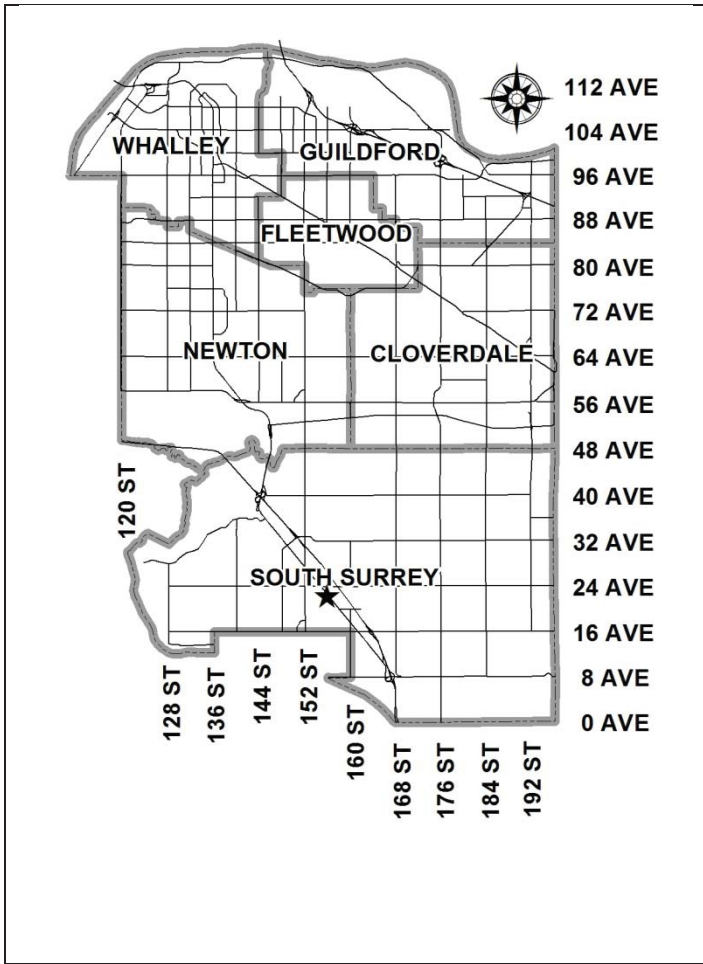


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7915-0332-00

Planning Report Date: December 5, 2016



PROPOSAL:

- **LAP Amendment** from "Single Family Residential (6 upa)" to "Townhouses (15 upa)"
- **Rezoning** from RF to RM-15
- **Development Permit**
- **Development Variance Permit**

to permit the development of 14 townhouse units.

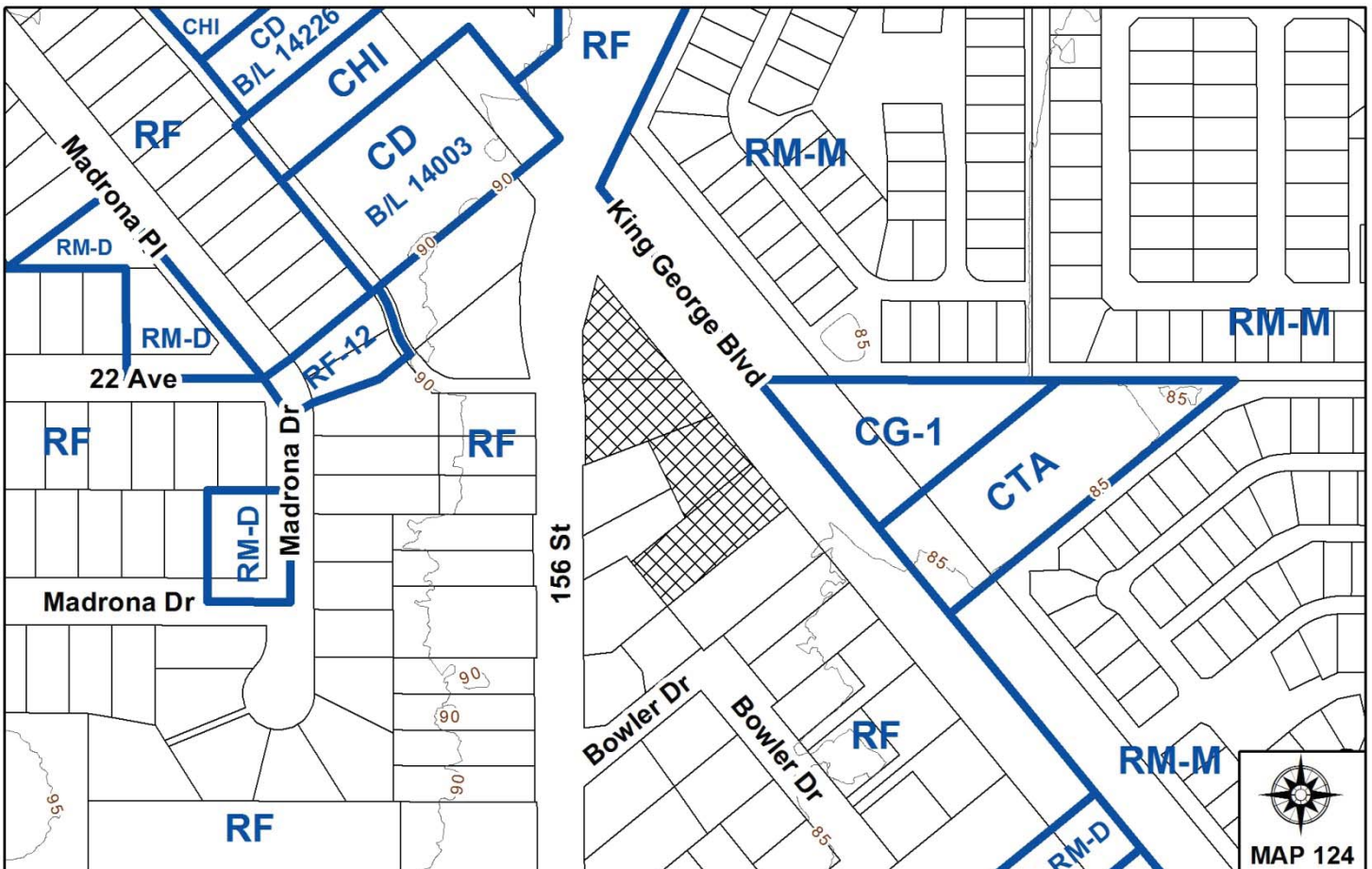
LOCATION: 2227, 2195, 2205 and 2187 - King George Boulevard

OWNER: Osman Aziza
 Ramz F Elsayed

ZONING: RF

OCP DESIGNATION: Urban

KING GEORGE HIGHWAY CORRIDOR PLAN DESIGNATION: Single family residential (6 upa)



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to eliminate indoor amenity space.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking an amendment to the King George Highway Corridor Plan from "Single Family Residential (6 upa)" to "Townhouses (15 upa)".

RATIONALE OF RECOMMENDATION

- The project complies with the site's Official Community Plan (OCP) Designation.
- The proposed density and building forms are appropriate for this part of King George Boulevard.
- The proposed development conforms to the goal of achieving higher-density development near Public Transit.
- The proposed variances for building setbacks are supportable as they provide better street presence along King George Boulevard and 156 Street, or are side yard conditions. Furthermore, the proposed setbacks allow for both an efficient site plan and tree preservation.
- The proposed elimination of the indoor amenity space is supportable given the size of the proposed development. Instead, the applicant will provide a cash-in-lieu contribution in accordance with City policy.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council close Application No. 7906-0211-00 and file Zoning Amendment Bylaw No. 16979.
2. a By-law be introduced to rezone the subject site from "Single Family Residential Zone (RF)" to "Multiple Residential (15) Zone (RM-15)" and a date be set for Public Hearing.
3. Council approve the applicant's request to eliminate the required indoor amenity space.
4. Council authorize staff to draft Development Permit No. 7915-0332-00 generally in accordance with the attached drawings (Appendix II).
5. Council approve Development Variance Permit No. 7915-0332-00 (Appendix VI) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum west setback (along 156 Street) of the RM-15 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for Block 1 and Block 2;
 - (b) to reduce the minimum east setback (along King George Boulevard) of the RM-15 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for Block 1, and Block 3 and Block 4;
 - (c) to reduce the minimum south setback of the RM-15 Zone from 7.5 metres (25 ft.) to 6.0 metres (19.5 ft.) for Block 4 and 3.0 metres (9.7 ft.) for Block 2 and Block 5; and
 - (d) to reduce the minimum north setback of the RM-15 Zone from 7.5 metres (25 ft.) to 4.9 metres (16 ft.) for Block 5.
6. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department;

- (g) the applicant address the concern that the development will place additional pressure on existing park facilities to the satisfaction of the General Manager, Parks, Recreation and Culture;
 - (h) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (i) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and
 - (j) the applicant adequately address the impact of no indoor amenity space.
7. Council pass a resolution to amend the King George Highway Corridor Plan to redesignate the land from "Single Family Residential (6 upa)" to "Townhouses (15 upa)" when the project is considered for final adoption.

REFERRALS

Engineering:	The Engineering Department has no objection to the project (subject to the completion of Engineering servicing requirements) as outlined in Appendix III.
School District:	<p>Projected number of students from this development:</p> <p>8 students at Jessie Lee Elementary School 4 students at Earl Marriott Secondary School</p> <p>(Appendix IV)</p> <p>The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Fall 2017/Winter 2018.</p>
Parks, Recreation & Culture:	Parks have some concerns about the pressure this project will place on existing Parks, Recreation and Culture facilities in the neighbourhood. The applicant will be required to address these concerns prior to final adoption of the rezoning by-law.
Ministry of Transportation & Infrastructure (MOTI):	Conditional approval granted.
Surrey Fire Department:	No concerns.

SITE CHARACTERISTICS

Existing Land Use: Single family dwellings.

