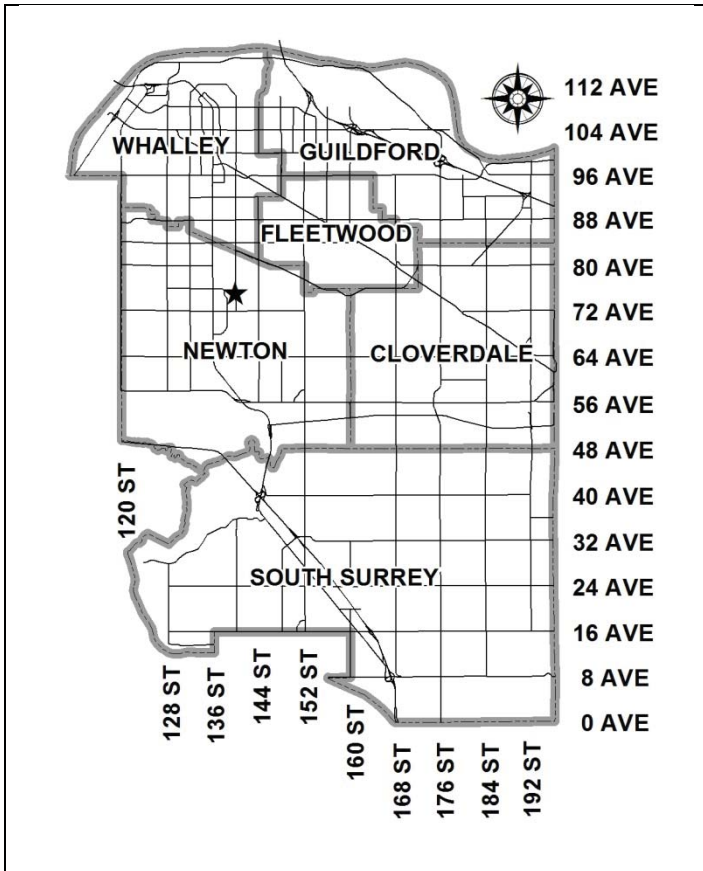


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7915-0365-00

Planning Report Date: February 6, 2017

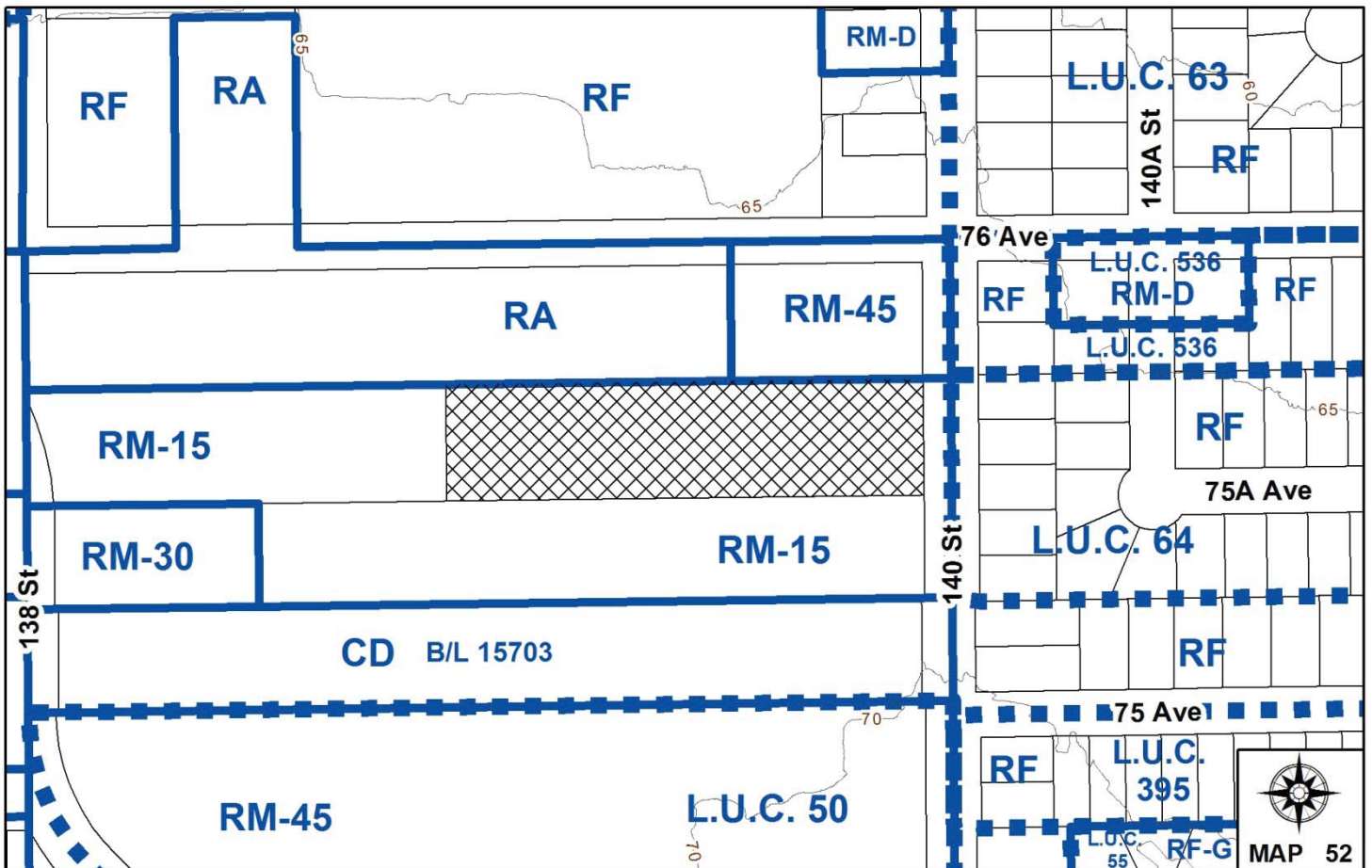


**PROPOSAL:**

- **Rezoning** from RM-15 to CD (based on RM-45)
- **Development Permit**
- **Housing Agreement**

to permit the development of three, three- and four-storey apartment buildings for affordable, non-market housing.

**LOCATION:** 7561 - 140 Street  
**OWNER:** Kekinow Native Housing Society  
**ZONING:** RM-15  
**OCP DESIGNATION:** Multiple Residential



### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for rezoning.
- By-law Introduction for Housing Agreement Bylaw.
- Approval to draft general Development Permit No. 7915-0365-00 (Master Plan).
- Approval to draft detailed Development Permit No. 7915-0365-01 (Phase One).

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant proposes to vary the minimum parking requirement from 275 to 157 stalls.

### RATIONALE OF RECOMMENDATION

- The proposal complies with the "Multiple Residential" Official Community Plan (OCP) designation.
- The proposed development by the Kekinow Native Housing Society, will provide much-needed non-market housing for Surrey's Aboriginal community.
- The project has been designed to sensitively introduce a four-storey building form into the neighbourhood.
- Through redevelopment of the subject site, the interface with Frank Hurt Park, to the north, will be improved. The proposed development will introduce "eyes on the park" by orienting units towards the park, providing amenity areas adjacent to the park boundary, and replacing the existing tall fence with a lower, more permeable fence. An existing informal trail connection to the site will also be legitimized and the Parks Department will work with the applicant on improvements to this section of Frank Hurt Park.
- The parking variance is acceptable based on expected low rates of vehicle ownership and the site's proximity to frequent transit on King George Boulevard.
- The applicant proposes to replace the existing townhouses in two phases and replace them with one 3-storey and two 4-storey multiple residential buildings.
- The Kekinow Native Housing Society has agreed to enter into a Housing Agreement to restrict the proposed dwelling units to rental only. The Housing Agreement stipulates that the proposed rental project shall be operated by a non-profit society for the purpose of providing affordable housing.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "Multiple Residential 15 Zone (RM-15)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. a Housing Agreement By-law be introduced to restrict the buildings to affordable rental housing operated by a non-profit organization (Appendix VIII).
3. Council authorize staff to draft the general Development Permit No. 7915-0365-00 and the detailed Development Permit No. 7915-0365-01 generally in accordance with the attached drawings (Appendix II).
4. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
  - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (f) the applicant address the concern that the development will place additional pressure on existing park facilities to the satisfaction of the General Manager, Parks, Recreation and Culture;
  - (g) registration of a Section 219 Restrictive Covenant to ensure that if the buildings are repurposed for a different use in the future, the City's needs with respect to public art will be met, to the satisfaction of the General Manager Parks, Recreation and Culture; and
  - (h) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the project [subject to the completion of Engineering servicing requirements] as outlined in Appendix III.

School District: **Projected number of students from this development:**

10 Elementary students at Bear Creek Elementary School  
7 Secondary students at Frank Hurt Secondary School

(Appendix IV)

The applicant has advised that the first dwelling units in this project (Phase One) are expected to be constructed and ready for occupancy by December 2018.

Parks, Recreation & Culture: Parks has no concerns with the proposal.

Surrey Fire Department: No comments.

SITE CHARACTERISTICS

Existing Land Use: Non-market housing in the form of townhouses, operated by the Kekinow Native Housing Society

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Three-storey multi-family building and Frank Hurt Park	Multiple Residential	RM-45 and RA
East (Across 140 Street):	Single family homes	Urban	RF and Land Use Contract No. 64 (underlying RF)
South and West:	Townhouse developments	Multiple Residential	RM-15

## DEVELOPMENT CONSIDERATIONS

### Context

- The site is designated "Multiple Residential" in the Official Community Plan (OCP). It is currently occupied by a 33-unit non-market townhouse development operated by the Kekinow Native Housing Society.
- The property is located on 140 Street in Newton, approximately 200 metres (655 ft.) east of the Newton Town Centre. To the south and west are other townhouse developments with density similar to the current use on the subject site. Single family homes are located facing the site, on the east side of 140 Street. To the north of the subject property are both a three-storey apartment building facing 140 Street and Frank Hurt Park, beyond which is Frank Hurt Secondary School.

### Background

- Since 1986, the Kekinow Native Housing Society has provided housing for people of Aboriginal ancestry living on limited incomes in Surrey. Currently Kekinow operates 155 family housing units in five townhouse complexes in Surrey.
- The Society has determined that the use of the subject site for larger townhouse units no longer meets the needs of the aboriginal community in Surrey, and that more smaller units would better suit the demographic and demand for housing. Kekinow proposes to remove the townhouse units in phases and replace them with three multiple-unit residential buildings to be used for non-market housing.
- Surrey has a young and growing urban Indigenous population. Over the past decade the population has doubled in size with approximately 11,000 Surrey residents identifying as Aboriginal in 2011. It is an exceptionally young population. In 2011, the median age was 25.6 years as compared to the median age of 37.5 years for all Surrey residents. Of particular concern is the high rate of Indigenous child poverty in Surrey; 45% of Indigenous children and youth in Surrey live in poverty.
- The proposed project will increase the number of housing units, and provide housing appropriate for a diversity of Aboriginal households, including families, singles, elders and young people.
- Kekinow's proposal responds to the findings of the All Our Relations: Phase One of the Surrey Urban Aboriginal Social Innovation Strategy, adopted by Council on May 2, 2016 (Corporate Report No. R100; 2016). Specifically, the Strategy identifies "a lack of appropriate, accessible and affordable housing for Aboriginal people with a range of different needs". With Surrey's vacancy rate at 0.4% in October 2016, and its rental rates rising, the Kekinow proposal will provide much-needed culturally-appropriate housing for the Indigenous community in Surrey.
- The site is owned by the Kekinow Native Housing Society and the existing townhouses are being operated by the Society as non-market family housing.

### Proposal

- The Kekinow Native Housing Society proposes to redevelop the site by rezoning the subject property from "Multiple Residential 15 Zone (RM-15)" to a "Comprehensive Development Zone (CD)" based on the "Multiple Residential 45 Zone (RM-45)". In total, 176 dwelling units within three buildings are proposed for the site.
- Because of funding restrictions, and in order to provide minimal disruption to the existing residents, the proposed development will be constructed in phases. By phasing the construction, many existing tenants can have the option to move into the first building before the remaining townhomes on the site are demolished.
- In addition to the rezoning, the application includes a general Development Permit for the entire site, to address issues such as overall density, setbacks, parking, and tree retention. A detailed Development Permit for Phase One is also proposed, to regulate the form and character of the western-most building on the site.
- No existing homes on the site will be demolished until after the Rezoning and Development Permit have been approved and funding is in place to begin construction of proposed Building One.
- The western-most (Phase One) building is proposed to be four storeys with 72 dwelling units (24 will be studios, 28 one-bedroom and 20 two-bedroom).
- The future building in the centre of the site is also proposed to be four storeys, while the eastern-most building, facing 140 Street, will be three storeys. A portion of the ground-floor of the eastern-most building will be used for administration offices for the Kekinow Native Housing Society. Detailed Development Permit applications will be required for these future buildings.
- The applicant proposes to reduce the number of required parking spaces from 275 to 157. The reduction is discussed in detail below, under the CD By-law section.
- Indoor amenity space will be provided in each building and shared outdoor amenity space will be provided throughout the development.
- The studio apartments range in size from 31 – 38 square metres (334 – 409 sq.ft), the one-bedroom apartments range in size from 45 – 63 square metres (484 – 678 sq.ft.) and the two-bedroom apartments range in size from 76 – 92 square metres (818 – 990 sq.ft). The Kekinow Native Housing Society feels that the greater number of smaller units will appropriately meet the needs of their anticipated demographic.

### Proposed CD By-law

- The proposed CD By-law is based on the "Multiple Residential 45 Zone" (RM-45), with modifications to increase the front yard setback, allow for administration offices as a permitted use, reduce floor area ratio (FAR), and increase unit density.



- Notable modifications proposed in the CD By-law are listed in the following table:

	RM-45	Proposed CD By-law
Permitted Uses	<ul style="list-style-type: none"> <li>• Multiple unit residential</li> <li>• Ground-oriented multiple unit residential; and</li> <li>• Childcare</li> </ul>	<ul style="list-style-type: none"> <li>• Multiple unit residential;</li> <li>• Ground-oriented multiple unit residential;</li> <li>• Childcare; and</li> <li>• Administration offices</li> </ul>
Density (FAR)	1.30 maximum	1.20 maximum
Density (UPH/UPA)	111 uph / 45 upa	166 uph / 67 upa
Setbacks	7.5 metres on all sides	7.5 metres on sides and rear yards, and 10.0 metres on the front yard (east).
Parking	1.3 parking spaces per dwelling unit with 1 or no bedrooms; 1.5 parking spaces per dwelling unit with 2 or more bedrooms; and 0.2 parking space per dwelling unit for visitors	157 parking spaces for the development

- The proposed floor area ratio (FAR) is 1.18 with a unit density of 166 uph (67 upa). These numbers are reflective of the fact that the development will consist mostly of small studio and one-bedroom units.
- The CD By-law includes a relaxation to the standard parking requirements. Under the RM-45 Zone, the development would require 275 parking spaces based on the unit breakdown. The applicant is proposing 157 stalls.
- A parking study, prepared by Bunt and Associates, was submitted in support of the proposed relaxation. The reduced parking rate is supportable based on low expected rates of vehicle ownership among residents, and the fact that walking, cycling, and transit are all viable alternatives to vehicle ownership at this location. The parking study has been reviewed and accepted by the City’s Transportation Engineering Division.

Housing Agreement

- Section 483 of the *Local Government Act* authorizes local governments to enter into Housing Agreements for affordable and special needs housing.
- The attached Housing Agreement By-law (see Appendix VIII), will restrict the dwelling units to rental and require the project to be operated by a non-profit organization for the purpose of affordable housing. The By-law has been reviewed by Legal Services and found acceptable.
- The Agreement allows the City, from time-to-time, to require that owner of the project to provide written proof of compliance with the Agreement.
- In accordance with the City’s Public Art Policy No. R-21, the applicant is not required to provide a monetary contribution towards public art due to the project being non-market housing. A Restrictive Covenant will be required to ensure that if the occupancy of the units change, the public art contribution could be collected if applicable.

## PRE-NOTIFICATION

Pre-notification letters were sent on February 10, 2016 and the applicant held a Public Information Meeting on August 30, 2016.

In response to the pre-notification letters, staff received two telephone calls and four email replies. Four community members attended the Public Information Meeting and one feedback form was submitted.

Staff received the following comments in correspondence with the public (staff comment noted in italics):

- Residents were concerned about the current traffic volumes on 140 Street and the potential impacts of the development on vehicle traffic.

*(The proposal complies with the Multiple Residential land use designation in the Official Community Plan. The property is located close to the Newton Town Centre and King George Boulevard.*

*The applicant has proposed a parking relaxation based on anticipated low rates of vehicle ownership among future residents. Low vehicle ownership will result in fewer trips generated and a lower traffic burden on surrounding streets than would be expected with a typical market-oriented multi-family development.*

*The provision of bike parking within the building, as well as the proximity of the property to shops and services in the Newton Town Centre and to transit on King George Boulevard mean that future residents can be expected to walk, cycle, and take transit as viable transportation options.)*

- Neighbours commented on the potential shadow and privacy impacts the development may have on their homes and yards.

