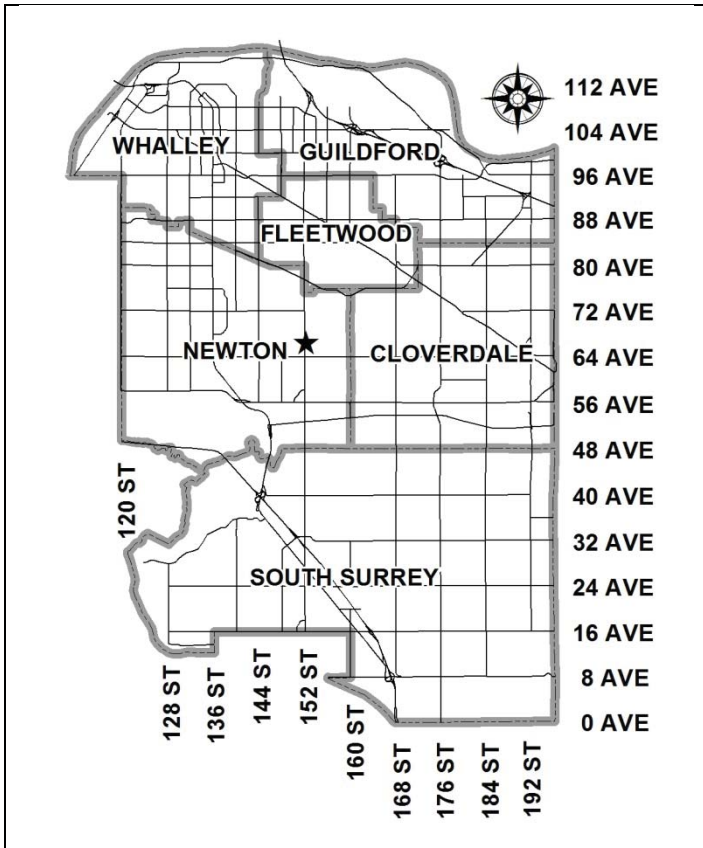


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7915-0363-00

Planning Report Date: May 29, 2017

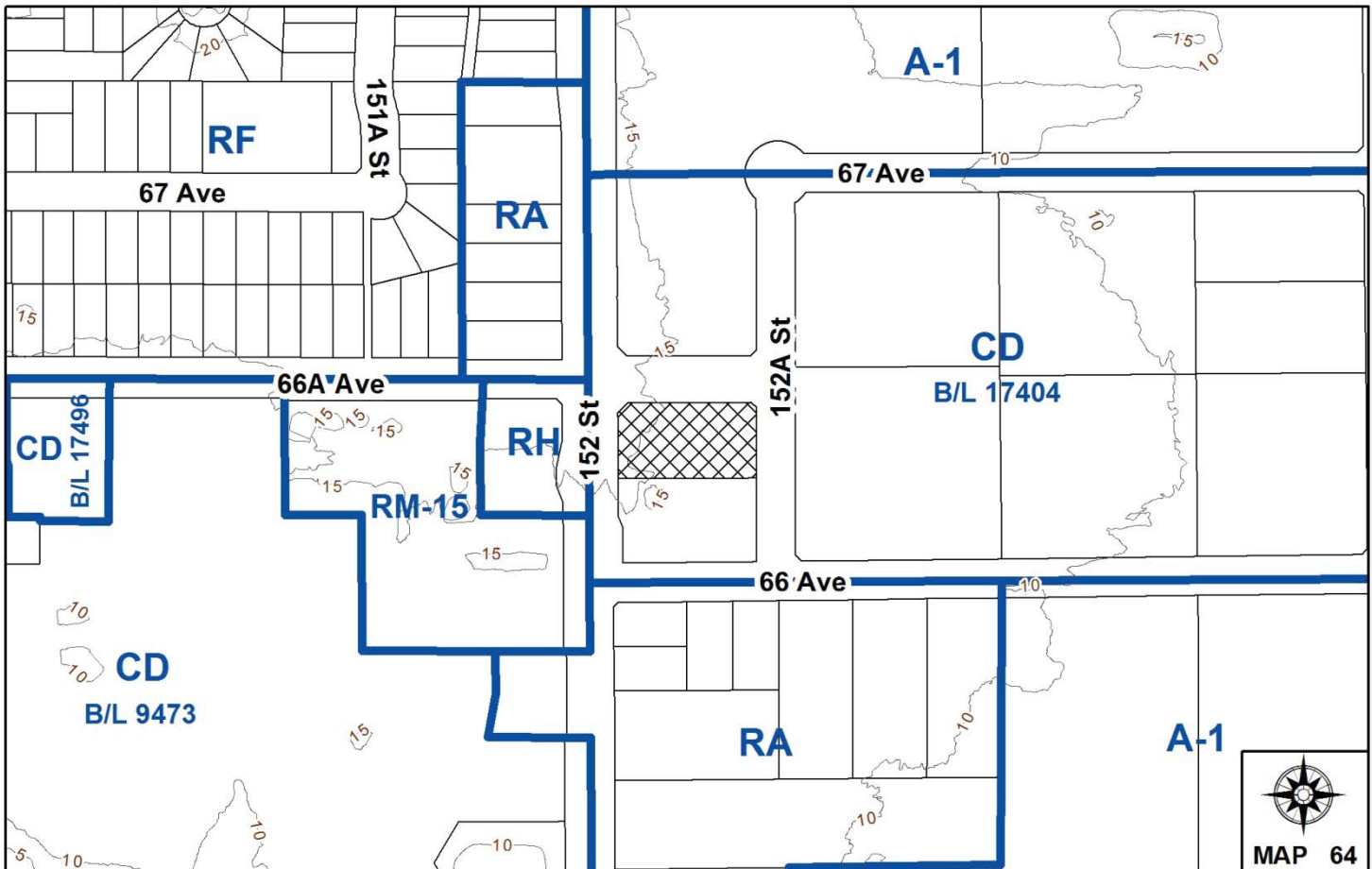


**PROPOSAL:**

- Amend CD By-law No. 17404
- Development Permit
- Development Variance Permit

to permit the development of a two-storey multi-tenant business park building with a small-scale drug store.

**LOCATION:** 6625 - 152A Street  
**OWNER:** 0720485 B.C. Ltd.  
**ZONING:** CD (By-law No. 17404)  
**OCP DESIGNATION:** Mixed Employment  
**NCP DESIGNATION:** Local Commercial and Buffers/Natural Areas



### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Amending CD By-law No. 17404.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The existing CD By-law (No. 17404) does not permit retail uses. The applicant intends to operate medical offices on the subject site and proposes that a small-scale drug store be permitted to complement the proposed medical office use.
- The applicant proposes a Development Variance Permit (DVP) seeking to reduce the minimum 400-metre separation requirement between the proposed small-scale drug store and existing drug stores.
- The applicant is also proposing a DVP in order to allow reduced setbacks from the north and west property lines.

### RATIONALE OF RECOMMENDATION

- The proposal complies with the Mixed Employment OCP Designation.
- The proposal complies with the Local Commercial designation of the East Newton Business Park NCP.
- The proposed setback variances will enhance the streetscape along 152 Street and 66A Avenue by anchoring the building at the entrance to the business park.
- The proposed multi-tenant building is well-designed and provides an appealing addition to 152 Street in terms of the form, design and character of an industrial building within East Newton Business Park.
- While retail uses are not typically encouraged in industrial or business park areas, the proposed retail will support professional medical office uses. The proposed small-scale drug store will operate in conjunction with the medical clinic tenants intended to occupy the second-storey of the building, offering a comprehensive approach to health care. The small-scale drug store will be limited in floor area.
- The applicant has demonstrated that there is sufficient parking on the site for the proposed small-scale drug store and medical clinic.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend Comprehensive Development By-law No. 17404 and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7915-0363-00 generally in accordance with the attached drawings (Appendix II).
3. Council approve Development Variance Permit No. 7915-0363-00 (Appendix V) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum (west) front yard setback of the CD By Zone (By-law No. 17404) from 7.5 metres (25 ft.) to 7.0 metres (23 ft.);
  - (b) to reduce the minimum (north) side yard on flanking street setback of the CD Zone (By-law No. 17404) from 7.5 metres (25 ft.) to 5.0 metres (16 ft.); and
  - (c) to vary the minimum separation distance from the lot line between drug stores, small-scale drug stores or methadone dispensaries from 400 metres (1,300 ft.) to 340 metres (1,115 ft.) to permit a small-scale drug store on the subject site.
4. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
  - (b) resolution of all urban design issues to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

Surrey Fire Department: The Fire Department has no concerns.

SITE CHARACTERISTICSExisting Land Use: Vacant LandAdjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across 66A Avenue):	4-storey, multi-tenant business park building under construction (Development Application No. 7913-0058-00).	Mixed Employment/ Business Park and Buffers/Natural Areas	CD (By-law No. 17404)
East (Across 152A Street):	Proposed 2-storey, multi-tenant business park building with banquet hall under construction (Development Application No. 7915-0148-00).	Mixed Employment/ Business Park	CD (By-law No. 17404)
South:	Vacant lot with Temporary Use Permit to allow parking for a banquet hall to be constructed to the east.	Mixed Employment/ Live & Work (or Future Business Park) and Buffers/Natural Areas	CD (By-law No. 17404)
West (Across 152 Street):	Single family residential.	Urban/ Townhouses (max. 15 upa) and Landscape Buffer Strips	RH

DEVELOPMENT CONSIDERATIONSSite Context

- The subject 0.3 hectare (0.7 acre) site is located on the east side of 152 Street, south of 66A Avenue in the East Newton Business Park. The site is designated "Mixed Employment" in the Official Community Plan (OCP) and "Local Commercial" in the East Newton Business Park Neighbourhood Concept Plan (NCP). The property is regulated by a "Comprehensive Development Zone (CD)" (By-law No. 17404), which permits a broad range of light impact industrial, general service, and personal service uses.
- The subject site was originally created under Development Application No. 7908-0128-00 which rezoned the site to CD Zone (By-law No. 17404) and a General Development Permit established the design parameters for the future development of the site.
- The Johnston Greenway is located along the western boundary of the subject site (152 Street).