Adjacent Area:

Direction	Existing Use	OCP/LAP Designation	Existing Zone
North (Across 156 Street):	Single family dwellings.	Commercial / Commercial	RF
East (Across King George Boulevard):	Manufactured Home Park and gas station.	Urban / Single Family Residential (6 upa) and Commercial	RM-M and CG-1
South:	Single family dwellings.	Urban / Single Family Residential (6 upa)	RF
West (Across 156 Street):	Single family dwellings.	Urban / Single Family Residential (6 upa)	RF

JUSTIFICATION FOR PLAN AMENDMENT

- An amendment to the King George Highway Corridor Land Use Plan is required to redesignate the site from "Single Family Residential (6 upa)" to "Townhouses (15 upa)".
- The King George Highway Corridor Land Use Plan is an older plan and reflects housing densities that were more typical when the plan was adopted in 1995.
- Residential densities have increased since that time, largely due to changing market conditions associated with increasing land costs and housing affordability.
- The proposed density and townhouse form is reasonable in this context, adjacent to King George Boulevard and public transit, while providing an appropriate interface with the existing single family neighbourhood to the south and west.

DEVELOPMENT CONSIDERATIONSSite Context

- The subject 0.5 hectare (1.2 acre) site is comprised of 4 properties that are zoned "Single Family Residential Zone (RF)" and designated "Single Family Residential (6 upa)" in the King George Highway Corridor Plan and "Urban" in the Official Community Plan (OCP).

Proposal

- The applicant proposes to rezone the site from "Single Family Residential Zone (RF)" to "Multiple Residential 15 Zone (RM-15)" and a Development Permit (DP) to allow the development of a 14-unit townhouse development.
- The applicant is also proposing a Development Variance Permit (DVP) in order to reduce the minimum setback requirements of the RM-15 Zone.
- The proposal comprises a total floor area of 1,455 square metres (15,661 sq.ft.), representing a net floor area ratio (FAR) of 0.6, which equals the maximum allowable 0.6 FAR of the RM-15 Zone.
- The applicant is also seeking to eliminate the amount of required indoor amenity space.

DESIGN PROPOSAL AND REVIEW

- The proposed 14-unit townhouse project is comprised of 3-bedroom units that are contained within 4 buildings. The units have an average floor area of 195 square metres (2,095 sq.ft.), excluding garages.
- All of the 14 units have side by side garages.
- Each unit has a distinct entry and unique visual identities. The variation of exterior finishes and horizontal and vertical rhythms reinforces the individuality of each unit.
- The proposed design follows a traditional west coast theme. Exterior building cladding consist of Hardi board siding (beige), Hardi shingle siding (white and brown), painted front entry doors (red/orange and blue), aluminum windows (black) and high-profile laminated asphalt shingle roofing (black).
- Fir soffits, columns and beams (clear stained) and cultured stone cladding (grey) contribute to a distinct west coast character.
- Front porches and second-floor balconies are proposed for each unit, which provide private outdoor amenity space for the enjoyment of owners.

Landscaping

- The landscaping includes a mix of trees, shrubs and ground cover.
- 59 trees are proposed to be planted on the site, including a mix of flowering cherry, maple, magnolia, dogwood, katsura, black pine, ash, cherry, fir and hemlock.
- Other plantings include a variety of flowering shrubs, grasses and ground covers that are used to soften the hard surfaces of the site, mark walkways and driveways and help define the transitions between private and semi-private spaces.

- Flowering cherry, black pine trees and a variety of shrubs are proposed within the front yard of each unit along King George Boulevard and along 156 Street.
- A heavily landscaped habitat node consisting of hemlock and fir trees and a variety of plants and shrubs is proposed at the corner of King George Boulevard and 156 Street.
- Decorative pavers are proposed at the site's entrance and at the north/south pedestrian connection across the site.
- An entry feature, comprised of cultured stone with a concrete planter bed is proposed at the site entrance on 156 Street. Low, open, wood fences and gates with cultured stone columns are provided to define the front yard of each unit and designate between public and private spaces.

Access, Pedestrian Circulation & Parking

- Vehicular access to the site is proposed from 156 Street.
- All of the street-fronting units are proposed to have individual pedestrian access to the street.
- The applicant is proposing to provide 28 resident parking spaces and 4 visitor parking spaces, which exceeds the Zoning By-law requirement of 31 spaces for resident and visitor parking.
- All of the units have double side by side garages.

Amenity Space

- The Zoning By-law requires that 42 square metres (480 square feet) of both indoor and outdoor amenity space be provided for this project, based on 3 sq. m. (32 sq. ft.) per dwelling unit.
- The applicant is proposing to provide 147 square metres (1,582 square feet) of outdoor amenity space, exceeding the By-law requirement. The outdoor amenity space consists of an open grassed area, seating benches with trellises, trees, shrubs, grasses, groundcover, decorative concrete pavers, and a playground structure.
- The applicant is seeking to eliminate the amount of required indoor amenity space based on the size of the proposed development. The applicant will be required to pay cash-in-lieu for the shortfall in indoor amenity space, in accordance with Council policy.
- Generous front yards and open spaces between buildings results in an open and extensively landscaped site while pedestrian pathways throughout the site provide connectivity and circulation within.

TREES

- Nick McMahon, ISA Certified Arborist of Arbortech Consulting prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Norway Maple	1	1	0
Horsechestnut	2	1	1
European Beech	6	4	2
Walnut	1	1	0
Bitter Cherry	2	2	0
English Oak	4	0	4
Weeping Willow	1	1	0
Coniferous Trees			
Grand Fir	1	1	0
Douglas Fir	28	20	8
Western Red Cedar	3	3	0
Total	49	34	15
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		68	
Total Retained and Replacement Trees		83	

- The Arborist Assessment states that there are a total of 49 protected trees on the site. There are no Alder or Cottonwood trees on the site. It was determined that 15 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed site grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 68 replacement trees on the site. The applicant is proposing 68 replacement trees, meeting City requirements.
- The new trees on the site will consist of a variety of trees including flowering cherry, maple, magnolia, dogwood, katsura, black pine, ash, cherry, fir and hemlock.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on November 14, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The subject site is located at the corner of King George Boulevard and 156 Street. • The subject site is designated "Single Family Residential (6 upa)" in the King George Highway Corridor Plan.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The maximum density permitted under the King George Highway Corridor Plan is 6 upa (15 uph). • The proposed density is 12 upa (30 uph).
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The development proposes absorbent soils, on-lot infiltration trenches or subsurface chambers, rain barrels and permeable pavement. • 15 protected trees are proposed to be retained. • 68 replacement trees are proposed to be planted. • Recycling pickup will be made available on the site.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • 346 metres (1,135 ft.) of walkways and sidewalks are proposed on the site. • The site is connected to off-site pedestrian and multiuse paths and is located directly adjacent to the bus stop on King George Boulevard.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • Linear outdoor walkways which are visible from each dwelling unit and exterior site lighting is proposed throughout the site. • Low, open landscaping is proposed throughout the site. • 25% of the visitor parking stalls are proposed to be accessible.
6. Green Certification (F1)	<ul style="list-style-type: none"> • N/A
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • Sales and marketing materials will include information on the project's sustainable features, including: <ul style="list-style-type: none"> ○ Reduced water consumption plumbing fixtures; ○ Energy-efficient appliances; ○ Water-efficient landscaping; ○ The site's location adjacent to public transportation; ○ The use of minimal off-gassing interior finishes; and ○ The site's generous outdoor amenity space.

ADVISORY DESIGN PANEL

The application was not referred to the ADP for review. The design and landscaping plans were reviewed by staff and found to be generally acceptable.

PRE-NOTIFICATION

Pre-notification letters were sent on April 14 and April 20, 2016 to 244 households within 100 metres (328 ft.) of the subject site. To date, staff have received 3 emails from area residents inquiring about the development, with no concerns expressed and 2 emails from area residents expressing concerns about the proposal.

The following is a summary of the issues raised by area residents; with staff comment noted in italics:

- Concerns about traffic volumes. Neither King George Boulevard nor 24 Avenue are wide enough to handle the volume of vehicles in the area. Increasing the density on the subject site will only intensify the issue. The applicant should be responsible for widening the section of King George Boulevard that fronts the subject site.

As part of development applications, developers are required to upgrade the roads fronting the development site, with the exception of arterial-classified roads (such as King George Boulevard and 24 Avenue). This is due to the function of arterial roads as major corridors throughout the city which typically carrying the highest volumes. As such, the City's practice is to construct larger sections of arterial roads all at one time, rather than in an ad-hoc manner through development, in order to maximize the benefits from the improvements and to minimize interruptions and delays to traffic.

Although developers are not typically required to upgrade arterial roads as part of an application, they are all required to provide Development Cost Charges (DCC's), which are used to fund improvements to roads, drainage, water, and sewer services, as set out in the City's [10-Year Servicing Plan](#).

The following improvements are planned in the area as part of the 10-Year Servicing Plan to help service the projected growth:

- *King George Boulevard between 32 Avenue and 152 Street – widening to 5 lanes (short term: 1-3 years);*
 - *24 Avenue between 161 Street and 164 Street – widening to five lanes (medium term);*
 - *24 Avenue between 164 Street and 168 Street – widening to three lanes (medium term);*
 - *160 Street between 26 Avenue and 32 Avenue – widening to 5 lanes (short term: 1-3 years);*
 - *24 Avenue on-ramp to Highway 99 (medium term: 4-6 years); and*
 - *20 Avenue overpass at Highway 99 and widening (long term: 7-10 years).*
- Concerns about traffic safety at the intersection of King George Boulevard and 156 Street. Poor sightlines make it difficult to determine if cars approaching on 156^t Street are in the turning lane or the through lane.

Improvements were made at the intersection of 156 Street and King George Boulevard in 2008, with the re-alignment of 156 Street on the north side, which significantly improved the sightlines. Staff have reviewed the current sightlines and have determined that they remain adequate.

- Concerns about the quality of the architecture and urban design of the project given its highly visible location on King George Boulevard.