*(The applicant has designed the site with sensitivity to the surrounding residences. All shared trees will be retained, as well as additional on-site trees adjacent to property lines. Tree planting will further enhance the buffer between the development site and neighbours.*

*Building massing is located away from property lines as much as possible. Building One, on the western-most portion of the site, has been designed to minimize windows and balconies overlooking neighbours.*

*Indoor and active outdoor amenity areas for Building One are located on the north side of the building both to separate these uses from adjacent homes and to provide animation for CPTED reasons around the interface with Frank Hurt Park.*

*A shadow diagram has been provided that demonstrates minimal shading impacts to the properties to the west and south of the subject site, which is where existing townhomes are located.)*



- Some residents noted crime as an existing problem in the neighbourhood and expressed concern about the potential for additional residents to cause an increase in crime.

*(Staff acknowledge community concerns about crime in this area, particularly in Frank Hurt Park. The interface between the subject site and Frank Hurt Park was identified early in the planning process as an opportunity to address crime prevention.*

*The applicant has paid close attention to CPTED principles in designing the site, and with Phase One in particular. Low, permeable fencing will be used to separate the proposed development from the park to the north in order to maintain sight lines and "eyes-on-the-park." Building One has been designed to maximize units with windows facing the park and to minimize blank walls on the north façade. Indoor and outdoor amenity areas are on the north side of the building to animate the area adjacent to the park boundary. An informal pathway that currently connects the site to Frank Hurt Park will be formalized through this development.*

*The City's Parks Department has also indicated a willingness to make improvements to this forested section of Frank Hurt Park in association with the proposed development.)*

- One respondent questioned whether neighbourhood schools would be able to accommodate additional students in the local catchment.

*(The Surrey School District has commented on the application and noted that both Bear Creek Elementary and Frank Hurt Secondary Schools are currently operating below capacity.)*

- The feedback form that was submitted at the Public Information Meeting expressed support for the proposal. The respondent felt that the additional affordable housing units will benefit the community and that the improvement to the edge of Frank Hurt Park will be welcome.

## DESIGN PROPOSAL AND REVIEW

### Site Design, Parking and Access

- The narrow site will consist of three buildings in the ultimate condition. The eastern-most building, adjacent to 140 Street is proposed to be three storeys, while the other two buildings are proposed to be four storeys.
- The buildings will be oriented towards an interior drive-aisle that will be adjacent the north property line. The driveway terminates at the western-most building, which will be the Phase One building, in a vehicle turn-around, where the entrance to the underground parking facility is to be located.
- The site will be accessed from 140 Street. The interior driveway will provide vehicle access to all three buildings. The vehicle turn-around has been designed to accommodate fire trucks.
- All parking is proposed to be underground. Two entrances are proposed to the underground parking level, with one entrance provided as part of the Phase One building.

- The applicant proposes to relax the required parking from 275 stalls to 157 stalls and has provided a parking study prepared by Bunt & Associates to support the proposal. The variance is acceptable based on the anticipated demographics of the future residents, being low-income and largely seniors and students. The site is also located in close proximity to transit on King George Boulevard. The parking relaxation is incorporated into the proposed Comprehensive Development Zone.

#### General Development Permit

- The current application includes a detailed Development Permit for Phase One (Building One) and a General Development permit for Phase Two (Buildings Two and Three).
- Approximately 400 square metres (4,300 ft<sup>2</sup>) of ancillary office space is proposed in Building Three, adjacent to 140 Street. The office use will be limited to the ground floor and will be limited to the administration offices for the Kekinow Native Housing Society only.
- Because the site is adjacent to townhomes on the west and south, and faces single family homes across 140 Street, the development has been designed sensitively to minimize impacts to the neighbouring residents. For example, Building Three (adjacent to 140 Street) will be three storeys to provide an appropriate interface with the surrounding uses, including the existing single family homes on the east side of 140 Street.
- Although the minimum setbacks on the north, west, and south sides are maintained at the RM-45 minimum of 7.5 metres (25 ft.), on the north and south the building mass is set back farther from these property lines. Due to building articulation, the minimum setback of 7.5 metres occurs along the east and a small portion of the north façade, whereas the majority of the building construction is set considerably further back from neighbouring properties (10 metres (33 ft.)).
- Tree retention has been prioritized adjacent to property lines, in particular the southern property line, in order to maintain privacy.
- In total, the development will include 540 square metres (5,813 sq.ft.) of both indoor and outdoor amenity spaces, which exceeds the CD By-law requirement of 528 square metres (5,983 sq.ft), based on 3 square metres (32 sq.ft.) per dwelling unit for each. Indoor amenity space will be provided in each building and shared outdoor amenity space will be provided throughout the development.
- Detailed Development Permits will be required at a future date to finalize the form and character of Buildings Two and Three.

#### Phase One Development Permit

- Building One (Phase One) contains 72 dwelling units and has been designed to provide "eyes-on-the-park" by orienting units towards the north and avoiding blank walls on this façade.

- Exterior building cladding consists of hardie panel siding in moss green and beige, some cedar shingle accent feature walls, a mix of black vinyl windows (in residential units) and black aluminum windows (at the main-floor entry and for full-height glass areas in amenity spaces) and red hardie panel fascia. Glass balconies with metal frames are provided for each residential unit.
- The building's roof is flat except for some cultural expression in the forms of traditional single-slope longhouses and gable-end longhouses. These traditional forms are intended to reflect the differences in Indigenous architecture of the Coast Salish and the diversity of the Indigenous tenants of Kekinow Native Housing.

### *Indoor and Outdoor Amenity Spaces*

- The applicant is proposing to provide 238 square metres (2,562 sq.ft.) of indoor amenity space in Phase One, exceeding the 216 square metres (2,325 sq.ft.) of indoor amenity space that is required for the 72 dwelling units proposed in Phase One. Indoor amenity spaces are provided on every floor and consist of a community kitchen, an elder's room and various multi-purpose community rooms.
- Indoor and outdoor amenity areas for Building One are located on the north side of the building, both to maximize privacy for the neighbours to the south and to address CPTED concerns on the north side of the property.
- The applicant is proposing to provide 310 square metres (3,337 sq.ft.) of outdoor amenity space in Phase One, exceeding the 216 square metres (2,325 sq.ft.) of indoor amenity space that is required for Phase One with 72 dwelling units. Outdoor amenity spaces are located throughout the Phase One site and consist of open areas in a combination of hard and soft landscape treatments, seating areas and a children's play structure.

### CPTED and Frank Hurt Park Interface

- The western half of the site abuts Frank Hurt Park to the north. To address unwanted behavior in this park, Crime Prevention Through Environmental Design (CPTED) principles played a significant role in the design of the Phase One building and landscaping on the western portion of the site.
- The subject property abuts a forested area within Frank Hurt Park that has experienced problems with nuisance generally, and illegal dumping in particular. The City Parks Department intends to make improvements to Frank Hurt Park in co-ordination with this application.
- An informal trail currently connects the northwest corner of the subject site to the park. This trail connection will be formalized through the application and a new pathway, adjacent to the park boundary will be introduced on the subject site to increase activity and surveillance of this part of Frank Hurt Park and to have the park serve as an amenity for the future residents of the subject site.

- Building One (Phase One) on the subject site has been designed to provide "eyes-on-the-park" by orienting units towards the north and avoiding blank walls on this façade.
- Low, permeable fencing will be installed along the park interface.
- Indoor and outdoor amenity spaces for Building One are on the north side of the building in order to maximize activity adjacent to the park boundary.

TREES

- Thomas Walz, ISA Certified Arborist of BC Plant Health Care Inc. prepared an Arborist Assessment for the subject property. The following table provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Alder and Cottonwood	0	0	0
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Cherry, flowering	4	4	0
London plane	3	3	0
Maple, Norway	4	4	0
<b>Coniferous Trees</b>			
Cedar, deodar	7	6	1
Cedar, western red	3	3	0
Pine, Austrian	13	8	5
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>34</b>	<b>28</b>	<b>6</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>40</b>	
<b>Total Retained and Replacement Trees</b>		<b>46</b>	
<b>Contribution to the Green City Fund</b>		<b>\$6,400</b>	

- The Arborist Assessment states that there are a total of 34 mature trees on the site. There are no alder or cottonwood trees. It was determined that 6 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 56 replacement trees on the site.
- Since development is occurring in phases, the applicant has prepared a detailed landscaping plan only for Phase One, which consists of the western-most building. Approximately 17 trees will be removed with 19 replacement trees planted as part of the Phase One landscaping.
- Securities will be collected in phases for all trees that are removed as each detailed Development Permit moves forward. Securities will be returned to the applicant as landscaping is completed and replacement trees are planted for each phase of the development.
- The new trees on the site will consist of a variety of trees including coral bark Japanese maple, red sunset maple, Serbian spruce, and Mt. Fuji flowering cherry.
- In summary, a total of 6 trees are proposed to be retained on site as part of the master development permit. Approximately 17 trees will be removed and 19 replacement trees will be planted through the Phase One Development Permit with additional tree removal and planting to occur as part of the future phases of development.

#### SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on October 13, 2015. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>• The proposed development is consistent with the Official Community Plan designation.</li> </ul>
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>• The development consists of 176 social housing units.</li> <li>• Units will be bachelor, one-bedroom, and two-bedroom.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>• The development will make use of Low Impact Development Standards such as absorbent soils, roof downspout disconnection, and sediment control devices.</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>• The site is located close to the Newton Town Centre and transit corridor on King George Boulevard.</li> <li>• A parking variance is proposed because low vehicle ownership is anticipated.</li> <li>• The proposal will facilitate pedestrian movements by legitimizing an existing informal pathway connection to Frank Hurt Park, for the use of future residents.</li> </ul>

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>• CPTED principles have strongly influenced the design of the Phase One building and site plan. The development is expected to improve the interface conditions and enhance safety and security in Frank Hurt Park.</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>• N/A</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>• The Kekinow Native Housing Society is the property owner and is involved in the design of the site for future residents.</li> </ul>

### ADVISORY DESIGN PANEL

The proposal was presented to the Advisory Design Panel (ADP) twice: on November 10, 2016 and on January 12, 2017. On November 10, 2016 the panel requested that the project be brought back for additional review.

On January 12, 2017, the proposal was well-received by the panel. The panel had some comments relating primarily to the exterior finishes and colours and the landscaping design. These comments will be addressed by the applicant prior to consideration of Final Adoption.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	ADP Comments and Applicant's Responses
Appendix VII.	Proposed CD By-law
Appendix VIII.	Proposed Housing Agreement By-law

INFORMATION AVAILABLE ON FILE

- Parking Study Prepared by Bunt & Associates, dated September 29, 2016.
- Complete Set of Architectural and Landscape Plans prepared by Patrick R. Stewart Architect and CHPA, respectively, dated January 27, 2017 and January 27, 2017.

*original signed by Judith Robertson*

Jean Lamontagne  
General Manager  
Planning and Development

MJ/da



Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent:      Name:                      Patrick Stewart  
   Patrick R. Stewart Architect  
   Address:                      Bldg. 4, 7201 - Vedder Road  
   Chilliwack, BC V2R 4G5
  
2.            Properties involved in the Application
  - (a)          Civic Address:                      7561 - 140 Street
  
  - (b)          Civic Address:                      7561 - 140 Street  
   Owner:                                      Kekinow Native Housing Society  
   PID:    006-853-919  
   Lot 2 Section 21 Township 2 New Westminster District Plan 74029
  
3.            Summary of Actions for City Clerk's Office
  - (a)          Introduce a By-law to rezone the site.
  
  - (b)          Introduce a Housing Agreement By-law.

## DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on RM-45)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>LOT AREA</b> (in square metres)		
Gross Total		10,702
Road Widening area		66
Undevelopable area		
Net Total		10,636
<b>LOT COVERAGE</b> (in % of net lot area)		
Buildings & Structures	40%	33%
Paved & Hard Surfaced Areas		30%
Total Site Coverage		63%
<b>SETBACKS</b> ( in metres)		
Front	10	14
Rear	7.5	7.5
North Side #1	7.5	7.5
South Side #2	7.5	7.5
<b>BUILDING HEIGHT</b> (in metres/storeys)		
Principal	15.0	14.5
Accessory		
<b>NUMBER OF RESIDENTIAL UNITS</b>		
Bachelor		31
One Bed		92
Two Bedroom		53
Three Bedroom +		0
Total		176
<b>FLOOR AREA: Residential</b>		12,681
<b>FLOOR AREA: Commercial</b>		
Retail		
Office		390
Total		
<b>FLOOR AREA: Industrial</b>		
<b>FLOOR AREA: Institutional</b>		
<b>TOTAL BUILDING FLOOR AREA</b> (in square metres)		13,071

**Development Data Sheet cont'd**

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
<b>DENSITY</b>		
# of units/ha /# units/acre (gross)		164.5 / 66.6
# of units/ha /# units/acre (net)		165.5 / 67.0
FAR (gross)		1.17
FAR (net)	1.2	1.18
<b>AMENITY SPACE (area in square metres)</b>		
Indoor	528	540
Outdoor	528	540
<b>PARKING (number of stalls)</b>		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	157	157
Number of accessible stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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# KEKINOW NATIVE HOUSING SOCIETY

7561 140th Street, Surrey BC

File no: 7915-0365-00

## PROJECT TEAM

<p><b>1.0 CLIENT:</b> Kekinow Native Housing Society Shelby Hill, Executive Director 1014-7445 132nd Street, Surrey, B.C., V3W 1J8 Tel: 604-591-5299 Fax: 604-591-5112 Email: shelby@kekrow.ca</p>	<p><b>7. Landscape Architect:</b> CHP Architects Kyung Bae Park, BCSLA, 9355 Young Road Chilliwack, BC V2P 4S3 Tel: 604 793 9445 F: 604 793 9448 Email: kbae@chparchitects.com</p>
<p><b>2.0 DEVELOPMENT CONSULTANT:</b> Terra Housing Consultant Jim O'Dea / Sheila McLaughlin, 1848 Commercial Drive, Vancouver, B.C., V2P 4G5 Tel: 604-736-9416 Fax: 604-736-5900 Email: jim@terrahousing.ca sheila@terrahousing.ca</p>	<p><b>8. Environmental Engineer:</b> Keystone Environmental Ltd. Bill Donald, P. Eng., Principal, Suite 320 - 4402 Dominion Street, Burnaby, B.C., V5G 4G3 Tel: 604-430-0671 Fax: 604-430-0672 Email: bdonald@keystoneenviro.com</p>
<p><b>3.0 TECHNICAL CONSULTANTS:</b></p>	<p><b>9. Surveyor:</b> HY Engineering Richard Brooks, Principal 200 - 9128 152nd Street, Surrey BC V3R 4E7 Tel: 604-563-1816 Fax: 604-563-1737 Email: rbrooks@hyengineering.com</p>
<p><b>1. Architect:</b> Patrick R. Stewart Architect Patrick Stewart, Architect AIBC, MRAIC, LEED AP 46401 Bedford Parkway, Chilliwack, BC V2R 5N4 Tel: 778-246-1862 Email: info@patrickstewartarchitect.com</p>	<p><b>10. Transportation Consultant:</b> Bunt &amp; Associates Yulia Liew, P.Eng, PTOE, Sr. Transportation Engineer Suite 1550 - 1550 West Pender Street Vancouver, BC V6E 3S7 Tel: 604-685-6427 Fax: 604-685-6579 Email: yulian@buntinc.com</p>
<p><b>2. Geotechnical Engineer:</b> Braun Geotechnical James Wetherill, P.Eng. 110 - 19188 94th Ave, Surrey BC V4N 4X8 Tel: 604-513-4190 Fax: 604-513-4199 Email: info@braungeo.com</p>	<p><b>11. Quantity Surveyor:</b> Butterfield Development Consultants Anthony Craxton, BSc (Eng), PQS 837 W Hastings St #510, Vancouver, BC V6C 3N6 Tel: 604-622-1939 (direct) Email: acraxton@btbcconsultants.com</p>
<p><b>3. Civil Engineer:</b> HY Engineering Richard Brooks, Principal 200 - 9128 152nd Street, Surrey BC V3R 4E7 Tel: 604-563-1816 Fax: 604-563-1737 Email: rbrooks@hyengineering.com</p>	<p><b>12. Appraiser:</b> Collingwood Appraisals Ltd. Kathryn M. Jones, RIBC, AAGI Suite 202 - 316 Governors Court New Westminster, BC V3L 5S5 Tel: 604-526-5000 Fax: 604-526-5777 Email: appraisers@collingwood.com</p>
<p><b>4. Structural Engineer:</b> Bogdanov Lerer Engineering Ltd. Steven Lerer, P. Eng., Partner, 260 - 1177 West Broadway, Vancouver, B.C., V6H 1G3 Tel: 604-731-9186 Fax: 604-731-5381 Email: steven@bogdanovlerer.com</p>	<p><b>5. Mechanical Engineer:</b> Williams Engineering Dan Lee, ASCT, LEED AP, Mechanical Team Lead 200-1520 McCallum Road, Abbotsford, BC V2S 8A3 Tel: 604-851-7553 Fax: 604-855-7991 Email: dlee@williamsengineering.com</p>
<p><b>6. Electrical Engineer:</b> Williams Engineering Charlie Yao, P.Eng., LEED AP BD+C 200-1520 McCallum Road, Abbotsford, BC V2S 8A3 Tel: 604-851-7556 Fax: 604-855-7991 Email: cyao@williamsengineering.com</p>	

