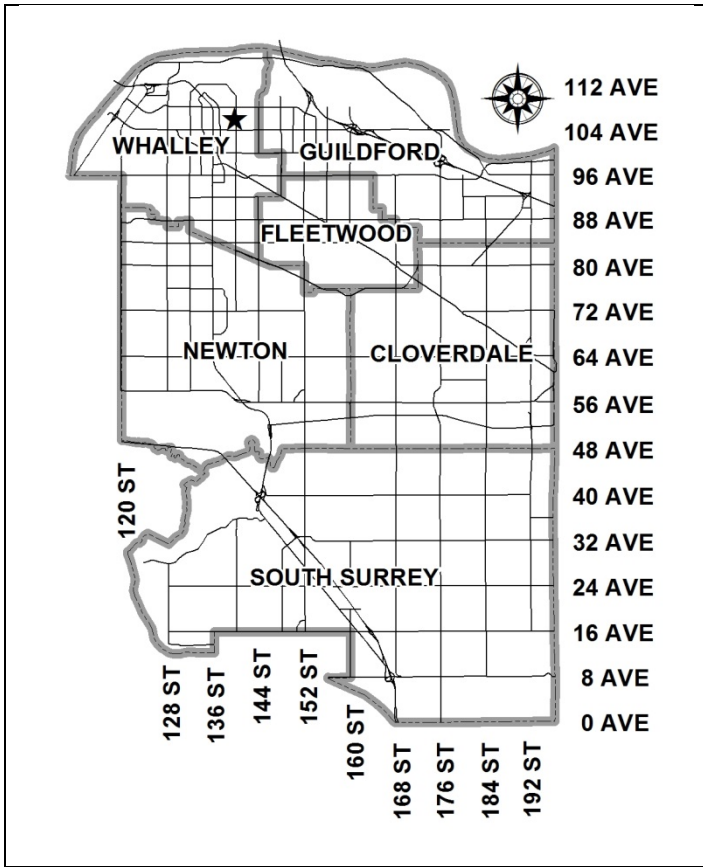


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7915-0344-00

Planning Report Date: May 2, 2016



PROPOSAL:

- **Rezoning** from RF and RM-D to CD (based upon RM-70)
- **Development Permit**

to permit the development of three, 6-storey apartment buildings.

LOCATION:

10555, 10577, 10595 and
 10607 - 140 Street

OWNER:

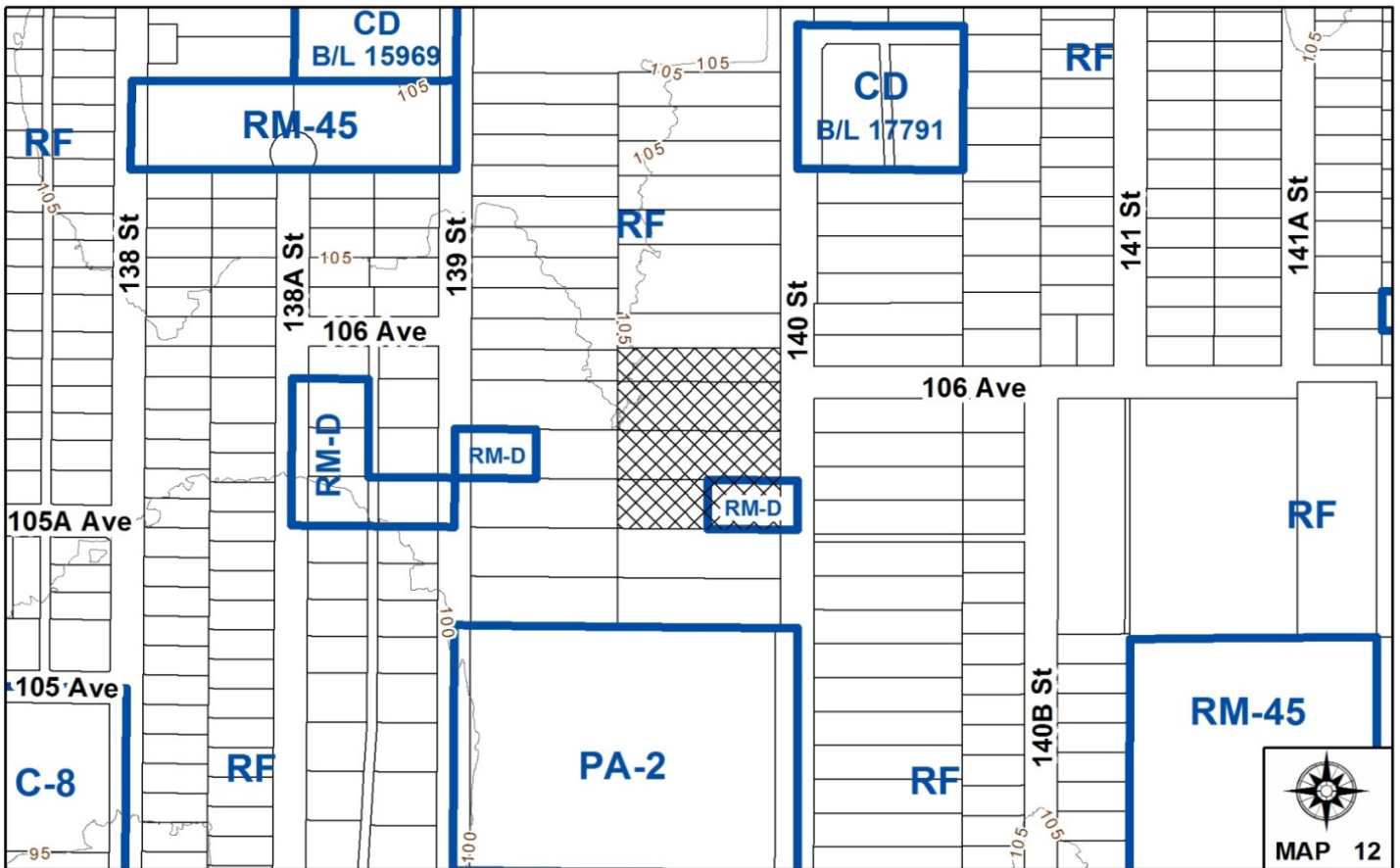
Porte Homes (Central Surrey) Ltd.

ZONING:

RF and RM-D

OCP DESIGNATION:

Multiple Residential



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to reduce indoor amenity space.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with the “Multiple Residential” designation in the Official Community Plan (OCP) and the “Low to Mid-Rise up to 2.5 FAR” designation in the City Centre Plan for 3 of the 4 subject properties.
- The subject application replaces Application No. 7910-0069-00, which involved rezoning the three northerly subject lots to CD (based upon the RM-70 Zone) to permit three, 6-storey apartment buildings.
- The proposed density and 6-storey building form are appropriate for the eastern edge of City Centre.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the City Centre Plan.
- The proposed public walkway along the western edge of the site will allow for increased pedestrian connectivity in the area, as well as a direct link to Forsyth Park to the immediate north.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council file By-law No. 17486 and close Development Application No. 7910-0069-00 and all applications associated with this project.
2. a By-law be introduced to rezone the subject site from "Single Family Residential Zone (RF)" and "Multiple Residential Duplex Zone (RM-D)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
3. Council approve the applicant's request to reduce the amount of required indoor amenity space from 1,035 square metres (11,141 square feet) to 391 square metres (4,215 square feet).
4. Council authorize staff to draft Development Permit No. 7915-0344-00 generally in accordance with the attached drawings (Appendix II).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a final landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) the applicant address the concern that the development will place additional pressure on existing park facilities to the satisfaction of the General Manager, Parks, Recreation and Culture;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager, Parks, Recreation and Culture;
 - (i) dedication of a 4.0-metre (13 ft.) wide walkway along the west property line of the subject site;
 - (j) registration of statutory rights-of-way to allow for public passage for the two proposed corner plazas, as well as for the north walkway; and

(k) the applicant adequately address the impact of reduced indoor amenity space.

REFERRALS

Engineering: The Engineering Department has no objection to the project, subject to the completion of Engineering servicing requirements, as outlined in Appendix III.

School District: **Projected number of students from this development:**

29 Elementary students at Forsyth Road Elementary School
17 Secondary students at Kwantlen Park Secondary School

(Appendix IV)

The applicant has advised that 99 dwelling units in Phase 1 (Building A) of this project are expected to be constructed and ready for occupancy by December 2017.

Parks, Recreation & Culture: Parks is supportive of the proposed pedestrian walkway connection to Forsyth Park along the west of the subject site. Parks is also supportive of the on-site walkway along the north property line, adjacent Forsyth Park. Parks has concerns with the pressure this project will place on existing Parks, Recreation and Culture facilities within the City Centre. Parks has also identified nearby park improvements within the City Centre. The applicant has agreed to contact Parks staff representatives to address their concerns prior to consideration of Final Adoption of the Rezoning By-law.

Surrey Fire Department: The Fire Department has no concerns regarding the proposed development.

SITE CHARACTERISTICS

Existing Land Use: The northerly 3 lots are currently vacant, but are treed properties. The southerly lot has an existing duplex and a shed, which will be removed.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Vacant treed property, part of Forsyth Park.	Multiple Residential	RF
East (Across 140 Street):	Single family dwellings.	Multiple Residential	RF
South:	Vacant City-owned lot for proposed 105A Avenue extension.	Multiple Residential	RF
West:	Single family dwellings and 1 vacant lot.	Multiple Residential	RF and RM-D

DEVELOPMENT CONSIDERATIONSBackground

- The three northerly subject lots (10577, 10595 and 10607 – 140 Street) were under a previous development application (File No. 7910-0069-00). This previous development application proposed a rezoning from “Single Family Residential Zone (RF)” to “Comprehensive Development Zone (CD)” (based on RM-70) and a Development Permit to allow for the development of three (3), 6-storey apartment buildings with a total of 214 dwelling units.
- The application proceeded to Council on September 11, 2011 and Rezoning By-law No. 17486 was granted Third Reading on October 3, 2011.
- The ownership has since changed hands and the current applicant, Porte Homes, has also been able to assemble the southerly lot at 10555 – 140 Street, to be included as part of the development site. Porte Homes is, therefore, now proposing a new development proposal encompassing the 4 properties.
- Rezoning By-law No. 17486 can now be filed and all development applications associated with Application No. 7910-0069-00 can be closed.

Current Proposal

- The subject site includes four (4) lots north of the alignment of 105A Avenue on the eastern edge of the City Centre Plan area.
- The northerly lots at 10577, 10595 and 10607 – 140 Street are currently zoned “Single Family Residential Zone (RF)” and the southerly lot at 10555 – 140 Street is split zoned “Single Family Residential Zone (RF)” and “Duplex Residential Zone (RM-D)”. All four properties are designated “Multiple Residential” in the Official Community Plan (OCP). The three southerly lots are designated “Low to Mid-Rise up to 2.5 FAR” and the northerly lot is designated “Park” in the Stage 1 City Centre Plan.

- The most northerly subject property at 10607-140 Street had been identified as part of the future Forsyth Park when Stage 1 of the City Centre Plan was approved. Subsequently, it was determined that the park site does not require further expansion. The Centre Plan Land Use designation for this northernmost lot will be amended accordingly, prior to Stage 2 approval of the City Centre Plan.
- The gross site area of the subject site is approximately 11,095 square metres (2.74 acres). However, once road and greenway dedication are deducted from the subject site area, the net site area is 9,898 square metres (2.45 acres).
- The applicant, Porte Homes, has submitted a development application to rezone the subject site to “Comprehensive Development Zone (CD)” (based on RM-70) and to obtain a Development Permit and to consolidate the site, in order to permit the development of three (3) 6-storey apartment buildings and a stand-alone amenity building.
- The development will consist of approximately 330 apartment units and 15 townhouse units, for a total of 345 dwelling units. The units will range in size from 53 square metres (570 sq.ft.) for the smallest 1-bedroom unit to 135 square metres (1,450 sq.ft.) for the 3-bedroom townhouse units. Eleven (11) of the 345 units are called “convertible” 1-bedroom units which can be adapted for persons with disabilities.
- According to the Zoning By-law, the proposed development is required to provide 1,035 square metres (11,141 sq.ft.) of indoor amenity space, based upon 3 square metres (32 sq.ft.) per dwelling unit. The development proposes 391 square metres (4,215 sq.ft.) of indoor amenity space which will take the form of a stand-alone, 2-storey amenity building. The amenity building will include a lounge, a washroom, a bar and a seating area with tables and chairs at the ground level. On the second floor, a fitness area and washroom are proposed.
- The proposed 391-square metre (4,215 sq.ft.) stand-alone 2-storey amenity building is considered to be of appropriate size to provide adequate indoor amenity facilities for the future residents of the project. However, the project will have a shortfall of 644 square metres (6,932 sq.ft.) in indoor amenity space and the applicant will be subject to a cash-in-lieu payment as per City policy.
- According to the Zoning By-law, the proposed development is required to provide 1,035 square metres (sq.ft.) of outdoor amenity space, based upon 3 square metres (32 sq.ft.) per dwelling unit. The development proposes 1,350 square metres (14,520 sq.ft.) of outdoor amenity, situated in the centre of the development, allowing for a natural extension from the indoor amenity area to the outdoor amenity area. The outdoor amenity includes a barbeque and patio area, a fireplace and lounge area, seating, garden plots, ping pong tables and a water feature.

Density

- The Surrey City Centre Land Use and Density Concept indicates that the subject site is appropriate for low to mid-rise multiple residential development.

- Under the Surrey City Centre Land Use and Density Concept, densities are based upon gross site area, before any new road and walkway dedications or widenings, are deducted from the developable site area.
- The Surrey City Centre Plan-Phase II, Stage I report also permits developments to increase densities up to 20% more than the densities shown in the Land Use and Density Concept, provided density bonusing is provided in accordance with the density bonusing policy in place at the time of development. As has been the case for a number of years, the Interim Density Bonusing Policy is currently in abeyance.
- As a result, the development is permitted to achieve a gross density of up to 3.0 floor area ratio (FAR). The proposed density is 2.75 FAR based upon the gross site area. However, taking into account the road and walkway dedication, the proposed development represents a net density of 3.09 FAR.

Vehicular and Pedestrian Connectivity

- In keeping with the City Centre Plan's goal of creating a finer-grained road network in the City Centre, 105A Avenue will extend from 139 Street to 140 Street and ultimately offer a connection across the City Centre Plan area between the eastern boundary at 140 Street to the western boundary at 132 Street. The new 105A Avenue extension is proposed to the immediate south of the most southerly subject lot (10555 – 140 Street).
- The lot to the immediate south (10549 – 140 Street) is owned by the City for the purpose of extending 105A Avenue.
- The applicant will be required to construct the new 105A Avenue flanking the site. This new road will include separate bicycle tracks allowing for cyclists to ride more safely, separated from vehicular traffic. The construction of 105A Avenue is eligible for a Development Cost Charge (DCC) rebate, as these works are within the City's 10 Year Plan.
- Driveway access to the proposed development will be from the new 105A Avenue.
- A 4-metre (13 ft.) wide public walkway will be dedicated along the western edge of the subject site, which will allow for public access from 105A Avenue to Forsyth Park. This walkway will also connect to a 1.2-metre (4 ft.) wide on-site walkway (secured through a statutory right-of-way) along the north edge of the site, adjacent Forsyth Park.
- Two small corner plazas are proposed at the southwest and southeast of the subject site and are intended for public use (secured through a statutory right-of-way). The two plazas will incorporate permeable concrete paving in two different colours.

Vehicle Parking and Bicycles

- In accordance with the Zoning By-law, which allows a 20% parking reduction for sites within the City Centre, the project is required to provide 387 residential parking spaces and 55 visitor parking spaces, for a total of 442 parking spaces.

- The development proposes to comply with the Zoning By-law's residential requirements, but proposes a further reduction in the visitor parking requirement, to a parking rate of 0.10 parking space per dwelling unit, as seen in the table below:

Unit Type	No. of Units	City Centre Rate (spaces per unit)	No. of Parking Spaces
Townhouse (3-Bedroom)	15	1.60	24
1 Bedroom Apartment	203	1.04	211
2- & 3-Bedroom Apartment	127	1.20	152
Visitors	345	0.10	35
TOTAL	345		422

- Engineering has reviewed the reduced visitor parking rate and can support it as it has been utilized in other developments in the area.
- Seventy-nine (79) of the proposed parking spaces are extra-long parking spaces. These spaces, which are 10.9 metres (36 ft.) in length, are not considered tandem parking, as these spaces do not comply with the minimum 13.4-metre (44 ft.) length required.
- Ten (10) of the required resident and visitor parking spaces are disabled parking spaces and 159 (35%) of the total parking spaces are designated "small car" spaces. The 35% "small car" spaces will require a variance, as the maximum permitted under the Zoning By-law is 25%. This variance is incorporated into the proposed CD By-law.
- The applicant has indicated that a larger percentage of "small cars" will assist in the efficiency of the two-level underground parkade.
- The development will be required to provide 414 resident bicycle parking spaces and 18 bicycle parking spaces for visitors as per the Zoning By-law. The proposed development complies with these requirements.

Proposed CD By-law

- The proposed Comprehensive Development Zone is based upon the "Multiple Residential 70 Zone (RM-70)", with modifications to the density, lot coverage, setbacks, parking and balcony regulations.
- The proposed CD By-law will allow for a net density of 3.1 FAR, which exceeds the 1.5 FAR permitted in the RM-70 Zone, but is consistent with the City Centre Plan.
- The proposed development has a lot coverage of 56%, but the Comprehensive Development Zone will allow for a maximum lot coverage of 58%, which exceeds the 33% permitted in the RM-70 Zone, but still allows for adequate outdoor amenity and ground floor yard space on the site.

- The proposed building setbacks will be reduced from 7.5 metres (25 ft.) in the RM-70 Zone to 4.5 metres (15 ft.) along all edges of the site, with additional stair, balcony, raised patio and canopy encroachments permitted. The reduced setbacks achieve a more urban, pedestrian oriented streetscape along public frontages consistent with the City Centre Plan.
- Residential parking will be provided as per the 20% reduction permitted within the City Centre. However, the visitor parking requirement will be reduced to 0.10 parking space per dwelling unit, as described previously in this report.
- The balconies for a maximum of 25% of the dwelling units will be permitted to be less than 4.6 square metres (50 sq.ft.) in size, to a minimum size of 3.3 square metres (36 sq.ft.). All other dwelling units will be required to incorporate balconies at least 4.6 square metres (50 sq.ft.) in size. The applicant has indicated that the smaller balconies are appropriate for the smaller 1-bedroom units, which make up 25% of the overall dwelling unit count. In addition, to mitigate the smaller balconies, the development is designed around a large central courtyard and is also adjacent to a large future park, available for the enjoyment for all of the residents.
- A child care centre has been removed as a permitted use to reflect the reduced visitor parking requirement.

PRE-NOTIFICATION

Pre-notification letters were mailed by the City on December 1, 2015 and April 19, 2016. Staff have only received one response from a property owner requesting additional information regarding the proposed development.

DESIGN PROPOSAL AND REVIEW

- The proposed development is comprised of three (3), 6-storey apartment buildings and a central, separate, 2-storey amenity building.
- The main vehicular access will be from the new 105A Avenue, which will provide access to the underground parkade.
- The three residential buildings are generally sited around the perimeter of the subject site, with a central courtyard where the stand-alone, two-storey amenity building and outdoor amenity space will be located.
- Each building will have its own main entrance from the street, which will also serve as the main fire-fighting access. Direct access to the interior courtyard is provided for the residents from the lobby of each building.
- A contemporary vocabulary has been used in the design of the project, in its façade treatment, materials and the rhythm of the building elevations.
- In accordance with the Development Permit Design Guidelines of the Official Community Plan and the City Centre Plan, the first two storeys of the street-fronting elevations of the

buildings have been designed as ground-oriented two-storey townhouses with front patios and individual entrances. Habitable rooms and rooms with active uses have been oriented towards the streets.

- Each of the townhouse units will have a patio, which will be screened for privacy.
- To reduce the building mass, the upper two floors are stepped back from the building elevations. A floating, 3-storey high, horizontal component acts as a distinct element designed with a playful rhythm of horizontal cladding modules. Two colours of hardipanel cladding are used; a base colour (white) that runs on all buildings creating a coherent background and an accent colour (brown, green, grey and blue) and with varying panel widths that adds to the elevation. The corners of the building are designed to be higher creating robust ends to the buildings. Each building is identified by its own accent colour. Building entrances stand out with the warm colour of the proposed wood grained cladding and extended canopy.
- Indoor amenity space for the residents is provided in a separate 2-storey building within the interior courtyard. The amenity building is oriented with the main openings to the south to allow for sunlight into the building. Minimal window openings have been provided along the sides of the buildings that are in close proximity with the adjacent residential units, to preserve the privacy of the residents. A large opening on the east building façade is oriented to look onto the street entrance from 140 Street for surveillance.
- The amenity building design comprises of two board formed concrete walls on the east and west side, supported by a heavy timber roof finished with metal cladding. The roof slopes south to north, opening the building to the south side, which has a large glazed wall and connects directly to the outdoor areas.

TREES

- Michael Mills, ISA Certified Arborist of Michael Mills Consulting prepared an Arborist Assessment for the subject site. The table below provides a summary of the tree retention and removal by tree species:

Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	22	22	0
Cottonwood	3	3	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Apple	2	2	0
Cherry	8	8	0
Poplar	3	3	0
Willow	1	1	0
Coniferous Trees			
Douglas Fir	9	9	0
Hemlock	1	1	0
Serbian Spruce	1	1	0

Tree Species	Existing	Remove	Retain
Shore Pine	1	1	0
Sitka Spruce	1	1	0
Total (excluding Alder and Cottonwood Trees)	27	27	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)			
		182	
Total Retained and Replacement Trees		182	
Contribution to the Green City Fund		N/A	

- The Arborist Assessment states that there are a total of 27 mature trees on the site, excluding Alder and Cottonwood trees. Of the 52 existing trees, approximately 25 (48%) of the total trees on the site, are Alder and Cottonwood trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, including underground parking, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. The development will require a total of 79 replacement trees on the site. The applicant is proposing at least 182 replacement trees, exceeding City requirements.
- The new trees on the site will consist of a variety of trees including Stripe Bark Maple, Vine Maple, Dwarf Weeping Red Cutleaf Japanese Maple, Italian Cypress, Purple Fountain Beech, Ginkgo Tree, Yellow Bird Magnolia, Bruns Serbian Spruce, Chanticleer Pear, Fastigate English Oak and Western Red Cedar.
- In addition to the replacement trees, boulevard street trees will be planted on 105A Avenue and 140 Street. This will be determined by the Engineering Department during the servicing design review process.