The proposed design follows a traditional west coast theme. Each unit has a distinct entry and unique visual identities. The variation of high-quality exterior finishes and horizontal and vertical rhythms reinforces the individuality of each unit. Generous front yards and open spaces between buildings results in an open and extensively landscaped site. Flowering cherry, black pine trees and a variety of shrubs are proposed within the front yard of each unit along King George Boulevard. The proposed site plan, architecture and landscaping will result in a visually attractive project.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variances:

- Reduce the minimum west setback (along 156 Street) of the RM-15 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for Block 1 and Block 2.
- Reduce the minimum east setback (along King George Boulevard) of the RM-15 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for Block 1, and Block 3 and Block 4.
- Reduce the minimum south setback of the RM-15 Zone from 7.5 metres (25 ft.) to 6.0 metres (19.5 ft.) for Block 4 and 3.0 metres (9.7 ft.) for Block 2 and Block 5.
- Reduce the minimum north setback of the RM-15 Zone from 7.5 metres (25 ft.) to 4.9 metres (16 ft.) for Block 5.

Applicant's Reasons:

- The proposed setbacks do not negatively impact adjacent developments and they are sufficient to ensure an appropriate interface with public streets.
- The proposed setbacks allow for an efficient site layout on this infill site.

Staff Comments:

- A reduced front yard setback for street-fronting units located along King George Boulevard and 156 Street will help the development engage the public realm by bringing the buildings closer to the sidewalk. A reduced setback will also encourage neighbourhood interaction and neighbourhood surveillance through 'eyes on the street'.
- The southerly side yard setback is a side yard condition which decreases the impact on the neighbouring properties.
- The reduced setbacks will still accommodate appropriate yard space and landscaping treatments.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
- Appendix II. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix III. Engineering Summary
- Appendix IV. School District Comments
- Appendix V. Summary of Tree Survey and Tree Preservation
- Appendix VI. Development Variance Permit No. 7915-0332-00

Original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

TH/da

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Gustavo Da Roza
G3 Architecture Inc.
Address: 1365 - Johnston Road, Suite 3
White Rock, BC V4B 3Z3

2. Properties involved in the Application
 - (a) Civic Address: 2227 - King George Boulevard
2195 - King George Boulevard
2205 - King George Boulevard
2187 - King George Boulevard

 - (b) Civic Address: 2227 - King George Boulevard
Owner: Ramz F Elsayed
Osman Aziza
PID: 000-829-862
Lot 1 Section 14 Township 1 New Westminster District Plan 68617

 - (c) Civic Address: 2195 - King George Boulevard
Owner: Ramz F Sayed
Osman Aziza
PID: 000-732-826
Lot 4 Section 14 Township 1 New Westminster District Plan 16306

 - (d) Civic Address: 2205 - King George Boulevard
Owner: Ramz F Elsayed
Osman Aziza
PID: 011-197-633
Parcel "A" (Explanatory Plan 8204) Lot 12 Section 14 Township 1 New Westminster District Plan 6136 Except Plan BCP38150

 - (e) Civic Address: 2187 - King George Boulevard
Owner: Ramz F Elsayed
Osman Aziza
PID: 004-369-882
Lot "B" Section 14 Township 1 New Westminster District Plan 13177

3. Summary of Actions for City Clerk's Office
 - (a) Introduce a By-law to rezone the site.

 - (b) Application is under the jurisdiction of MOTI. **YES**

MOTI File No. 2016-05445

- (c) Proceed with Public Notification for Development Variance Permit No. 7915-0332-00 and bring the Development Variance Permit forward for an indication of support by Council. If supported, the Development Variance Permit will be brought forward for issuance and execution by the Mayor and City Clerk in conjunction with the final adoption of the associated Rezoning By-law.

DEVELOPMENT DATA SHEET

Proposed Zoning: RM-15

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		4,956.9 m ²
Road Widening area		80.4 m ²
Undevelopable area		
Net Total		4,846.5 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		28%
Paved & Hard Surfaced Areas		30%
Total Site Coverage		58%
SETBACKS (in metres)		
Side #1 (East)	7.5 m	4.5 m
Side #2 (West)	7.5 m	4.5 m
Side #3 (North)	7.5 m	4.92 m
Side #4 (South)	7.5 m	6.18/3.0 m
BUILDING HEIGHT (in metres/storeys)		
Principal	11 m	10.21 m
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Four Bedroom		14
Total		14
FLOOR AREA: Residential		2,736.5 m ²
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		2,736.5 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		29 uph / 12 upa
# of units/ha /# units/acre (net)		
FAR (gross)		0.56
FAR (net)		
AMENITY SPACE (area in square metres)		
Indoor	42 m ²	0 m ²
Outdoor	42 m ²	147 m ²
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed	28	28
Residential Visitors	3	4
Institutional		
Total Number of Parking Spaces		32
Number of disabled stalls		1
Number of small cars		0
Tandem Parking Spaces: Number / % of Total Number of Units		0
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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DESIGN CONCEPT AND NEIGHBORHOOD ANALYSIS

The neighborhood comprises of mainly mid-sloped roofed traditional styled homes, some newer "craftsman" styled townhouses and combined with a variety of non-period/style specific homes. "Modern California Stucco", "Neo-Traditional", "Neo-Heritage", or "West Coast Modern" best describe existing compatible styles throughout the subject area.

The design reflects many of the recommendations of the City of Surrey King George Highway Corridor Plan Guidelines with strong considerations for the neighborhood context, variety and landscaping opportunities. In addition to studies of the local existing neighborhood characteristics and similar emerging areas outside of this particular neighborhood.

The majority of the homes in this area are two-storey aged approximately 15 to 25 years. The remainder of the homes are predominantly two-storey front entry, in excess of 50 years old and likely to be redeveloped within the next 10 to 15 years.

Most of the homes in the area are of small to medium size based on modern home sizes. Typical habitable areas range between 1200-2200sf. and incorporate an attached two-car garage some with lane access. None of the homes appear to be over embellished with detail or significant design traits.

More than half of the existing newer homes have high mass characteristics. In addition, with regards to the front elevation of the homes and their direct relationship of the rear elevations, the upper floors do not exhibit a different setback than the lower floor(s). Most of the existing homes have a 1-storey entrance.

Flat and simple forms are abundant for the main roof with secondary roof forms equally simple and usually flat or economical low pitch (between 4-6/12) common truss roofs with simple gables and common hips on most of the homes. In most cases where the roofs are sloped a fascia gutter is used in place of a fascia board.

Use of exterior materials for the majority of nearby buildings is limited in the most part to one of the following; stucco with painted wood trims for an accent material (dominant) or wood siding for older buildings. Accent trims are not evident on most of the existing homes. Most of the homes do not incorporate neutral or natural colour schemes but rather bold and contrasting color and material schemes which also exhibit many years of fading and deterioration.

In general, landscaping improvements in this neighborhood is of low to moderate planting standards. Most homes in this neighborhood have a front driveway with exposed aggregate and brushed concrete being the common finished surface. In response to the topography and curved roadways the lengths and shapes of driveways and walkways vary throughout the area.

Collectively the homes in this neighborhood do not establish a consistent desirable character nor is there any notable design continuity or cohesiveness throughout the immediate area. The newer residential projects in the immediate area and surrounding neighborhoods reflect characteristics more favorable. Therefore, rather than use the existing homes to provide architectural context for the new development, the best strategy would be to employ modern design, massing and finishing standards.

The proposed design represents a more traditional west coast styled development standard especially with respect to the overall massing and balance in design and to proportional massing between individual elements. The quality of the design and selection of materials will make a positive contribution to the streetscape and satisfy the intention to provide affordable housing alternatives.

Each Unit has a distinct entry and unique visual identities. The siting of the building, selection and location of exterior finishes, landscaping and interior layouts all contribute to a successful design and differentiation between the dwelling units without compromising functionality or aesthetics. The variation of building exterior finishes and horizontal and vertical rhythms created reinforces the individuality and respects the site topography. The overall building height is within the maximum allowable and consistent with the majority of the newer surrounding developments.

The roof design is consistent with the intended style. The projection of the roof eaves within the allowable setbacks with the custom designed ground floor entry canopies provides shade and greater articulation to the building. The moving shadows created by these architectural features mitigate a monotonous elevation and assist in the control of solar gain for the southern and western building exposures. The various balconies combined with the variation of exterior finishes on all the facades results in the achievement of an overall balance in the design.

The use of cultured stone cladding anchor the building to the ground as well as to create a stronger vertical element to minimize the horizontal effect and break up the mass of the building. All soffits incorporate natural stained cedar tongue and groove material which will complement the use of wood lap siding, wood shake/shingle siding in a variety of colors and cultured stone at the walls and provide a distinctive west coast feel as they will be apparent from the pedestrian and vehicular traffic as well as the users.

Black anodized aluminum framed windows and black powder coated aluminum railings correspond to the overall design intent. The front entries are in scale and proportion with all the other elements on the building facade on which they appear.

Generous sized front yards and greenspace between buildings, combined with pedestrian pathways throughout the site minimize the higher density achieved and provide ample outdoor space for landscaping and user friendly spaces.

The proposed design, style, theme, roof forms, volume allocations and detailing features provides a high degree of compatibility between any new home or townhome project introduced and newer existing homes in the area.



RESIDENTIAL TOWNHOUSE DEVELOPMENT 2227, 2205, 2195, 2187 KING GEORGE HIGHWAY SURREY, BC

ISSUED FOR DEVELOPMENT PERMIT
SEPTEMBER 14, 2015
REVD - FEBRUARY 22, 2016
REVD - JUNE 28, 2016
REVD - AUGUST 22, 2016
REVD - SEPTEMBER 5, 2016
REVD - OCTOBER 19, 2016



G3 ARCHITECTURE INC.
#3 - 1365 JOHNSTON ROAD
WHITE ROCK, B.C.
V4B 3Z3



KEY MAP
N.T.S.