**CIVIC / LEGAL ADDRESS:**  
Lot 2 Section 21 TWP 2 PL 74029 NWD



LOCATION MAP: SURREY



BUILDING SITE

## DRAWING LIST

S.NO.	DWG NO.	DRAWING TITLE	LANDSCAPE DRAWING LIST:
<b>ARCHITECTURAL DRAWING LIST:</b>			
1.	A-000.1	CONSULTANT LIST, INDEX, LOCATION PLANS, NOTES	1. L1 OVERALL LAYOUT PLAN
2.	A-101.1	ZONING RECONCILIATION & BUILDING CODE REVIEW	2. L2 LANDSCAPE PLAN PHASE-1 & DETAILS
3.	A-101.2	SHADOW DIAGRAMS - PLAN VIEW	3. L3 SITE DETAILS
4.	A-101.3	SHADOW DIAGRAMS - PLAN VIEW	4. L4 RENDERED VIEWS
5.	A-101.4	STREETSCAPE & AREA PHOTOS	
6.	A-101.5	SITE PERSPECTIVES -PHASES DEVELOPMENT	
7.	A-102.1	SITE PLAN - PHASE 1	
8.	A-102.2	SITE PLAN - OVERALL & SITE SECTION	
9.	A-201.1	PARKING FLOOR PLAN	
10.	A-201.1a	PHASE 1 - PARKING FLOOR PLAN	
11.	A-201.2	PHASE 1 - MAIN FLOOR PLAN	
12.	A-201.3	PHASE 1 - SECOND FLOOR PLAN	
13.	A-201.4	PHASE 1 - THIRD FLOOR PLAN	
14.	A-201.5	PHASE 1 - FOURTH FLOOR PLAN	
15.	A-201.6	PHASE 1 - ROOF PLAN	
16.	A-202.1	PHASE 1 - STUDIO UNIT PLANS	
17.	A-202.2	PHASE 1 - 1 BEDROOM UNIT PLANS	
18.	A-202.3	PHASE 1 - 2 BEDROOM UNIT PLANS	
19.	A-202.4	PHASE 1 - 2 BEDROOM UNIT PLANS	
20.	A-301.1	PHASE 1 - NORTH AND SOUTH ELEVATIONS	
21.	A-301.2	PHASE 1 - EAST AND WEST ELEVATIONS	
22.	A-301.3	PHASE 1 - PERSPECTIVES	
23.	A-401.2	PHASE 1 - BUILDING SECTIONS A-A & B-B	
24.	A-302.1	PHASE 2 - ELEVATIONS	

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4	01/12/17	RE-SUBMISSION TO ADP	PS	SCALE	N/A
5	01/27/17	REZONING/ DP SUBMISSION	PS		

Architects Seal	Project Name <b>HOUSING PROJECT</b> 7561 140th STREET, Surrey, BC.
	CONSULTANT LIST, INDEX LOCATION PLANS, NOTES
Rev No. 5	Project No. 14-02 Dwg No. A-001

DEVELOPMENT DATA SHEET

Code: British Columbia Building Code 2012 - Phase 1

Proposed/Existing Zoning CO/RM 45

A. Use and Occupancy

- Overall Building Area: 5,288 m<sup>2</sup> ( 56,898.5 sq ft.)  
One major occupancy in a residential building on four floors with underground and visitor surface parking.
- Major Occupancy: Group C
- Group C: BCBC 3.2.2.50: Up to 6 Storeys, Sprinklered
  - No. of Storeys: 1
  - Building Area: 1,350 m<sup>2</sup> (3.2.2.50.1(e)(iv) Allows 1800 m<sup>2</sup>)
  - Number of Units: 72
  - Storey Height: 4
- 3.2.1.2 Storage Garage Considered As A Separate Building:
  - a basement used primarily as a storage garage is permitted to be considered as a separate building for the purposes of Subsection 3.2.2 provided the floor and roof assemblies above the basement and the exterior walls of the basement above the adjoining ground level are considered as fire separation of non-combustible construction having a fire-resistance rating not less than 2h

B. Occupant Load: BCBC 3.1.17

- 3.1.8.11(1) Every door in all fire separations... shall be equipped with a self-closing device designed to return the door to the closed position after each use.
- 3.1.17.1(b) The occupant load of a floor area shall be based on 2 persons per sleeping room in a dwelling unit. For 72 units, the design occupant load is required to be 160 people unless a lower occupant load is permanently posted in a conspicuous location (3.1.17.2). For each floor area, the occupant load is as follows:

Floor Area	No. of Bedrooms (2br)	No. of Studio (1unit)	Occupant Load
Level 1	17	03	37
Level 2	17	07	41
Level 3	17	07	41
Level 4	17	07	41
Total	68	24	160

C. Building Fire Safety: BCBC 3.2

- Group C: 3.2.2.50: Up to 6 Storeys, Sprinklered
  - 3.2.2.50(2)(c) load bearing walls, columns and arches shall have a FRR not less than that requires for the supported assembly.
  - 3.2.2.50(5) in a building that contains dwelling units that have no more than one storey, the floor assemblies... shall have a fire-resistance rating not less than 1 hr but need not be constructed as fire separations.
  - 3.2.5.12(2): NFPA13R, "Standard for the Installation of Sprinkler Systems in Residential Occupancies up to and Including Four Storeys in Height".
  - 3.2.5.12(6) Sprinklers shall not be omitted in any room or closet in the storey immediately below a roof assembly.
  - 3.2.5.7 : Fast response sprinklers shall be installed in residential occupancies.

D. Residential Occupancy: BCBC 3.3.4

- 3.3.4.2.1: Suites of residential occupancy shall be separated from each other and the remainder of the building by a fire separation having a fire-resistance rating of not less than 1 hour.
- 9.11.2.1(1) STC 50 is required between dwelling units.
- 9.11.2.1(3) STC 55 is required between dwelling units and elevator hoistway.

E. Exit Requirements:

- 3.4.3.2.1(e) Exit capacity: 9.2mm x occupant load: 9.2 x 160 = 1472 mm  
Provided: 2 exit doors 914mm from every floor = 1828mm
- Distance between Exits:  
BCBC 3.4.2.3 Least distance between required exits to be 1/2 the maximum diagonal of the floor area (246 R / 2 = 123 R).  
The distance between the exit on the southeast side of the building and the exit stair on the northwest side of the building is 135.
- Location of Exits: BCBC 3.4.2.5.1 (c) For Residential, maximum travel distance to at least one exit to be 45m.  
Provided: Maximum distance to an Exit from every floor is less than 45m.
- Exit Width: BCBC Table 3.4.3.2.A Minimum width: 1100mm for corridors  
Provided: Minimum corridor width = 1540mm (5'-0") wide.

F. Plumbing Facilities: 1. Water Closets:

- BCBC 3.7.2.2 (11): At least one water closet shall be provided for a dwelling unit that has a piped water supply available.  
Provided: 72 units = 72 water closets
- BCBC 3.7.2.2(6): the number of water closets required for assembly occupancy (Elders room + Amenity Room) shall equal 2 water closets for females and 1 for males
- BCBC 3.7.2.3(1) : at least one lavatory shall be provided in a room containing one or 2 water closets or urinals, and at least one additional lavatory shall be provided for each additional 2 water closets or urinals.  
Provided: 75 water closets = 75 lavatories

G. Building Requirements For Persons with Disabilities: Section 3.8

- BCBC 3.8.3.4.(1) Where parking is provided, one parking stall for persons with disabilities shall be provided for each sleeping unit for persons with disabilities.  
Provided: 8 units for persons with disabilities = 8 parking stalls for persons with disabilities  
Amenity Room has 1 accessible universal washroom = 1 parking stall for persons with disabilities  
(5) be clearly identified as being solely for the use of persons with disabilities
- BCBC 3.8.3.11.1 To assist persons with a visual impairment, tactile warning strips conforming to 3.8.3.11(2) shall be provided at the top of a stairway and at intermediate landings intercepted by other paths of travel.
- BCBC 3.8.3.19.5 Every balcony shall be not less than 1.5m (5'-0") deep from the outside face of the exterior wall to the inside edge of the balcony and provide not less than 2m<sup>2</sup>(21.5 sq ft.) balcony space for each accessible sleeping room.

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>LOT AREA*</b> (in square metres)		
Gross Total	NA	10,702
Road Widening area		66.19
Undevelopable area		
Net Total	NA	10,635.81
<b>LOT COVERAGE</b> (in % of net lot area)		
Buildings & Structures	45%	33.3%
Paved & Hard Surfaced Areas		29.59%
Total Site Coverage		63.15%
<b>SETBACKS</b> ( in metres)		
Front	10	144.28
Rear	7.5	7.71
Side #1 (N, S, E, or W)	7.5	7.74
Side #2 (N, S, E, or W)	7.5	7.77
Side #3 (N, S, E or W)		
<b>BUILDING HEIGHT</b> (in metres/storeys)		
Principal	15.0	14.98
Accessory	6.0	6.0
<b>NUMBER OF RESIDENTIAL UNITS</b>		
Bachelor		31
One Bed		92
Two Bedroom		53
Three Bedroom +		00
Total		176
<b>FLOOR AREA: Residential</b>		
		12,681.30
<b>FLOOR AREA: Commercial</b>		
Retail		00
Office		390.10
Total		390.10
<b>FLOOR AREA: Industrial</b>		
		NA
<b>FLOOR AREA: Institutional</b>		
		NA
<b>TOTAL BUILDING FLOOR AREA</b>		<b>13,071.40</b>

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>DENSITY</b>		
# of units/ha (# units/acre (gross))		164.45 / 66.55
# of units/ha (# units/acre (net))		165.49 / 66.97
FAR (gross)	1.30	1.17
FAR (net)		1.18
<b>AMENITY SPACE</b> (area in square metres)		
Indoor	540	540
Outdoor	540	540
<b>PARKING</b> (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	157	157
	As/ parking study by Bunt & Associates	
Number of disabled stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of		
Total Number of Units		
Size of Tandem Parking Spaces width/length		

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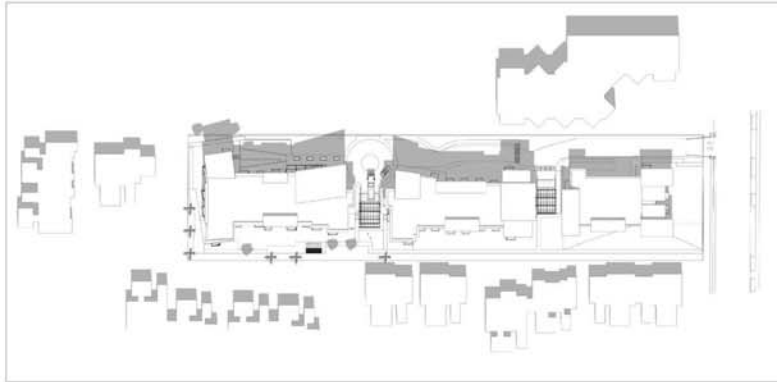
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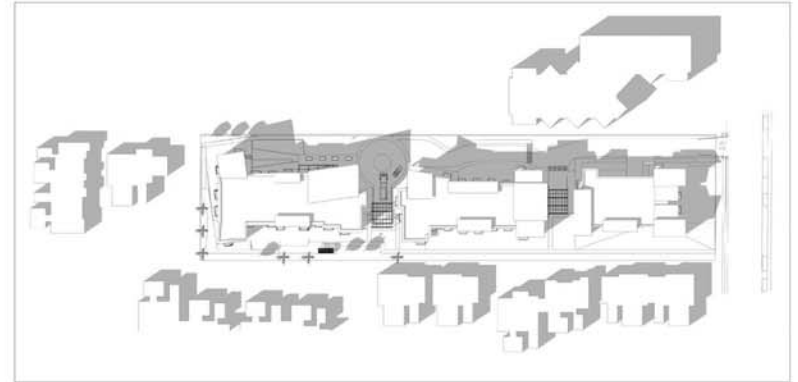
HOUSING PROJECT  
716-114-011 STREET,  
Surrey, B.C.

BCBC ANALYSIS  
ZONING RECONCILIATION

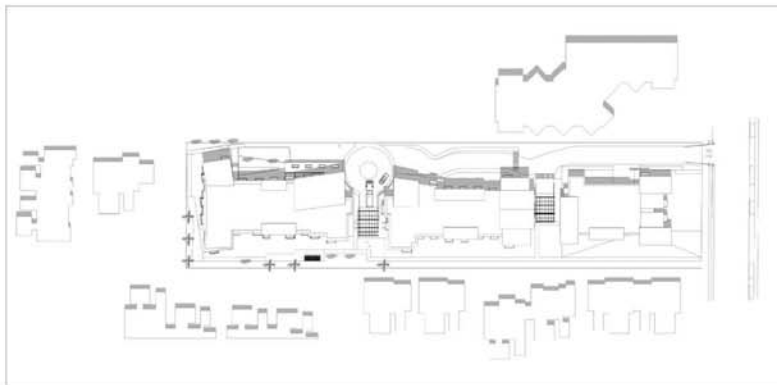
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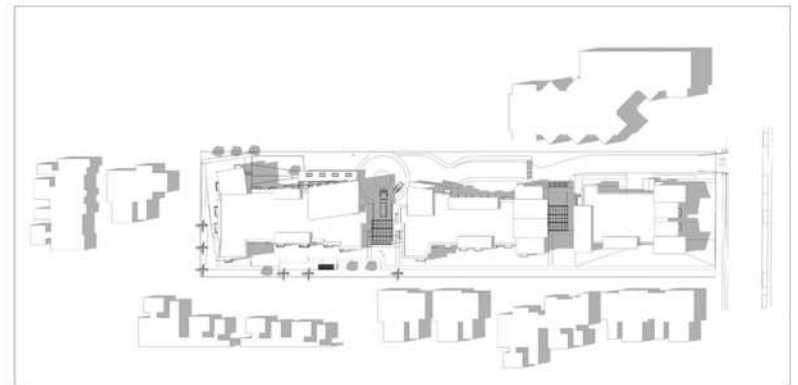
MARCH 21 - 12.00 P.M.



MARCH 21 - 3.00 P.M.



JUNE 21 - 12.00 P.M.



JUNE 21 - 3.00 P.M.

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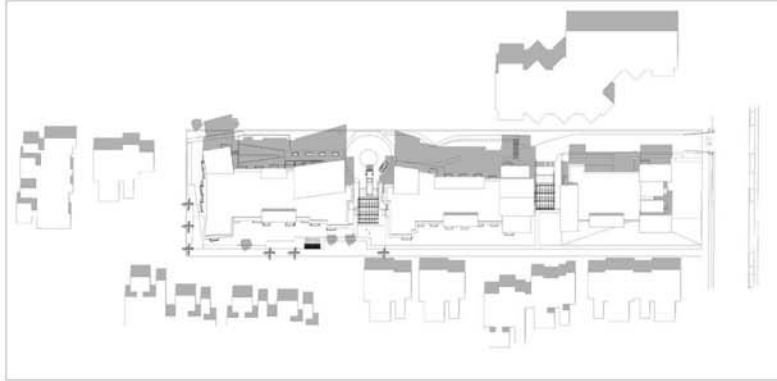
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Project Name  
**HOUSING PROJECT**  
78-114-014 STREETS,  
Surrey, B.C.

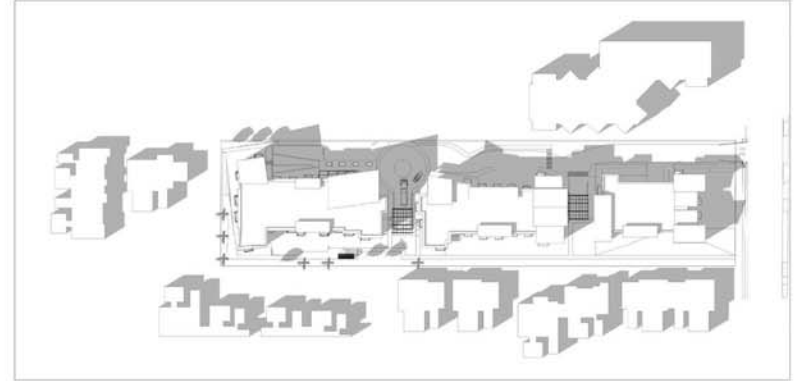
**SHADOW DIAGRAMS  
PLAN VIEW**

Rev No. 5 Project No. 14-02 Dep No. A-012





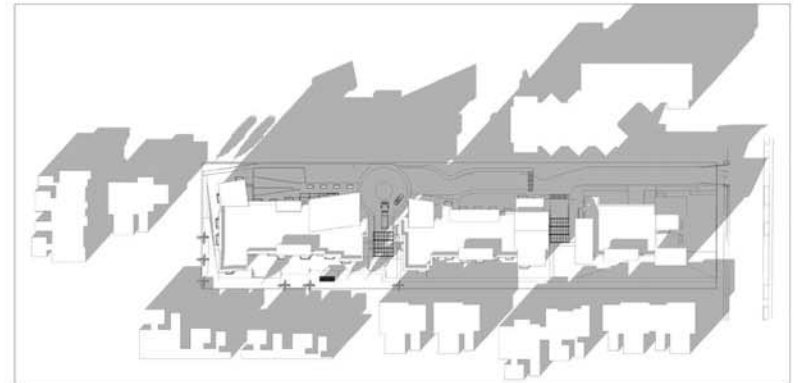
SEPTEMBER 21 - 12.00 P.M.



SEPTEMBER 21 - 3.00 P.M.



DECEMBER 21 - 12.00 P.M.



DECEMBER 21 - 3.00 P.M.

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				SCALE	AS NOTED

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Project Name  
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**SHADOW DIAGRAMS  
 PLAN VIEW**

Rev No.	Project No.	Dep No.
5	14-02	A-1012





1 Streetscape - 140th Street



2 Internal streetscape



3 Site photos South to North on 140th Street



4 Looking North along 140th Street

5 Main driveway entry and adjoining condos to the North

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Project Name  
**HOUSING PROJECT**  
18-61 140TH STREET,  
Surrey, B.C.

