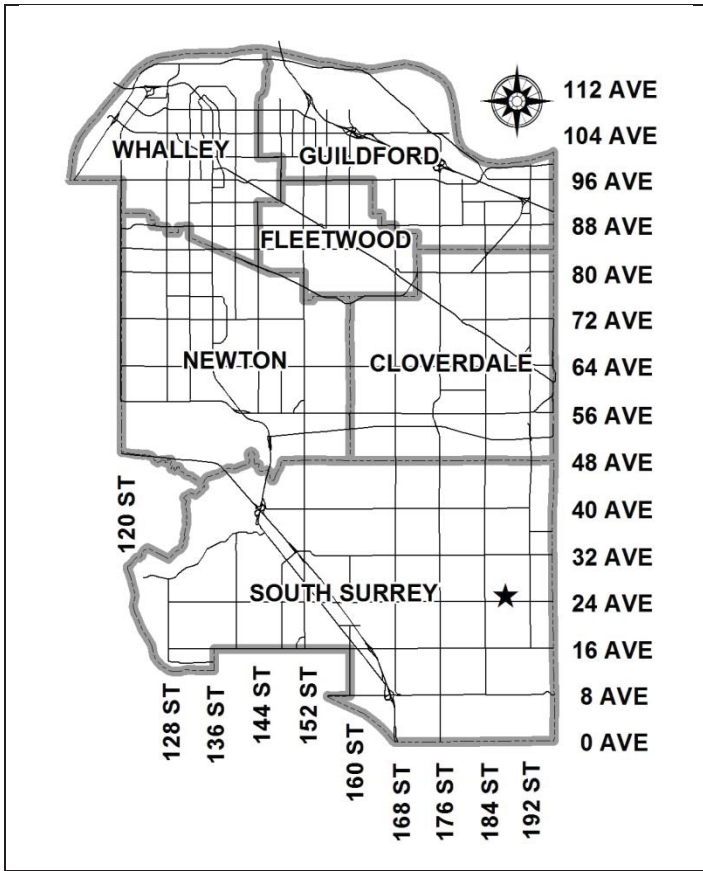


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7915-0353-00

Planning Report Date: June 27, 2016



PROPOSAL:

- Development Permit
- Development Variance Permit

to permit the development of a cold storage industrial facility.

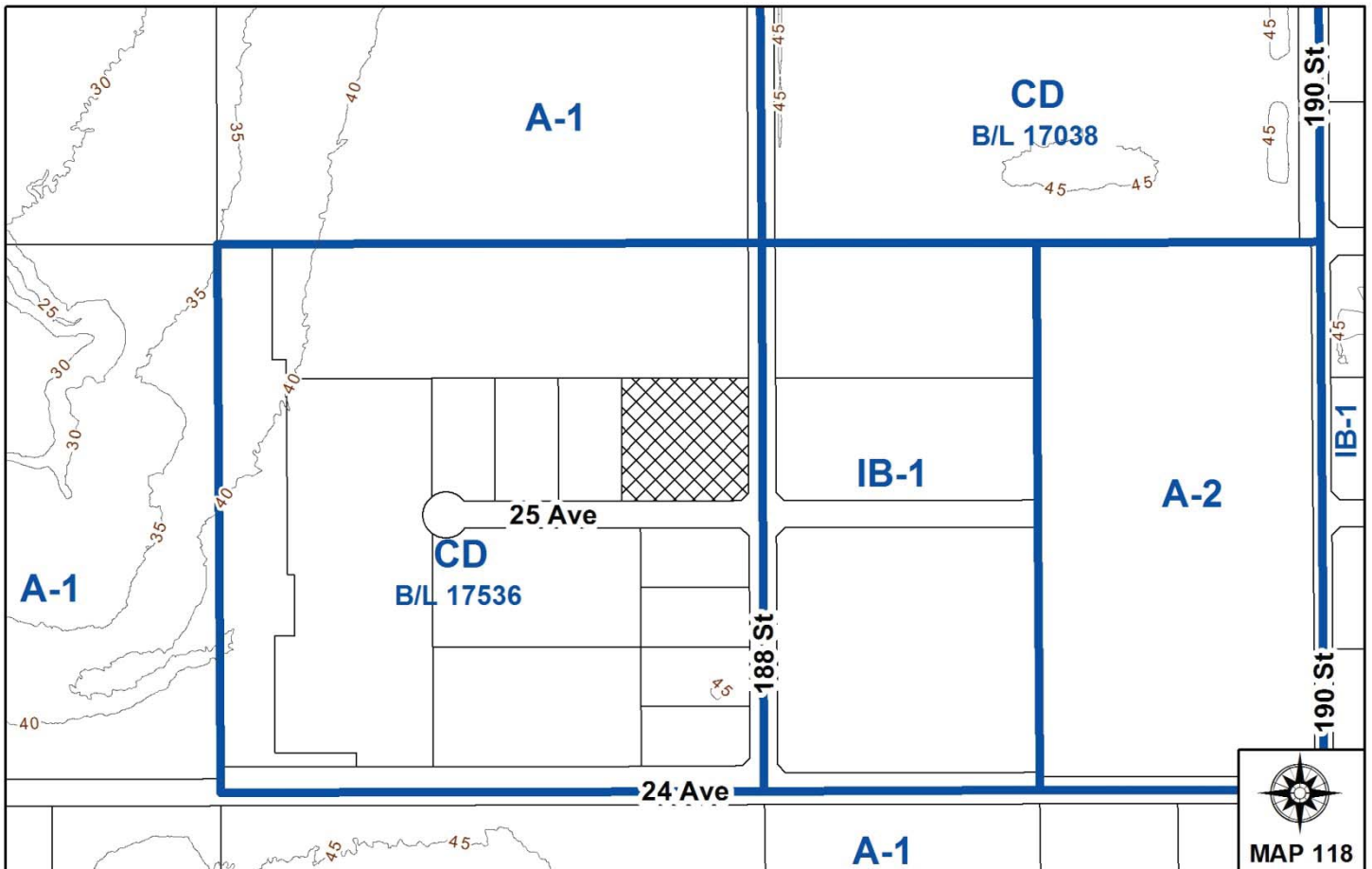
LOCATION: 18787 - 25 Avenue

OWNER: Subzero Cold Logistics Inc

ZONING: CD (By-law No. 17536)

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Technology or Business Park



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- A Development Variance Permit is required to vary the width of the northern truck maneuvering aisle from 7.5 metres (25 ft.) to 5.5 metres (18 ft.) for proposed one-way truck traffic.

RATIONALE OF RECOMMENDATION

- The proposal complies with the OCP Designation and with the Campbell Heights Business Park Local Area Plan.
- The form and character of the proposed building meets the intent of the Campbell Heights Development Design Guidelines and the design guidelines of General Development Permit No. 7910-0301-00.
- The proposed reduced width of the drive aisle is acceptable for one-way traffic operation.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7915-0353-00 generally in accordance with the attached drawings (Appendix II).
2. Council approve Development Variance Permit No. 7915-0353-00 (Appendix V) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum width of the truck maneuvering aisle along the northern property line from 7.5 metres (25 ft.) to 5.5 metres (18 ft.);
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect; and
 - (c) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: The site is a vacant pre-serviced lot.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North:	Nova Pole International Inc.	Mixed Employment / Technology Park or Business Park	CD (By-law No. 17536)

Direction	Existing Use	OCP/NCP Designation	Existing Zone
East (Across 188 Street):	Development Application No. 7910-0308-00 for consolidation with existing Loblaws facility to the north	Mixed Employment / Technology Park or Business Park	IB-1
South (Across 25 Avenue):	Development Application No. 7915-0163-00 for a warehouse / distribution centre building	Mixed Employment / Technology Park or Business Park	CD (By-law No. 17536)
West:	Vacant industrial site	Mixed Employment / Technology Park or Business Park	CD (By-law No. 17536)

DEVELOPMENT CONSIDERATIONS

Context

- The subject 0.839 hectare (2.07 acres) site is located at the northwest corner of 25 Avenue and 188 Street, and is designated Mixed Employment in the Official Community Plan (OCP), and Technology Park or Business Park in the Campbell Heights Local Area Plan.
- In November 2012, the property was rezoned to CD Zone (By-law No. 17536), allowing for light impact industry, warehouse uses, distribution centres, along with limited office and other accessory uses. A General Development Permit was issued as part of the same Development Application (No. 7910-0301-00).
- The site was serviced for development under the original rezoning and subdivision applications (No. 7910-0301-00).

Proposal

- The applicant is proposing a Development Permit to facilitate the development of a cold storage industrial building.
- The total floor area of the building is proposed to be 4,042 square metres (43,503 sq. ft.), of which 3,682 square-metre (39,634 sq. ft.) is warehouse and 360 square-metre (3,870 sq. ft.) is office. The proposed Floor Area Ratio (FAR) of 0.48 complies with the maximum 1.0 FAR for the site.
- The form, character and density of the proposed development comply with the Campbell Heights Local Area Plan (LAP) and meet the guidelines of the General Development Permit and requirements of the CD Zone (By-law No. 17536), including floor area, lot coverage, building height and building setbacks.

Access and Parking

- Two accesses are proposed, one on 25 Avenue and one on 188 Street. The access on 25 Avenue is proposed as egress only, with one-way truck traffic entering on 188 Street and existing on 25 Avenue. For vehicles utilising the main parking area, access and egress are permitted on 188 Street.

- The proposal includes a total of 41 parking stalls, which meets the Zoning By-law requirement of 41 parking stalls. This includes one disabled parking. The parking stalls are mostly concentrated along the frontage on 188 Street, with some additional stalls located along the north and west property lines.
- The maneuvering aisle along the north property line is proposed to be reduced (see Development Variance Permit section) from 7.5 metres (25 ft.) to 5.5 metres (18 ft.), which is acceptable to facilitate one-way movement within the site. The applicant will be required to post “one-way” and “do not enter” signs to facilitate this movement.

DESIGN PROPOSAL AND REVIEW

- The proposed warehouse facility will be oriented towards the intersection at 25 Avenue and 188 Street.
- The proposed building is consistent with the design guidelines outlined in General Development Permit No. 7910-0301-00 and the OCP, and is reflective of the existing design standards within the area. The development concept behind Campbell Heights is a high quality, sustainable industrial business park.
- The office component is proposed as a two-storey 360 square-metre (3,870 sq. ft.) portion at the southeast corner of the building, close to intersection of 25 Avenue and 188 Street.
- Overall, the building is proposed to have a modern linear appearance. The proposed building construction includes tilt up concrete panels, steel structure, synthetic rubber roofing and glazing systems. The proposed colour scheme uses shades of grey and blue.
- A plaza is provided at the southern corner of the building, connecting the building entrance and office components to 188 Street and 25 Avenue. As no parking is proposed along 25 Avenue, a 7.5 metre (25 ft.) landscape buffer is provided, which includes a bioswale. At the intersection, there is a hardscaped plaza with seating area and bike racks, as well as linear block of low colourful planting. Along 188 Street, landscaping includes a bioswale, low planting, and a row of trees alternating October Glory (Acer Rubrum) and White Fir (Abies Concolor). Decorative paving is proposed at both driveway entrances.
- At the northwest portion of the site there is a Douglas Fir that is proposed to be retained. Adjacent to the tree, a staff area is proposed with some seating space and landscaping.
- Fascia signs are not included in this proposal. A free-standing sign is proposed at the corner of 25 Avenue and 188 Street, close to the pedestrian plaza. The sign complies with all Sign By-law requirements for setbacks, maximum height and sign area.

