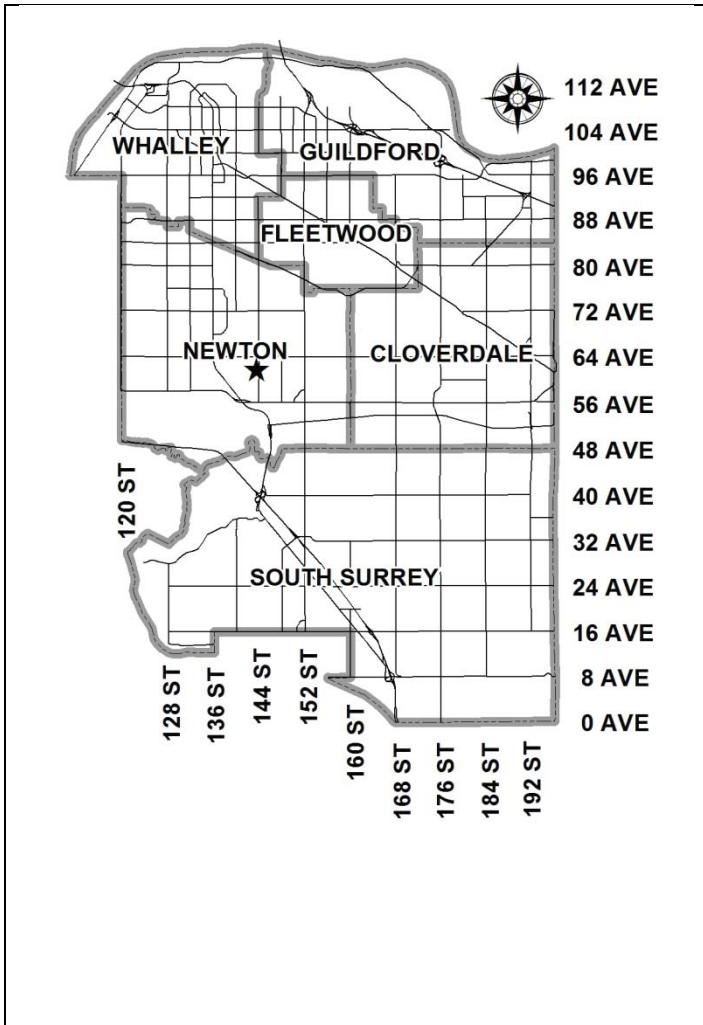


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7915-0337-00

Planning Report Date: September 12, 2016

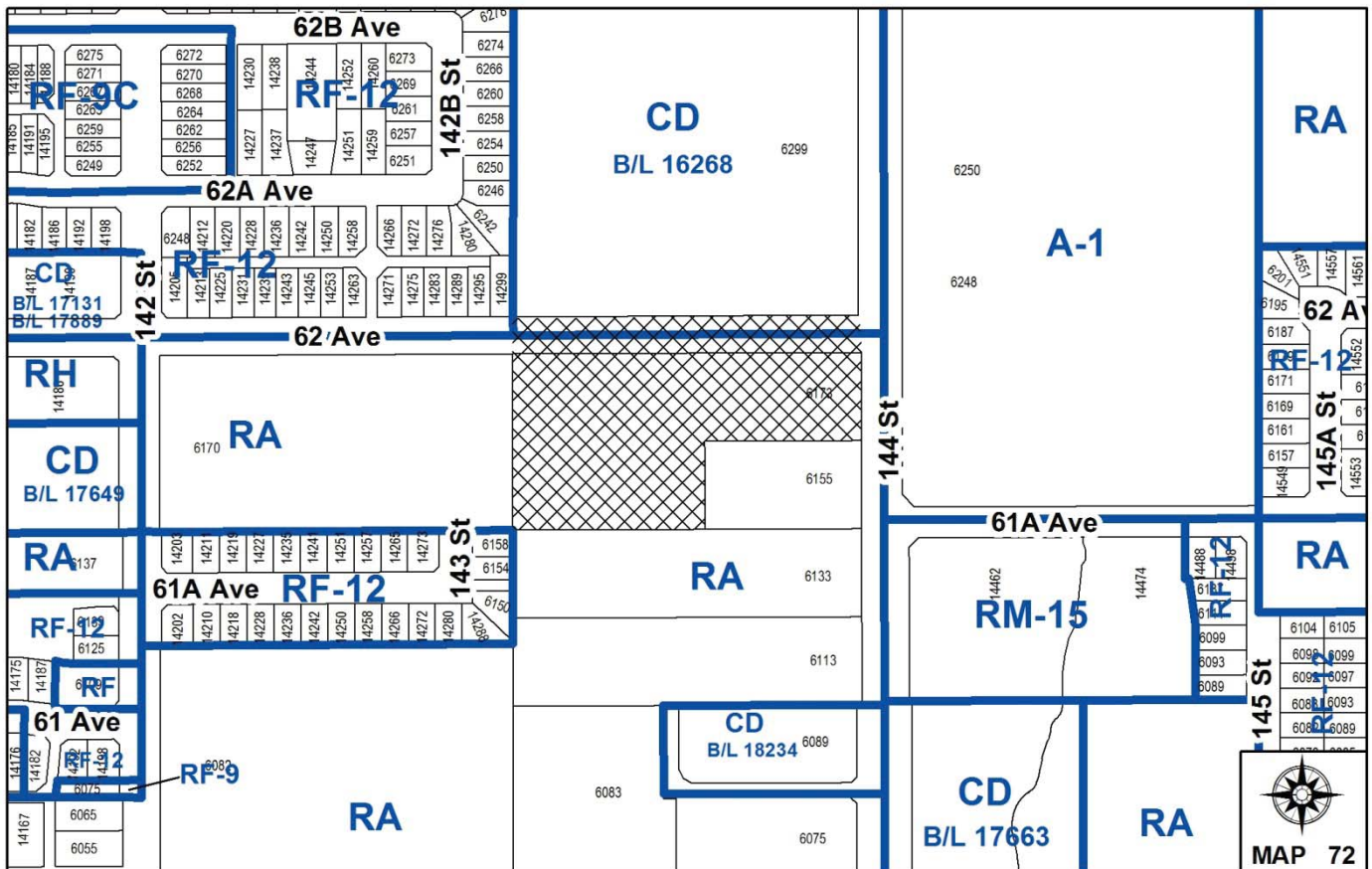


PROPOSAL:

- **NCP Amendment** from Detention Pond, Townhouses (15 upa max) and Proposed Schools & Parks to Townhouses (20 upa max), Single Family Residential Flex 6-14 upa and Proposed Schools and Parks, with road network and park boundary adjustment
- **Rezoning** from RA to RF-12 and RM-30
- **Development Permit**
- **Development Variance Permit**

to permit the development of 57 townhouses, 2 single family small lots and one park lot.

LOCATION: 6173 - 144 Street and Portion of 62 Avenue
OWNER: Surinder S Purewall
ZONING: RA
OCP DESIGNATION: Urban
NCP DESIGNATION: Proposed School & Park, Detention Pond, Townhouses (15 upa max)



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking variances to the setbacks of the Multiple Residential 30 Zone (RM-30).
- Seeking amendments to the South Newton NCP, including the removal of the Detention Pond designation, a housekeeping amendment to Proposed Schools and Parks, road network and park boundary adjustment, and to re-designate a portion of the site from Townhouses (15 upa max) to Townhouses (20 upa max) and Single Family Residential Flex 6-14 upa.

RATIONALE OF RECOMMENDATION

- The proposal complies with the OCP Designation of the site.
- The proposed amendment to the South Newton NCP is supportable, as the detention pond is no longer required, the adjustment to the road network and park boundary allows for a more functional park layout, and the proposed density is consistent with the existing density of the townhouse site to the north, and other recently approved townhouse projects to the south along 144 Street.
- The proposed amendment reflects the intent of the NCP to establish ground-oriented units, and further supports a variety of housing choices.
- The development incorporates significant tree retention.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the South Newton Plan.
- The proposed density and building form are appropriate for this part of South Newton.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to:
 - "Multiple Residential 30 Zone (RM-30)" for the portion of the site shown as Block A on the attached zoning block plan (Appendix II);
 - "Single Family Residential (12) Zone (RF-12) " for the portion of the site shown as Block B on the attached zoning block plan (Appendix II);and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7915-0337-00 generally in accordance with the attached drawings (Appendix II).
3. Council approve Development Variance Permit No. 7915-0337-00 (Appendix IX) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum north yard of the RM-30 Zone from 7.5 metres (25 ft.) to 4.6 metres (15 ft.) for proposed buildings 3, 4 and 5;
 - (b) to reduce the minimum east yard of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for the building, and 3.6 metres (12 ft.) to the front porch along 144 Street for proposed buildings 5 and 6;
 - (c) to reduce the minimum east yard of the RM-30 Zone from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) for proposed building 11;
 - (d) to reduce the minimum west yard of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for the building, and 3.3 metres (11 ft.) to the front porch for proposed buildings 12 and 13;
 - (e) to reduce the minimum south yard of the RM-30 Zone from 7.5 metres (25 ft.) to 4.8 metres (16 ft.) for the building, and 3.3 metres (11 ft.) to the front porch along 61A Avenue for proposed building 11;
 - (f) to reduce the minimum south yard of the RM-30 Zone from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) for proposed building 8; and
 - (g) to allow for parking within the east setback of the RM-30 Zone, for visitor stall #10 and #11.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;

-
- (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues, including the Fire Department's concerns with entrance locations within Buildings 5 and 6, to the satisfaction of the Planning and Development Department;
 - (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (g) completion of the road closure and acquisition of a portion of 62 Avenue;
 - (h) submission of an acoustical report for the units adjacent to 144 Street and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
 - (i) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space; and
 - (j) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture.
5. Council pass a resolution to amend the South Newton NCP to re-designate the land from Detention Pond, Townhouses (15 upa max) and Proposed Schools & Parks to Townhouses (20 upa max), Single Family Residential Flex 6-14 upa and Proposed Schools and Parks, as well as an adjustment to the road network and park boundary when the project is considered for final adoption.

REFERRALS

- Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
- School District: **Projected number of students from this development:**
16 Elementary students at Goldstone Park Elementary School
10 Secondary students at Sullivan Heights Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by December 2018.
- Parks, Recreation & Culture: Parks requests that any fencing adjacent to parkland be permeable, located on the private property line, and not higher than 1.2 metres (4 ft.) in height. Landscape material at mature growth should not exceed 1.2 metres (4 ft.) in height to protect sight lines over time. This applies specifically to the future RF-12 lot north of the proposed park. Fence height should be limited to 1.2 metres (4 ft.) in height through restrictive covenant or within the building scheme.
- Surrey Fire Department: Surrey Fire Department requests the site to be addressed from 61A Avenue and that units in Blocks 5 and 6 be provided with an entrance facing the internal driveway. The applicant has confirmed that these requirements will be resolved prior to Final Adoption.

SITE CHARACTERISTICS

Existing Land Use: single family acreage property.

Adjacent Area:

Direction	Existing Use	OCP / NCP Designation	Existing Zone
North:	Townhouses	Urban / Townhouses (20 upa max)	CD (By-law No. 16268)
East (Across 144 Street):	Sullivan Heights Secondary School	Urban / Existing & Future School	A-1
South:	Single family acreage property	Urban / Townhouses (15 upa max), Proposed School & Park, and Detention Pond	RA
West:	Single family acreage property under development application for single family small lots (Development Application No. 7916-0326-00)	Urban / Single Family Residential Flex 6-14 upa and Single Family Small Lots	RA

JUSTIFICATION FOR PLAN AMENDMENT

- The South Newton NCP designates this property as "Townhouses (15 upa max)", "Detention Pond", and "Proposed Schools & Parks". The applicant is proposing an amendment to "Townhouses (20 upa max)" and "Single Family Residential Flex 6-14 upa", and an adjustment to the road network and park boundary (Appendix VII).
- The detention pond is no longer required, and the adjustment to the road network and park boundary will allow for a more functional park layout and reflects previously approved changes to the road network on adjacent sites. The amendment will also facilitate the development of a 57-unit townhouse development (density of 47.4 units per hectare [19.2 upa]) and two small single family lots. The park area included in this application is 1,538 square metres (16,555 sq. ft.).
- The applicant is proposing a maximum unit density of 47.4 units per hectare (19.2 u.p.a) for the townhouse portion of the development. This density is consistent with development to the north, and other recently approved townhouse projects to the south of the subject site along 144 Street.
- The proposed amendment reflects the intent of the NCP to establish ground-oriented units, and further supports a variety of housing choices.
- The applicant is also proposing significant tree retention as part of the proposal.

DEVELOPMENT CONSIDERATIONS

- The 1.2-hectare (3.0-acre) subject site is located on the west side of 144 Street, north of 61A Avenue in South Newton.
- The subject site is designated Urban in the Official Community Plan (OCP), zoned One-Acre Residential (RA) Zone, and designated Proposed School & Park, Detention Pond, Townhouses (15 upa max) in the South Newton Neighbourhood Concept Plan (NCP).
- The applicant proposes the following:
 - An amendment to the South Newton NCP from Detention Pond and Townhouses (15 upa max) to Townhouses (20 upa max), with a housekeeping amendment to Proposed Schools and Parks, road network and park boundary adjustment, and the addition of Single Family Residential Flex 6-14 upa;
 - Rezoning from One-Acre Residential (RA) Zone and Comprehensive Development Zone to Multiple Residential 30 Zone (RM-30) and Single Family Residential (12) Zone (RF-12), and a Development Permit to permit the development of 57 townhouse units, 2 proposed RF-12 lots, and a proposed park lot; and
 - A Development Variance Permit to vary building setbacks (see By-law Variance section).
- The closure and purchase of an unopened road allowance for 62 Avenue along the northern portion of the site is also proposed for consolidation with the proposed townhouse site.
- The townhouse proposal comprises a total floor area of 9,443 square metres (101,650 sq. ft.) representing a net floor area ratio (FAR) of 0.8, which is below the maximum 0.9 FAR allowed in the RM-30 Zone.
- Two RF-12 lots are proposed north of the proposed park. These lots are part of a parks reconfiguration, proposed to allow for more usable parkland.
- An amendment to the South Newton NCP is proposed to allow for small lots. The area of the proposed lots is proposed to be amended to Single Family Residential Flex 6-14 upa.
- The two proposed lots are Type I RF-12 lots, with 12 metres (40 ft.) minimum frontage and minimum area of 320 square metres (3,445 sq. ft.). The proposed lots will provide an adequate transition between the townhouses to the east and small lots to the west.
- The proposed lots will have access from the new 62 Avenue / 61A Avenue.
- The applicant has retained Tynan Consulting Ltd. as the design consultant. The design consultant conducted a character study of the surrounding homes and based on the findings, has proposed a set of building design guidelines (summary attached as Appendix V).
- The proposal allows for the expansion of the Woodward Hill Park through the acquisition of approximately 1,538 square metres (16,555 sq. ft.) of parkland, which follows the requirements of the South Newton NCP.

PRE-NOTIFICATION

Pre-notification letters were sent on July 27, 2016 to 430 properties within 100 metres (328 ft.) of the subject site, including the Panorama Neighbourhood Association and Sullivan Amateur Athletic and Community Association. A development proposal sign was also installed on the site on August 10, 2016. In response, staff have received five emails and one phone call. A summary is provided below with staff comments provided in italics:

- Timelines for the application and clarification on what the application was for.

(Additional information was provided and the resident did not have any additional comments or concerns).

- School Capacity

(The School District has received funding to add capacity to some of the elementary schools in the neighbourhood, and has requested additional funding for an additional elementary school in the area, as well as funding to increase capacity for secondary schools).

- Increased demand for parks

(Expansion of the Woodward Hill Park is planned as part of this development (1,538 square metres [16,555 sq. ft.] of parkland will be acquired as part of this application), and as part of the South Newton NCP. Additional parkland is also to be acquired as development occurs to the south).

- Parking demand

(The applicant is providing resident and visitor parking to meet the Zoning By-law requirements. The extension of 62 Avenue / 61A Avenue will also provide additional on-street parking. All units are proposed with a double car garage parking arrangement).

DESIGN PROPOSAL AND REVIEW

Townhouses

- The proposal consists of fifty-seven (57) three-storey townhouse units that are contained within 13 buildings. All of the units are provided as three-bedroom townhouse units and include two resident's parking spaces. The proposal also includes an indoor amenity building and an outdoor amenity area centrally located on the north portion of the site.
- Individual unit entries are provided to both 61A Avenue and 144 Street. The number of dwelling units within each individual building varies from 3 to 6 units.
- All units are proposed with double car garage parking arrangement.

- Building materials include hardie shingle siding, horizontal vinyl siding, vinyl shingle siding, brick veneer, decorative wood column and louvre, hardie plank siding and high profile asphalt shingle roofing. The colour scheme is coal creek-mission, western juniper, autumn maple, stratus, and whitewater bay (Appendix VIII). The natural slope along 144 Street will increase roof articulation along that elevation.
- An acoustical report is required for units facing 144 Street, and recommendations from the report will be incorporated on the drawings before issuance of the Development Permit.

Landscaping

- Landscaping is provided along all property lines, with two groups of trees retained at the centre of the site.
- The proposed landscaping includes a variety of plants, including Glossy Abelia, Little-Leaf Box, Common Boxwood, Winged Burning Bush, Pinky Winky Hydrangea, Japanese Holly, Honeysuckle Lemon Beauty, False Holly, Portuguese Laurel, Rhododendron Yellowmay, Himalayan Sweet Box, Goldflame Spirea, Hick's Yew, Emerald Green Cedar, David's Viburnum, Gwenllian Spring Bouquet, as well as a variety of shrubs, grass and perennials.

Vehicular Access & Parking

- Access to the subject site will be provided on 62 Avenue, at the northwest corner of the site.
- A temporary turn-around will be provided between units #47 and #48, that will be utilized until 61A Avenue connects to 144 Street. This connection will be achieved as part of future developments.
- The applicant is proposing to provide 114 resident parking spaces and 11 visitor parking spaces, which meets the parking requirements of the Zoning By-law.

Amenity Space

- The Zoning By-law requires 171 square metres (1,840 sq. ft.) of both indoor and outdoor amenity space for this project, based on 3 square metres (32 sq. ft.) per dwelling unit. The applicant proposes indoor and outdoor amenity spaces that exceed the minimum requirements.
- The applicant is providing 174 square metres (1,876 sq. ft.) of indoor amenity building, which is located centrally along the north portion of the townhouse site. The amenity building is proposed as a two-storey building with a meeting room, exercise room and two lounges.
- The outdoor amenity space totalling 642 square metres (6,918 sq. ft.), is provided adjacent to the indoor amenity space along the centre-north portion of the site, where a group of trees is proposed to be retained.
- The outdoor amenity areas consist of a patio, lawn, benches, a picnic table, and a tree house play structure.

TREES

- Meredith Mitchel, ISA Certified Arborist of M2 Landscape Architecture prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	10	10	0
Cottonwood	2	2	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Beech	1	0	1
Paper Birch	2	1	1
Red Maple	1	0	1
Coniferous Trees			
Douglas Fir	20	5	15
Picea Omorika	1	0	1
Western Red Cedar	15	9	6
Total (excluding Alder and Cottonwood Trees)	40	15	25
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		46	
Total Retained and Replacement Trees		71	
Contribution to the Green City Fund		\$0	

- The Arborist Assessment states that there are a total of 46 protected trees on the site, excluding Alder and Cottonwood trees. 12 existing trees, approximately 26% of the total trees on the site, are Alder and Cottonwood trees. It was determined that 25 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 45 replacement trees on the site. The applicant is proposing 46 replacement trees, exceeding City requirements.
- The new trees on the site will consist of a variety of trees including Hedge Maple, Japanese Maple, Katsura Tree, Forest Pansy Redbud, White Wonder Dogwood, Magnolia, Weeping Siberian Spruce, and Amanosawa Cherry.
- In summary, a total of 71 trees are proposed to be retained or replaced on the site.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on August 23, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The proposal conforms with the site's OCP land use designation. • The proposal includes an NCP amendment to allow increased density, to remove the detention pond that is no longer required, and to do some housekeeping amendments to the park layout and road configuration.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposal is for a multi-family development and 2 single family lots.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Significant tree retention is proposed.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The proposal includes the extension and realignment of 62 Avenue.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • Living spaces within the units provide for visual connection and security throughout the development, as well as low planting material, fencing and on-site lighting following CPTED principles.
6. Green Certification (F1)	<ul style="list-style-type: none"> • n/a
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • n/a

BY-LAW VARIANCE AND JUSTIFICATION**(a) Requested Variance:**

- Reduce the setback of the RM-30 Zone from 7.5 metres (25 ft.) to:
 - 4.6 metres (15 ft.) for the north yard setback for proposed buildings 3, 4 and 5;
 - 4.5 metres (15 ft.) for the building, and 3.6 metres (12 ft.) to the front porch for the east yard setback along 144 Street for buildings 5 and 6;
 - 3.0 metres (10 ft.) for the east side yard for proposed building 11;
 - 4.5 metres (15 ft.) for the building, and 3.3 metres (11 ft.) to the front porch for the west yard setback for proposed buildings 12 and 13;
 - 4.8 metres (16 ft.) for the building, and 3.3 metres (11 ft.) to the front porch along 61A Avenue for the south yard setback for proposed building 11; and
 - 3.0 metres (10 ft.) for the south yard setback for proposed building 8.

Applicant's Reasons:

- Setback reductions along a public street frontage provide more interaction between the public realm and the private realm. This vastly improves livability of the units and the street.

- Setback reductions are better for CPTED design, as they provide “eyes on the street”
- Setback reductions allow for more density and for better use of decreasing land that is available for human habitation.
- Setbacks reductions assist in providing an open space in the centre of the site for tree retention and outdoor amenity space.

Staff Comments:

- The proposed setbacks are consistent with other recently approved developments in the area. The reduced setbacks along 144 Street and 61A Avenue provide a more urban streetscape.
- The proposed south setback of 3.0 metres (10 ft.) is further reduced for side yard conditions. For back yard conditions, the setback is 6.0 metres (20 ft.), and along 61A Avenue the south setback is proposed as 4.8 metres (16 ft.).
- The proposed north setback of 4.6 metres (15 ft.) is for side yard conditions. For back yard conditions as well as the proposed indoor amenity space, the setback is measured to 7.5 metres (25 ft.).
- Staff support the proposed variance to proceed to Public Notification.

(b) Requested Variance:

- Allow parking within the east setback of the RM-30 Zone for visitor parking stall #10 and #11.

Applicant's Reasons:

- Moving parking spaces #10 and #11 to the east allows for additional tree retention.