**STREETSCAPE 4**  
AREA PHOTOS

Rev No.	Project No.	Dep No.
5	14-02	A-1014



1 EXISTING



2 PHASE 1 DEVELOPMENT



3 PHASE 2 DEVELOPMENT

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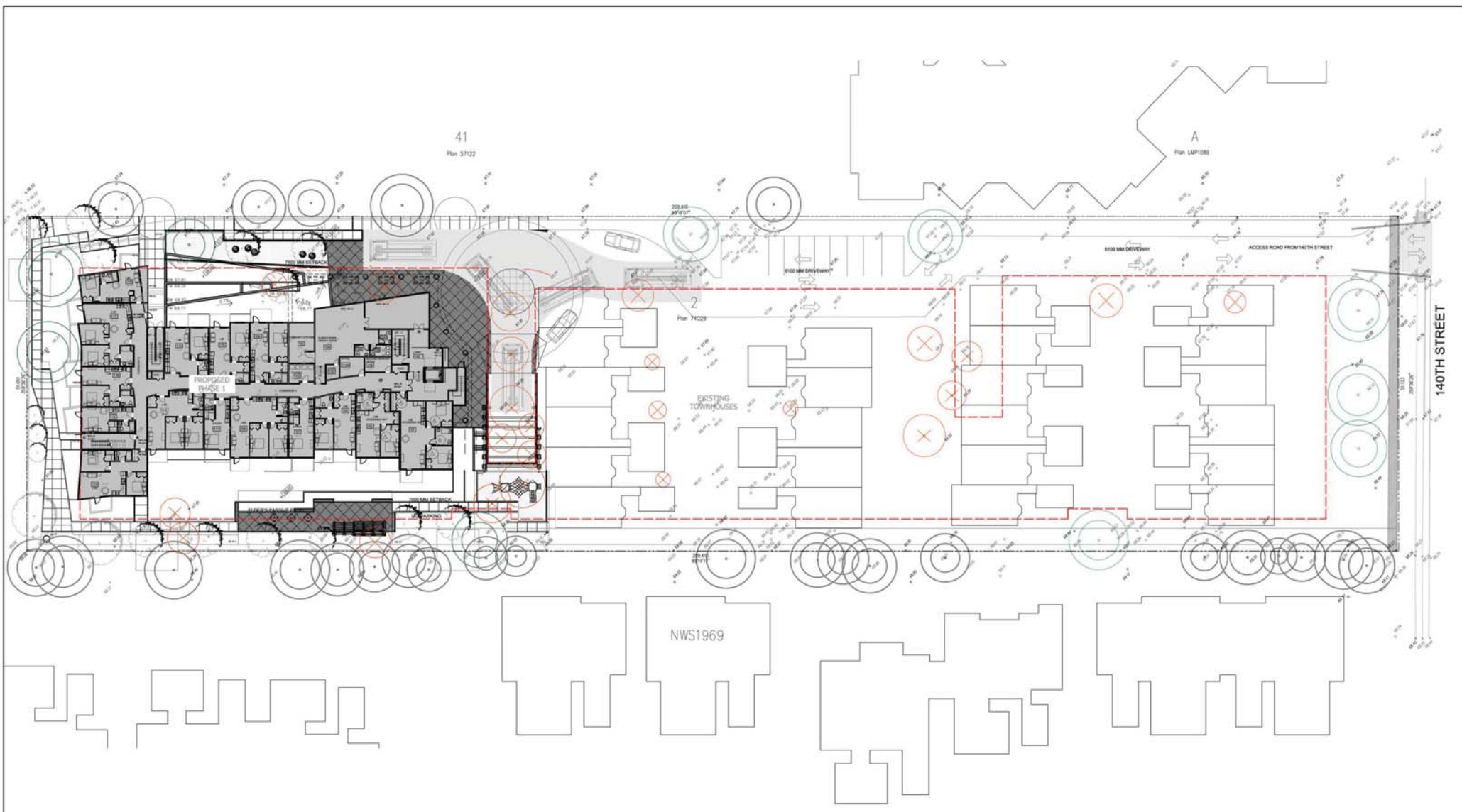
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Project Name  
**HOUSING PROJECT**  
 78-61 14<sup>TH</sup> STREET,  
 SURREY, B.C.

**SITE PERSPECTIVES PHASES DEVELOPMENT**

Rev No. 5 Project No. 14-02 Dep No. A-1015





SITE PLAN - PHASE 1  
SCALE: 1/8" = 1'-0"

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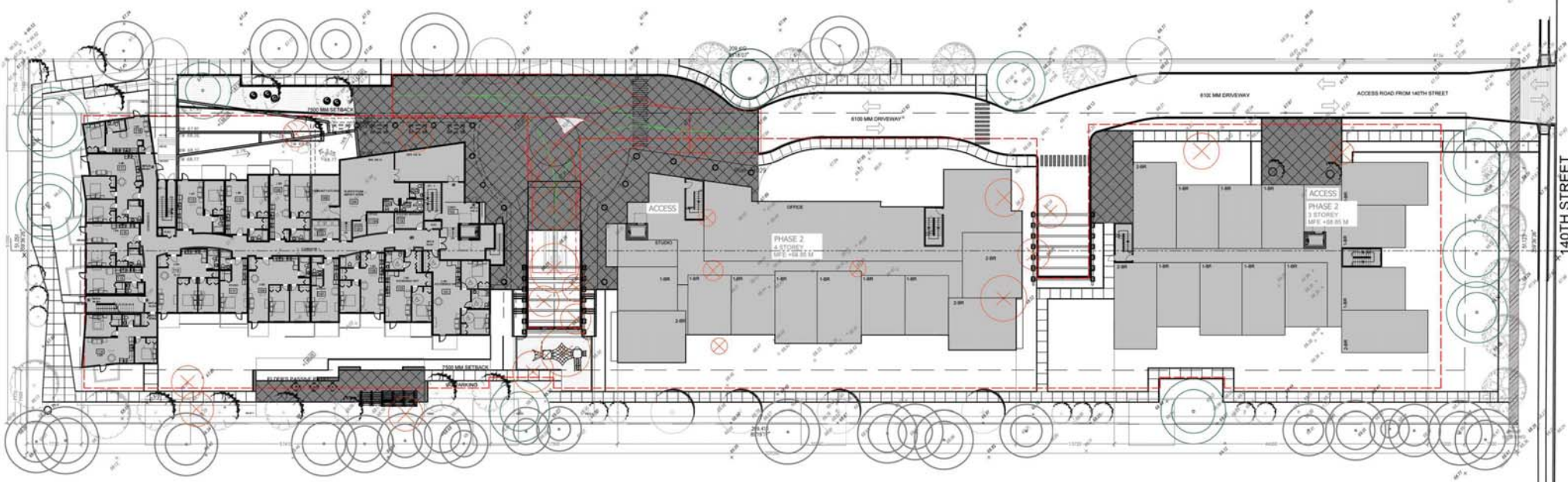
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Project Name  
**HOUSING PROJECT**  
 1401 140TH STREET,  
 SURREY, B.C.  
**SITE PLAN PHASE 1**  
 Rev No. 4 Project No. 14-02 Dep No. 4-1021

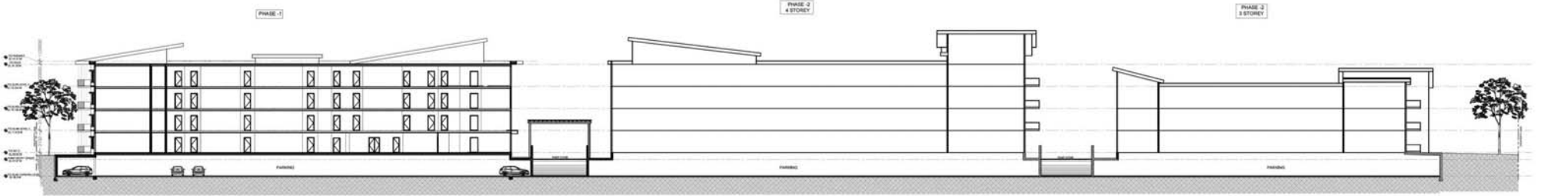
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Plan 57122

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Plan LM1088



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1 SITE PLAN - OVERALL  
SCALE 1:500



1 SITE SECTION XX'  
SCALE 1:500

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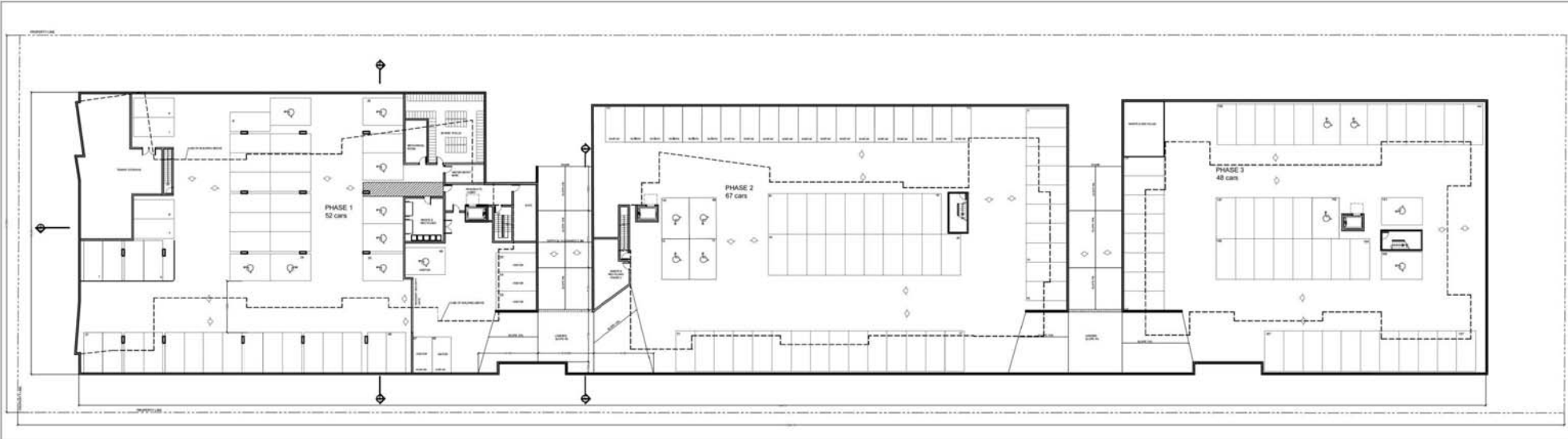
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1	05/02/16	SUBMITTED FOR REZONING	TP	DESIGNED	PRS
2	10/05/16	RESUBMITTED FOR RS+DP	PS	DRAWN	TP
3	11/02/16	SUBMISSION TO ADP	PS	CHECKED	PRS
4	01/12/17	RESUBMISSION TO ADP	PS	SCALE	1:250
5	02/06/17	REZONING+DP SUBMISSION	PS		

Architects Seal

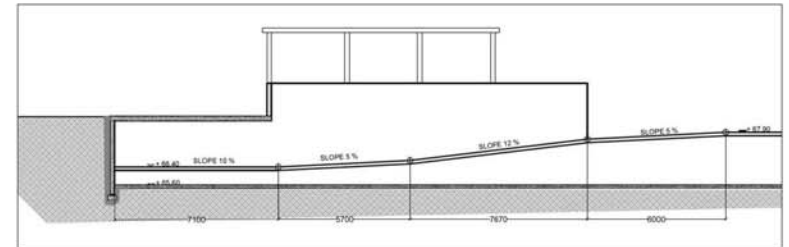
Project Name  
**HOUSING PROJECT**  
78-1 140TH STREET,  
Surrey, B.C.  
  
SITE PLAN - OVERALL  
SITE SECTION  
  
Rev No. 4 Project No. 14-02 Dep No. A-022



PARKADE FLOOR PLAN - 3 PHASES

PROPOSED PARKING TABULATION FOR 3 PHASES

PHASE	No. of Residential Parking	No. of Commercial Parking	No. of Visitor Parking	Total
Phase 1	46 (incl 8 acc)	0	6 (incl 1 acc)	52
Phase 2	50	10	7	67
Phase 3	42	0	6	48
3 Phases	138	10	19	167



SECTIONS C-C THROUGH RAMP

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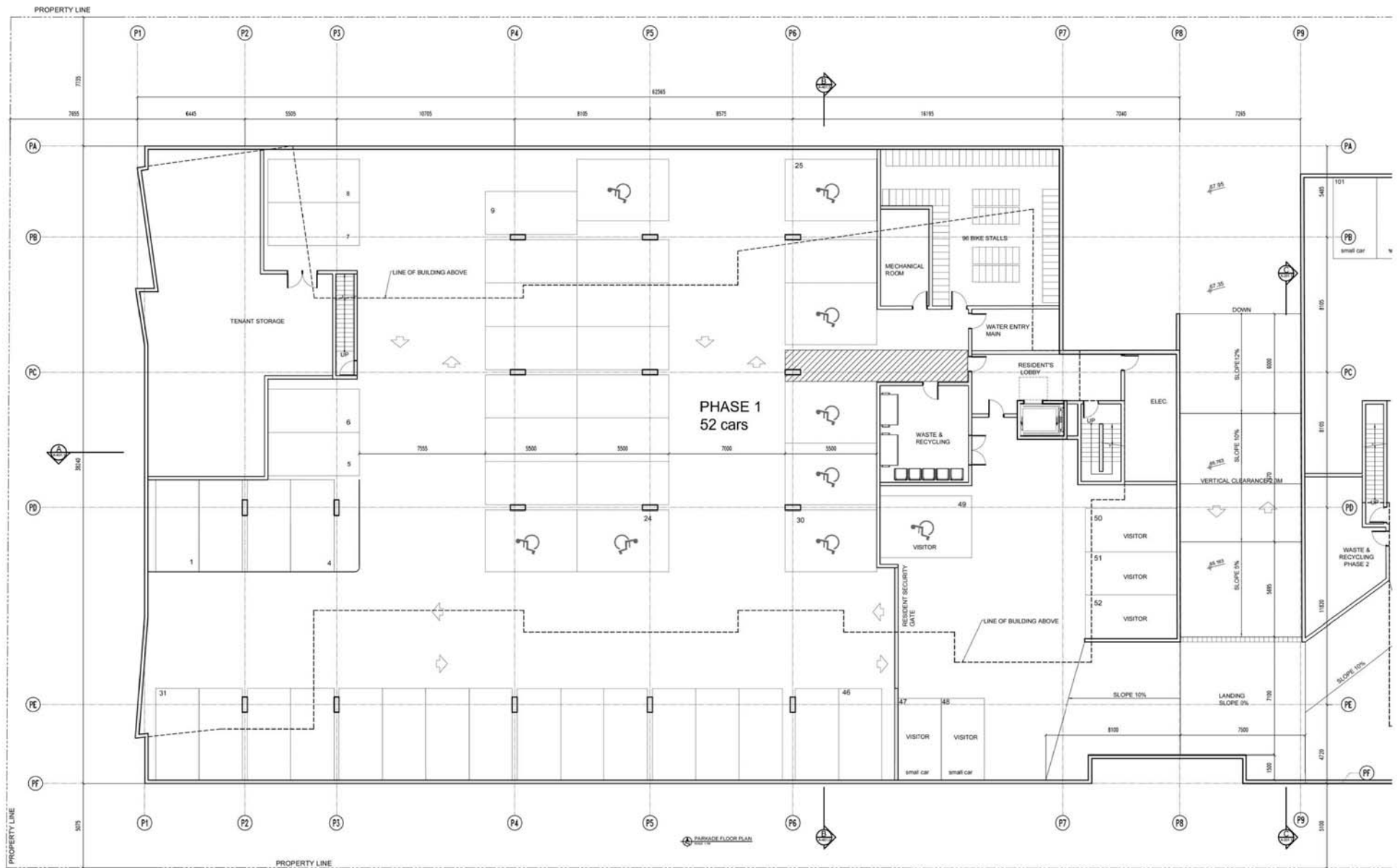


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3	01/12/17	RESUBMITTED FOR ADP	PS	CHECKED	PRS
4	02/06/17	REZONING- DP SUBMISSION	PS	SCALE	N.T.S

Architects Seal

Project Name  
**HOUSING PROJECT**  
 78-1 14-0-1-1 @ STREET,  
 Surrey, B.C.  
**PARKADE FLOOR PLAN**  
 Rev No. 4 Project No. 14-02 Dep No. 4-2011





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CONSTRUCTION NORTH

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3	01/12/17	RESUBMITTED FOR ADP	PS
4	02/06/17	REZONING- DP SUBMISSION	PS