PRE-NOTIFICATION

On June 10, 2016 a development proposal sign was posted on the site and on November 18, 2015, the project was referred to the Little Campbell Watershed Society (LCWS) for review and comment. The LCWS has indicated they have no objection to the proposal as there is no apparent short-term impact on the Little Campbell River. Staff have received no other comment in response to the proposal.

TREES

- Michael Mills, ISA Certified Arborist of PMG Landscape Architects prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder / Cottonwood	0	0	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Cherry	2	2	0
Birch	1	1	0
Coniferous Trees			
Douglas Fir	1	0	1
Total (excluding Alder and Cottonwood Trees)	4	3	1
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		21	
Total Retained and Replacement Trees		22	
Contribution to the Green City Fund		n/a	

- The Arborist Assessment states that there are a total of 4 protected trees on the site, with no Alder and Cottonwood trees. It was determined that 1 tree can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 6 replacement trees on the site. The applicant is proposing 21 replacement trees, exceeding City requirements.
- The new trees on the site will consist of a variety of trees including Abies Concolor, Acer Rubrum (“October Glory”), Malus (“Red Jewel”) and Quercus Palustris (“Crown Right”), as well as a variety of shrubs and grass.
- In summary, a total of 22 trees are proposed to be retained or replaced on the site with no contribution required to the Green City Fund.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on April 07, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> The proposal complies with the site's OCP designation, the Campbell Heights LAP designation and the existing zoning.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> The proposed 0.48 FAR is within maximum 1.0 FAR for the site. The proposal includes public outdoor amenity areas.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> n/a
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> Bike racks are provided in the plaza area.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> CPTED design principles have been applied, including lighting, glazing and landscaping.
6. Green Certification (F1)	<ul style="list-style-type: none"> n/a
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> n/a

ADVISORY DESIGN PANEL

The application was not referred to the Advisory Design Panel (ADP), but was reviewed by City Staff and found to be satisfactory.

The proposed development was evaluated based on compliance with the design guidelines approved under General Development Permit No. 7910-0301-00, the Campbell Heights Local Area Plan Design Guidelines and the OCP.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- Reduce the minimum width of the north truck maneuvering aisle from 7.5 metres (25 ft) to 5.5 metres (18 ft).

Applicant's Reasons:

- The drive aisle is designed to accommodate one-way traffic only. The 7.5 metres standard for drive aisles is acceptable for two-way traffic but unnecessarily wide for one-way traffic.

Staff Comments:

- The site is designed to function well as a one-way loop for trucks that need to access the rear of the building.
- “One-way traffic” and “no entry” signs are required to be installed at the access/egress of the one-way traffic respectively.
- The Engineering Department has reviewed the proposal and has no objections to the proposed reduction in drive-aisle width.
- Staff support the proposed variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Survey Plan, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	Development Variance Permit No. 7915-0353-00

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Krahn Group of Companies and PMG Landscape Architects, respectively, dated May 17, 2016 and May 16, 2016.

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

LFM/ar

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KD 6/22/16 3:00 PM

DEVELOPMENT DATA SHEET

Existing Zoning: CD By-law No. 17536

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		8,391.39 m ²
Gross Total		
Road Widening area		n/a
Undevelopable area		n/a
Net Total		8,391.39 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	60%	44%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front (E)	16 m / 7.5 m	16.3 m / 13 m
Rear (W)	7.5 m	17.4 m
Side #1 (N)	3.6 m	8.5 m
Side #2 on Flanking Street (S)	7.5 m	7.5 m
BUILDING HEIGHT (in metres/storeys)		
Principal	14 m	14 m
Accessory	6 m	n/a
FLOOR AREA: Commercial		
Office		359.54 m ²
FLOOR AREA: Industrial		3,682.01 m ²
TOTAL BUILDING FLOOR AREA	8,391.39 m ²	4,041.55 m ²
DENSITY		
FAR (net)	1.0	0.48
PARKING (number of stalls)		
Industrial	41	41
Total Number of Parking Spaces	41	41
Number of disabled stalls	1	1
Number of small cars	-	-

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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SUBZERO COLD LOGISTICS

18787 25 AVENUE, SURREY, BC.



NOT FOR CONSTRUCTION

1	REVISION	NO REVISIONS FOR
2	REVISION	REVISION TO 25.01.2019
3	REVISION	REVISION TO 25.01.2019
4	REVISION	REVISION TO 25.01.2019
5	REVISION	REVISION TO 25.01.2019
6	REVISION	REVISION TO 25.01.2019
7	REVISION	REVISION TO 25.01.2019
8	REVISION	REVISION TO 25.01.2019
9	REVISION	REVISION TO 25.01.2019
10	REVISION	REVISION TO 25.01.2019

SHEET LIST

ARCHITECTURAL
 A0.1 COVER PAGE
 A0.2 PERSPECTIVES
 A1.1 CODE ANALYSIS AND CODE PLANS
 A2.1 SITE PLANS
 A2.2 SITE DETAILS
 A3.1 MAIN FLOOR PLAN
 A3.2 MEZ FLOOR PLAN
 A3.3 ROOF PLAN
 A4.1 ELEVATIONS
 A4.2 ELEVATIONS
 A5.1 SECTION ELEVATIONS
 A5.2 WALL SECTIONS
 A6.1 ENLARGED FLOOR PLANS
 A6.2 START PLANS SECTIONS AND DETAILS
 A6.3 EXTERIOR START PLANS SECTIONS
 A7.1 DETAILS
 A8.1 DOOR AND WINDOW SCHEDULES

LANDSCAPE
 L1 TREE PLAN
 L2 SMILE PLAN
 L3 TREE MANAGEMENT PLAN
 L4 LANDSCAPE DETAILS
 L5 LANDSCAPE SPECIFICATIONS

CIVIL
 C1 LOCATION PLANS & GENERAL NOTES
 C2 SITE GRADING PLAN
 C3 SITE SERVICES PLAN

PROJECT TEAM

ARCHITECT OF RECORD
 LARRY PODHORA ARCHITECT
 1555 BRACOMAN WAY
 SAANICH, BC V8L 0C2
 CONTACT: LARRY PODHORA

BUILDING DESIGN
 KRAHN ENGINEERING LTD.
 210 - 1311 KOOTENAY STREET
 VANCOUVER, BC V5K 4T3
 P: 604.294.6662 F: 604.294.6665
 CONTACT: SCOTT DELGATTY

REFRIGERATION
 FRASER VALLEY REFRIGERATION LTD.
 26121 FRASER HWY
 ALDERGROVE, BC V4W 2W8
 P: 604.850.8844 F: 604.853.7788
 CONTACT: RICK CUSTEAU

STRUCTURAL
 KRAHN ENGINEERING LTD.
 210 - 1311 KOOTENAY STREET
 VANCOUVER, BC V5K 4T3
 P: 604.294.6662 F: 604.294.6665
 CONTACT: WALID SALMA Y

CIVIL
 KM CIVIL CONSULTANTS LTD.
 400 - 34077 GLADYS AVENUE
 ABBOTSFORD, BC V3G 3E8
 P: 604.853.8331 F: 604.853.1580
 CONTACT: STUART MCGREGOR

MEDICAL
 KD MECHANICAL CONSULTANTS LTD.
 405 - 34077 GLADYS AVENUE
 ABBOTSFORD, BC V2S 3E8
 P: 604.853.8331 F: 604.853.1580
 CONTACT: CHAD NIYRANIG

LANDSCAPE
 PMO LANDSCAPE ARCHITECTS
 C100 - 4185 STILL CREEK DR.
 BURNABY, BC V5C 6G9
 P: 604.294.0011
 CONTACT: REBECCA COLTER KREBS

ELECTRICAL
 KD ELECTRICAL CONSULTANTS LTD.
 405 - 34077 GLADYS AVENUE
 ABBOTSFORD, BC V2S 3E8
 P: 604.853.8331 F: 604.853.1580
 CONTACT: RODRIGUE ROUHANA

INTERIOR DESIGNER
 KG INTERIOR DESIGN LTD.
 400 - 34077 GLADYS AVENUE
 ABBOTSFORD, BC V2S 3E8
 P: 604.853.8331 F: 604.853.1580
 CONTACT: SUZANNE GRATHAM

larry podhora / architect
 1555 BRACOMAN WAY, SAANICH BC V8L 0C2

PROJECT NAME
SUBZERO COLD LOGISTICS
 PROJECT ADDRESS
 18787 25 AVENUE, SURREY, BC.

COVER PAGE

DATE
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 CHECKED BY
 PROJECT NO.
 SHEET NO.

A0.1

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2 PERSPECTIVE TWO
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3 PERSPECTIVE THREE
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ASSOCIATION OFFICE
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larry pothora / architect
100 WEST 17TH AVENUE, SUITE 1000, DENVER, CO 80202

PROJECT NAME
SUBZERO COLD LOGISTICS

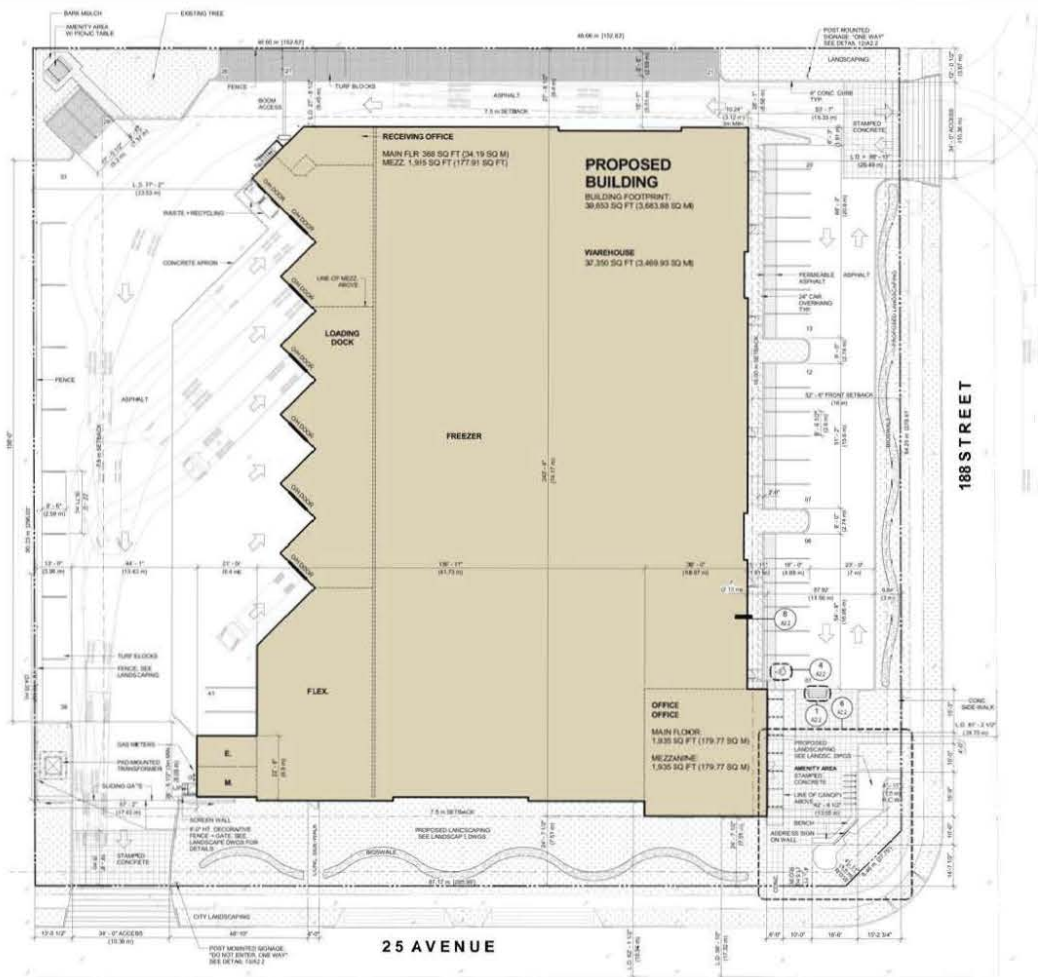
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18787 25 AVENUE, SURREY, BC

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PERSPECTIVES

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1 SITE PLAN
SCALE 1/8" = 1'-0"

CITY OF SURREY ZONING BYLAW ANALYSIS

PROPERTY INFORMATION

LOCATION: 25th AVENUE, SURREY, B.C.
LEGAL ADDRESS: PARCELS C, SECTION 11, TOWNSHIP 7, PLAN (OFFICIAL) AND
CD (COMPREHENSIVE DEVELOPMENT)

ZONING: STAFFED
S/F AREA: 43.88 ACRES (18,042 SQ. FT. (1,636,832 SQ. M.))
GENERAL SITE AREA: 2.57 ACRES (10,342 SQ. FT. (934,832 SQ. M.))

