL MUST BE PROVIDED FROM 'CERTIFIED TREE-FREE' WAREHOUSES. ALL PLANT MATERIAL MUST CONFORM TO THE LATEST EDITION OF THE 'LANDSCAPE STANDARD'. FUTURE SELECTIONS UPON REQUEST. ALL LANDSCAPE AND LANDSCAPE MATERIALS TO CONFORM TO THE LATEST EDITION OF THE 'LANDSCAPE STANDARD'.
 - ALL PLANTING MEDIA (OTHERS OVER PREPARED) SHALL BE:
 - LIQUID MEDIA: 300 MM
 - SOLID COVER AREAS: 300 MM
 - SPACER AREAS: 300 MM
 - FREE TILT: 300 MM WIDE ROOT ZONE
 - DRIVING MEDIA SHALL HAVE PHYSICAL AND CHEMICAL PROPERTIES AS SPECIFIED IN THE STANDARD FOR LEVEL 2 AND LEVEL 3 AREAS. EXCEPT FOR AREAS OVER STRUCTURES UNDER THE MEDIA SHALL CONFORM TO THE REQUIREMENTS FOR LEVEL 1. APPLICATION, PROTECTING AND METHOD OF DRIVING MEDIA COMPONENTS SHALL BE DONE PER THE USING A MEMORANDUM OF UNDERSTANDING. PROPOSED DRIVING MEDIA SHALL BE SET IN A REINFORCED CONCRETE. THE CONTRACTOR SHALL GUARANTEE THAT THE MEDIA SUPPORT FOR MEDIA IS A REINFORCED CONCRETE SLAB WITH THE SLAB THAT WILL BE SET IN THE JOB.
 - DRIVE-IN MOUNTED 'SOL' SHALL VERIFY THE FOUNDATIONS OF THE STRUCTURE FOR DRIVING MEDIA 'SOL' SHALL BE AFFRAXI FREE FROM SURFACE, ROCK, BOLL, BOLL PLANT, PAINT, OIL OR ANY OTHER HAZARD. IF MEDIA, PLANT THROUGH DRIVING MEDIA, MATERIALS SHALL BE 30 MM AND FROZEN MEDIA.
 - ALL PLANTING MEDIA SHALL VERIFY AND SO ON SAME MEDIA.
 - PLANT SPECIES AND VARIETIES MAY NOT BE SUBSTITUTED WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
 - THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE. UNLESS OTHERWISE SPECIFIED, ALL PLANT MATERIAL NOT SUPPLYING OR IN FOUR COLOURS DURING THE GUARANTEE PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.
 - THE CONTRACTOR SHALL GUARANTEE THAT THE USE OF ALL SUPPLY AS IS ACCORDANCE AND SHALL, AT THE COMPLETION OF THE WORK, LEAVE THE WORK AREA IN THE SAME OR A BETTER AND PREFERABLE CONDITION, FREE FROM ALL OBSTRUCTIONS.



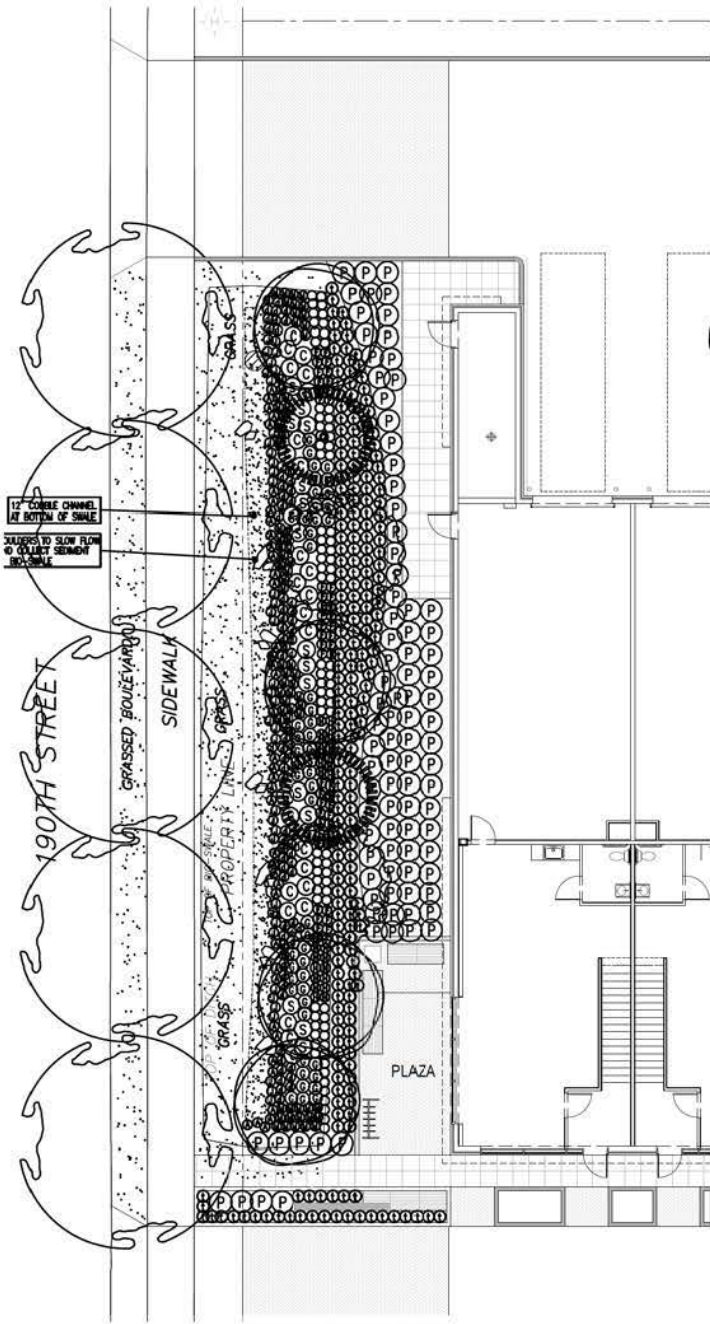
PLANTING DETAIL - SHRUBS & GRD. COVER PLANTS
SECTION
N.T.S.