START DATE	MAY 2, 2016
DESIGNED	PRS
DRAWN	TP
CHECKED	PRS
SCALE	N.T.S

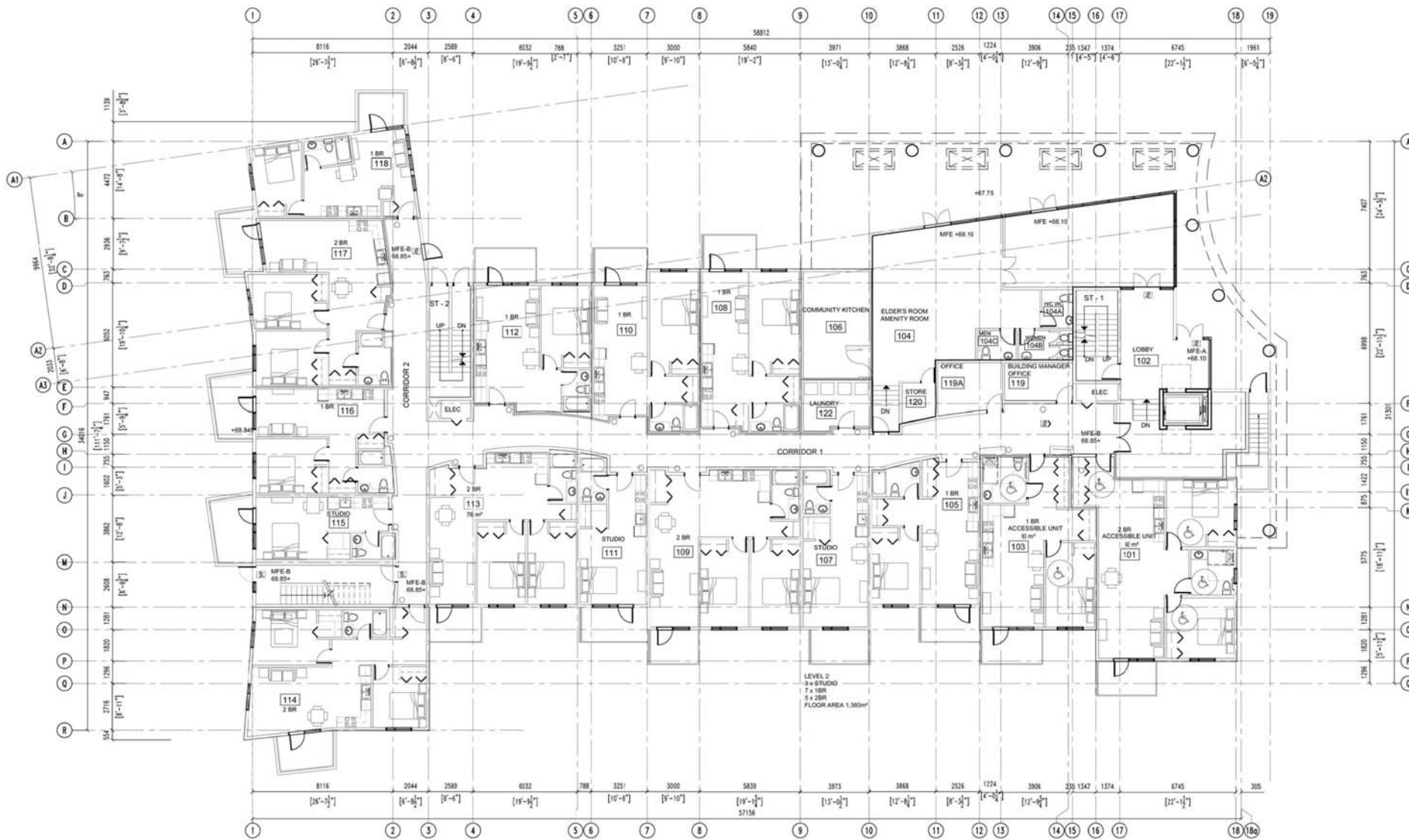
Architects Seal

Project Name

**HOUSING PROJECT**  
78-1 14<sup>TH</sup> STREET,  
Surrey, B.C.

**PARKADE FLOOR PLAN PHASE 1**

Rev No.	Project No.	Dep No.
4	14-02	4-2016



LEVEL 2  
 3 x STUDIO  
 7 x 1BR  
 5 x 2BR  
 FLOOR AREA 1,360m<sup>2</sup>

MAIN FLOOR PLAN  
 SHEET 108

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2	06/10/16	RESUBMITTED FOR RS+DP	PS		
3	01/12/17	SUBMITTED FOR ADP	PS		
4	02/06/17	REZONING + DP SUBMISSION	PS		

Project Name <b>HOUSING PROJECT</b> 78-1 14 <sup>TH</sup> STREET, Surrey, B.C.		
<b>FIRST FLOOR PLAN</b>		
Rev No.	Project No.	Dep No.
4	14-02	A-2012





LEVEL 2  
7 x STUDIO  
7 x 1 BR  
5 x 2 BR  
FLOOR AREA 1,322m<sup>2</sup>

SECOND FLOOR PLAN  
DATE 1/18

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2	06/10/16	RESUBMITTED FOR RS-DP	PS		
3	01/12/17	SUBMITTED FOR ADP	PS		
4	02/06/17	REZONING - DP SUBMISSION	PS		

DESIGNED	DRAWN	CHECKED	SCALE
PSB	TP	PSB	1/300

Project Name <b>HOUSING PROJECT</b> 7541 140TH STREET, Surrey, B.C.		
<b>SECOND FLOOR PLAN</b>		
Rev No.	Project No.	Dep No.
4	14-02	4-2013



THIRD FLOOR PLAN  
SAL 118

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2	06/10/16	RESUBMITTED FOR RS-DP	PS	DESIGNED	PRS
3	01/12/17	SUBMITTED FOR ADP	PS	DRAWN	TP
4	02/06/17	REZONING - DP SUBMISSION	PS	CHECKED	PRS
				SCALE	1/300

Project Name <b>HOUSING PROJECT</b> 7561 140TH STREET, Surrey, B.C.		
<b>THIRD FLOOR PLAN</b>		
Rev No.	Project No.	Dep No.
4	14-02	4-2014



FOURTH FLOOR PLAN  
SIZE 1:8

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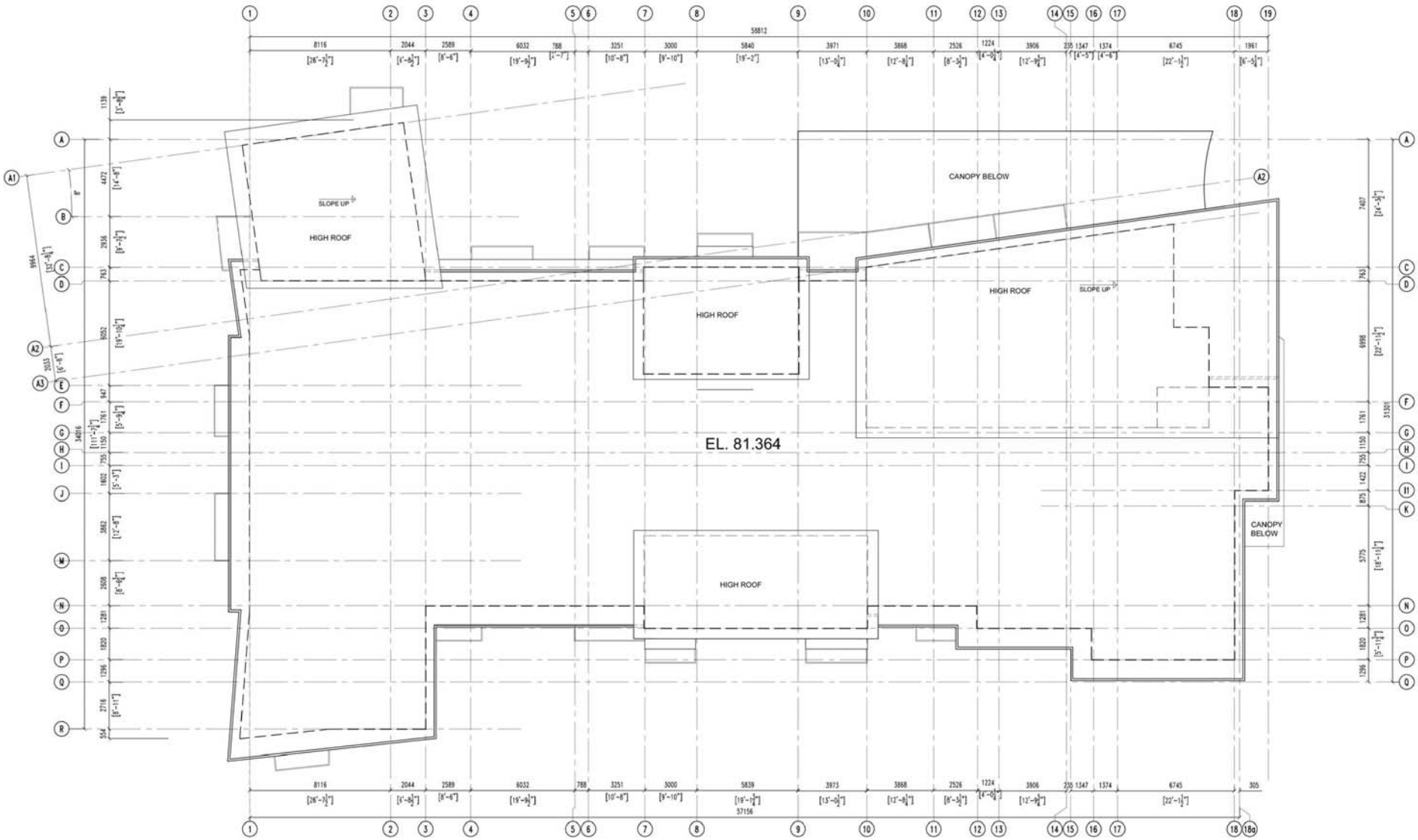


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3	01/12/17	SUBMITTED FOR ADP	PS		FRS
4	02/06/17	REZONING + DP SUBMISSION	PS		FRS

Rev No.	Project No.	Dep No.
4	14-02	A-2015

Project Name  
**HOUSING PROJECT**  
736-114-CORN STREET,  
Surrey, B.C.  
  
**FOURTH FLOOR PLAN**





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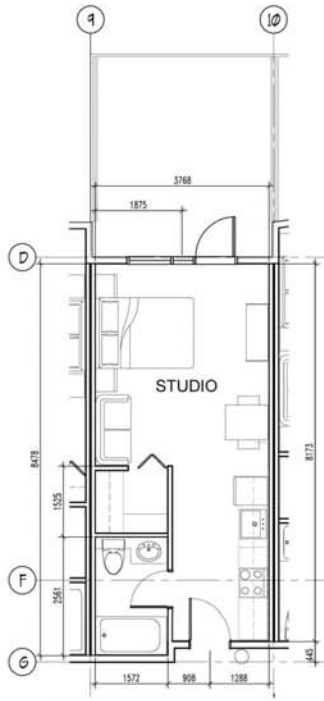


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4	02/06/17	REZONING + DP SUBMISSION	PS	CHECKED	PRS
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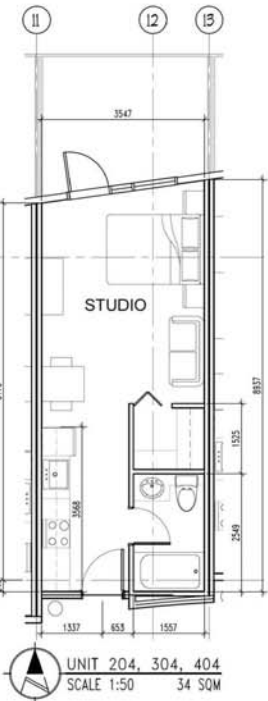
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 Project Name  
**HOUSING PROJECT**  
 7841 140TH STREET,  
 SURREY, B.C.  
**ROOF PLAN**  
 Rev No. 4 Project No. 14-02 Dep No. 4-2016



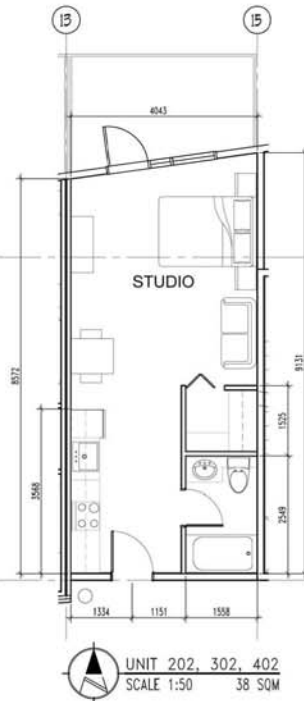
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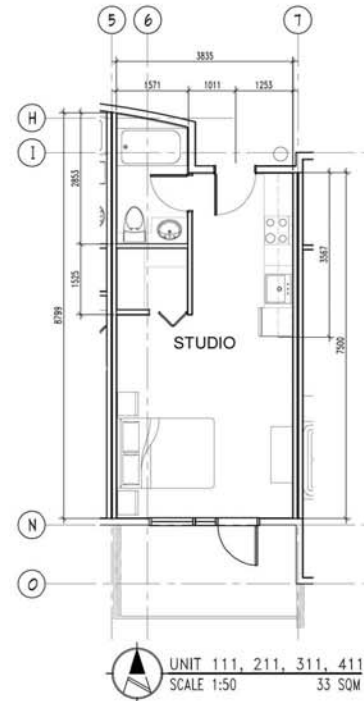
UNIT 206, 306 406  
SCALE 1:50 35 SQM



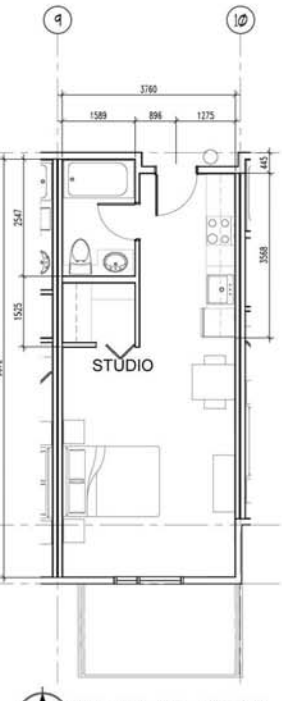
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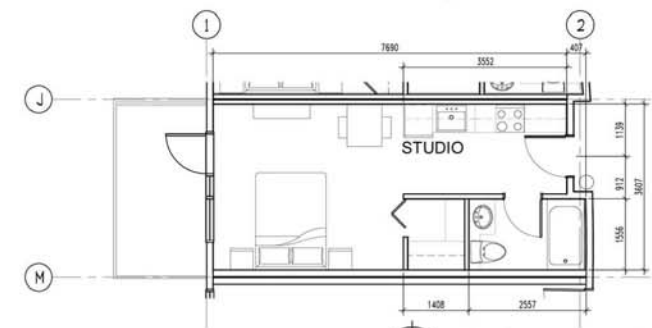
UNIT 202, 302, 402  
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UNIT 111, 211, 311, 411  
SCALE 1:50 33 SQM



UNIT 107, 207, 307 407  
SCALE 1:50 37 SQM



UNIT 115, 216, 316 416  
SCALE 1:50 31 SQM

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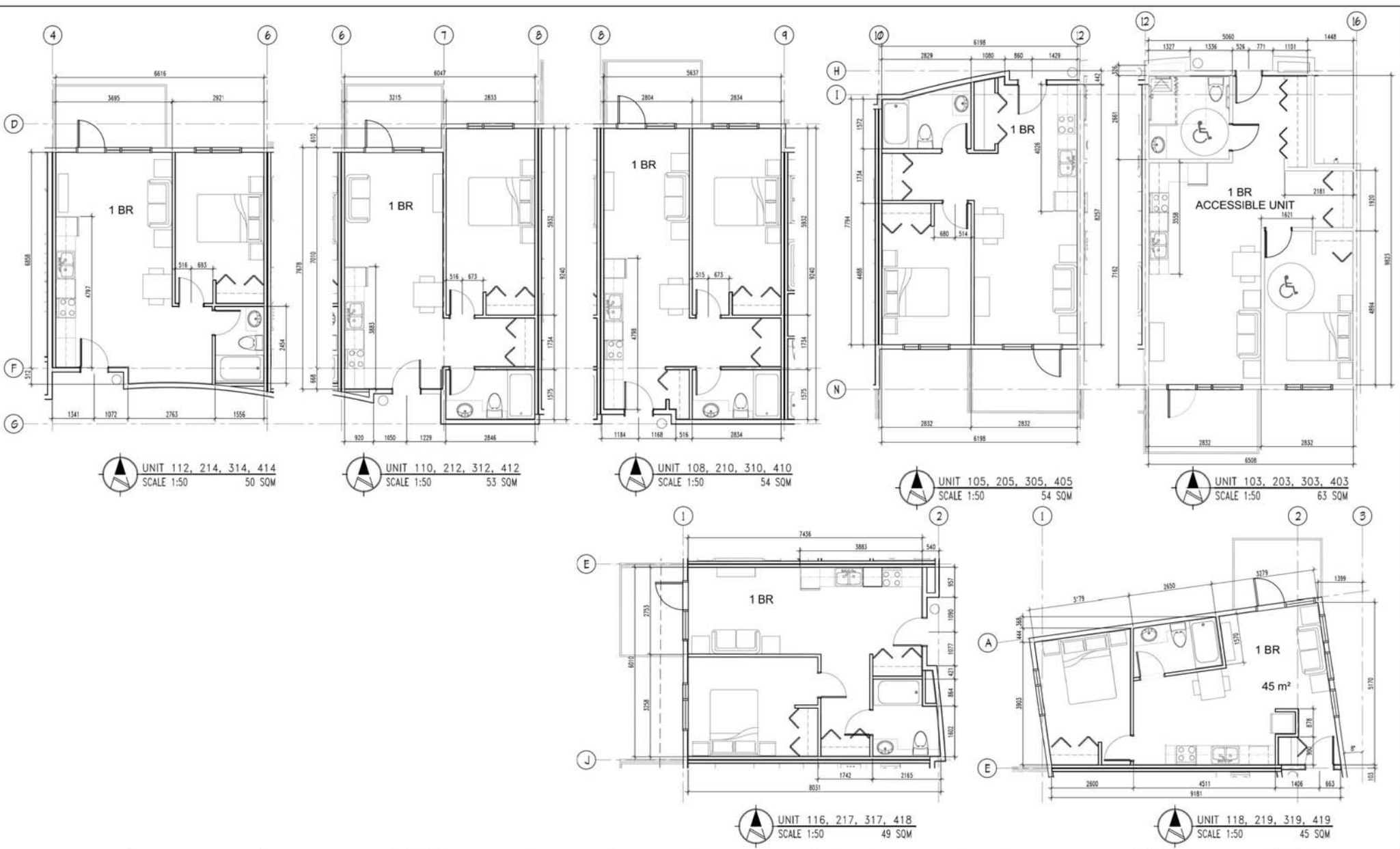


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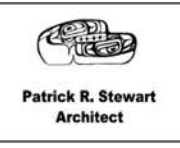


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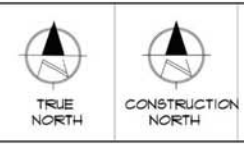
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Architects Name  
**HOUSING PROJECT**  
7841 140TH STREET,  
Surrey, B.C.  
  