Staff Comments:

- The proposed parking stall is adjacent to an internal drive aisle and not visible from the street.
- A setback reduction is proposed for the east side yard of building 11 to 3.0 metres (10 ft.), and parking space #11 is an additional 1.0 metre (3 ft.) to the east.
- The proposed relaxation assists with tree retention to the west of the proposed parking space.
- Staff support the proposed variance to proceed to Public Notification.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Survey Plan, Proposed Subdivision Layout, Offsite Servicing Plan, Site Plan, Building Elevations and Landscape Plans
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Building Design Guidelines Summary
Appendix VI.	Summary of Tree Survey and Tree Preservation
Appendix VII.	NCP Plan
Appendix VIII	Proposed Exterior Color Scheme
Appendix IX.	Development Variance Permit No. 7915-0337-00

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Barnett Dembek Architects Inc. and M2 Landscape Architecture respectively, dated June 1, 2016 and September 2, 2016

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

RJG/ar

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

SUBDIVISION DATA SHEET

Proposed Zoning: RF-12

Requires Project Data	Proposed
GROSS SITE AREA	
Acres	0.192 acres (net)
Hectares	0.078 ha (net)
NUMBER OF LOTS	
Existing	1
Proposed	4 (2 RF-12, 1 RM-30 and park)
SIZE OF LOTS	
Range of lot widths (metres)	13.4 – 40 m
Range of lot areas (square metres)	320 m ² – 460 m ²
DENSITY	
Lots/Hectare & Lots/Acre (Gross)	-
Lots/Hectare & Lots/Acre (Net)	25.6 uph / 10 upa
SITE COVERAGE (in % of gross site area)	
Maximum Coverage of Principal & Accessory Building	50%
Estimated Road, Lane & Driveway Coverage	5%
Total Site Coverage	55%
PARKLAND	
Area (square metres)	n/a
% of Gross Site	n/a
Required	
PARKLAND	
5% money in lieu	NO
TREE SURVEY/ASSESSMENT	
	YES
MODEL BUILDING SCHEME	
	YES
HERITAGE SITE Retention	
	NO
FRASER HEALTH Approval	
	NO
DEV. VARIANCE PERMIT required	
Road Length/Standards	NO
Works and Services	NO
Building Retention	NO
Others	NO

DEVELOPMENT DATA SHEET

Proposed Zoning: RM-30

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		13,959 m ²
Road Widening area		2,880 m ²
Undevelopable area (park + RF-12 area)		2,317 m ²
Net Total		12,018 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	34%
Paved & Hard Surfaced Areas		33%
Total Site Coverage		67%
SETBACKS (in metres)		
East		
West		
North		
South		
South at 61A Avenue		
BUILDING HEIGHT (in metres/storeys)		
Principal	13 m	10.7 m
Accessory	11 m	7.2 m
NUMBER OF RESIDENTIAL UNITS		
Bachelor		-
One Bed		-
Two Bedroom		-
Three Bedroom +		57
Total		57
FLOOR AREA: Residential		9,395 m ²
TOTAL BUILDING FLOOR AREA		9,395 m ²

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		40.8 uph / 16.5 upa
# of units/ha /# units/acre (net)	75 uph / 30 upa	47.4 uph / 19.2 upa
FAR (gross)		0.7
FAR (net)	0.9	0.8
AMENITY SPACE (area in square metres)		
Indoor	171 m ²	174 m ²
Outdoor	171 m ²	642 m ²
PARKING (number of stalls)		
Residential 3 Bed	114	114
Residential Visitors	11.4	11
Total Number of Parking Spaces		
	124.5	125
Number of disabled stalls		
		-
Number of small cars		
		-
Tandem Parking Spaces: Number / % of Total Number of Units	28 / 50%	None

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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**SURVEY PLAN TO ACCOMPANY CITY OF SURREY BYLAW NO. _____ FOR
 LOT 2 SECTION 9 TOWNSHIP 2
 NEW WESTMINSTER DISTRICT PLAN 60041.**

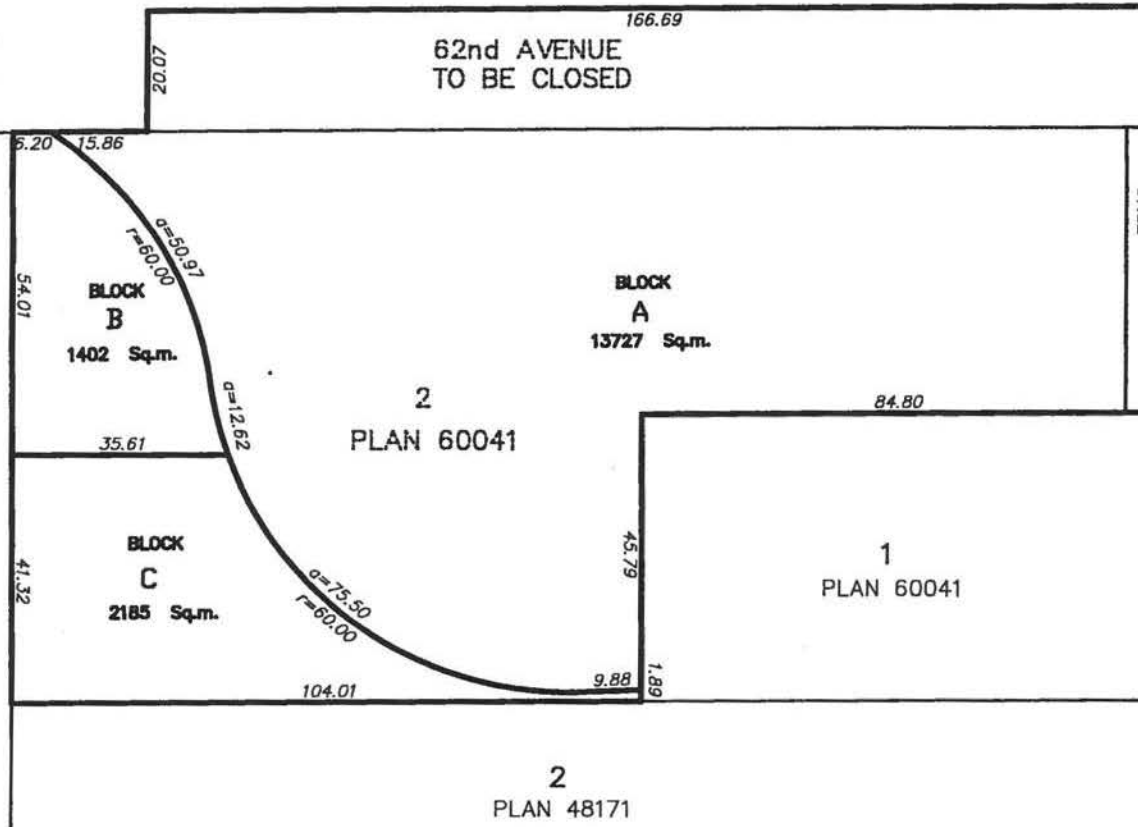
Current Civic Address:
 6173 144th Street
 Surrey, B.C.

SCALE : 1:1250

62nd AVE

B.C.G.S. 92G006
 CITY OF SURREY

1
 PLAN 2840

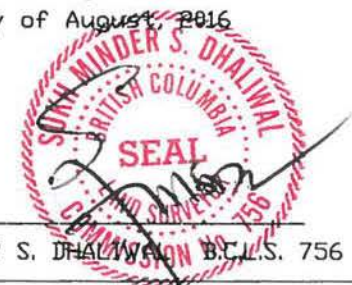


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DHALIWAL & ASSOCIATES
 LAND SURVEYING INC.
 216-12899 76th Avenue
 Surrey, B.C.
 V3W 1E6
 (ph) 501-6188
 (fx) 501-6189
 FILE: 0708004-Z01

**THIS PLAN LIES WITHIN THE
 GREATER VANCOUVER REGIONAL DISTRICT**

**THIS DOCUMENT IS NOT VALID UNLESS
 ORIGINALLY SIGNED AND SEALED**

Date of Survey
 18th day of August, 2016

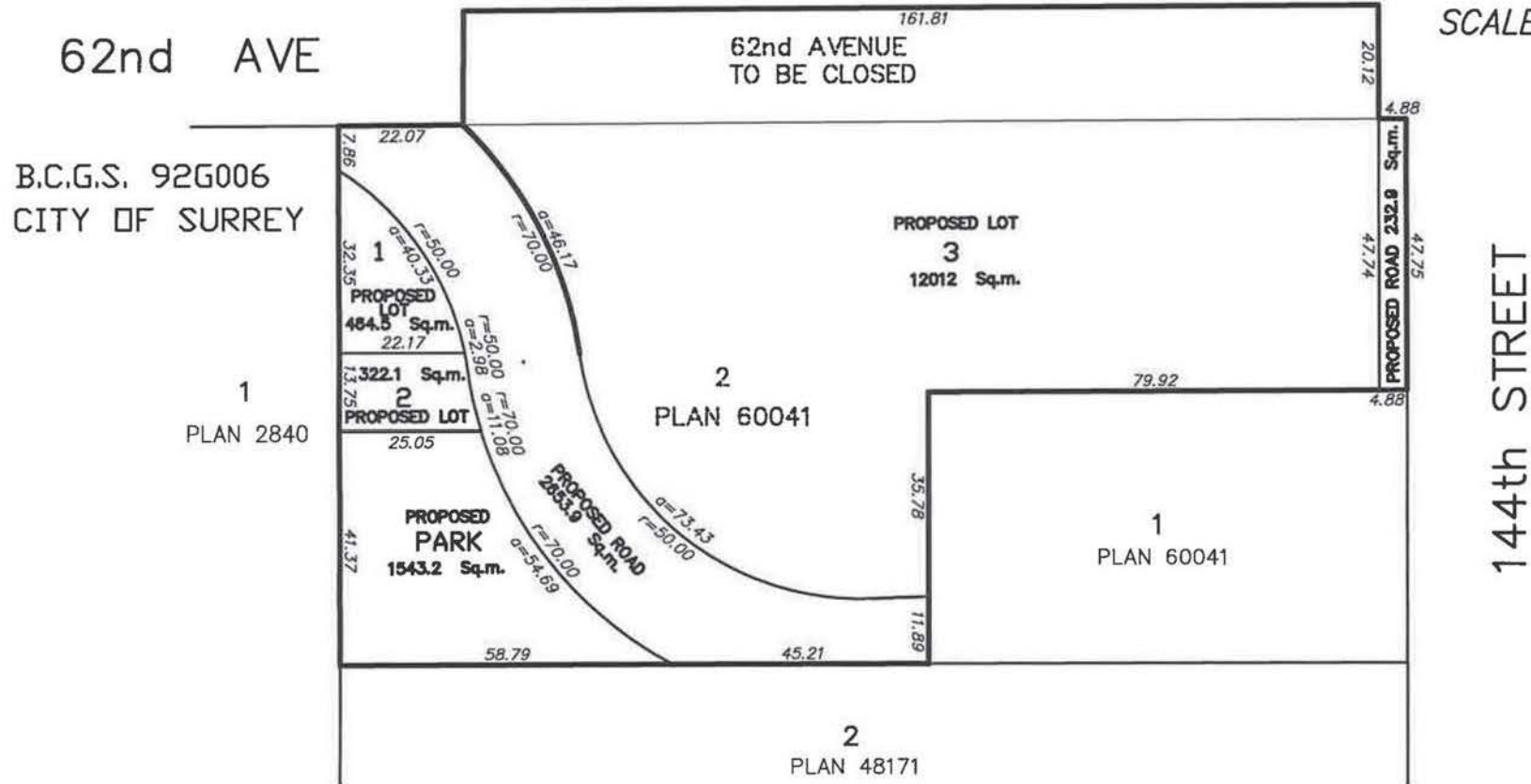


SUKH MINDER S. DHALWAL B.C.L.S. 756

**PROPOSED SUBDIVISION PLAN OF
LOT 2 SECTION 9 TOWNSHIP 2
NEW WESTMINSTER DISTRICT PLAN 60041.**

*Current Civic Address:
6173 144th Street
Surrey, B.C.*

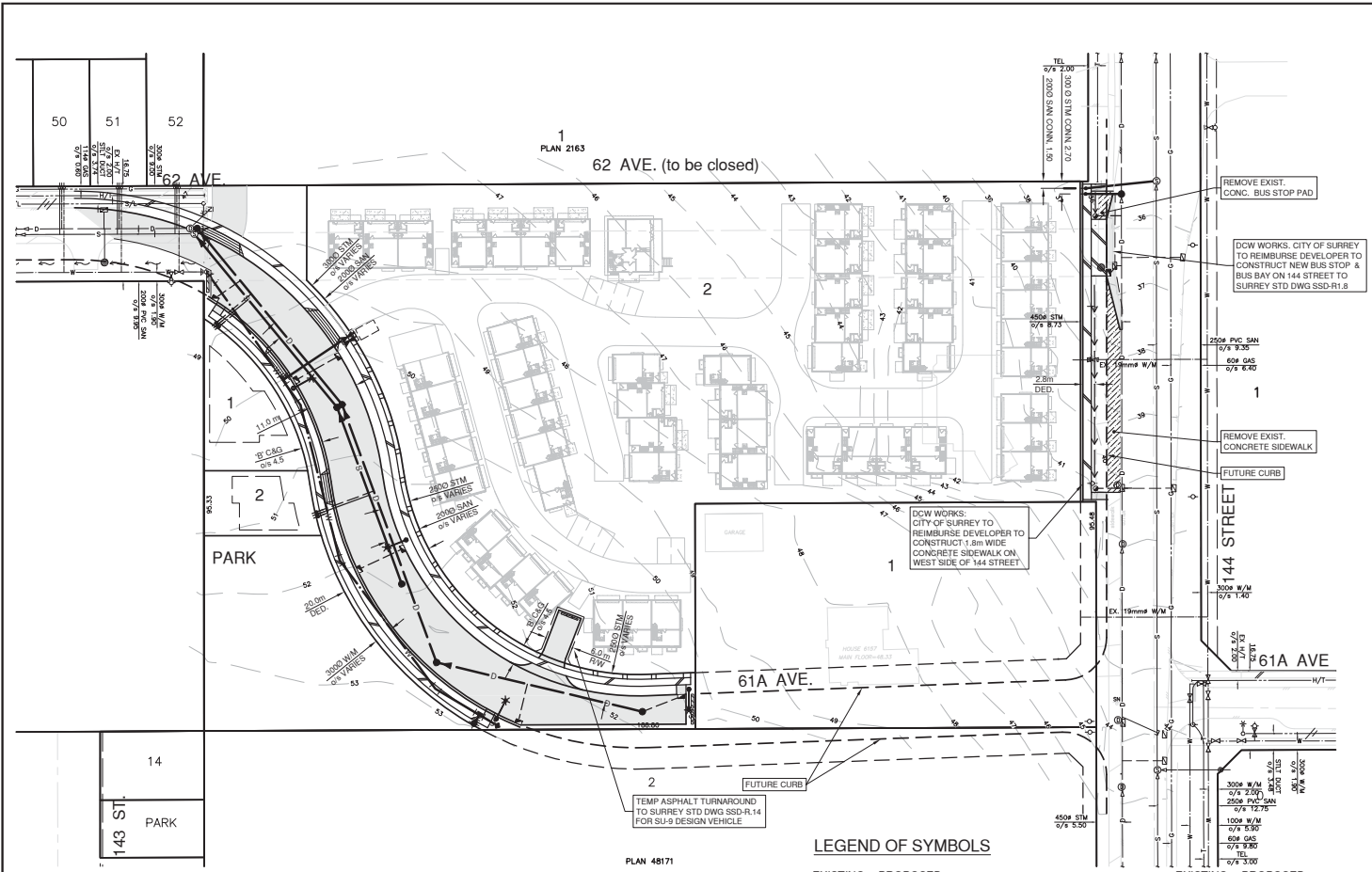
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FILE: 0708004-PS1

**THIS PLAN LIES WITHIN THE
GREATER VANCOUVER REGIONAL DISTRICT**

Dated this
01st day of September 2016



- ### CITY GENERAL NOTES
- FOR THE PURPOSE OF CONSTRUCTION AND ACCOUNTABILITY THE DEVELOPER MUST ADVISE THE SURREY CITY INSPECTOR IN WRITING, WHICH OF THE CITY NOTES IS GOING TO BE THE RESPONSIBILITY OF THE DEVELOPERS CONTRACTOR.
 - CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE CITY OF SURREY HIGHWAY AND TRAFFIC BYLAW No. 13007, SUBDIVISION BYLAW No. 8830, THE APPLICABLE MUNICIPAL MASTER SPECIFICATIONS AND STANDARD DETAIL DRAWINGS, AND THE CITY OF SURREY STANDARD CONSTRUCTION DOCUMENTS, SUPPLEMENTARY SPECIFICATIONS & STANDARD DRAWINGS AND CITY DESIGN CRITERIA.
 - TRAFFIC CONTROL IS THE RESPONSIBILITY OF THE DEVELOPER AND THE DEVELOPER SHALL COMPLY WITH SECTION 52 OF THE INDUSTRIAL HEALTH AND SAFETY REGULATIONS OF THE WORKERS COMPENSATION BOARD OF B.C. AND THE INSTRUCTIONS OUTLINED ON THE CITY ROAD AND RIGHT-OF-WAY PERMIT AND TRAFFIC OBSTRUCTION PERMIT ISSUED BY THE CITY.
 - THE DEVELOPER IS TO HAVE, ON SITE, A COPY OF THE CURRENT "B.C. TRAFFIC CONTROL MANUAL FOR WORK ON ROADWAYS" AS PUBLISHED BY THE MINISTRY OF TRANSPORTATION AND HIGHWAYS.
 - THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL CITY PERMITS FOR WORK WITHIN THE CITY ROAD ALLOWANCE.
 - WHERE UTILITY OR SERVICE CROSSINGS ARE REQUIRED ACROSS EXISTING PAVEMENTS, AN UNDERGROUND METHOD OF INSTALLATION IS REQUIRED UNLESS SPECIAL APPROVAL IS GIVEN FROM THE CITY FOR AN OPEN CUT OPERATION. ALL EXISTING PAVEMENTS, BOULEVARDS, DRIVEWAYS, ETC., ARE TO BE REINSTATED TO ORIGINAL OR BETTER CONDITION AND IN ACCORDANCE WITH CITY SPECIFICATIONS AND THE PAVEMENT CUT POLICY.
 - LOWERS THE GRADE OF THE ROAD AT THE LOCATION OF AN ISA MONUMENT(S).
 - RAISES THE GRADE OF THE ROAD AT THE LOCATION OF AN ISA MONUMENT(S), OR
 - INSTALLS ANY UNDERGROUND UTILITIES (INCLUDING TERASEN GAS, B.C. HYDRO, TELUS, CORD WATER/SANITARY SEWER/DRAINAGE ETC.) WITHIN A 1.500 METRE RADIUS OF THE ISA MONUMENT(S).
 - THE CITY WILL INVOICE THE DEVELOPER A NON REFUNDABLE FLAT RATE FEE OF \$1820.00 FOR EACH ISA MONUMENT DISTURBED OR DESTROYED.
 - ALL STREET, TRAFFIC, AND ADVISORY SIGNS, PAVEMENT MARKINGS FOR STOP BARS AND SPEED HUMPS REQUIRED BUT NOT NECESSARILY SHOWN ON THE DRAWINGS SHALL BE INSTALLED BY THE CITY AT THE DEVELOPERS COST. ALL OTHER STREET MARKINGS BY DEVELOPER AT DEVELOPERS COST.
 - WHERE INFILLING OF EXISTING DITCHES IS REQUIRED OR WHERE SERVICES ARE CONSTRUCTED IN A FILL SECTION, FILL MATERIAL IS TO BE IN ACCORDANCE WITH CITY SPECIFICATIONS AND IS TO BE COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY.
 - DRIVEWAY BOULEVARD CROSSINGS TO EACH OF THE PROPOSED LOTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CITY STANDARD DRAWINGS.
 - RESIDENTS DIRECTLY AFFECTED BY CONSTRUCTION OF THIS PROJECT MUST BE GIVEN 48 HOURS WRITTEN NOTICE OF THE PROPOSED START OF CONSTRUCTION.
 - THE DEVELOPER WILL REQUIRE WRITTEN AUTHORIZATION FROM A PRIVATE PROPERTY OWNER, WITH A COPY TO THE CITY, PRIOR TO ANY ENTRY ONTO PRIVATE PROPERTY AND A WRITTEN RELEASE FROM THE PROPERTY OWNER, WHEN COMPLETED.
 - WHEN NATIVE SITE GRANULAR BACKFILL IS PROPOSED FOR USE IN TRENCHES THE DEVELOPER SHALL EMPLOY A PROFESSIONAL ENGINEER WITH EXPERIENCE IN GEOTECHNICAL ENGINEERING FOR PERFORMANCE OF IN PLACE DENSITY AND SIEVE TESTING. SELECTION OF THE PROFESSIONAL ENGINEER AND USE OF THE SITE MATERIAL IS TO BE APPROVED BY THE CITY.
 - THE SITE MATERIAL MUST FALL WITHIN ONE OF THE GRANULAR BACKFILL MATERIAL SPECIFICATIONS. RIVER SAND IS NOT ACCEPTABLE AS TRENCH BACKFILL MATERIAL.
 - THE DEVELOPER SHALL FACILITATE AND SUPPLY ALL NECESSARY SAFETY EQUIPMENT REQUIRED UNDER THE WCB REGULATIONS FOR THE CITY OR ITS REPRESENTATIVES OR THE ENGINEER OF RECORD TO INSPECT THE SANITARY SEWER AND STORM SEWER SYSTEMS. THE EQUIPMENT SHALL BE SUPPLIED UNTIL SUCH TIME AS A CERTIFICATE OF COMPLETION IS ISSUED BY THE CITY.
 - DEVELOPER IS TO VERIFY THE LOCATION AND ELEVATION OF ALL PIPES, OR OTHER UTILITY CROSSINGS, PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF RECORD OF ANY CONFLICTS.
 - THE DEVELOPER SHALL EMPLOY A PROFESSIONAL ENGINEER TO DESIGN A SEDIMENT AND EROSION CONTROL SYSTEM AND THE DEVELOPER SHALL INSTALL AND MAINTAIN THE SYSTEM IN THE DEVELOPMENT IN ORDER TO PREVENT SILT DISCHARGES TO THE STORM DRAINAGE SYSTEM AND WATERCOURSES.
 - THE "TREE CUTTING AND PRESERVATION BYLAW NO. 11565" REQUIRES THAT A CUTTING PERMIT BE OBTAINED BEFORE ANY TREES ARE REMOVED FROM THE SITE. OTHER PROVISIONS OF THE BYLAW MAY ALSO BE APPLICABLE.

LEGEND OF SYMBOLS

EXISTING	PROPOSED	EXISTING	PROPOSED
			UNDERGROUND B.C. HYDRO
			STREET LIGHT & TRAFFIC SIGNAL U/G DUCTS
			GAS MAIN
			UTILITY POLE; UTILITY POLE WITH LIGHT
			ORNAMENTAL STREET LIGHT - POST TOP
			ORNAMENTAL STREET LIGHT - DAVIT
			JUNCTION BOX
			CONTOURS
			TREE TO BE REMOVED
			FINISHED GRADES (M - MEET EXISTING GRADE)
			DIRECTION OF GRADING
			MIN. SLAB ELEV. FOR SLAB ON GRADE OR MIN. ELEV. OF UNDERSIDE OF FLOOR JOISTS
			STORM AND/OR SANITARY INVERT AT PL (PLAN)
			DEPTH OF CONNECTION INVERT
			STORM AND/OR SANITARY INVERT AT PL (PROFILE)
			OVERHEAD HYDRO/TEL.
			UNDERGROUND HYDRO/TEL.