TREE PLANTING DETAIL
SECTION
N.T.S.

2	2016-10-07	ISSUED FOR REVIEW
1	2016-09-08	CONCEPT DESIGN
0	2016-08-01	PRELIMINARY DESIGN

PROJECT NO.	1206
DATE	06/16/16
DESIGNED BY	OK
CHECKED BY	OK
PROJECT NO.	15040-01
DATE	06/16/16



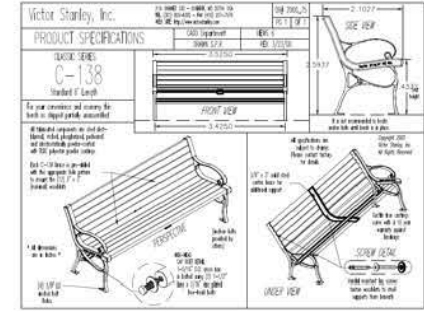
**BIO-SWALE
PLANT LIST**

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	REMARKS
	FRAXINUS ORNUS 'ARIE PETERS'	ARIES PETER'S FLOWERING ASH	5	6 CM. CAL.	AS SHOWN	1.8M STANDARD B. & B.
	AMELANCHIER x GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	2	6 CM. CAL.	AS SHOWN	B. & B.
	MALUS 'RED JEWEL'	RED JEWEL CRABAPPLE	4	6 CM. CAL.	AS SHOWN	B. & B.
	CHAMEACYPARIS NOOTKATENSIS PENDULA	WEeping NOOTKA CYPRESS	2	3.00 METERS	AS SHOWN	B. & B.
	ACORUS CALAMUS 'VARIEGATUS'	VARIEGATED SWEETFLAG	40	#2 POT	45 CM. O.C.	
	ARCTOSTAPHYLOS UVA URSI	BEARBERRY	72	#2 POT	45 CM. O.C.	
	CAREX MORROWII 'ICE DANCE'	ICE DANCE JAPANESE SEDGE	73	#2 POT	45 CM. O.C.	
	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	25	#3 POT	90 CM. O.C.	
	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	50	#2 POT	45 CM. O.C.	
	GAULTHERIA SHALLON	SALAL	50	#3 POT	65 CM. O.C.	
	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	25	#2 POT	45 CM. O.C.	
	JUNCUS EFFUSUS	COMMON SOFT RUSH	42	#2 POT	45 CM. O.C.	
	MAHONIA NERVOSA	OREGON GRAPE	27	#3 POT	45 CM. O.C.	
	MOLINA CAERULEA 'VARIEGATA'	VARIEGATED PURPLE MOOR GRASS	37	#2 POT	45 CM. O.C.	
	SPIRAEA BETULIFOLIA 'TOR'	TOR SPIRAEA	18	#3 POT	90 CM. O.C.	

BIO-SWALES TO BE CONSTRUCTED IN ACCORDANCE TO EXISTING RESTRICTIVE COVENANT TITLE.

**ON-SITE
PLANT LIST**

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING
	POLYSTICHUM MUNIUM	SWORD FERN	88	#3 POT	90 CM. O.C.
	NESSSELLA TENUISSIMA	MEXICAN FEATHER GRASS	232	#3 POT	45 CM. O.C.
	ARCTOSTAPHYLOS UVA URSI	BEARBERRY	210	#3 POT	30 CM. O.C.



1	2018-10-07	ISSUED FOR REVIEW
2	2018-10-07	ISSUED FOR REVIEW
3	2018-10-07	ISSUED FOR REVIEW
4	2018-10-07	ISSUED FOR REVIEW
5	2018-10-07	ISSUED FOR REVIEW

**CAMPBELL HEIGHTS
NORTH WAREHOUSE**

3488 190TH STREET,
SURREY, B.C.

PROJECT NO.	1206
DATE	08/18/18
DESIGNED BY	CK
CHECKED BY	CK
PROJECT NO.	150400-L
ISSUED BY	CK

**TO: Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: March 2, 2016 PROJECT FILE: **7815-0384-00**

**RE: Engineering Requirements (Commercial/Industrial)
Location: 3488 - 190 Street**

DEVELOPMENT PERMIT

There are no engineering requirements relative to the Development Permit.

BUILDING PERMIT

The following are to be addressed prior to issuance of the Building Permit:

- Evaluate services (e.g. driveways, water connections, sanitary sewer connections, storm water drainage) provided to the site by 7812-0159-00 and address through the BP process;
- Relocation of service connections as required and abandonment of redundant service connections as required;
- Relocation of curb letdown to proposed new location and associated modification to drainage features if required. Northern driveway 9.0 m wide and southern driveway 7.3 m wide; and
- Design/Construction of onsite infiltration and water treatment features as per Campbell Heights Land Use Plan requirements and as described in servicing plans under City project 7812-0159-00 and Restrictive Covenants on title.

The applicant is advised to review the registered sustainable drainage and water quality control restrictive covenants prior to submitting building permit application.



Rémi Dubé, P.Eng.
Development Services Manager

LR