**UNIT PLANS- STUDIO**  
Rev No. 4 Project No. 14-02 Dep No. 4-2021



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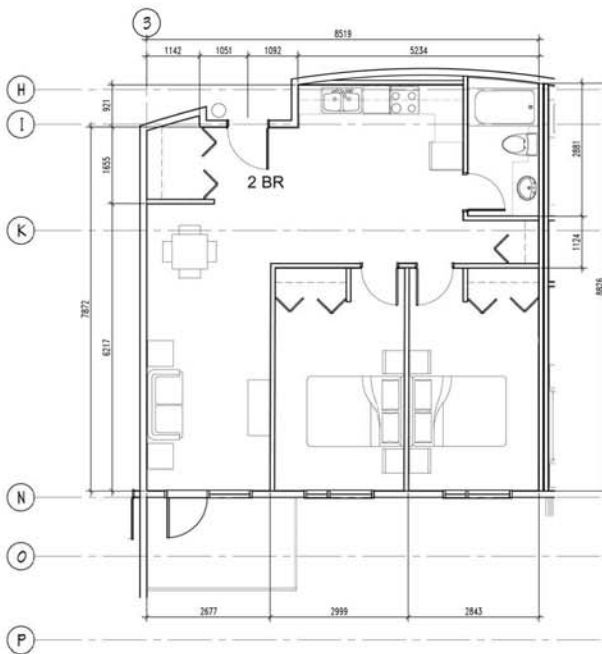


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4	02/06/17	REZONING + DP SUBMISSION	PS

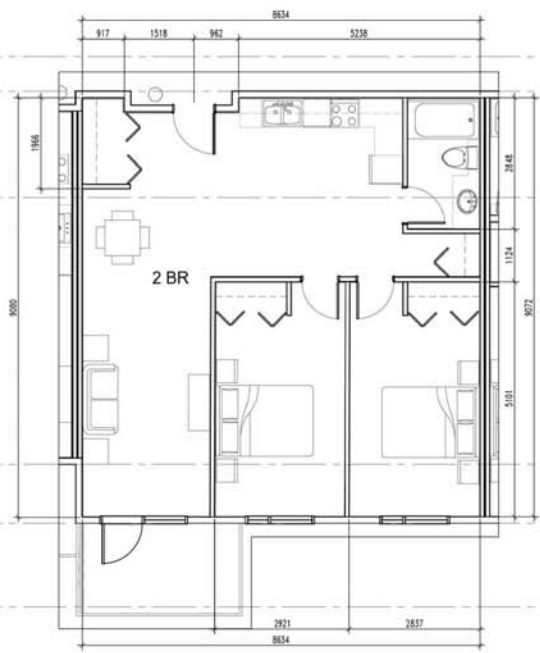
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Architects Seal

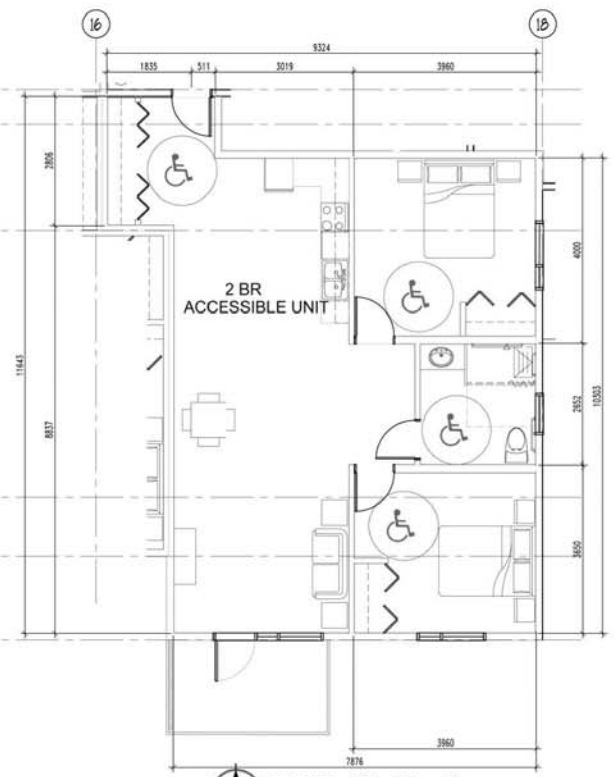
Project Name <b>HOUSING PROJECT</b> 78-114-01-1 STREET, Surrey, B.C.		
UNIT PLANS- 1 BR		
Rev No.	Project No.	Dep No.
4	14-02	A-2022



UNIT 113, 213, 313, 413  
SCALE 1:50 76 SQM



UNIT 109, 209, 309, 409  
SCALE 1:50 82 SQM



UNIT 101, 201, 301, 401  
SCALE 1:50 92 SQM

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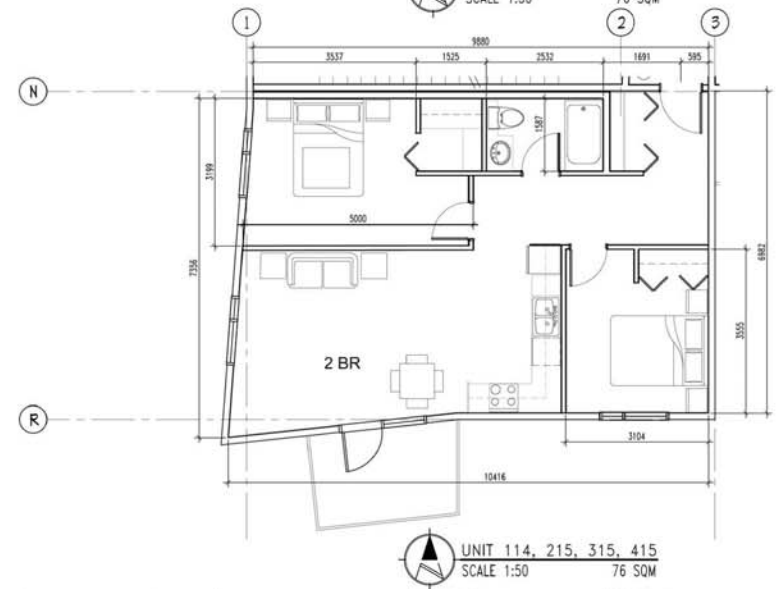
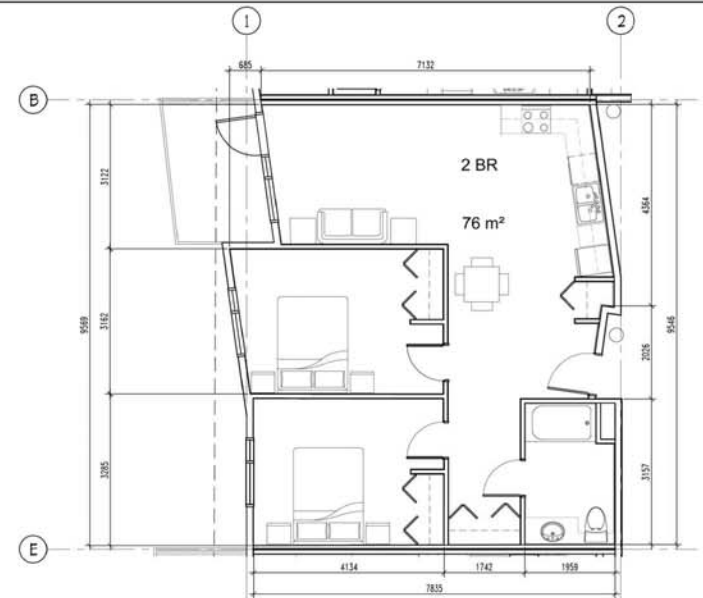


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3	01/12/17	SUBMITTED FOR ADP	PS	CHECKED	PRS
4	02/06/17	REZONING + DP SUBMISSION	PS	SCALE	1:50

Architects Seal
Architects Seal

Project Name <b>HOUSING PROJECT</b> 7841 140th STREET, Surrey, B.C.		
UNIT PLANS- 2 BR		
Rev No.	Project No.	Dep No.
4	14-02	A-2023





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3	01/12/17	SUBMITTED FOR ADP	PS	CHECKED	PRS
4	02/06/17	REZONING + DP SUBMISSION	PS	SCALE	1:50

ARCHITECTS SEAL

Project Name  
**HOUSING PROJECT**  
1401 140th STREET,  
Surrey, B.C.

**UNIT PLANS- 2 BR**

Rev No.	Project No.	Dep No.
4	14-02	A-2024



1 NORTH ELEVATION  
1:100



2 SOUTH ELEVATION  
1:100

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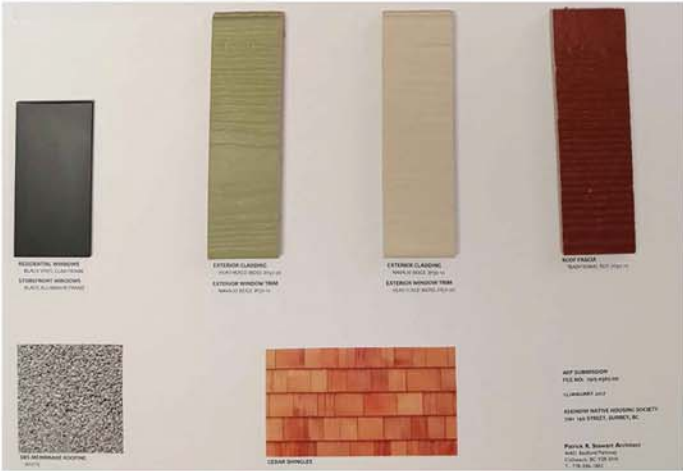
TRUE NORTH



CONSTRUCTION NORTH

REV	DATE	DESCRIPTION	BY	START DATE	MAY 2, 2016	Architects Seal
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2	10/06/16	RESUBMITTED FOR RZ-DP	PS	DRAWN	TP	
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4	01/12/17	RESUBMITTED FOR ADP	PS	SCALE	1:100	
5	02/06/17	REZONING + DP SUBMISSION	PS			

Project Name <b>HOUSING PROJECT</b> 78-61 14 <sup>TH</sup> STREET, Surrey, B.C.		
PHASE I NORTH AND SOUTH ELEVATIONS		
Rev No. <b>5</b>	Project No. <b>14-02</b>	Dep No. <b>A-301</b>



1 EAST ELEVATION  
1:100

3 MATERIAL & FINISHES  
NTS



2 WEST ELEVATION  
1:100

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2	10/06/16	RESUBMITTED FOR RZ-DP	PS		
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4	01/12/17	RESUBMITTED FOR ADP	PS		
5	02/06/17	REZONING + DP SUBMISSION	PS		

Architects Seal	Project No.	Rev No.	Dep No.
	14-02	5	4-3012

Project Name  
**HOUSING PROJECT**  
78-1 14-01-01 STREET,  
Surrey, B.C.  
  
PHASE I  
EAST AND WEST ELEVATIONS





1 NORTH EAST PERSPECTIVE



2 SOUTH WEST PERSPECTIVE



3 SOUTH EAST PERSPECTIVE



4 NORTH WEST PERSPECTIVE

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Architect

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TRUE NORTH



CONSTRUCTION NORTH

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3	11/02/16	RESUBMITTED FOR ADP	PS	CHECKED	PRS
4	01/12/17	RESUBMITTED FOR ADP	PS	SCALE	N.T.S
5	02/06/17	REZONING + DP SUBMISSION	PS		

Architects Seal

Project Name  
**HOUSING PROJECT**  
78-61 14-0-11 STREET,  
Surrey, B.C.

PERSPECTIVES-PHASE I

Rev No. 5 Project No. 14-02 Dep No. 4-3013

ROOF  
 LEVEL 04  
 EL. 78.234 M  
 LEVEL 03  
 EL. 75.106 M  
 LEVEL 02  
 EL. 71.978 M  
 LEVEL 01  
 EL. 68.85 M  
 AVG. EXISTING GRADE  
 EL. 67.9975 M



1 PHASE 2- SOUTH ELEVATION  
 1:200

LEVEL 03  
 EL. 75.106 M  
 LEVEL 02  
 EL. 71.978 M  
 LEVEL 01  
 EL. 68.85 M

LEVEL 03  
 EL. 75.106 M  
 LEVEL 02  
 EL. 71.978 M  
 LEVEL 01  
 EL. 68.85 M  
 AVG. EXISTING GRADE  
 EL. 67.9975 M



2 PHASE 2- NORTH ELEVATION  
 1:200

ROOF  
 LEVEL 04  
 EL. 78.234 M  
 LEVEL 03  
 EL. 75.106 M  
 LEVEL 02  
 EL. 71.978 M  
 LEVEL 01  
 EL. 68.85 M  
 AVG. EXISTING GRADE  
 EL. 67.9975 M

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**Patrick R. Stewart  
 Architect**

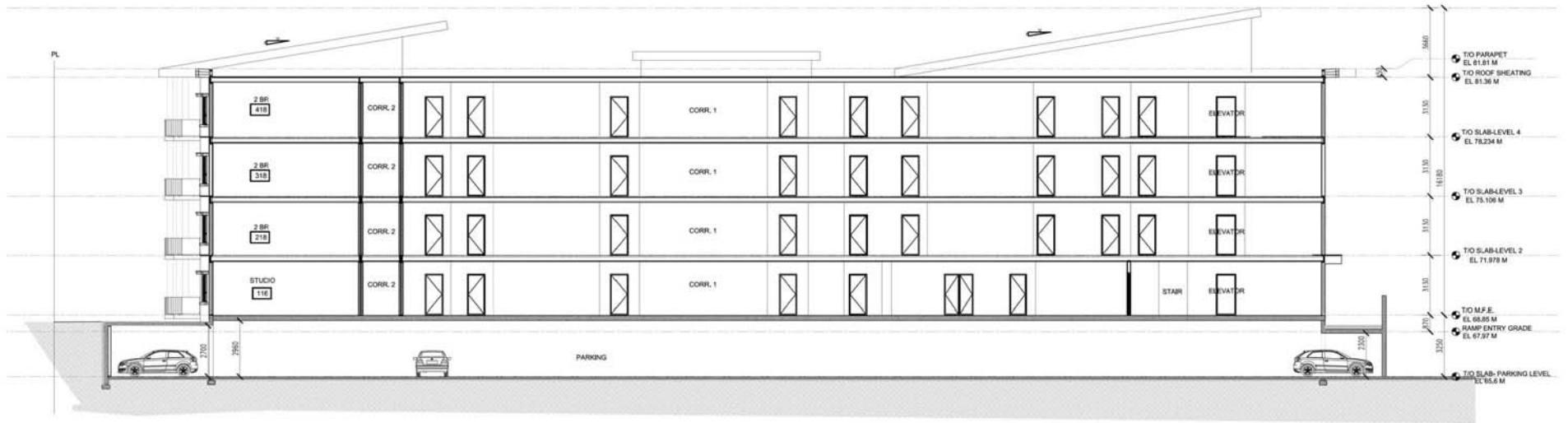
Architects Address  
 46401 BEDFORD PARKWAY  
 CHILLIWACK, B.C. V2R 5N4  
 CANADA  
 (778) 246 1862 - CEL  
 info@patrickstewartarchitect.com  
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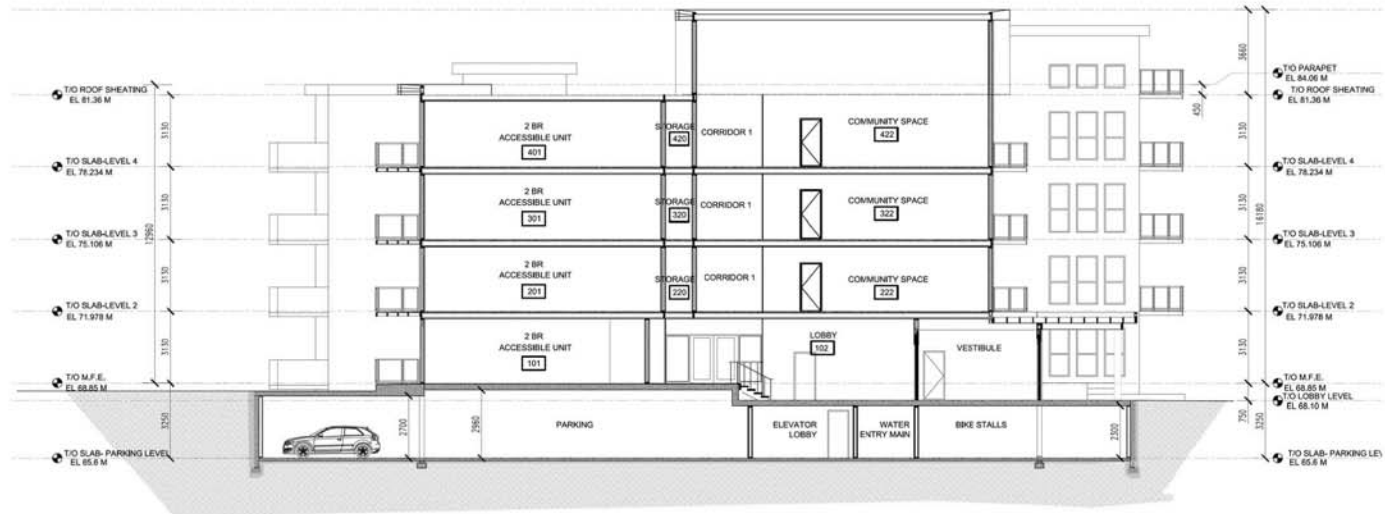
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1	05/02/16	SUBMITTED FOR REZONING	TP	DESIGNED	PRS	
2	10/06/16	RESUBMITTED FOR RZ-DP	PS	DRAWN	TP	
3	11/02/16	RESUBMITTED FOR ADP	PS	CHECKED	PRS	
4	01/12/17	RESUBMITTED FOR ADP	PS	SCALE	1:300	
5	02/06/17	REZONING-DP SUBMISSION				