- Under the East Newton Business Park NCP, the northwest corner of the subject site at the intersection of 152 Street and 66A Avenue is the location of landscaped gateway features, consisting of plantings, a small urban plaza and a stone entry sign.
- The site was cleared and serviced for development under the original rezoning and subdivision application (No. 7908-0128-00). There are currently no trees on the site.

### Current Proposal

- The applicant proposes a Development Permit (DP) to construct a two-storey, multi-tenant industrial building that provides approximately 849 square metres (9,139 sq. ft.) of ground-floor industrial floor space and 1,030 square metres (11,092 sq. ft.) of second-storey medical office use for a total of 1,879 square metres (20,230 sq. ft.) of floor space (Appendix II).
- The applicant proposes to amend the existing CD By-law (No. 17404) to add a small-scale pharmacy as a permitted use on the subject site only. The drug store would be limited to a maximum floor area of 167 square metres (1,800 sq. ft.), to complement the medical office use proposed on the site.
- The applicant is also requesting a Development Variance (DVP) to reduce the west and north setback backs and to reduce the minimum separation distance (400 metres [1,300 ft.]) between drug stores.
- The proposal represents a floor area ratio (FAR) of 0.68 and site coverage of 37.2%, which both complies with the maximum 0.75 FAR and 60% site coverage, respectively permitted under the CD Zone (By-law No. 17404).
- The proposed building is intended to be occupied by various general/personal service uses, including the proposed small-scale pharmacy, on the ground floor, each with individual entrances. A medical office use is proposed on the second-floor.

### Access and Parking

- Under Development Application No. 7912-0086-00, a shared access easement from 152A Street was registered on the subject site and the adjacent site to the south to accommodate a Temporary Use Permit (TUP) for overflow parking of the business park/banquet hall development approved for construction at 6638 - 152A Street. The shared access from 152A Street will provide vehicular access for the subject site.
- The proposal includes a total of 56 parking spaces on the surface and one level of underground parking, which meets the requirement of 56 parking spaces under the Zoning By-law.
- A single truck loading bay is proposed to be located on the south side of the building.

## DESIGN PROPOSAL AND REVIEW

- The applicant proposes to construct a two-storey, multi-tenant business park building on the subject site that provides ground-floor personal/general service use and second-storey medical office space.
- The concrete tilt-up building is well-designed and provides an appealing addition to East Newton Business Park and is reflective of the existing design standard of industrial buildings within the surrounding area. The building façade consists of glazing in coloured painted aluminum frame and steel with metal sun screens added to the second-storey. Accents are introduced using composite panels above entrances. A steel canopy extends over all ground unit entrances. The colour palette of the painted concrete consists of earth tone colours to highlight the architectural expression of the façades.

### Pedestrian Circulation

- A 4 metre wide (13 ft.) pedestrian multi-use pathway (Johnston Greenway) is currently protected under a statutory right-of-way along the western boundary of the subject site (152 Street).
- Individual walkways connecting to the public sidewalk along 66 Avenue to each ground floor unit are proposed to encourage pedestrian connectivity. A number of planter beds along 66A Avenue will define the public sidewalk from the development's pedestrian walkway and create an engaging interface along 66A Avenue as the gateway to East Newton Business Park.
- Pedestrian connectivity is enhanced by adding a gateway feature at the northwestern corner of the subject site, which includes a small plaza with benches and low-level landscaping. Similarly, a secondary pedestrian connection is also proposed at the northeastern corner of the subject site.

### Proposed Signage

- A gateway sign identifying the entrance to East Newton Business Park is proposed to be located at the northwestern corner of the subject site as indicated in the NCP. The free-standing entry sign will be 2.4 metres (8 ft.) high and will consist of a concrete base with a polished granite copy area and brick accent materials consistent with the gateway sign approved at the northeast corner of 66A Avenue and 152 Street.
- The individual fascia signage proposed for the ground floor units facing 66A Avenue will be provided and approved through a separate sign permit application.

### Proposed Landscaping

- The proposed landscaping complies with the CD Zone (By-law No. 17404) and Design Guidelines originally developed for this portion of East Newton Business Park under Development Application No. 7908-0128-00. The landscaping strips provided along 152 Street and 152A Street will be a minimum of 3 metres (10 ft.) as required under the CD Zone (By-law No. 17404).

- Significant landscaping is proposed along with the bioswale feature along the eastern boundary of the subject site (152A Street), which includes river rocks, small trees, deciduous shrubs, and ornamental grasses.
- A variety of trees, shrubs, and groundcover is proposed around the perimeter of the subject site with decorative features, including benches, permeable unit pavers, and decorative boulders.
- A garbage and recycling enclosure is proposed on the south side of the proposed building adjacent to the truck loading area. The enclosure is proposed to be brick with a decorative metal gate. A pad-mounted transformer (PMT) will also be located in the same area. Both of the garbage enclosure and PMT will not be visible from any public view.

### PRE-NOTIFICATION

- Pre-notification letters were sent on December 19, 2016 to 82 property owners located within 100 metres (328 ft.) of the site, including the Panorama Neighbourhood Association. A Development Proposal Sign was also installed on site on December 6, 2016. To date, staff has received one (1) email from the developer of two sites north of the subject site inquiring about allowing a small-scale drug store at 6678 – 152 Street.

*(Small-scale drug stores are considered retail uses and 6678 – 152 Street is regulated by the same CD Zone [By-law No. 17404] as the subject site, which does not currently permit retail uses. The subject site is currently designated "Local Business" in the NCP, which would support retail uses. The proposed small-scale drug store is supported in conjunction with the site's intended medial office use.)*

### SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on October 13, 2015. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>• The subject site is located within the East Newton Business Park Neighbourhood Concept Plan (NCP).</li> <li>• The proposal complies with the "Local Commercial" designation of the NCP.</li> </ul>
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>• The proposal complies with the density permitted in the CD Zone (By-law No. 17404).</li> <li>• The building is intended to provide a mixture of uses including general service, personal service, and office uses.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>• The applicant proposes Low Impact Development Standards (LIDS) that include absorbent soils, bio-swales, and permeable pavement.</li> <li>• The applicant proposes to provide garbage and recycling bins.</li> </ul>

Sustainability Criteria	Sustainable Development Features Summary
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>The proposal supports pedestrian and cycling-oriented activities through accessible sidewalks, pedestrian linkages to off-site multi-use pathways, and bike racks.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>The site plan and overall design address CPTED principles by providing low level planting, substantial glazing on building facades to promote natural surveillance and pedestrian linkages.</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>N/A</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>A Development Proposal Sign was installed on the site.</li> </ul>

### ADVISORY DESIGN PANEL

- This application was referred to the Advisory Design Panel (ADP) on March 23, 2017 (Appendix III). The ADP comments and recommendations have been satisfactorily addressed to the satisfaction of the Acting City Architect.

### BY-LAW VARIANCE AND JUSTIFICATION

#### (a) Requested Variance:

- To vary Section F Yards and Setbacks of CD By-law No. 17404, as follows:
  - Reduce the minimum (west) front yard setback from 7.5 metres (25 ft.) to 7.0 metres (23 ft.); and
  - Reduce the minimum (north) side yard on flanking street setback from 7.5 metres (25 ft.) to 5.0 metres (16 ft.).

#### Applicant's Reasons:

- The reduced setbacks are intended to provide for a more urban street front interface.

#### Staff Comments:

- The proposed setbacks bring the building closer to 152 Street and 66A Avenue, which achieves a more attractive business park entrance and pedestrian friendly streetscape along the street frontages, as per the East Newton Business Park NCP and Design Guidelines registered on title.



## (b) Requested Variance:

- To vary Section E.28 of Part 4 General Provisions of Surrey Zoning By-law (No. 12000), by reducing the minimum separation requirement between an existing drug store, small-scale drug store or methadone dispensary from 400 metre (1,300 ft.) to 340 metres (1,115 ft.) to permit a small-scale drug store on the subject site.

## Applicant's Reasons:

- The applicant is proposing medical office use on the second floor of the building and the proposed small-scale drug store, which would not exceed 167 square metres (1,800 sq. ft.) in area, would expand the range of medical-related services provided.
- The small-scale drug store will allow a registered pharmacist to dispense prescribed medication on-site which will provide added convenience for patients and allowing medical staff to better monitor overall patient health. Pharmaceuticals and services provided by the proposed small-scale drug store will complement the services offered by the medical offices.

## Staff Comments:

- The closest drug store in the area is located at 15299 – 68 Avenue within the East Newton Business Park.
- The proposed small-scale drug store will be limited to occupy a floor area of 167 square metres (1,800 sq. ft.) within a multi-tenant industrial building.
- The proposed small-scale drug store is an appropriate complementary use to the proposed medical office use and to serve the local community.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	ADP Comments and Applicant Response
Appendix IV.	Proposed CD By-law Amendment
Appendix V.	Development Variance Permit No. 7915-0363-00

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Lo Studio Architecture Inc. and M2 Landscape Architecture respectively, dated May 7, 2017 and May 14, 2017.