DISTRICT ENERGY

- The subject site is located within Service Area B, as defined in the City Centre District Energy System By-law (see Appendix VII for location). The District Energy (DE) System consists of three primary components:
 - Community energy centres, city operated facilities that generate thermal heat energy for distribution through a piped hot water network;
 - Distribution piping that links the community energy centres with buildings connected to the system; and

- City-owned Energy Transfer Stations (ETS) located within the building connected to the system. The ETS transfers heat energy from the distribution system to the building's mechanical system, and is used to meter the amount of energy used.
- All new developments within Service Area B with a build-out floor area ratio (FAR) between 1.0 and 2.5 will be required to incorporate hydronic thermal energy systems to allow for future connection to the City's district energy system, but will not be required to utilize hydronic systems for space heating within individual residential units. Hydronic systems will be required for all other space heating and hot water heating in the building.
- In order to avoid conflicts between the DE System and other utilities, the location of the ETS and related service connections are confirmed by Engineering and the applicant at the servicing agreement stage. The Engineering Department also requires the applicant to register a statutory right-of-way and Section 219 Restrictive Covenant over the subject site for City access to, and maintenance and operation of, the ETS and to prevent conflicts with other utilities.
- Prior to the issuance of a building permit, the Engineering Department must confirm that the applicant has met the requirements of the City Centre District Energy System By-law.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on September 30, 2015. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The subject site is located within the City Centre and is consistent in building form and density with the "Low to Mid-Rise up to 2.5 FAR" designation of the City Centre Plan.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The project will include a range of housing types, from ground-oriented townhouse units to apartment units. • A range of unit sizes is proposed from 53 sq.m. (570 sq.ft.) for the smallest 1-bedroom unit to 135 sq.m. (1,450 sq.ft.) for a 3-bedroom townhouse unit. • Garden plots are proposed.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Recycling pickup will be made available.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • Approximately 112 metres (367 ft.) of paths and sidewalks will be offered within or around the subject site. • Bicycle parking will be offered as part of the development.

Sustainability Criteria	Sustainable Development Features Summary
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • The project will incorporate CPTED principles, such as: <ul style="list-style-type: none"> ○ Occupied spaces are adjacent to open spaces providing casual surveillance. ○ Landscaping elements have been designed to define private, semi-private and public spaces. The public pathway along the west is looked over by ground-oriented units and upper floor apartments at the same time it is delineated by hedges and gates to provide privacy and define the public/private separation. The units around the courtyard provide a similar surveillance to the outdoor amenity areas. ○ Secure and fully accessible underground parking is proposed. ○ Controlled access to all parts of the building and parking areas will be provided. ○ Storage rooms and parking areas will be painted in light colours to increase light levels. ○ Elevator vestibules in the parking areas will be glazed and vision panels provided on exit doors. • The project will offer nine adaptable units for persons with disabilities.
6. Green Certification (F1)	<ul style="list-style-type: none"> • Not applicable.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • Not applicable.

ADVISORY DESIGN PANEL

The application was initially reviewed by the ADP on November 26, 2015 when it was a 4-storey proposal. The applicant then revised the proposal to allow for a 6-storey development and the application proceeded back to the ADP on March 24, 2016. However, at the second ADP meeting, the ADP recommended minor changes and that the application be brought back to the ADP for another review.

The application was subsequently reviewed by the ADP through an electronic review process during the second week of April 2016. The ADP reviewed the applicant's revised submission and concluded that the applicant has made meaningful modifications that largely address the issues identified by the ADP. However, there are some minor urban design and landscape items which will require revision and which can be completed prior to consideration of Final Adoption of the Rezoning By-law.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Proposed CD By-law
Appendix VI.	Summary of Tree Survey and Tree Preservation
Appendix VII.	Map Showing District Energy Service Areas
Appendix VIII.	ADP Comments and the Applicant's Responses

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Studio One Architecture Inc. and PMG Landscape Architects, respectively, dated April 8, 2016.

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

PL/dk

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Victor Setton
 Address: Porte Homes (Central Surrey) Ltd.
 1665 West Broadway, Suite 380
 Vancouver, BC V6X 1X1

 Tel: 604-732-7651

2. Properties involved in the Application
 - (a) Civic Addresses: 10555, 10577, 10595 and 10607 - 140 Street

 - (b) Civic Address: 10555 - 140 Street
 Owner: Porte Homes (Central Surrey) Ltd.
 PID: 011-310-740
 The North Half Lot 14 Section 23 Block 5 North Range 2 West New Westminster District Plan 8054

 - (c) Civic Address: 10577-140 Street
 Owner: Porte Homes (Central Surrey) Ltd.
 PID: 000-691-461
 The South Half Lot 13 Section 23 Block 5 North Range 2 West New Westminster District Plan 8054

 - (d) Civic Address: 10595-140 Street
 Owner: Porte Homes (Central Surrey) Ltd.
 PID: 011-310-715
 Parcel "A" (H85858E) Lot 13 Section 23 Block 5 Range 2 West New Westminster District Plan 8054

 - (e) Civic Address: 10607-140 Street
 Owner: Porte Homes (Central Surrey) Ltd.
 PID: 011-432-489
 Lot 20 Section 23 Block 5 North Range 2 West New Westminster District Plan 9325

3. Summary of Actions for City Clerk's Office
 - (a) Introduce a By-law to rezone the site.

DEVELOPMENT DATA SHEET

Proposed CD Zoning (based upon RM-70)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA (in square metres)		
Gross Total		11,095 sq.m.
Road Widening area		758 sq.m.
Undevelopable area		440 sq.m.
Net Total		9,898 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	58%	56%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
105A Avenue (Front)	4.5 m*	4.5 m*
North (Rear)	4.5 m*	4.5 m*
West (Side)	4.5 m*	4.5 m*
140 Street (Flanking Side)	4.5 m*	4.5 m*
BUILDING HEIGHT (in metres/storeys)		
Principal	15.5 m	13 m
Amenity building	9 m	8 m
Accessory buildings and structures	4.5 m	4.5 m
NUMBER OF RESIDENTIAL UNITS		
Bachelor		N/A
One Bed		203
Two Bedroom		127
Townhouse (Three Bedroom)		15
Total		345
FLOOR AREA: Residential		30,275 sq.m.
FLOOR AREA: Commercial		N/A
Retail		
Office		
Total		
FLOOR AREA: Industrial		N/A
FLOOR AREA: Institutional		N/A
TOTAL BUILDING FLOOR AREA		30,275 sq.m.

****Stair, patio, balcony and canopy encroachments will be permitted within the building setbacks.***

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)	2.5	2.75
FAR (net)		
AMENITY SPACE (area in square metres)		
Indoor	1,035 sq.m.	391 sq.m.
Outdoor	1,035 sq.m.	1,350 sq.m.
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom	211	211
2-Bed	152	152
Townhouse	24	24
Residential Visitors	55	35
Institutional		
Total Number of Parking Spaces	442	422
Number of disabled stalls	4	10
Number of small cars	106 (25%)	148 (35%)
Tandem Parking Spaces: Number / % of Total Number of Units		N/A
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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studioone
architecture inc.

SUBMISSION FOR APRIL 8, 2016 ADP MEETING
APRIL 8, 2016

RESIDENTIAL DEVELOPMENT

| 10555, 10577, 10595, 10607 140th STREET, SURREY, BC

studioone
architecture inc.

245 - 205 Woodbine Ave.
Waukegan, IL 60087-1300
Tel: 847-731-1888
Fax: 847-731-1131
studioone@studioone.ca
www.studioone.ca

PROJECT DATA

SITE STATISTICS					
DATE ADDRESS	10555, 10577, 10595, 10607 140th STREET, SURREY, BC				
LEGAL DESCRIPTION	LOT 20 SECTION 23 BLOCK 5 NORTH RANGE 2 WEST PLAN BESA NORTH HALF LOT 14 SECTION 23 BLOCK 5 NORTH RANGE 2 WEST PLAN BESA SOUTH HALF LOT 14 SECTION 23 BLOCK 5 NORTH RANGE 2 WEST PLAN BESA PARCEL A (NORTH) LOT 13 SECTION 23 BLOCK 5 NORTH RANGE 2 WEST PLAN BESA SOUTH HALF LOT 13 SECTION 23 BLOCK 5 NORTH RANGE 2 WEST PLAN BESA ALL OF NEW WESTMINSTER DISTRICT				
PID	S65494-401				
TOTAL SITE AREA	11,095 sq.m. (118,425.58 SF) ≈ 1.2655 HECTARES ≈ 2.74 ACRES				
ROAD INTERFERING AREA	750.7 sq.m. (8120.21 SF)				
GREENWAY CREATION	436.6 sq.m. (4732.21 SF)				
NET AREA	989.7 sq.m. (106,527.95 SF) ≈ 0.9897 HECTARES ≈ 2.45 ACRES				
PRESENT ZONING	RT, RMA-D				
PROPOSED ZONING	OD				
ZONING REQUIREMENTS					
	REQUIRED	PROVIDED			
FRONT YARD SETBACK	4.5 m. (14'-9 1/4")	4.5 m. (14'-9 1/4")			
SIDE YARD SETBACK-EAST	4.5 m. (14'-9 1/4")	4.5 m. (14'-9 1/4")			
SIDE YARD SETBACK-WEST	4.5 m. (14'-9 1/4")	4.5 m. (14'-9 1/4")			
REAR YARD SETBACK	4.5 m. (14'-9 1/4")	4.5 m. (14'-9 1/4")			
	PROPOSED				
HEIGHT OF BUILDING	50.0m (ALLOWED)	6 STOREYS			
LOT COVERAGE (GROSS)		5,575 sq.m. (60,000 SF) - 50%			
LOT COVERAGE (NET)		5,575 sq.m. (60,000 SF) - 56%			
DENSITY					
PROPOSED RESIDENTIAL BUILDINGS		ALLOWED FAR:	PROVIDED FAR:		
BUILDING ^M	BUILDING ^{M²}	MAX	GROSS-2.75% NET-3.09%		
±9,245 sq.m. (±99,478 SF)	±12,586 sq.m. (±135,400 SF)				
GROSS DENSITY = 129 UNITS/ACRE = 318 UNITS/HECTARE		NET DENSITY = 144 UNITS/ACRE = 357 UNITS/HECTARE			
TOTAL FLOOR AREA: ±30,275 sq.m. (±325,750 SF)		NET DENSITY = 144 UNITS/ACRE = 357 UNITS/HECTARE			
PROPOSED RESIDENTIAL UNITS					
	1-BEDROOM	2-BEDROOM	3-BEDROOM	TOTAL	CONVERTIBLE UNITS
BUILDING ^M	59	30	10	99	
BUILDING ^{M²}	55	34	4	93	
BUILDING ^{M²}	89	63	1	153	
TOTAL	208	127	15	345 UNITS	
AMENITIES (NOT INCLUDED IN FAR)					
	REQUIRED	PROVIDED			
INDOOR AMENITY SPACE	3.0 sq.m./UNIT = 1025.0 sq.m. (11,141 SF)	391 sq.m. (4,215 SF)			
OUTDOOR AMENITY SPACE	3.0 sq.m./UNIT = 1025.0 sq.m. (11,141 SF)	1,350 sq.m. (14,520 SF)			
PARKING CALCULATION					
	REQUIRED	PROVIDED			
1 BEDRM. UNITS (207 UNITS)	1.04/UNIT	211 SPACES			
2 & 3 BEDRM. UNITS (131 UNITS)	1.2/UNIT	152 SPACES			
TH (15 UNITS)	1.6/UNIT	24 SPACES			
TOTAL RESIDENTIAL		387 SPACES			
VISITORS	0.1/UNIT	35 SPACES			
TOTAL		422 SPACES			
	ALLOWED	PROVIDED			
REGULAR SMALL CARS	MAX 55% = 148 STALLS	148 STALLS			
DISABILITY PARKING		10 STALLS			
TOTAL		158 STALLS			
BIKECYCLE STORAGE CALCULATION					
	REQUIRED	PROVIDED			
RESIDENTIAL UNITS	1.2/UNIT	414 SPACES			
	6/BUILDING	18 SPACES			

UNIT MIX

BUILDING A					
TYPE 1	1 BEDROOM	570 - 740 SQFT (53 - 69 M ²)	53 UNITS		
TYPE 2	2 BEDROOM	810 -1000 SQFT (75 - 93 M ²)	30 UNITS		
TYPE 3	3 BEDROOM TH	1450 SQFT (135 M ²)	10 UNITS		
CONVERTIBLE 1 BEDROOM				6 UNITS	
TOTAL				99 UNITS	29%
BUILDING B					
10555, 10577, 10595, 10607 140th STREET					
TYPE 1	1 BEDROOM	570 - 740 SQFT (53 - 69 M ²)	49 UNITS		
TYPE 2	2 BEDROOM	810 -1000 SQFT (75 - 93 M ²)	34 UNITS		
TYPE 3	3 BEDROOM TH	1450 SQFT (135 M ²)	4 UNITS		
CONVERTIBLE 1 BEDROOM				6 UNITS	
TOTAL				93 UNITS	27%
BUILDING C					
10555, 10577, 10595, 10607 140th STREET					
TYPE 1	1 BEDROOM	570 - 740 SQFT (53 - 69 M ²)	83 UNITS		
TYPE 2	2 BEDROOM	810 -1000 SQFT (75 - 93 M ²)	83 UNITS		
TYPE 3	3 BEDROOM TH	1450 SQFT (135 M ²)	1 UNIT		
CONVERTIBLE 1 BEDROOM				6 UNITS	
TOTAL				173 UNITS	44%
TOTAL THREE BUILDINGS					
THREE BUILDINGS					
TYPE 1	1 BEDROOM	570 - 740 SQFT (53 - 69 M ²)	185 UNITS	54%	
TYPE 2	2 BEDROOM	810 -1000 SQFT (75 - 93 M ²)	127 UNITS	37%	
TYPE 3	3 BEDROOM TH	1450 SQFT (135 M ²)	15 UNITS	4%	
CONVERTIBLE 1 BEDROOM				18 UNITS	5%
TOTAL				345 UNITS	100%

BUILDING CODE CHARACTERISTICS

MAJOR OCCUPANCIES	RESIDENTIAL - GROUP C AMENITY - AS SUBSECTORY TO GROUP C	PARADE STRUCTURE - GROUP F, DIVISION 3
CONSTRUCTION TYPE	COMBUSTIBLE OR NONCOMBUSTIBLE	NONCOMBUSTIBLE
BUILDING AREA	RESIDENTIAL - PERMITTED: 1,200 m ² (BCRC 3.2.2.50.) PROPOSED: BUILDING A (SOUTH OF FIREWALL) - 1,200.0 m ² (NORTH OF FIRE WALL) - 341.3 m ² BUILDING B (SOUTH OF FIREWALL) - 1,104.8 m ² (NORTH OF FIRE WALL) - 345.40 m ² BUILDING C (SOUTH OF FIREWALL) - 1,005.6 m ² (NORTH OF FIRE WALL) - 1148.0 m ²	
	AMENITY AS SEPARATE BUILDING PERMITTED: 600 m ² (BCRC 3.2.2.27.) PROPOSED 391 m ²	
BUILDING HEIGHT	6 STOREY	2 LEVELS OF BASEMENT PARKING GARAGE
NCL OF STREETS FACING	2	
PARADE AS SEPARATE BUILDING	YES	
SPRINKLER SYSTEM	NFPA 13	NFPA 13
STANDPIPE SYSTEM	NFPA 14	NFPA 14
FIRE ALARM SYSTEM	CANULC-6524-06	CANULC-6524-06
PORTABLE FIRE EXTINGUISHERS	NFPA 10	NFPA 10
EMERGENCY LIGHTING/POWER SUPPLY	UL94 DURAWON	
FIRE SEPARATION RATING REQUIRED	PARADE TO RESIDENTIAL PARADE STRUCTURAL SUPPORT PARADE ENT SEPARATION RESIDENTIAL TO RESIDENTIAL FLOOR PUBLIC CORRIDOR SEPARATION RESIDENTIAL SUITE SEPARATION RESIDENTIAL STRUCTURAL SUPPORT ROOF FIRE RATING	2h F.R./L WITH FT-RATED FIRE STOPS 1h F.R./L 1h F.R./L 1h F.R./L 1h F.R./L 1h F.R./L NOT REQUIRED

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Toronto West Architect ABC



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- 6 APRIL 22, 2016 RE-ISSUED FOR AOP
 - 4 APRIL 21, 2016 RE-ISSUED FOR AOP
 - 3 APRIL 8, 2016 RE-ISSUED FOR AOP
 - 2 MAR 10, 2016 ISSUED FOR OP AMENDMENT
 - 1 SEP 24, 2015 ISSUED FOR OP
- | no. | date | description |
|-----|------|-------------|
| | | revisions |

project title:
RESIDENTIAL DEVELOPMENT
6 STOREYS
10555, 10577, 10595, 10607
140th STREET, SURREY, BC

drawing title:
PROJECT DATA
& BUILDING
CHARACTERISTICS

project no.	16010
drawn by	HN
checked by	SA
date	APRIL 22, 2016
scale	AS NOTED

drawing no.:

A0.1



1 A0.2 VIEW -1- 140th ST. PROPOSED DEVELOPMENT SITE & FORSYTH PARK
LOOKING EAST



2 A0.2 VIEW -2- 140th ST. PROPOSED DEVELOPMENT SITE & FORSYTH PARK
LOOKING SOUTHWEST



3 A0.2 VIEW -3- 140th ST. PROPOSED DEVELOPMENT SITE & FORSYTH PARK
LOOKING SOUTHWEST

3 A0.2 LOOKING SOUTHWEST



4 A0.2 SITE LOCATION AND AERIAL VIEW OF VICINITY
NTS



5 A0.2 SITE LOCATION - CITY SCALE
NTS



6 A0.2 VIEW -4- 140th ST. LOOKING WEST

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Design Review: This drawing is prepared for the City of Vancouver and is not to be used for any other purpose without the written consent of the architect.

2 APRIL 8, 2016 RE ISSUED FOR ADP
1 MAY 16, 2015 ISSUED FOR CP AMENDMENT
to: date: description:

project title:
RESIDENTIAL DEVELOPMENT
10555, 10577, 10595, 10607
140th STREET, SURREY, BC

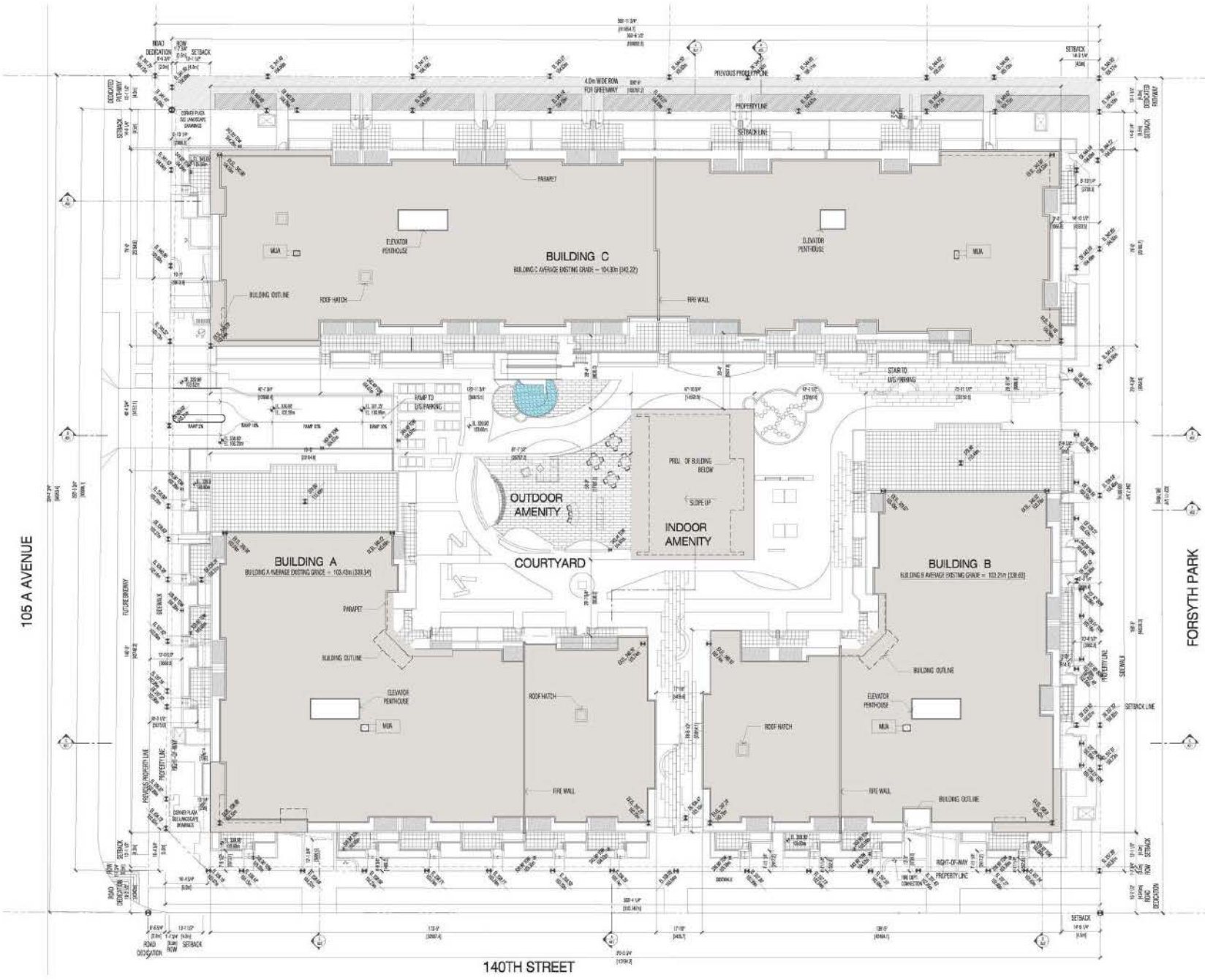
drawing title:
LOCATION PLAN
AERIAL VIEW
CONTEXT PHOTOS

sheet no.: 150/10
drawn by: PA
checked by: SA
date: APRIL 8, 2016
scale: AS NOTED

drawing no.:
A0.2

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NOTE:
 FOR LANDSCAPE DETAILS, SEE LANDSCAPE DRAWINGS

SITE PLAN
 SCALE 1:200

140TH STREET

105 A AVENUE

FORSYTH PARK

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3 APRIL 8, 2016 RE-ISSUED FOR ADP
 2 MAR 10, 2016 ISSUED FOR CP AMENDMENT
 1 FEB 22, 2016 ISSUED FOR REVIEW
 no. date description
 revisions

project #10:
RESIDENTIAL DEVELOPMENT
 10555, 10577, 10595, 10607
 140th STREET, SURREY, BC
 drawing title:

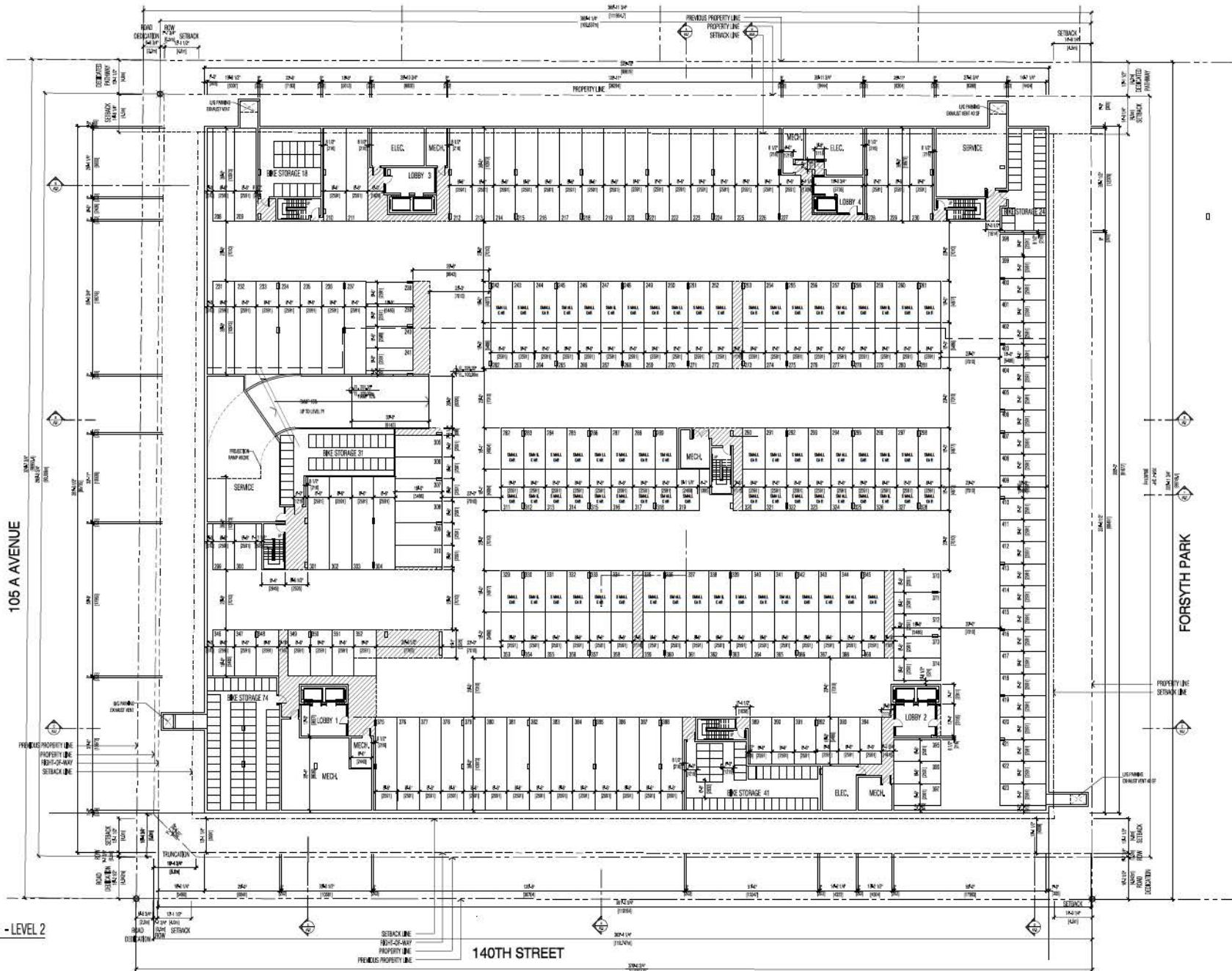
SITE PLAN

project no.: 15010
 drawn by: RMA
 checked by: RMA
 date: APRIL 8, 2016
 scale: AS NOTED



drawing no.

A1.1



U/G PARKING PLAN - LEVEL 2
SCALE 1:200

240 - 388 West 8th Ave.
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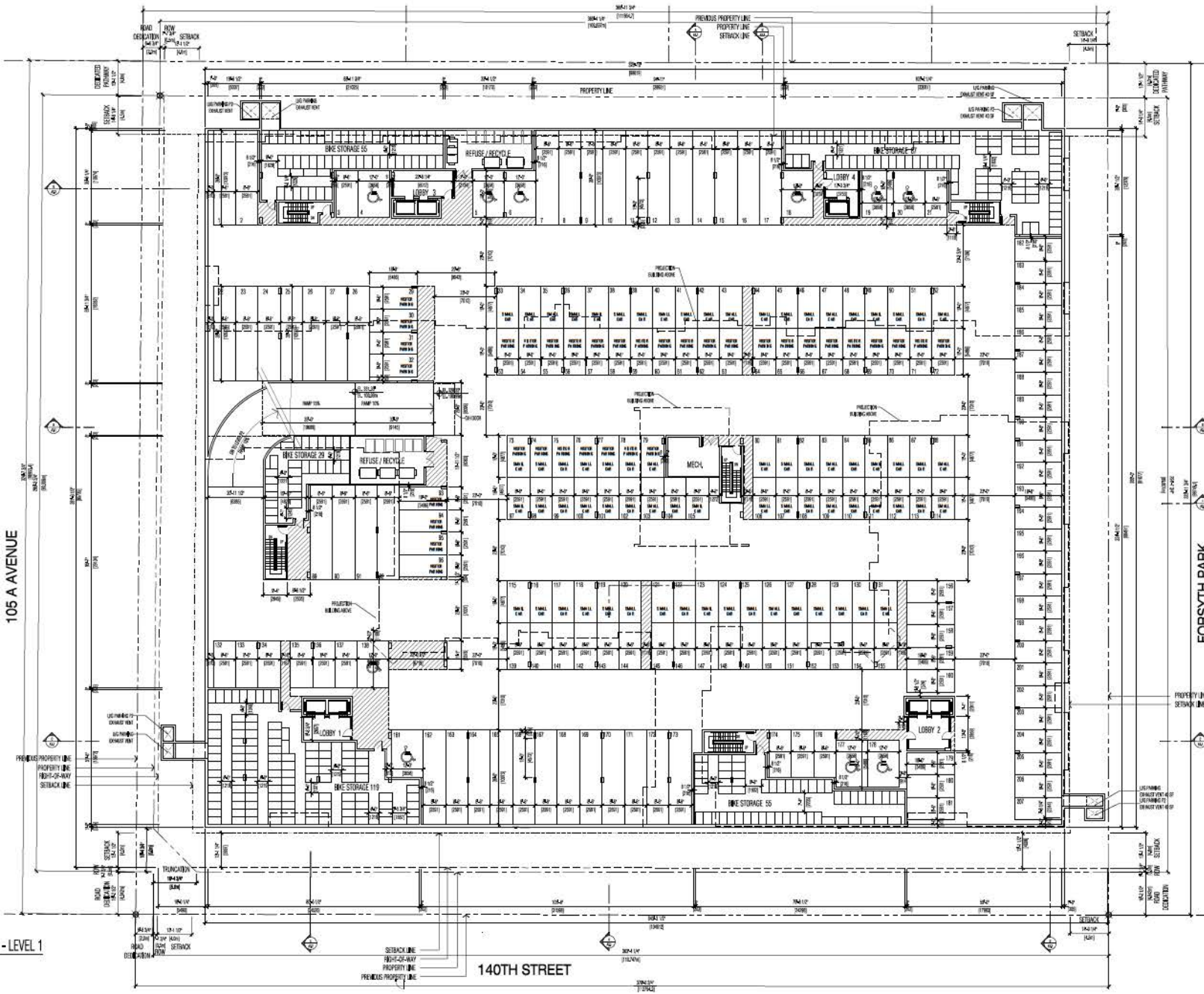
REVISIONS

NO.	DATE	DESCRIPTION
5	APRIL 25, 2016	RE-ISSUED FOR ADP
4	APRIL 21, 2016	RE-ISSUED FOR ADP
3	APRIL 8, 2016	RE-ISSUED FOR ADP
2	MAR 10, 2016	ISSUED FOR AMENDMENT
1	FEB 22, 2016	ISSUED FOR REVIEW

project title:
RESIDENTIAL DEVELOPMENT
10555, 10577, 10595, 10607
140th STREET, SURREY, BC
drawing title:
UNDERGROUND PARKING PLAN LEVEL P2

project no.: 15010
drawn by: HA
checked by: HA
date: APRIL 25, 2016
scale: AS NOTED

drawing no.:
A1.2



U/G PARKING PLAN - LEVEL 1
SCALE 1:200

140TH STREET

105 A AVENUE

FORSYTH PARK

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Tomas Wolf Architect ABC



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- 6 APRIL 25, 2016 RE-ISSUED FOR ADP
 - 4 APRIL 21, 2016 RE-ISSUED FOR ADP
 - 3 APRIL 8, 2016 RE-ISSUED FOR ADP
 - 2 MAR 10, 2016 ISSUED FOR R.O.P AMENDMENT
 - 1 FEB 23, 2016 ISSUED FOR REVIEW
- no. date description
revisions

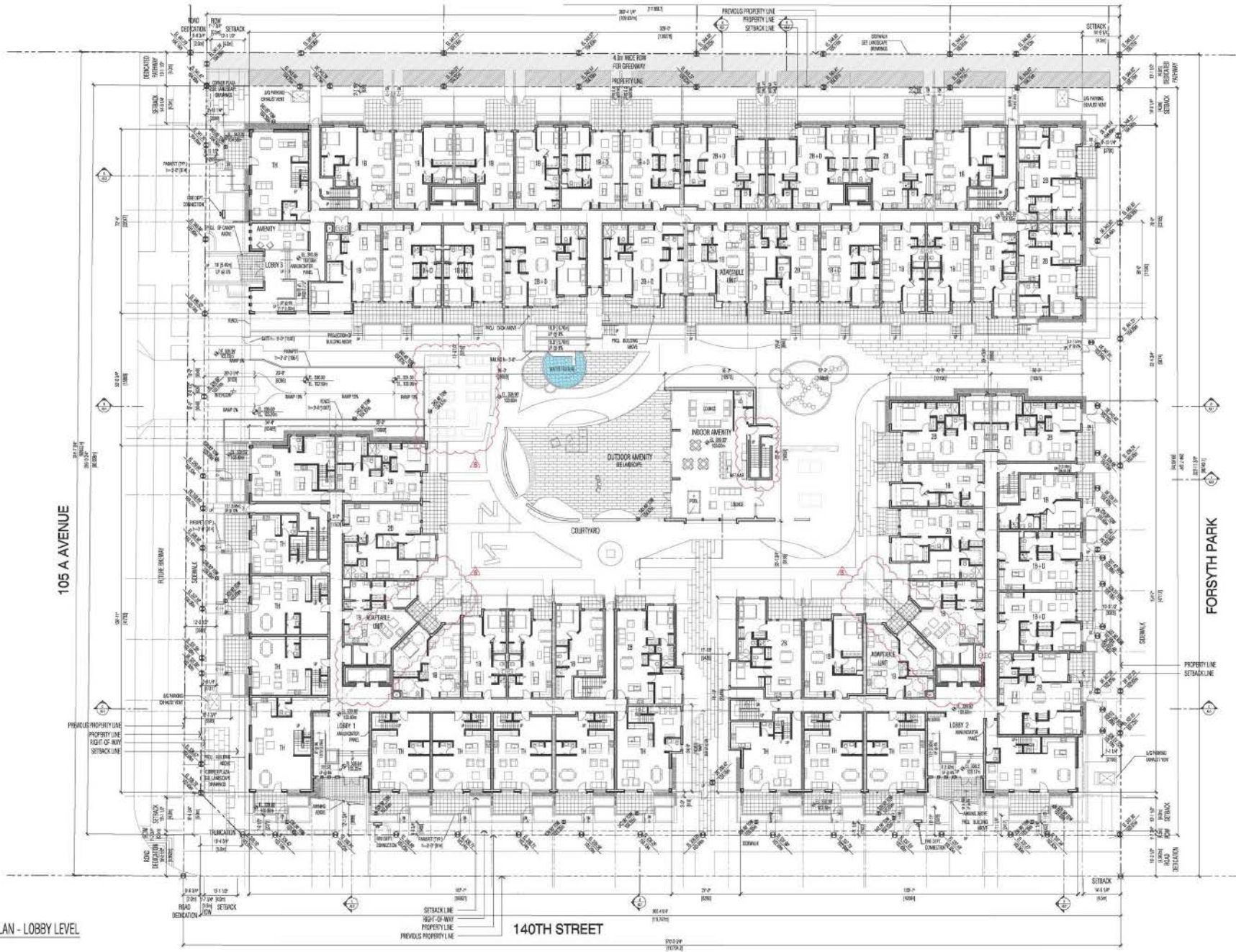
PROP OF THIS
RESIDENTIAL DEVELOPMENT
6 STORIES
10555, 10577, 10595, 10607
140TH STREET, SURREY, BC

Drawing title:
**UNDERGROUND PARKING
PLAN
LEVEL P1**

project no. 15010
drawn by HA
checked by SA
date APRIL 25, 2016
scale AS NOTED

drawing no. **A1.3**





GROUND FLOOR PLAN - LOBBY LEVEL
SCALE 1:200

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times that exceed AEC

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Approved Plans: The Municipality of Surrey has approved this plan for the purposes of the Development Permit Act.

- 3 APRIL 6, 2016 RE-ISSUED FOR ACP
 - 2 MAR 10, 2016 ISSUED FOR DP AMENDMENT
 - 1 FEB 23, 2016 ISSUED FOR REVIEW
- no. date description
revisions

PROJECT TITLE:
**RESIDENTIAL DEVELOPMENT
6 STORES**
10555 10577, 10595, 10607
140th STREET, SURREY, BC
drawing title:
**GROUND FLOOR
PLAN**

project no.: 15010
drawn by: HA
checked by: SA
date: APRIL 6, 2016
scale: AS NOTED

drawing no.:
A1.4



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3 APRIL 8, 2016 RE-ISSUED FOR ACP
2 MAR 10, 2014 ISSUED FOR DP AMENDMENT
1 FEB 22, 2016 ISSUED FOR REVIEW

no. date description
revisions

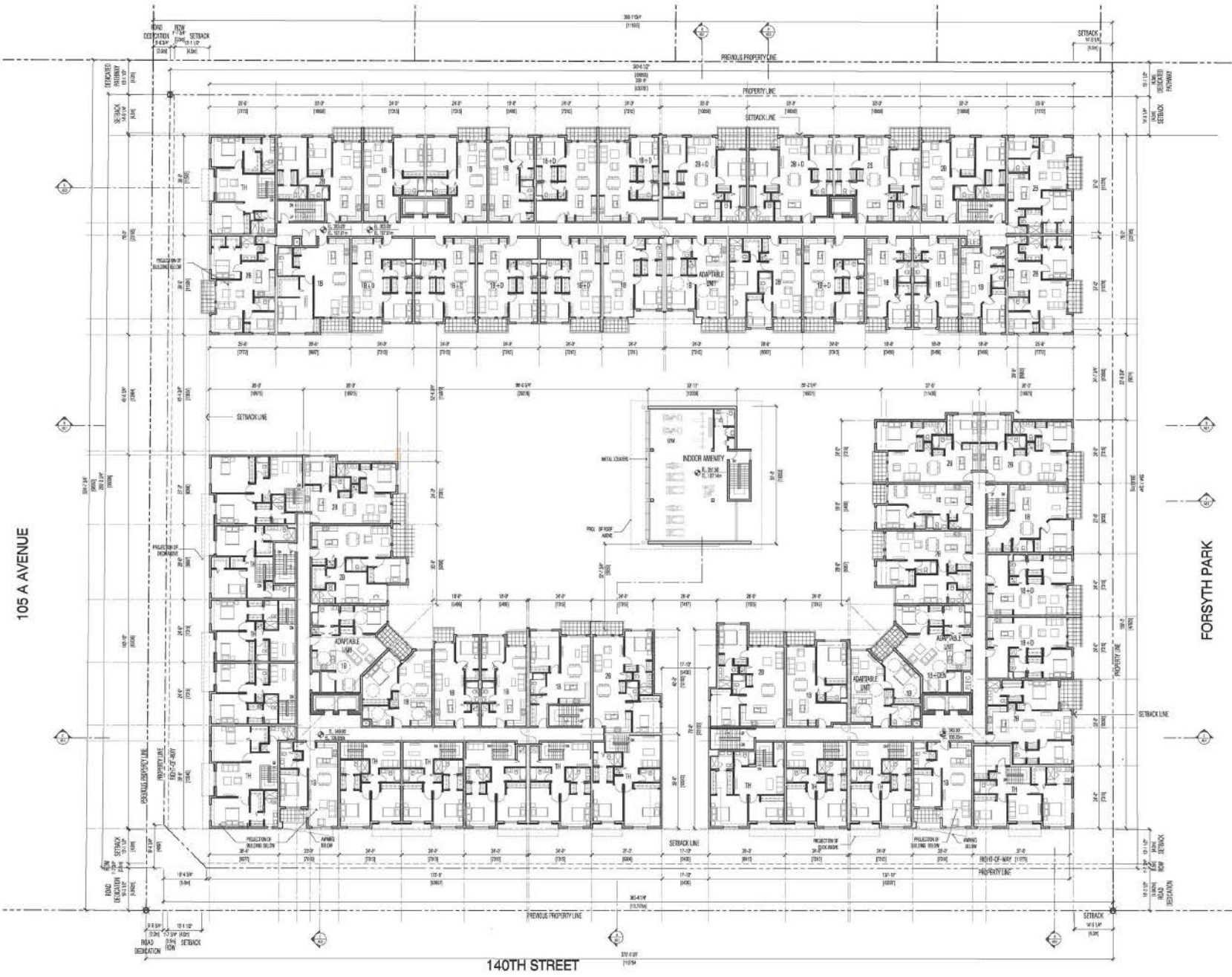
PROJECT TITLE:
RESIDENTIAL DEVELOPMENT
6 STORIES
10555, 10577, 10595, 10607
140th STREET, SURREY, BC

drawing title:
2ND FLOOR PLAN

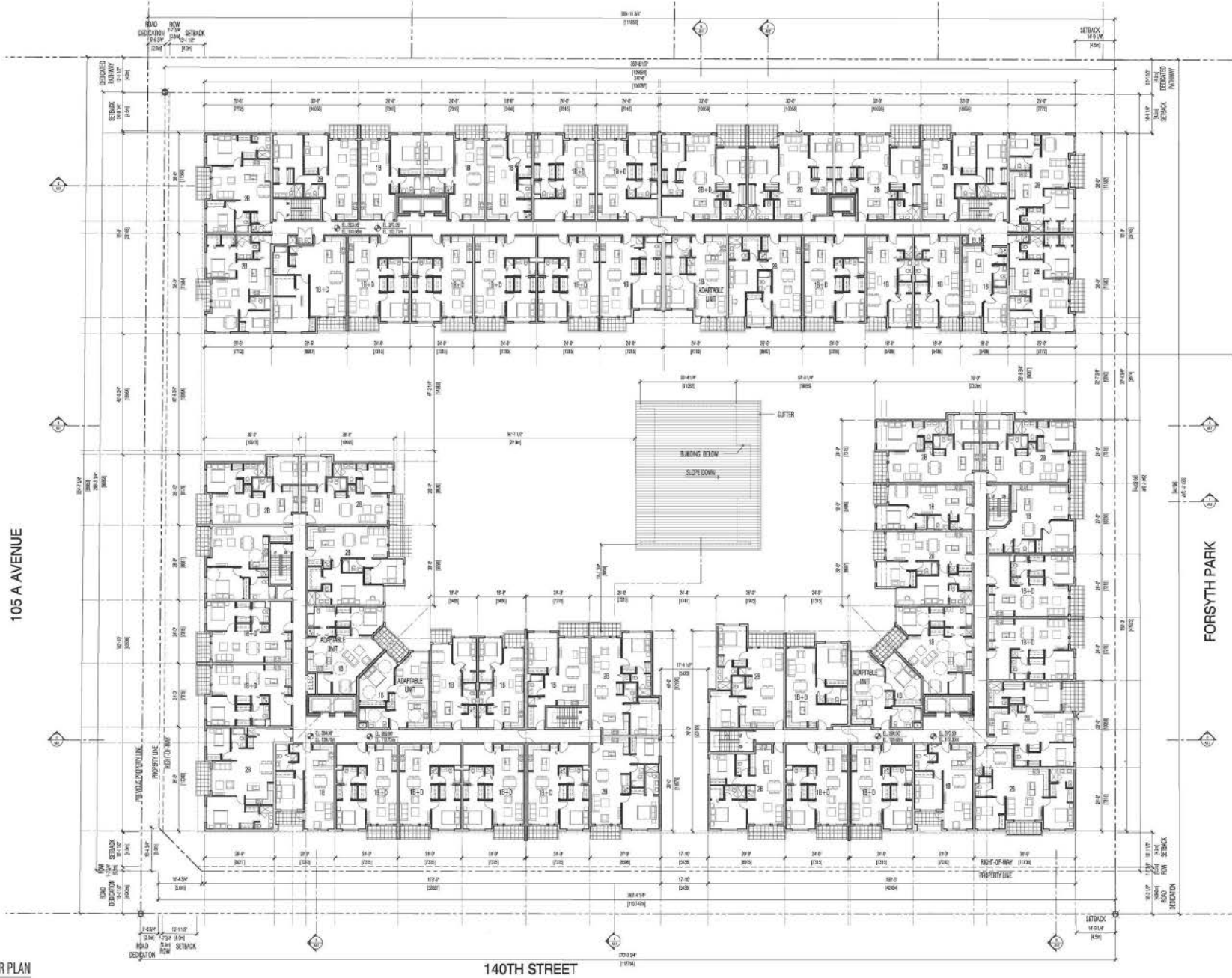
project no.: 15010
drawn by: 11A
checked by: SA
date: APRIL 8, 2016
scale: AS NOTED

drawing no.:

A1.5



2ND FLOOR PLAN
SCALE 1:200



3RD & 4TH FLOOR PLAN
 SCALE 1:200

140TH STREET

105 A AVENUE

FORSYTH PARK



3 APRIL 6, 2016 RE-ISSUED FOR ACP
 2 MAR 10, 2014 ISSUED FOR OF AMENDMENT
 1 FEB 22, 2016 ISSUED FOR REVIEW
 no. date description
 revisions