Project Name <b>HOUSING PROJECT</b> 134-114-CPLN STREET, Surrey, B.C.		
PHASE 2 NORTH AND SOUTH ELEVATIONS		
Rev No. 5	Project No. 14-02	Dep No. A-302J





1 SECTION A-A  
SCALE 1:100



2 SECTION B-B  
SCALE 1:100

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**KEKNOW NATIVE HOUSING SOCIETY**  
SURREY, B.C. V3W 1J8 CANADA



**Patrick R. Stewart Architect**

Architects Address

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CHILLIWACK, B.C. V2R 5N4  
CANADA

(778) 246 1862 - CEL  
info@patrickstewartarchitect.com

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TRUE  
NORTH



CONSTRUCTION  
NORTH

REV	DATE	DESCRIPTION	BY	START DATE	ARCHITECTS SEAL
1	05/02/16	SUBMITTED FOR REZONING	TP	MAY 2, 2016	PRS
2	06/10/16	RESUBMITTED FOR RS+DP	PS		TP
3	02/06/17	REZONING+DP SUBMISSION	PS		PRS
					SCALE

START DATE	ARCHITECTS SEAL
MAY 2, 2016	PRS
	TP
	PRS
	SCALE
	1:50

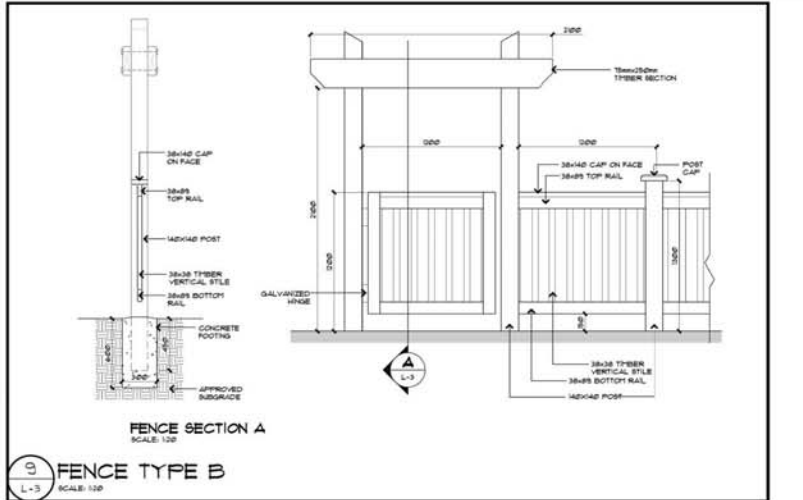
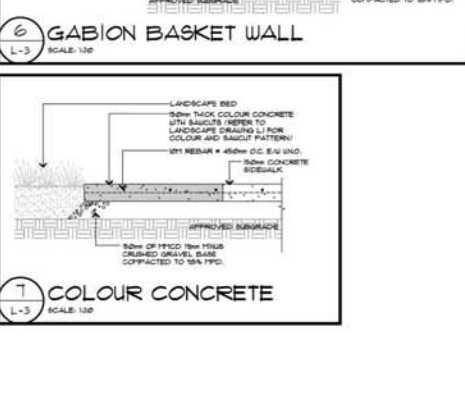
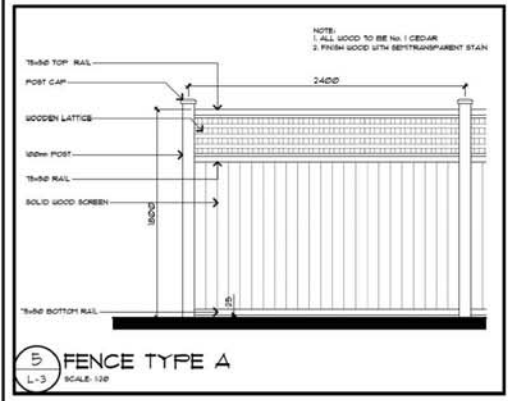
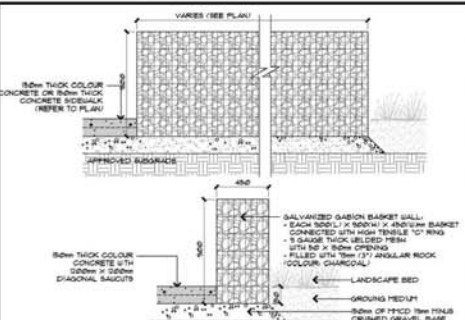
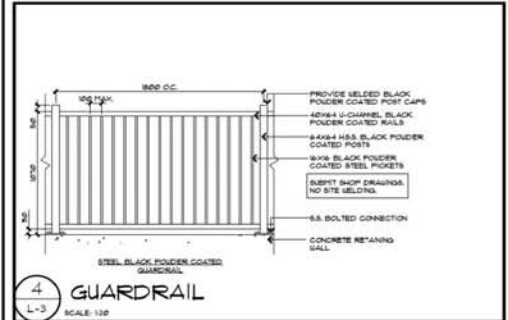
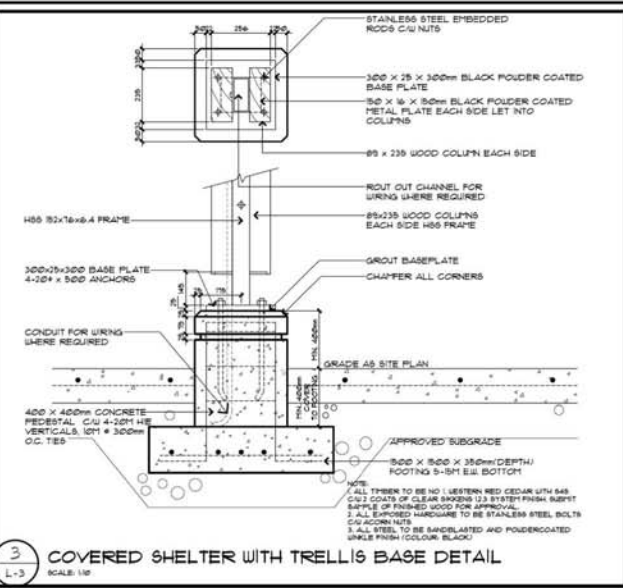
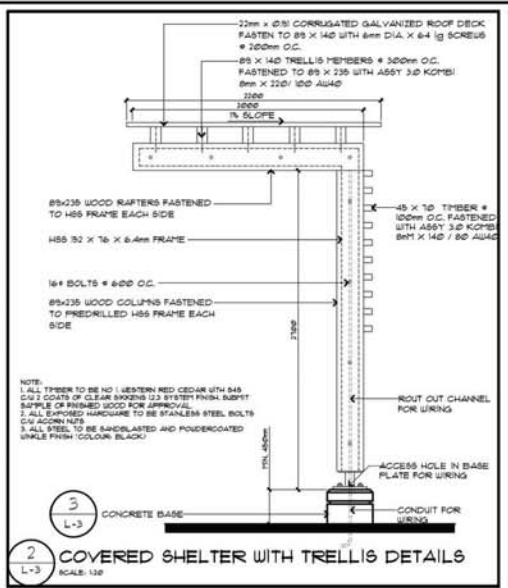
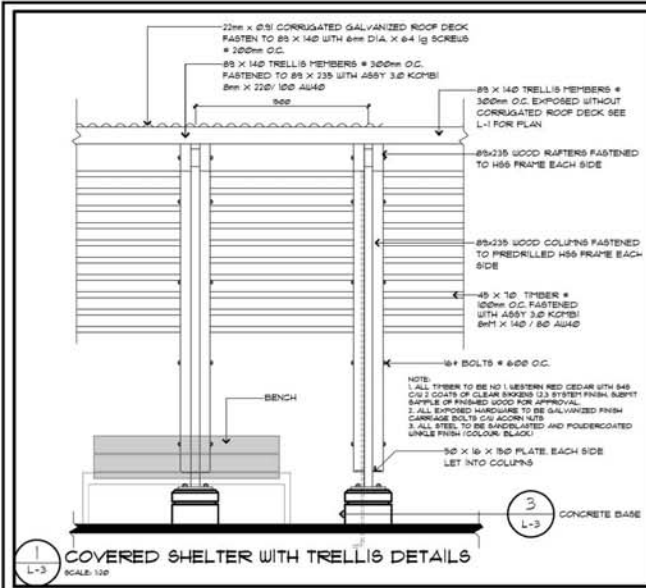
Rev No.	Project No.	Dep No.
3	14-02	Δ-40U

Project Name		
<b>HOUSING PROJECT</b>		
78-61 140TH STREET, Surrey, B.C.		
SECTIONS		
Rev No.	Project No.	Dep No.
3	14-02	Δ-40U

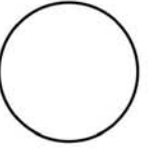








CRAVEN/HUSTON/POWERS ARCHITECTS ARCHITECTURE AND LANDSCAPE ARCHITECTURE 9355 YOUNG ROAD, CHILLIWACK B.C., V2P 4S3 TEL: 793-9445



**KEKINOW NATIVE HOUSING**  
7561 140th STREET  
SURREY, BC

PROJECT NUMBER: 1 6023

SCALE:	AS SHOWN	DATE:	18/07/22
DATE:	18/07/22	DATE:	18/07/22
DESIGNER:	CRAVEN/HUSTON/POWERS ARCHITECTS	DATE:	18/07/22
DATE:	18/07/22	DATE:	18/07/22
DATE:	18/07/22	DATE:	18/07/22
DATE:	18/07/22	DATE:	18/07/22

PROJECT NUMBER: 1 6023

SCALE:	AS SHOWN	DATE:	18/07/22
DATE:	18/07/22	DATE:	18/07/22
DESIGNER:	CRAVEN/HUSTON/POWERS ARCHITECTS	DATE:	18/07/22
DATE:	18/07/22	DATE:	18/07/22
DATE:	18/07/22	DATE:	18/07/22
DATE:	18/07/22	DATE:	18/07/22





---

TO: **Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **February 1, 2017** PROJECT FILE: **7815-0365-00**

---

RE: **Engineering Requirements  
Location: 7561 140 Street**

### REZONE

#### *Property and Right-of-Way Requirements*

- Dedicate as road (without compensation) Parcel A shown on Explanatory Plan 71581 on a road dedication or subdivision plan (2.134 m width on 140 Street).
- Dedicate 1.308 m on 140 Street for ultimate 27.0 m Arterial Road allowance.
- Register 0.5 m SRW on west side of 140 Street for service connections and/or access for sidewalk maintenance.

#### *Works and Services*

- Construct 7.3 m wide concrete letdown on 140 Street.
- Confirm downstream storm drainage system, upgrade if required.
- Provide onsite detention to limit the runoff from the site to the current runoff volumes and peak flows. This can be achieved with a detention structure, infiltration features, or enhanced landscaped features.
- Construct adequately sized sanitary and storm service connections, complete with inspection chamber to service the proposed development. The inspection chamber (or manhole) must be located within the 0.5 m SRW along 140 Street.
- Construct an adequately-sized, metered water service connection to service the proposed development.
- Abandon all existing service connections by capping at the mains.

A Servicing Agreement is required prior to Rezone.

### DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit and Development Variance Permit. The City's Transportation Division can support the proposed Development Variance Permit to reduce the number of parking spaces to 157 spaces based on the Parking Study prepared by Bunt & Associates as outlined in the Planning Report.



Rémi Dubé, P.Eng.  
Development Services Manager

IK1

NOTE: Detailed Land Development Engineering Review available on file





Tuesday, January 24, 2017  
 Planning

**THE IMPACT ON SCHOOLS**

APPLICATION #: 15 0365 00

**SUMMARY**

The proposed 177 lowrise units are estimated to have the following impact on the following schools:

**Projected # of students for this development:**

Elementary Students:	10
Secondary Students:	7

September 2016 Enrolment/School Capacity

<b>Bear Creek Elementary</b>	
Enrolment (K/1-7):	66 K + 429
Capacity (K/1-7):	40 K + 600
<b>Frank Hurt Secondary</b>	
Enrolment (8-12):	1215
Nominal Capacity (8-12):	1250
Functional Capacity*(8-12):	1350

**School Enrolment Projections and Planning Update:**

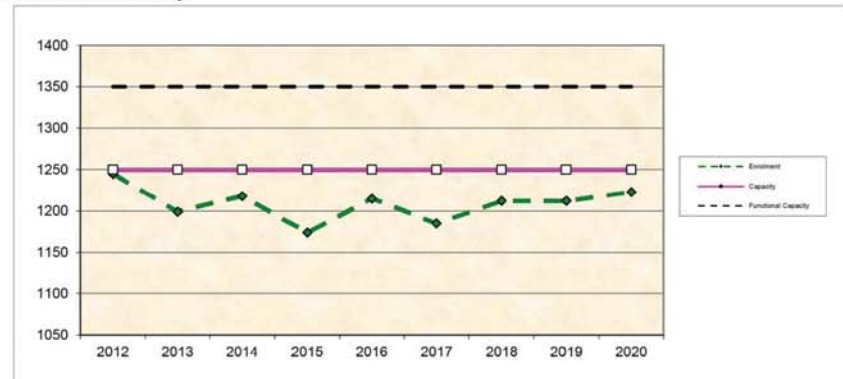
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

There are no new capital projects proposed at Bear Creek Elementary School or Frank Hurt Secondary School. Both Bear Creek Elementary and Frank Hurt Secondary have additional capacity and the proposed development will help to increase enrolment.

**Bear Creek Elementary**



**Frank Hurt Secondary**



\*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

### Overall Site - Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Alder			
Cottonwood			
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Apple			
Mountain Ash			
Trembling Aspen			
Paper Birch			
Cherry	4	4	
Crabapple			
Katsura			
Maidenhair Tree			
Red Maple			
Norway maple	4	4	
London Plane	3	3	
<b>Coniferous Trees</b>			
Atlas Cedar			
Deodar Cedar	7	6	1
Western Red Cedar	3	3	
Douglas Fir			
Falsecypress			
Scots Pine			
Spruce			
Norway Spruce			
Black Pine	13	8	5
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>34</b>	<b>28</b>	<b>6</b>
<b>Additional Trees in the proposed Open Space / Riparian Area</b>			
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>40</b>	
<b>Total Retained and Replacement Trees</b>		<b>46</b>	

## Phase 1: Tree Preservation Summary

**Surrey Project No:**


**Address:** 7561 140th St

**Registered Arborist:** Laura Ralph, PN-6420A

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	<b>34</b>
<b>Protected Trees to be Removed</b>	<b>17</b>
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	<b>17</b>
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio. _____ X one (1) = 0</li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio _____ 17 X two (2) = 34</li> </ul>	<b>34</b>
<b>Replacement Trees Proposed</b>	<b>19</b>
<b>Replacement Trees in Deficit</b>	<b>15</b>
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio _____ X one (1) = 0</li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio _____ X two (2) = 0</li> </ul>	<b>0</b>
<b>Replacement Trees Proposed</b>	
<b>Replacement Trees in Deficit</b>	<b>0</b>

Summary, report and plan prepared and submitted by:

  
 \_\_\_\_\_  
 (Signature of Arborist)

31-Jan-17  
 \_\_\_\_\_  
 Date

# PATRICK R. STEWART ARCHITECT



## Architecture

## Community Development

## Indigenous Design Consultancy

## Interior Design

## Research / Writing

## Teaching

## Technical Advisor

February 2, 2017

Melissa Johnson  
City of Surrey  
13450 104<sup>th</sup> Avenue  
Surrey, BC

### RE: Response to ADP Comments of January 12th 2017

#### PRINCIPAL

Patrick R. Stewart  
*Luugigyoo / Nisga'a*  
PhD, MArch, BArch,  
BEDS, BA

Member of Architectural Institute  
of British Columbia

Member of Royal Architectural  
Institute of Canada

Member of International Network  
of Indigenous Architects

LEED™ Accredited Professional

**Office:**  
46401 Bedford Parkway  
Chilliwack, B.C. V2R 5N4

[Located on Tzeachten  
Traditional Territory]

**Mobile:**  
778-246-1862

**Email:**  
[info@patrickstewartarchitect.com](mailto:info@patrickstewartarchitect.com)

**Website:**  
[www.patrickstewartarchitect.com](http://www.patrickstewartarchitect.com)

**Facebook:**  
Patrick R Stewart Architect

Dear Melissa,

I am writing in response to the ADP comments of their January 12, 2017 meeting. I offer the following comments;

#### Building Form and Character

- A number of suggestions were made for the exterior material treatments:
  - o Consider using different Hardie panel orientation patterns for the cladding per articulated 'volumes' The "volumes" were broke up with red cedar siding rather than Hardie.
  - o Reconsider the red fascia trim with either solid red 'volumes' or red cornice only on pitched roofs. The red is a connecting cultural element that unifies the site.
  - o Encourage using the "red" colour to emphasize the entry rather than on the trim alone. The use of the curve, glass and red cedar poles articulate the entry.
  - o Consider introducing a base to the building by differentiating cladding material on the ground floor. A very European idea that isn't appropriate for this development.
- The cornice at the main entry volume - consider extending. The canopy at the entry has been extended
- Consider overlook and privacy screening of balconies integrated with architecture. Red cedar balcony screens have been integrated into the building where needed for privacy and to prevent overlook.
- Consider adding window into the corridor at the northwest exit corridor. Windows added.
- Commend the location of amenity. Should add sky lights or other method to brighten up under the canopy. Skylights have been added to the canopy.
- Suggest rotating the elevator doors so access is not through the community rooms. The idea of arrival into the community rooms is the idea for the orientation.