*original signed by Ron Hintsche*

Jean Lamontagne  
General Manager  
Planning and Development

DH/da



## DEVELOPMENT DATA SHEET

Proposed Zoning: CD By-Law No. 17404

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		2,765 sq.m
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage	60%	37.2%
SETBACKS ( in metres)		
Front (152 Street)	7.5m	18.2m
Rear (152A Street)	7.5m	7.0m
Side #1 (N - 66A Avenue)	7.5m	5.0m
Side #2 (S)	3.6m	3.7m
BUILDING HEIGHT (in metres/storeys)		
Principal	12m	9.9m
Accessory		
NUMBER OF RESIDENTIAL UNITS		N/A
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		N/A
FLOOR AREA: Commercial		
Retail (Small-scale drug store)		167 sq.m max.
Office		
Total		167 sq.m max.
FLOOR AREA: Industrial		1,712 sq.m
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		1,879 sq.m

*\* If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

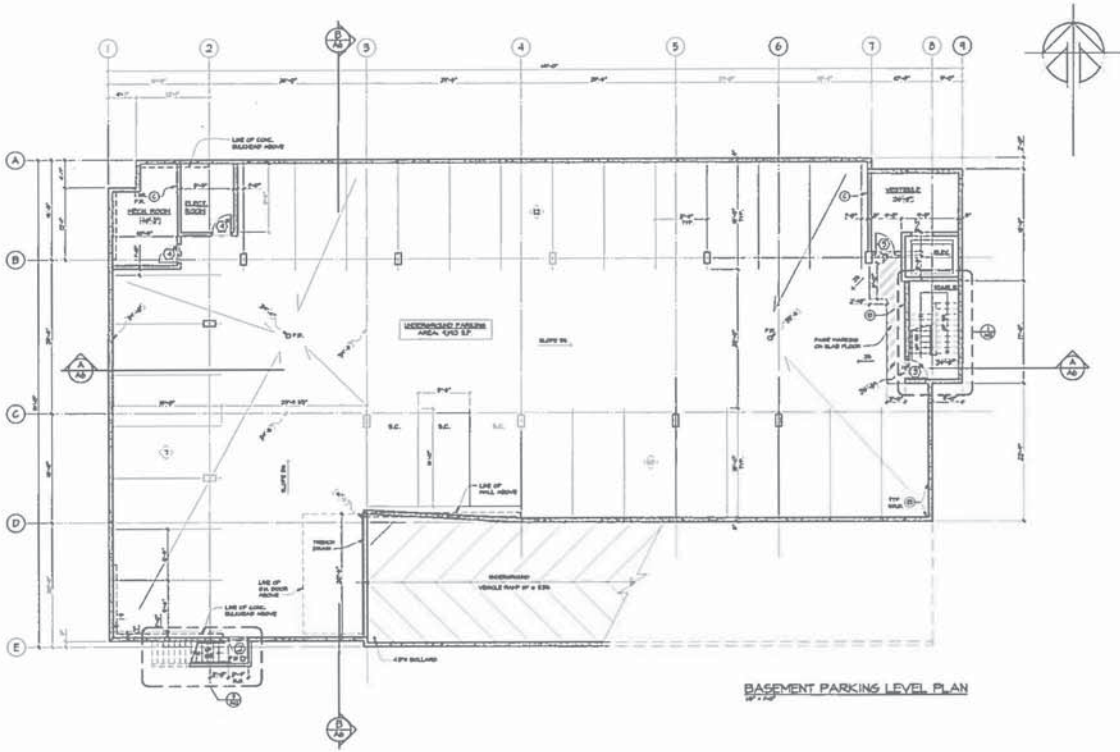
**Development Data Sheet cont'd**

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	0.75	0.66
AMENITY SPACE (area in square metres)		N/A
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		
Industrial	56	56
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces		56
Number of accessible stalls		1
Number of small cars		17
Tandem Parking Spaces: Number / % of Total Number of Units		N/A
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	NO	Tree Survey/Assessment Provided	N/A
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REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR CIVIL REVIEW
2	ISSUED FOR CIVIL REVIEW
3	ISSUED FOR CIVIL REVIEW
4	ISSUED FOR CIVIL REVIEW
5	ISSUED FOR CIVIL REVIEW
6	ISSUED FOR CIVIL REVIEW
7	ISSUED FOR CIVIL REVIEW
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20	ISSUED FOR CIVIL REVIEW



**BASEMENT PARKING LEVEL PLAN**  
12/1/20

**LEGEND, GENERAL**

- AC - AIR CONDITIONING
- AE - AIR EXHAUST
- AF - AIR FLOW
- AG - AIR GATE
- AL - AIR LOCK
- AM - AIR MESH
- AN - AIR NOISE
- AO - AIR OUTLET
- AP - AIR PUMP
- AQ - AIR QUALITY
- AR - AIR RETURN
- AS - AIR SUPPLY
- AT - AIR TREATMENT
- AV - AIR VENT
- AW - AIR WASH
- AX - AIR EXCHANGE
- AY - AIR YIELD
- AZ - AIR ZONE
- BA - BALANCE
- BB - BALANCE
- BC - BALANCE
- BD - BALANCE
- BE - BALANCE
- BF - BALANCE
- BG - BALANCE
- BH - BALANCE
- BI - BALANCE
- BJ - BALANCE
- BK - BALANCE
- BL - BALANCE
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- CD - CABLE
- CE - CABLE
- CF - CABLE
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- CH - CABLE
- CI - CABLE
- CJ - CABLE
- CK - CABLE
- CL - CABLE
- CM - CABLE
- CN - CABLE
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- CQ - CABLE
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**NOTES:**

- SEE WALL TYPE C UNLESS NOTED OTHERWISE.
- ALL FLOOR AND CEILING SHALL BE FINISHED TO THE FINISH LINE. ALL FLOOR SHALL BE FINISHED TO THE FINISH LINE. ALL CEILING SHALL BE FINISHED TO THE FINISH LINE. ALL WALLS SHALL BE FINISHED TO THE FINISH LINE. ALL DOORS SHALL BE FINISHED TO THE FINISH LINE. ALL WINDOWS SHALL BE FINISHED TO THE FINISH LINE. ALL STAIRS SHALL BE FINISHED TO THE FINISH LINE. ALL ELEVATORS SHALL BE FINISHED TO THE FINISH LINE. ALL MECHANICAL ROOMS SHALL BE FINISHED TO THE FINISH LINE. ALL ELECTRICAL ROOMS SHALL BE FINISHED TO THE FINISH LINE. ALL TELEPHONE ROOMS SHALL BE FINISHED TO THE FINISH LINE. ALL JANETTES SHALL BE FINISHED TO THE FINISH LINE. ALL RESTROOMS SHALL BE FINISHED TO THE FINISH LINE. ALL SHOWERS SHALL BE FINISHED TO THE FINISH LINE. ALL LOCKERS SHALL BE FINISHED TO THE FINISH LINE. ALL STORAGE ROOMS SHALL BE FINISHED TO THE FINISH LINE. ALL TOOL ROOMS SHALL BE FINISHED TO THE FINISH LINE. ALL WORKSHOPS SHALL BE FINISHED TO THE FINISH LINE. ALL REPAIR SHOPS SHALL BE FINISHED TO THE FINISH LINE. ALL MAINTENANCE SHOPS SHALL BE FINISHED TO THE FINISH LINE. ALL WAREHOUSES SHALL BE FINISHED TO THE FINISH LINE. ALL OFFICES SHALL BE FINISHED TO THE FINISH LINE. ALL CONFERENCE ROOMS SHALL BE FINISHED TO THE FINISH LINE. ALL MEETING ROOMS SHALL BE FINISHED TO THE FINISH LINE. ALL TRAINING ROOMS SHALL BE FINISHED TO THE FINISH LINE. ALL SEMINAR ROOMS SHALL BE FINISHED TO THE FINISH LINE. ALL COURSE ROOMS SHALL BE FINISHED TO THE FINISH LINE. ALL LABORATORIES SHALL BE FINISHED TO THE FINISH LINE. ALL CLASSROOMS SHALL BE FINISHED TO THE FINISH LINE. ALL LECTURE HALLS SHALL BE FINISHED TO THE FINISH LINE. ALL THEATRES SHALL BE FINISHED TO THE FINISH LINE. ALL AUDITORIUMS SHALL BE FINISHED TO THE FINISH LINE. ALL CONCERT HALLS SHALL BE FINISHED TO THE FINISH LINE. ALL GYMNASIUMS SHALL BE FINISHED TO THE FINISH LINE. ALL SPORTS HALLS SHALL BE FINISHED TO THE FINISH LINE. ALL RECREATION CENTERS SHALL BE FINISHED TO THE FINISH LINE. ALL CLUBS SHALL BE FINISHED TO THE FINISH LINE. ALL HOTELS SHALL BE FINISHED TO THE FINISH LINE. ALL RESORTS SHALL BE FINISHED TO THE FINISH LINE. ALL CASINOS SHALL BE FINISHED TO THE FINISH LINE. ALL RESTAURANTS SHALL BE FINISHED TO THE FINISH LINE. ALL BARS SHALL BE FINISHED TO THE FINISH LINE. ALL NIGHT CLUBS SHALL BE FINISHED TO THE FINISH LINE. ALL DISCO THEQUES SHALL BE FINISHED TO THE FINISH LINE. ALL THEATRES SHALL BE FINISHED TO THE FINISH LINE. ALL CONCERT HALLS SHALL BE FINISHED TO THE FINISH LINE. ALL AUDITORIUMS SHALL BE FINISHED TO THE FINISH LINE. ALL GYMNASIUMS SHALL BE FINISHED TO THE FINISH LINE. ALL SPORTS HALLS SHALL BE FINISHED TO THE FINISH LINE. ALL RECREATION CENTERS SHALL BE FINISHED TO THE FINISH LINE. ALL CLUBS SHALL BE FINISHED TO THE FINISH LINE. ALL HOTELS SHALL BE FINISHED TO THE FINISH LINE. ALL RESORTS SHALL BE FINISHED TO THE FINISH LINE. ALL CASINOS SHALL BE FINISHED TO THE FINISH LINE. ALL RESTAURANTS SHALL BE FINISHED TO THE FINISH LINE. ALL BARS SHALL BE FINISHED TO THE FINISH LINE. ALL NIGHT CLUBS SHALL BE FINISHED TO THE FINISH LINE. ALL DISCO THEQUES SHALL BE FINISHED TO THE FINISH LINE.