BENCHMARK	
SURVEY MONUMENT #5041, INTERSECTION OF 144 STREET AND 60 AVENUE	EL. -62.60m
LEGAL DESCRIPTION	
LOT 2, SECTION 9, TOWNSHIP 2, N.W.D., PLAN 60041	

REV.	DATE	ISSUED FOR DP.	DR.	APP.	CLIENT
A	07.15.16	ISSUED FOR DP.	B.D.	J.N.	PUREWALL HOLDINGS LTD.
B	09.01.16	BUS STOP AND TURNAROUND ADDED	K.M.B.	J.N.	
PROJECT 6173-144 STREET, CITY OF SURREY					

PUREWALL HOLDINGS LTD.
 #320 - 6832 KING GEORGE HIGHWAY, SURREY B.C., V3W 4Z9
 PH: 604-575-7409 FAX: 604-575-7410

DRAWING TITLE
PRELIMINARY OFFSITE SERVICING PLAN

WSP CANADA INC.
 #300 - 65 RICHMOND STREET
 NEW WESTMINSTER, B.C.
 CANADA V3L 5P5
 TEL. 604-525-4651 | FAX. 604-525-5715
 www.wspgroup.com

TITLE	OFFSITE SERVICING PLAN	PROJECT NO.
SCALE	1:500	DRAWING NO.
DATE	JULY 2015	SHEET NO.
FB.	FG.	1 OF 1
DRAWN	K.M.B.	CHECKED
DESIGN	F.E.	J.N.
JOB NO. 061400446		

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ISSUED FOR	BY	DATE	ISSUE	REV. NO.	DATE	DRN.	CD

03-C-049

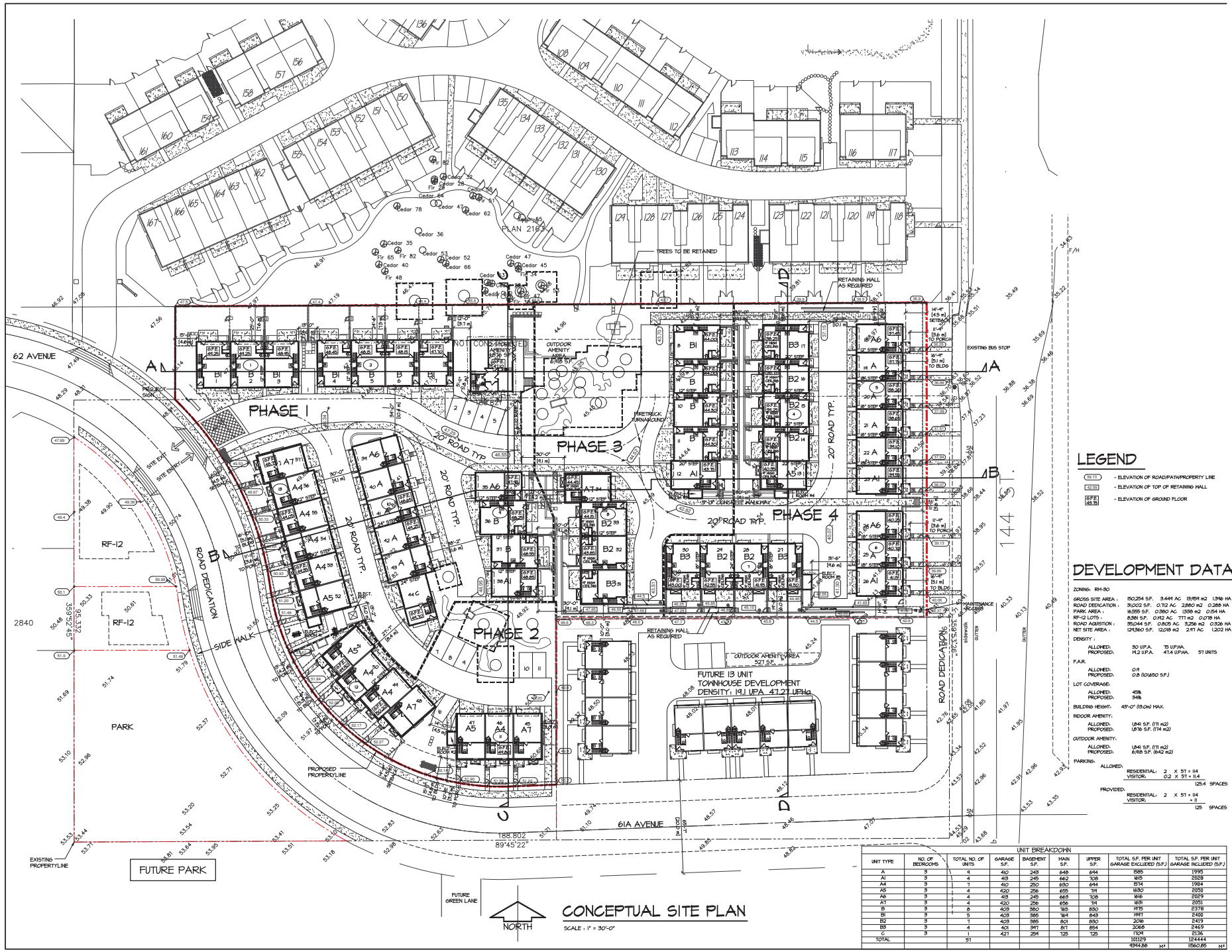
DESIGN:	H.D.:	DRAWN:	DATE:	SCALE:
				1" = 30'-0"

CLIENT: PIREWALL HOLDINGS LTD.
 PROJECT: RM-30 TOWNHOUSE DEVELOPMENT
 6113 144 STREET, SURREY
 SHEET CONTENTS: CONCEPTUAL SITE PLAN AND DEVELOPMENT DATA

barnett dembok
 ARCHITECTS
 7536 130 STREET, SURREY, B.C. V3W 1H8

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: info@barnett-dembok.com

CLIENT NO.	SHEET NO.
15011	AC-1.0



LEGEND

- 51.25 - ELEVATION OF ROAD/PROPERTY LINE
- 51.25 - ELEVATION OF TOP OF RETAINING WALL
- 51.25 - ELEVATION OF GROUND FLOOR

DEVELOPMENT DATA

ZONING: RM-30
 GROSS SITE AREA: 160254 SF, 3.641 AC, 1591 m², 1.936 HA
 ROAD DEDICATION: 31000 SF, 0.712 AC, 2880 m², 0.288 HA
 PARK AREA: 16359 SF, 0.380 AC, 1536 m², 0.384 HA
 RF-12 LOTS: 8261 SF, 0.182 AC, 771 m², 0.078 HA
 ROAD ADJUNCTION: 32044 SF, 0.729 AC, 3228 m², 0.320 HA
 NET SITE AREA: 129260 SF, 0.298 AC, 2.91 AC, 1.202 HA

DENSITY:
 ALLOWED: 30 UPA, 75 UPA, 125 SPACES
 PROPOSED: 14 UPA, 414 UPA, 51 UNITS

F.A.R.:
 ALLOWED: 0.8 (0.1650 SF)
 PROPOSED: 34%

LOT COVERAGE:
 ALLOWED: 49%
 PROPOSED: 34%

BUILDING HEIGHT: 43'-0" (13.0M) MAX.

INDOOR AMENITY:
 ALLOWED: 1841 SF, (11 m²)
 PROPOSED: 1876 SF, (174 m²)

OUTDOOR AMENITY:
 ALLOWED: 1841 SF, (11 m²)
 PROPOSED: 6415 SF, (592 m²)

PARKING:
 ALLOWED: RESIDENTIAL: 2 X 51' x 14', VISITOR: 0.2 X 51' x 14', 125 SPACES
 PROVIDED: RESIDENTIAL: 2 X 51' x 14', VISITOR: 0.2 X 51' x 14', 125 SPACES

UNIT TYPE	NO. OF BEDROOMS	TOTAL NO. OF UNITS	UNIT BREAKDOWN				TOTAL SF PER UNIT GARAGE EXCLUDED (B.F.)	TOTAL SF PER UNIT GARAGE INCLUDED (B.F.)
			GARAGE SF.	BATH SF.	MAIN SF.	UPPER SF.		
A	3	4	410	243	648	644	1585	1995
A1	3	4	48	245	663	328	1693	2028
A4	3	7	410	290	630	644	1574	1984
A5	3	4	420	256	659	644	1626	2056
A6	3	4	418	256	665	328	1630	2029
A7	3	4	420	256	656	718	1631	2051
B	3	6	408	300	300	830	1475	2378
B1	3	5	408	305	364	843	1441	2400
B2	3	1	408	305	364	830	2246	2479
B3	3	4	408	301	611	654	2089	2459
C	3	1	408	294	325	325	1334	1534
TOTAL	3	31	421	294	325	325	10129	12444

CONCEPTUAL SITE PLAN
 SCALE: 1" = 30'-0"



FUTURE PARK

FUTURE GREEN LANE

UNIT 13 UNIT TOWNHOUSE DEVELOPMENT DENSITY: 14 UPA, 47.2 UPA/H

61A AVENUE

61B AVENUE

61C AVENUE

61D AVENUE

61E AVENUE

61F AVENUE

61G AVENUE

61H AVENUE

61I AVENUE

61J AVENUE

61K AVENUE

61L AVENUE

61M AVENUE

61N AVENUE

61O AVENUE

61P AVENUE

61Q AVENUE

61R AVENUE

61S AVENUE

61T AVENUE

61U AVENUE

61V AVENUE

61W AVENUE

61X AVENUE

61Y AVENUE

61Z AVENUE

62 AVENUE

63 AVENUE

64 AVENUE

65 AVENUE

66 AVENUE

67 AVENUE

68 AVENUE

69 AVENUE

70 AVENUE

71 AVENUE

72 AVENUE

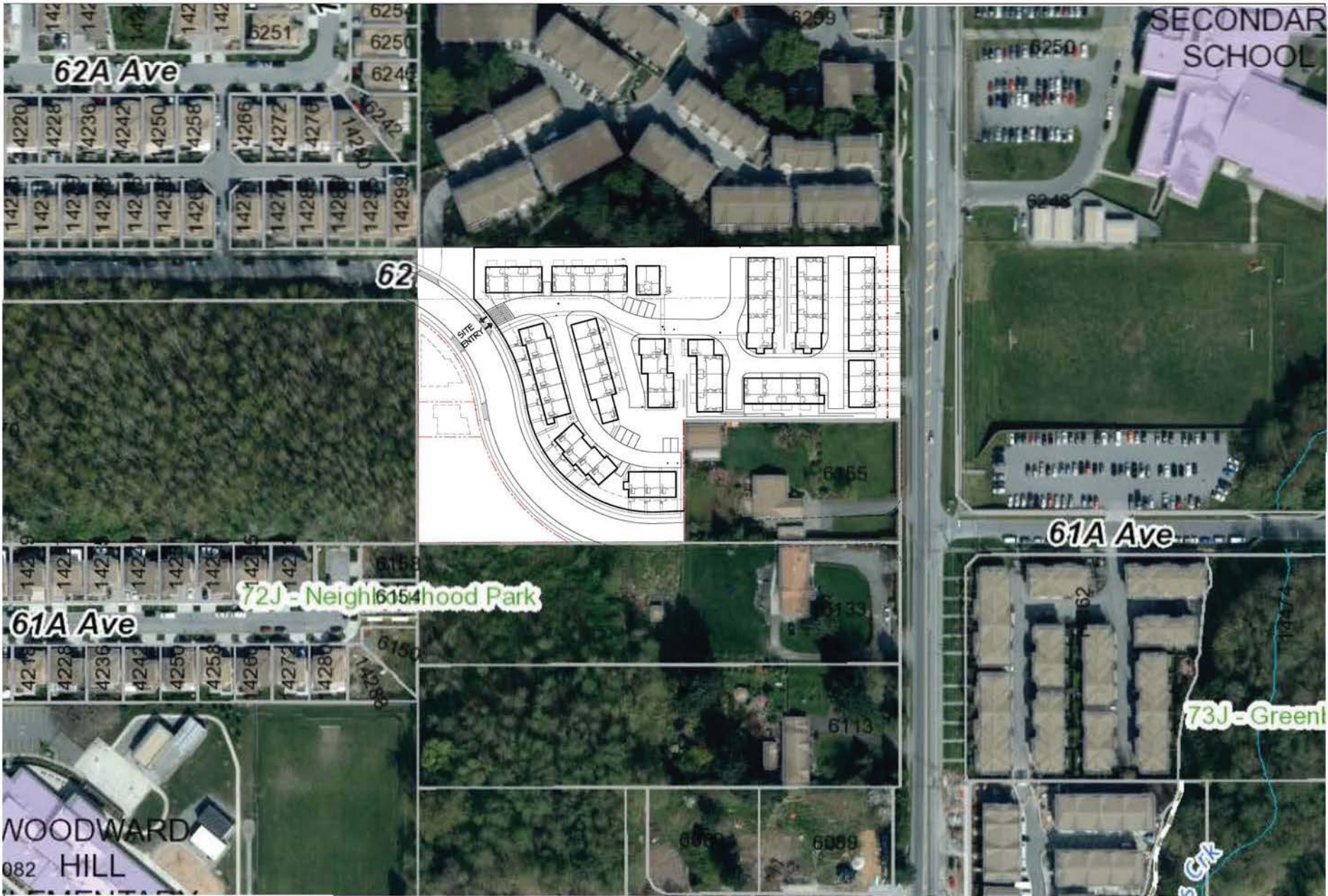
73 AVENUE

74 AVENUE

75 AVENUE

76 AVENUE

77 AVENUE



SITE CONTEXT

SCALE: 1" = 80'-0"

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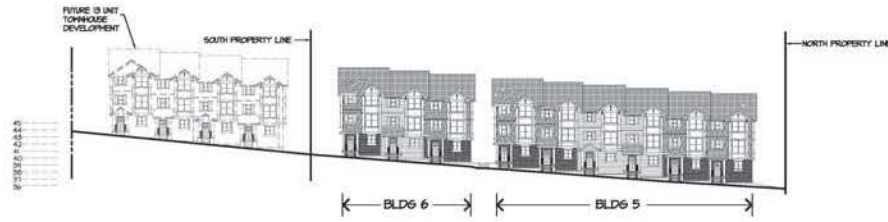
REV. NO.	DATE	BY	ISSUE

CLIENT :	FIREWALL HOLDINGS LTD.
PROJECT :	RH-30 TOWNHOUSE DEVELOPMENT 6113 144 STREET, SURREY
SHEET CONTENT :	SITE CONTEXT
DESIGN :	
DRAWN :	
DATE :	June 16, 2011
SCALE :	1" = 80'-0"

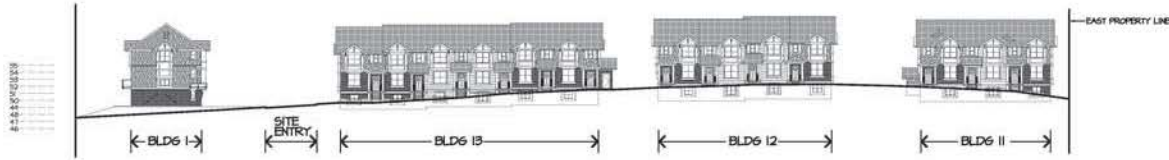
barnett dembek
ARCHITECTS INC.
UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mol@darkitex.com

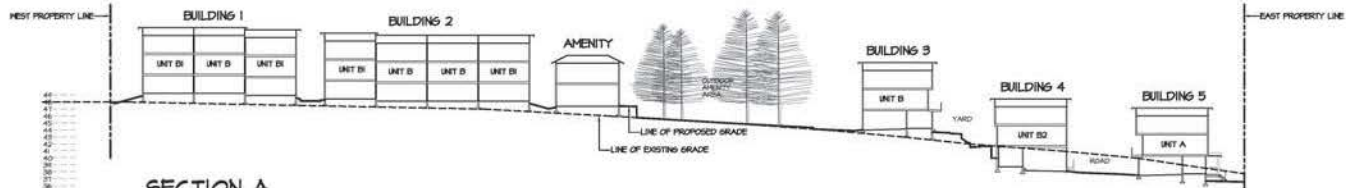
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15011	AC-11



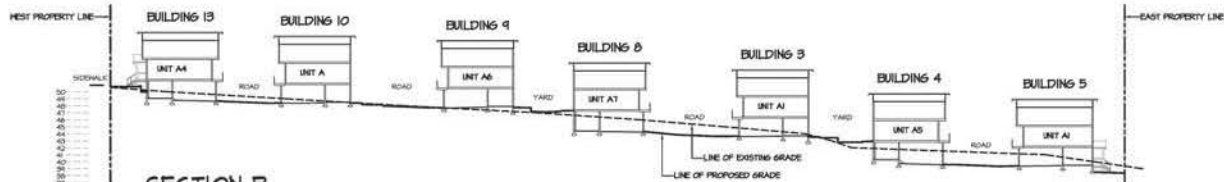
SITE ELEVATION @ 144TH ST.
SCALE: 1" = 30'-0"



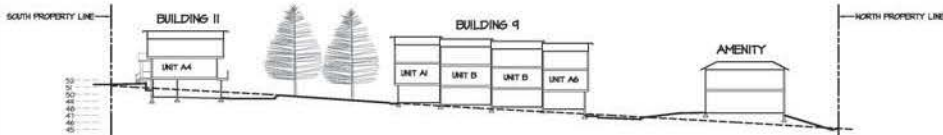
SITE ELEVATION @ 61A AVE.
SCALE: 1" = 30'-0"



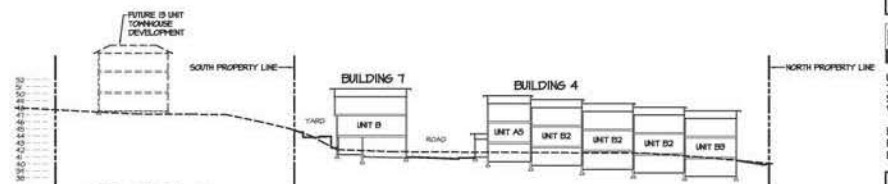
SECTION A
SCALE: 1" = 30'-0"



SECTION B
SCALE: 1" = 30'-0"



SECTION C
SCALE: 1" = 30'-0"



SECTION D
SCALE: 1" = 30'-0"

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NO.	DATE	BY	REVISION

DESIGN: J.K. King	DRAWN: J.K. King	DATE: JUN 16	SCALE: 1" = 30'-0"
CLIENT: PUREWALL HOLDINGS LTD.	PROJECT: RM-30 TOWNHOUSE DEVELOPMENT 6173 144 STREET, SURREY	SHEET CONTAINS: SITE ELEVATIONS & SECTIONS	

barnett dembek
ARCHITECTS INC.

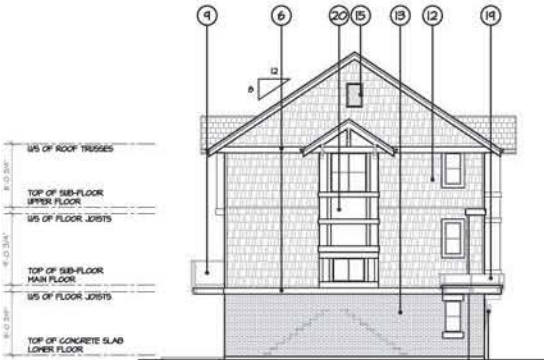
UNIT 135,
7336 130 STREET,
SURREY, B.C.
V3W 1H8

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FAX: (604) 597-2099
EMAIL: mb@darkitex.com

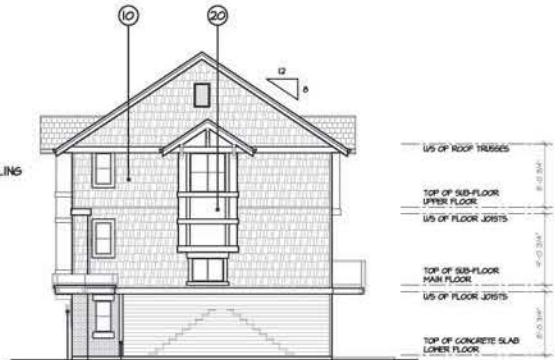
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15011	AC-12



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① HIGH PROFILE ASPHALT SHINGLE ROOFING
- ② PREFINISHED ALUMINUM GUTTER ON 2 x 8 WOOD FASCIA
- ③ 1 x 4 WOOD TRIM ON 2 x 10 WOOD FASCIA
- ④ KNEE BRACKET
- ⑤ VINYL FRAMED WINDOWS G/M 2x6 WOOD TRIM
- ⑥ 2 x 10 WOOD TRIM
- ⑦ HORIZONTAL VINYL SIDING
- ⑧ 2x6 WOOD TRIM
- ⑨ PREFINISHED ALUMINUM & TEMPERED GLASS RAILING
- ⑩ VINYL SHINGLE SIDING
- ⑪ VINYL CORNER TRIM
- ⑫ HARDIE SHINGLE SIDING
- ⑬ BRICK VENEERS
- ⑭ DECORATIVE WOOD COLUMN
- ⑮ DECORATIVE LOUVER
- ⑯ HARDIE PLANK SIDING
- ⑰ CONCRETE FRONT PORCH
- ⑱ 2x6 WOOD TRIM
- ⑲ POWDER COATED ALUMINUM RAILING
- ⑳ HARDIE PANEL SIDING
- ㉑ EXTERIOR LIGHT



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

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REV	DATE	BY	REASON



CS-PL-12-Ang

DESIGN 1	NO. 1	DATE 1	SCALE: 1/8" = 1'-0"
DRAWN 1	NO. 1	DATE 1	SCALE: 1/8" = 1'-0"
CLIENT: PINEHALL HOLDINGS LTD. PROJECT: RH-30 TOWNHOUSE DEVELOPMENT 6173 144 STREET, SARREY SHEET CONTENTS: BUILDING ELEVATIONS BUILDING #1			

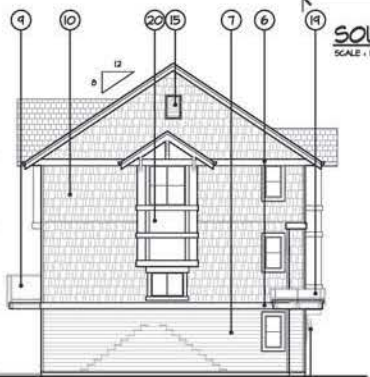
barnett denbok
ARCHITECTS INC.

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7536 130 STREET,
SURREY, B.C.
V5W 1Y8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@denbok.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15011	AC-3.01

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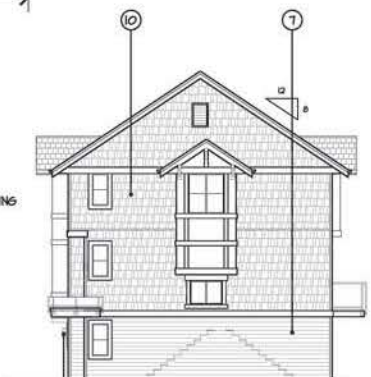


WEST ELEVATION
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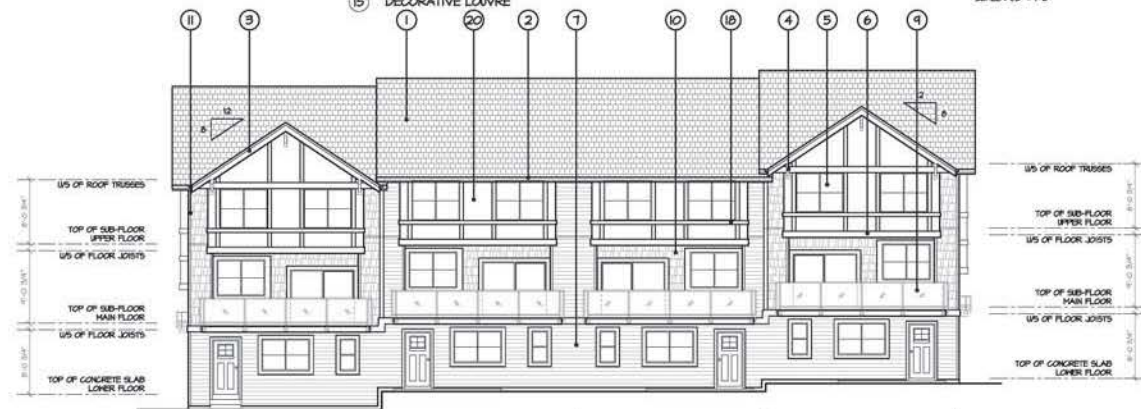
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- | | |
|--|-----------------------------------|
| 1 HIGH PROFILE ASPHALT SHINGLE ROOFING | 16 HARDIE FLANK SIDING |
| 2 PREFINISHED ALUMINUM GUTTER ON 2 x 8 WOOD FASCIA | 17 CONCRETE FRONT PORCH |
| 3 1 x 4 WOOD TRIM ON 2 x 10 WOOD FASCIA | 18 2x6 WOOD TRIM |
| 4 KNEE BRACKET | 19 POWDER COATED ALUMINUM RAILING |
| 5 VINYL FRAMED WINDOWS GM 2x6 WOOD TRIM | 20 HARDIE PANEL SIDING |
| 6 2 x 10 WOOD TRIM | 21 EXTERIOR LIGHT |
| 7 HORIZONTAL VINYL SIDING | |
| 8 2x6 WOOD TRIM | |
| 9 PREFINISHED ALUMINUM & TEMPERED GLASS RAILING | |
| 10 VINYL SHINGLE SIDING | |
| 11 VINYL CORNER TRIM | |
| 12 HARDIE SHINGLE SIDING | |
| 13 BRICK VENEERS | |
| 14 DECORATIVE WOOD COLUMN | |
| 15 DECORATIVE LOUVER | |



EAST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

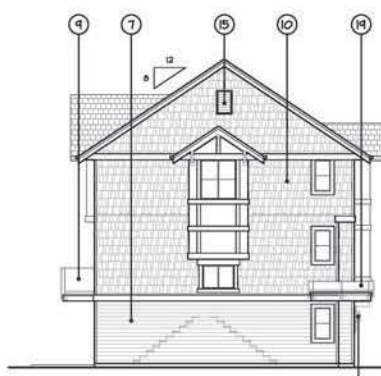
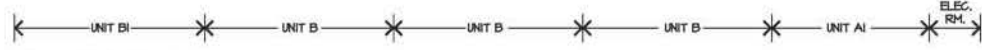
NO	DATE	BY	REASON FOR

DESIGN: JIANG
DRAWN: JIANG
DATE: 14th 16
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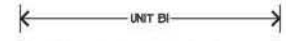
CLIENT: FIREBALL HOLDINGS LTD.
PROJECT: RM-30 TOWNHOUSE DEVELOPMENT
6713 144 STREET, SURREY
SHEET CONTENTS: BUILDING ELEVATIONS BUILDING #2

barnett dembek
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FAX: (604) 597-2099
EMAIL: mol@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
15011	AC-3,02



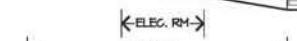
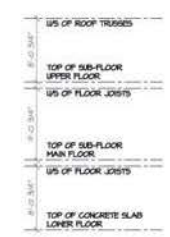
WEST ELEVATION
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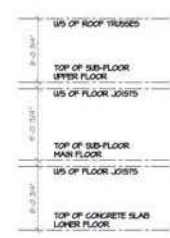
NORTH ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① HIGH PROFILE ASPHALT SHINGLE ROOFING
- ② PREFINISHED ALUMINUM GUTTER ON 2 x 8 WOOD FASCIA
- ③ 1 x 4 WOOD TRIM ON 2 x 10 WOOD FASCIA
- ④ KNEE BRACKET
- ⑤ VINYL FRAMED WINDOWS G/M 2X6 WOOD TRIM
- ⑥ 2 x 10 WOOD TRIM
- ⑦ HORIZONTAL VINYL SIDING
- ⑧ 2X8 WOOD TRIM
- ⑨ PREFINISHED ALUMINUM 4 TEMPERED GLASS RAILING
- ⑩ VINYL SHINGLE SIDING
- ⑪ VINYL CORNER TRIM
- ⑫ HARDIE SHINGLE SIDING
- ⑬ BRICK VENEERS
- ⑭ DECORATIVE WOOD COLUMN
- ⑮ DECORATIVE LOUVRE
- ⑯ HARDIE PLANK SIDING
- ⑰ CONCRETE FRONT PORCH
- ⑱ 2X6 WOOD TRIM
- ⑲ PONDER COATED ALUMINUM RAILING
- ⑳ HARDIE PANEL SIDING
- ㉑ EXTERIOR LIGHT



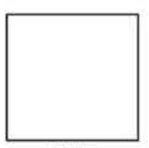
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

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REV	DATE	BY	REASON



CS-ENL-24-Ang

DESIGN: 1	H.O.	DATE: 1	SCALE: 1/8" = 1'-0"
DRAWN: 1	JAN 18		

CLIENT: PINEHALL HOLDINGS LTD.
PROJECT: RM-30 TOWNHOUSE DEVELOPMENT
6175 144 STREET, SARREY
SHEET CONTENTS: BUILDING ELEVATIONS
BUILDING #3

barnett dankoff
ARCHITECTS INC.