ZONING ANALYSIS

ALLOWED: M-4000 (M-4000)
PROPOSED: M-4000 (M-4000)

FLOOR SPACE RATIO

TOTAL FLOOR AREA	43,880 SQ. FT. (4,041,832 SQ. M.)
FLOOR SPACE RATIO	2.48
ALLOWED	1.00

ALLOWED HEIGHT

MAXIMUM ALLOWED	34 M (112 FT.)
PROPOSED	34 M (112 FT.)

SETBACKS

FRONT	REQUIRED: 10.0 M (33 FT.)	PROVIDED: 10.0 M (33 FT.)
REAR	REQUIRED: 10.0 M (33 FT.)	PROVIDED: 10.0 M (33 FT.)
LEFT	REQUIRED: 10.0 M (33 FT.)	PROVIDED: 10.0 M (33 FT.)
RIGHT	REQUIRED: 10.0 M (33 FT.)	PROVIDED: 10.0 M (33 FT.)
SIDE (ADJACENT)	REQUIRED: 10.0 M (33 FT.)	PROVIDED: 10.0 M (33 FT.)
SIDE (NON-ADJACENT)	REQUIRED: 10.0 M (33 FT.)	PROVIDED: 10.0 M (33 FT.)

TIME SAVED TRACK SPACING SHALL BE 1.0 M (3.3 FT.) OR GREATER IF THE SAME SIDE TRACK SPACING APPLICABLE TO COMMERCIAL OR INDUSTRIAL.

LANDSCAPING

PROPOSED: 10% (10%)

PARKING REQUIREMENTS

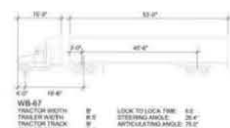
PROPOSED	3,000 SQ. FT. (278 SQ. M.)	REQUIRED	3,000 SQ. FT. (278 SQ. M.)
MINIMUM	3,000 SQ. FT. (278 SQ. M.)	PROVIDED	3,000 SQ. FT. (278 SQ. M.)
TOTAL	3,000 SQ. FT. (278 SQ. M.)	REQUIRED	3,000 SQ. FT. (278 SQ. M.)

ACCESSIBILITY PARKING REQUIRED

REQUIRED AS PER BC BUILDING CODE - # STALL CATEGORY	1 SPACES
PROVIDED	1 SPACES

PARKING SPACE SIZES

SM. SPACE AT 8'0"	REQUIRED: +2.0m x 5.5m (6'0" x 18'0")	PROVIDED: +2.0m x 5.5m (6'0" x 18'0")
DRIVE ISLAND FOR BY	REQUIRED: +7.0m (23'0")	PROVIDED: +7.0m (23'0")
LOADING SPACE	REQUIRED: +4.0m x 7.0m (13'0" x 23'0")	PROVIDED: +4.0m x 7.0m (13'0" x 23'0")
MANEUVERING AREA FOR LOADING SPACE	REQUIRED: +11.0m (36'0")	PROVIDED: +11.0m (36'0")
ACCESSIBILITY SPACE	REQUIRED: +3.0m x 5.5m (10'0" x 18'0")	PROVIDED: +3.0m x 5.5m (10'0" x 18'0")



3 CONTEXT PLAN
SCALE 1" = 300' 0"



NOT FOR CONSTRUCTION

larry pedersen / architect

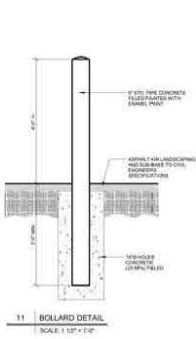
SUBZERO COLD LOGISTICS

2525 - 188 STREET, SURREY, BC

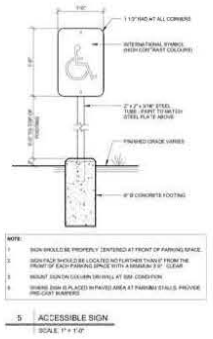
SITE PLANS

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Drawn	ML
Checked	ML
Project No.	1888
Revision No.	

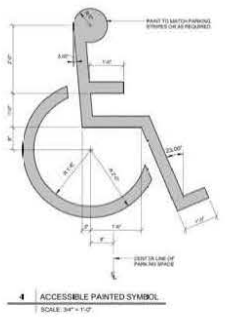
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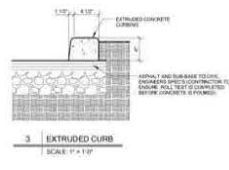
11 BOLLARD DETAIL
SCALE: 1" = 1'-0"



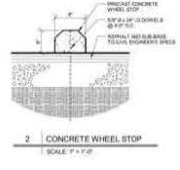
5 ACCESSIBLE SIGN
SCALE: 1" = 1'-0"



4 ACCESSIBLE PAINTED SYMBOL
SCALE: 3/4" = 1'-0"



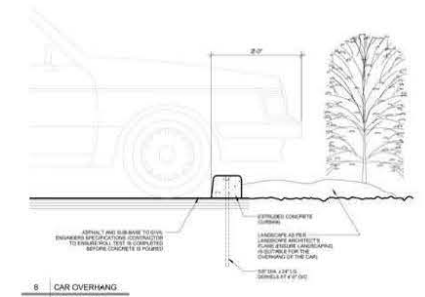
3 EXTRUDED CURB
SCALE: 1" = 1'-0"



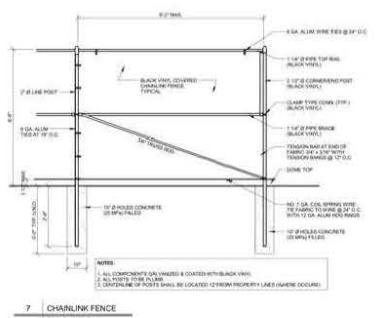
2 CONCRETE WHEEL STOP
SCALE: 1" = 1'-0"



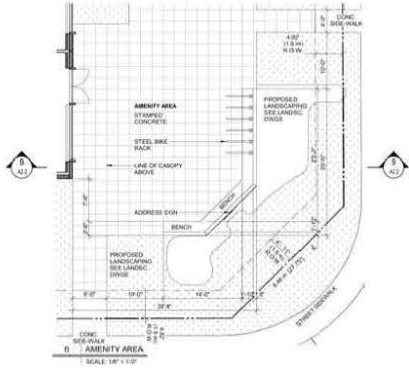
1 ACCESSIBLE LETDOWN
SCALE: 1" = 1'-0"



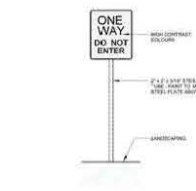
8 CAR OVERTHANG
SCALE: 1" = 1'-0"



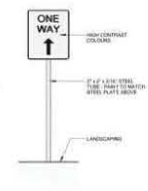
7 CHAINLINK FENCE
SCALE: 1/2" = 1'-0"



9 SECTION THROUGH AMENITY AREA
SCALE: 1/8" = 1'-0"



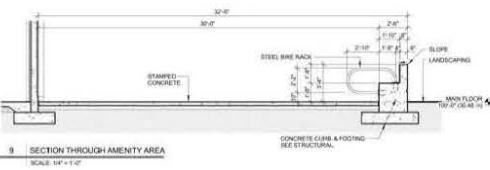
13 DO NOT ENTER SIGNAGE
SCALE: 3/4" = 1'-0"



12 ONE WAY SIGNAGE
SCALE: 3/4" = 1'-0"



10 AMENITY AREA PERSPECTIVE
SCALE: 1/8" = 1'-0"



9 SECTION THROUGH AMENITY AREA
SCALE: 1/8" = 1'-0"



NOT FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION
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larry pothora / architect

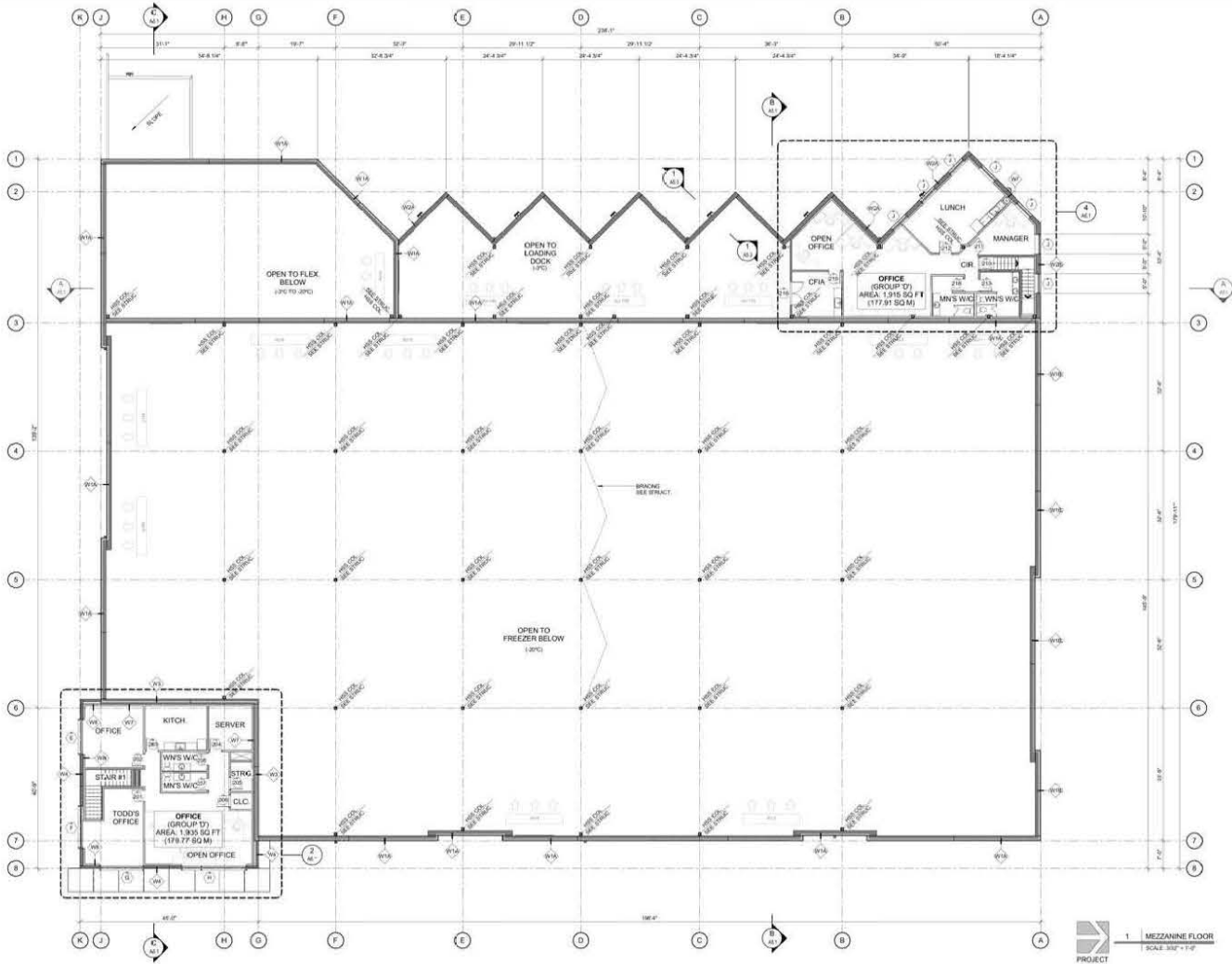
SUBZERO COLD LOGISTICS

2525 - 168 STREET, SURREY, BC

SITE DETAILS

SCALE: 1/8" = 1'-0"