**DOOR SCHEDULE** DOOR NOTES SEE DWG. A-

- DOOR SCHEDULE SHALL BE AS SHOWN UNLESS NOTED OTHERWISE. ALL DOORS SHALL BE FINISHED TO THE FINISH LINE. ALL WINDOWS SHALL BE FINISHED TO THE FINISH LINE. ALL STAIRS SHALL BE FINISHED TO THE FINISH LINE. ALL ELEVATORS SHALL BE FINISHED TO THE FINISH LINE. ALL MECHANICAL ROOMS SHALL BE FINISHED TO THE FINISH LINE. ALL ELECTRICAL ROOMS SHALL BE FINISHED TO THE FINISH LINE. ALL TELEPHONE ROOMS SHALL BE FINISHED TO THE FINISH LINE. ALL JANETTES SHALL BE FINISHED TO THE FINISH LINE. ALL RESTROOMS SHALL BE FINISHED TO THE FINISH LINE. ALL SHOWERS SHALL BE FINISHED TO THE FINISH LINE. ALL LOCKERS SHALL BE FINISHED TO THE FINISH LINE. ALL STORAGE ROOMS SHALL BE FINISHED TO THE FINISH LINE. ALL TOOL ROOMS SHALL BE FINISHED TO THE FINISH LINE. ALL WORKSHOPS SHALL BE FINISHED TO THE FINISH LINE. ALL REPAIR SHOPS SHALL BE FINISHED TO THE FINISH LINE. ALL MAINTENANCE SHOPS SHALL BE FINISHED TO THE FINISH LINE. ALL WAREHOUSES SHALL BE FINISHED TO THE FINISH LINE. ALL OFFICES SHALL BE FINISHED TO THE FINISH LINE. ALL CONFERENCE ROOMS SHALL BE FINISHED TO THE FINISH LINE. ALL MEETING ROOMS SHALL BE FINISHED TO THE FINISH LINE. ALL TRAINING ROOMS SHALL BE FINISHED TO THE FINISH LINE. ALL SEMINAR ROOMS SHALL BE FINISHED TO THE FINISH LINE. ALL COURSE ROOMS SHALL BE FINISHED TO THE FINISH LINE. ALL LABORATORIES SHALL BE FINISHED TO THE FINISH LINE. ALL CLASSROOMS SHALL BE FINISHED TO THE FINISH LINE. ALL LECTURE HALLS SHALL BE FINISHED TO THE FINISH LINE. ALL THEATRES SHALL BE FINISHED TO THE FINISH LINE. ALL AUDITORIUMS SHALL BE FINISHED TO THE FINISH LINE. ALL CONCERT HALLS SHALL BE FINISHED TO THE FINISH LINE. ALL GYMNASIUMS SHALL BE FINISHED TO THE FINISH LINE. ALL SPORTS HALLS SHALL BE FINISHED TO THE FINISH LINE. ALL RECREATION CENTERS SHALL BE FINISHED TO THE FINISH LINE. ALL CLUBS SHALL BE FINISHED TO THE FINISH LINE. ALL HOTELS SHALL BE FINISHED TO THE FINISH LINE. ALL RESORTS SHALL BE FINISHED TO THE FINISH LINE. ALL CASINOS SHALL BE FINISHED TO THE FINISH LINE. ALL RESTAURANTS SHALL BE FINISHED TO THE FINISH LINE. ALL BARS SHALL BE FINISHED TO THE FINISH LINE. ALL NIGHT CLUBS SHALL BE FINISHED TO THE FINISH LINE. ALL DISCO THEQUES SHALL BE FINISHED TO THE FINISH LINE.

**WALL TYPES, EXTERIOR**



**WALL TYPES, INTERIOR**



**COLUMN LEGEND**

- 1 - SUPPORTS ROOF ONLY

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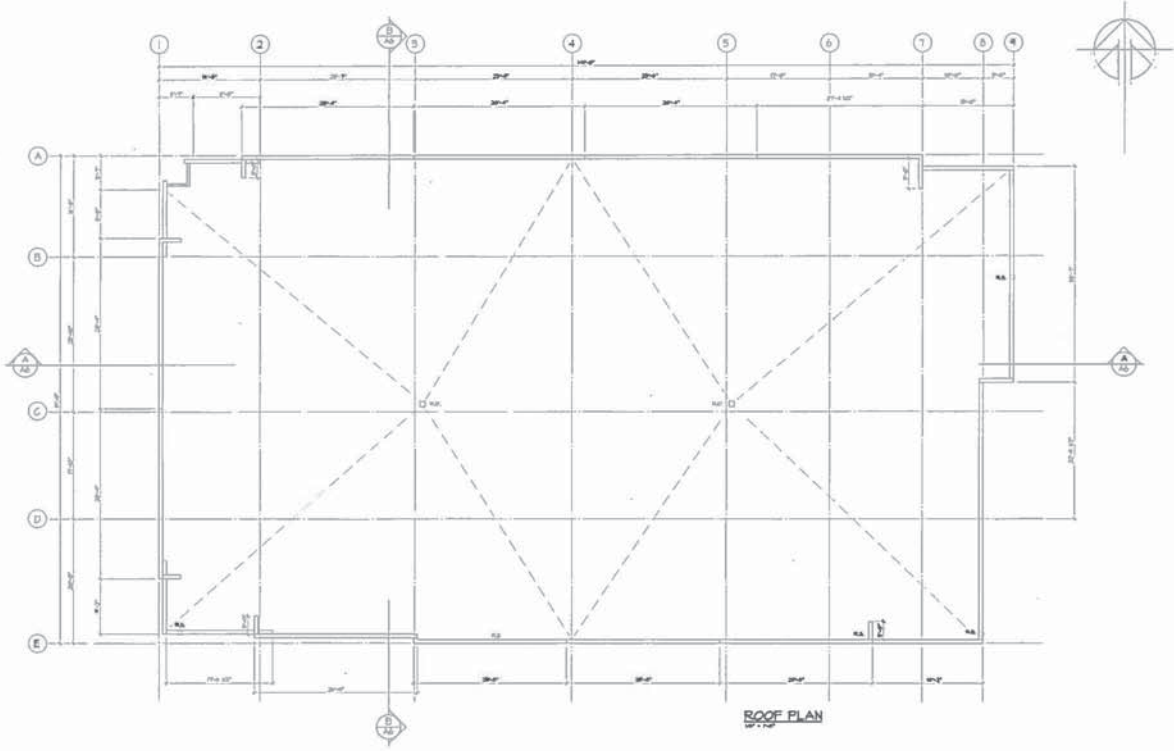
PROJECT: PROPOSED OFFICE BUILDING FOR 120485 BC LTD.  
SHEET: BASEMENT PARKING LEVEL







REVISIONS		
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A.	10/17	ISSUED FOR LOFTS REVIEW
B.	10/18	ISSUED FOR CITY REVIEW
C.	11/16	ISSUED FOR CITY REVIEW
D.	12/16	ISSUED FOR SUBJECT PULLING
E.	01/17	ISSUED FOR CLIENTS REVIEW
F.	01/17	ISSUED FOR DEVELOPMENT PART 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

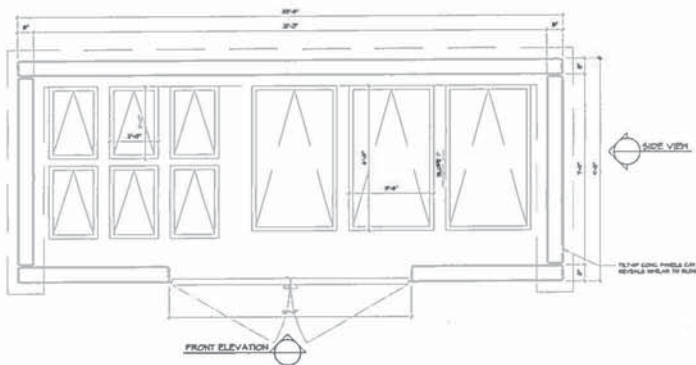


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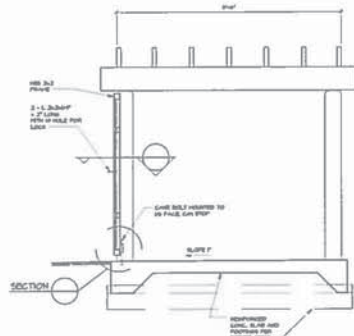
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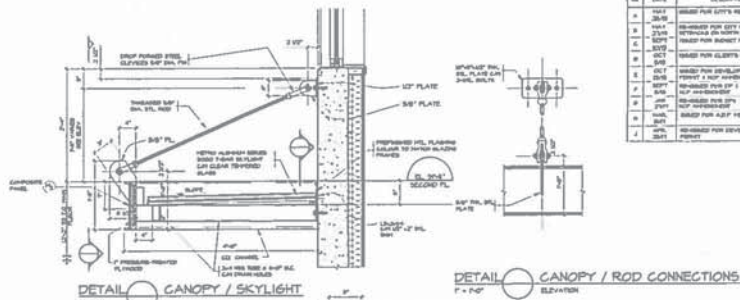
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DETAIL GARBAGE ENCLOSURE PLAN  
1/2" = 1'-0"