UNIT 135,
7536 130 STREET,
SURREY, B.C.
V5W 1Y8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@darkitex.com

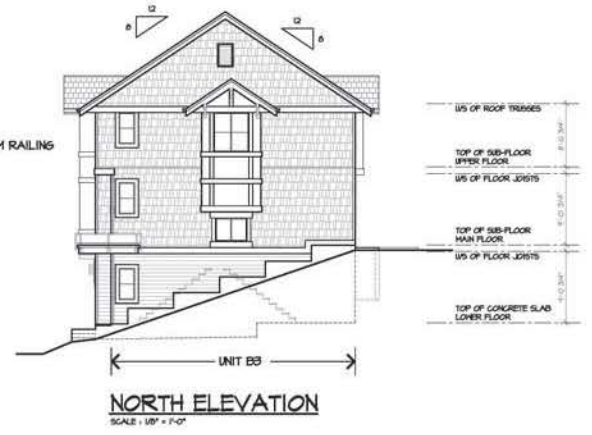
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
ISO11	AC-3.03



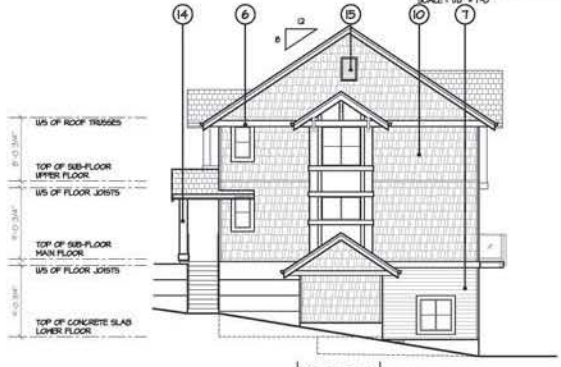
EAST ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① HIGH PROFILE ASPHALT SHINGLE ROOFING
- ② PREFINISHED ALUMINUM GUTTER ON 2 x 8 WOOD FASCIA
- ③ 1 x 4 WOOD TRIM ON 2 x 10 WOOD FASCIA
- ④ KNEE BRACKET
- ⑤ VINYL FRAMED WINDOWS C/M 2X6 WOOD TRIM
- ⑥ 2 x 10 WOOD TRIM
- ⑦ HORIZONTAL VINYL SIDING
- ⑧ 2X6 WOOD TRIM
- ⑨ PREFINISHED ALUMINUM & TEMPERED GLASS RAILING
- ⑩ VINYL SHINGLE SIDING
- ⑪ VINYL CORNER TRIM
- ⑫ HARDIE SHINGLE SIDING
- ⑬ BRICK VENEERS
- ⑭ DECORATIVE WOOD COLUMN
- ⑮ DECORATIVE LOUVRE
- ⑯ HARDIE PLANK SIDING
- ⑰ CONCRETE FRONT PORCH
- ⑱ 2X6 WOOD TRIM
- ⑲ POWDER COATED ALUMINUM RAILING
- ⑳ HARDIE PANEL SIDING
- ㉑ EXTERIOR LIGHT



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



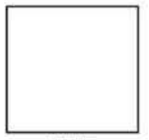
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

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REV	DATE	BY	REASON



DESIGN: H.D.	DRAWN: I	DATE: 1 Jan 18	SCALE: 1/8" = 1'-0"
CLIENT: PINEHALL HOLDINGS LTD.			
PROJECT: RH-30 TOWNHOUSE DEVELOPMENT			
6175 144 STREET, SURREY			
SHEET CONTENTS: BUILDING ELEVATIONS			
BUILDING #4			

barnett denbok
ARCHITECTS INC.

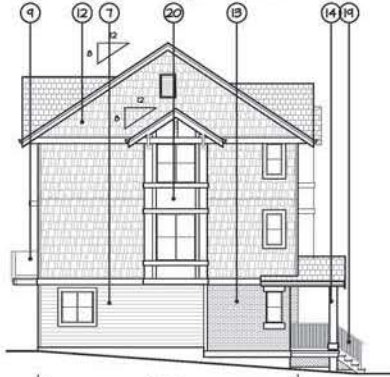
UNIT 135,
7536 130 STREET,
SURREY, B.C.
V5W 1Y8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@darkitex.com

CLIENT NO:	SHEET NO:
PROJECT NO:	AC-3.04
ISO11	REV. NO.



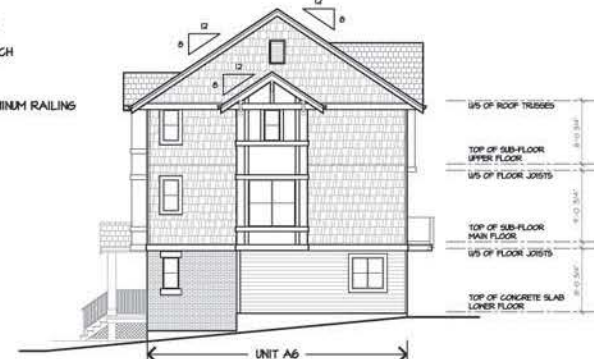
EAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① HIGH PROFILE ASPHALT SHINGLE ROOFING
- ② PREFINISHED ALUMINUM GUTTER ON 2 x 8 WOOD FASCIA
- ③ 1 x 4 WOOD TRIM ON 2 x 10 WOOD FASCIA
- ④ KNEE BRACKET
- ⑤ VINYL FRAMED WINDOWS C/W 2x6 WOOD TRIM
- ⑥ 2 x 10 WOOD TRIM
- ⑦ HORIZONTAL VINYL SIDING
- ⑧ 2x6 WOOD TRIM
- ⑨ PREFINISHED ALUMINUM 4 TEMPERED GLASS RAILING
- ⑩ VINYL SHINGLE SIDING
- ⑪ VINYL CORNER TRIM
- ⑫ HARDIE SHINGLE SIDING
- ⑬ BRICK VENEERS
- ⑭ DECORATIVE WOOD COLUMN
- ⑮ DECORATIVE LOUVER
- ⑯ HARDIE PLANK SIDING
- ⑰ CONCRETE FRONT PORCH
- ⑱ 2x6 WOOD TRIM
- ⑲ POWDER COATED ALUMINUM RAILING
- ⑳ HARDIE PANEL SIDING
- ㉑ EXTERIOR LIGHT



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



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REV	DATE	BY	REASON



DESIGN: 1	NO.	DRAWN: 1	DATE: 1	SCALE: 1/8" = 1'-0"
CLIENT: PINEHALL HOLDINGS LTD.				
PROJECT: RH-30 TOWNHOUSE DEVELOPMENT				
6175 144 STREET, SARREY				
SHEET CONTENTS: BUILDING ELEVATIONS BUILDING #5				

barnett dornber
ARCHITECTS INC.

UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1Y8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
ISO11	AC-3.05

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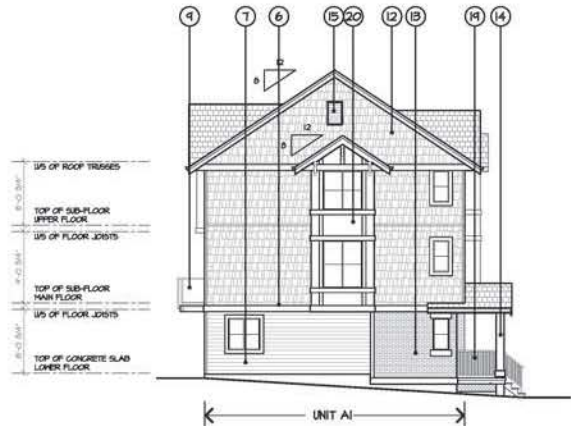
REV	DATE	BY	REASON FOR



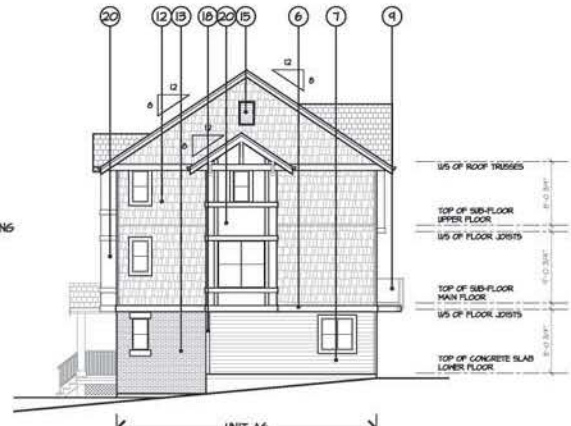
EAST ELEVATION
 SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- 1 HIGH PROFILE ASPHALT SHINGLE ROOFING
- 2 PREFINISHED ALUMINUM GUTTER ON 2 x 8 WOOD FASCIA
- 3 1 x 4 WOOD TRIM ON 2 x 10 WOOD FASCIA
- 4 KNEE BRACKET
- 5 VINYL FRAMED WINDOWS WITH 2X6 WOOD TRIM
- 6 2 x 10 WOOD TRIM
- 7 HORIZONTAL VINYL SIDING
- 8 2X8 WOOD TRIM
- 9 PREFINISHED ALUMINUM & TEMPERED GLASS RAILING
- 10 VINYL SHINGLE SIDING
- 11 VINYL CORNER TRIM
- 12 HARDIE SHINGLE SIDING
- 13 BRICK VENEERS
- 14 DECORATIVE WOOD COLUMN
- 15 DECORATIVE LOUVE
- 16 HARDIE PLANK SIDING
- 17 CONCRETE FRONT PORCH
- 18 2X6 WOOD TRIM
- 19 POWDER COATED ALUMINUM RAILING
- 20 HARDIE PANEL SIDING
- 21 EXTERIOR LIGHT



SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



WEST ELEVATION
 SCALE: 1/8" = 1'-0"

DESIGN: 1	NO.	DRAWN: 1	DATE: 1	SCALE: 1/8" = 1'-0"
CLIENT: PINEHALL HOLDINGS LTD.				
PROJECT: 6H-30 TOWNHOUSE DEVELOPMENT				
6173 144 STREET, SARREY				
SHEET CONTENTS: BUILDING ELEVATIONS				
BUILDING #6				

barnett danker
 ARCHITECTS INC.

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 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
ISO11	AC-3.06

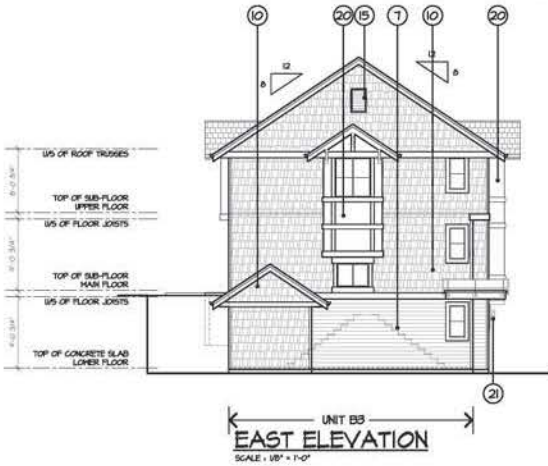


NORTH ELEVATION

SCALE: 1/8" = 1'-0"

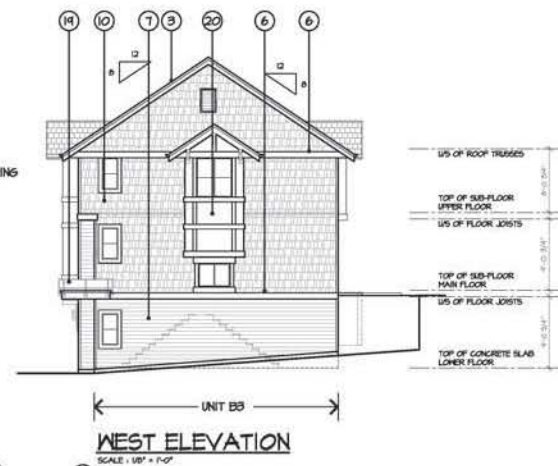
SCHEDULE OF FINISHES

- | | |
|--|----------------------------------|
| ① HIGH PROFILE ASPHALT SHINGLE ROOFING | ⑬ HARDIE PLANK SIDING |
| ② PREFINISHED ALUMINUM GUTTER ON 2 x 8 WOOD FASCIA | ⑭ CONCRETE FRONT PORCH |
| ③ 1 x 4 WOOD TRIM ON 2 x 10 WOOD FASCIA | ⑮ 2X6 WOOD TRIM |
| ④ KNEE BRACKET | ⑯ POWDER COATED ALUMINUM RAILING |
| ⑤ VINYL FRAMED WINDOWS C/M 2X6 WOOD TRIM | ⑰ HARDIE PANEL SIDING |
| ⑥ 2 x 10 WOOD TRIM | ⑱ EXTERIOR LIGHT |
| ⑦ HORIZONTAL VINYL SIDING | |
| ⑧ 2X6 WOOD TRIM | |
| ⑨ PREFINISHED ALUMINUM & TEMPERED GLASS RAILING | |
| ⑩ VINYL SHINGLE SIDING | |
| ⑪ VINYL CORNER TRIM | |
| ⑫ HARDIE SHINGLE SIDING | |
| ⑬ BRICK VENEERS | |
| ⑭ DECORATIVE WOOD COLUMN | |
| ⑮ DECORATIVE LOUVE | |



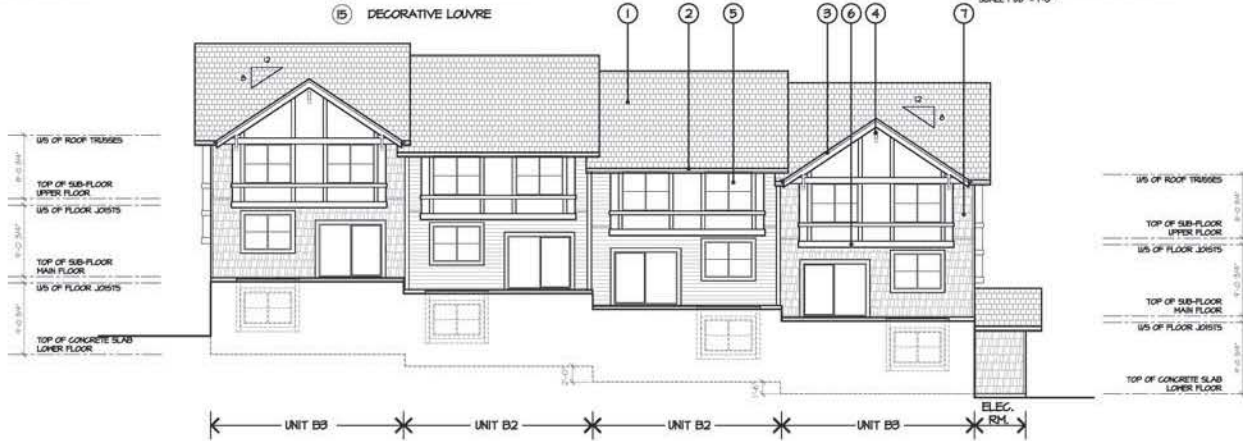
EAST ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

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REV.	DATE	BY	REASON



CS-ENL-12-Ang

DESIGN: 1	DRAWN: 1	DATE: 1	SCALE: 1/8" = 1'-0"
NO.		Jan 18	
CLIENT: PINEHALL HOLDINGS LTD.			
PROJECT: RM-30 TOWNHOUSE DEVELOPMENT			
6175 144 STREET, SARREY			
SHEET CONTENTS: BUILDING ELEVATIONS			
BUILDING #1			

barnett danker
ARCHITECTS INC.

UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

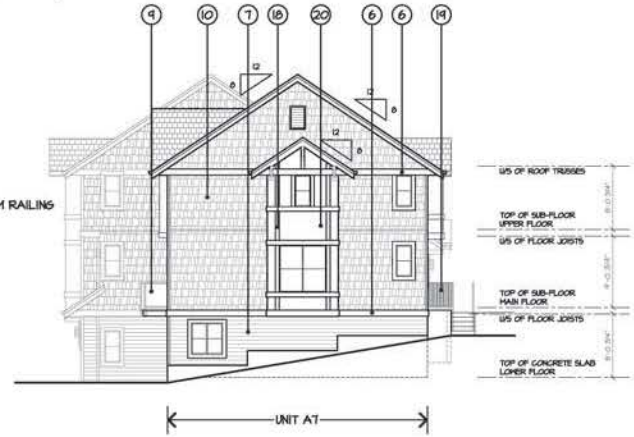
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@darkitex.com

CLIENT NO:	SHEET NO:
15011	AC-3.01
PROJECT NO:	REV. NO:



EAST ELEVATION

SCALE: 1/8" = 1'-0"

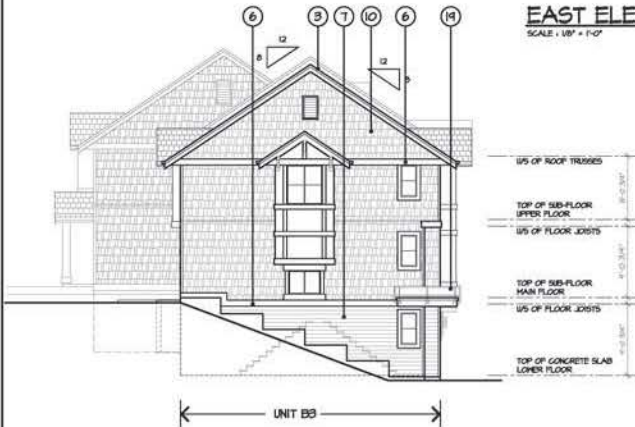


NORTH ELEVATION

SCALE: 1/8" = 1'-0"

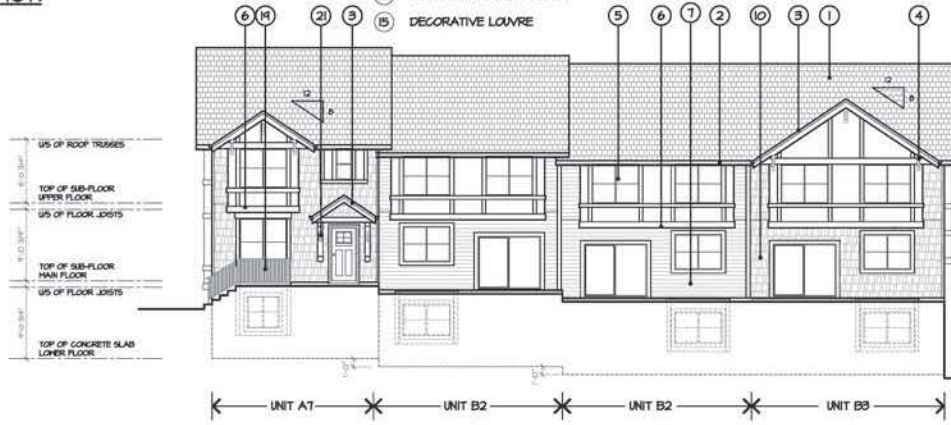
SCHEDULE OF FINISHES

- 1 HIGH PROFILE ASPHALT SHINGLE ROOFING
- 2 PREFINISHED ALUMINUM GUTTER ON 2 x 8 WOOD FASCIA
- 3 1 x 4 WOOD TRIM ON 2 x 10 WOOD FASCIA
- 4 KNEE BRACKET
- 5 VINYL FRAMED WINDOWS C/M 2X6 WOOD TRIM
- 6 2 x 10 WOOD TRIM
- 7 HORIZONTAL VINYL SIDING
- 8 2X6 WOOD TRIM
- 9 PREFINISHED ALUMINUM & TEMPERED GLASS RAILING
- 10 VINYL SHINGLE SIDING
- 11 VINYL CORNER TRIM
- 12 HARDIE SHINGLE SIDING
- 13 BRICK VENEERS
- 14 DECORATIVE WOOD COLUMN
- 15 DECORATIVE LOUVER
- 16 HARDIE PLANK SIDING
- 17 CONCRETE FRONT PORCH
- 18 2X6 WOOD TRIM
- 19 POWDER COATED ALUMINUM RAILING
- 20 HARDIE PANEL SIDING
- 21 EXTERIOR LIGHT



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

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REV	DATE	BY	CHKD



CS-PL-10-Ang

DESIGN: 1
NO. 1
DRAWN: 1
DATE: 1
JAN 18
SCALE: 1/8" = 1'-0"

CLIENT: PINEHALL HOLDINGS LTD.
PROJECT: RM-30 TOWNHOUSE DEVELOPMENT
6175 144 STREET, SARREY
SHEET CONTENTS: BUILDING ELEVATIONS
BUILDING #8

barnett dermack
ARCHITECTS INC.

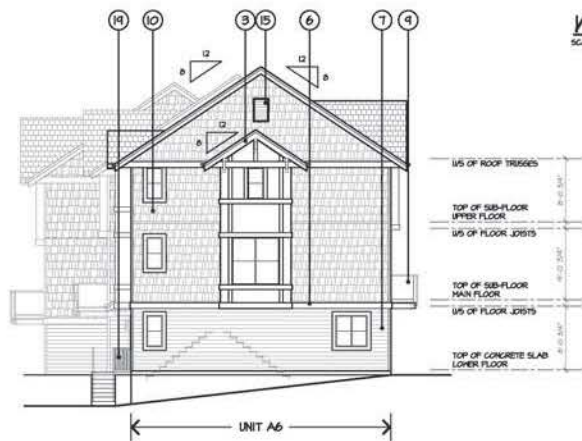
UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1Y8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-3.08
ISO11	REV. NO.



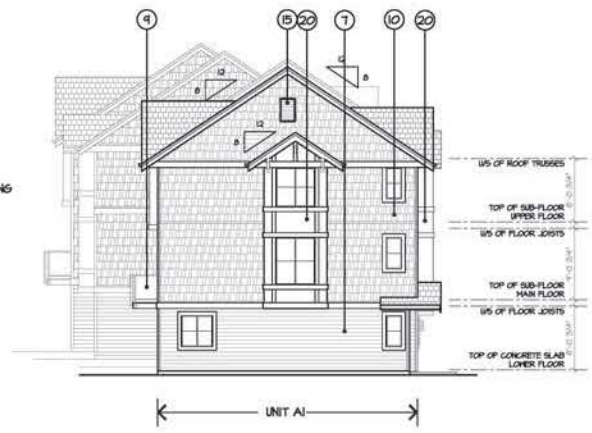
WEST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① HIGH PROFILE ASPHALT SHINGLE ROOFING
- ② PREFINISHED ALUMINUM GUTTER ON 2 x 8 WOOD FASCIA
- ③ 1 x 4 WOOD TRIM ON 2 x 10 WOOD FASCIA
- ④ KNEE BRACKET
- ⑤ VINYL FRAMED WINDOWS C/M 2X6 WOOD TRIM
- ⑥ 2 x 10 WOOD TRIM
- ⑦ HORIZONTAL VINYL SIDING
- ⑧ 2X8 WOOD TRIM
- ⑨ PREFINISHED ALUMINUM 4 TEMPERED GLASS RAILING
- ⑩ VINYL SHINGLE SIDING
- ⑪ VINYL CORNER TRIM
- ⑫ HARDIE SHINGLE SIDING
- ⑬ BRICK VENEERS
- ⑭ DECORATIVE WOOD COLUMN
- ⑮ DECORATIVE LOUVER
- ⑯ HARDIE PLANK SIDING
- ⑰ CONCRETE FRONT PORCH
- ⑱ 2X6 WOOD TRIM
- ⑲ POWDER COATED ALUMINUM RAILING
- ⑳ HARDIE PANEL SIDING
- ㉑ EXTERIOR LIGHT



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

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REV	DATE	BY	REASON

NO.	DATE	BY	DESCRIPTION

DESIGN: 1	NO.:	DRAWN: 1	SCALE: 1/8" = 1'-0"
DATE: 1	DATE: 1	DATE: 1	DATE: 1

CLIENT: PINEHALL HOLDINGS LTD.
PROJECT: 6H-30 TOWNHOUSE DEVELOPMENT
6175 144 STREET, SARREY
SHEET CONTENTS: BUILDING ELEVATIONS
BUILDING INT

barnett dermack
ARCHITECTS INC.

UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1Y8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
ISO11	AC-3.01

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 THEREOF INTO ANY MATERIAL FORM.
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NO.	DATE	BY	REVISION

--

DR: PCL/PC/Ag

DESIGN :
 H.O. _____
 DRAWN :
 DATE : _____
 SCALE : 1/8" = 1'-0"

CLIENT : PARKHILL HOLDINGS LTD.
 PROJECT : PH-30 TOWNHOUSE DEVELOPMENT
 6179 144 STREET, SURREY
 SHEET CONTENTS : BUILDING ELEVATIONS
 BUILDING #10

barnett dembek
 ARCHITECTS INC.

UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8

PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mol@bdarkitex.com

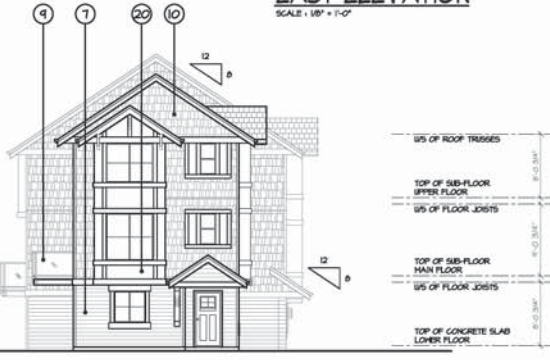
CLIENT NO. _____	SHEET NO. _____
PROJECT NO. _____	REV. NO. _____
15011	



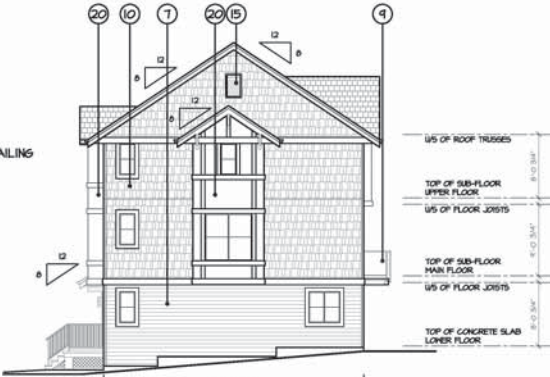
EAST ELEVATION
 SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- | | |
|--|-----------------------------------|
| 1 HIGH PROFILE ASPHALT SHINGLE ROOFING | 16 HARDIE PLANK SIDING |
| 2 PREFINISHED ALUMINUM GUTTER ON 2 x 8 WOOD FASCIA | 17 CONCRETE FRONT PORCH |
| 3 1 x 4 WOOD TRIM ON 2 x 10 WOOD FASCIA | 18 2X6 WOOD TRIM |
| 4 KNEE BRACKET | 19 POWDER COATED ALUMINUM RAILING |
| 5 VINYL FRAMED WINDOWS G/M 2X6 WOOD TRIM | 20 HARDIE PANEL SIDING |
| 6 2 x 10 WOOD TRIM | 21 EXTERIOR LIGHT |
| 7 HORIZONTAL VINYL SIDING | |
| 8 2X6 WOOD TRIM | |
| 9 PREFINISHED ALUMINUM & TEMPERED GLASS RAILING | |
| 10 VINYL SHINGLE SIDING | |
| 11 VINYL CORNER TRIM | |
| 12 HARDIE SHINGLE SIDING | |
| 13 BRICK VENEERS | |
| 14 DECORATIVE WOOD COLUMN | |
| 15 DECORATIVE LOUVE | |



SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



WEST ELEVATION
 SCALE: 1/8" = 1'-0"

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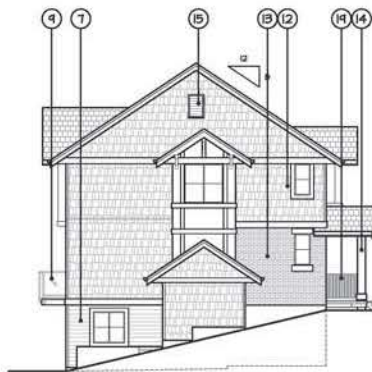


SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

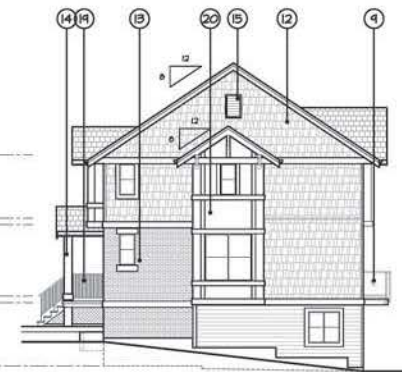
SCHEDULE OF FINISHES

- | | |
|--|-----------------------------------|
| 1 HIGH PROFILE ASPHALT SHINGLE ROOFING | 16 HARDIE PLANK SIDING |
| 2 PREFINISHED ALUMINUM GUTTER ON 2 x 8 WOOD FASCIA | 17 CONCRETE FRONT PORCH |
| 3 1 x 4 WOOD TRIM ON 2 x 10 WOOD FASCIA | 18 2X6 WOOD TRIM |
| 4 KNEE BRACKET | 19 POWDER COATED ALUMINUM RAILING |
| 5 VINYL FRAMED WINDOWS WITH 2X6 WOOD TRIM | 20 HARDIE PANEL SIDING |
| 6 2 x 10 WOOD TRIM | 21 EXTERIOR LIGHT |
| 7 HORIZONTAL VINYL SIDING | |
| 8 2X6 WOOD TRIM | |
| 9 PREFINISHED ALUMINUM & TEMPERED GLASS RAILING | |
| 10 VINYL SHINGLE SIDING | |
| 11 VINYL CORNER TRIM | |
| 12 HARDIE SHINGLE SIDING | |
| 13 BRICK VENEERS | |
| 14 DECORATIVE WOOD COLUMN | |
| 15 DECORATIVE LOUVRE | |



WEST ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

REV	DATE	BY	REASON

CS-PKL-25-03g

CLIENT: PINEHALL HOLDINGS LTD.	DESIGN: 1
PROJECT: RH-30 TOWNHOUSE DEVELOPMENT	DRAWN: 1
6173 144 STREET, SARREY	DATE: 1
SHEET CONTENTS: BUILDING ELEVATIONS	DATE: 1
BUILDING #11	SCALE: 1/8" = 1'-0"

barnett denbok
ARCHITECTS INC.

UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1Y8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-3-11
ISO11	REV. NO.

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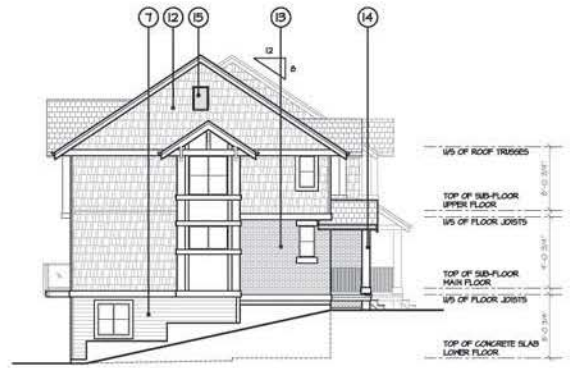
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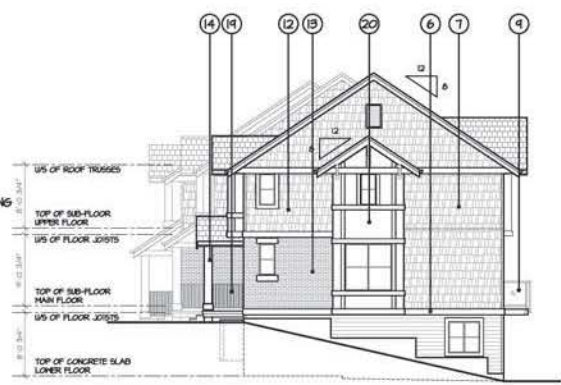
SOUTH-WEST ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① HIGH PROFILE ASPHALT SHINGLE ROOFING
- ② PREFINISHED ALUMINUM GUTTER ON 2 x 8 WOOD FASCIA
- ③ 1 x 4 WOOD TRIM ON 2 x 10 WOOD FASCIA
- ④ KNEE BRACKET
- ⑤ VINYL FRAMED WINDOWS C/M 2X6 WOOD TRIM
- ⑥ 2 x 10 WOOD TRIM
- ⑦ HORIZONTAL VINYL SIDING
- ⑧ 2X6 WOOD TRIM
- ⑨ PREFINISHED ALUMINUM & TEMPERED GLASS RAILING
- ⑩ VINYL SHINGLE SIDING
- ⑪ VINYL CORNER TRIM
- ⑫ HARDIE SHINGLE SIDING
- ⑬ BRICK VENEERS
- ⑭ DECORATIVE WOOD COLUMN
- ⑮ DECORATIVE LOUVER
- ⑯ HARDIE PLANK SIDING
- ⑰ CONCRETE FRONT PORCH
- ⑱ 2X6 WOOD TRIM
- ⑲ POWDER COATED ALUMINUM RAILING
- ⑳ HARDIE PANEL SIDING
- ㉑ EXTERIOR LIGHT



NORTH-WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH-EAST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH-EAST ELEVATION
SCALE: 1/8" = 1'-0"

CS-ENL-12-A.dwg

DESIGN: H.C.
DRAWN: I.
DATE: 1 June 18
SCALE: 1/8" = 1'-0"

CLIENT: PINEHALL HOLDINGS LTD.
PROJECT: 6H-30 TOWNHOUSE DEVELOPMENT
6179 144 STREET, SARREY
SHEET CONTENTS: BUILDING ELEVATIONS BUILDING #12

barnett dermack
ARCHITECTS INC.

UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1Y8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-312
ISO#	REV. NO.

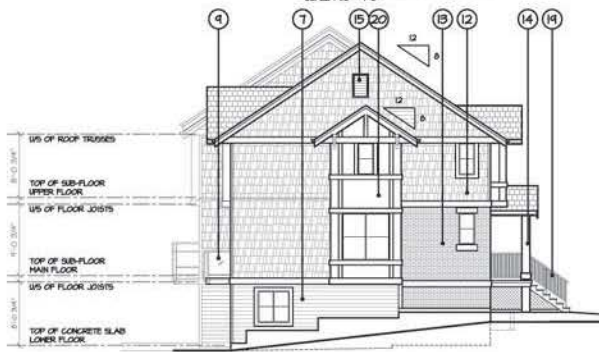


WEST ELEVATION

SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- | | |
|--|-----------------------------------|
| 1 HIGH PROFILE ASPHALT SHINGLE ROOFING | 16 HARDIE PLANK SIDING |
| 2 PREFINISHED ALUMINUM GUTTER ON 2 x 8 WOOD FASCIA | 17 CONCRETE FRONT PORCH |
| 3 1 x 4 WOOD TRIM ON 2 x 10 WOOD FASCIA | 18 2X6 WOOD TRIM |
| 4 KNEE BRACKET | 19 POWDER COATED ALUMINUM RAILING |
| 5 VINYL FRAMED WINDOWS C/M 2X6 WOOD TRIM | 20 HARDIE PANEL SIDING |
| 6 2 x 10 WOOD TRIM | 21 EXTERIOR LIGHT |
| 7 HORIZONTAL VINYL SIDING | |
| 8 2X8 WOOD TRIM | |
| 9 PREFINISHED ALUMINUM & TEMPERED GLASS RAILING | |
| 10 VINYL SHINGLE SIDING | |
| 11 VINYL CORNER TRIM | |
| 12 HARDIE SHINGLE SIDING | |
| 13 BRICK VENEERS | |
| 14 DECORATIVE WOOD COLUMN | |
| 15 DECORATIVE LAURE | |



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

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REV. NO.	DATE	BY	REASON



DESIGN: 1
NO. 1
DRAWN: 1
DATE: 1
June 18
SCALE: 1/8" = 1'-0"

CLIENT: PINEHALL HOLDINGS LTD.
PROJECT: RH-30 TOWNHOUSE DEVELOPMENT
6173 144 STREET, SARREY
SHEET CONTENTS: BUILDING ELEVATIONS
BUILDING #15

barnett dermack
ARCHITECTS INC.

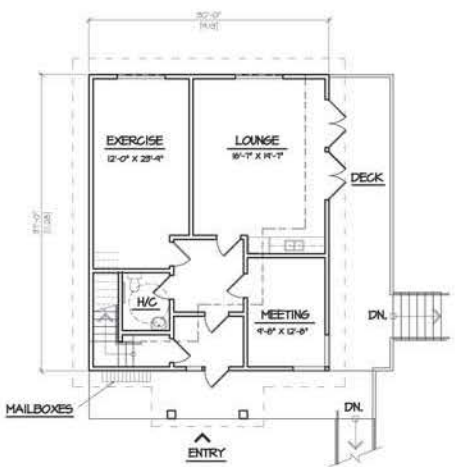
UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1Y8

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EMAIL: mail@darkitex.com

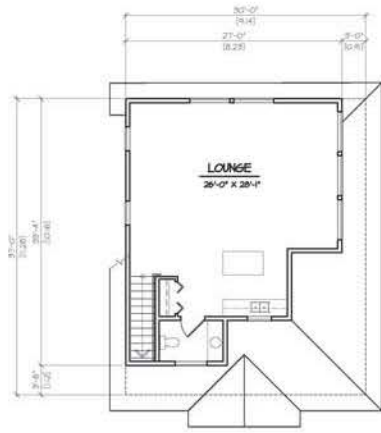
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
ISO11	AC-313

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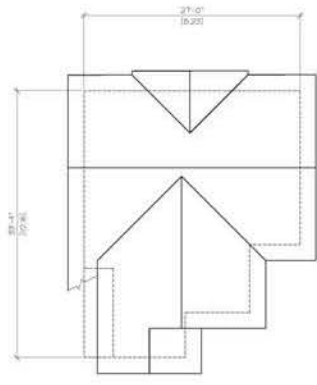
REV#	DATE	BY	CHKD



LOWER FLOOR PLAN
SCALE: 1/8" = 1'-0"
1,110.00 S.F.



MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"
766 S.F.



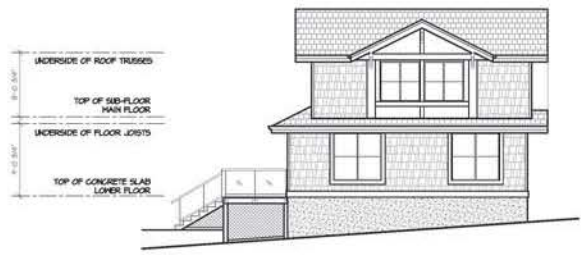
ROOF PLAN
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

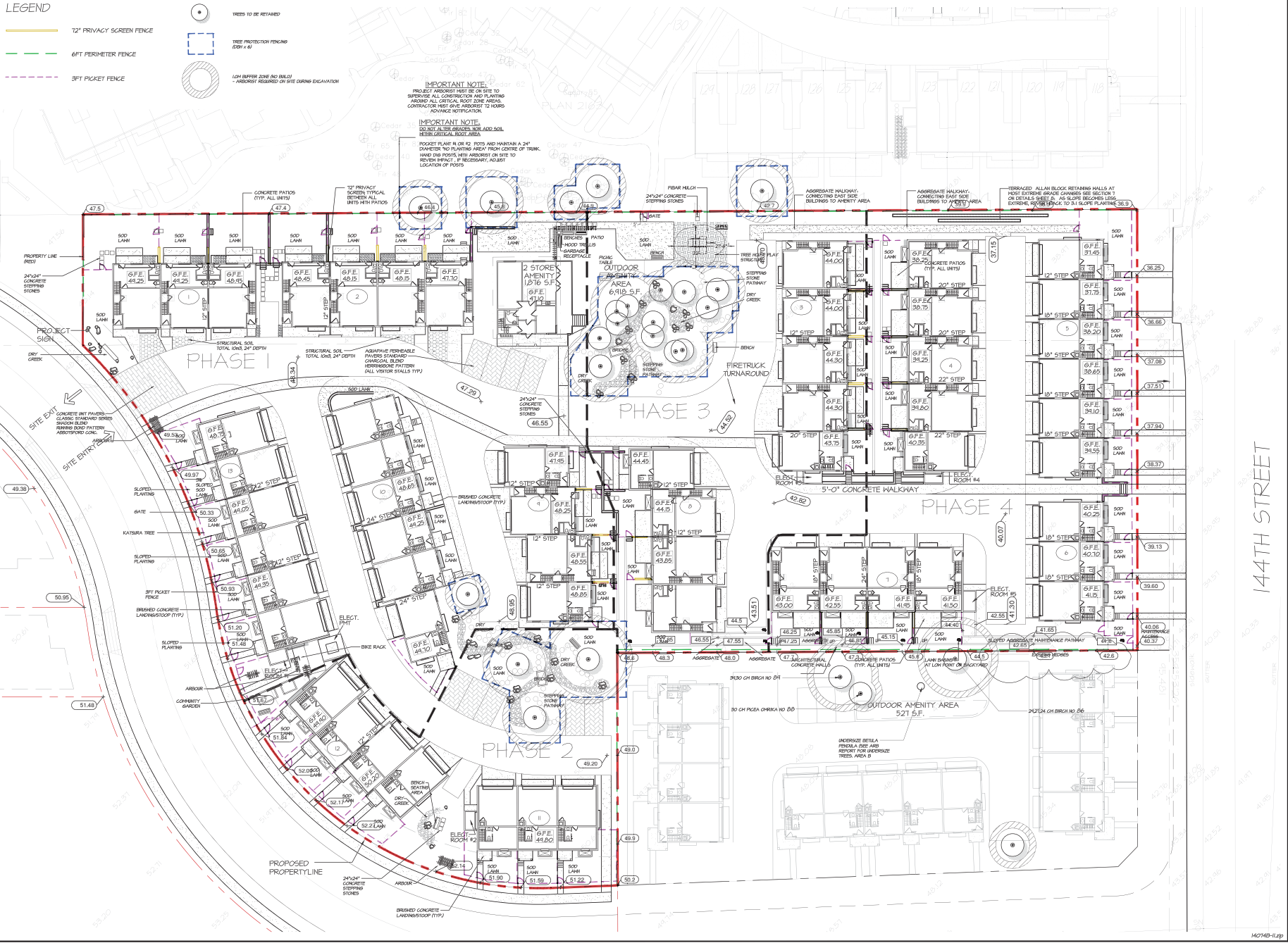
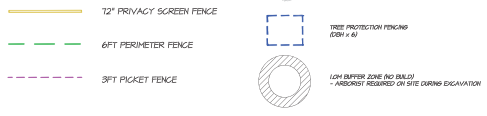
Client: FIREWALL HOLDINGS LTD.
Project: RM-30 TOWNHOUSE DEVELOPMENT
6175 144 STREET, SURREY
SHEET CONTENTS: AMENITY FLOOR PLANS & ELEVATIONS

DESIGN: HCL
DRAWN: [blank]
DATE: JUN 14 16
SCALE: 1/8" = 1'-0"

barnett dembek
ARCHITECTS INC.
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7836 130 STREET,
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V3W 1H8
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mol@darkitex.com

CLIENT NO. SHEET NO.
PROJECT NO. AC-4.4
REV. NO. 15011

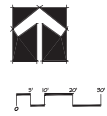
LEGEND



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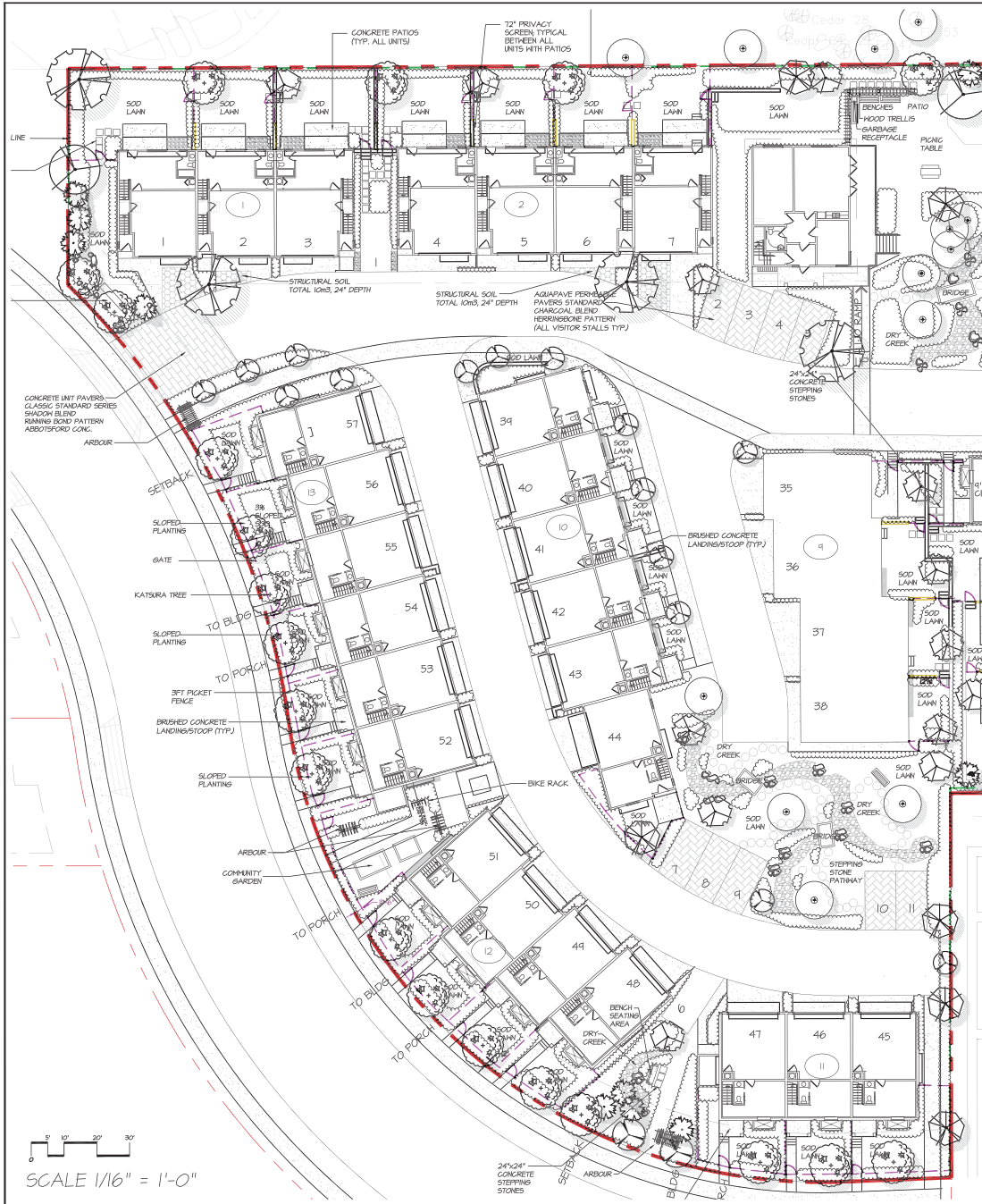
NO.	DATE	REVISION DESCRIPTION	DR.
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4	16 FEB 12	REVISED AS PER CITY COMMENTS	PHY
3	16 JAN 10	PER ARCH CHANGES FOR DP, S&B	TK
2	16 JAN 10	REVISED AS PER MEH SITE PLAN	PHY
1	16 FEB 11	PRELIMINARY DESIGN	AG

NO.	DATE	REVISION DESCRIPTION	DR.