DRAWING LIST

- A100 GENERAL PROJECT INFORMATION
- A101 SITE PLAN
- A102 TREE PROTECTION PLAN
- A103 SITE PLAN ADJACENT PROPERTIES
- A102 SIGN PYLON ADN STONE COLUMN DETAILS
- A110 UNIT AND BUILDING AREA SUMMARY
- A120 UNIT TYPE A1 - FLOOR PLANS
- A121 UNIT TYPE A2 - FLOOR PLANS
- A122 UNIT TYPE A3 - FLOOR PLANS
- A201 BLOCK 1 - FLOOR PLANS
- A202 BLOCK 2 - FLOOR PLANS
- A203 BLOCK 3 - FLOOR PLANS
- A204 BLOCK 4 - FLOOR PLANS
- A205 BLOCK 5 - FLOOR PLANS
- A301 TYPICAL STREET FACING ELEVATION
- A302 TYPICAL DRIVE AISLE ELEVATION
- A303 BLOCK 1 - BUILDING ELEVATIONS
- A304 BLOCK 2 - BUILDING ELEVATIONS
- A305 BLOCK 3 - BUILDING ELEVATIONS
- A306 BLOCK 4 - BUILDING ELEVATIONS
- A307 BLOCK 5 - BUILDING ELEVATIONS

- A401 RENDERINGS #1 AND #2
- A402 RENDERINGS #3, #4 AND #5
- A403 RENDERING #6
- A404 RENDERING #7

- L-1 NOTES / PLANT LIST / DETAIL
- L-2 FENCE LAYOUT PLAN / HARD LANDSCAPE PLAN
- L-3 LANDSCAPE PLAN / PLANT LIST
- L-4 LANDSCAPE PLAN / PLANT LIST
- L-5 LANDSCAPE PLAN / PLANT LIST
- L-6 DETAILS

- TOPOGRAPHIC AND TREE SURVEY

- SK-1 CIVIL - PRELIMINARY SERVICING PLAN
- SK-2 CIVIL - PRELIMINARY LOT GRADING PLAN

PROJECT SUMMARY

CIVIC ADDRESS: 2227, 2205, 2195, 2187 KING GEORGE HIGHWAY

LEGAL DESCRIPTION:
 LOT1 SEC14 TWN1 PLAN68617 NWD LEGAL SUBDIVISION15
 LOT12 SEC14 TWN1 PLAN6136 NWD PARCEL A PORTION (EP8204)
 LOT4 SEC14 TWN1 PLAN16306 NWD LEGAL SUBDIVISION10
 LOTB SEC14 TWN1 PLAN13177 NWD

ZONING: EXISTING ZONING: RF
 PROPOSED ZONING: CD (BASED ON RM-15)

SITE AREA:

ORIGINAL SITE AREA =	53,032.8 SF	4,926.9 SM
LESS 1.0M (156TH STREET) ROAD DEDICATION AREA =	-865.7 SF	-80.4 SM
TOTAL SITE AREA =	1.20 ACRES	52,167.1 SF
	0.48 HA	4,846.5 SM

SITE COVERAGE SUMMARY:

BLOCK 1	3,135.0 SF	291.3 SM
BLOCK 2	2,100.2 SF	196.1 SM
BLOCK 3	4,169.7 SF	387.4 SM
BLOCK 4	3,135.0 SF	291.3 SM
BLOCK 5	2,086.8 SF	193.9 SM
TOTAL BUILDING AREA PROPOSED =	14,626.8 SF	1,359.9 SM
PROPOSED SITE COVERAGE =	28.0 %	

DENSITY / FLOOR AREA SUMMARY:

BLOCK 1	6,266.5 SF	582.2 SM
BLOCK 2	4,240.4 SF	393.9 SM
BLOCK 3	8,327.8 SF	773.7 SM
BLOCK 4	6,267.9 SF	582.3 SM
BLOCK 5	4,352.5 SF	404.4 SM
TOTAL FLOOR AREA PROPOSED =	29,455.1 SF	2,736.5 SM
(NOT INCLUDING GARAGE)		
PROPOSED FLOOR AREA RATIO =	0.56	
PROPOSED TOTAL NUMBER OF UNITS =	14 UNITS	
PROPOSED NUMBER OF UNITS/ACRE =	12 UPA	29 UPH

BUILDING SETBACKS:

BLOCK 1			
EAST (KING GEORGE HIGHWAY)	PROPOSED	14.76 FT	4.50 M
WEST (156TH STREET)	PROPOSED	14.76 FT	4.50 M
NORTH	N/A		
SOUTH	N/A		
BLOCK 2			
EAST	N/A		
WEST (156TH STREET)	PROPOSED	14.76 FT	4.50 M
NORTH	N/A		
SOUTH (SIDEYARD)	PROPOSED	9.84 FT	3.00 M
BLOCK 3			
EAST (KING GEORGE HIGHWAY)	PROPOSED	14.76 FT	4.50 M
WEST	N/A		
NORTH	N/A		
SOUTH	N/A		
BLOCK 4			
EAST (KING GEORGE HIGHWAY)	PROPOSED	14.76 FT	4.50 M
WEST	N/A		
NORTH	N/A		
SOUTH (SIDEYARD)	PROPOSED	20.27 FT	6.18 M
BLOCK 5			
EAST	N/A		
WEST	N/A		
NORTH (SIDEYARD)	PROPOSED	16.14 FT	4.92 M
SOUTH (SIDEYARD)	PROPOSED	9.84 FT	3.00 M

BUILDING HEIGHTS:

PROPOSED NUMBER OF STOREYS =	3
PROPOSED BUILDING HEIGHT =	33.50 FT / 10.21 M

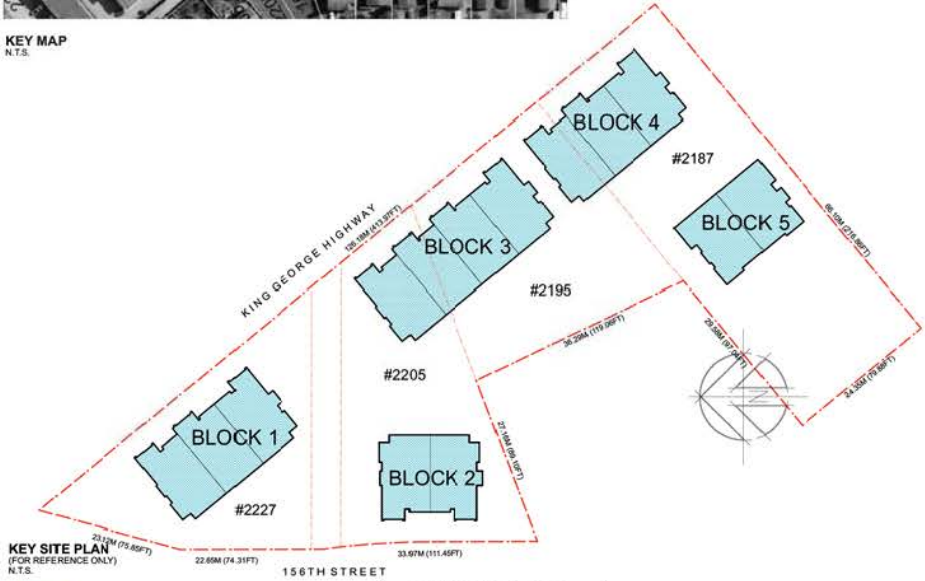
PARKING

TOTAL NUMBER OF DWELLING UNITS = 14
 TOTAL NUMBER OF PARKING STALLS REQD = 1.5 PER UNIT = (14 X 1.5) = 21 STALLS
 TOTAL NUMBER OF PARKING STALLS PROVIDED = 28 STALLS (2 PER DWELLING)
 TOTAL NUMBER OF VISITOR PARKING STALLS REQD = 0.2 PER UNIT = (14 X 0.2) = 3 STALLS
 TOTAL NUMBER OF VISITOR PARKING STALLS PROVIDED = 4 STALLS

AMENITY AREAS

REQUIRED OUTDOOR AMENITY SPACE @ 32SF/UNIT = (32 X 14) =	448.0 SF	41.6 SM
PROPOSED OUTDOOR AMENITY SPACE =	1,580.0 SF	146.8 SM
REQUIRED INDOOR AMENITY SPACE @ 32SF/UNIT = (32 X 14) =	448.0 SF	41.6 SM
PROPOSED INDOOR AMENITY SPACE =	0.0 SF	0.0 SM

(CASH-IN-LIEU)



KEY SITE PLAN
(FOR REFERENCE ONLY)
N.T.S.

G3 ARCHITECTURE INC.
 #3 - 1365 JOHNSTON ROAD
 WHITE ROCK, B.C.
 V4B 3Z1
 TEL: 604-916-8582
 FAX: 604-677-5967
 EMAIL: g3e@g3projects.com