SECTION GARBAGE ENCLOSURE  
1/2" = 1'-0"

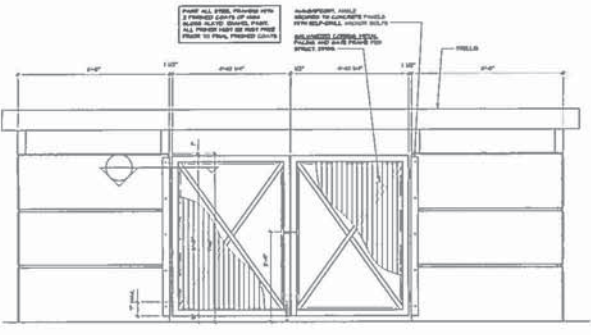


DETAIL CANOPY / SKYLIGHT  
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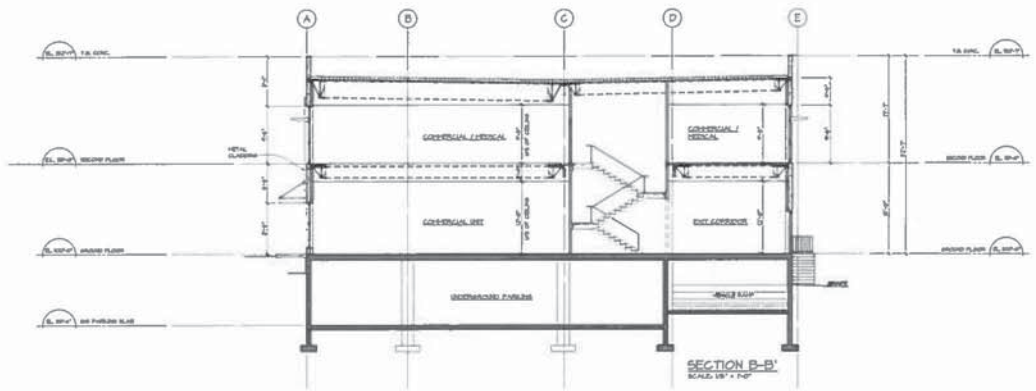
DETAIL CANOPY / ROD CONNECTIONS  
1" = 1'-0"

DETAIL CANOPY / WALL CONNECTION  
1" = 1'-0"

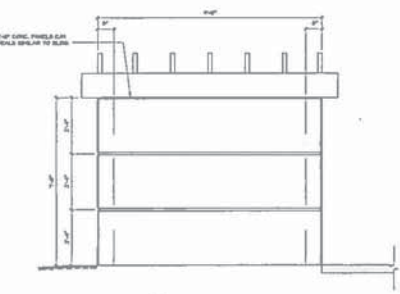
REVISIONS		
NO.	DATE	DESCRIPTION
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2	04/21	ISSUED FOR CITY REVIEW
3	04/21	ISSUED FOR CITY REVIEW
4	04/21	ISSUED FOR CITY REVIEW
5	04/21	ISSUED FOR CITY REVIEW
6	04/21	ISSUED FOR CITY REVIEW
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20	04/21	ISSUED FOR CITY REVIEW



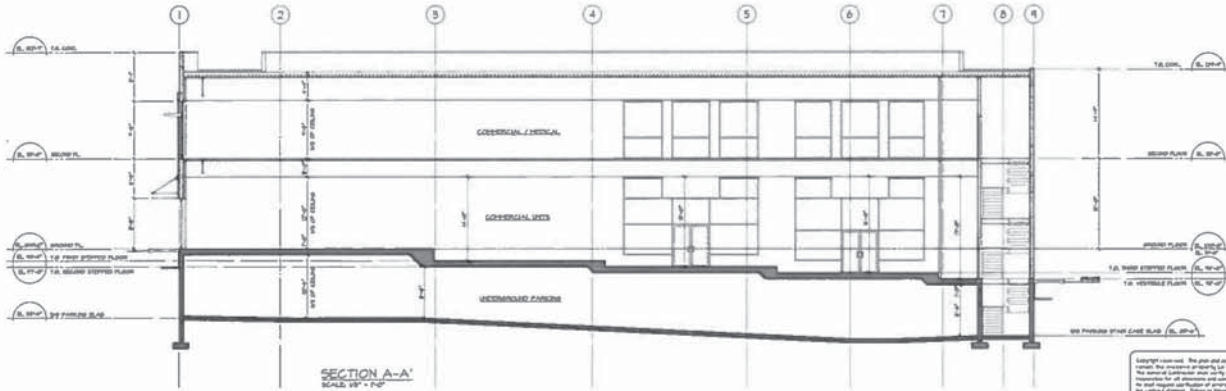
ELEVATION FRONT  
1/2" = 1'-0"



SECTION A-A  
SCALE 1/8" = 1'-0"



ELEVATION SIDE  
1/2" = 1'-0"



SECTION B-B  
SCALE 1/8" = 1'-0"

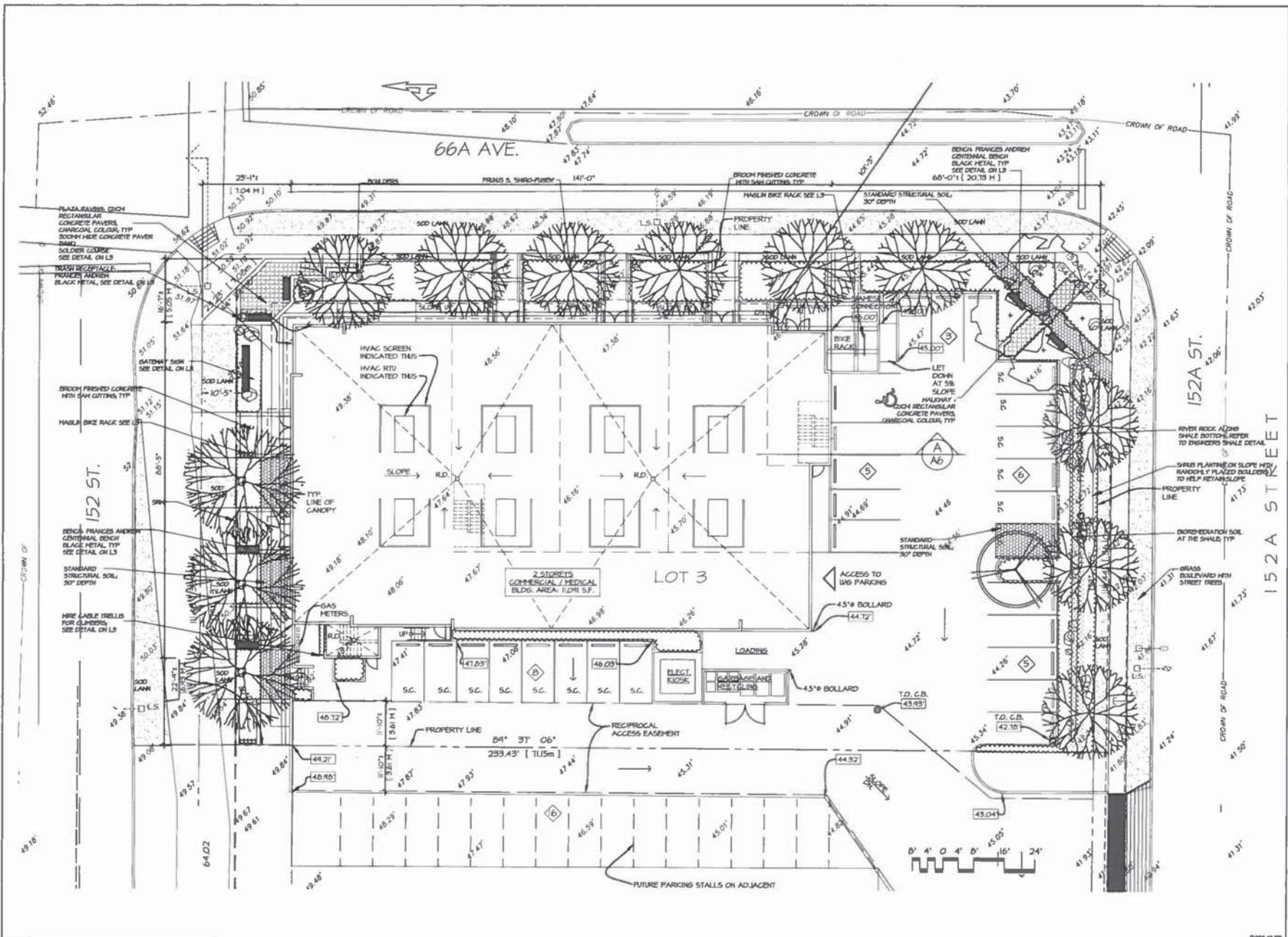
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PROJECT:  
PROPOSED OFFICE BUILDING FOR  
120489 BC LTD.