PROJECT: **TOWNHOUSE DEVELOPMENT**
6173 144 ST, SURREY, BC

DRAWING TITLE: **LANDSCAPE SITE PLAN**

DATE: 16 FEB 12	DRAWING NUMBER:
SCALE: 1:250	L1
DRAWN: AG	
DESIGN: SMC	
CHK'D: MM	OF 10

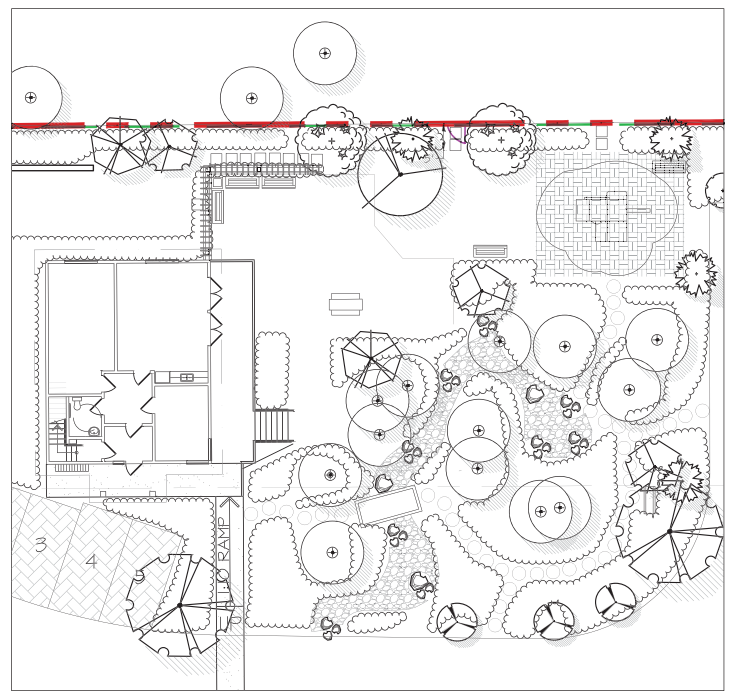


TREE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	M2 JOB NUMBER: 14-074	PLANTED SIZE / REMARKS
TREE	18	ACER CAMPESTRE	HEDGE MAPLE		12M HT, B4B/MULTI-STEM
	20	ACER PALMATUM 'BLOODGOOD'	JAPANESE MAPLE		2.5M HT, B4B, UPRIGHT FORM
	21	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE		6CM CAL, 1.5M STD, B4B
	5	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD		4CM CAL, B4B
	5	CORNUS EDDIE'S 'WHITE WONDER'	WHITE WONDER DOGWOOD		5CM CAL, STD FORM, B4B
	2	MAGNOLIA 'ISA-LAY'	MAGNOLIA		1.5M HT, B4B STD
	14	PIGEA OYORIKIA PENDULA BRUNS	WEeping SERBIAN SPRUCE		2.5M HT, B4B
	2	POPULUS TREMILOIDES ERECTA	COLUMNAR SWEDISH ASPEN		5CM CAL, 2M STD, B4B
	25	PRINUS SERULATA 'AMANOGAWA'	AMANOGAWA CHERRY		6CM CAL, 1.5M STD, B4B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND SEVERAL MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

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SCALE 3/32" = 1'-0"

SCALE 1/16" = 1'-0"

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NO.	DATE	REVISION DESCRIPTION	DR.
5	16 SEP 12	GRADES/SECTION PER CITY COM.	TK
4	16 SEP 12	REVISED AS PER CITY COMMENTS	PHY
3	16 JUN 12	PER ARCH CHANGES FOR D.P. S&B	TK
2	16 JUN 12	REVISED AS PER MEH SITE PLAN	PHY
1	16 FEB 12	PRELIMINARY DESIGN	AG

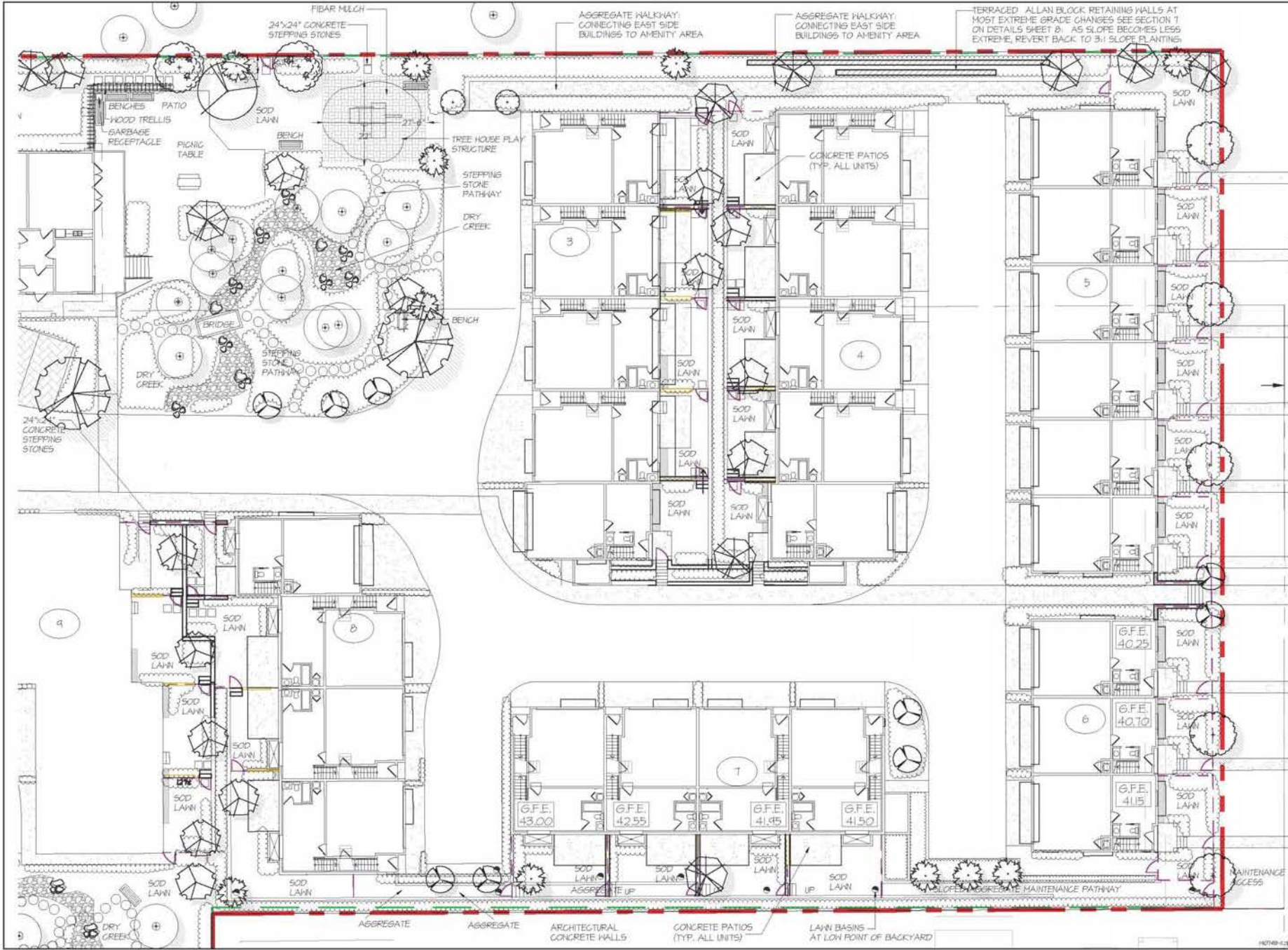
NO. DATE REVISION DESCRIPTION DR.

SEAL:

PROJECT:
TOWNHOUSE DEVELOPMENT
6173 144 ST, SURREY, BC

DRAWING TITLE:
TREE PLAN PHASE 1 & 2

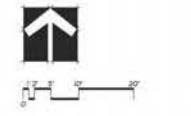
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DRAWN: AG	
DESIGN: SMC	
CHK'D: MM	OF 10



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1	08/02/21	BRACKENHURST PER CITY COM	PL
2	08/02/21	REVISED AS PER CITY COMMENTS	PLM
3	08/02/21	PER LANDS COUNCIL FOR CPD SUB	TE
4	08/02/21	REVISED AS PER NEW SITE PLAN	PLM
5	08/02/21	PRELIMINARY DESIGN	AM

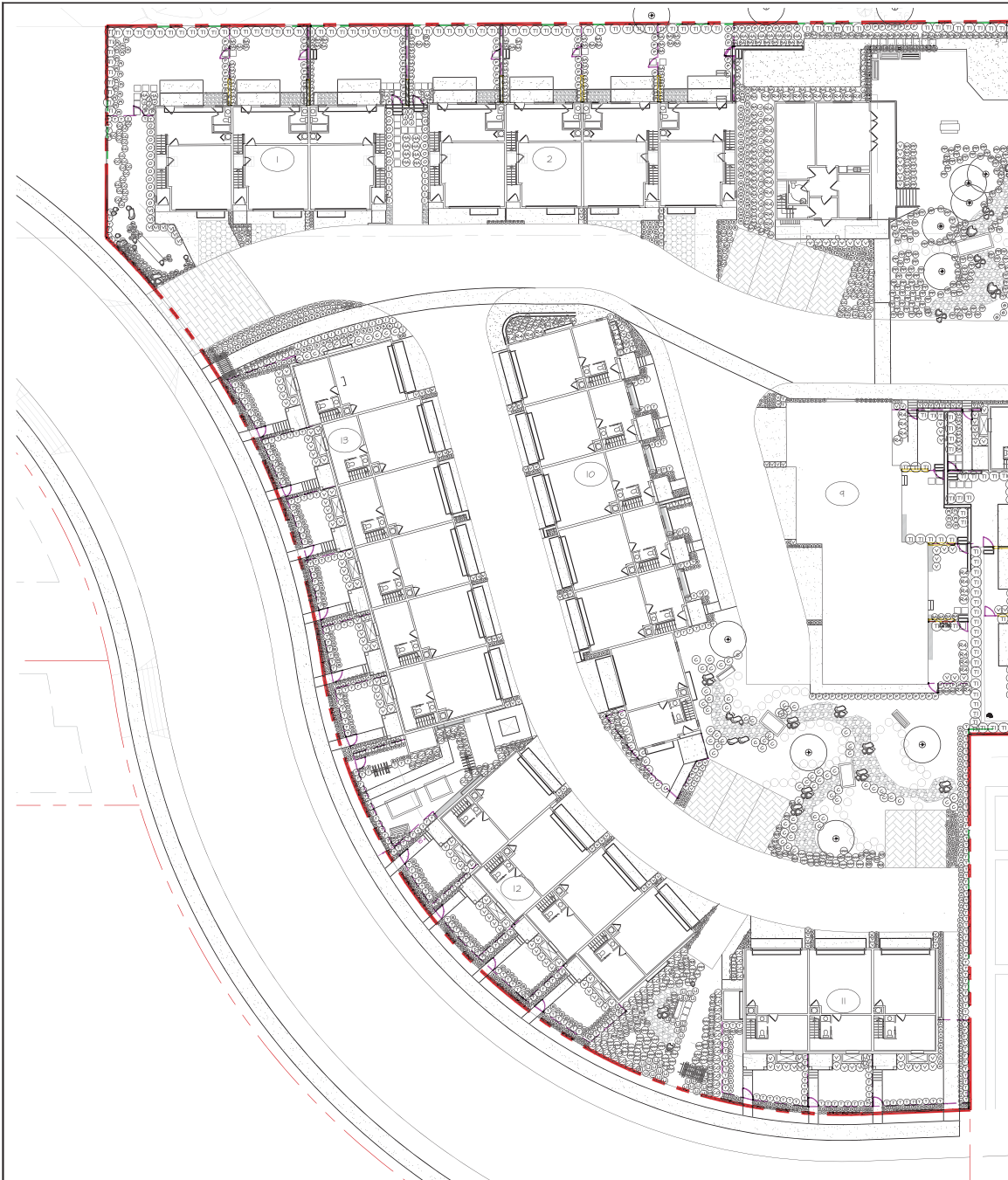
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SEAL:

PROJECT:
TOWNHOUSE DEVELOPMENT
 6173 144 ST, SURREY, BC

DRAWING TITLE:
TREE PLAN PHASE 3 & 4

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DRAWN:	AM		
DESIGN:	SH		
CHK'D:	SH		OF 10
MZLA PROJECT NUMBER:			14074



PLANT SCHEDULE

KEY QTY	BOTANICAL NAME	COMMON NAME	M2 JOB NUMBER: 14-074
			PLANTED SIZE / REMARKS
SHRUB			
143	ABELIA GRANDIFLORA	ELCOEY ABELIA	#3 POT, 50CM
161	BOMIS MICROPHILIA WINTER GEM	LITTLE-LEAF BOX	#2 POT
183	BOMIS SEPIKORIBENS	COMMON BOMBOOD	#2 POT, 25CM
300	BURNING ALATA	BURNING BUSH	#2 POT
23	HYDRANGEA PANICULATA PRICY KINCY	PRICY KINCY HYDRANGEA	#2 POT
26	LEI CRATAEVA 'GOLDEN GEM'	JAPANESE HELLY	#2 POT, 50CM
40	LONGICSA NYTDA LEKON BEAUTY	HONEYBUCKLE LEKON BEAUTY	#1 POT
29	OSMANTHUS DELAVAY	FALSE HELLY	#2 POT
302	PRINUS LUTYRANCA	PORTUGUESE LAUREL	#3 POT
11	RHOCHODENDRON 'CREST'	RHOCHODENDRON 'YELLOWHAY'	#3 POT
294	SARGOLLOCA HOKORIBAN VAR. RHULIS	HIMALAYAN SHEET BOX	#2 POT
31	SPRAEA X BIMALDA 'GOLDFLAHE'	GOLDFLAHE SPIREA	#2 POT
317	TAMIS X MEDIA 'IGRSIF'	HIGGS YEM	125M I&B
240	TALIA GIGERENTIS 'SHARANG'	EMERALD GREEN CEDAR	125 M I&B
235	VIORNIK DAVIDII	DAVID'S VIORNIK	#2 POT
44	VIORNIK TRIS 'SHELLLIFT'	SHELLLIFT SPRING BLOSSOM	#2 POT
GRASS			
13	GALAMAGROSIS AGUILIFLORA 'KARL FOERSTER'	FOERSTER REED GRASS	#1 POT
14	CAREX HORROCKII 'GOLD BAND'	GOLDEN BAND JAPANESE SEDGE	#1 POT
154	FENNESETH ALPESICOIDES 'HAHELIN'	EMERALD FOUNTAIN GRASS	#1 POT
45	FENNESETH ALPESICOIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	#1 POT
VINE			
5	CLEMATIS ARKANDII	EVERGREEN CLEMATIS	#1 POT STAKED
PERENNIAL			
150	ANDROMEDA 'YVONNE JOSEPH' WHITE	ANDROMEDA WHITE	#1 POT
25	LAVENDULA ANGUSTIFOLIA 'HINSTEAD'	ENGLISH LAVENDER	#1 POT
160	RUBRIFLOA PALUDA VAR SULLIVANTII 'GOLDFLOCKS'	RUBRIFLOA	#1 POT
36	RUBRIFLOA PALUDA VAR SULLIVANTII 'GOLDFLOCKS'	RUBRIFLOA	#1 POT
GROUNDCOVER			
124	ARCOSTOYFANILIOS IWA-URSI 'YANGKUMER JADE'	YANGKUMER	#1 POT, 20CM
122	ERICA CARNEA 'NOVILLI'	HEATH BERRY RED POLIAGE	#1 POT
6	BURNING JAPONICA 'EMERALD GAZETT'	BURNING SILVER VARIEGATED	#1 POT, 25CM
205	BURNING JAPONICA 'PALOMA BLANCA'	BURNING WHITE VARIEGATED	#1 POT
171	GAULTHERIA PROCEMBENS	HINTERSGREEN	#1 POT, 20CM
305	FACHTSANDRA TERMINALIS GREEN SHEEN	JAPANESE SPURGE	#1 POT
25	POLYSTICHUM SETIFERUM	ALASKAN FERN	#1 POT

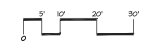
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NO.	DATE	REVISION DESCRIPTION	DR.
5	16 SEP 12	GRADES/SECTION PER CITY COM.	TK
4	16 SEP 12	REVISED AS PER CITY COMMENTS	PHY
3	16 JUL 12	FOR ARCH GRASSES FOR D.P. SUB	TK
2	16 JUNE	REVISED AS PER MEH SITE PLAN	PHY
1	16 FEB 11	PRELIMINARY DESIGN	AG

PROJECT:
TOWNHOUSE DEVELOPMENT
6173 144 ST, SURREY, BC

DRAWING TITLE:
SHRUB PLAN PHASE 1 & 2

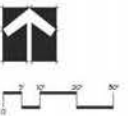
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SCALE: 1/8" = 1'-0"
DRAWN: AG
DESIGN: SHC
CHK'D: JHM OF 10



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1	08/02/11	BRACKENRICH TOWN PER CITY COM	PL
2	08/02/11	REVISED AS PER CITY COMMENTS	PLM
3	08/02/11	PER ARCH CONSULT FOR CP, S&B	TE
4	08/02/11	REVISED AS PER NEW SITE PLAN	PLM
5	08/02/11	PRELIMINARY DETAILS	AM

NO. DATE REVISION DESCRIPTION DR.

SEAL:

PROJECT:
TOWNHOUSE DEVELOPMENT
 6173 144 ST, SURREY, BC

DRAWING TITLE:
SHRUB PLAN PHASE 3 & 4

DATE:	08/27/11	DRAWING NUMBER:	
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MZLA PROJECT NUMBER:	14074		

L5

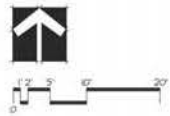
OF 10

14074

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1	PRELIMINARY	PRELIMINARY DESIGN	PRELIMINARY
2	REVISION	REVISION	REVISION
3	REVISION	REVISION	REVISION
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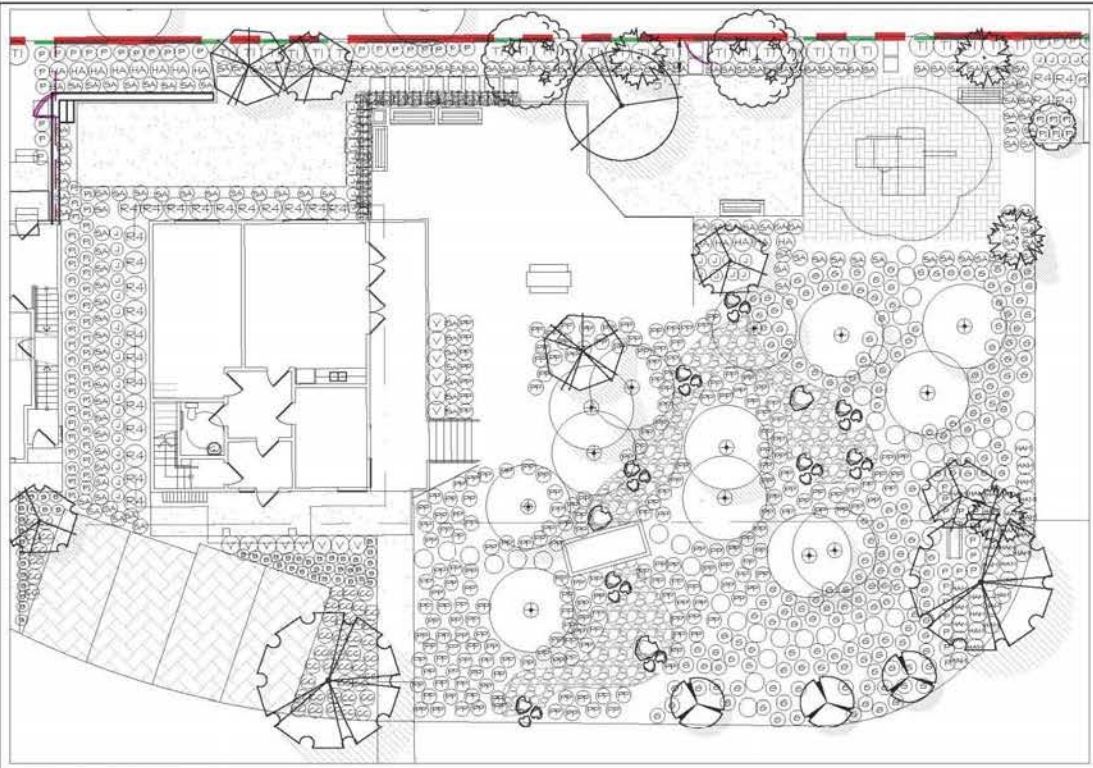
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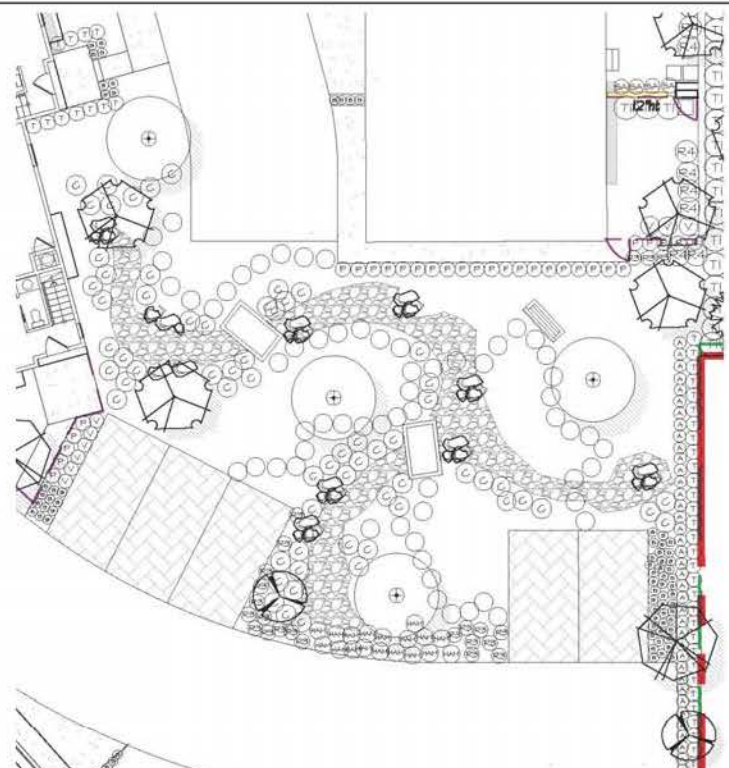
PROJECT:
TOWNHOUSE DEVELOPMENT
 6173 144 ST, SURREY, BC

DRAWING TITLE:
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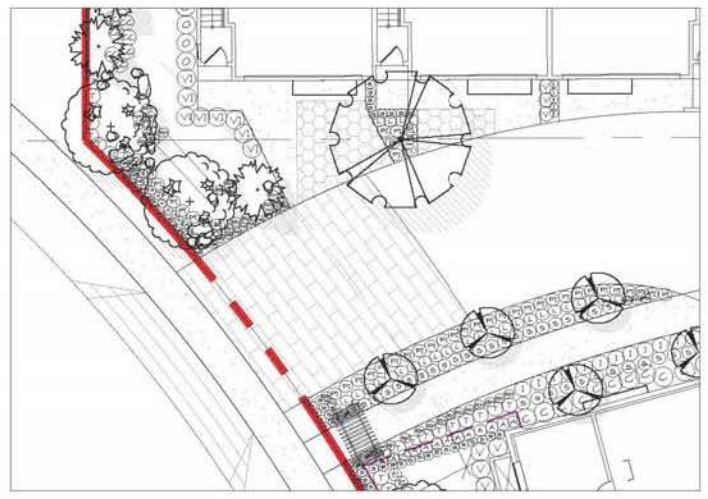
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M2LA PROJECT NUMBER: 14074	OF 10



AMENITY AREA

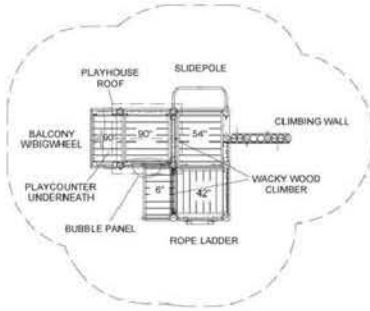


SOUTH AMENITY AREA/PARK



DRIVEWAY ENTRANCE

14074-04



BigToys HAWTHORN TREEHOUSE BT-802/MBT-802
AGES 5-12 YRS
27'6" X 22'0" (FALL HEIGHT 7'6")



PARKER BENCH MODEL NO:
WISHBONE INDUSTRIES



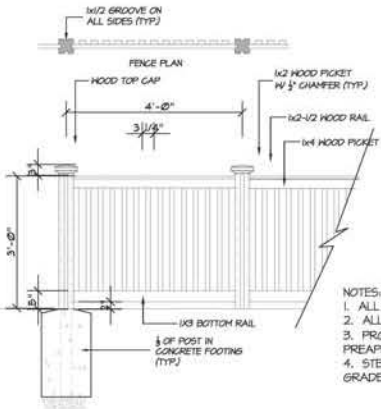
PARKER PICNIC BENCH MODEL NO:
WISHBONE INDUSTRIES



DRY STREAM BED

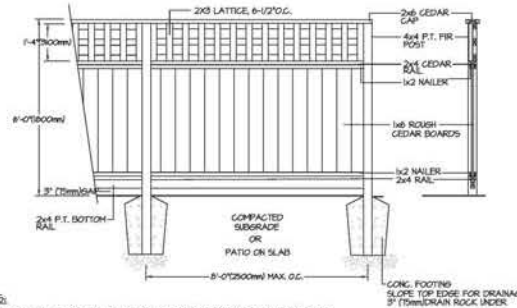


URBAN PEEK-A-PLACE 21.5 DIAM.
WASTE RECEPTACLE WITH MOLDED
PLASTIC LID WISHBONE INDUSTRIES



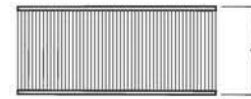
- NOTES:
1. ALL WOOD P.T. HEMFIR
 2. ALL WOOD SHALL BE PAINTED BLACK
 3. PROVIDE SAMPLE TO OWNER FOR PRE-APPROVAL PRIOR TO APPLICATION
 4. STEP FENCE IN EQUAL SEGMENTS TO FOLLOW GRADE AT STREET.