A2.2



1 MEZZANINE FLOOR
SCALE: 1/8" = 1'-0"



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larry pothoia / architect
180 HURONTARIO ST. TORONTO, ONT. M5S 2R2

PROJECT NAME
SUBZERO COLD LOGISTICS

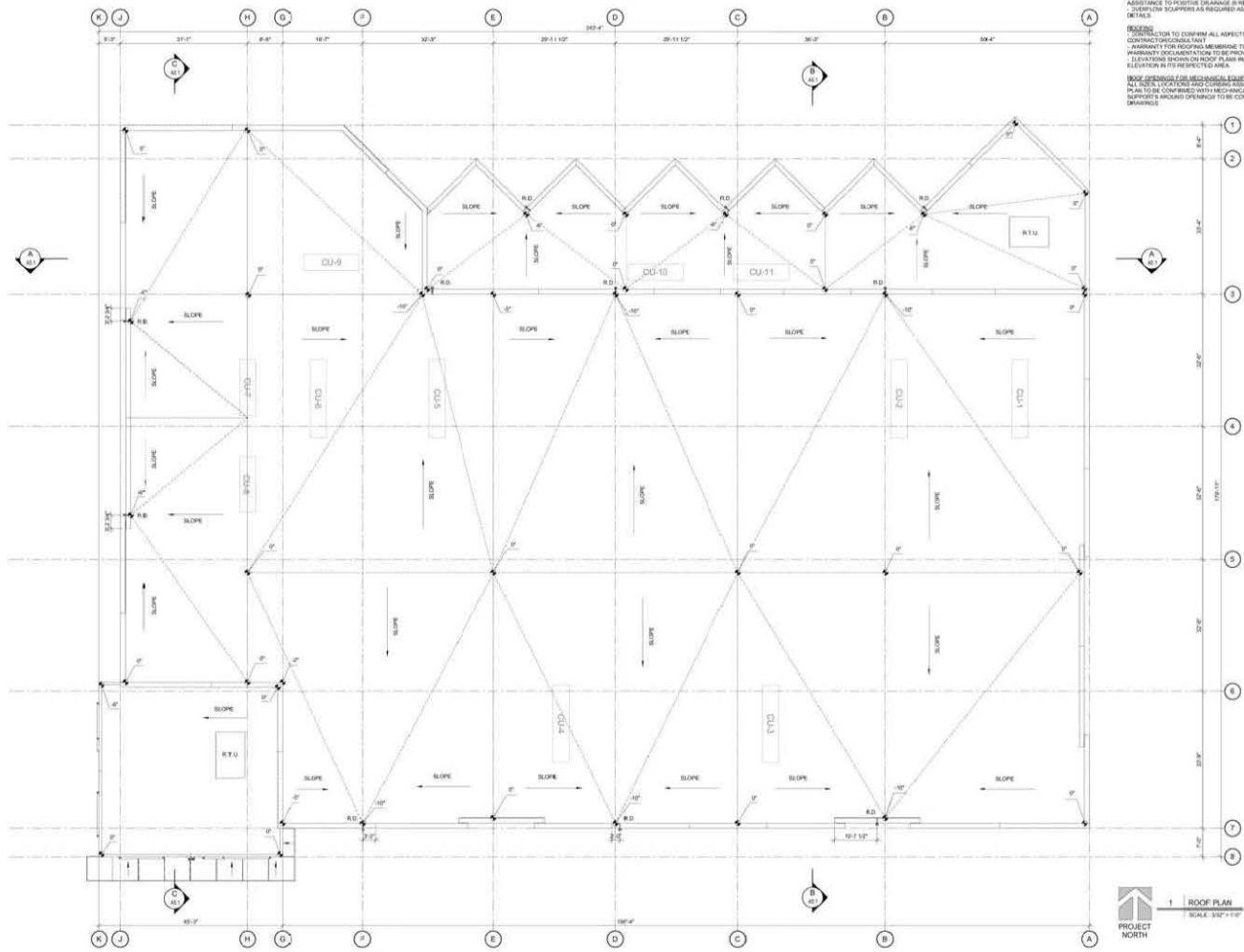
PROJECT ADDRESS
18787 25 AVENUE, SURREY, BC

PROJECT TITLE
MEZZ. FLOOR PLAN

DATE	REV	DESCRIPTION
2024-08-15	01	ISSUED FOR PERMIT
2024-08-15	02	ISSUED FOR PERMIT
2024-08-15	03	ISSUED FOR PERMIT

A3.2

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ROOF NOTES

SEE SCHEDULE DRAWINGS FOR ALL FLOOR, WALL, CEILING, AND ROOF ASSEMBLIES.

DESIGN:
 ALL ROOF DRAINS FOR MECHANICAL DRAWINGS.
 ROOF ANALYSIS TO BE PROVIDED TO DESIGN SYSTEMS PER MECHANICAL AND CIVIL DRAWINGS AND SPECIFICATIONS.
 POSITIVE DRAINAGE IS TO BE PROVIDED TO CONCRETE AT ANY LOCATIONS WHERE POSITIVE DRAINAGE IS REQUIRED.
 SUPPLIER SUPPLIERS AS REQUIRED AS NOTED ON PLANS. CONTRACTOR TO CONFIRM DETAILS.

ROOFING:
 CONTRACTOR TO CONFIRM ALL ASPECTS OF ROOF DESIGN WITH QUALIFIED ROOFING CONTRACTOR. CONTRACTOR TO BE PROVIDED BY MANUFACTURER. COPY OF MANUFACTURER DOCUMENTATION TO BE PROVIDED TO ARCHITECT GROUP OF COMPANIES. ELEVATIONS SHOWN ON ROOF PLANS INDICATE ELEVATION OFFSET FROM US DEDIC ELEVATION IN ITS RESPECTIVE AREA.

ROOF OPENINGS FOR MECHANICAL EQUIPMENT:
 ALL ROOF OPENINGS AND CURBS REQUIRED FOR MECHANICAL EQUIPMENT SHOWN ON THIS PLAN TO BE CONFIRMED WITH MECHANICAL DRAWINGS AND SUPPLIER'S SPECIFICATIONS. SUPPORTS REQUIRED DRAWINGS TO BE CONFIRMED WITH ARCHITECTURAL DRAWINGS.



ASSOCIATION OFFICE
 7500 147th Street, Surrey, BC V3W 1L7
 TEL: (604) 273-2222
 FAX: (604) 273-2223
 WWW.KRAHN.COM



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8	ISSUED	REVISIONS

larry pothoia / architect
 1877 25 AVENUE, SURREY, BC V3W 1L7

SUBZERO COLD LOGISTICS
 PROJECT ADDRESS:
 1877 25 AVENUE, SURREY, BC

ROOF PLAN

DATE:	10/20/2023
DESIGNER:	ML
CHECKED:	ML
PROJECT NO.:	187725
DRAWING NO.:	187725-01

A3.5

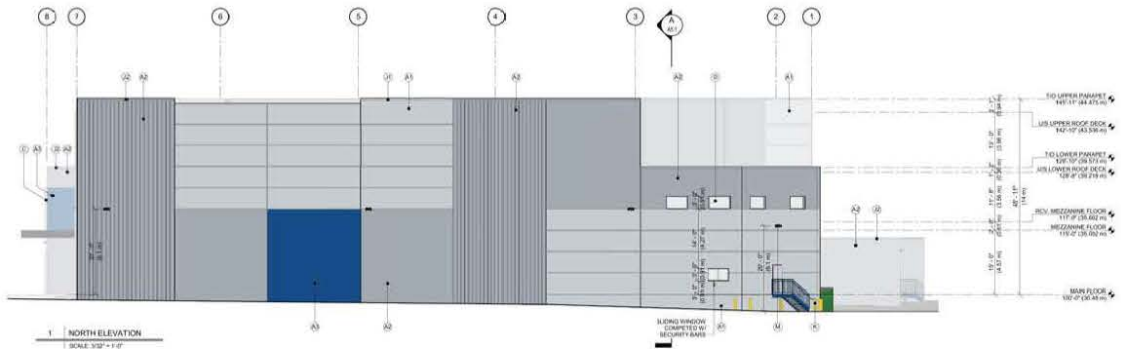
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PROJECT COLOURS

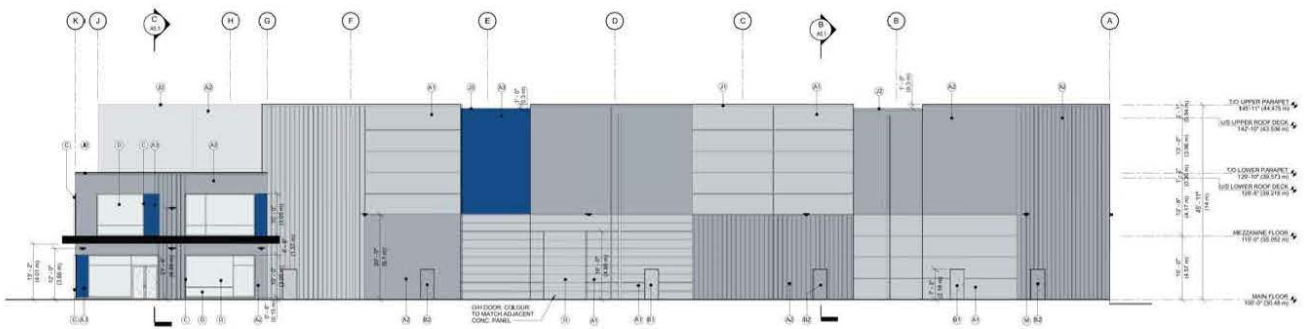
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C2	BENJAMIN MOORE	BEVER STREAM	2118-40	
C3	BENJAMIN MOORE	DARK ROYAL BLUE	2055-20	
C4	BENJAMIN MOORE	DAVIS	2133-10	

EXTERIOR FINISH LEGEND

A1	CONCRETE TILT PANEL	COLOUR C1
A2	CONCRETE TILT PANEL	COLOUR C2
A3	CONCRETE TILT PANEL	COLOUR C3
B1	STEEL WAIN DOOR	COLOUR C1
B2	STEEL WAIN DOOR	COLOUR C2
C	EXTRUDED ALUMINIUM 3 TO BE FINISH	SLASH ANNUOUS
D	VISION GLAZING	GRAY TINT
E	STEEL CANOPY	COLOUR C1
F	STEEL DOOR	COLOUR C1
G	METAL ROOF DRAIN COVER, PAINTED	COLOUR C1
H	METAL ROOF DRAIN COVER, PAINTED	COLOUR C2
J1	METAL FLASHING	PRE-FINISHED TO MATCH COLOUR C1
J2	METAL FLASHING	PRE-FINISHED TO MATCH COLOUR C2
J3	METAL FLASHING	PRE-FINISHED TO MATCH COLOUR C3
K	STEEL WALLING	VARIABLE PANEL FINISH
L	DOCK LEVELER	PRE-FINISHED
M	EXTERIOR LIGHTING	