SHEET TITLE:  
SECTIONS  
GARBAGE ENCLOSURE DETAILS





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NO.	DATE	REVISION DESCRIPTION	DL
1	06/12/20	REV. PER CITY COMMENTS	DL
2	06/12/20	REV. PER NEW BRIDGES COMMENTS	DL
3	06/12/20	REV. PER NEW CITY COMMENTS	DL
4	06/12/20	REV. PER NEW CITY COMMENTS	DL
5	06/12/20	REV. PER NEW CITY PLAN	DL
6	06/12/20	REV. PER NEW CITY PLAN	DL
7	06/12/20	REV. PER NEW CITY PLAN	DL
8	06/12/20	REV. PER NEW CITY PLAN	DL
9	06/12/20	REV. PER NEW CITY PLAN	DL
10	06/12/20	REV. PER NEW CITY PLAN	DL

PROJECT  
**COMMERCIAL DEV.**  
 15TH ST. AND 66 AVE.  
 SURREY, BC

DRAWING TITLE:  
**LANDSCAPE PLAN**

DATE	06/12/20	DRAWN BY	DL	DRAWING NUMBER	L1
SCALE	3/32"=1'-0"	DESIGNED BY	DL		
CHECKED BY	PP				

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NO.	DATE	REVISION DESCRIPTION	BY
1	05/12/12	REV. PER CITY COMMENTS	ML
2	06/04/12	REV. PER NEW PROPERTY COMMENTS	ML
3	06/04/12	REV. PER ADP COMMENTS	ML
4	06/04/12	REV. PER CITY COMMENTS	ML
5	06/04/12	REV. PER NEW SITE PLAN	ML
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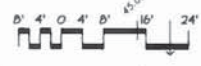
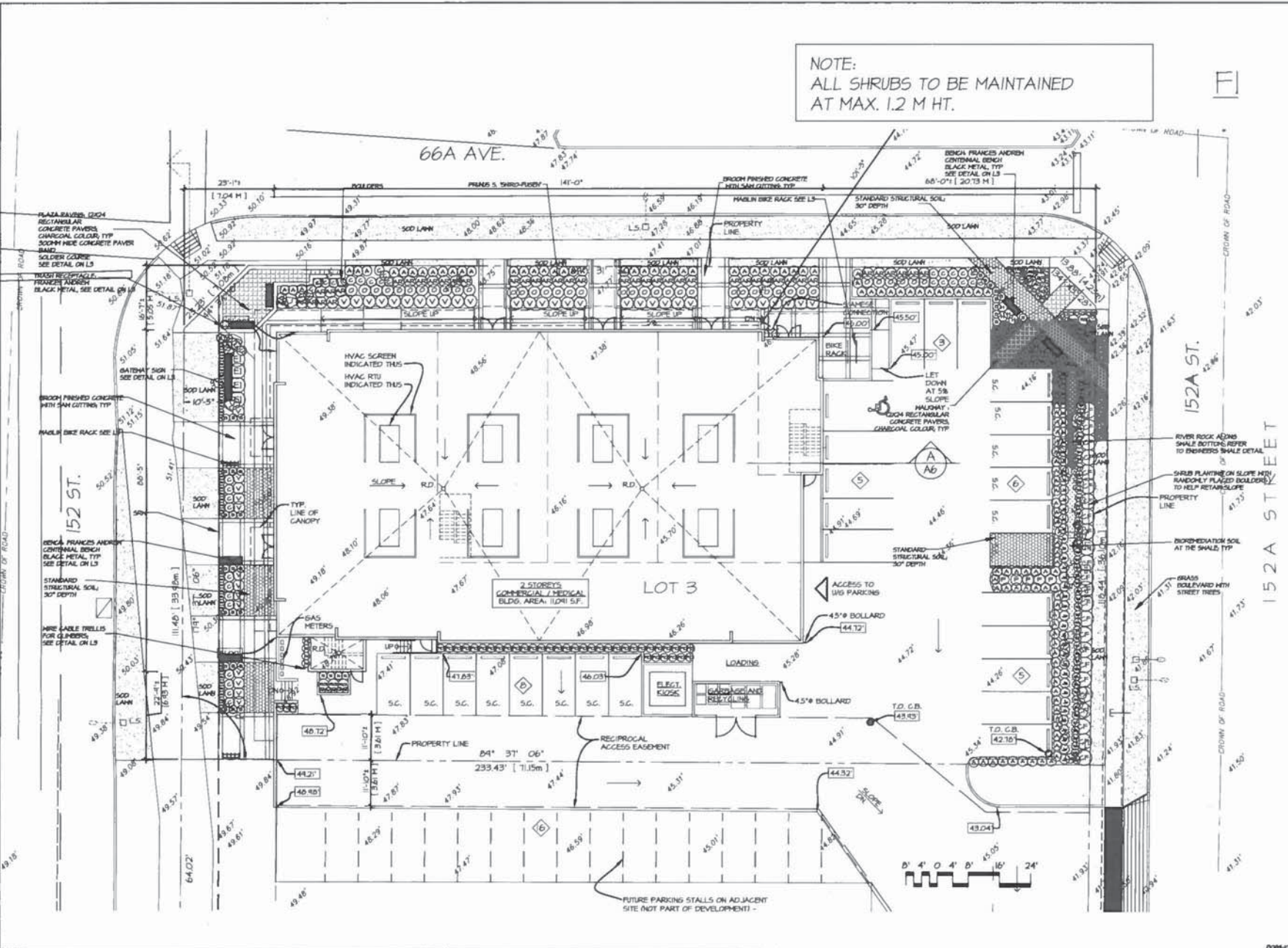
PROJECT  
**COMMERCIAL DEV.**  
1878 ST. AND 88 AVE  
SURREY, BC

DRAWING TITLE:  
**SHRUB PLAN**

DATE: 05/27/12 DRAWING NUMBER:  
SCALE: 3/32"=1'-0"  
DRAWN: ML  
DESIGN: ML  
CHECK: JPP  
**L2**  
OF 6

M2LA PROJECT NUMBER: 15-082

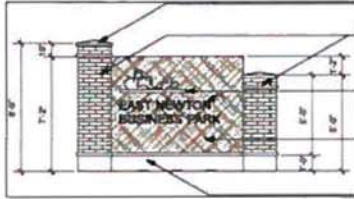
NOTE:  
ALL SHRUBS TO BE MAINTAINED  
AT MAX. 1.2 M HT.





BENCH: FRANCES ANDREH  
CENTENNIAL BENCH  
BLACK METAL, TYP

**BENCH**  
SCALE: 1/8" = 1'-0"



**GATEWAY SIGN**  
SCALE: 1/8" = 1'-0"



**MAGLIN BIKE RACK**  
SCALE: 1/8" = 1'-0"

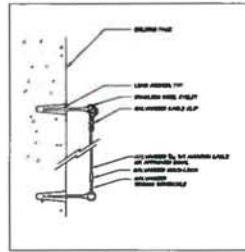


RECEPTACLES  
FRANCIS ANDREH SERIES 31  
MODEL R31-1  
COLOR: BLACK

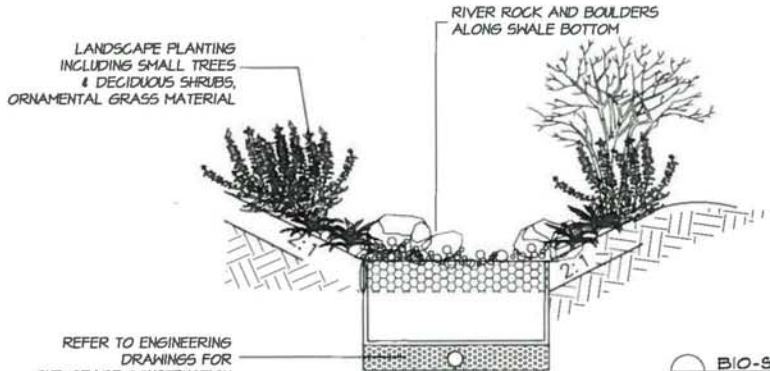
**RECEPTACLES**  
SCALE: 1/8" = 1'-0"