1 3' HT. PICKET FENCE (GATE TO MATCH)
SCALE: 1/2" = 1'-0"

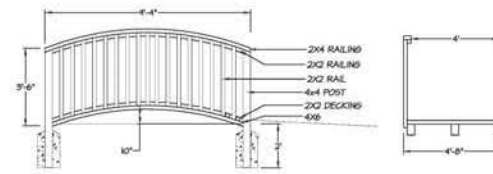


- NOTES:
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 2. ALL OTHER MEMBERS TO BE CEDAR. #2 (CONSTRUCTION) GRADE MINIMUM.
 3. ALL HARDWARE HOT DIPPED GALVANIZED.
 4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
 5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6".

2 6' (1.8m) HT. SOLID FENCE WITH LATTICE
SCALE: 1/2" = 1'-0"



- NOTES FOR CONSTRUCTION WITHIN
TRUCK PROTECTION AREA:
- BRIDGE TO BE DESIGN-BUILD
 - ARCHITECT MUST BE ON SITE TO SUPERVISE ALL CONSTRUCTION TYPE
 - ALL HOLES TO BE HAND DUG.
 - IF ROOTS > 2" APPEAR, RELOCATE FOOTING



3 WOOD BRIDGE
SCALE: 3/8" = 1'-0"

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NO.	DATE	REVISION DESCRIPTION	DR.
8	10/20/21	BRIDGE SECTION PER CITY COM.	TC
4	10/20/21	REVISED AS PER CITY COMMENTS	PHF
3	10/20/21	POST AND CHAIN FOR CITY, SEE TC	TC
2	10/20/21	REVISED AS PER MEH SITE PLAN	PHF
1	10/20/21	PRELIMINARY DESIGN	AS

NO. DATE REVISION DESCRIPTION DR.

SEAL:

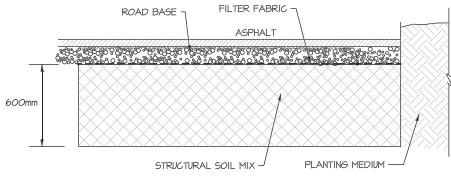
PROJECT:
**TOWNHOUSE
DEVELOPMENT**
6173 144 ST, SURREY, BC

DRAWING TITLE:
**LANDSCAPE
DETAILS**

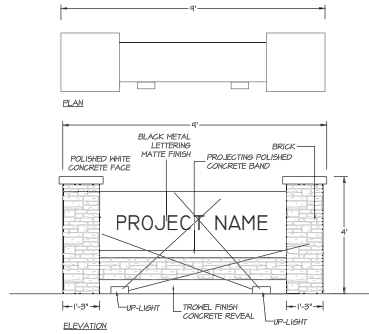
DATE:	10/20/21	DRAWING NUMBER:	
SCALE:	AS SHOWN		
DRAWN:	AS		
DESIGN:	SHC		
CHK'D:	PHF		

L7

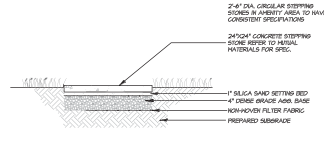
M2LA PROJECT NUMBER: 14074



NOTES:
 VERIFY LOCATION OF ANY UNDERGROUND SERVICES OR OBSTRUCTIONS PRIOR TO CONSTRUCTION.
 DIMENSIONS AND LAYOUT AS PER LANDSCAPE PLAN



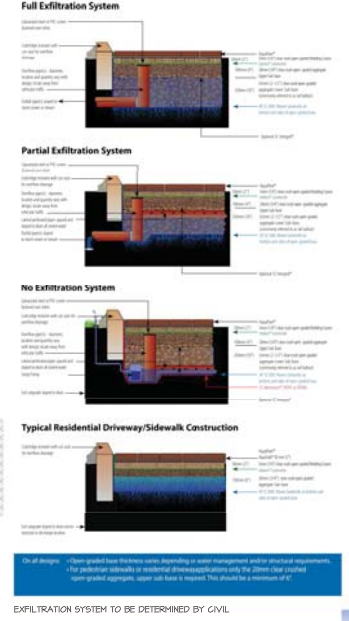
2 PROJECT SIGNAGE
 SCALE: 1/2" = 1'-0"



3 STEPPING STONES
 SCALE: 3/4" = 1'-0"

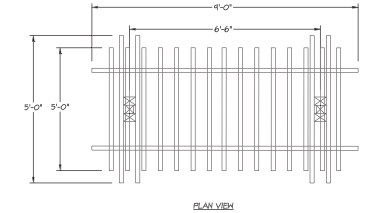
1 SECTION THROUGH STRUCTURAL SOIL
 SCALE: N.T.S.

Typical Systems and Exfiltration Options (Modify to site conditions)

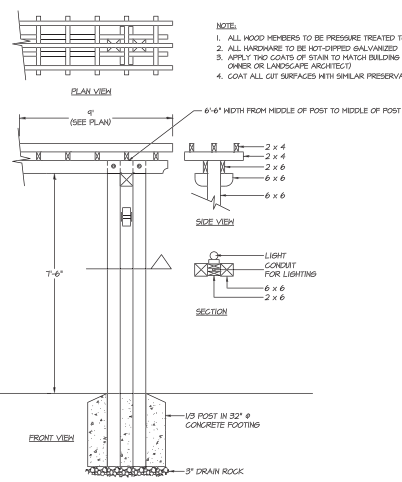


EXFILTRATION SYSTEM TO BE DETERMINED BY CIVIL

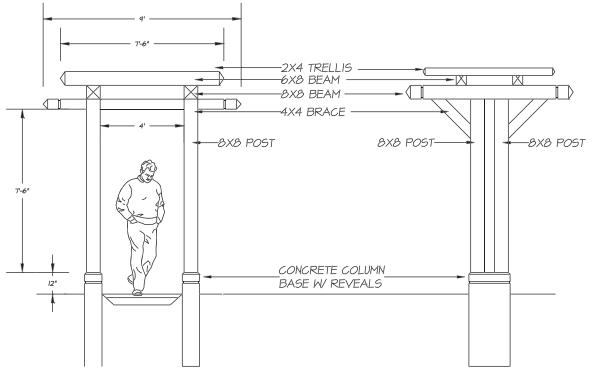
4 AQUAPAVE PERMEABLE PAVERS
 SCALE: N.T.S.



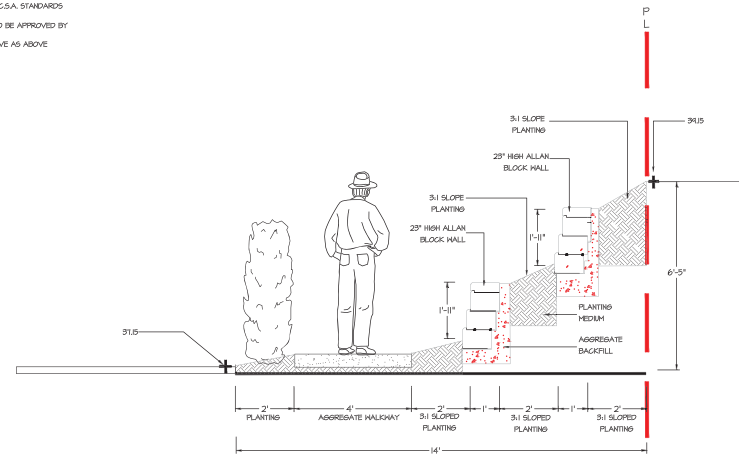
- NOTE:
1. ALL HOOD MEMBERS TO BE PRESSURE TREATED TO C.S.A. STANDARDS
 2. ALL HARDWARE TO BE HOT-DIPPED GALVANIZED
 3. APPLY TWO COATS OF STAIN TO MATCH BUILDING (TO BE APPROVED BY OWNER OR LANDSCAPE ARCHITECT)
 4. COAT ALL CUT SURFACES WITH SIMILAR PRESERVATIVE AS ABOVE



6 WOOD ARBOUR
 SCALE: 1/2" = 1'-0"



5 WOOD TRELLIS @ OUTDOOR AMENITY AREA
 SCALE: 3/8" = 1'-0"



7 TERRACED ALLAN BLOCK RETAINING WALLS
 SCALE: 1/2" = 1'-0"
 NORTHERN PL

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NO.	DATE	REVISION DESCRIPTION	DR.
5	16/SEP/22	GRADES/SECTION PER CITY COM.	TK
4	16/SEP/22	REVISED AS PER CITY COMMENTS	PHY
3	16/JUL/22	PER ARCH CHANGES FOR D.P. SUB	TK
2	16/JAN/22	REVISED AS PER MEM SITE PLAN	PHY
1	16/FEB/21	PRELIMINARY DESIGN	AG

PROJECT:
TOWNHOUSE DEVELOPMENT
 6173 144 ST, SURREY, BC

DRAWING TITLE:
LANDSCAPE DETAILS

DATE: 16/FEB/22 DRAWING NUMBER:
 SCALE: AS SHOWN
 DRAWN: AG
 DESIGN: SMC
 CHK'D: JKM
 M2LA PROJECT NUMBER: 14074

L8

OF 10

14074B-41.dwg

PART ONE GENERAL REQUIREMENTS

- 1.0 INTENT
1.1 General
1.2 Compliance
1.3 Accessibility
1.4 Maintenance
1.5 Safety

2.0 MATERIALS

- 2.1 General
2.2 Soil
2.3 Plants
2.4 Hardscape
2.5 Lighting
2.6 Furniture
2.7 Water

3.0 INSTALLATION

- 3.1 General
3.2 Site Preparation
3.3 Planting
3.4 Hardscape
3.5 Lighting
3.6 Furniture
3.7 Water

4.0 MAINTENANCE

- 4.1 General
4.2 Plants
4.3 Hardscape
4.4 Lighting
4.5 Furniture
4.6 Water

PART TWO SCOPE OF WORK

- 2.01 SITE WORK
2.02 UTILITIES
2.03 EXISTING CONDITIONS

Table with 4 columns: Item, Description, Quantity, Unit. Includes items like 'Site Preparation', 'Planting', 'Hardscape', etc.

2.04 MATERIALS

- 2.04.1 General
2.04.2 Soil
2.04.3 Plants
2.04.4 Hardscape
2.04.5 Lighting
2.04.6 Furniture
2.04.7 Water

PART THREE SOFT LANDSCAPE DEVELOPMENT

- 3.01 INTENT OF DESIGN
3.02 PLANTING
3.03 HARDSCAPE
3.04 LIGHTING
3.05 FURNITURE
3.06 WATER

3.02 PLANTING

- 3.02.1 General
3.02.2 Site Preparation
3.02.3 Planting
3.02.4 Hardscape
3.02.5 Lighting
3.02.6 Furniture
3.02.7 Water

3.03 HARDSCAPE

- 3.03.1 General
3.03.2 Site Preparation
3.03.3 Planting
3.03.4 Hardscape
3.03.5 Lighting
3.03.6 Furniture
3.03.7 Water

3.04 LIGHTING

- 3.04.1 General
3.04.2 Site Preparation
3.04.3 Planting
3.04.4 Hardscape
3.04.5 Lighting
3.04.6 Furniture
3.04.7 Water

3.05 FURNITURE

- 3.05.1 General
3.05.2 Site Preparation
3.05.3 Planting
3.05.4 Hardscape
3.05.5 Lighting
3.05.6 Furniture
3.05.7 Water

3.06 WATER

- 3.06.1 General
3.06.2 Site Preparation
3.06.3 Planting
3.06.4 Hardscape
3.06.5 Lighting
3.06.6 Furniture
3.06.7 Water

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

- 3.01 INTENT OF DESIGN
3.02 PLANTING
3.03 HARDSCAPE
3.04 LIGHTING
3.05 FURNITURE
3.06 WATER

3.02 PLANTING

- 3.02.1 General
3.02.2 Site Preparation
3.02.3 Planting
3.02.4 Hardscape
3.02.5 Lighting
3.02.6 Furniture
3.02.7 Water

3.03 HARDSCAPE

- 3.03.1 General
3.03.2 Site Preparation
3.03.3 Planting
3.03.4 Hardscape
3.03.5 Lighting
3.03.6 Furniture
3.03.7 Water

3.04 LIGHTING

- 3.04.1 General
3.04.2 Site Preparation
3.04.3 Planting
3.04.4 Hardscape
3.04.5 Lighting
3.04.6 Furniture
3.04.7 Water

3.05 FURNITURE

- 3.05.1 General
3.05.2 Site Preparation
3.05.3 Planting
3.05.4 Hardscape
3.05.5 Lighting
3.05.6 Furniture
3.05.7 Water

3.06 WATER

- 3.06.1 General
3.06.2 Site Preparation
3.06.3 Planting
3.06.4 Hardscape
3.06.5 Lighting
3.06.6 Furniture
3.06.7 Water

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

- 3.01 INTENT OF DESIGN
3.02 PLANTING
3.03 HARDSCAPE
3.04 LIGHTING
3.05 FURNITURE
3.06 WATER

3.02 PLANTING

- 3.02.1 General
3.02.2 Site Preparation
3.02.3 Planting
3.02.4 Hardscape
3.02.5 Lighting
3.02.6 Furniture
3.02.7 Water

3.03 HARDSCAPE

- 3.03.1 General
3.03.2 Site Preparation
3.03.3 Planting
3.03.4 Hardscape
3.03.5 Lighting
3.03.6 Furniture
3.03.7 Water

3.04 LIGHTING

- 3.04.1 General
3.04.2 Site Preparation
3.04.3 Planting
3.04.4 Hardscape
3.04.5 Lighting
3.04.6 Furniture
3.04.7 Water

3.05 FURNITURE

- 3.05.1 General
3.05.2 Site Preparation
3.05.3 Planting
3.05.4 Hardscape
3.05.5 Lighting
3.05.6 Furniture
3.05.7 Water

3.06 WATER

- 3.06.1 General
3.06.2 Site Preparation
3.06.3 Planting
3.06.4 Hardscape
3.06.5 Lighting
3.06.6 Furniture
3.06.7 Water

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Table with 4 columns: No., DATE, REVISION, DESCRIPTION, DR. Includes revision history for 'M2LA PROJECT NUMBER: 14074'.

SCALE:

TOWNHOUSE DEVELOPMENT
6173 144 ST, SURREY, BC

DRAWING TITLE: LANDSCAPE SPECIFICATIONS

DATE: 10/20/15 DRAWING NUMBER:
SCALE: 1/8" = 1'-0"
DESIGN: JAC
CHECK: JAC OF 10

M2LA PROJECT NUMBER: 14074

PART ONE - GENERAL
11 COPYRIGHT
12 SCOPE OF WORK
13 RELATED WORK
14 RELATED MASTER MUNICIPAL SPECIFICATIONS
15 STANDARDS
16 QUALITY ASSURANCE
17 SCHEDULING
18 FIELD REVIEW
19 SAMPLES
20 PRODUCT HANDLING
21 DELIVERY, STORAGE AND PROTECTION

PART TWO - PRODUCTS
21 GROWING MEDIUM
22 AGGREGATE
23 SOIL STABILIZER
24 GRANULAR BASE
25 PAVING MATERIALS
26 FILTER FABRIC
27 SUBDRAGES
28 SUB DRAINS
29 BRIGATION
30 SUBSURFACE DISTURBED SUBGRADE TO REQUIREMENTS OF MASTER MUNICIPAL SPECIFICATIONS AND CIVIL ENGINEERING DRAWINGS

PART THREE - EXECUTION
31 SUBGRADE
32 PREPARATION OF EXISTING GRADE
33 SUB DRAINS
34 BRIGATION
35 MIXING STRUCTURAL SOIL MATERIAL
36 MIXING
37 PLACEMENT
38 INSTALLATION OF FILTER FABRIC
39 GRANULAR BASE MATERIAL
40 SUBSURFACE DISTURBED SUBGRADE TO REQUIREMENTS OF MASTER MUNICIPAL SPECIFICATIONS AND CIVIL ENGINEERING DRAWINGS
41 TREE PLANTING
42 GRATES
43 ACCEPTANCE
44 SURPLUS MATERIAL

PART THREE - EXECUTION (cont)
36 MIXING
37 PLACEMENT
38 INSTALLATION OF FILTER FABRIC
39 GRANULAR BASE MATERIAL
40 SUBSURFACE DISTURBED SUBGRADE TO REQUIREMENTS OF MASTER MUNICIPAL SPECIFICATIONS AND CIVIL ENGINEERING DRAWINGS
41 TREE PLANTING
42 GRATES
43 ACCEPTANCE
44 SURPLUS MATERIAL

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Table with 5 columns: No., Date, Revision Description, DR., and a blank column for initials/signature.

NO. DATE REVISION DESCRIPTION DR.

SEAL:

PROJECT:
TOWNHOUSE DEVELOPMENT
6173 144 ST, SURREY, BC

DRAWING TITLE:
STRUCTURAL SOIL SPECIFICATIONS

Table with columns: DATE, SCALE, DRAWN, DESIGN, CHK'D, and DRAWING NUMBER.

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **September 6, 2016** PROJECT FILE: **7815-0337-00**

RE: **Engineering Requirements
Location: 6173 144 Street**

NCP AMENDMENT

There are no engineering requirements relative to the NCP Amendment.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 2.808 metres along 144 Street for the ultimate 30 metre Arterial Road Standard.
- Provide a 0.500 metre Statutory Right-of-Way (SRW) along the development road frontages.
- Provide a SRW for a temporary turnaround at the east end of 62 Avenue.

Works and Services

- Construct 62 Avenue to the Through Local Road Standard complete with 11.0 metre asphalt pavement, barrier curb and gutter, 1.50 metre concrete sidewalks adjacent to the property line, 3.0 metre topsoil and sod boulevards, and street lighting.
- Construct a temporary turnaround at the east end of 62 Avenue. The temporary turnaround is not to be located on the proposed Park Lot.
- Construct the ultimate driveway letdown and connection for 6299 144 Street with cash-in-lieu previously provided under Surrey Project 7806-0144-00.
- Construct 6.0 metre concrete letdowns to lots 1 and 2. The driveways are to be paired.
- Construct a 7.3 metre concrete driveway letdown for Lot 3 to service the proposed townhouse development.
- Construct a 1.800 metre concrete sidewalk adjacent to the property line along 144 Street including upgrading of the existing bus stop to be funded by the City.
- Construct onsite stormwater management features per the NCP and Hyland Creek ISMP.
- Construct water, storm, and sanitary mains along 62 Avenue.
- Construct water, storm, and sanitary service connections to service each lot.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.

DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Variance Permit.

For 
 Rémi Dubé, P.Eng.
 Development Services Manager

CE4

NOTE: Detailed Land Development Engineering Review available on file



Wednesday, August 10, 2016
 Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 15 0337 00

SUMMARY

The proposed 2 single family 57 townhouse units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	16
Secondary Students:	10

September 2015 Enrolment/School Capacity

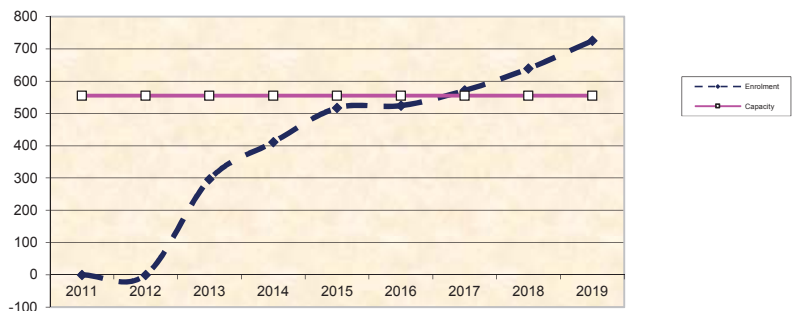
Goldstone Park Elementary	
Enrolment (K/1-7):	78 K + 439
Capacity (K/1-7):	80 K + 475
Sullivan Heights Secondary	
Enrolment (8-12):	1536
Nominal Capacity (8-12):	1000
Functional Capacity*(8-12):	1080

School Enrolment Projections and Planning Update:

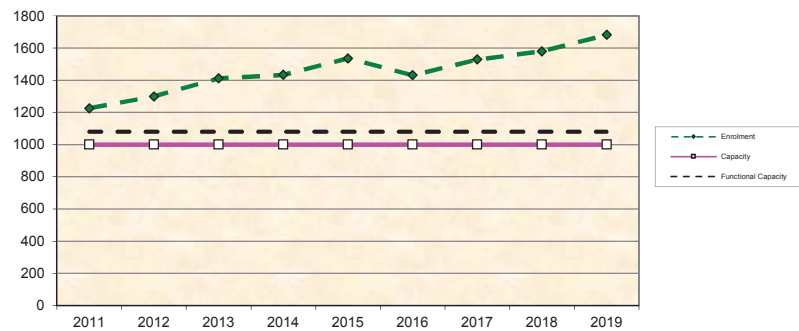
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Goldstone Park Elementary opened in February 2014 and was built to relieve overcrowding at both Cambridge Elementary and Woodward Hill Elementary. Goldstone Park will soon be significantly over capacity, like all neighbouring elementary schools. For the 2016/17 school year a section of the Woodward Hill Elementary catchment is moving to Goldstone Park. The school district has received funding approval for additions to Woodward Hill Elementary and Sullivan Elementary and will request, as a high priority, in the next iteration of the capital plan, another new elementary school for the South Newton area. There are still extreme enrolment pressures at Sullivan Heights Secondary and the school district is requesting funding for an addition to this school as a high priority in the capital plan. Incoming enrolment at Sullivan Heights Secondary is being capped for the 2016/17 school year and the school district is currently considering various short and long-term measures to accommodate existing and projected elementary and secondary enrolment in South Newton.

Goldstone Park Elementary



Sullivan Heights Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

BUILDING GUIDELINES SUMMARY

Surrey Project no: 7915-0337-00
Project Location: 6173 - 144 Street, Surrey, B.C.
Design Consultant: Tynan Consulting Ltd., (Michael E. Tynan)

The draft Building Scheme proposed for this Project has been filed with the City Clerk. The following is a summary of the Residential Character Study and the Design Guidelines which highlight the important features and form the basis of the draft Building Scheme.

1. Residential Character

1.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site:

The subject site is a two lot single family residential residual component of a much larger multifamily project, which will be area-defining due to its density. The two lots subject to new design guidelines are located at the northwest corner of the site at the entrance to the larger project, and the subject lots will be located directly across the street from the multi-residential site. Due north of the subject site is a large multifamily CD zoned project identified as Surrey project 7906-0144. The "Neo-Heritage" style units have three storey vertical massing with bold gabled projections, and are clad with stone at the base, vinyl at the second floor level and vinyl and wood wall shingles at the third level. West of the lot is a large vacant site. Northwest of the site is a relatively new RF-12 project approved under Surrey project 7905-0368-00. Homes fronting 62 Avenue in this area are a consistent group of mixed "Neo-Heritage" and "Neo-Traditional", 2400-2800 sq.ft. Two-storey type homes with mid-scale massing characteristics, constructed to a common modern urban standard. The landscapes on most of these lots are considered be of a modest standard.