1 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



2 EAST ELEVATION
SCALE: 3/32" = 1'-0"



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larry posnera / architect
 1000 WESTERN AVENUE, SUITE 100, VANCOUVER, BC V6H 3Y1

PROJECT NAME:
SUBZERO COLD LOGISTICS

PROJECT ADDRESS:
 2525 - 168 STREET, SURREY, BC

DATE:
ELEVATIONS

SCALE:
 DRAWN BY:
 CHECKED BY:
 PROJECT NO.:
 SHEET NO.:

A4.1

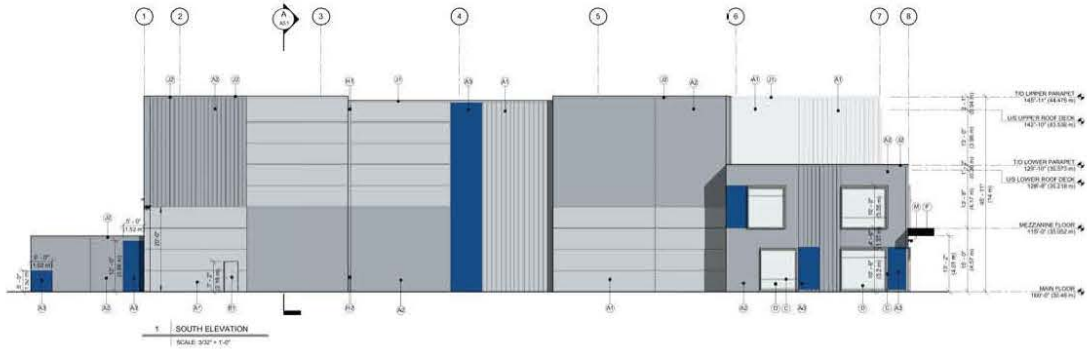
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PROJECT COLOURS

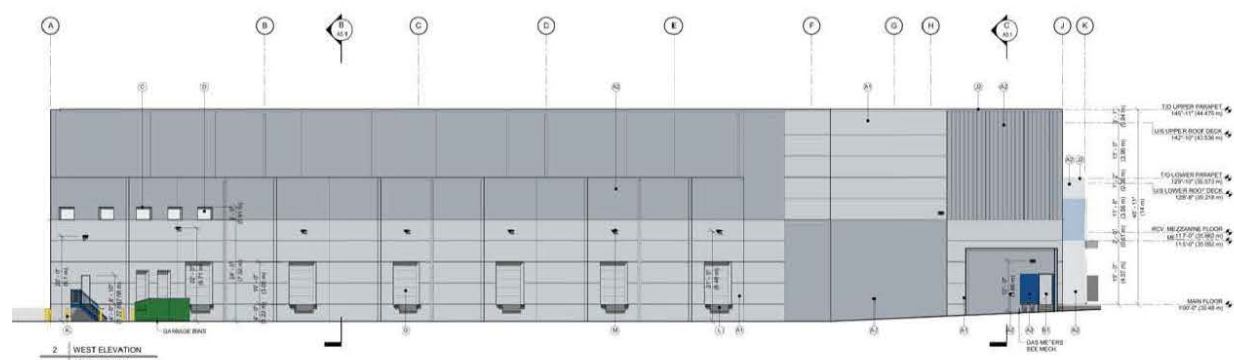
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C2	BENJAMIN MOORE	SILVER STREAM	2119-40	[Color swatch]
C3	BENJAMIN MOORE	DARK ROYAL BLUE	2763-20	[Color swatch]
C4	BENJAMIN MOORE	ONIX	2755-10	[Color swatch]

EXTERIOR FINISH LEGEND

A1	CONCRETE TILT PANEL	COLOUR C1
A2	CONCRETE TILT PANEL	COLOUR C2
A3	CONCRETE TILT PANEL	COLOUR C3
B1	STEEL MAIN DOOR	COLOUR C1
B2	STEEL MAIN DOOR	COLOUR C2
C	EXTRUDED ALUMINUM STONE FINISH	CLEAR ANKERSIZED
D	CONCRETE CLADDING	GRAPT PAINT
F	STEEL CLADDING	COLOUR C1
G	STEEL CLADDING	COLOUR C2
H1	METAL ROOF DRAIN COVER PAINTED	COLOUR C1
H2	METAL ROOF DRAIN COVER PAINTED	COLOUR C2
J1	METAL FLASHING	PRG FINISHED MATCHING COLOUR C1
J2	METAL FLASHING	PRG FINISHED MATCHING COLOUR C2
K	METAL FLASHING	PRG FINISHED MATCHING COLOUR C1
L	STEEL BOLTING	VARIABLE FINISHES PAINT
M	SOCK LEVELER	PRG FINISHED
N	EXTERIOR LIGHTING	



1 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



2 WEST ELEVATION
SCALE: 3/32" = 1'-0"



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REVISIONS

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2	2024-01-20	ISSUED FOR PERMIT REVIEW
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19	2024-07-15	ISSUED FOR PERMIT REVIEW
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larry pothora / architect
180 Westmoreland Ave. Richmond B.C. V6V 1G2

PROJECT NAME
SUBZERO COLD LOGISTICS

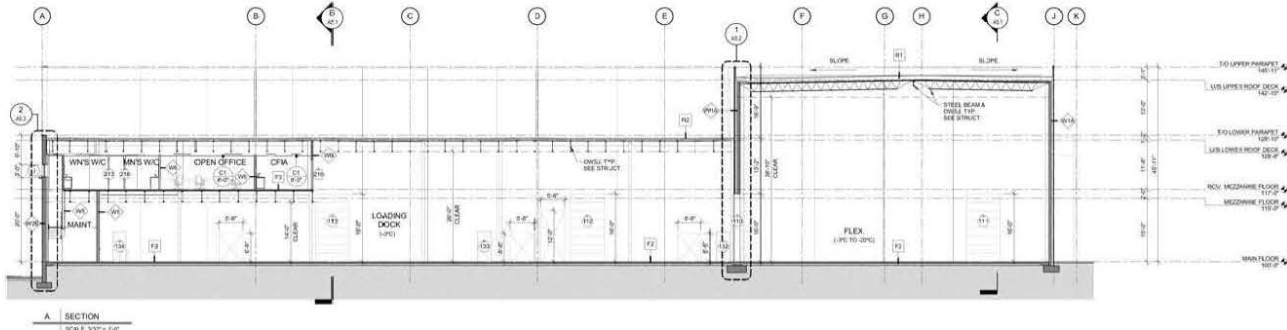
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2525 - 168 STREET, SURREY, BC

PROJECT TYPE
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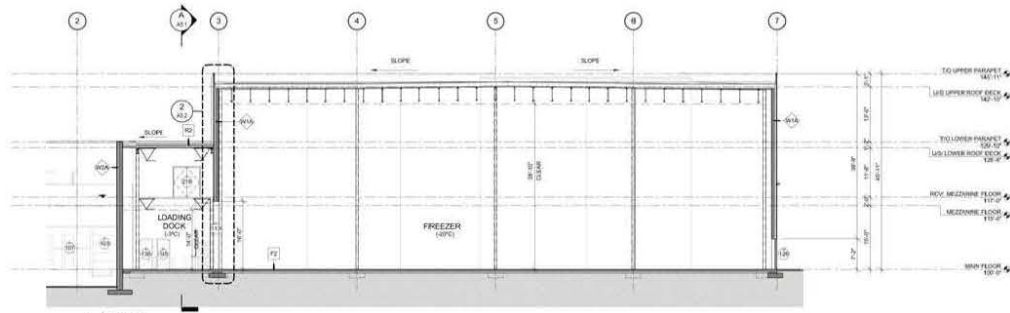
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PROJECT NAME	SUBZERO
PROJECT ADDRESS	2525 - 168 STREET, SURREY, BC

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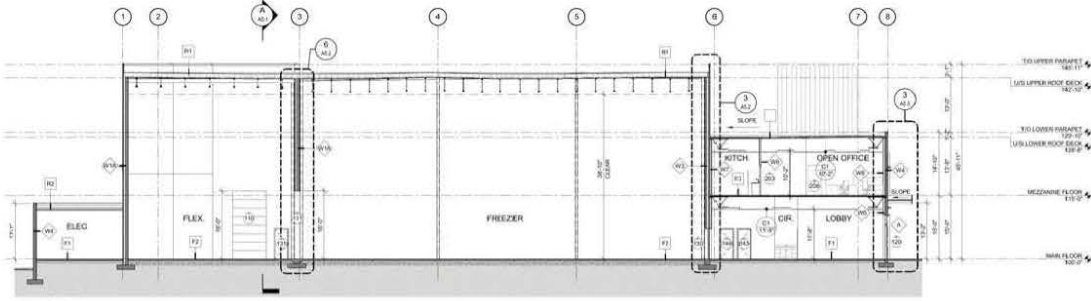
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A SECTION
SCALE 3/32" = 1'-0"



B SECTION
SCALE 3/32" = 1'-0"



C SECTION
SCALE 3/32" = 1'-0"

Krahn
GROUP OF COMPANIES

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ENGINEERING OFFICE
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MECHANICAL ENGINEERING
100-10250 147th Street, Surrey, BC V3W 1L4
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8	2024-01-15	ISSUED FOR PERMIT

larry poitro / architect
1800 WESTERN AVENUE, SUITE 200, SURREY, BC V3W 1L4

PROJECT NAME
SUBZERO COLD LOGISTICS

PROJECT ADDRESS
18787 25 AVENUE, SURREY, BC

PROJECT TYPE
BUILDING SECTIONS

SCALE
3/32" = 1'-0"