**PAVER**  
SCALE: 1/4" = 1'-0"



**WIRE CABLE TRELLIS FOR CLIMBERS**  
SCALE: 1/8" = 1'-0"



REFER TO ENGINEERING  
DRAWINGS FOR  
SUB-GRADE CONSTRUCTION

**BIO-SWALE**  
SCALE: 1/8" = 1'-0"

PLANT SCHEDULE	ME JOB NUMBER: 15-089			
TYPE	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	4	ACER GRISEB	PAPERBARK MAPLE	60H GAL, 1.5H STD, 5/16
	1	ACER FREESH BOHMANI	COLPINSAR BOHMANI MAPLE	60H GAL, 2H STD, 5/16
	1	LIQUIDAMBAR STRACAPILLA HORSFRESOR	HOPLEBUSH SHREEB RUM	60H GAL, 2H STD, 5/16
	3	ZELKOVIA SERBATA GREEN VASE	GREEN VASE ZELKOVIA	60H GAL, 1.5H STD, 5/16
SHRUB	11	ARBUSUS UNEDO COMPACTA	COMPACT STRAWBERRY BUSH	45 POT, 60CH
	AR	AZALEA JAPONICA 'NINA MARIE'	AZALEA, LARGE SINGLE WHITE	42 POT
	B	BUXUS SEMPERVIRENS	BOXWOOD	48 POT
	CP	CORNUS SERICEA 'FLANRANGER'	TELLIWHAS DOGWOOD	42 POT, 60CH
	H	HYDRANGEA GIBBERIFOLIA 'SHOWPLAZE'	SHOWPLAZE HYDRANGEA	42 POT
	D	OPUNTIA SPINOSA	FALSE HOLLY, FRAGRANT WHITE	42 POT
	P	PRUNUS JAPONICA 'TOMPLE BELLS'	PRUNUS	45 POT, 60CH
	PD	PRUNUS LAUROCESTRIS 'OTTO LUYKDI'	OTTO LUYKDI LAUREL	42 POT, 60CH
	RO	ROSA 'BONICA HEDERLAND'	BONICA HEDERLAND ROSE, PKC	42 POT, 60CH
	SP	ROSA 'WHITE HEDERLAND'	WHITE HEDERLAND ROSE	42 POT, 60CH
	V	VERBENA DIVERSA	DAWSON VERBENA	42 POT, 60CH
GRASS				
	C	CALAMAGROSTIS ACUTIFLORA OVERDAK	FEATHER REED GRASS	48 POT
	FR	FESTUCA OVINA 'OLYMPIA'	BLUE FESCUE	48 POT
	JE	JUNCUS EFFUSUS	COUCH GRASS	48 POT, HEAVY
	SH	SCIRPUS HEDICARPUS	SMALL FLOURED BULLRUSH	48 POT, HEAVY
VINE				
	E	CLEMATIS ARWANDI	EVERGREEN CLEMATIS	48 POT, 60CH STAKED
DC				
	A	ARCTOSTAPHYLOS UVA-URSI VANCOUVER JADE	WONDERBERRY	48 POT, 60CH
	RU	RUBUS CALYCANDES	ORANGE BERRY	48 POT

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD (L2155) EDITION. CONTAINER SIZES SPECIFIED AS PER CMTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEPRESSED CONTAINER REQUIREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER HIGHLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

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NO.	DATE	REVISION DESCRIPTION	BY
1	2015/02/25	REV. PER CITY COMMENTS	EL
2	2015/03/02	REV. PER NEW WEST CITY COMMENTS	EL
3	2015/03/02	REV. PER ADP COMMENTS	EL
4	2015/03/02	REV. PER NEW WEST CITY COMMENTS	EL
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100	2015/03/02	REV. PER NEW SITE PLAN	EL

PROJECT:  
**COMMERCIAL DEV.**  
80TH ST. AND 86 AVE  
SURREY, BC

DRAWING TITLE:  
**LANDSCAPE  
DETAILS**

DATE: 05/NOV/2015	DRAWING NUMBER:
SCALE: 1/8" = 1'-0"	
DRAWN BY: EL	
DESIGNED BY: EL	
CHECKED BY: PH	
DATE: 05/NOV/2015	DRAWING NUMBER: 15-089

**L3**

OF 5

05/NOV/2015

15-089



# Advisory Design Panel Minutes

2E - Community Room B  
City Hall  
13450 - 104 Avenue  
Surrey, B.C.  
THURSDAY, MARCH 23, 2017  
Time: 4:02 pm

## **Present:**

Chair – K. Johnston  
M. Enns  
M. Lesack  
M. MacCaull  
S. McFarlane  
D. Nelson  
A. Scott  
D. Staples  
M. Younger

## **Guests:**

L. Barnett, Barnett Dembeck Architect Ltd.  
M. Chan-Yip, PMG Landscape Architects  
R. Bernstein, Chris Dikeakos Architects  
J. Basran, Chris Dikeakos Architects  
J. McDougall, Perry & Associates  
R. Jenkins, WestStone Group  
V. Jeon, WestStone Group  
M. Ciriello, Lo Studio Architecture Inc.  
M. Mitchell, M2 Landscape Architecture

## **Staff Present:**

M. Rondeau, Acting City Architect,  
Planning & Development  
L. Luaifoa, Legislative Services

\*Excerpt of minutes as it pertains to File No. 7915-0363-00. Applicant's response to ADP comments provided in italics in parentheses below.

## **B. NEW SUBMISSIONS**

### **2. 5:00 PM**

<b>File No.:</b>	<b>7915-0363-00</b>
<b>New or Resubmit:</b>	<b>New</b>
<b>Last Submission Date:</b>	<b>N/A</b>
<b>Description:</b>	<b>NCP Amendment, Rezoning, DP and DVP to permit a 2-storey industrial/office building with small scale pharmacy (1,880 sq.) with underground/surface parking.</b>
<b>Address:</b>	<b>6625-152A Street in East Newton Business Park</b>
<b>Developer:</b>	<b>0720485 BC Ltd.</b>
<b>Architect:</b>	<b>Marco Ciriello, Lo Studio Architecture Inc.</b>
<b>Landscape Architect:</b>	<b>Meredith Mitchell, M2 Landscape Architecture</b>
<b>Planner:</b>	<b>Doris Ho</b>
<b>Urban Design Planner:</b>	<b>Nathan Chow/Mary Beth Rondeau</b>

The Acting City Architect provided the following comments:

- Staff has no specific issue with use, height or density.
- Medical offices are proposed on the second floor which are generally supported.

The **Project Architect** presented a detailed overview of the site plan, building plans and elevations. The following was highlighted:



- It was a challenge to meet the grade requirements as the site slopes from west to east. The commercial along the street responds to the grades.

The **Landscape Architect** presented a detailed overview of the landscape plans. The following was highlighted:

- The corner plaza has special paving, benches and matches the entrance plaza of adjacent consistent with other sites in the business park.
- Landscape has helped to step down the significant grade difference.

**ADVISORY DESIGN PANEL STATEMENT OF REVIEW**  
**NCP Amendment, Rezoning, DP and DVP to permit a 2-storey**  
**industrial/office building with small scale pharmacy (1,880 sq.) with**  
**underground/surface parking.**  
 File No. 7915-0363-00

It was Moved by A. Scott  
 Seconded by M. MacCaull  
 That the Advisory Design Panel (ADP)  
 recommends C – that the applicant address the following issues to the satisfaction  
 of the Planning & Development Department and, at the discretion of Planning staff,  
 resubmit the project to the ADP for review.

Carried

**STATEMENT OF REVIEW COMMENTS**

The Panel appreciated the thoughtful presentation and generally supported the proposal.

**Site**

- Clear and logical organization of site.

*(Noted.)*

- Truck turning for loading appears to be tight and should be closer to office entrance.

*(The truck turning pattern has been shown on the plans. The required maneuvering space is provided.)*

**Building Form and Character**

- Recommend further definition for northwest corner to identify as entry or not. Corner element feels a bit out of place and the rendering is different from what is in package. Establish a rhythm and some detail for each one of the units. The conjoining unit shouldn't be the same as the others; still unresolved.

Corner treatment is strong in perspective; suggest making the corner more expressive of the tilt-up typology.

*(The corner has been revised and ambiguity eliminated. The units have a distinct expression represented by the element above the canopy [like square arches] which identify the entrances as well.)*

- Recommend greater articulation to better express the main entrance to the building at northeast corner as well.

*(The glazing at the main entrance to the building has been increased in order to better express the important function.)*

- Reconsider use of composite material as a decorative element particularly where it appears to be glued to the canopy and the large area shown on the rear east corner of the building. Formliners were suggested by architect.

*(Formliners have been introduced.)*

- Consider a richer colour palette. The current colours are subdued and neutral; suggest picking up noble materials such as stone in place of coloured concrete to give a more modern look.

*(In view of other changes that have been implemented to respond to other comments from the panel [i.e. increase in glazing], the design has been enhanced.)*

- Appreciate the signage strategy for each unit. Single raised letters adds good context and scale.

*(Noted.)*

- Recommend adding weather protection panels along the pedestrian frontages and at the north east corner entry.

*(The canopy has been extended to provide continuous protection and it has been added at the entrance of the office at the second floor.)*

- Concern with the effectiveness of the sunscreen elements; appear to be decorative.

*(The sun screen has been revised.)*

- Recommend raising parapet at east elevation to screen roof top units.

*(The roof top units have been screened.)*

- Suggest use of openable windows at the office level. Encourage further study of how this can be achieved.

*(Openable windows have been added.)*

## **Landscaping**

- Landscape appears to be light in the parking area. Consider opportunity to swap parking for more landscaping.

*(Trees have been added in the parking area.)*

- Appreciate consistency of plant and tree palette as part of larger context of public realm/sidewalk treatment. (less = more)

*(Noted.)*

## **CPTED**

- There were no comments or concerns with CPTED.

## **Accessibility**

- There were no comments pertaining to accessibility.

## **Sustainability**

- Consider how entrance vestibules will be incorporated per Energy Code requirements.

*(Vestibules have been shown.)*

- Consider curb cuts adjacent to rain garden/swale.

*(Curb cuts have been introduced.)*

- Consider bioremediation soil for rain garden in specifications.

*(There will be new growing medium in the rain garden; co-ordination will be done with the landscaping supplier for bioremediation soil if available.)*

- Suggest home boulevard trees on the plans.

*(The Planning Department has asked not to show street trees in the boulevard. The developer pays cash-in-lieu for street trees. The developer is responsible for correctly grading the boulevards and install sod and street trees will be planted by the City.)*

- Encourage further study of glazing shading devices.