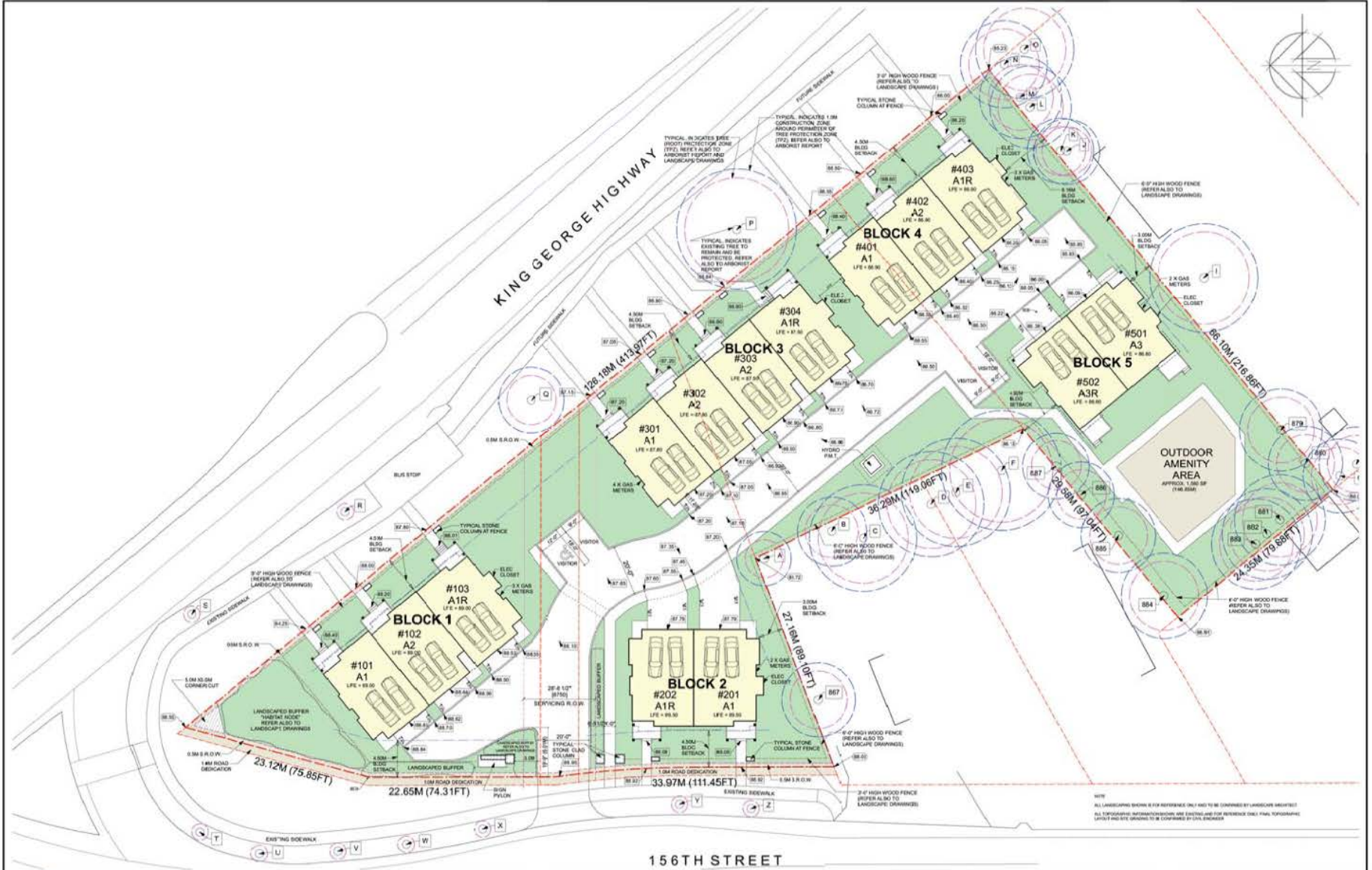
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2227, 2205, 2195, 2187 KING GEORGE HIGHWAY
SURREY, BC

DATE: 16/10/19	SCALE: N.T.S.	DRAWING NO.: A100
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GENERAL PROJECT INFORMATION

DATE: 16/10/19	SCALE: N.T.S.	DRAWING NO.: A100
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NOTE:
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 ALL UTILITIES INFORMATION SHOWN ARE EXISTING AND FOR REFERENCE ONLY. FINAL TYPING/NOTING
 SHOULD BE OBTAINED TO BE CONFIRMED BY UTIL ENGINEER.

156TH STREET

G3 ARCHITECTURE INC.
 #1 - 1365 JOHNSTON ROAD
 WHITE ROCK, B.C.
 V4B 3Z3
 TEL: 604-916-8582
 FAX: 604-677-5967
 EMAIL: gus@g3projects.com

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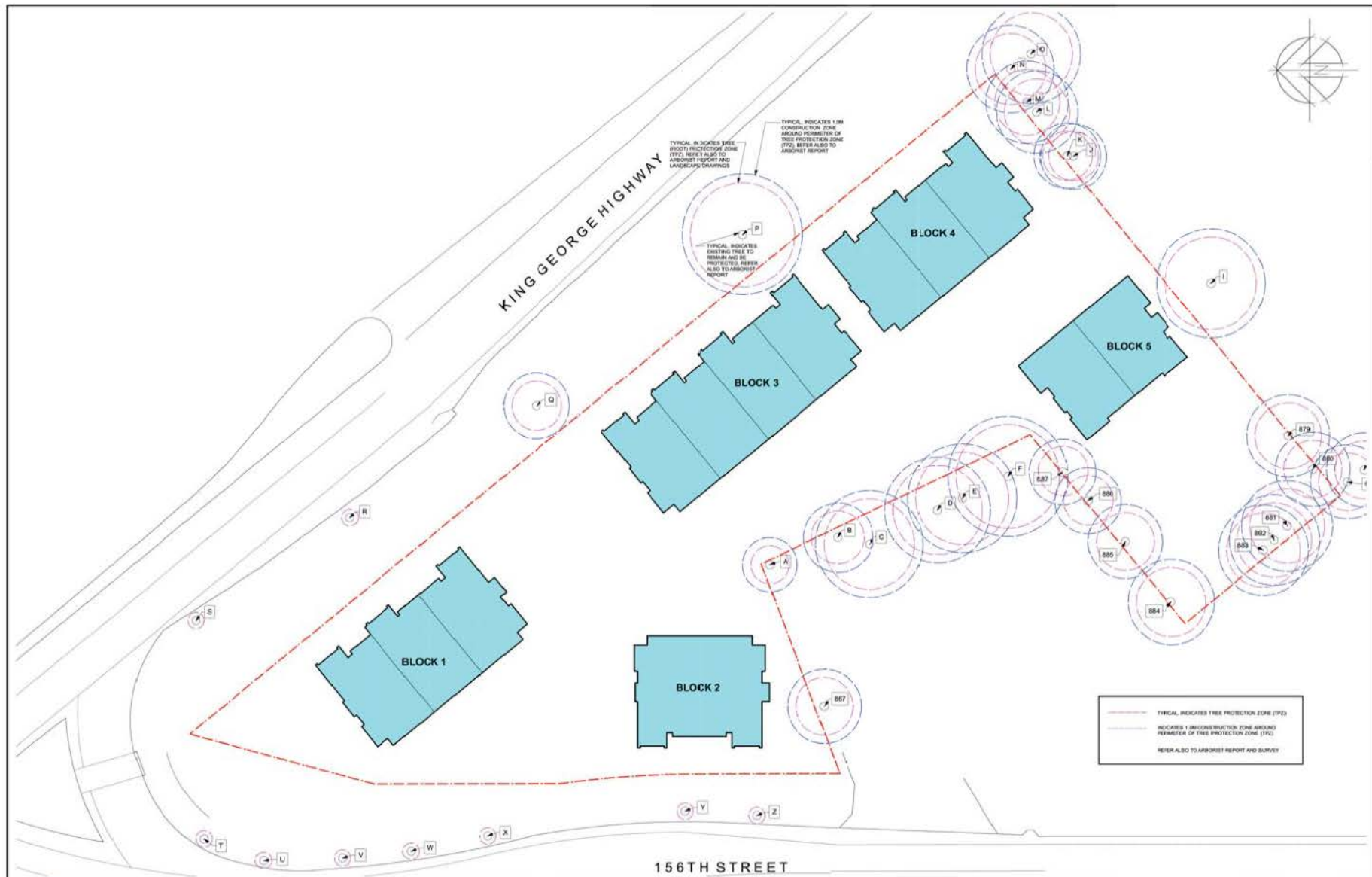
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2227, 2205, 2195, 2187 KING GEORGE HIGHWAY
SURREY, BC

NO.	DESCRIPTION	DATE
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2	ISSUED FOR CONSTRUCTION	
3	ISSUED FOR CONSTRUCTION	
4	ISSUED FOR CONSTRUCTION	
5	ISSUED FOR CONSTRUCTION	
6	ISSUED FOR CONSTRUCTION	
7	ISSUED FOR CONSTRUCTION	
8	ISSUED FOR CONSTRUCTION	
9	ISSUED FOR CONSTRUCTION	
10	ISSUED FOR CONSTRUCTION	

DRAWING NAME:
SITE PLAN

SCALE:
 1/8" = 1'-0"
 DATE:
 16/10/18
 DRAWING NO.:
A101

ISSUED FOR CONSTRUCTION



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 #1 - 1365 JOHNSTON ROAD
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 TEL: 604-916-8582
 FAX: 604-677-5967
 EMAIL: g3@g3projects.com

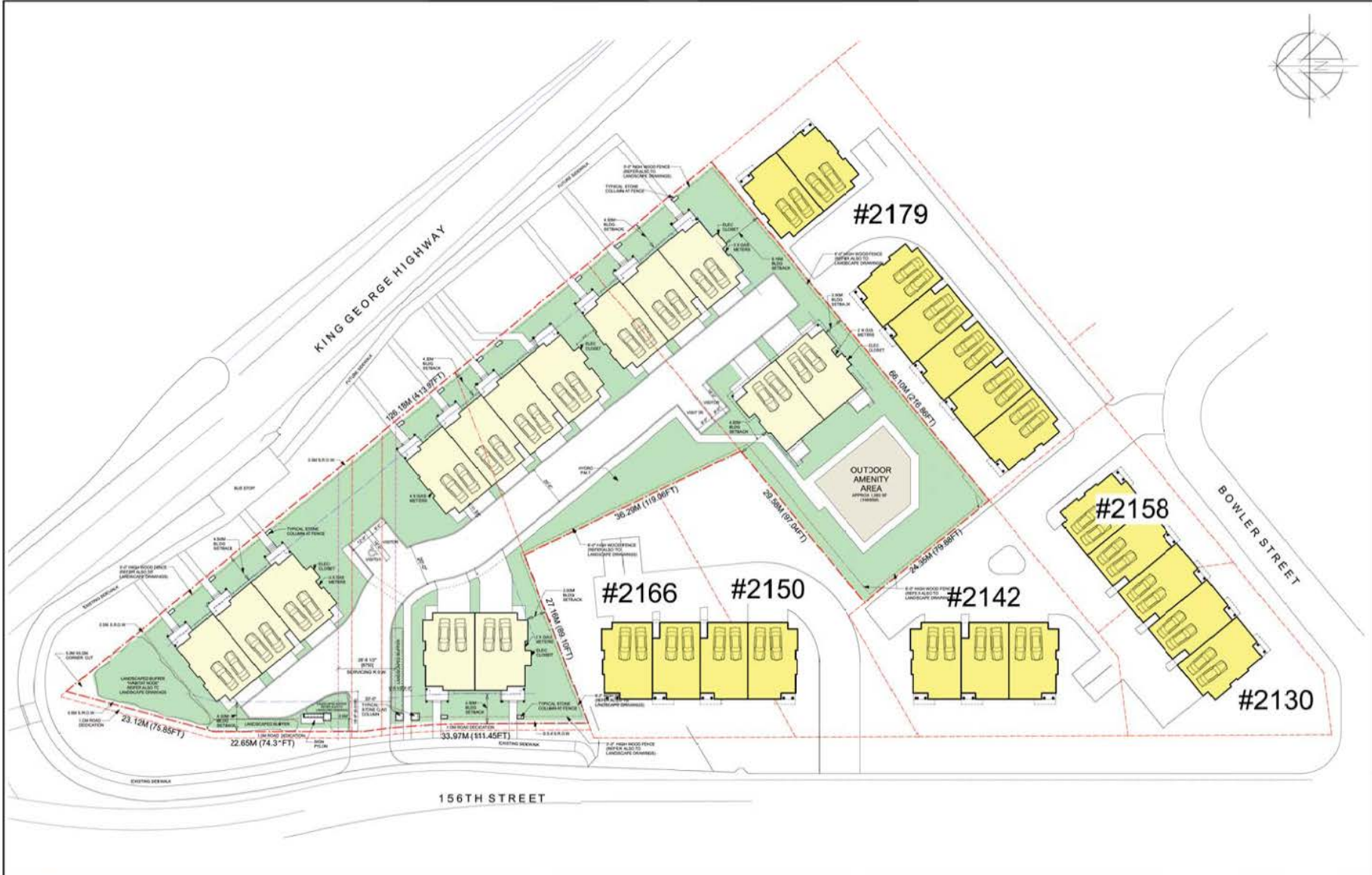
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SURREY, BC