DATE
2024-01-15

PROJECT NO.
18787

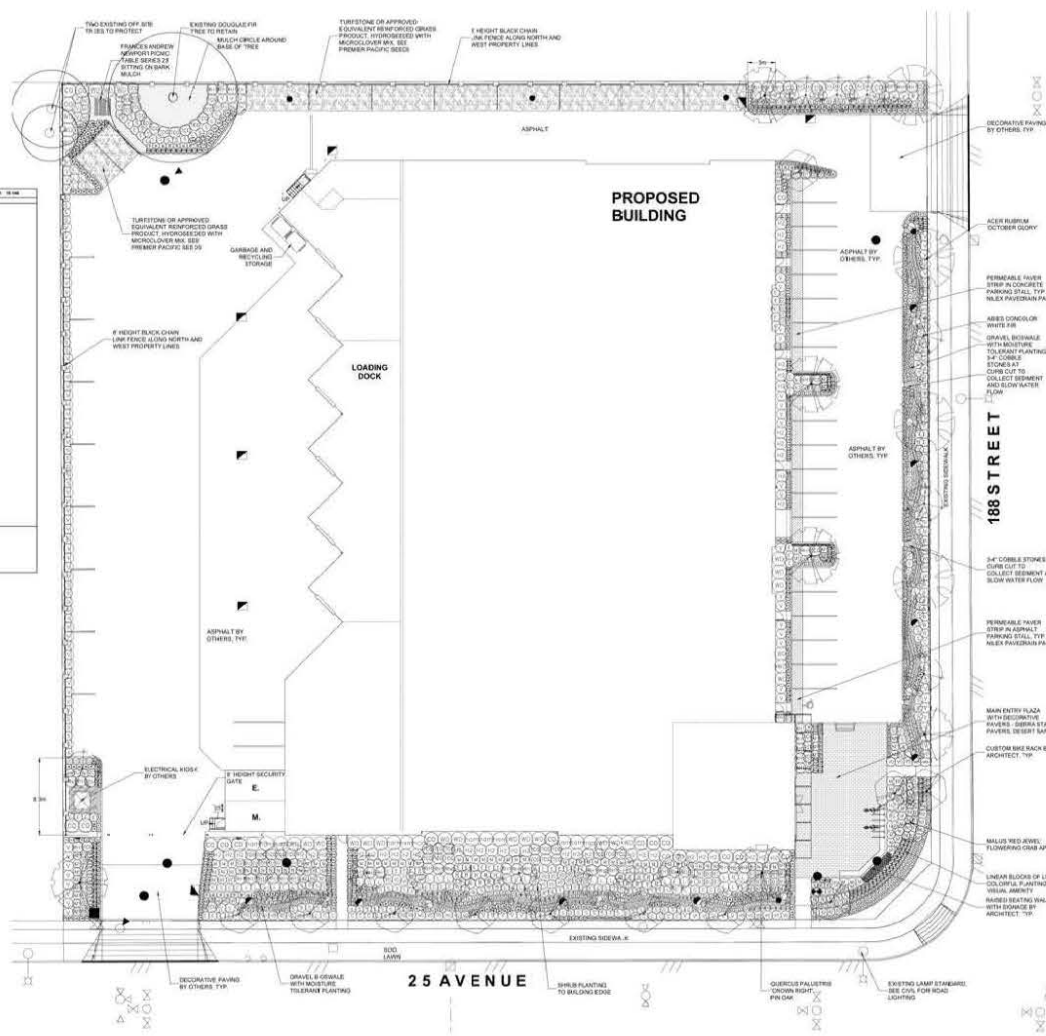
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PLANT SCHEDULE	COMMON NAME	PROVIDER NUMBER	QUANTITY
1	ASPHALT	ASPHALT	20000 SQ FT
2	PERMEABLE PAVEMENT	PERMEABLE PAVEMENT	10000 SQ FT
3	GRAVEL	GRAVEL	50000 CU YD
4	CONCRETE	CONCRETE	10000 CU YD
5	BRICK	BRICK	1000000
6	STONE	STONE	1000000
7	WOOD	WOOD	1000000
8	PLANTING	PLANTING	1000000
9	PAVING	PAVING	1000000
10	CONCRETE	CONCRETE	1000000
11	ASPHALT	ASPHALT	1000000
12	GRAVEL	GRAVEL	1000000
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14	BRICK	BRICK	1000000
15	STONE	STONE	1000000
16	WOOD	WOOD	1000000
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18	PAVING	PAVING	1000000
19	CONCRETE	CONCRETE	1000000
20	ASPHALT	ASPHALT	1000000
21	GRAVEL	GRAVEL	1000000
22	CONCRETE	CONCRETE	1000000
23	BRICK	BRICK	1000000
24	STONE	STONE	1000000
25	WOOD	WOOD	1000000
26	PLANTING	PLANTING	1000000
27	PAVING	PAVING	1000000
28	CONCRETE	CONCRETE	1000000
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30	GRAVEL	GRAVEL	1000000
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32	BRICK	BRICK	1000000
33	STONE	STONE	1000000
34	WOOD	WOOD	1000000
35	PLANTING	PLANTING	1000000
36	PAVING	PAVING	1000000
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38	ASPHALT	ASPHALT	1000000
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41	BRICK	BRICK	1000000
42	STONE	STONE	1000000
43	WOOD	WOOD	1000000
44	PLANTING	PLANTING	1000000
45	PAVING	PAVING	1000000
46	CONCRETE	CONCRETE	1000000
47	ASPHALT	ASPHALT	1000000
48	GRAVEL	GRAVEL	1000000
49	CONCRETE	CONCRETE	1000000
50	BRICK	BRICK	1000000



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LANDSCAPE ARCHITECTS

Suite 1100 - 4180 Oak Creek Drive
Surrey, British Columbia, V3C 4G9
P: 604-274-0111 F: 604-274-0122

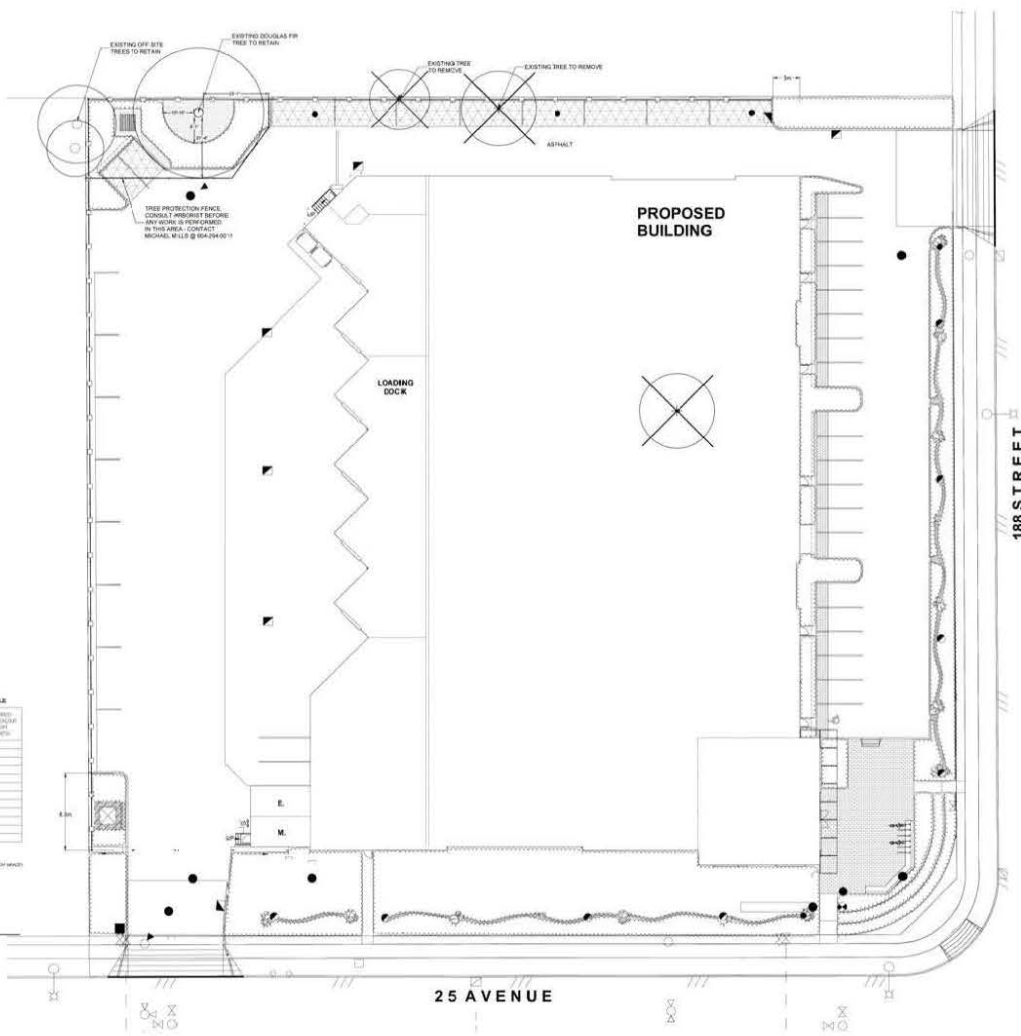
SEAL

CLIENT: SUBZERO INDUSTRIAL FACILITY
18767-18787 25TH AVENUE
SURREY, BC

DRAWING TITLE: SHRUB PLAN

DATE: 11.20.21 DRAWING NUMBER: L2 OF 5
SCALE: 1/8" = 1'-0"
DRAWN: RCK
DESIGN: RCK
CHECK: RCK

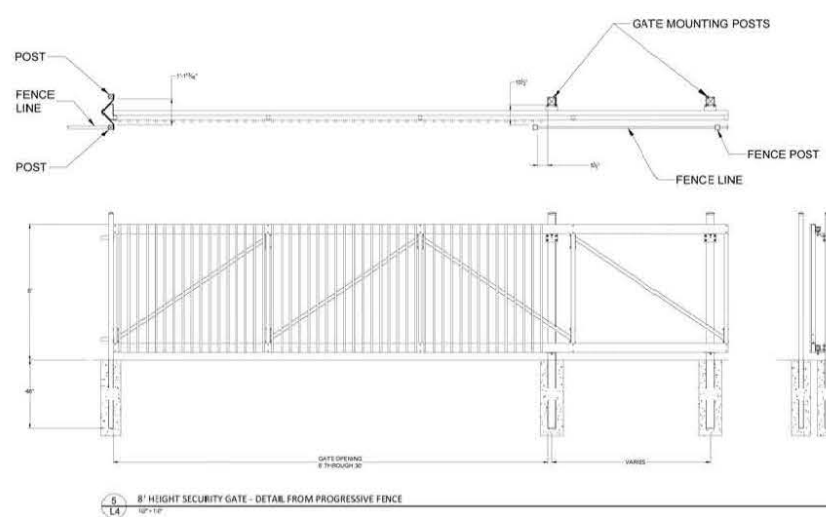
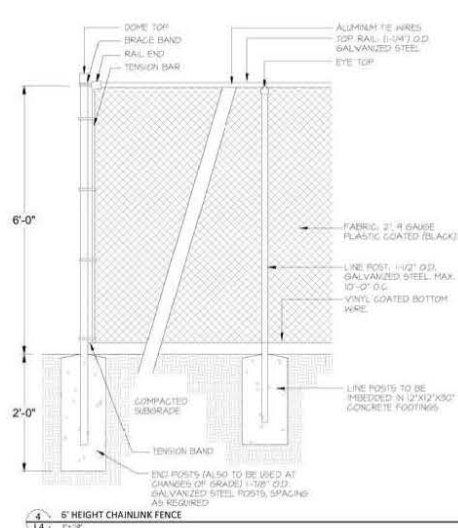
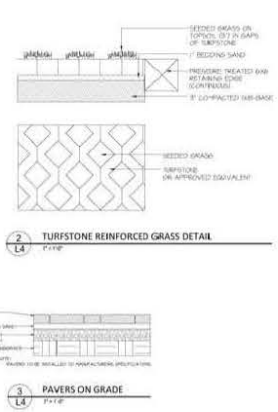
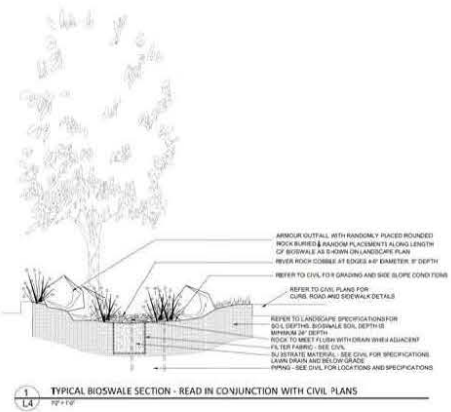
15160-72P PMG PROJECT NUMBER: 15-146



NOTE: ALL TREE REMOVALS OF SIZE AND PROTECTION IS TO BE ENVIRONMENTALLY REVIEWED FIRST.