All single family residential homes in the immediate area were constructed after 2005. All of these homes have a floor area in the 2400 - 2800 sq.ft. size range. Styles found in this area include: "Neo-Heritage" (50%), and "Neo-Traditional" (50%), though many homes are a hybrid of these two styles. All homes are Two-Storey type.

Massing scale (front wall exposure) characteristics include: mid-scale massing (75%), mid-scale massing with proportionally consistent, well balanced massing design (13%), and mid to high scale massing (13%). The scale (height) range for front entrance structures include: one storey front entrance (25%), one storey front entrance veranda in heritage tradition (63%), and proportionally exaggerated 1 ½ storey high front entrance (13%).

The range of roof slopes found in this area is: 8:12 (63%), and 12:12 (38%). Main roof forms (largest upper floor truss spans) include: main common hip roof (75%), and main common gable roof (25%). Feature roof projection types include: Common Hip (20%), and Common Gable (80%). All roofs have a shake profile asphalt shingles surface.

All homes are clad in horizontal vinyl siding. Feature wall trim materials used on the front facade include: brick feature veneer (4%), stone feature veneer (22%), wood wall shingles accent (19%), Hardiplank shingles accent (4%), Horizontal Hardiplank accent (30%), and 1x4

vertical battens over Hardipanel in gable ends (22%). Wall cladding and trim colours include: Neutral (20%), and Natural (80%).

All homes have a rear garage, and rear driveway. A variety of landscaping standards are evident, including: "modest" modern urban landscape standard with sod and a few shrubs only (75%), average modern urban landscape standard (13%), and an above average modern urban landscape standard featuring numerous shrub plantings (13%).

1.2 Features of Surrounding Dwellings Significant to the Proposed Building Scheme:

- 1) **Context Homes:** 88 percent of existing neighbouring homes provide potential architectural context for use at the subject site. Context homes include: 14299 - 62 Ave., 14295 - 62 Ave., 14289 - 62 Ave., 14283 - 62 Ave., 14271 - 62 Ave., 14263 - 62 Ave., and 14253 - 62 Ave. However, massing design, construction materials, and trim and detailing standards for new homes constructed in RF-12 zone subdivisions now exceed standards evident on the context homes. The recommendation therefore is to adopt standards commonly found in post year 2014 RF-12 zoned subdivisions, rather than to specifically emulate the aforesaid context homes.
- 2) **Style Character :** Existing surrounding homes are of styles typical of those found in post year 2000 modern compact lot developments in Surrey. Styles recommended for this site include "Neo-Traditional" and "Neo-Heritage", and hybrids of these two styles, and compatible styles as determined by the consultant. Note that style range is not restricted in the building scheme. However, the consultant refers to the character study when reviewing plans for meeting style-character intent.
- 3) **Home Types :** All surrounding homes are Two-Storey type, and it is expected that all new homes constructed at the subject site will be Two-Storey type. However, home type (Two-Storey, Bungalow, Basement Entry, Split Level, etc..) will not be regulated in the building scheme.
- 4) **Massing Designs :** Massing designs should meet new standards for RF-12 zoned subdivisions. New homes should exhibit "mid-scale" massing. Various elements and projections on the front of the home should be interesting architecturally, and should be in pleasing natural proportions to one another. These elements and projections should be located so as to create balance across the façade.
- 5) **Front Entrance Design :** Front entrance porticos range from one to 1 ½ storeys in height. The recommendation is to limit the range of entrance portico heights to between one storey and 1 ½ storeys to ensure there is not proportional overstatement of this one element.
- 6) **Exterior Wall Cladding :** A wide range of cladding materials have been used in this area, including Vinyl, cedar, fibre cement board, brick, and stone. Reasonable flexibility should therefore be permitted, including the use of vinyl siding, provided the overall quality of wall cladding materials meets or exceeds common standards for post 2014 developments.
- 7) **Roof surface :** All homes have asphalt shingle roofs. For continuity, asphalt shingles are recommended. However, where opportunities arise to introduce new environmentally sustainable products, they should be embraced. Generally, these materials have thicknesses between asphalt shingles and cedar shingles and will not appear out of place texturally. Therefore, to ensure consistency of character, only shake profile asphalt shingles and shake profile sustainable products are recommended.

- 8) **Roof Slope :** Roof slopes of 8:12 or higher have been used on context homes. This is a suitable minimum roof slope given the objectives of ensuring continuity with context homes and to ensure that homes appear style-authentic within the proposed style range. Some exceptions can be approved by the consultant.

Streetscape: North of the site is a large CD zoned multifamily site featuring three storey high "Neo-Heritage style units with garages surrounded in stone cladding at the lowest level, vinyl siding at the second floor, and vinyl and wood shingles at the upper floor. The units have bold steeply pitched gabled projections, and roofs are surfaced with asphalt shingles. West of the lot is a large vacant site. Northwest of the site is a relatively new RF-12 project approved under Surrey project 7905-0368-00. Homes fronting 62 Avenue in this area are a mixed "Neo-Heritage" and "Neo-Traditional", 2400-2800 sq.ft. Two-storey type homes with mid-scale massing characteristics, and rear garages, constructed to a common modern urban standard. The landscapes on most of these lots are considered be of a modest standard.

2. Proposed Design Guidelines

2.1 Specific Residential Character and Design Elements these Guidelines Attempt to Preserve and/or Create:

- the new homes are readily identifiable as one of the following styles: "Neo-Traditional", "Neo-Heritage", or compatible style as determined by the design *consultant*. Note that the proposed style range is not contained within the building scheme, but is contained within the residential character study which forms the basis for interpreting building scheme regulations.
- a new single family dwelling *constructed* on any *lot* meets year 2000's design standards, which include the proportionally correct allotment of mass between various street facing elements, the overall balanced distribution of mass within the front facade, readily recognizable style-authentic design, and a high trim and detailing standard used specifically to reinforce the style objectives stated above.
- trim elements will include several of the following: furred out wood posts, articulated wood post bases, wood braces and brackets, louvered wood vents, bold wood window and door trim, highly detailed gable ends, wood dentil details, stone or brick feature accents, covered entrance verandas and other style-specific elements, all used to reinforce the style (i.e. not just decorative).
- the development is internally consistent in theme, representation, and character.
- the entrance element will be limited in height (relative dominance) to 1 to 1 ½ storeys.

2.2 Proposed Design Solutions:

Interfacing Treatment with existing dwellings)

There are homes in this area that could be considered to provide acceptable architectural context. However, massing design, construction materials, and trim and detailing standards for new homes constructed in most new (post year 2014) RF12 zone subdivisions now exceed standards evident on the context homes. The recommendation therefore is to adopt standards commonly found in post year 2014 RF12 zoned subdivisions, rather than to specifically emulate the aforesaid two context homes.

- Exterior Materials/Colours:** Stucco, Cedar, Vinyl, Hardiplank, Brick, and Stone.
- “Natural” colours such as browns, greens, clays, and other earth-tones, and “Neutral” colours such as grey, white, and cream are permitted. Primary colours are not recommended for this development, except on trim. “Warm” colours such as pink, rose, peach, salmon are not permitted. Trim colours: Shade variation of main colour, complementary, neutral, or subdued contrast only.
- Roof Pitch:** Minimum 8:12, with exceptions to prevent roof ridges from becoming too high (overshadowing of neighbouring lots), to allow for veranda roofs that do not cover upper floor windows, to allow for artistic expression in feature roofs, and to provide a path for exceptional designs with lower slope roofs to be approved subject to consultant approval.
- Roof Materials/Colours:** Only shake profile asphalt shingles with a raised ridge cap and new environmentally sustainable roofing products providing that aesthetic properties of the new materials are equal to or better than the traditional roofing products. Greys, browns, or black.
- In-ground basements:** Permitted, subject to determination that service invert locations are sufficiently below grade. Basements will appear underground from the front.
- Treatment of Lot 1:** Significant, readily identifiable architectural features are provided on the north and east sides of the dwelling, resulting in a home that architecturally addresses both streets. One-storey elements on the new home shall comprise a minimum of 40 percent of the north side of the dwelling. The upper floor is set back a minimum of 0.9 metres [3'- 0"] from the one-storey elements.
- Landscaping:** *Moderate modern urban standard:* Tree planting as specified on Tree Replacement Plan plus minimum 17 shrubs of a minimum 3 gallon pot size. Lot 1 shall have an additional 8 shrubs of a minimum 3 gallon pot size, planted in the north sideyard. Sod from street to face of home. Driveways: exposed aggregate, interlocking masonry pavers, or stamped concrete.

Compliance Deposit: \$5,000.00

Summary prepared and submitted by: Tynan Consulting Ltd. Date: March 14, 2016

Reviewed and Approved by:



Date: March 14, 2016

Tree Preservation Summary (On Site only)

Surrey Project No:

Address: 6155 and 6173 144th Street, Surrey, BC

Registered Arborist: Meredith Mitchell, ISA # 6089A

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	46
Protected Trees to be Removed	30
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	16
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\underline{\quad 15 \quad} \times \text{one (1)} = 15$ - All other Trees Requiring 2 to 1 Replacement Ratio $\underline{\quad 15 \quad} \times \text{two (2)} = 30$ 	45
Replacement Trees Proposed	46
Replacement Trees in Deficit	-
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	-

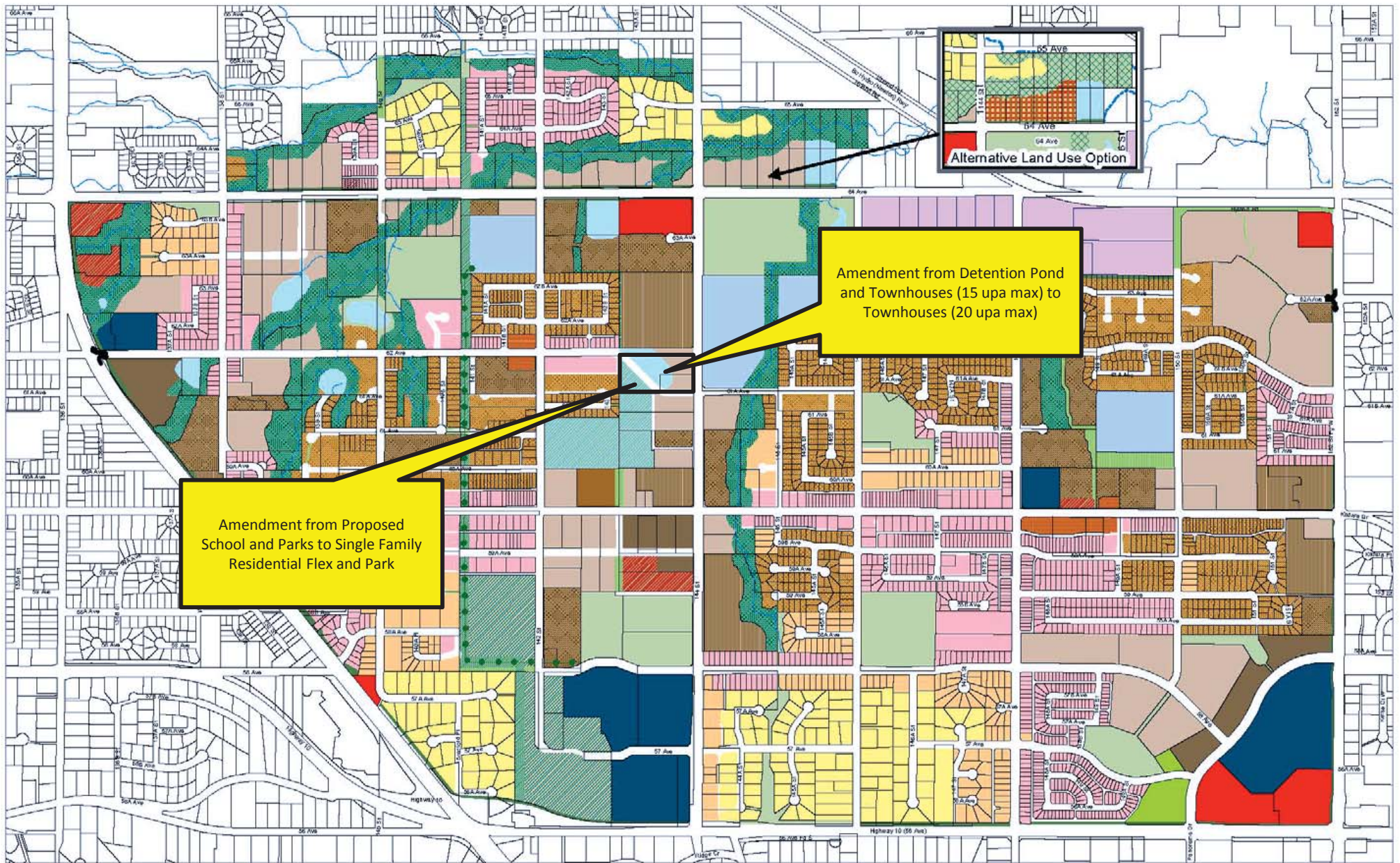
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\underline{\hspace{1cm}} \times \text{one (1)} = 0$ - All other Trees Requiring 2 to 1 Replacement Ratio $\underline{\hspace{1cm}} \times \text{two (2)} = 0$ 	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

Summary, report and plan prepared and submitted by:

Preston Toy
 For: Meredith Mitchell
 (Signature of Arborist)



2-Sep-16
 Date



SOUTH NEWTON

NEIGHBOURHOOD CONCEPT PLAN
City of Surrey Planning & Development Department

- Apartments 45 upa max
- Townhouses 30 upa max
- Townhouses 25 upa max
- Townhouses 20 upa max
- Townhouses 15 upa max
- Single Family Small Lots

- Row Housing
- Single Family Residential Flex 6 to 14.5
- Single Family Residential
- Suburban Residential 1/2 Acre
- Mixed Com/Res Apartments
- Mixed Com/Res Townhouse

- Commercial
- Institutional
- Office Park
- Industrial
- Schools
- Proposed School

- Proposed School and Park
- Parks
- Proposed Park and Walkway
- Recreational
- Creeks and Riparian Set-back

- Buffers
- Detention Ponds
- Utility R/W Greenway
- WALKWAY



Adopted by Council Resolution December 6, 2004 Amended 3 August 2010

This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.

PROPOSED TOWNHOUSE DEVELOPMENT
6173 144 STREET, SURREY, BC

EXTERIOR COLOUR SCHEME



Laminated Asphalt Shingles
IKO –Dynasty – “Granite Black”



Hardi & Vinyl Shingle Cladding
Mitten “Frost”



Vinyl Soffits – Mitten “Bone”



Fibre Cement and Wood Trims & Fascia
Benjamin Moore OC-70 “Whitewater Bay”



Horizontal Hardi & Vinyl Plank Siding
Mitten “Stratus”



Balcony & Decorative Railings,
Eavestroughs and Downspouts,
Black



Garage and Man Doors Accent Colours
“Autumn Maple”



Garage and Man Doors Accent Colours
“ Western Juniper”



Brick
Mutual Materials “Coal Creek - mission”

BARNETT DEMBEK ARCHITECTS INC.
Project Number 15011

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7915-0337-00

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 002-340-852
 Lot 2 Section 9 Township 2 Plan 60041 New Westminster District

6173 144 St

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Subsection F. Yard and Setbacks, of Part 22 Multiple Residential 30 Zone, the minimum setback is reduced from 7.5 metres (25 ft.) to 4.6 metres (15 ft.) for the north yard setback for buildings 3, 4 and 5;
 - (b) In Subsection F. Yard and Setbacks, of Part 22 Multiple Residential 30 Zone, the minimum setback is reduced from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for the building, and 3.6 metres (12 ft.) to the front porch of the east yard setback on 144 Street for buildings 5 and 6;
 - (c) In Subsection F. Yard and Setbacks, of Part 22 Multiple Residential 30 Zone, the minimum setback is reduced from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) for the east side yard setback for building 11;
 - (d) In Subsection F. Yard and Setbacks, of Part 22 Multiple Residential 30 Zone, the minimum setback is reduced from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for the building, and 3.3 metres (11 ft.) to the front porch of the west yard setback for buildings 12 and 13;
 - (e) In Subsection F. Yard and Setbacks, of Part 22 Multiple Residential 30 Zone, the minimum setback is reduced from 7.5 metres (25 ft.) to 4.8 metres (16 ft.) for the building, and 3.3 metres (11 ft.) to the front porch for the south yard setback along 61A Avenue for building 11; and
 - (f) In Subsection F. Yard and Setbacks, of Part 22 Multiple Residential 30 Zone, the minimum setback is reduced from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) for the south yard setback for building 8.
5. This development variance permit applies to only the portion of the Land OR that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
 6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
 7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
 8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
 9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

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ISSUED FOR	
BY	
DATE	
ISSUE	
REV. NO.	
DATE	
DRN	
CD	

03-C-049

DESIGN :
H.D.
DRAWN :
DATE :
SCALE :
1" = 30'-0"

CLIENT : PINEWALL HOLDINGS LTD.
PROJECT : RM-30 TOWNHOUSE DEVELOPMENT
6113 144 STREET, SURREY
DATE :
SCALE :
1" = 30'-0"

CONCEPTUAL SITE PLAN AND DEVELOPMENT DATA

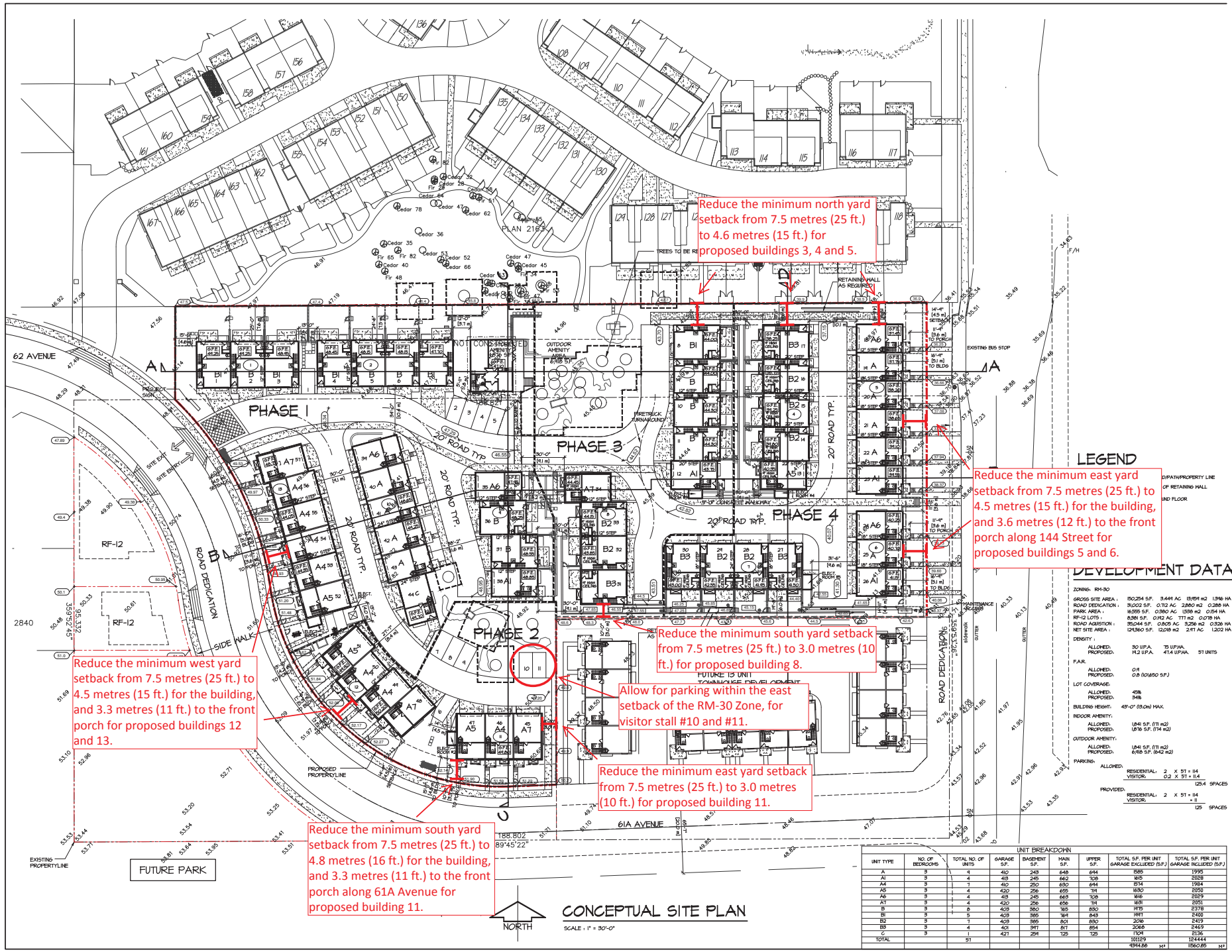
barnett den

UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) :
FAX: (604) :
EMAIL: mtd@bden.com

CLIENT NO. SH
PROJECT NO. REV. NO.
15011

SCHEDULE A



Reduce the minimum north yard setback from 7.5 metres (25 ft.) to 4.6 metres (15 ft.) for proposed buildings 3, 4 and 5.

Reduce the minimum east yard setback from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for the building, and 3.6 metres (12 ft.) to the front porch along 144 Street for proposed buildings 5 and 6.

Reduce the minimum west yard setback from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for the building, and 3.3 metres (11 ft.) to the front porch for proposed buildings 12 and 13.

Reduce the minimum south yard setback from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) for proposed building 8.

Allow for parking within the east setback of the RM-30 Zone, for visitor stall #10 and #11.

Reduce the minimum east yard setback from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) for proposed building 11.

Reduce the minimum south yard setback from 7.5 metres (25 ft.) to 4.8 metres (16 ft.) for the building, and 3.3 metres (11 ft.) to the front porch along 61A Avenue for proposed building 11.

LEGEND

- EXISTING PROPERTY LINE
- RETAINING WALL
- 1ST FLOOR

DEVELOPMENT DATA

ZONING: RM-30
 GROSS SITE AREA: 180,254 SF, 3.441 AC, 15,911 M², 1,396 HA
 ROAD DEDICATION: 30,000 SF, 0.712 AC, 2,780 M², 0.286 HA
 PARK AREA: 16,379 SF, 0.380 AC, 1,536 M², 0.184 HA
 RP-12 LOTS: 9,281 SF, 0.212 AC, 3,711 M², 0.478 HA
 ROAD ACQUISITION: 37,044 SF, 0.852 AC, 3,298 M², 0.359 HA
 NET SITE AREA: 124,560 SF, 0.288 AC, 2,871 M², 1.202 HA
 DENSITY:
 ALLOWED, PROPOSED: 30 UPA, 112 UPA, 474 UPA, 57 UNITS
 F.A.R.:
 ALLOWED, PROPOSED: 0.8, 0.8 (10,650 SF)
 LOT COVERAGE:
 ALLOWED, PROPOSED: 45%, 34%
 BUILDING HEIGHT:
 ALLOWED, PROPOSED: 43'-0" (13.0M) MAX.
 INDOOR AMENITY:
 ALLOWED, PROPOSED: 1,841 SF, (11 M²), 1,736 SF, (174 M²)
 OUTDOOR AMENITY:
 ALLOWED, PROPOSED: 1,841 SF, (11 M²), 1,615 SF, (142 M²)
 PARKING:
 ALLOWED:
 RESIDENTIAL: 2 X 51' x 14', 1254 SPACES
 VISITOR: 0.2 X 51' x 14'
 PROVIDED:
 RESIDENTIAL: 2 X 51' x 14', 125 SPACES
 VISITOR: 0.2 X 51' x 14'

		UNIT BREAKDOWN							
UNIT TYPE	NO. OF BEDROOMS	TOTAL NO. OF UNITS	GARAGE S.F.	BASEMENT S.F.	HALL S.F.	UPPER S.F.	TOTAL S.F. PER UNIT GARAGE EXCLUDED (B.F.)	TOTAL S.F. PER UNIT GARAGE INCLUDED (B.F.)	
A	3	4	410	243	646	674	1565	1995	
A1	3	4	48	245	653	725	1631	2078	
A4	3	7	410	290	630	674	1574	1984	
A5	3	4	420	256	659	690	1625	2055	
A6	3	4	418	256	655	725	1654	2079	
AT	3	4	420	256	656	711	1681	2091	
B	3	6	408	380	760	830	1778	2318	
B1	3	5	409	385	761	843	1811	2400	
B2	3	1	409	385	761	843	2246	2419	
B3	3	4	409	381	671	654	2069	2449	
C	3	4	421	294	725	725	1945	2444	
TOTAL		51					10129	12444	
							4944.86	15607.85	

CONCEPTUAL SITE PLAN
SCALE: 1" = 30'-0"