DATE:	16/10/18
SCALE:	1/8" = 1'-0"
DRAWING NO.:	A102

DRAWING NAME:
TREE PROTECTION - SITE PLAN

DATE: 16/10/18
 SCALE: 1/8" = 1'-0"
 DRAWING NO.: A102



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SURREY, BC

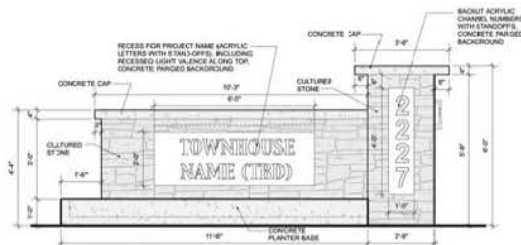
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7	ISSUED FOR PERMIT	16/10/18
8	ISSUED FOR PERMIT	16/10/18
9	ISSUED FOR PERMIT	16/10/18
10	ISSUED FOR PERMIT	16/10/18

DRAWING NAME:
SITE PLAN
ADJACENT PROPERTIES CONCEPTUAL PLANS

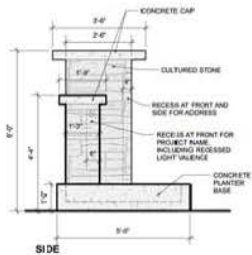
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DATE: 16/10/18	

SIGN PYLON DETAILS

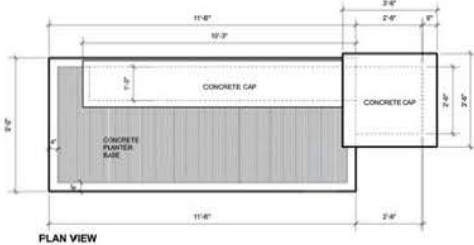
1/4" = 1'-0"



FRONT (FACING STREET)



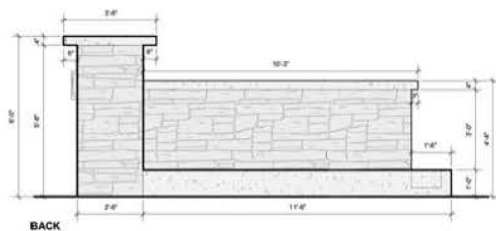
SIDE



PLAN VIEW



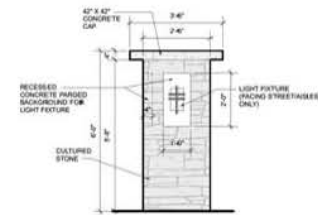
SIDE



BACK

TYPICAL COLUMN DETAILS

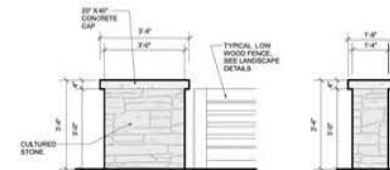
1/4" = 1'-0"



TYPICAL COLUMN SIDE (TYPICAL ALL 4 SIDES)

TYPICAL COLUMN DETAILS AT FENCE/WALKWAYS

1/4" = 1'-0"



TYPICAL COLUMN AT FENCE/PRIVATE WALKWAYS FRONT (BACK SIMILAR)

TYPICAL COLUMN AT FENCE/PRIVATE WALKWAYS SIDES



**SITE PLAN
(FOR REREFERENCE ONLY)**

BLOCK 1		GROUND FLOOR	2ND FLOOR	3RD FLOOR	TOTAL	GARAGE	TOTALS
UNIT #	UNIT TYPE						
101	A1	456.4 SF	813.6 SF	837.5 SF	2,107.5 SF	463.7 SF	2,571.2 SF
102	A2	433.8 SF	788.4 SF	836.8 SF	2,059.0 SF	463.7 SF	2,522.6 SF
102	A1R	448.9 SF	813.6 SF	837.5 SF	2,100.0 SF	463.7 SF	2,563.7 SF
TOTAL NET FLOOR AREA BLOCK 1 =					6,266.5 SF		
TOTAL GARAGE FLOOR AREA BLOCK 1 =						1,391.1 SF	7,657.6 SF
BLOCK 2		GROUND FLOOR	2ND FLOOR	3RD FLOOR	TOTAL	GARAGE	TOTALS
UNIT #	UNIT TYPE						
201	A1	465.5 SF	813.6 SF	837.5 SF	2,116.6 SF	462.9 SF	2,579.5 SF
202	A1R	472.7 SF	813.6 SF	837.5 SF	2,123.8 SF	462.9 SF	2,586.7 SF
TOTAL NET FLOOR AREA BLOCK 2 =					4,240.4 SF		
TOTAL GARAGE FLOOR AREA BLOCK 2 =						925.9 SF	5,166.2 SF
BLOCK 3		GROUND FLOOR	2ND FLOOR	3RD FLOOR	TOTAL	GARAGE	TOTALS
UNIT #	UNIT TYPE						
301	A1	456.4 SF	813.6 SF	837.5 SF	2,107.5 SF	463.7 SF	2,571.2 SF
302	A2	433.8 SF	788.4 SF	837.8 SF	2,059.9 SF	463.7 SF	2,523.6 SF
303	A2	433.8 SF	788.4 SF	837.8 SF	2,059.9 SF	463.7 SF	2,523.6 SF
304	A1R	449.3 SF	813.6 SF	837.5 SF	2,100.4 SF	463.7 SF	2,564.1 SF
TOTAL NET FLOOR AREA BLOCK 3 =					8,327.3 SF		
TOTAL GARAGE FLOOR AREA BLOCK 3 =						1,854.8 SF	10,182.6 SF
BLOCK 4		GROUND FLOOR	2ND FLOOR	3RD FLOOR	TOTAL	GARAGE	TOTALS
UNIT #	UNIT TYPE						
401	A1	456.4 SF	813.6 SF	837.5 SF	2,107.5 SF	463.7 SF	2,571.2 SF
402	A2	433.8 SF	788.4 SF	837.8 SF	2,059.9 SF	463.7 SF	2,523.6 SF
403	A1R	449.3 SF	813.6 SF	837.5 SF	2,100.4 SF	463.7 SF	2,564.1 SF
TOTAL NET FLOOR AREA BLOCK 4 =					6,267.9 SF		
TOTAL GARAGE FLOOR AREA BLOCK 4 =						1,391.1 SF	7,659.0 SF
BLOCK 5		GROUND FLOOR	2ND FLOOR	3RD FLOOR	TOTAL	GARAGE	TOTALS
UNIT #	UNIT TYPE						
501	A3	512.8 SF	806.3 SF	853.6 SF	2,172.7 SF	462.5 SF	2,635.2 SF
502	A3R	519.9 SF	806.3 SF	853.6 SF	2,179.8 SF	462.5 SF	2,642.3 SF
TOTAL NET FLOOR AREA BLOCK 5 =					4,352.5 SF		
TOTAL GARAGE FLOOR AREA BLOCK 5 =						925.0 SF	5,277.5 SF
TOTAL NET FLOOR AREA =					29,455.0 SF		
TOTAL GARAGE FLOOR AREA =						6,487.9 SF	
TOTAL GROSS FLOOR AREA =							35,942.9 SF

G3 ARCHITECTURE INC.
 #1 - 1365 JOHNSTON ROAD
 WHITE ROCK, B.C.
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 EMAIL: gus@g3projects.com

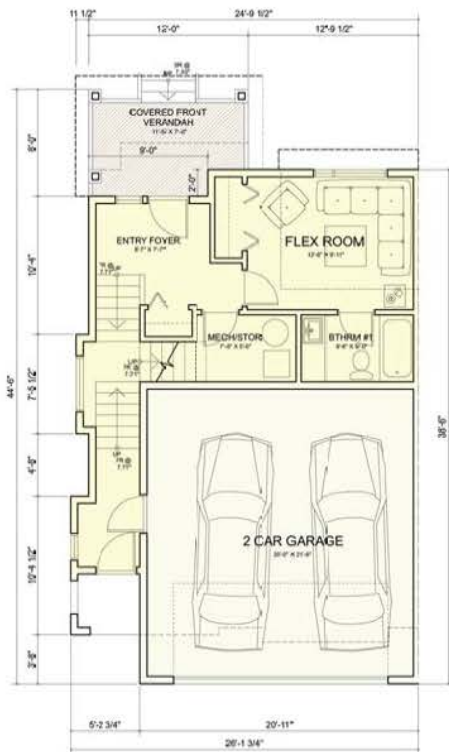
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SURREY, BC