TREE PROTECTION TABLE

NO.	HEIGHT (FEET)	DIAMETER (INCHES)	PROTECTION METHOD
1	12	4.0	NO PROTECTION
2	15	4.5	NO PROTECTION
3	18	5.0	NO PROTECTION
4	20	5.5	NO PROTECTION
5	22	6.0	NO PROTECTION
6	25	6.5	NO PROTECTION
7	28	7.0	NO PROTECTION
8	30	7.5	NO PROTECTION
9	35	8.0	NO PROTECTION
10	40	8.5	NO PROTECTION
11	45	9.0	NO PROTECTION
12	50	9.5	NO PROTECTION
13	55	10.0	NO PROTECTION
14	60	10.5	NO PROTECTION
15	65	11.0	NO PROTECTION
16	70	11.5	NO PROTECTION
17	75	12.0	NO PROTECTION
18	80	12.5	NO PROTECTION
19	85	13.0	NO PROTECTION
20	90	13.5	NO PROTECTION
21	95	14.0	NO PROTECTION
22	100	14.5	NO PROTECTION
23	105	15.0	NO PROTECTION
24	110	15.5	NO PROTECTION
25	115	16.0	NO PROTECTION
26	120	16.5	NO PROTECTION
27	125	17.0	NO PROTECTION
28	130	17.5	NO PROTECTION
29	135	18.0	NO PROTECTION
30	140	18.5	NO PROTECTION
31	145	19.0	NO PROTECTION
32	150	19.5	NO PROTECTION
33	155	20.0	NO PROTECTION
34	160	20.5	NO PROTECTION
35	165	21.0	NO PROTECTION
36	170	21.5	NO PROTECTION
37	175	22.0	NO PROTECTION
38	180	22.5	NO PROTECTION
39	185	23.0	NO PROTECTION
40	190	23.5	NO PROTECTION
41	195	24.0	NO PROTECTION
42	200	24.5	NO PROTECTION
43	205	25.0	NO PROTECTION
44	210	25.5	NO PROTECTION
45	215	26.0	NO PROTECTION
46	220	26.5	NO PROTECTION
47	225	27.0	NO PROTECTION
48	230	27.5	NO PROTECTION
49	235	28.0	NO PROTECTION
50	240	28.5	NO PROTECTION
51	245	29.0	NO PROTECTION
52	250	29.5	NO PROTECTION
53	255	30.0	NO PROTECTION
54	260	30.5	NO PROTECTION
55	265	31.0	NO PROTECTION
56	270	31.5	NO PROTECTION
57	275	32.0	NO PROTECTION
58	280	32.5	NO PROTECTION
59	285	33.0	NO PROTECTION
60	290	33.5	NO PROTECTION
61	295	34.0	NO PROTECTION
62	300	34.5	NO PROTECTION
63	305	35.0	NO PROTECTION
64	310	35.5	NO PROTECTION
65	315	36.0	NO PROTECTION
66	320	36.5	NO PROTECTION
67	325	37.0	NO PROTECTION
68	330	37.5	NO PROTECTION
69	335	38.0	NO PROTECTION
70	340	38.5	NO PROTECTION
71	345	39.0	NO PROTECTION
72	350	39.5	NO PROTECTION
73	355	40.0	NO PROTECTION
74	360	40.5	NO PROTECTION
75	365	41.0	NO PROTECTION
76	370	41.5	NO PROTECTION
77	375	42.0	NO PROTECTION
78	380	42.5	NO PROTECTION
79	385	43.0	NO PROTECTION
80	390	43.5	NO PROTECTION
81	395	44.0	NO PROTECTION
82	400	44.5	NO PROTECTION
83	405	45.0	NO PROTECTION
84	410	45.5	NO PROTECTION
85	415	46.0	NO PROTECTION
86	420	46.5	NO PROTECTION
87	425	47.0	NO PROTECTION
88	430	47.5	NO PROTECTION
89	435	48.0	NO PROTECTION
90	440	48.5	NO PROTECTION
91	445	49.0	NO PROTECTION
92	450	49.5	NO PROTECTION
93	455	50.0	NO PROTECTION
94	460	50.5	NO PROTECTION
95	465	51.0	NO PROTECTION
96	470	51.5	NO PROTECTION
97	475	52.0	NO PROTECTION
98	480	52.5	NO PROTECTION
99	485	53.0	NO PROTECTION
100	490	53.5	NO PROTECTION
101	495	54.0	NO PROTECTION
102	500	54.5	NO PROTECTION
103	505	55.0	NO PROTECTION
104	510	55.5	NO PROTECTION
105	515	56.0	NO PROTECTION
106	520	56.5	NO PROTECTION
107	525	57.0	NO PROTECTION
108	530	57.5	NO PROTECTION
109	535	58.0	NO PROTECTION
110	540	58.5	NO PROTECTION
111	545	59.0	NO PROTECTION
112	550	59.5	NO PROTECTION
113	555	60.0	NO PROTECTION
114	560	60.5	NO PROTECTION
115	565	61.0	NO PROTECTION
116	570	61.5	NO PROTECTION
117	575	62.0	NO PROTECTION
118	580	62.5	NO PROTECTION
119	585	63.0	NO PROTECTION
120	590	63.5	NO PROTECTION
121	595	64.0	NO PROTECTION
122	600	64.5	NO PROTECTION
123	605	65.0	NO PROTECTION
124	610	65.5	NO PROTECTION
125	615	66.0	NO PROTECTION
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128	630	67.5	NO PROTECTION
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130	640	68.5	NO PROTECTION
131	645	69.0	NO PROTECTION
132	650	69.5	NO PROTECTION
133	655	70.0	NO PROTECTION
134	660	70.5	NO PROTECTION
135	665	71.0	NO PROTECTION
136	670	71.5	NO PROTECTION
137	675	72.0	NO PROTECTION
138	680	72.5	NO PROTECTION
139	685	73.0	NO PROTECTION
140	690	73.5	NO PROTECTION
141	695	74.0	NO PROTECTION
142	700	74.5	NO PROTECTION
143	705	75.0	NO PROTECTION
144	710	75.5	NO PROTECTION
145	715	76.0	NO PROTECTION
146	720	76.5	NO PROTECTION
147	725	77.0	NO PROTECTION
148	730	77.5	NO PROTECTION
149	735	78.0	NO PROTECTION
150	740	78.5	NO PROTECTION
151	745	79.0	NO PROTECTION
152	750	79.5	NO PROTECTION
153	755	80.0	NO PROTECTION
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155	765	81.0	NO PROTECTION
156	770	81.5	NO PROTECTION
157	775	82.0	NO PROTECTION
158	780	82.5	NO PROTECTION
159	785	83.0	NO PROTECTION
160	790	83.5	NO PROTECTION
161	795	84.0	NO PROTECTION
162	800	84.5	NO PROTECTION
163	805	85.0	NO PROTECTION
164	810	85.5	NO PROTECTION
165	815	86.0	NO PROTECTION
166	820	86.5	NO PROTECTION
167	825	87.0	NO PROTECTION
168	830	87.5	NO PROTECTION
169	835	88.0	NO PROTECTION
170	840	88.5	NO PROTECTION
171	845	89.0	NO PROTECTION
172	850	89.5	NO PROTECTION
173	855	90.0	NO PROTECTION
174	860	90.5	NO PROTECTION
175	865	91.0	NO PROTECTION
176	870	91.5	NO PROTECTION
177	875	92.0	NO PROTECTION
178	880	92.5	NO PROTECTION
179	885	93.0	NO PROTECTION
180	890	93.5	NO PROTECTION
181	895	94.0	NO PROTECTION
182	900	94.5	NO PROTECTION
183	905	95.0	NO PROTECTION
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185	915	96.0	NO PROTECTION
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189	935	98.0	NO PROTECTION
190	940	98.5	NO PROTECTION
191	945	99.0	NO PROTECTION
192	950	99.5	NO PROTECTION
193	955	100.0	NO PROTECTION
194	960	100.5	NO PROTECTION
195	965	101.0	NO PROTECTION
196	970	101.5	NO PROTECTION
197	975	102.0	NO PROTECTION
198	980	102.5	NO PROTECTION
199	985	103.0	NO PROTECTION
200	990	103.5	NO PROTECTION
201	995	104.0	NO PROTECTION
202	1000	104.5	NO PROTECTION
203	1005	105.0	NO PROTECTION
204	1010	105.5	NO PROTECTION
205	1015	106.0	NO PROTECTION
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209	1035	108.0	NO PROTECTION
210	1040	108.5	NO PROTECTION
211	1045	109.0	NO PROTECTION
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214	1060	110.5	NO PROTECTION
215	1065	111.0	NO PROTECTION
216	1070	111.5	NO PROTECTION
217	1075	112.0	NO PROTECTION
218	1080	112.5	NO PROTECTION
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225	1115	116.0	NO PROTECTION
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227	1125	117.0	NO PROTECTION
228	1130	117.5	NO PROTECTION
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230	1140	118.5	NO PROTECTION
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232	1150	119.5	NO PROTECTION
233	1155	120.0	NO PROTECTION
234	1160	120.5	NO PROTECTION
235	1165	121.0	NO PROTECTION
236	1170	121.5	NO PROTECTION
237	1175	122.0	NO PROTECTION
238	1180	122.5	NO PROTECTION
239	1185	123.0	NO PROTECTION
240	1190	123.5	NO PROTECTION
241	1195	124.0	NO PROTECTION
242	1200	124.5	NO PROTECTION
243	1205	125.0	NO PROTECTION
244	1210	125.5	NO PROTECTION
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249	1235	128.0	NO PROTECTION
250	1240	128.5	NO PROTECTION
251	1245	129.0	NO PROTECTION
252	1250	129.5	NO PROTECTION
253	1255	130.0	NO PROTECTION
254	1260	130.5	NO PROTECTION
255	1265	131.0	NO PROTECTION
256	1270	131.5	NO PROTECTION
257	1275	132.0	NO PROTECTION
258	1280	132.5	NO PROTECTION
259	1285	133.0	NO PROTECTION
260	1290	133.5	NO PROTECTION
261	1295	134.0	NO PROTECTION
262	1300	134.5	NO PROTECTION
263	1305	135.0	NO PROTECTION
264	1310	135.5	NO PROTECTION
265	1315	136.0	NO PROTECTION
266	1320	136.5	NO PROTECTION
267	1325	137.0	NO PROTECTION
268	1330	137.5	NO PROTECTION
269	1335	138.0	NO PROTECTION
270	1340	138.5	NO PROTECTION
271	1345	139.0	NO PROTECTION
272	1350	139.5	NO PROTECTION
273	1355	140.0	NO PROTECTION
274	1360	140.5	NO PROTECTION
275	1365	141.0	NO PROTECTION



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pmg
LANDSCAPE ARCHITECTS
Suite 1102 - 4185 Oak Creek Place
Burnaby, British Columbia V5C 6G9
Tel: 604 294 6511 • Fax: 604 294 6522

SEAL

1	20 MAY 10	REVISED PERM SUBMISSION	RCX
2	18 MAY 10	REVISED PERM SUBMISSION	RCX
3	20 APR 10	PERM SUBMISSION	RCX
4	16 MAR 10	CONCEPT PERM REVIEW & DATE	RCX
5	11 FEB 10	PERM SUBMISSION	RCX
6	11 FEB 10	REVISED PERM REVIEW DATE	RCX
RD	DATE	REVISION DESCRIPTION	DR

CLIENT

PROJECT

SUBZERO INDUSTRIAL FACILITY
18767-18787 25TH AVENUE
SURREY, BC

DRAWING TITLE

LANDSCAPE DETAILS

DATE: 13 APR 11 DRAWING NUMBER:
SCALE: 1/4" = 1'-0"
DRAWN: RCX
DESIGN: RCX
CHECK: RC

L4

OF 5

151467.DWG P&G PROJECT NUMBER: 15-146

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **June 22, 2016** PROJECT FILE: **7815-0353-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 18787-25 Ave**

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit or Development Variance Permit.