# PATRICK R. STEWART ARCHITECT



## Landscaping

- Suggest extending the decorative paving material into the firetruck turn around. The decorative paving has been extended into the fire truck turna round.
- The terraced areas on the north side of the building can be improved:
  - o Provide access to the terraced area. Access has been provided
  - o The upper terrace is a good place for trees given soil volume.
  - o Avoid the need for guard rails by making steps less than code requirement which will also avoid fall hazards. Grades could roll rather than step. Grades have been terraced avoiding the need for guardrails.
  - o Consider open terrace railings. Open terrace railings have been provided.
- Recommend adding plant material closer to buildings. Some planting is adjacent to the building in areas around the patios.
- Consider depth of sand in play area to protect parking roof membrane. Depth of sand increased.
- Show details of how the parking slab should drop to accommodate landscaping soil depth. See sections on L2.
- Recommend tightening up plant spacing as some are fairly wide and add ground cover under shrubs in feature areas. Ground cover has been added and as there is not very much ground area, having the planting too tight would result in a congested feeling.

## CPTED

- No comments provided specific to CPTED.

## Accessibility

- No comments provided specific to Accessibility.

## Sustainability

- No comments provided specific to Sustainability.

Sincerely,

Patrick R. Stewart, PhD, MArch, Architect AIBC, MRAIC, LEED AP  
Associate Professor, McEwen School of Architecture, Laurentian University

CITY OF SURREY

BYLAW NO. \_\_\_\_\_

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended  
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: MULTIPLE RESIDENTIAL 15 ZONE (RM-15)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 006-853-919  
 Lot 2 Section 21 Township 2 New Westminster District Plan 74029  
 7561 - 140 Street  
 (hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

**A. Intent**

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium *density*, medium-rise, *multiple unit residential buildings*, *ground-oriented multiple unit residential buildings* and related *amenity spaces*, which are to be developed in accordance with a *comprehensive design*, and which shall be subject to a Housing Agreement pursuant to Section 483 of the Local Government Act, R.S.B.C. 2015, as amended, on terms acceptable to the *City*.

**B. Permitted Uses**

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

- 1. *Multiple unit residential buildings* and *ground-oriented multiple unit residential buildings*, provided that all *dwelling units* shall be exclusively rental units and subject to a Housing Agreement pursuant to Section 483 of the Local Government Act, R.S.B.C. 2015.

2. *Child care centres*, provided that such centres:
  - (a) Do not constitute a singular use on the *lot*; and
  - (b) No not exceed a total area of 3.0 square metres [32 sq.ft.] per *dwelling unit*.
3. *Accessory uses* limited to offices for the administration of uses in Sections B.1 and B.2

**C. Lot Area**

Not applicable to this Zone.

**D. Density**

1. The *floor area ratio* shall not exceed 1.20.
2. The indoor *amenity space* required in Sub-section J.1(b) of this Zone is excluded from the calculation of *floor area ratio*.

**E. Lot Coverage**

The *lot coverage* shall not exceed 40%.

**F. Yards and Setbacks**

*Buildings and structures* shall be sited in accordance with the following minimum *setbacks*:

<b>Use</b>	<b>Setback</b>	<i>Front Yard</i> [east]	<i>Rear Yard</i> [west]	<i>Side Yard</i> [north]	<i>Side Yard</i> [south]
<i>Principal Buildings</i>		10 m	7.5 m	7.5 m	7.5 m
<i>Accessory Buildings and Structures</i>		[33 ft.]	[25 ft.]	[25 ft.]	[25 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

**G. Height of Buildings**

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*: The *building height* shall not exceed 15.0 metres [48 ft.].

2. Accessory buildings and structures: The *building height* shall not exceed 6.0 metres [15 ft.].

## H. Off-Street Parking

1. Refer to Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Notwithstanding Section H.1, subject to a Housing Agreement, *parking spaces* shall be provided on the *lot as follows*:
  - (a) A minimum of 147 *parking spaces* for residents and visitors; and
  - (b) The greater of 10 *parking spaces* or 2.5 *parking spaces* per 100 square metres [1,075 sq.ft.] for *accessory uses* limited to offices.
3. All resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*.

## I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be located within the *underground parking* or within a *building*.

## J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
  - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
  - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit*.



2. *Child care centres* shall be located on the *lot* such that these centres:
  - (a) Are accessed from a *highway*, independent from the access to the residential uses permitted in Section B of this Zone; and
  - (b) Have direct access to an *open space* and play area within the *lot*.
3. *Balconies* are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 square metres [50 sq. ft.] per *dwelling unit*, whichever is greater.

**K. Subdivision**

*Lots* created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
1 hectare [2.5 acre]	40 metres [130 ft.]	200 metres [650 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

**L. Other Regulations**

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-45 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.

6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2016, No. 18664, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-45 Zone for the residential portion and the C-5 Zone for the commercial portion.
9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.
11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002, c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, \_\_\_\_\_, No. \_\_\_\_\_."

PASSED FIRST READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

PASSED SECOND READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

PUBLIC HEARING HELD thereon on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

PASSED THIRD READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

\_\_\_\_\_ MAYOR

\_\_\_\_\_ CLERK

CITY OF SURREYBY-LAW NO.

A by-law to authorize the City of Surrey to enter into a Housing Agreement  
 .....

WHEREAS the City of Surrey has received an application to enter into a housing agreement;

AND WHEREAS Section 905 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended (the "Local Government Act"), empowers the Council or the City of Surrey to enter into a housing agreement.

NOW, THEREFORE, the Council of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

1. The City of Surrey is hereby authorized and empowered to enter into a housing agreement in the form attached hereto as Schedule A and forming part of this By-law (the "Housing Agreement") with the following party:

Kekinow Native Housing Society  
 1014, 7445 - 132 Street  
 Surrey, BC V3W 1J8

and with respect to that certain parcel or tract of lands and premises, situate lying and being in the City of Surrey, in the Province of British Columbia and being more particularly known and described as:

PID: 006-853-919  
 Lot 2 Section 21 Township 2 New Westminster District Plan 74029  
 7561 - 140 Street  
 (the "Lands")

2. The Mayor and Clerk are hereby empowered to execute the Housing Agreement on behalf of the City of Surrey.

3. The City of Surrey shall file in the Land Title Office a notice against the Lands in accordance with Section 905 of the *Local Government Act*, that the Lands are subject to the Housing Agreement.
  
4. This By-law shall be cited for all purposes as "Kekinow Native Housing Society Housing Agreement, Authorization By-law, 2017, No. \_\_\_\_\_."

PASSED THREE READINGS on the \_\_\_\_ day of \_\_\_\_\_, 2017.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the \_\_\_\_ day of \_\_\_\_\_, 2017.

\_\_\_\_\_ MAYOR  
\_\_\_\_\_ CLERK



**TERMS OF INSTRUMENT - PART II**

**SECTION 219 COVENANT AND HOUSING AGREEMENT  
(Occupancy)**

**BETWEEN:**

**CITY OF SURREY**

a Municipal Corporation having its municipal offices at 13450 104 Avenue, Surrey,  
British Columbia V3T 1V8

(the “City”)

**OF THE FIRST PART**

**AND:**

**KEKINOW NATIVE HOUSING SOCIETY**

a Non-Profit Housing organization having offices at 1014 – 7445 132<sup>nd</sup> Street, Surrey,  
British Columbia V3W 1J8

(the “Covenantor”)

**OF THE SECOND PART**

**WHEREAS:**

- A. The Covenantor is the current registered owner of those certain lands and premises located at 7561 140<sup>th</sup> Street, Surrey, BC

PID 006-853-919, Lot 2 Section 21 Township 2 New Westminster District Plan 74029

(the “Lands”);

- B. Section 219 of the *Land Title Act* (R.S.B.C. 2015, c. 1) ) provides, inter alia, that a covenant, whether of a negative or positive nature, may be registered as a charge against the title to land, in favour of a municipality or the Crown, and that the covenant is enforceable against the Covenantor and the successors in title of the Covenantor;
- C. Section 483 of the *Local Government Act* (RSBC 2015, c. 1) authorizes the City by bylaw to enter into a housing agreement;
- D. The Covenantor desires to construct buildings on a portion of the Lands containing a total of up to 180 rental Dwelling Units (the “Rental Buildings”); and

- E. The Covenantor and the City wish to enter into this Agreement to restrict the use and occupancy of the Rental Buildings, on the terms and conditions set out herein, to have effect both as a covenant under section 219 of the *Land Title Act* and as a housing agreement under section 483 of the *Local Government Act*.

**NOW THEREFORE THIS AGREEMENT WITNESSES THAT** pursuant to section 219 of the *Land Title Act* and section 483 of the *Local Government Act*, and in consideration of the premises, the mutual covenants and agreements contained herein and other good and valuable consideration and the sum of One Dollar (\$1.00) now paid by the City to the Covenantor (the receipt and sufficiency whereof is hereby acknowledged), the parties hereto covenant and agree that the Lands shall not be used or built on except in accordance with this Covenant as follows:

1. **DEFINED TERMS**

- 1.1 In and for the purpose of this Agreement, the following words have the following meanings:
- (a) **“Agreement”** means this document and any amendments to or modifications of the same;
  - (b) **“Dwelling Unit”** means up to one hundred and eighty (180) private dwelling units to be constructed within up to three (3) Rental Buildings; and
  - (c) **“Term”** means twenty (20) years, commencing on the first day of the month after the final inspection is issued by the City for the first Rental Building to complete construction on the site.

2. **RESTRICTIONS ON OCCUPANCY OF DWELLING UNITS**

- 2.1 The Covenantor shall be solely responsible for renting the Dwelling Units from time-to- time on such terms as the Covenantor determines, provided such terms are in accordance with this Agreement.
- 2.2 The Covenantor covenants and agrees to operate the Rental Buildings as rental buildings and agrees that the Dwelling Units shall be rental units available for rent during the Term of this Agreement.
- 2.3 The Rental Buildings shall not be stratified during the Term.
- 2.4 This Agreement shall automatically terminate at the end of the Term and the City shall remove notice of this Agreement from title to the Lands at such time.
- 2.5 The City may from time to time require that the Covenantor provide written proof of compliance with section 2 of this Agreement and the Covenantor agrees to provide the City with such proof in a form reasonably satisfactory to the City.

3. **ENFORCEMENT**

- 3.1 If the Covenantor fails to enforce compliance with the terms and conditions of section 2 of this Agreement, then it is specifically understood and agreed that the City will be entitled, but will not be obliged, to enforce the terms and conditions of section 2 of this Agreement.
- 3.2 For the purpose of this Agreement, the Covenantor, without the need for further authorization, writing or documents, hereby irrevocably appoints the City as its agent with

respect to the enforcement of this Agreement and with respect to exercising all remedies set out in this Agreement and all other remedies available at law to the Covenantor that relate to this Agreement.

4. **LIABILITY**

4.1 The Covenantor will indemnify and save harmless the City and each of its elected and appointed officials, employees and agents and their respective administrators, successors and permitted assigns, of and from all claims, demands, actions, damages, costs and liabilities, which all or any of them shall or may be liable for or suffer or incur or be put to by reasons of or arising out of failure of the Covenantor to comply with the terms and conditions of this Agreement.

4.2 Provided that the City is in compliance with the terms and conditions of this Agreement, the Covenantor hereby releases and forever discharges the City and each of its elected and appointed officials, employees and agents and their respective administrators, successors and permitted assigns, of and from any and all claims, demands, actions, damages, economic loss, costs and liabilities which the Covenantor now has or hereafter may have with respect to or by reasons of or arising out of the fact that the Lands are encumbered by this Agreement.

5. **NOTICE**

5.1 Any notice or other documents to be given or delivered pursuant to this Agreement will be addressed to the property party as follows:

as to the City:

City of Surrey  
13450 104 Avenue, Surrey, BC V3T 1V8  
Attention: General Manager, Planning & Development Dept.

as to the Covenantor:

Kekinow Native Housing Society  
1014 – 7445 132<sup>nd</sup> Street, Surrey, British Columbia V3W 1J8  
Attention: Chief Executive Officer

or such other address as such party may direct. Any notice or other documents to be given or delivered pursuant to this Agreement will be sufficiently given or delivered if delivered to the particular party at its address set out or determined in accordance with this section and shall be deemed complete two (2) days after the day of delivery.

5.2 It is specifically agreed that for any notice or document to be validly given or delivered pursuant to this Agreement, such notice or document must be hand delivered and not mailed.

6. **MISCELLANEOUS**

6.1 The Covenantor acknowledges and agrees that:

(a) this Agreement constitutes both a covenant under section 219 of the *Land Title Act*

and a housing agreement under section 483 of the *Local Government Act*,

- (b) the City is required to file a notice of housing agreement in the Land Title Office against title to the Lands; and
- (c) once such a notice is filed, this Agreement binds all persons who acquire an interest in the Lands as a housing agreement.

6.2 The burden of the covenants herein provided for shall run with the Lands and will be personal and binding upon the Covenantor during the Covenantor's ownership of any interest in the Lands.

6.3 Notwithstanding anything to the contrary, the Covenantor shall not be liable under any breach of any covenants and agreements contained herein after the Covenantor ceases to have any further interest in the Lands.

6.4 The fee simple estate in and to the Lands will not pass or vest in the City under or by virtue of these presents and the Covenantor may fully use and enjoy the Lands except only for the requirements provided for in this Agreement.

6.5 The covenants and agreements on the part of the Covenantor and herein provided for have been made by the Covenantor as contractual obligations as well as having been made pursuant to section 219 of the *Land Title Act* and section 483 of the *Local Government Act* and as such will be binding on the Covenantor.

## 7. **GENERAL**

7.1 The captions, section numbers and article numbers appearing in this Agreement are inserted for convenience of reference and shall in no way define, limit, construe or describe the scope of intent of this Agreement or in any way affect this Agreement.

7.2 Words importing the singular number only shall include the plural and vice versa, words importing the masculine gender shall include the feminine and neuter gender and vice versa and words importing persons shall include firms and corporations and vice versa.

7.3 Unless otherwise stated, a reference in this Agreement to a numbered or lettered article, section, paragraph or clause refers to the article, section, paragraph or clause bearing that number or letter in this Agreement.

7.4 The words "hereof", "herein" and similar expressions used in any section, paragraph or clause of this Agreement shall relate to the whole of this Agreement and not to that section, paragraph or clause only unless otherwise expressly provided.

7.5 Nothing in this Agreement:

- (a) affects or limits any discretion, rights, powers, duties or obligations of the City under any enactment or at common law, including in relation to the uses or subdivision of the Lands; or
- (b) relieves the Covenantor from complying with any enactment, including the City's by-laws.

7.6 An alleged waiver by a party of any breach by another party of its obligations under this



Agreement will be effective only if it is an express waiver of the breach in writing. No waiver of a breach of this Agreement is deemed or construed to be a consent or waiver of any other breach of this Agreement.

- 7.7 Time is of the essence of this Agreement. If any party waives this requirement, that party may reinstate it by delivering notice to the other party.
- 7.8 This Agreement shall be construed in accordance with and governed by the laws of the Province of British Columbia.
- 7.9 If a court of competent jurisdiction finds that any part of this Agreement is invalid, illegal or unenforceable, that part is to be considered to have been severed from the rest of this Agreement and the rest of this Agreement remains in force unaffected by that holding or by the severance of that part.
- 7.10 Upon request by the City, the Covenantor will promptly do such acts and execute such documents as the City may reasonably require, in the opinion of the City, to give effect to this Agreement.
- 7.11 This Agreement is the entire agreement between and among the parties concerning the subject matter hereof and there are no warranties, representations, conditions or collateral agreements relating to this Agreement, except as included in this Agreement.
- 7.12 This Agreement may be enforced by prohibitory and mandatory court order of the Court. In any action to enforce this Agreement, the City shall be entitled to court costs on a solicitor and own client basis.
- 7.13 This Agreement shall enure to the benefit of and be binding upon the parties and their successors and assigns.

Agreed:

Kekinow Native Housing Society

Signature:

P. L. Reid

Name: Patricia Reid

Position: Vice President