DATE: 16/10/18	SCALE: N.T.S.	DRAWING NO.: A110
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DRAWING NAME:
UNIT AND BUILDING AREA SUMMARY

DATE: 16/10/18	SCALE: N.T.S.	DRAWING NO.: A110
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DATE	16/10/18
SCALE	1/8" = 1'-0"
DRAWING NO.	A120

DRAWING NAME:
UNIT TYPE A1 FLOOR PLANS

SCALE	1/8" = 1'-0"
DATE	16/10/18
DRAWING NO.	A120



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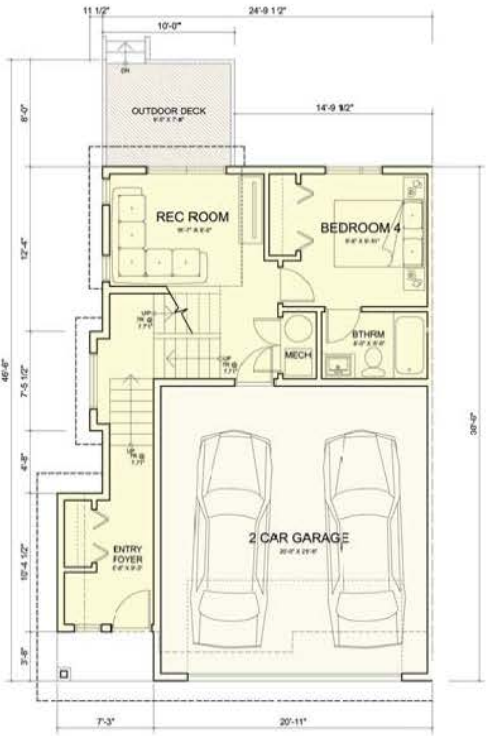
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2227, 2205, 2195, 2187 KING GEORGE HIGHWAY
SURREY, BC

DATE	DESCRIPTION
16/10/18	ISSUED FOR PERMIT
16/10/18	ISSUED FOR CONSTRUCTION
16/10/18	ISSUED FOR MARKETING
16/10/18	ISSUED FOR SALES
16/10/18	ISSUED FOR FINANCING
16/10/18	ISSUED FOR LEASING
16/10/18	ISSUED FOR RENTALS
16/10/18	ISSUED FOR OCCUPANCY
16/10/18	ISSUED FOR ARCHIVE

DRAWING NAME:
UNIT TYPE A2 FLOOR PLANS

SCALE:	1/8" = 1'-0"	DRAWING NO.:	A121
DATE:	16/10/18		



GROUND FLOOR



MAIN FLOOR



UPPER FLOOR

G3 ARCHITECTURE INC.
 #3 - 1365 JOHNSTON ROAD
 WHITE ROCK, B.C.
 V4B 3Z3
 TEL: 604-916-8582
 FAX: 604-677-5967
 EMAIL: g3@g3projects.com

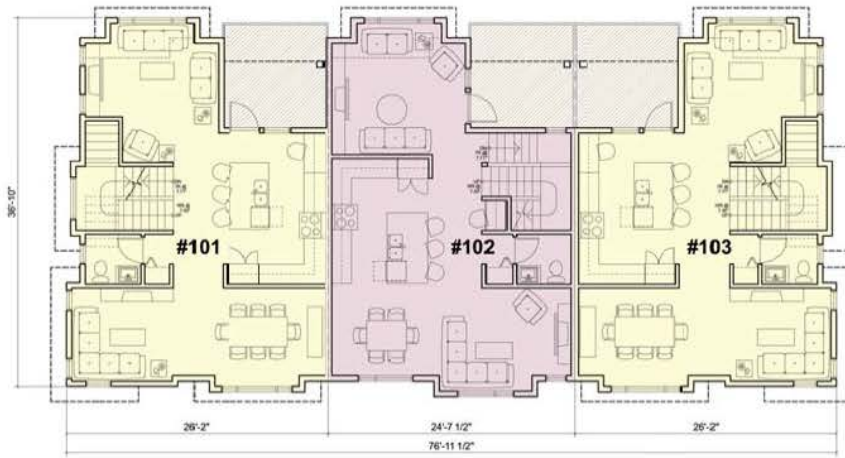
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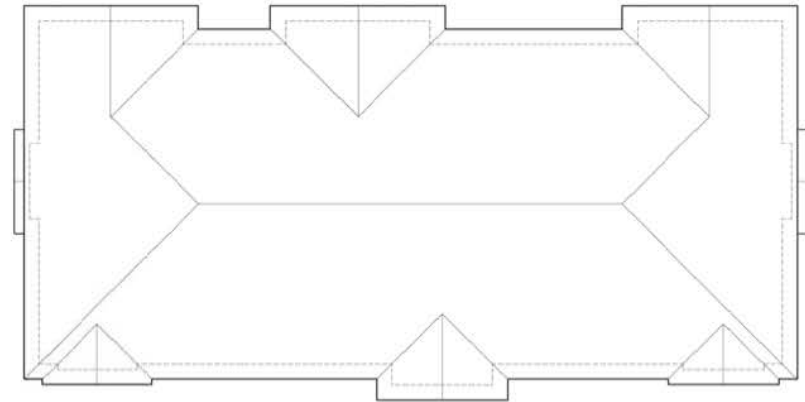
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DRAWN BY:	
CHECKED BY:	
DATE:	
SCALE:	
PROJECT NO.:	
DRAWING NO.:	

DRAWING NAME:
UNIT TYPE A3 FLOOR PLANS

SCALE:	1/8" = 1'-0"	DRAWING NO.:	A122
DATE:	16/10/18		



MAIN FLOOR



ROOF PLAN



GROUND FLOOR



UPPER FLOOR

G3 ARCHITECTURE INC.
 #1 - 1365 JOHNSTON ROAD
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 TEL: 604-916-8582
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2227, 2205, 2195, 2187 KING GEORGE HIGHWAY
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4	ISSUED FOR CONSTRUCTION	
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6	ISSUED FOR CONSTRUCTION	
7	ISSUED FOR CONSTRUCTION	
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10	ISSUED FOR CONSTRUCTION	

DRAWING NAME:
BLOCK 1
FLOOR PLANS

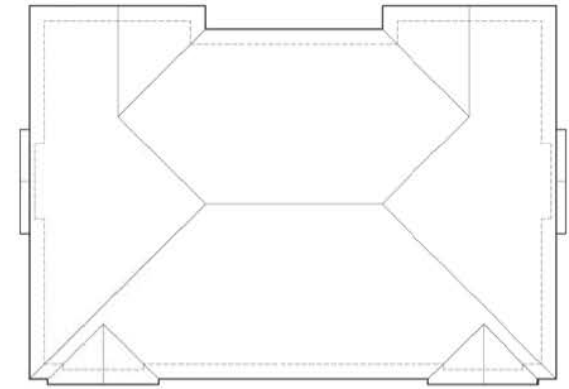
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 DATE:
 16/10/18

DRAWING NO.:
A201

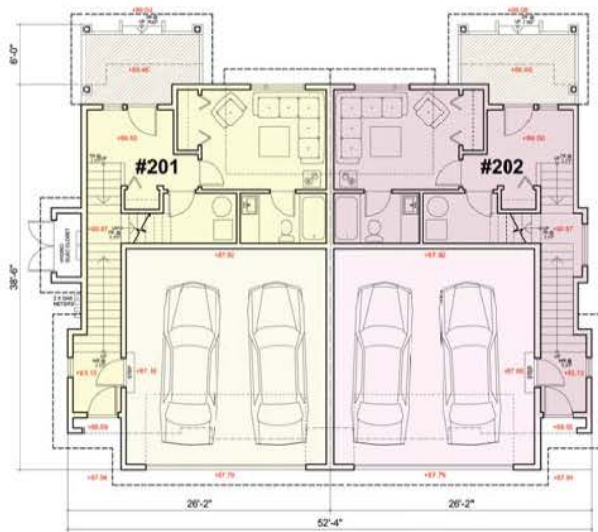
10/2018



MAIN FLOOR



ROOF PLAN



GROUND FLOOR



UPPER FLOOR

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 #1 - 1365 JOHNSTON ROAD
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 V4B 3Z3
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SURREY, BC

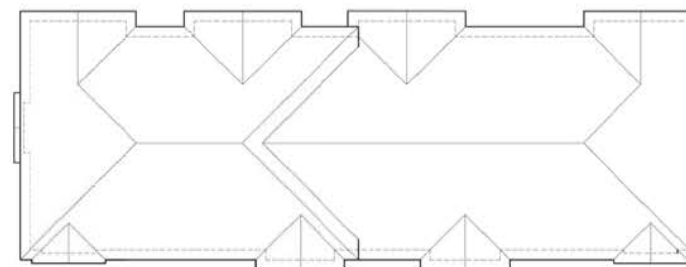
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SCALE:	3/32" = 1'-0"
DRAWING NO.:	A202