BUILDING PERMIT

The site was originally serviced under City of Surrey Project 7910-0301-00. The following issues are to be addressed as part of the Building Permit:

Works and Services

- Construct 11.0 metre driveway letdowns, remove redundant driveway letdowns and reinstate boulevard.
- Provide sanitary service connection to existing sanitary Low Pressure Sewer on 25 Avenue and abandon any redundant connections at main.
- Connect to existing water service connections on 25 Avenue and abandon any redundant service connections.
- Connect to existing storm service connection on 25 Avenue and abandon any redundant service connections.
- The applicant is advised that servicing for the site is to meet the requirements from 7810-0301 which includes:
 - Onsite storm water detention required with pre-development runoff coefficient $R=0.13$.
 - No release from site up to 100-year storm event.
 - All storm water to be infiltrated into ground. Infiltration rate based on new lots providing 250m/ha of perforated pipe and infiltration trench.
 - The submitted SWCP does not appear to comply with the servicing requirements of 7810-0301-00 using the 2016 Design Criteria Manual which includes updated rainfall IDF values. The applicant must re-calculate the SWCP using the 2016 Design Criteria.



Rémi Dubé, P.Eng.
Development Services Manager
LR1

Arboricultural Review Report
18767 – 18787 25th Ave Surrey

Tree Preservation Summary									
Surrey Project No:									
Address:		18767 – 18787 25 th Avenue							
Registered Arborist:		Michael Mills, PMG Landscape Architects							
On-Site Trees								Number of Trees	
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)								4	
Protected Trees to be Removed								3	
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)								1	
Total Replacement Trees Required:								6	
-	Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio								
	0	X	one (1)	=	0				
-	All other Trees Requiring 2 to 1 Replacement Ratio								
	3	X	two (2)	=	6				
Replacement Trees Proposed (refer to PMG Landscape Architects)								21	
Replacement Trees in Deficit								0	
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]								n/a	
Off-Site Trees								n/a	

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7915-0353-00

Issued To: SUBZERO COLD LOGISTICS INC

("the Owner")

Address of Owner: 9780 - 197B Street, Unit 206
Langley, BC V1M 3G3

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 029-657-504

Parcel C (Being a Consolidation Of Lots 5 And 6 See CA4679438) Section 21 Township 7 New
Westminster District Plan EPP24887

18787 - 25 Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) to reduce the minimum width of the truck maneuvering aisle in Part 5. E.2.(b) Dimensions for Loading/Unloading Areas along the northern property line from 7.5 metres (25 ft.) to 5.5 metres (18 ft.).
4. The landscaping and the siting of buildings and structures shall be in accordance with the drawing numbered 7915-0353-00 (A) (the "Drawings") which is attached hereto and forms part of this development variance permit.

5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

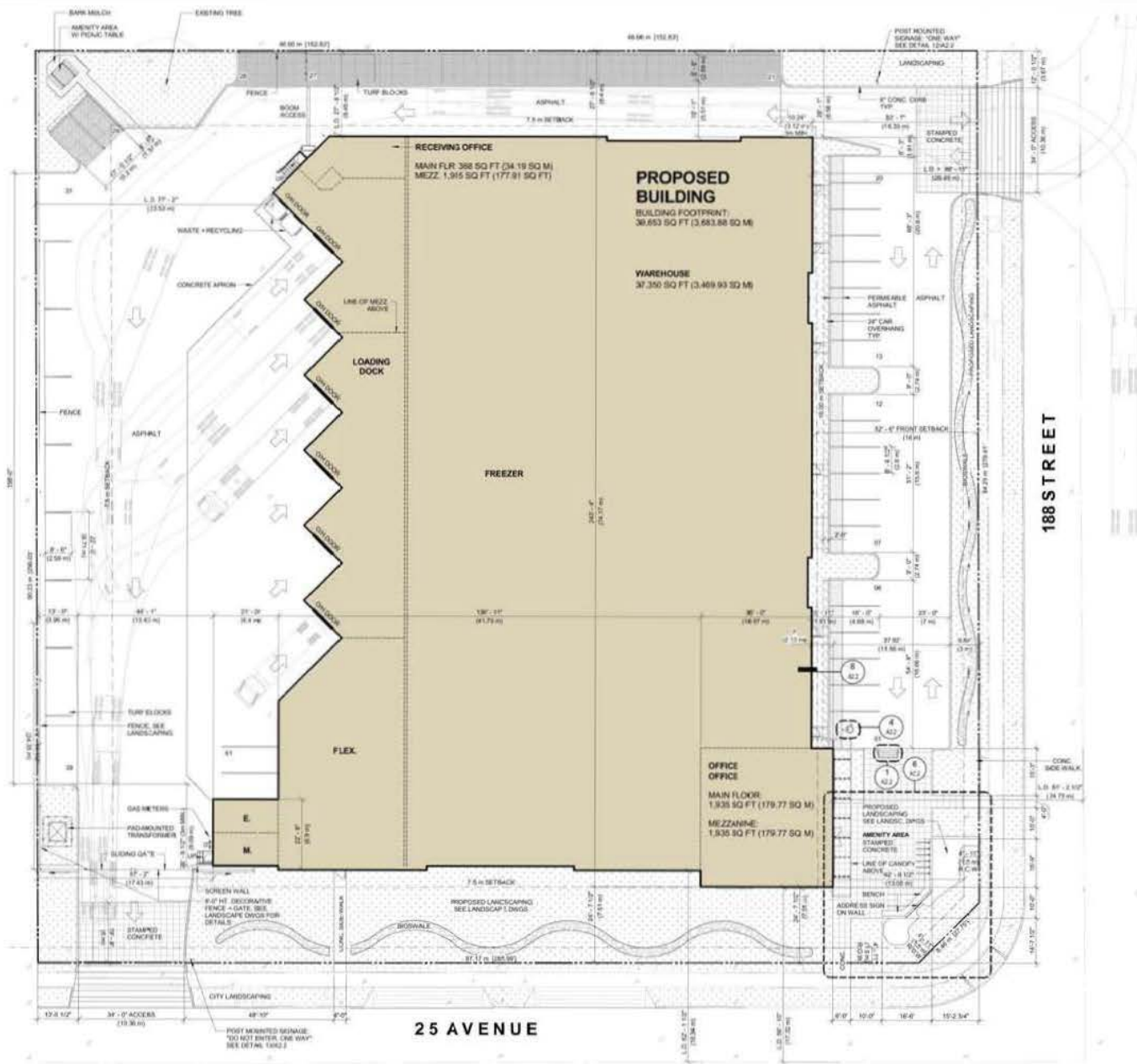
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan



**CITY OF SURREY
ZONING BYLAW ANALYSIS**

PROPERTY INFORMATION

LOCATION: 2525 168 STREET, SURREY, B.C.
 PARCEL ID: SECTION 21, TOWNSHIP 5, RANGE 12, DISTRICT 22 (SURREY)
 ZONING: (C2) COMPREHENSIVE DEVELOPMENT
 SITE AREA: 2.27 ACRES = 98,314.12 SQ FT (4,501.85 SQ M)
 OVERALL SITE AREA: 2.27 ACRES = 98,314.12 SQ FT (4,501.85 SQ M)

ZONING ANALYSIS

BUILDING AREA	36,653 SQ FT (3,383.82 SQ M)
SITE COVERAGE	ALLOWED: 40.00% PROPOSED: 43.80%
FLOOR SPACE RATIO	ALLOWED: 0.40 PROPOSED: 0.43
TOTAL FLOOR AREA	42,532 SQ FT (3,941.85 SQ M)
FLOOR SPACE RATIO	ALLOWED: 0.40 PROPOSED: 0.43
BUILDING HEIGHT	MAXIMUM ALLOWED: 14 m (46'-0") PROPOSED: 14 m (46'-0")
NETWORKS	REQUIRED: 18.0 m (59'-4") PROVIDED: 18.3 m (60'-1")
FRONT W/ PARKING BEARY	REQUIRED: 18.0 m (59'-4") PROVIDED: 18.3 m (60'-1")
FRONT W/ PARKING BEAST	REQUIRED: 7.5 m (24'-7") PROVIDED: 11.0 m (36'-1")
REAR W/ WEST	REQUIRED: 7.5 m (24'-7") PROVIDED: 11.0 m (36'-1")
REAR W/ EAST	REQUIRED: 7.5 m (24'-7") PROVIDED: 11.0 m (36'-1")
SIDE W/ NORTH	REQUIRED: 7.5 m (24'-7") PROVIDED: 11.0 m (36'-1")
SIDE W/ SOUTH	REQUIRED: 7.5 m (24'-7") PROVIDED: 11.0 m (36'-1")

*ONE SIDE YARD SETBACK SHALL BE 1.5m (5.0 FT) MINIMUM IF THE SIDE YARD ADJACENT LAND WHICH IS COMMERCIAL OR INDUSTRIAL.

LANDSCAPING FRONT: MINIMUM REQUIRED: 3.0 m (9'-6")

PARKING REQUIREMENTS

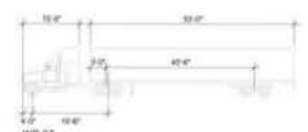
PROPOSED WAREHOUSE AND OFFICE	36,653 sq ft / 1,171	= 36.65
MAIN FLOOR	3,938 sq ft / 121	= 3.94
MEZZANNE	3,938 sq ft / 121	= 3.94
TOTAL	36,653 sq ft / 1,171	= 36.65
PARKING REQUIRED	41 (40.47) SPACES	
PARKING PROVIDED	41 SPACES	

ACCESSIBILITY PARKING REQUIRED

REQUIRED AS PER BC BUILDING CODE: 4 RETAIL CATEGORY	4 SPACES
PROVIDED	4 SPACES

PARKING SPACE SIZES

3M, SPACE AT 90°	REQUIRED: 2.2m x 5.5m (7'-2" x 18'-1")	PROVIDED: 2.2m x 5.5m (7'-2" x 18'-1")
DRIVE-ABLE FOR 60°	REQUIRED: 7.5m (24'-7")	PROVIDED: 7.5m (24'-7")
LOADING SPACE	REQUIRED: 8.0m x 9.0m (26'-3" x 29'-6")	PROVIDED: 8.0m x 9.0m (26'-3" x 29'-6")
MANEUVERING SPACE (LOADING SPACE)	REQUIRED: 11.0m x 18.0m (36'-1" x 59'-4")	PROVIDED: 11.0m x 18.0m (36'-1" x 59'-4")
ACCESSIBILITY SPACE	REQUIRED: 3.7m x 5.5m (12'-2" x 18'-1")	PROVIDED: 3.7m x 5.5m (12'-2" x 18'-1")



WB-67 TRACTOR WIDTH	8'-0"	LOOK TO LOCK TIME	5.0"
TRAILER WIDTH	4'-0"	STEERING ANGLE	30.4°
TRACTOR TRACK	8'-0"	ARTICULATING ANGLE	75.0°
TRAILER TRACK	8'-0"		



1 SITE PLAN
SCALE: 1/8" = 1'-0"

2 CONTEXT PLAN
SCALE: 1" = 200'-0"



AMENITY OFFICE
 2525 168 STREET, SURREY, B.C.
 TEL: 604.591.1234
 WWW.KRAHN.COM



NOT FOR CONSTRUCTION

1. APPROVED FOR CONSTRUCTION
 2. APPROVED FOR CONSTRUCTION
 3. APPROVED FOR CONSTRUCTION
 4. APPROVED FOR CONSTRUCTION
 5. APPROVED FOR CONSTRUCTION
 6. APPROVED FOR CONSTRUCTION
 7. APPROVED FOR CONSTRUCTION
 8. APPROVED FOR CONSTRUCTION
 9. APPROVED FOR CONSTRUCTION
 10. APPROVED FOR CONSTRUCTION

lary podhora / architect
 168 STREET, SURREY, B.C.

SUBZERO COLD LOGISTICS

PROJECT ADDRESS:
 2525 - 168 STREET, SURREY, BC

SITE PLANS

SCALE	1/8" = 1'-0"
DRAWN	SA
DESIGNED	SA
PROJECT NO.	168-01
DATE	2023-08-15

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