*(Sun shades have been revised.)*

CITY OF SURREY

BY-LAW NO. \_\_\_\_\_

A by-law to amend "Surrey Zoning By-law, 1993, No. 12000,  
Amendment By-law, 2011, No. 17404"

.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

1. "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law 2011, No. 17404" is hereby amended as follows:

(a) Delete and replace the legal and civic addresses under Part 1 following "TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)" as follows:

Parcel Identifier: 029-386-403  
Lot A Section 14 Township 2 New Westminster District Plan EPP31363  
6678 – 152A Street

Parcel Identifier: 029-570-221  
Lot 1 Section 14 Township 2 New Westminster District Plan BCP49715  
15336 and 15358 – 67 Avenue

Parcel Identifier: 028-737-881  
Lot 7 Section 14 Township 2 New Westminster District Plan BCP49715  
6625 - 152A Street

Parcel Identifier: 028-737-890  
Lot 4 Section 14 Township 2 New Westminster District Plan BCP49715  
6611 – 152A Street

Parcel Identifier: 028-737-903  
Lot 5 Section 14 Township 2 New Westminster District Plan BCP49715  
6638 – 152A Street

Parcel Identifier: 028-737-873  
Lot 6 Section 14 Township 2 New Westminster District Plan BCP49715  
6680 – 152A Street

Parcel Identifier: 028-737-938  
Lot 8 Section 14 Township 2 New Westminster District Plan BCP49715  
15380 – 67 Avenue

Parcel Identifier: 028-737-946  
Lot 9 Section 14 Township 2 New Westminster District Plan BCP49715

6655 – 154 Street

Parcel Identifier: 028-737-954  
Lot 10 Section 14 Township 2 New Westminster District Plan BCP49715

6633 – 154 Street

Parcel Identifier: 028-737-920  
Lot 11 Section 14 Township 2 New Westminster District Plan BCP49715

15315 – 66 Avenue

- (b) In Section 2.B Permitted Uses, delete the introductory clause and replace with the following:

"The *Lands and structures* shall be used for the following uses only, or for a combination of such uses within Blocks A, B, and C as shown on the Survey Plan prepared by Lakhjot S. Grewal B.C.L.S. and dated May 24, 2017, attached hereto and forming part of this By-law as Schedule A."

- (c) Delete the heading "Block A" for Section 2.B.1. and replace it with a new heading, "Blocks A and A<sub>1</sub>".

- (d) Sub-section 2.B.1.(f) is amended by inserting a new Sub-section 2.B.1.(f) viii immediately following Sub-section 2.B.1.(f) vii as follows:

"viii. *Small-scale drug store* on Block A<sub>1</sub> only provided:

- a. The *small-scale drug store* does not exceed a total *gross floor area* of 167 square metres [1,800 sq. ft.];
- b. The *small-scale drug store* is an *accessory use* only to offices of medical doctors who are licensed with the College of Physicians and Surgeons;
- c. There is not more than one *small-scale drug store* on Block A<sub>1</sub>;
- d. The *small-scale drug store* is contained in the same principal building as the medical doctors' offices."

- (e) Delete Schedule A, dated May 4, 2011 and replace with the attached Schedule A, prepared by Lakhjot S. Grewal B.C.L.S. and dated May 24, 2017.

2. This By-law shall be cited for purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law 2011, No. 17404, Text Amendment By-law, 2017, No. \_\_\_\_\_."

PASSED FIRST AND SECOND READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20 .

PUBLIC HEARING HELD thereon on the \_\_\_\_\_ th day of \_\_\_\_\_, 20 .

PASSED THIRD READING ON THE \_\_\_\_\_ th day of \_\_\_\_\_, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the \_\_\_\_\_ th day of \_\_\_\_\_, 20 .

\_\_\_\_\_ MAYOR

\_\_\_\_\_ CLERK

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY BYLAW No. \_\_\_\_\_  
OVER LOT 3 SECTION 14 TOWNSHIP 2  
NWD PLAN BCP49715**



SCALE 1:2000 DISTANCES ARE IN METRES

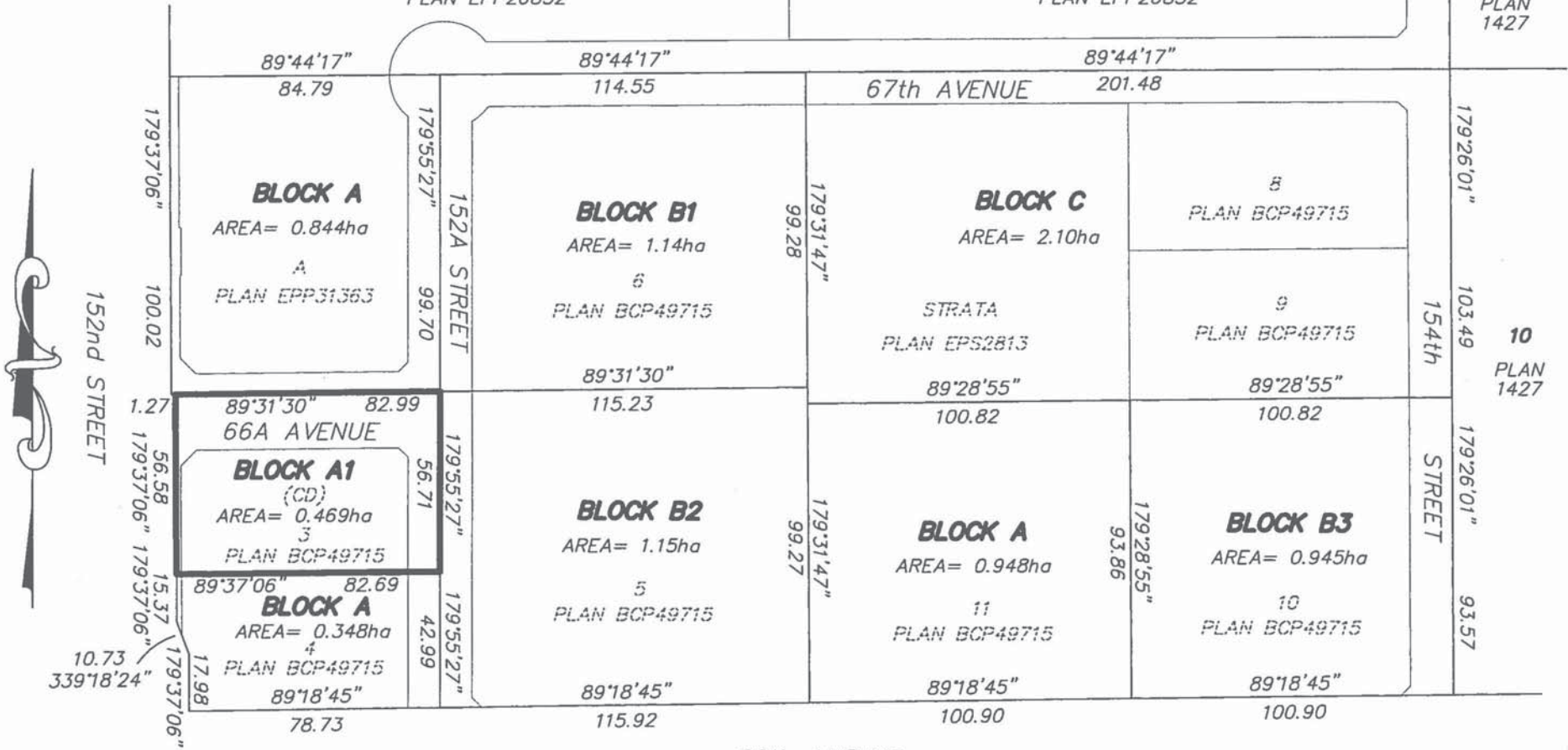
CITY OF SURREY

GRID BEARINGS ARE DERIVED FROM PLAN BCP49715.

REM 1  
PLAN EPP26852

REM 2  
PLAN EPP26852

9  
PLAN  
1427



CERTIFIED CORRECT THIS 24th DAY OF MAY, 2017.

66th AVENUE

**LEGEND**

ha DENOTES HECTARE

**GREWAL & ASSOCIATES  
PROFESSIONAL LAND SURVEYORS**  
UNIT 204, 15299-68th AVENUE  
SURREY, B.C. V3S 2C1  
TEL: 604-597-8567  
EMAIL: Office@GrewalSurveys.com  
FILE : 1705-021  
DWG : 1705-021 RZ-2A

LAKHJOT S. GREWAL  
B.C.L.S.

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7915-0363-00

Issued To: 0720485 B.C. LTD.  
("the Owner")

Address of Owner: 11840 - 82 Avenue  
Delta, BC V4C 2C6

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 028-737-881  
Lot 3 Section 14 Township 2 New Westminster District Plan BCP49715

6625 - 152A Street

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, Amendment By-law 2011, No. 17404, as amended is varied as follows:
  - (a) In Section F, Yards and Setbacks, the minimum front yard setback (west) is reduced from 7.5 metres (25 ft.) to 7.0 metres (23 ft.); and
  - (b) In Section F, Yards and Setbacks, the minimum side yard on flanking street (north) setback is reduced from 7.5 metres (25 ft.) to 5.0 metres (16 ft.).
4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) In Section E.28 of Part 4, General Provisions, the minimum separation distance from the lot line between drug stores, small-scale drug stores or methadone dispensaries is reduced from 400 metres (1,300 ft.) to 340 metres (1,115 ft.) to permit a small-scale drug store on the Land.



5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
  
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
  
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
  
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
  
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

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Mayor – Linda Hepner

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City Clerk – Jane Sullivan