PROJECT TITLE:
 RESIDENTIAL DEVELOPMENT
 6 STORIES
 10555 10577, 10595, 10607
 140th STREET, SURREY, BC
 drawing title:
 3RD AND 4TH LEVELS
 FLOOR PLAN

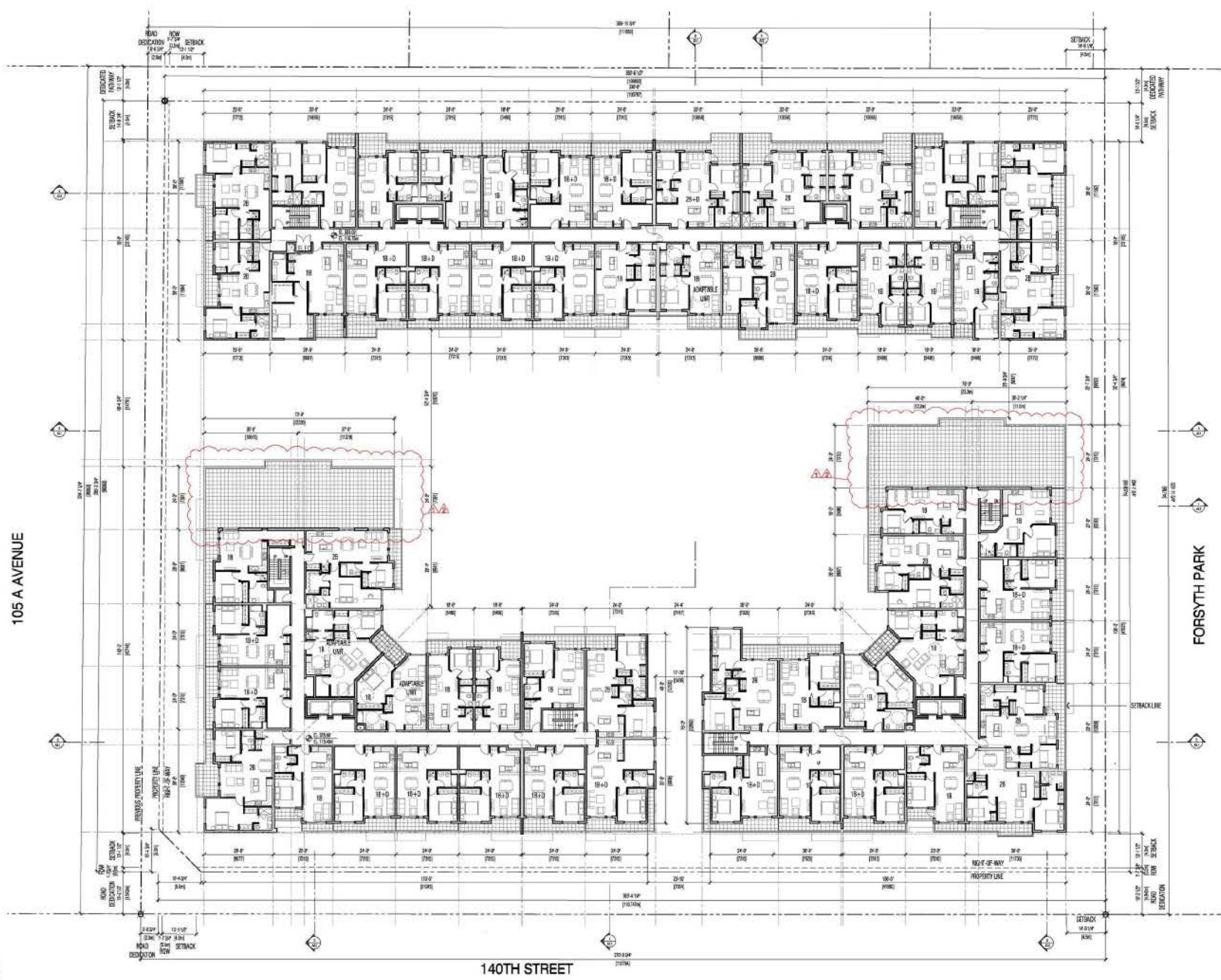
project no.: 15010
 drawn by: HA
 checked by: SA
 date: APRIL 6, 2016
 scale: AS NOTED



drawing no.:
 A1.6

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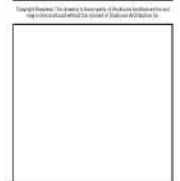


5TH FLOOR PLAN
 SCALE: 1:200

140TH STREET

105 A AVENUE

FORSYTH PARK



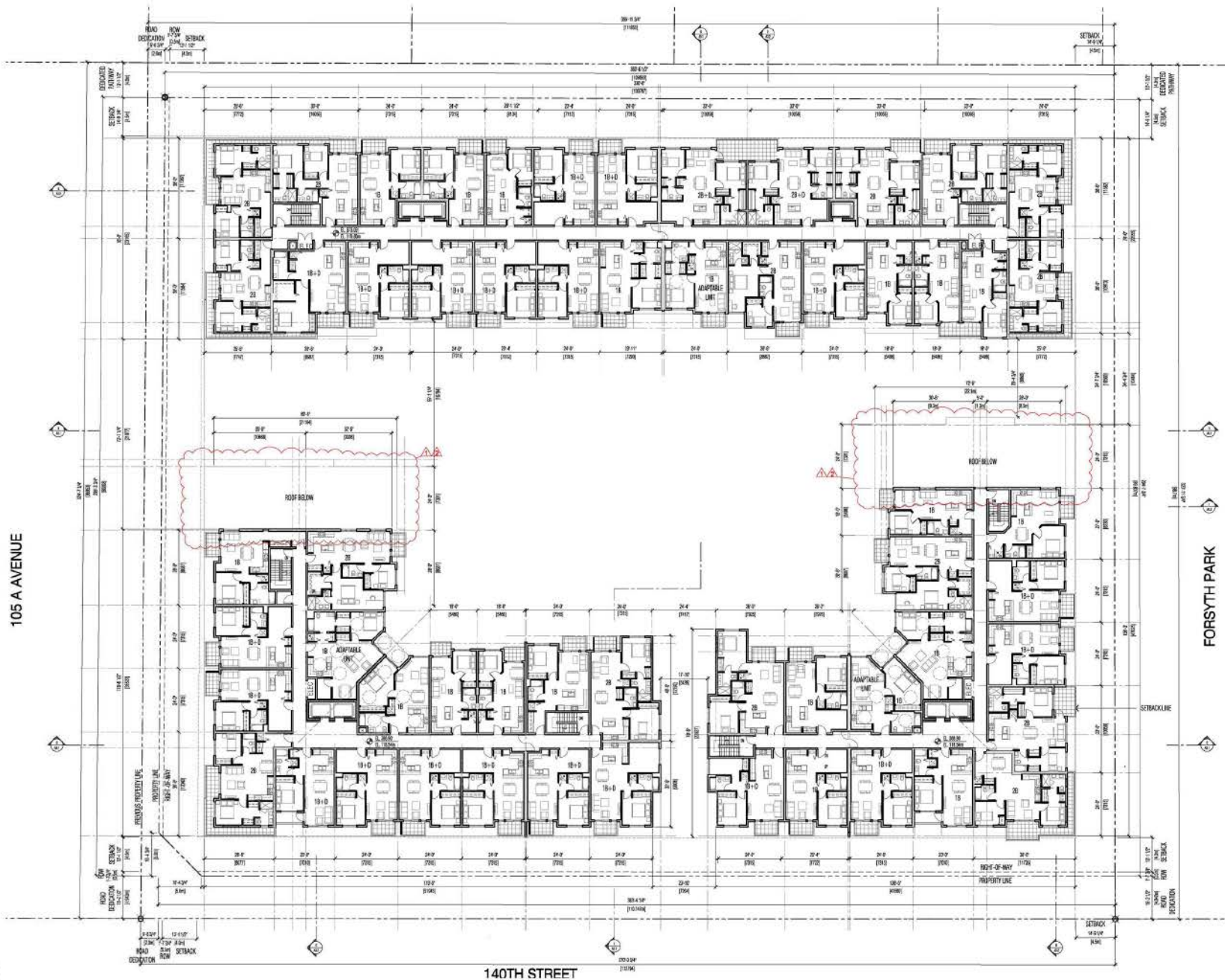
3 APRIL 6, 2016 RE-ISSUED FOR ACP
 2 MAR 10, 2014 ISSUED FOR DP AMENDMENT
 1 FEB 22, 2016 ISSUED FOR REVIEW
 no. date description
 revisions

PROJECT TITLE:
 RESIDENTIAL DEVELOPMENT
 6 STORIES
 10555, 10577, 10595, 10607
 140th STREET, SURREY, BC

drawing title:
 5TH FLOOR PLAN

project no.: 15010
 drawn by: HA
 checked by: SA
 date: APRIL 6, 2016
 scale: AS NOTED

drawing no.:
A1.7



6TH FLOOR PLAN
SCALE 1:200

140TH STREET

105 A AVENUE

FORSYTH PARK

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3 APRIL 6, 2016 RE-ISSUED FOR ACP
2 MAR 10, 2014 ISSUED FOR DP AMENDMENT
1 FEB 22, 2016 ISSUED FOR REVIEW
no. date description
revisions

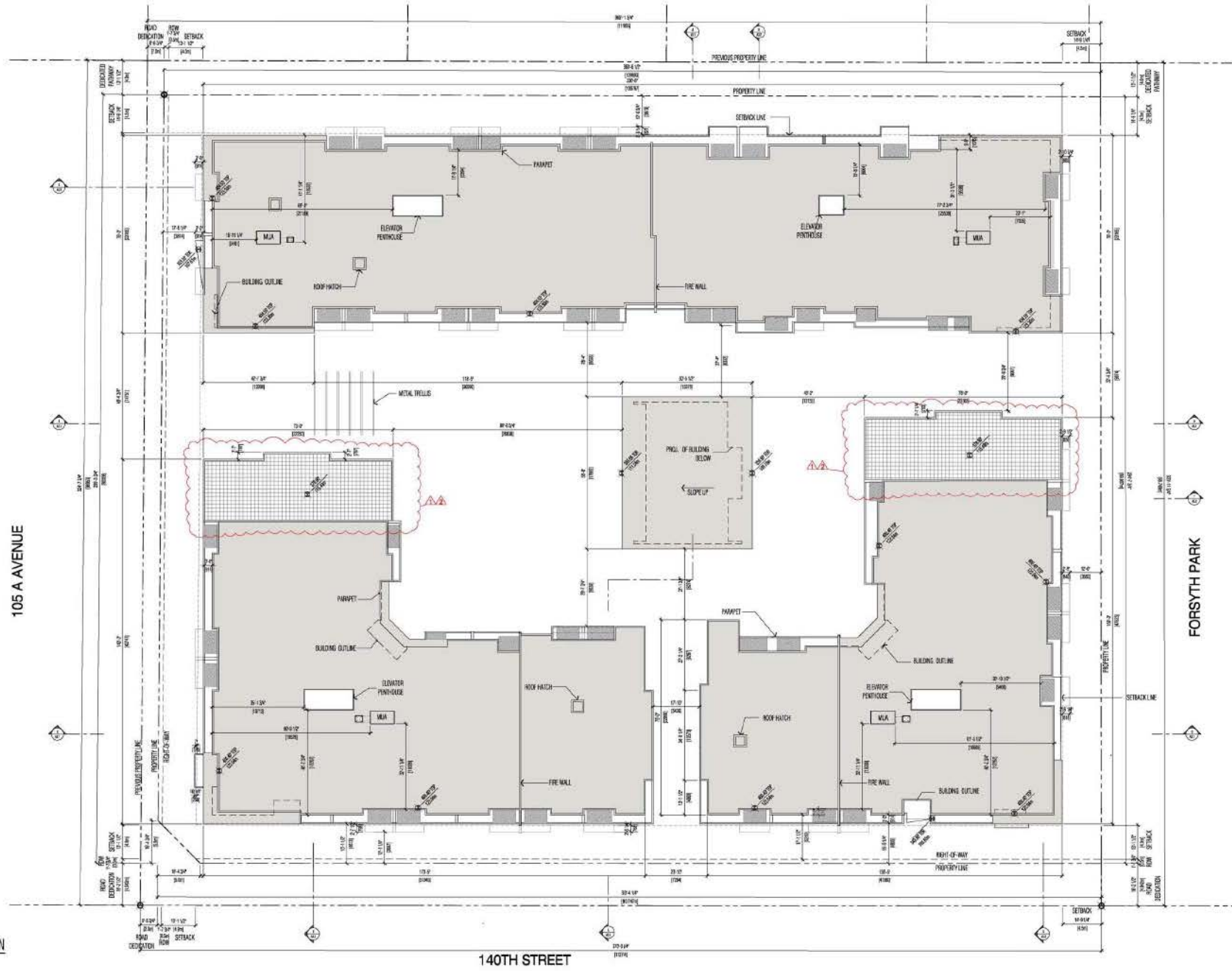
PROJECT TITLE:
RESIDENTIAL DEVELOPMENT
SIX STORIES
10555, 10577, 10595, 10607
140th STREET, SURREY, BC

drawing title:
6TH FLOOR PLAN

project no.: 15010
drawn by: HA
checked by: SA
date: APRIL 6, 2016
scale: AS NOTED



drawing no.:
A1.8



ROOF PLAN
 SCALE 1:200

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3 APR 6, 2016 RE-ISSUED FOR ADP
 2 MAR 10, 2015 ISSUED FOR CP AMENDMENT
 1 FEB 22, 2016 ISSUED FOR REVIEW
 no. date description
 revisions

project title
RESIDENTIAL DEVELOPMENT
 10555, 10577, 10595, 10607
 140th STREET, SURREY, BC
 drawing title
ROOF PLAN

project no.: 156117
 drawn by: HA
 checked by: SA
 date: APR 6, 2016
 scale: AS NOTED

drawing no.:
A1.9





EAST ELEVATION (140th STREET)
 SCALE 1/200 (ON 24X36 PAPER)

BUILDING A

BUILDING B



SOUTH ELEVATION (105A AVENUE)
 SCALE 1/200 (ON 24X36 PAPER)

BUILDING C

BUILDING A

MATERIALS LIST:

- 1 HARDE PANEL SMOOTH FINISH
 CO. DR. SP. JUNEBLE (CL. C100)
- 2 HARDE PANEL SMOOTH FINISH
 CO. DR. OUBROK - CL. 2400A
- 3 HARDE PANEL SMOOTH FINISH
 CO. DR. SP. - UP PORTINALE - CL. 2225B
- 4 HARDE PANEL SMOOTH FINISH
 CO. DR. SP. - HCFINIS - CL. 3122M
- 5 HARDE PANEL SMOOTH FINISH
 CO. DR. ARCTIC WHITE (COLORPLUS)
- 6 HARDE PANEL SMOOTH FINISH
 CO. DR. COBALT GREY (COLORPLUS)
- 7 HARDE - WEG FASADA BOARD - SMOOTH FINISH
 CO. DR. ARCTIC WHITE (COLORPLUS)
- 8 ADD-METALLAL FINISH (EXPOSED CONCRETE)
 (APPLY SEALER LIVE (EYTON INDUSTROP))
- 9 GROUND FLOOR CONCRETE BLOCK - METALL MATERIALS
- 10 VINYL WINDOW CASING WHITE
 PRE-PANDED METALL FLASHING
- 11 ALUMINUM SLANT WINDOWS WITH ASS' PANES
 CO. DR. GREY
- 12 ROOF OVERHANGS - PLASTIC SERIES TERE CONCRETE SORTIS
 CO. DR. MOUNTAIN CEDAR
- 13 BALCONY SORTIS - OREGON PRIME WINE (OR SIMILAR)
 CO. DR. STANFORD ASH
- 14 METALL FRAME WITH FRONTED GLASS PRIVACY SCREEN
 CO. DR. GREY
- 15 BOARD FORMED CONCRETE
- 16 FIBRE CONCRETE SILING IN WOOD GRAIN
 CO. DR. DARK ASH
- 17 APERTURE CLADDING
 CEDAR WOOD SILING
 CO. DR. STAINED OLYMPIC RED CLOVE
- 18 STANDING SEAM METALL ROOF - BE FRIDGE THE PANELS OR SIMILAR
 CO. DR. - CHARCOAL GREY
- 19 CEDAR WOOD SORTIS
 CO. DR. STAINED OLYMPIC RED CLOVE
- 20 ALUMINUM SOLAR SHAVES -
 CO. DR. BLACK
- 21 ALUMINUM STOREFRONT WINDOWS
 CO. DR. BLACK
- 22 STRUCTURAL STEEL FRAMING
 CO. DR. BLACK
- 23 METALL FABCA BOARD - BEFRIDGE L-PANEL OR SIMILAR
 CO. DR. CHARCOAL GREY
- 24 GLASS CANOPY

Approved for Construction by City of Vancouver on 10/18/2015

NO.	DATE	DESCRIPTION
1	APR 09, 2015	ISSUED FOR CP
2	MAY 19, 2015	ISSUED FOR CP AMENDMENT
3	NOV 9, 2015	ISSUED FOR RES. SUBMISSION TO ADP
4	DEC 22, 2015	ISSUED FOR RES. PENCE TO CITY REVIEW COMMENTS
5	MAY 19, 2016	ISSUED FOR CP AMENDMENT
6	APR 09, 2016	RE-ISSUED FOR ADP
7	NOV 9, 2015	ISSUED FOR RES. SUBMISSION TO ADP
8	NOV 9, 2015	ISSUED FOR RES. PENCE TO PRELIMINARY COMMENTS
9	SEP 24, 2015	ISSUED FOR CP

NO.	DATE	DESCRIPTION
1	APR 09, 2015	ISSUED FOR CP
2	MAY 19, 2015	ISSUED FOR CP AMENDMENT
3	NOV 9, 2015	ISSUED FOR RES. SUBMISSION TO ADP
4	DEC 22, 2015	ISSUED FOR RES. PENCE TO CITY REVIEW COMMENTS
5	MAY 19, 2016	ISSUED FOR CP AMENDMENT
6	APR 09, 2016	RE-ISSUED FOR ADP
7	NOV 9, 2015	ISSUED FOR RES. SUBMISSION TO ADP
8	NOV 9, 2015	ISSUED FOR RES. PENCE TO PRELIMINARY COMMENTS
9	SEP 24, 2015	ISSUED FOR CP

Project info:
**RESIDENTIAL DEVELOPMENT
 6 STORES**
 10555, 10577, 10595, 10607
 140th STREET, SURREY, BC
 drawing title
**EAST & SOUTH
 ELEVATIONS**

Project no.: 1501 D
 drawn by: RA
 checked by: SA
 date: APRIL 8, 2016
 scale: AS NOTED

drawing no.:
A2.1



NORTH ELEVATION (FORSYTH PARK)
 SCALE: 1/200 (ON 24X36 PAPER)

BUILDING B

BUILDING C



WEST ELEVATION
 SCALE: 1/200 (ON 24X36 PAPER)

BUILDING C

NO.	DESCRIPTION
1	WIDE PANEL SMOOTH FINISH COLOR: OF JUNE DE FICCA - CH164
2	WIDE PANEL SMOOTH FINISH COLOR: OUTBACK - CL2466A
3	WIDE PANEL SMOOTH FINISH COLOR: OF - OP PORTABLE - CL 2382D
3a	WIDE PANEL SMOOTH FINISH COLOR: OF - H-EMONS - CL 3155M
4	WIDE PANEL SMOOTH FINISH COLOR: ARCTIC WHITE (COLORPLUS)
5	WIDE PANEL SMOOTH FINISH COLOR: COBBLESTONE (COLORPLUS)
6	WIDE - 18" FASCIA BOARD - SMOOTH FINISH COLOR: ARCTIC WHITE (COLORPLUS)
7	ARCHITECTURAL FINISH FORMER CONCRETE (APPLY SEALER LIKE KYTON HYDROSTOP)
8	GROUND FACE CONCRETE (COLOR - NATURAL MATERIALS) COLOR: CASTLE WHITE
9	VINYL WINDOWS COLOR: WHITE
10	PRE-PAINTED METAL FLASHING COLOR: NAAM METALS, STONE GREY
11	ALUMINUM GUARDRAILS WITH GLASS PANELS COLOR: GREY
12	ROOF OVERHANGS - PLASTIC SERIES FINE CEMENT SOFFITS COLOR: MOUNTAIN OCEAN
13	BALCONY SOFFITS - OCEAN PRIDE VINYL (OR SIMILAR) COLOR - STANBRO ASH
14	METAL FRAME WITH FROSTED GLASS PRIVACY SCREEN COLOR - GREY
15	BOARD FORMED CONCRETE
16	PERE CEMENT SIDING IN WOOD GRAY COLOR - DARK ASH
17	AMENITY BUILDING CEAR WOOD SIDING COLOR - STAINED OLYMPIC RED-GLOVE
18	STAINING SHAM METAL ROOF - REPRODUCE THE PANEL O1'S MILA COLOR - CHARCOAL GREY
19	CEAR WOOD SOFFIT COLOR - STAINED OLYMPIC RED-GLOVE
20	ALUMINUM SQUARE DIVIDES COLOR - BLACK
21	ALUMINUM STOREFRONT WINDOWS COLOR - BLACK
22	STRUCTURAL STEEL FRAME COLOR - BLACK
23	METAL FASCIA BOARD - REPRODUCE L-PANEL OR SIMILAR COLOR - CHARCOAL GREY
24	GLASS CANOPY

NO.	DATE	DESCRIPTION
6	APR 8, 2016	RE-ISSUED FOR RFP
5	MAR 10, 2016	ISSUED FOR RFP AMENDMENT
4	DEC 22, 2015	ISSUED FOR RESPONSE TO CITY REVIEW COMMENTS
3	NOV 16, 2015	SUBMISSION TO ADR
2	NOV 9, 2015	ISSUED FOR RESPONSE TO PRELIMINARY COMMENTS
1	SEP 24, 2015	ISSUED FOR RFP

project title:
RESIDENTIAL DEVELOPMENT
 10555, 10577, 10595, 10607
 140th STREET, SUPREY, BC

drawing title:
NORTH & WEST ELEVATIONS

project no.:	15010
drawn by:	HA
checked by:	SA
date:	APR 8, 2016
scale:	AS NOTED

drawing no.:

A2.2



COURTYARD NORTH ELEVATION (FORSYTH PARK)
 SCALE 1:200

MATERIALS LIST

- 1) ANGLE PANEL SHEATH FINISH
 COLOR: OFF WHITE PINK - CHISEL
- 2) ANGLE PANEL SHEATH FINISH
 COLOR: OUTRANC - CLIMBER
- 3) ANGLE PANEL SHEATH FINISH
 COLOR: OP - SPORTRAIL - CL 2025I
- 4) ANGLE PANEL SHEATH FINISH
 COLOR: ACTIC WHITE (COLMPLUS)
- 5) ANGLE PANEL SHEATH FINISH
 COLOR: COLLECTIVE (COLMPLUS)
- 6) ANGLE - HD FACED BRIMS - SHEATH FINISH
 COLOR: ACTIC WHITE (COLMPLUS)
- 7) ARCHITECTURAL FINISH EXPOSED CONCRETE
 (BAY SCALD INC. WITH ANTI-SEEP)
- 8) EXPOSED CONCRETE BLOCK, METAL FINISHES
 COLOR: CASTLE WHITE
- 9) VINYL WINDOWS 220X WHITE
 (PRE-FINISH METAL FLASHING)
 COLOR: MARON METALS, STONE GREY
- 10) ALUMINUM GLAZING WITH GLASS PANELS
 COLOR: GREY
- 11) ROOF (HYFRAN) - PLASTIC SERIES FIBRE CEMENT SHEETS
 COLOR: MOUNTAIN CEDAR
- 12) WALLING SYSTEM - GREEN-TREE VINYL (SP-SIMILAR)
 COLOR: STANDARD ASH
- 13) METAL FRAME WITH FINISHED GLASS FINANC SCREEN
 COLOR: GREY
- 14) HARD FINISHED CONCRETE
- 15) FIBRE CONCRETE BLOCK IN WOOD GRAIN
 COLOR: DARK ASH
- 16) ANGLE PANEL SHEATH
 COLOR: STAINED OLIVE WOOD GRAIN
- 17) STAINING OLIVE WOOD GRAIN - FINISHED TIL PANEL OR SIMILAR
 COLOR: SPORTRAIL GREY
- 18) CEILING WOOD JOIST
 COLOR: STAINED OLIVE WOOD GRAIN
- 19) ALUMINUM GLAZING SHADES
 COLOR: BLACK
- 20) ALUMINUM GLAZING WINDOWS
 COLOR: BLACK
- 21) STRUCTURAL STEEL FRAME
 COLOR: BLACK
- 22) METAL FACIATION BOARD - BRICKS/SLAB ON SIMILAR
 COLOR: CHARCOAL GREY
- 23) SLICE CHIPPY



COURTYARD EAST ELEVATION (140th STREET)
 SCALE 1:200

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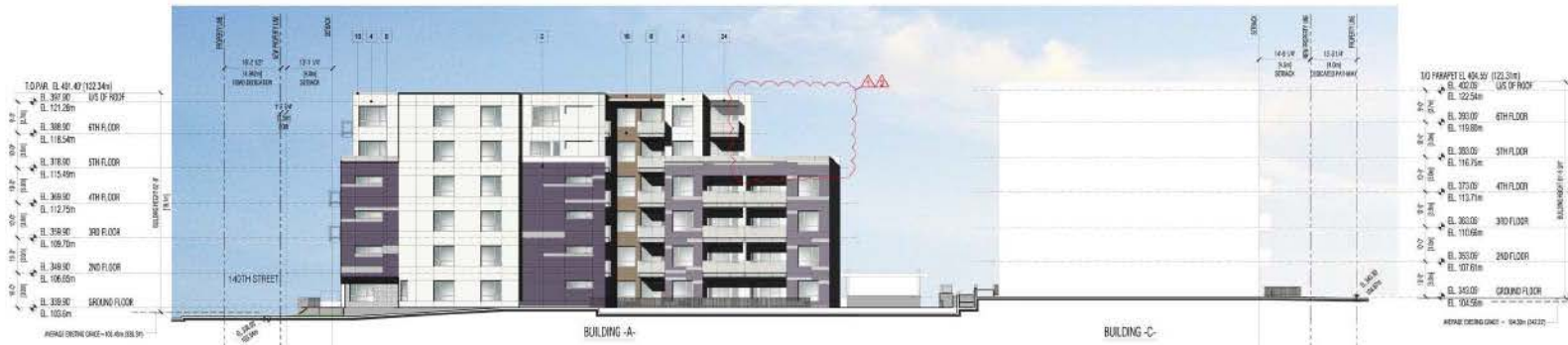
5. APR 8, 2016. RE-ISSUED FOR ACP
 6. MAR 10, 2016. ISSUED FOR CP AMENDMENT
 4. DEC 22, 2015. ISSUED FOR RESPONSE TO CITY REVIEW COMMENTS
 3. NOV 16, 2015. SUBMISSION TO ACP
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 1. SEP 24, 2015. ISSUED FOR CP
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 revisions

project title:
RESIDENTIAL DEVELOPMENT
 10555-10577, 10595, 10607
 140th STREET, SURREY, BC
 drawing title:
COURTYARD ELEVATIONS

project no. 15010
 drawn by: HA
 checked by: SA
 date: APR 8, 2016
 scale: AS NOTED

drawing no.:

A2.3



COURTYARD SOUTH ELEVATION (105A ST.)
 SCALE 1:200

- MARKING LIST:**
- 01 WOOD PANEL SMOOTH FINISH
 - 02 WOOD PANEL SMOOTH FINISH
 - 03 WOOD PANEL SMOOTH FINISH
 - 04 WOOD PANEL SMOOTH FINISH
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 - 06 WOOD PANEL SMOOTH FINISH
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 - 100 WOOD PANEL SMOOTH FINISH



COURTYARD WEST ELEVATION
 SCALE 1:200

- 6 APR 8, 2016 RE-ISSUED FOR ADP
- 5 MAR 10, 2016 ISSUED FOR DP AMENDMENT
- 4 DEC 22, 2015 ISSUED FOR RESPONSE TO CITY REVIEW COMMENTS
- 5 NOV 18, 2015 SUBMISSION TO ADP
- 2 NOV 9, 2015 ISSUED FOR RESPONSE TO PRELIMINARY COMMENTS
- 1 SEP 24, 2015 ISSUED FOR DP

no. date description:
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project title:
 RESIDENTIAL DEVELOPMENT

10555, 10577, 10595, 10607
 140TH STREET, SURREY, BC

drawing title:
 COURTYARD ELEVATIONS

project no.: 15010
 drawn by: HA
 checked by: SA
 date: APR 8, 2016
 scale: AS NOTED

drawing no.:
A2.4



GROUND FLOOR PLAN AMENITY BUILDING
SCALE 1:100



SECOND FLOOR PLAN AMENITY BUILDING
SCALE 1:100

MATERIAL LIST	
11	WIDE PANEL SMOOTH FINISH
12	WIDE PANEL SMOOTH FINISH
13	WIDE PANEL SMOOTH FINISH
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15	WIDE PANEL SMOOTH FINISH
16	WIDE PANEL SMOOTH FINISH
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100	WIDE PANEL SMOOTH FINISH



SOUTH ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100



NORTH ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100

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NO.	DATE	DESCRIPTION
1	SEP 24, 2015	ISSUED FOR DP
2	DEC 22, 2015	ISSUED FOR RESPONSE TO CITY REVIEW COMMENTS
3	MAR 10, 2016	ISSUED FOR DP AMENDMENT
4	APR 8, 2016	RE-ISSUED FOR ADP

PROJECT TITLE:
RESIDENTIAL DEVELOPMENT

10555 10577, 10595 10607
140th STREET, SURREY, BC

DRAWING TITLE:
ELEVATIONS
AMENITY BUILDING

PROJECT NO.: 15010
DRAWN BY: ST
CHECKED BY: TW
DATE: APR 8, 2016
SCALE: AS NOTED

DRAWING NO.:
A2.5



RENDERING
SCALE NTS

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5 APR 8, 2016 RE-ISSUED FOR ADP
4 MAR 15, 2016 SUBMISSION TO ADP
3 MAR 10, 2016 ISSUED FOR OF AMENDMENT
2 DEC 22, 2015 ISSUED FOR RESPONSE
TO CITY REVIEW COMMENTS
1 NOV 18, 2015 SUBMISSION TO ADP
FOR PRELIMINARY COMMENTS

no.	date	description	revisions

PROJECT TITLE:
RESIDENTIAL DEVELOPMENT
10555 10577, 10595 10607
140th STREET, SURREY, BC
DRAWING TITLE:
AMENITY BUILDING
3D VIEW

project no.:	15010
drawn by:	ST
checked by:	TW
date:	APR 8, 2016
scale:	AS NOTED

DRAWING NO.:

A2.6

240 - 388 West 8th Ave
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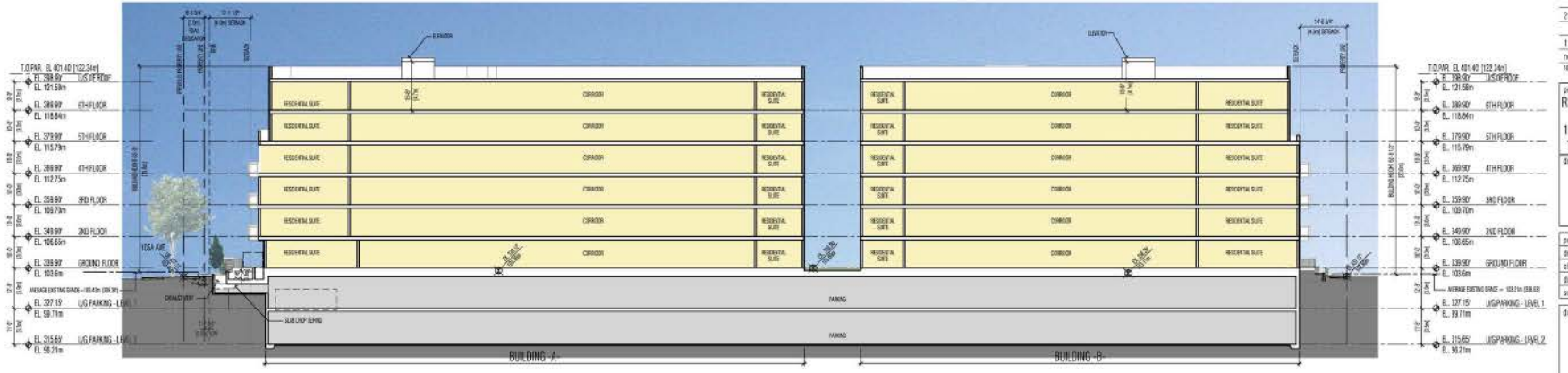
SECTION A-A
 SCALE 1:200



SECTION B-B
 SCALE 1:200



SECTION C-C
 SCALE 1:200



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- 7 APR 8, 2016 RE-ISSUED FOR ADP
 - 6 MAR 16, 2016 ISSUED FOR DP AMENDMENT
 - 5 DEC 22, 2015 ISSUED FOR RESPONSE TO CITY REVIEW COMMENTS
 - 4 NOV 16, 2015 SUBMISSION TO ADP
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 - 1 SEP 24, 2015 ISSUED FOR DP
- no.: date: description: revisions:

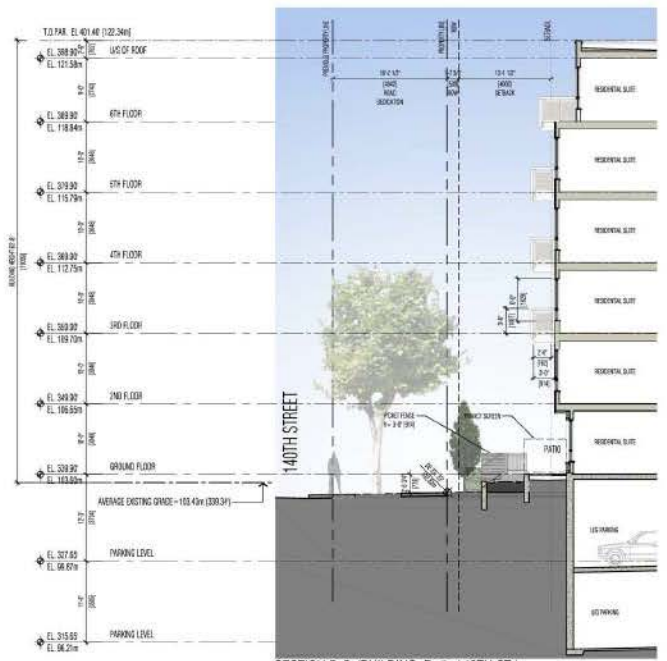
project file:
 RESIDENTIAL DEVELOPMENT
 10555, 10577, 10595, 10607
 140th STREET, SURREY, BC

drawing title:
 SECTIONS
 A-A, B-B, C-C

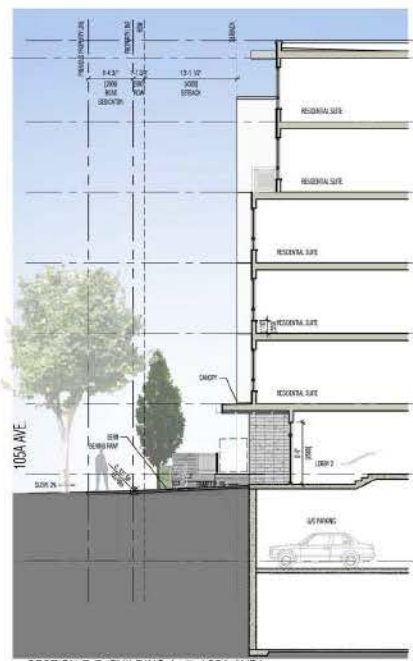
project no.: 15010
 drawn by: HA
 checked by: SA
 date: APR 8, 2016
 scale: AS NOTED

drawing no.:

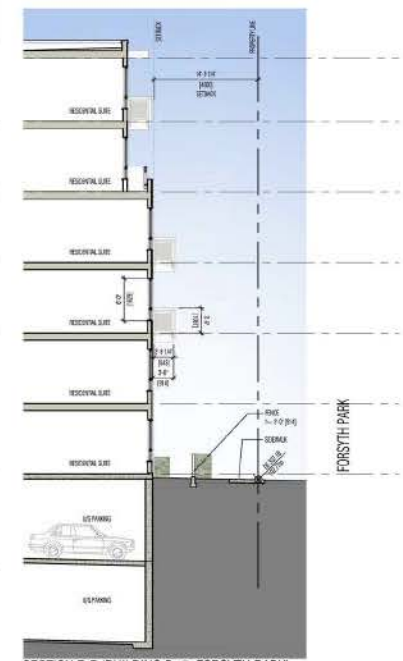
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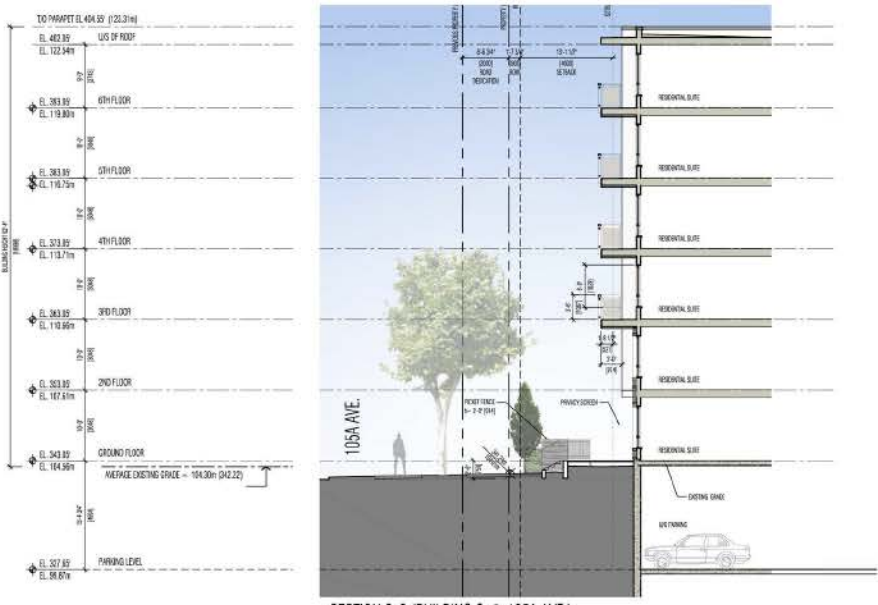
SECTION D-D (BUILDING B @ 140TH ST.)
 SCALE 1:100



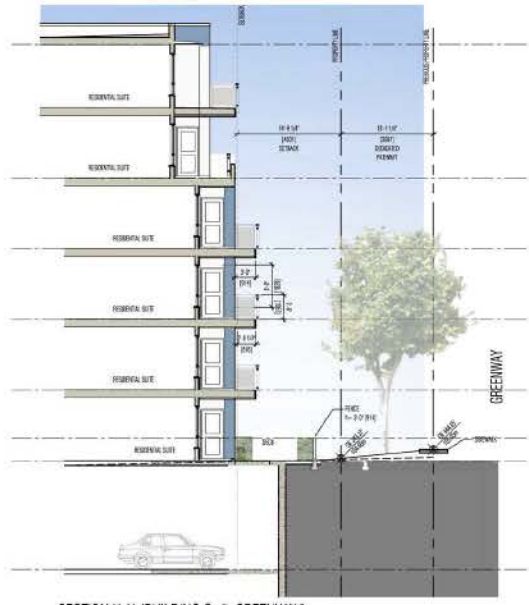
SECTION E-E (BUILDING A @ 105A AVE.)
 SCALE 1:100



SECTION F-F (BUILDING B @ FORSYTH PARK)
 SCALE 1:100



SECTION G-G (BUILDING C @ 105A AVE.)
 SCALE 1:100



SECTION H-H (BUILDING C @ GREENWAY)
 SCALE 1:100

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 - 6 MAR 10, 2016 ISSUED FOR CP AMENDMENT
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project title:
RESIDENTIAL DEVELOPMENT
 10555, 10577, 10595, 10607
 140th STREET, SURREY, BC

drawing title:
**SECTIONS
 DD, E-E, F-F, G-G, H-H**

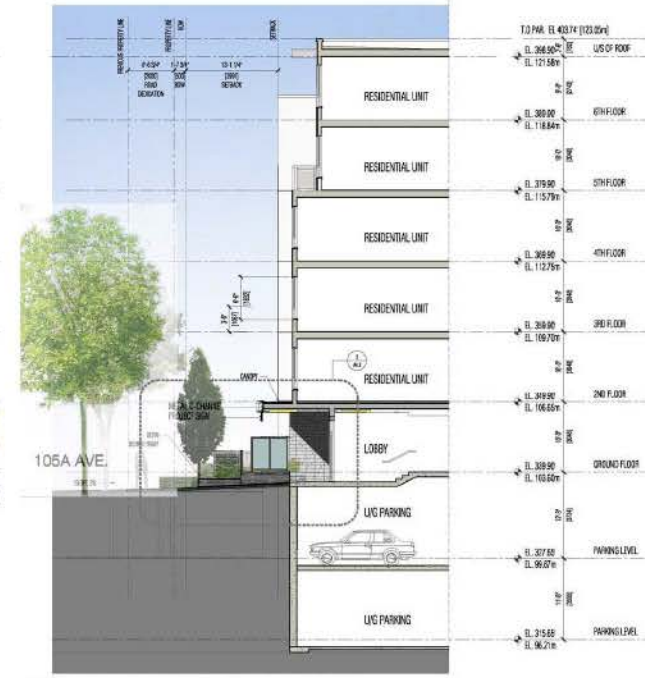
project no.: 15010
 drawn by: HA
 checked by: SA
 date: APR 8, 2016
 scale: 1:100

drawing no.:
A3.2



EAST ELEVATION (140TH STREET) - BUILDING B -
 SCALE 1/100 (ON 24x36 FORMAT)

MATERIALS LIST:			
1	HARDE PANEL SMOOTH FINISH COLOR: SP JUNA DE PUCA - CH90	8	GROUND FACE CONCRETE BLOCK - MIXTURAL MATERIALS COLOR: CASTLE WHITE
2	HARDE PANEL SMOOTH FINISH COLOR: OUTBACK - CL 2466A	9	W/IK WINDOWS COLOR: WHITE
3	HARDE PANEL SMOOTH FINISH COLOR: SP - GP PORTABLE - CL 2325D	10	PRE-PRINTED METAL FLASHING COLOR: MASON METALS, STONE GREY
4	HARDE PANEL SMOOTH FINISH COLOR: SP - HSPINS - CL 3123M	11	ALUMINUM QUADRAALS WITH GLASS PANELS COLOR: GREY
5	HARDE PANEL SMOOTH FINISH COLOR: CORAL STONE (COLORPLUS) COLOR: SP - HSPINS - CL 3123M	12	ROOF OVERHANGS - PLSTIC SERIES FIBRE CEMENT SOFFITS COLOR: MOUNTAIN DESAF
6	HARDE PANEL SMOOTH FINISH COLOR: CORAL STONE (COLORPLUS) COLOR: SP - HSPINS - CL 3123M	13	BALCONY SOFFITS - DESIGN PRIDE VINYL (OR SIMILAR) COLOR: STANDARD ASH
7	HARDE PANEL SMOOTH FINISH EXPOSED CONCRETE (APPLY SEALER LIKE KRITON HYDROSTOP)	14	METAL FRAME WITH FROSTED GLASS PRIVACY SCREEN COLOR: GREY
		15	BOARD FORMED CONCRETE
		16	FIBRE CEMENT SIDING IN WOOD GRAIN COLOR: DARK ASH
		17	AMENITY BUILDING CEDAR WOOD SIDING COLOR: STAINED OLIMPIC RED CLOVE
		18	STANDING SEAM METAL ROOF - REVERSE TEE PANEL, OR SIMILAR COLOR: CHARCOAL GREY
		19	CEDAR WOOD SOFFIT COLOR: STAINED OLIMPIC RED CLOVE
		20	ALUMINUM SILL AN SPINDS - COLOR: BLACK
		21	ALUMINUM STRENGTHENED WINDOWS COLOR: BLACK
		22	STRUCTURAL STEEL FRAME COLOR: BLACK
		23	METAL FASCIA BOARD - REVERSE TEE PANEL, OR SIMILAR COLOR: CHARCOAL GREY
		24	GLASS CANOPY



DETAIL SECTION A - BUILDING A ENTRANCE LOBBY
 SCALE 1/100 (ON 24x36 FORMAT)

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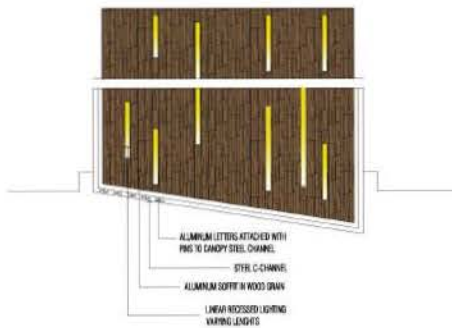
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RESIDENTIAL DEVELOPMENT
 10555, 10577, 10595, 10607
 140th STREET, SURREY, BC
 drawing title:
ELEVATION DETAILS

project no. 15010
 drawn by: ST
 checked by: TW
 date: APRIL 8, 2016
 scale: AS NOTED

drawing no.:

A4.1



1 BUILDING ENTRANCE REFLECTED CEILING PLAN
SCALE 1/50



2 BUILDING ENTRANCE CANOPY AND SIGN ELEVATION
SCALE 1/25



3 SECTION DETAIL THROUGH BUILDING A ENTRANCE
SCALE 1/25

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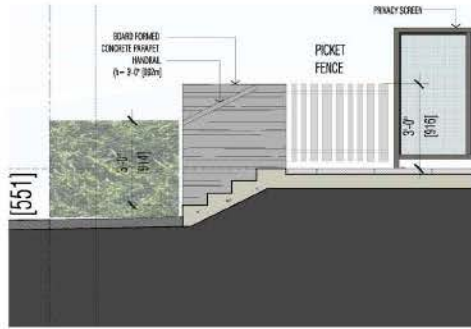
2 APR 8, 2016 RE-ISSUED FOR ADP
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project title: RESIDENTIAL DEVELOPMENT
10555, 10577, 10595, 10607
140th STREET, SURREY, BC
drawing title: BUILDING ENTRANCE DETAILS

project no.: 15010
drawn by: ST
checked by: TST
date: APRIL 8, 2016
scale: AS NOTED

drawing no.:

A4.2



3
A4.3
DETAIL SECTION THROUGH TOWNHOUSE ENTRY (STAIRS)
SCALE 1/25



3
A4.3
DETAIL ELEVATION OF TOWNHOUSE ENTRY
SCALE 1/25



1
A4.3
DETAIL ELEVATION OF TOWNHOUSE
SCALE 1/25



2
A4.3
DETAIL SECTION THROUGH TOWNHOUSE ENTRY
SCALE 1/25

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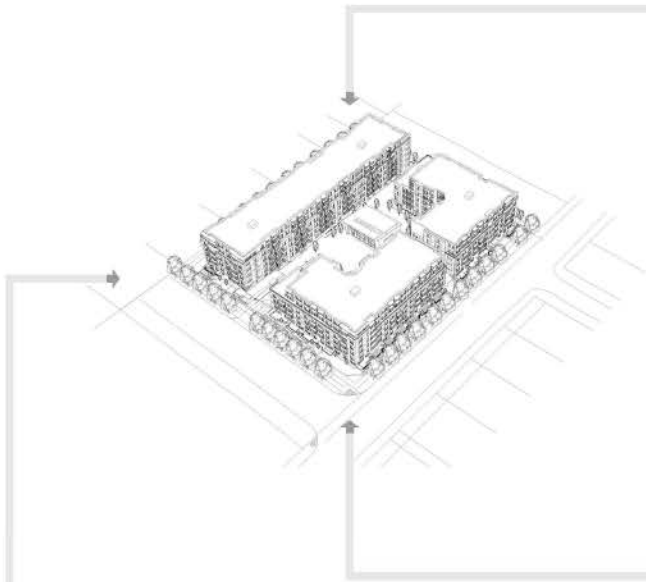
3 APR 8, 2016 RE-ISSUED FOR ACP
2 MAR 16, 2016 ISSUED FOR CP AMENDMENT
no. date description:
revisions:

project title:
RESIDENTIAL DEVELOPMENT
10555, 10577, 10595, 10607
140th STREET, SURREY, BC
drawing title:
ELEVATION DETAILS
TOWNHOUSES

project no.: 15010
drawn by: ST
checked by: TW
date: APRIL 8, 2016
scale: AS NOTED

drawing no.:

A4.3



NORTH WEST CORNER - FORSYTH PARK & GREENWAY

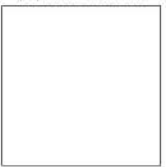


SOUTH WEST CORNER - GREENWAY & 105A AVE.



NORTH EAST CORNER - 140TH STREET & FORSYTH PARK

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7	APR 08, 2016	RE-ISSUED FOR ACP
6	MAY 10, 2016	ISSUED FOR DP AMENDMENT
5	DEC 22, 2016	ISSUED FOR RES- POINSE TO CITY REVIEW COMMENTS
4	NOV 16, 2016	SUBMISSION TO ACP
3	NOV 9, 2016	ISSUED FOR RES- POINSE TO PRELIMINARY COMMENTS
2	OCT 20, 2016	ISSUED FOR RES- POINSE TO PRELIMINARY COMMENTS
1	SEP 24, 2016	ISSUED FOR DP
	to:	date:

revisions

project title:
RESIDENTIAL DEVELOPMENT

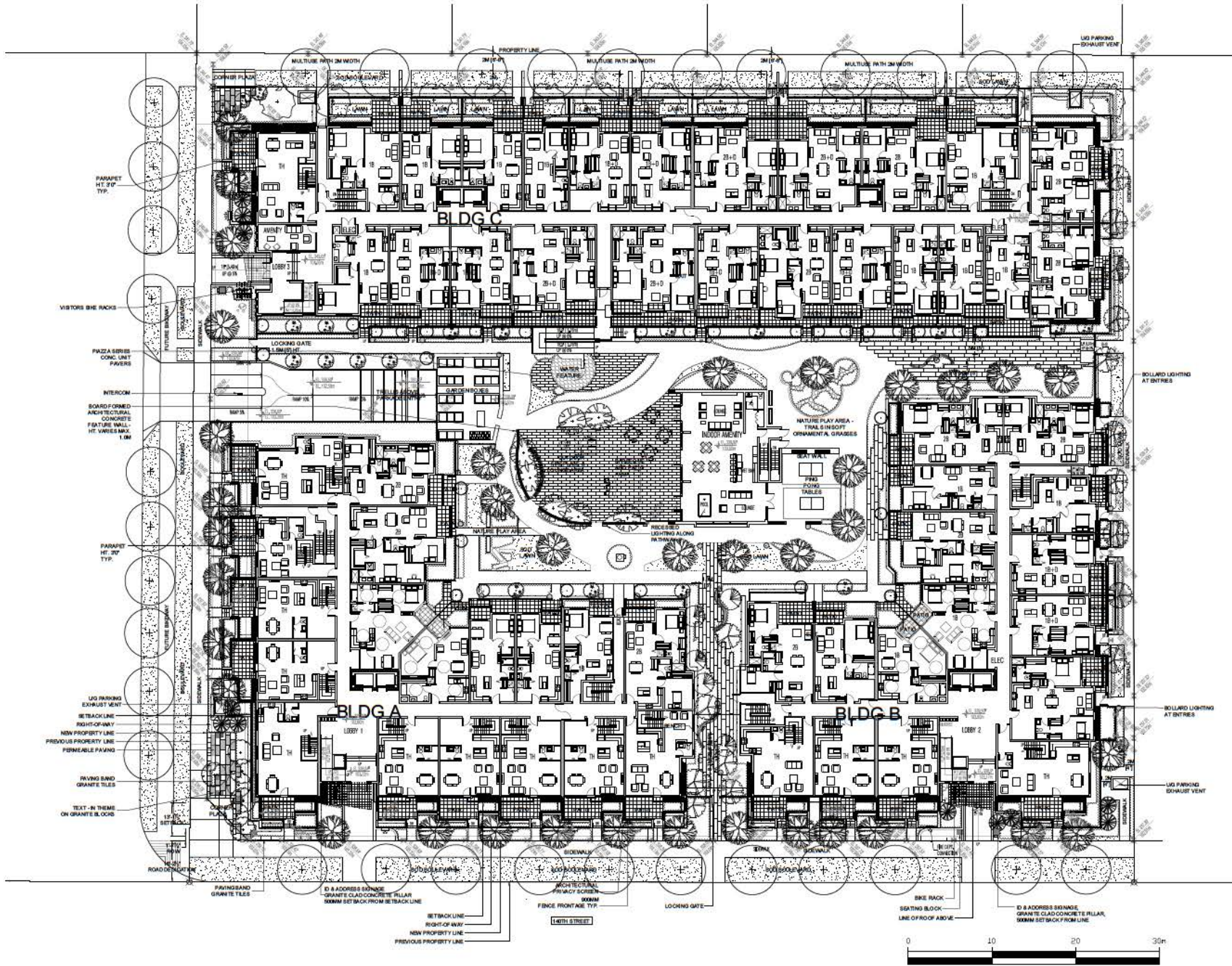
10555, 10577, 10595, 10607
 140th STREET, SURREY, BC

drawing title:
3D MASSING-STREET VIEWS

project no.:	15070	16
drawn by:	FZ	
checked by:	SA	
date:	APR 08, 2016	
scale:	AS NOTED	

showing on:

A5.2



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P: 604-294-0011 ; E: 604-294-0022

SCALE:



33	24APR18	LIGHTING PREVIEW	CLB
34	16MAY18	LANDSCAPE PREVIEW	CLB
35	16JUN18	LANDSCAPE CALLOUTS	CLB
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NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

RESIDENTIAL DEVELOPMENT THE 'HQ'

10555, 10577, 10595, 10607
140TH ST. SURREY, BC

DRAWING TITLE:

LANDSCAPE PLAN

DATE:

15 SEP 11

DRAWING NUMBER:

L1

SCALE:

1:200

DRAWN:

CLB

DESIGN:

CLB/PCM

CHECKED:

PCM

OF 9

15127-142P

PMG PROJECT NUMBER

15-137

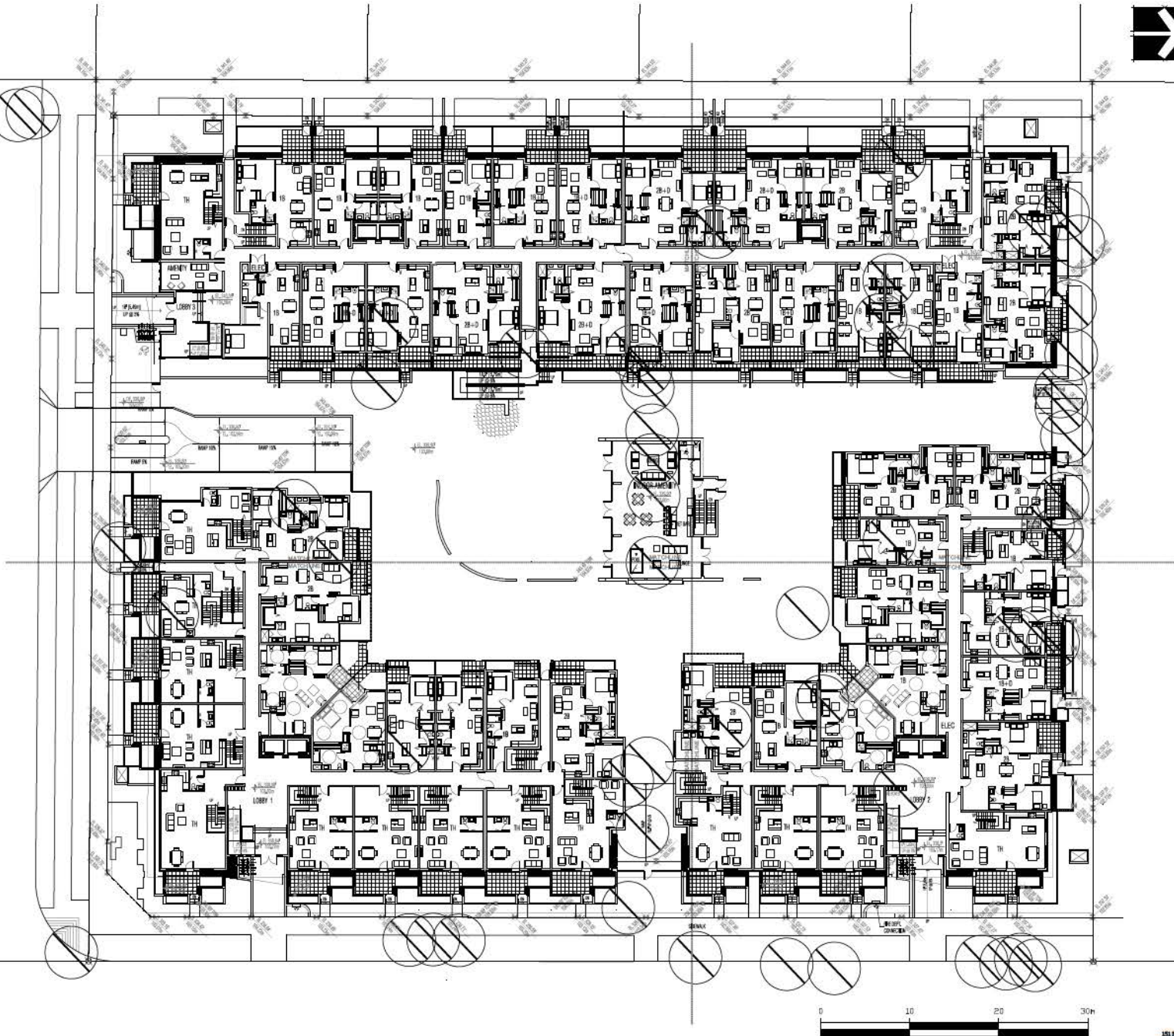


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SCALE:



33	24APR18	UPDATE PER NEW STEPLAN	CLG
34	16MAY18	UPDATE PER NEW STEPLAN	CLG
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NO.	DATE	REVISION DESCRIPTION	DR.
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CLIENT:

PROJECT:
**RESIDENTIAL DEVELOPMENT
THE 'HQ'**

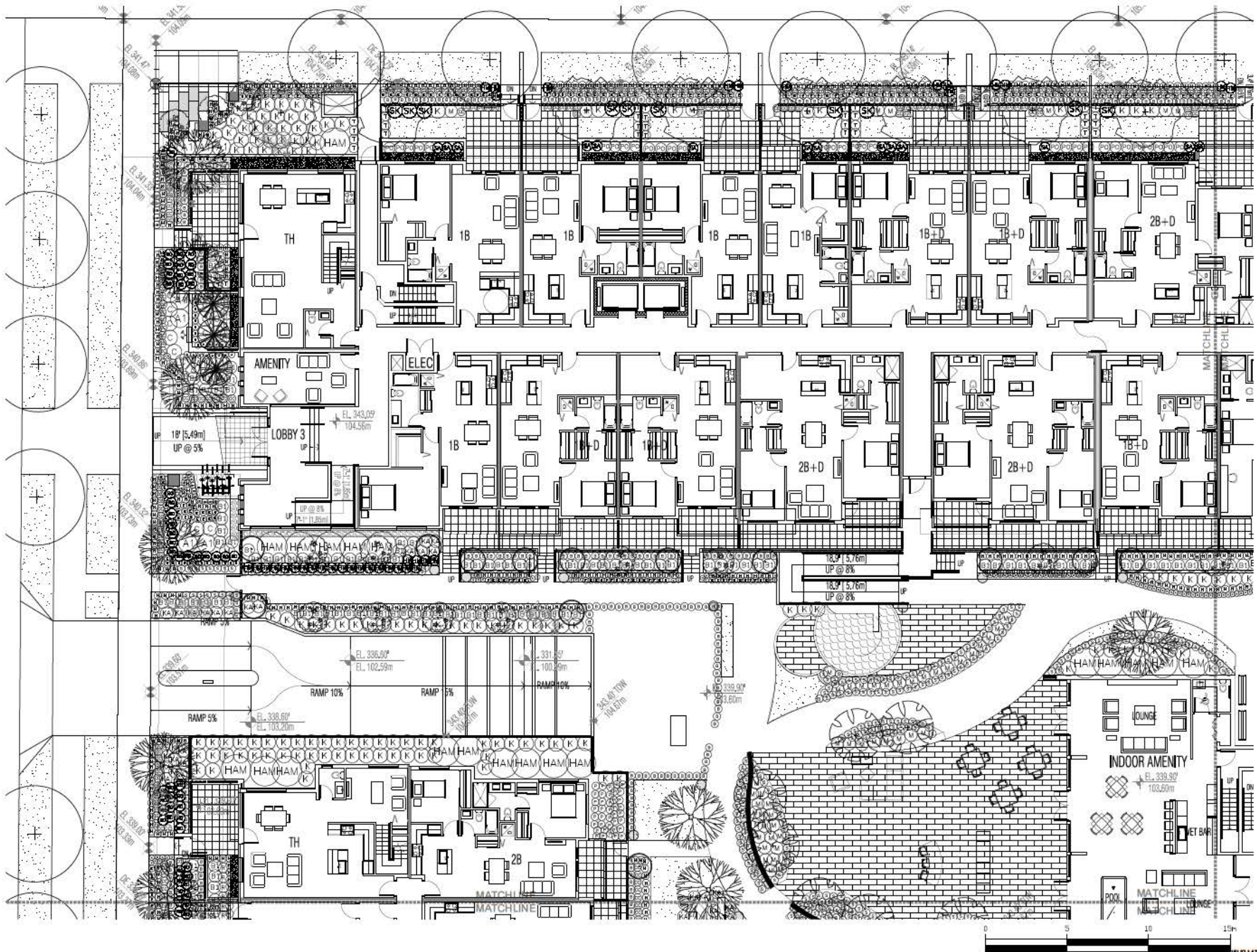
10555, 10577, 10595, 10607
140TH ST. SURREY, BC

DRAWING TITLE:
**TREE MANAGEMENT
PLAN**

DATE: 15 SEP 18 DRAWING NUMBER:
SCALE: 1:200
DRAWN: CLG
DESIGN: PCM
CHK'D: PCM

L2

OF 9



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SCALE:



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NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

**RESIDENTIAL
DEVELOPMENT
THE 'HQ'**

10555, 10577, 10595, 10607
140TH ST. SURREY, BC

DRAWING TITLE:

**SOUTHWEST
SHRUB PLAN**

DATE: 15 SEP 11 DRAWING NUMBER:

SCALE: 1:500

DRAWN: CLG

DESIGN: CLG

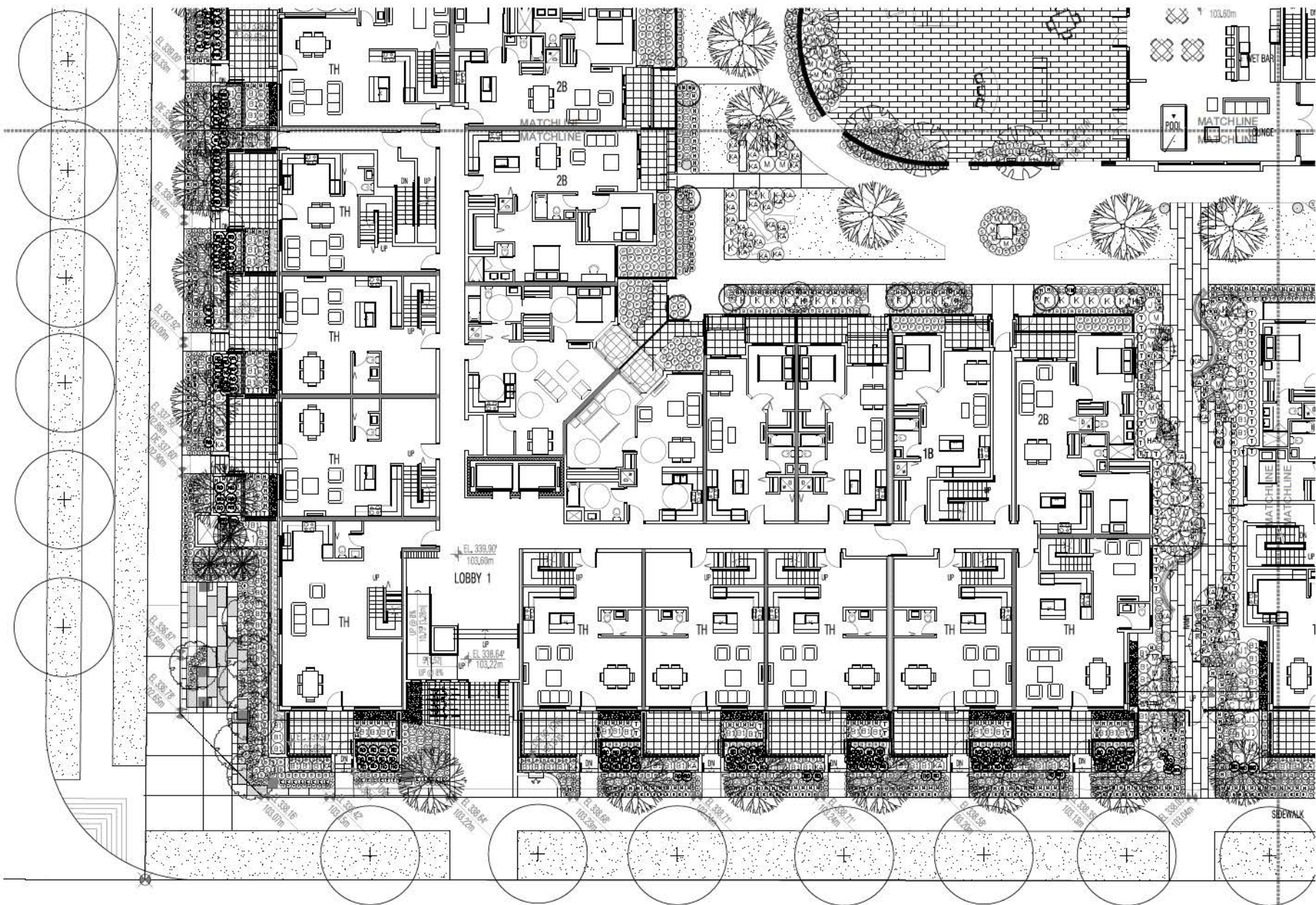
CHECKED: PCM

L3

OF 9

PMG PROJECT NUMBER

15-137



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 Tel: 604-294-0011 • Fax: 604-294-0022

SCALE:



NO.	DATE	REVISION DESCRIPTION	DR.
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34	16 MAR 08	UPDATE FROM SITE PLAN	CLG
33	16 JAN 08	AMERICAN CADD LAYOUT	CLG
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PROJECT:
**RESIDENTIAL DEVELOPMENT
 THE 'HQ'**

10555, 10577, 10595, 10607
 140TH ST. SURREY, BC

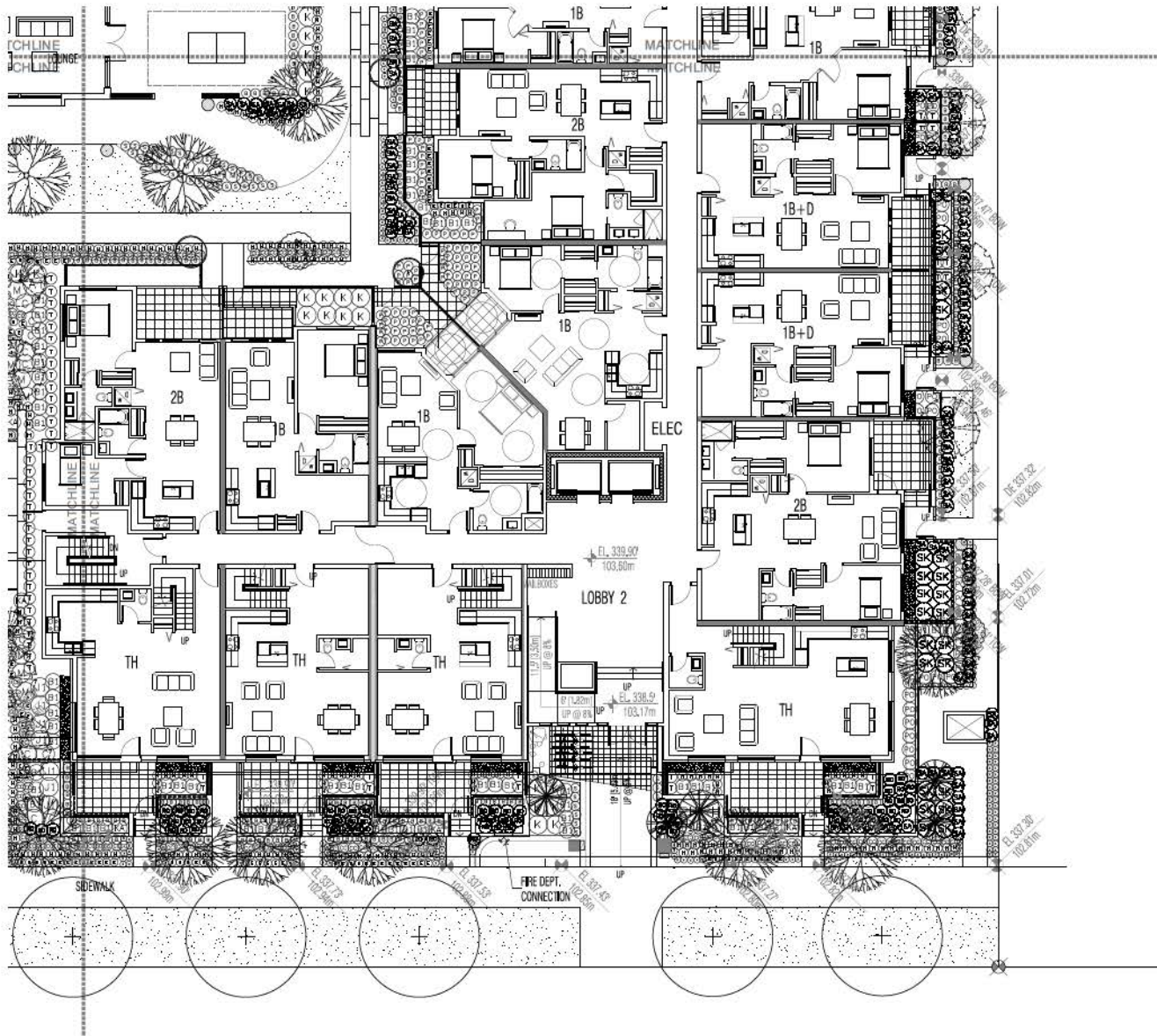
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**SOUTHEAST
 SHRUB PLAN**

DATE: 15 SEP 11 DRAWING NUMBER:
 SCALE: 1:500
 DRAWN: CLG
 DESIGN: CLG
 CHK'D: PCM

L4

OF 9





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SCALE:



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NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

**RESIDENTIAL
 DEVELOPMENT
 THE 'HQ'**

10555, 10577, 10595, 10607
 140TH ST. SURREY, BC

DRAWING TITLE:

**NORTHEAST
 SHRUB PLAN**

DATE: 15 SEP 11 DRAWING NUMBER:

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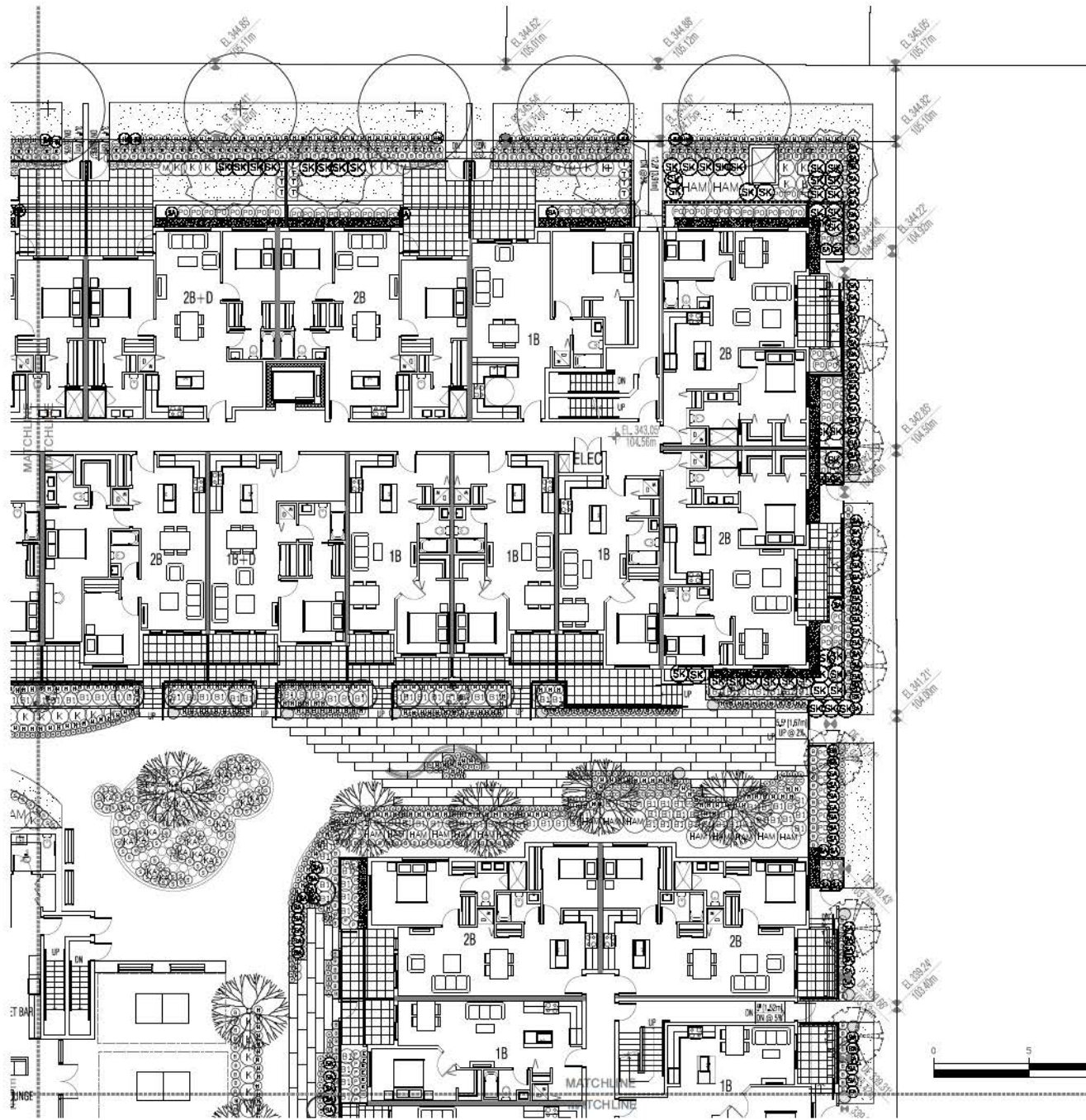
DRAWN: CLG

DESIGN: CLG

CHK'D: PCM

L5

OF 9



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SCALE:



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1	15 SEP 15	ISSUE PERMIT DRAWINGS	CLG

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:
**RESIDENTIAL
 DEVELOPMENT
 THE 'HQ'**

10555, 10577, 10595, 10607
 140TH ST. SURREY, BC

DRAWING TITLE:
**NORTHWEST
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DATE: 15 SEP 11 DRAWING NUMBER:
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 CHECKED: PCM

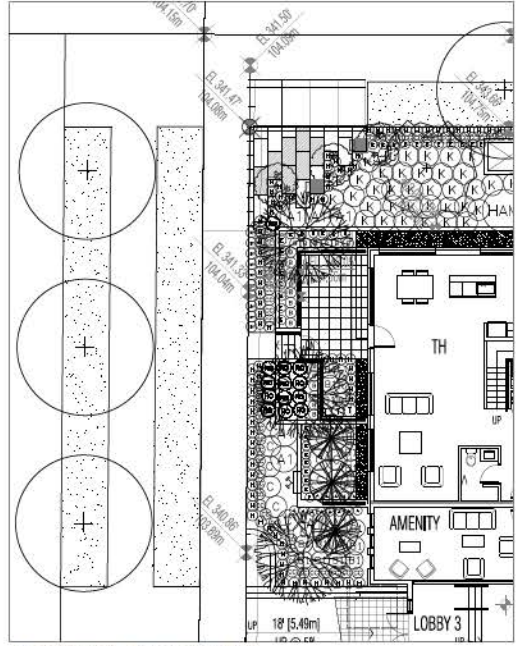
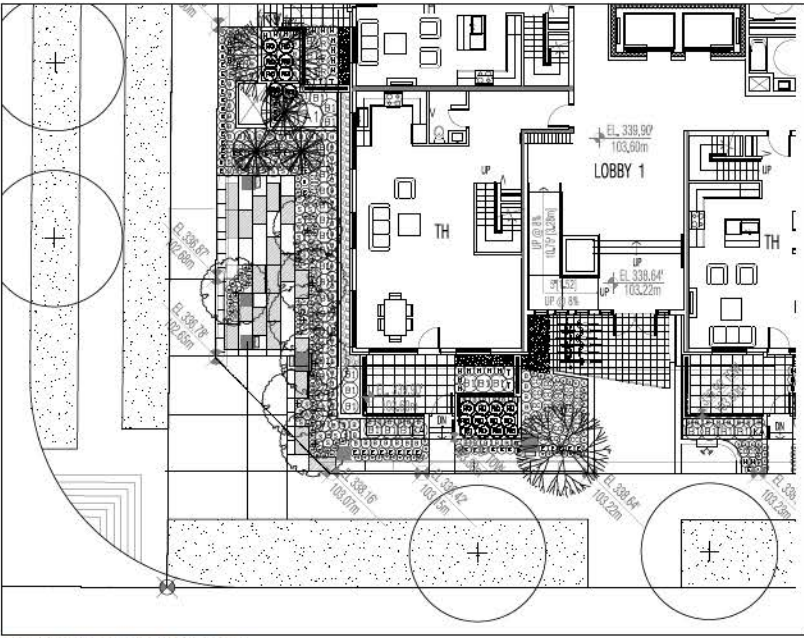
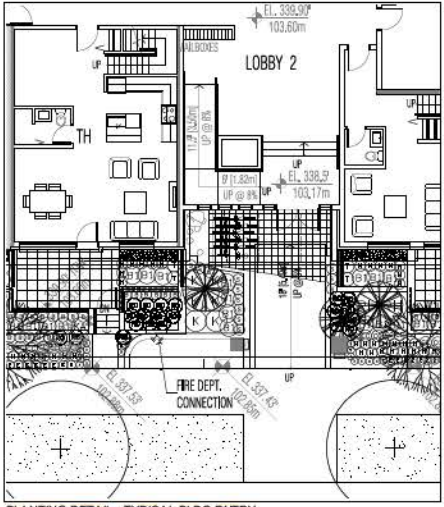
L6
 OF 9



SCALE:

REF.	CITY	BOTANICAL NAME	COMMON NAME	PLANT SIZE (REMARKS)
1	INC	STREET TREES BY CITY OF SURREY		
2	ACER CAPILLARE	STRIP MAPLE	15M POT	
3	ACER CROCATUM	VINE MAPLE	2.5M HT. 8.8M DBH STEM CLUMP	
4	ACER PALMATA OBSCURUM RED BRADSHAW	DOWNY RED MAPLE	10M HT. 8.8M	
5	FAUUS SILVATICA PURPURE FOUNTAIN	PURPLE FOUNTAIN BEech	10M CAL. 1.8M ETO. 8.8M	
6	QUERCUS BILORNA MALEY FINE	GRAN DO TREE	10M CAL. 1.8M ETO. 8.8M	
7	MAQUILA Y. YELLOW BIRCH	YELLOW BIRD MAQUILA	10M CAL. 1.8M ETO. 8.8M	
8	PRINUS CADONIA TRUNE	BIRCH BERRY BRUSH	3.5M HT.	
9	PRINUS GLABERRIMA VARIETALIS	CHAMPAGNE PINE	10M CAL. 1.8M ETO. 8.8M	
10	QUERCUS ROBUR Y. VARIETALIS	PARTIGATE WOOD OAK	10M CAL. 1.8M ETO. 8.8M	
11	THELIPTATA Y. EXCELSA	WESTERN RED CEDAR	3.0M HT. 3.0M	
12	ARJUTUS BAIRODI COMPACTA	COMPACT STRAWBERRY BUSH	60 POT. 50CM	
13	BENESSIS TURNEBORGI 'ROYAL BURGUNDY'	'ROYAL BURGUNDY' HIBERNIA	50M POT. 30CM	
14	BULBUL MICROPHYLLA VENTUS GEM	UT LISLAW BOX	60 POT. 25CM	
15	DEWOTHUS THYMIFOLIUS 'VICTORIA'	CALIFORNIA LIQUA	60 POT. 40CM	
16	WAINMELIA Y. BITINOSA 'WINDO PROMISE'	WITCH HAZEL, YELLOW	60M POT. 60CM	
17	HYDRANGEA MACROPHYLLA ANDRA	DWARF BLOSSOM HYDRANGEA, BLUE	60 POT. 50CM	
18	JAPANESE SOUVENIR BLUE CABINET	BLUE CABINET LILAC, 1.5M SHRD	60 POT. 10CM	
19	KALMA LATIFOLIA 'SUNBELLY'	MOUNTAIN LAUREL	60 POT. 50CM	
20	PHODODENDRON 'CANTON'	PHODODENDRON, ROSE CRIMSON	60 POT. 50CM	
21	ROSA 'NOBLESSE'	CANTON ROSE, YELLOW	60 POT. 40CM	
22	SAUCISSUREA HOORBRANA VIAL HEMLEB	HIM ALAYAN SHEET BOX	60 POT. 35CM	
23	DIOMIDA JAPONICA (FORMALIS)	JAPANESE DIOMIDA	40 POT. 10CM	
24	TAXUS X MEDITANSIS	HICIS YEW	1.2M 988	
25	QUANAGROSTIS ACUTIFLORA VAIL FORBSTER	FEATHER REED GRASS	81 POT	
26	HECTOTRICHON SEMPERVIRENS	BLUE GRASS	81 POT	
27	MELICHTERUS SEMPERVIRENS 'STRETCH'	PORCUPINE GRASS	81 POT	
28	STIPA TENEBRINA	MEXICAN FEATHER GRASS	81 POT	
29	ALYSSUM MONARUM MOUNTAIN GOLD	BANKET OF GOLD	15CM POT	
30	ARTEMISIA SCHNEIDERIANA 'SILVER MOON'	SILVER MOON ARTEMISIA	15CM POT	
31	BERBERIS THUNBERGII	HONEY DEW BERBERIS HOPE PINK	15CM POT	
32	DWARF PINE	BLUE PINE	15CM POT	
33	CORONILLA VIBICILLATA 'NOONBUSH'	THINKSAY CORONILLA, YELLOW	15CM POT	
34	BEGONIA 'NUGGLES' Y. BELLUNTI 'GOLDOCHORUS'	BEGONIA 'NUGGLES', YELLOW/ORANGE	15CM POT	
35	BEGONIA 'CAPELLA' Y. 'STERN ANDESON'	BEGONIA 'STERN ANDESON'	15CM POT	
36	PACHYBLANDA TERMINALE GREEN SHEEP	JAPANESE SARGE	81 POT. 15CM	
37	WEIGELIA BURGUNDIA	WESTERN SARGE PINK	81 POT. 25CM	

NOTES: PLANT SPECIES IN THIS LIST ARE PROVIDED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SHOWN ARE PER ONLY STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND RATES FOR PLANT PLACEMENTS. * STANDARD PROVISIONS ARE AS APPLICABLE. MATERIALS AVAILABLE FOR OPTIONAL. BEADY BIANCHI LANDSCAPE ARCHITECTS AT SOURCE OF SUPPLY. * AREA OF SOURCE TO INCLUDE DOWNS MAINLAND AND VALLIES. * SUBS TRUSTEES OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECTS PRIOR TO MAKING ANY SUBSTITUTIONS TO THESE SPECIFICATIONS. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF 7 DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTIONS. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD. * DEFINITION OF CONIT UNSO AVAILABILITY. ALL LANDSCAPE MATERIALS AND VENDORSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD. * LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED OR SOURCE FREE NURSERY.



NO.	DATE	REVISION DESCRIPTION	DR.
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CLIENT:

PROJECT:
RESIDENTIAL DEVELOPMENT THE 'HQ'

10555, 10577, 10595, 10607
140TH ST. SURREY, BC

DRAWING TITLE:
TOWNHOUSE LANDSCAPE PLAN

DATE: 15 SEP 11 DRAWING NUMBER:
SCALE: 1:200
DRAWN: CLG
DESIGN: CLG
CHECKED: PCM OF 9

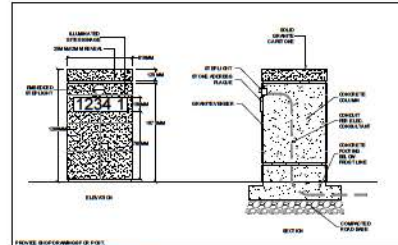
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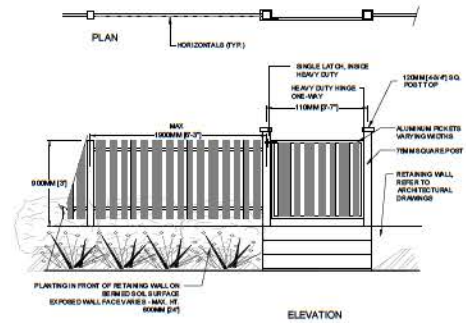
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pmg
LANDSCAPE ARCHITECTS
Suite C100 - 4185 3611 Q well Drive
Burnaby, British Columbia, V5C 6B6
p: 604-294-0011 • f: 604-294-0022

SCALE:



2 SITE SIGNAGE
SCALE: 1:25



- NOTES:
1. METAL GALVANIZED ALUMINUM PICKETS
2. SMOOTH WELD ALLOWANCE
3. FINDER COAT METAL PER OWNERS/ARCHITECT APPROVAL

1 42" HT. ALUMINUM FENCING AND GATE
SCALE: 1:25



RUSTY PATHLIGHTING
SLV LIGHTING 'GX53 LED'



RECESSED WALL LIGHTING
WAC LIGHTING WL-LED100'



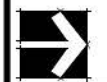
MAGLIN FORO SERIES CHAIR & TABLE



MAGLIN OGDEN BENCH



MAGLIN SCB1600 BENCH



NO.	DATE	REVISION DESCRIPTION	DR.
15	16 APR 08	UPDATE PER NEW SPEC PLAN	CLG
14	16 APR 08	UPDATE TOWER SPEC PLAN	CLG
13	16 JAN 08	IMPROVED CALLOUTS PER	CLG
12	15 DEC 07	REVISE PER CITY CHANGES	CLG
11	15 DEC 07	UPDATE TOWER SPEC PLAN	CLG
10	15 NOV 07	UPDATE PER CITY CHANGES	CLG
9	15 NOV 07	UPDATE PER CITY CHANGES	CLG
8	15 NOV 07	UPDATE PER CITY CHANGES	CLG
7	15 NOV 07	UPDATE TOWER SPEC PLAN	CLG
6	15 NOV 07	CONCEPT PLAN REVISION 0	CLG
5	15 NOV 07	CONCEPT PLAN REVISION 0	CLG
4	15 NOV 07	UPDATE TO CITY CHANGES	CLG
3	15 SEP 07	REVISION PER CITY CHANGES	CLG
2	15 SEP 07	REVISION PER CITY CHANGES	CLG
1	15 SEP 07	REVISION PER CITY CHANGES	CLG

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJ. NO.:
RESIDENTIAL DEVELOPMENT THE 'HQ'

10555, 10577, 10595, 10607
140TH ST. SURREY, BC

DRAWING TITLE:
LANDSCAPE DETAILS

DATE: 15 SEP 11 DRAWING NUMBER:
SCALE: AS NOTED
DRAWN: CLG
DESIGN: CLG
CHK'D: PCM

L8

OF 9

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Suite C100 - 4885 361 Ques Drive
Burnaby, B.C. V5C 6S8
P: 604-294-0011 | F: 604-294-0022

SCALE:



33	24APR18	LIGHT TOWER STEPLAN	CLG
34	16MAY18	LIGHT TOWER STEPLAN	CLG
35	16JUN18	HARDSCAPE CALLOUTS	CLG
37	15OCT18	UPPER RESIDY CHANGING	CLG
38	15NOV18	UPPER RESIDY CHANGING	CLG
39	15NOV18	UPPER RESIDY CHANGING	CLG
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100	15NOV18	UPPER RESIDY CHANGING	CLG

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

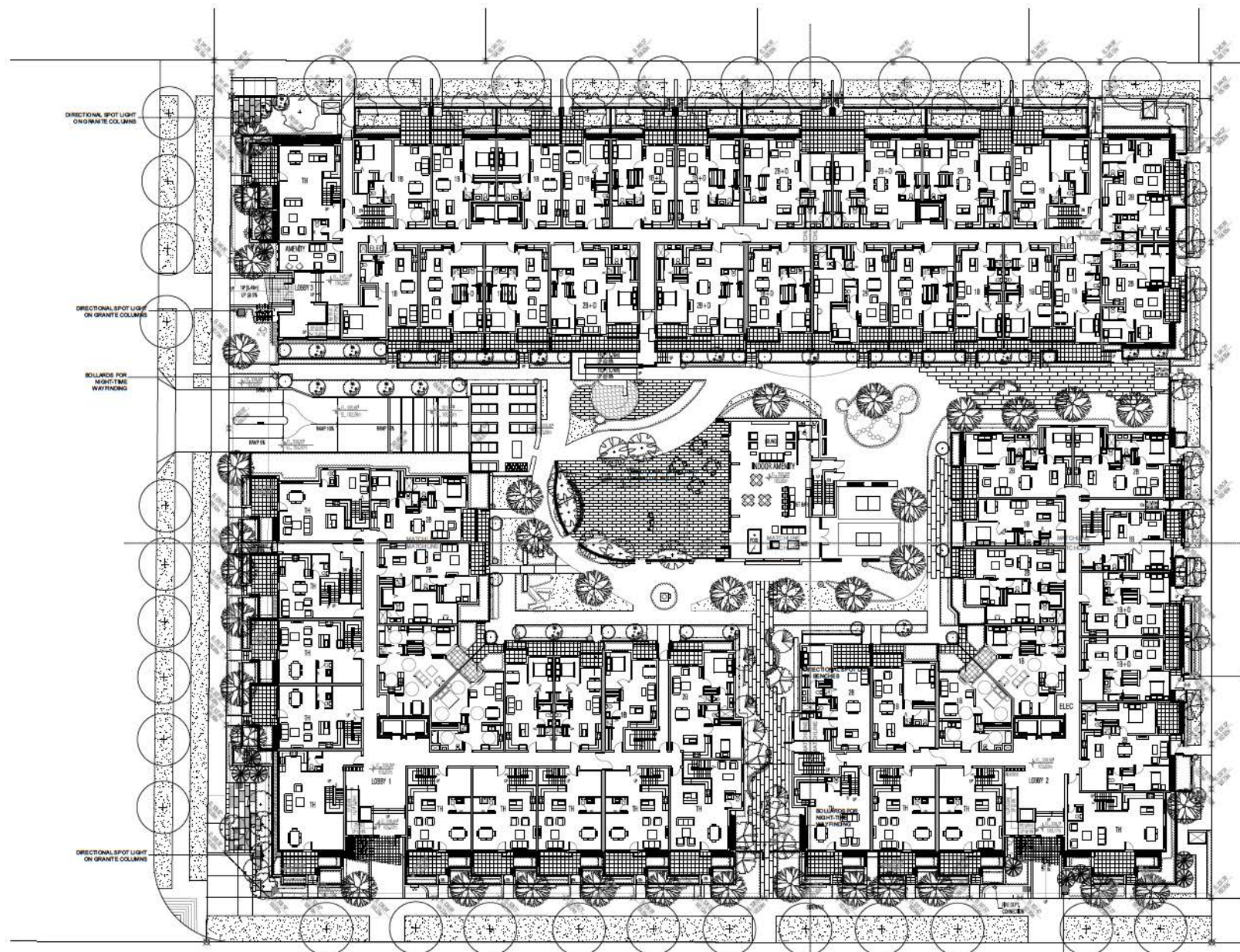
PROJECT:
RESIDENTIAL DEVELOPMENT THE 'HQ'

10555, 10577, 10595, 10607
140TH ST. SURREY, BC

DRAWING TITLE:
LANDSCAPE LIGHTING PLAN

DATE: 15 SEP 11 DRAWING NUMBER:
SCALE: 1:200
DRAWN: CLG
DESIGN: CLG/PCM
CHK'D: PCM

L9
OF 9



DIRECTIONAL SPOT LIGHT ON GRANITE COLUMNS

DIRECTIONAL SPOT LIGHT ON GRANITE COLUMNS

BOLLARDS FOR NIGHTTIME WAYFINDING

DIRECTIONAL SPOT LIGHT ON GRANITE COLUMNS

DIRECTIONAL SPOT LIGHT, TYP.

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **April 27, 2016** PROJECT FILE: **7815-0344-00
(supercedes Jan.5/16)**

RE: **Engineering Requirements
Location: 10555/77/95 & 10607 - 140 Street**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- dedicate 4.942 m along 140 Street towards the ultimate 30.0m m Arterial standard;
- dedicate 2.0 m for 105A Avenue towards the ultimate 32.0m m Arterial standard;
- dedicate 5.0 m x 5.0 m corner cut at the intersection of 140 Street and 105A Avenue;
- dedicate 4.0 m east half of ultimate 8.0 m wide walkway, along west property line; and
- provide 0.5 m wide statutory rights-of-way along 140 Street and 105A Avenue.

Works and Services

- construct west side of 140 Street to City Centre Arterial standard;
- construct 105A Avenue to City Centre Arterial standard;
- construct 4.0 m wide walkway along west property line;
- construct sanitary main, storm main and water main, as required to service the site;
- register restrictive covenants for access, sustainable drainage, water quality/sediment control and sanitary pump; and
- register legal documents associated with District Energy.

A Servicing Agreement is required prior to Rezoning and Subdivision.



Robert Cooke, Eng.L.
Development Project Engineer

HB



Thursday, March 31, 2016
 Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 15 0344 00

SUMMARY 338 apartment units
 The proposed 15 townhouse units
 are estimated to have the following impact
 on the following schools:

Projected # of students for this development:

Elementary Students:	29
Secondary Students:	17

September 2015 Enrolment/School Capacity

Forsyth Road Elementary	
Enrolment (K/1-7):	34 K + 250
Capacity (K/1-7):	20 K + 350
Kwantlen Park Secondary	
Enrolment (8-12):	1501
Nominal Capacity (8-12):	1200
Functional Capacity*(8-12):	1296

School Enrolment Projections and Planning Update:

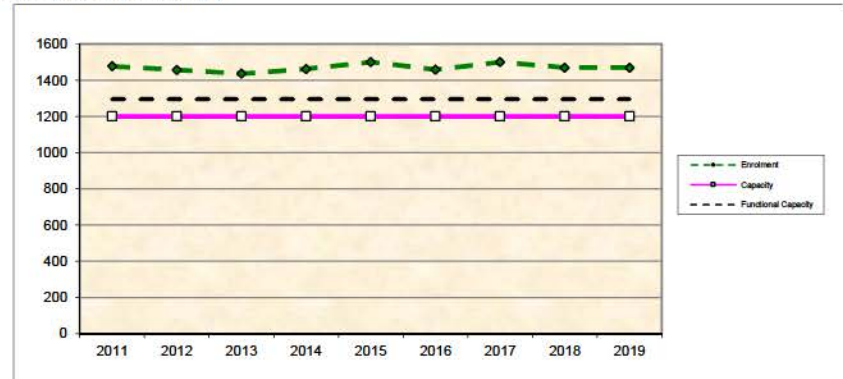
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

There are no new capital projects proposed at the elementary school and no new capital projects identified for the secondary school. Kwantlen Park does have some enrolment pressures and is a multi-track secondary school with Inter-A, French Immersion and Regular program enrolment. There are currently 11 portables on site at Kwantlen Park and the school is investigating ways to balance enrolment between Kwantlen Park and neighbouring secondary schools. The proposed development will have a modest impact on enrolment pressures in the area.

Forsyth Road Elementary



Kwantlen Park Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

CITY OF SURREYBYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

(a) FROM: SINGLE FAMILY RESIDENTIAL ZONE (RF)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 000-691-461

The South Half Lot 13 Section 23 Block 5 North Range 2 West New Westminster District
 Plan 8054

10577 - 140 Street

Parcel Identifier: 011-310-715

Parcel "A" (H85858E) Lot 13 Section 23 Block 5 North Range 2 West New Westminster
 District Plan 8054

10595 - 140 Street

Parcel Identifier: 011-432-489

Lot 20 Section 23 Block 5 North Range 2 West New Westminster District Plan 9325

10607 - 140 Street

(b) FROM: SINGLE FAMILY RESIDENTIAL ZONE (RF) AND DUPLEX RESIDENTIAL
 ZONE (RM-D)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 011-310-740

North Half Lot 14 Section 23 Block 5 North Range 2 West New Westminster District
 Plan 8054

10555 - 140 Street

(hereinafter both 1.(a) and (b) shall be referred to as the "Lands")

2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium *density*, medium-rise, *multiple unit residential buildings* and *ground-oriented multiple-unit residential buildings* and related *amenity spaces*, which are to be developed in accordance with a *comprehensive design*.

B. Permitted Uses

The *Lands* and *structures* shall be used for *multiple unit residential buildings* and *ground-oriented multiple unit residential buildings*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. The *floor area ratio* shall not exceed 3.1.
2. The indoor *amenity space* required in Sub-section J.1(b) of this Zone is excluded from the calculation of *floor area ratio*.

E. Lot Coverage

The *lot coverage* shall not exceed 58%.

F. Yards and Setbacks

1. *Buildings* and *structures* shall be sited in accordance with the following minimum *setbacks*:

Use	Setback	<i>Front Yard (105A Avenue)</i>	<i>Rear Yard (North)</i>	<i>Side Yard (West)</i>	<i>Side Yard on Flanking Street (140 Street)</i>
<i>Principal Buildings and Accessory Buildings and Structures</i>		4.5 m [15 ft.]	4.5 m [15 ft.]	4.5 m [15 ft.]	4.5 m [15 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Notwithstanding Section F.1 of this Zone, stairs may be sited up to 1.2 metres [3.9 ft.] from the 105A Avenue *lot line* and the patios may be sited up to 2.0 metres [6.6 ft.] from the 105A Avenue *lot line*.
3. Notwithstanding Section F.1 of this Zone, stairs may be sited up to 1.2 metres [4.0 ft.] from the 140 Street *lot line* and the patios may be sited up to 2.3 metres [7.5 ft.] from the 140 Street *lot line*.
4. Notwithstanding Section F.1 of this Zone, patios may be sited up to 2.3 metres [7.5 ft.] from the north *lot line*.
5. Notwithstanding Section F.1 of this Zone, canopies and *balconies* may be permitted to encroach into any *setback*.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. Principal buildings: The *building height* shall not exceed 20 metres [66 ft.].
2. Amenity space building: The *building height* shall not exceed 9 metres [30 ft.].
3. Accessory buildings and structures: The *building height* shall not exceed 4.5 metres [15 ft.].

H. Off-Street Parking

1. All required resident *parking spaces* for *multiple unit residential buildings* and *ground-oriented multiple unit residential buildings* shall be provided in accordance with Table C.6 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Visitor *parking spaces* shall be provided at a parking ratio of 0.10 *parking space* per *dwelling unit*.
3. All required resident and visitor *parking spaces* shall be provided as *underground parking*.
4. Bicycle storage for *multiple unit residential buildings* and *ground-oriented multiple unit residential buildings* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.

5. Notwithstanding Sub-section A.2(c) of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, the *underground parking facility* shall be set back a minimum of 0.5 metre [1.6 ft.] from the front (105A Avenue) and east (140 Street) *lot lines*.
6. Notwithstanding Sub-Section B.1 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, the length of a *parking space* may be reduced to a minimum of 4.9 metres (16 ft.) for a maximum of 35% of the required *parking spaces*, provided that each *parking space* with the reduced length is clearly identified with the words "small car" only.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
3. Garbage containers and *passive recycling containers* shall be located within the *underground parking* or within a *building*.

J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit*.
2. *Balconies* are required for all *dwelling units* that are not *ground-oriented*.
 - (a) *Balconies* shall be a minimum of 4.6 square metres [50 sq.ft.] per *dwelling unit*; and
 - (b) Notwithstanding Sub-section J.2(a) of this Zone, *balconies* may be reduced in size to 3.3 square metres [36 sq.ft.] per *dwelling unit*, for a maximum of 25% of the *dwelling units*.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
9,800 sq. m. [2.4 acres]	88 metres [290 ft.]	110 metres [361 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-70 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2014, No. 18148, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-70 Zone.
9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning Bylaw, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20 .

PASSED SECOND READING on the _____ th day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20 .

PASSED THIRD READING on the _____ th day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

_____ MAYOR

_____ CLERK

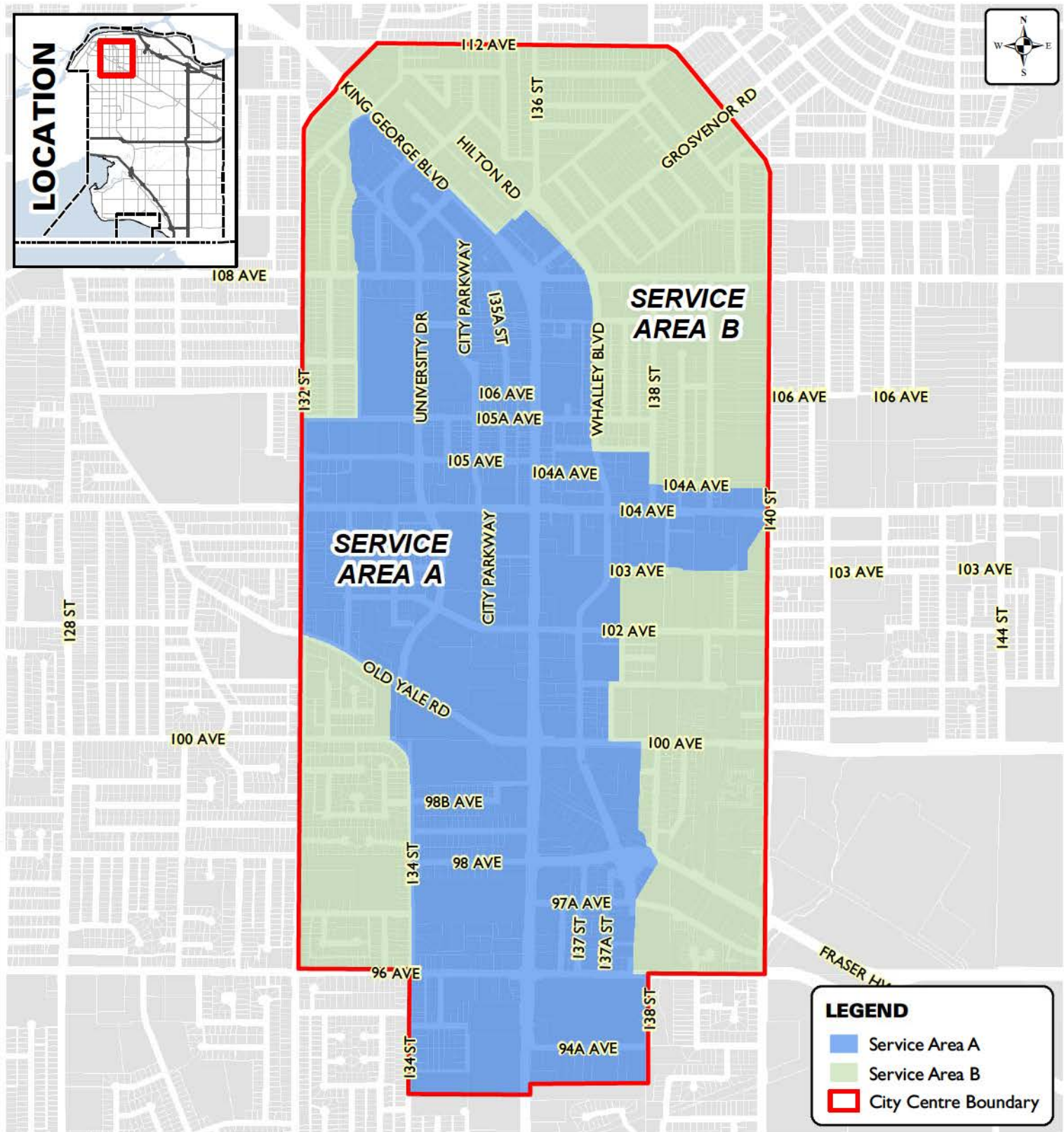
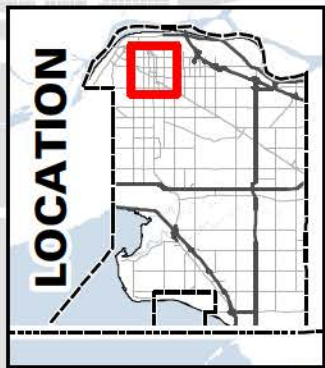
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September 21st 2015

Multi Family Residential Development, Verve II
 10555 – 10607 140th Street, Surrey
 MJM File # 1528

Tree Preservation Summary	
Surrey Project No:	
Address:	10555 – 10607 140 th Street
Registered Arborist:	Michael Mills, Michael J Mills Consulting
On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	52
Protected Trees to be Removed	52
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required:	79
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio	
25 X one (1) = 25	
- All other Trees Requiring 2 to 1 Replacement Ratio	
27 X two (2) = 54	
Replacement Trees Proposed (refer to PMG Landscape Architects)	182
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	n/a
Off-Site Trees	n/a

FIGURE 1



LEGEND

- Service Area A
- Service Area B
- City Centre Boundary

Produced by GIS Section: May 31, 2012, CS/AW8



**DISTRICT ENERGY SERVICE AREA
(SERVICE AREA A & SERVICE AREA B)**

**ENGINEERING
DEPARTMENT**

The data provided is compiled from various sources and IS NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, Legal descriptions and encumbrances must be confirmed at the Land Title Office.



Advisory Design Panel Minutes

2E - Community Room B
City Hall
13450 - 104 Avenue
Surrey, B.C.
THURSDAY, MARCH 24, 2016
Time: 5:00 pm

Present:

Chair – L. Mickelson
M. Ehman
M. MacCaull
D. Newby
D. Ramslie
M. Vance

Guests:

Shoghig Attal, Studio One Architecture
Tomas Wolf, Studio One Architecture
Maciej Dembek, Barnett Dembek Architects
Marlene Messer, PMG Landscape Architects

Staff Present:

M. Rondeau, Acting City Architect
L. Luaifoa, Administrative Assistant

A. RECEIPT OF MINUTES

It was Moved by M. Vance
Seconded by M. MacCaull
That the minutes of the Advisory Design
Panel meeting of February 25, 2016 be received.
Carried

B. NEW SUBMISSIONS

1. 5:00 PM

File No.: 7915-0344-00
New or Resubmit: Resubmit as 6-storeys
Last Submission Date: November 26, 2015
Description: Rezoning and DP for three 6-storey apartment buildings with a stand-alone amenity building. The proposal has changed from 4-storeys to 6-storeys since last ADP review.
Address: 10555, 10577, 10595 and 10607 – 140 Street
Developer: Victor Setton, Porte Homes
Architect: Shoghig Attal and Tomas Wolf, Studio One Architecture
Landscape Architect: Patricia Campbell, PMG
Planner: Pat Lau
Urban Design Planner: Mary Beth Rondeau

The Acting City Architect noted that the application was supported by the ADP for 4-storey buildings. Prior to that, an application for 6-storey buildings was supported at Council. This new proposal is returning to 6-storey buildings.

The Project Architect presented an overview of the revised plans and highlighted that the new proposal consisted of 353 units instead of 236 units and an increase of density to a 6-storey building.

The Landscape Architect presented an overview of the landscape plans and highlighted that the proposed plans cater to a cross section of clients and targets young families.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW
Rezoning and DP for a 3-storey commercial development
File No. 7915-0344-00

It was Moved by D. Newby
Seconded by M. Ehman
That the Advisory Design Panel (ADP)
recommends B – that the applicant address the following issues to the satisfaction of the Planning & Development Department and resubmit the project to the ADP for review.

Carried

STATEMENT OF REVIEW COMMENTS

The Design Panel supported the increase in density in principle and commended the detailed package and presentation.

Building Form and Character

- Courtyard feels smaller with the new 6 floor height and may benefit from great variation and articulation.

The southwest corner of Building A has been stepped back on the last two floors to increase sun and daylight exposure to the courtyard from the south side. Similarly the northwest corner of Building B has been stepped back on two floors. This massing treatment aims at providing relief to the courtyard space (see south elevation on A2.1 and north elevation on A2.2).

- Consider altering massing of upper two floors to allow more daylight into the courtyard and to make courtyard facades less overwhelming.

See response to item above.

- Consider a “tot lot” to accommodate the targeted audience which is, mainly families.

A ‘tot lot’ has been incorporated in the courtyard (see landscape drawings – labeled as ‘natural play area’).

- Architectural resolution is well done acknowledging that the 6-storey form is difficult to solve. The corner element is welcomed as is inclusion of masonry cladding at street level. Consider variations in the 6-storey height along the streets.

The masonry cladding has been extended at the base of Building B to continue along Forsyth Park elevation (see north elevation A2.2).

- The new scheme is conservative compared to the previous and perhaps some colour variation may enliven the new scheme.

More lively colours have been selected. Additionally, breaking up Building C into two colours with the wood grained cladding at the breaks adds to the colour variation.

- Concerned with conflict between bedrooms and diagonal link.

The diagonal link on the ground floor between the corrido and the interior courtyard has been deleted. Access to the courtyard is provided through the exit stair corridors (see Ground Floor Plan A1.4).

- Consider reducing the size of the master bedroom and ensuite space to increase the living/dining room space.

This item is under consideration and will be further developed at a detailed drawing stage.

- Amenity Building:

- Consider integrated stairs into the building.

The separate exit stairs from the parking to the courtyard have been eliminated and incorporated into amenity building stairs.

- The 2nd floor gym will be very loud for people using 1st floor amenities, consider additional acoustic measures between floors.

Additional acoustic measures between floors will be considered.

- It is difficult to see/read the project sign without a backing. Consider mounting the sign on the face of the C channel.

Consideration will be given to make the sign more visible at the proposed location.

Landscaping

- The corner plaza at 105A and 140 Street seems obligatory. Consider improving the generosity of the public realm.

The corner plaza is an extension of the urban design expression around the site perimeter and is a generous plaza with sculptural elements of rock and artistic expression of local poetry. The paving is special with reference to the layout of the vertical rocks and quotes. The space is also made special by the choice of a tree species in a tight grouping, their unique habits and form (Gingko Biloba "Princeton Sentry") as well as a backdrop of layered plantings. The paving, the lit granite columns as well as ornamental plantings make the space a thoughtful addition to the public realm.

- The garden plots to the north of the amenity building are a welcomed addition; however, do not have sufficient access to sunlight at the proposed location.

The community garden beds have been relocated to north of the parkade entrance. In this location, they are open to the south and the sunniest area of the courtyard.

- The landscape allows for good permeability and urban cooling.
- It was noted that recommendations from the Panel for the landscape portion have been addressed.

CPTED

- Consider increasing ground light in the dark courtyard.
Reducing the building mass on both the north and south sides will help introduced more daylight into the courtyard.

Accessibility

- Recommend increasing disabled parking spaces to 10.
Disabled parking spaces will be increased to 10.
- Recommend the call button panels be placed in the 4 lobbies and are horizontal, not exceeding 42" from the floor.
Call button panels will be less than 42" from the floor.
- Recommend elevator button panel be placed horizontally and not exceed 42" from the floor.
Same for elevator button panels.
- Recommend 5% of units be disabled accessible.
18 adaptable units are proposed.

- Most adaptable units are located on floors 2-6. Considering locating more at the ground floor.

In order to disperse the adaptable units throughout the complex, they have been relocated such that there are six units in each building (see floor plans A1.4 - A1.8).

Sustainability

- Rationale approach to glazing.
- Support the restraint on the articulation of the envelope.
- Support the use of horizontal solar shading to manage unwanted solar gain on the south elevation.
- Support connection to district energy.