DRAWING NAME:
BLOCK 2 FLOOR PLANS

SCALE:	3/32" = 1'-0"	DRAWING NO.:	A202
DATE:	19/10/18		



MAIN FLOOR



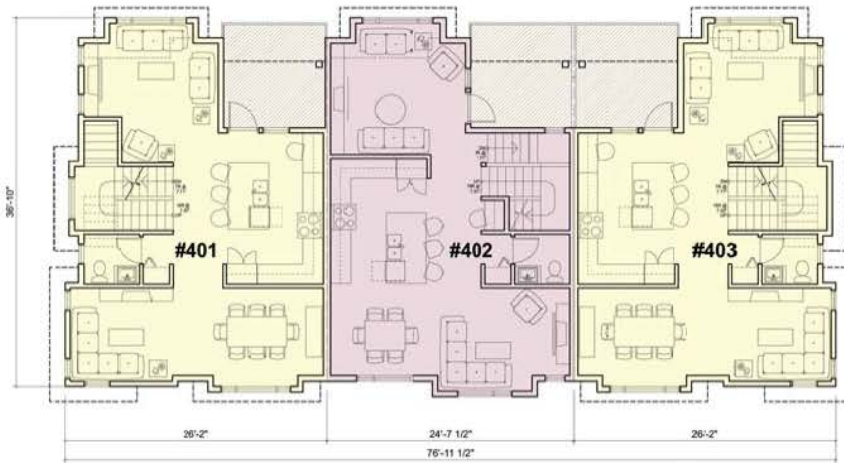
ROOF PLAN



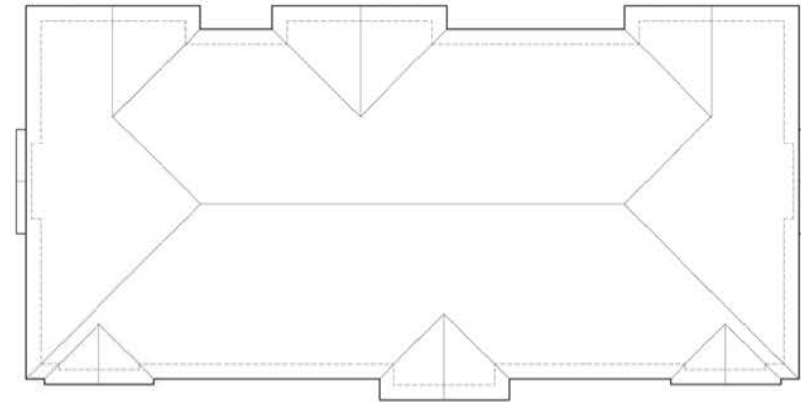
GROUND FLOOR



UPPER FLOOR



MAIN FLOOR



ROOF PLAN



GROUND FLOOR



UPPER FLOOR

G3 ARCHITECTURE INC.
 #3 - 1365 JOHNSTON ROAD
 WHITE ROCK, B.C.
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2227, 2205, 2195, 2187 KING GEORGE HIGHWAY
SURREY, BC

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2	ISSUED FOR CONSTRUCTION	
3	ISSUED FOR RECORD	

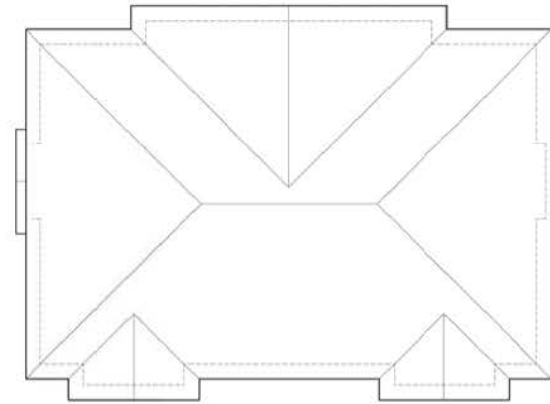
DRAWING NAME:
BLOCK 4
FLOOR PLANS

SCALE:
 3/32" = 1'-0"
 DATE:
 16/10/18

DRAWING NO.:
A204



MAIN FLOOR



ROOF PLAN



GROUND FLOOR



UPPER FLOOR

G3 ARCHITECTURE INC.
 #3 - 1365 JOHNSTON ROAD
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 V4B 3Z3
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 FAX: 604-677-5967
 EMAIL: gus@g3projects.com

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RESIDENTIAL TOWNHOUSE DEVELOPMENT
2227, 2205, 2195, 2187 KING GEORGE HIGHWAY
SURREY, BC

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	16/10/18
2	ISSUED FOR CONSTRUCTION	
3	ISSUED FOR AS-BUILT	
4	ISSUED FOR RECORD	

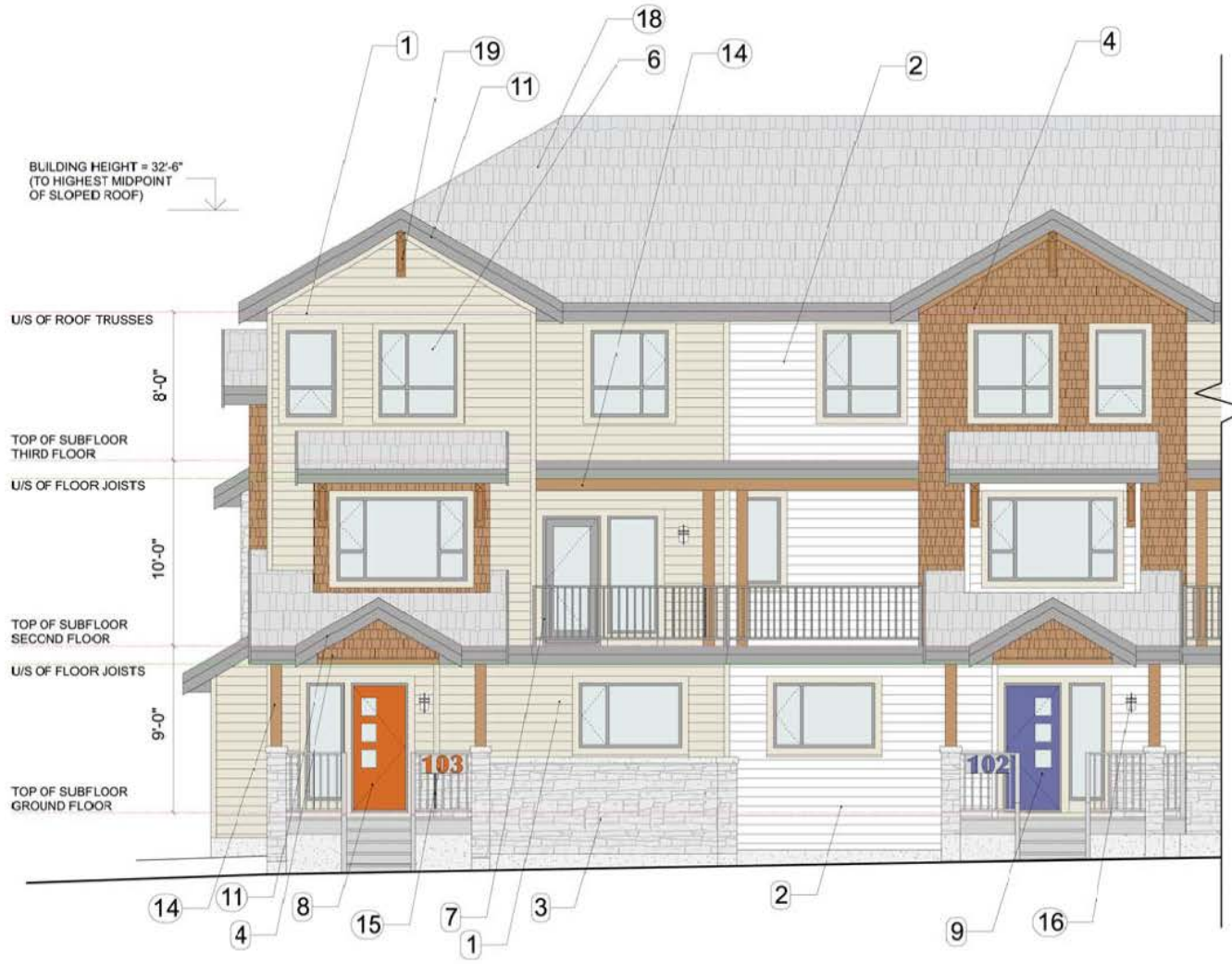
DRAWING NAME:
BLOCK 5
FLOOR PLANS

SCALE:
 3/32" = 1'-0"
 DATE:
 16/10/18

DRAWING NO.:
A205

EXTERIOR FINISHES:

- ① HARDIEPLANK LAP SIDING
SELECT CEDARMILL
COLOR: AUTUMN TAN
- ② HARDIEPLANK LAP SIDING
SELECT CEDARMILL
COLOR: ARTIC WHITE
- ③ OWENS CORNING CULTURED STONE
BLACK RUN DLE COUNTRY LEDGESTONE CSV-391272
- ④ HARDIESHINGLE SIDING
STRAIGHT EDGE PANEL
COLOR: CHESTNUT BROWN
- ⑤ HARDIESHINGLE SIDING
STRAIGHT EDGE PANEL
COLOR: ARTIC WHITE
- ⑥ BLACK ANODIZED ALUMINUM FRAMES AT DOJBLE
GLAZED WINDOWS AND DOORS, CLEAR GLAZING
- ⑦ BLACK POWDER COATED ALUMINUM GUARDRAIL
- ⑧ PAINTED FRONT ENTRY DOOR W/GLASS LITES
RED COLOR: GENERAL PAINT CLC1288N, BULLS EYE
- ⑨ PAINTED FRONT ENTRY DOOR W/GLASS LITES
BLUE COLOR: GENERAL PAINT CL2347N , RAVINE
- ⑩ WOOD TRIM, PAINT FINISH, COLOR: BLACK
- ⑪ BUILT-UP WOOD FASCIA/TRIM,
PAINT FINISH, COLOR: BLACK
- ⑫ GARAGE DOOR, SMOOTH SLAB PANELS C/W GLAZED
LITES, PAINT FINISH: BLACK COLOR
- ⑬ SOFFIT - CLEAR STAINED NATURAL T&G FIR WITH
PREFINISHED BLACK PERFORATED VENTING
- ⑭ CLEAR STAINED NATURAL FIR COLUMNS/BEAMS
- ⑮ RAISED ACRYLIC UNIT IDENTIFICATION NUMBERS
- ⑯ DECORATIVE EXTERIOR WALL SCNCE LIGHT
FIXTURE
- ⑰ PHOTOCCELL SECURITY WALL MOUNT SPOTLIGHT
FIXTURE
- ⑱ ROOF - IKO CAMBRIDGE LAMINATE FIBERGLASS
ASPHALT SHINGLES, DUAL BLACK
- ⑲ DECORTIVE ROOF BRACKET



PARTIAL BLOCK 1 EAST ELEVATION - (FACING KING GEORGE HIGHWAY)
(NOTE: ALL OTHER BLOCKS AND SIDE ELEVATIONS SIMILAR)

G3 ARCHITECTURE INC.
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RESIDENTIAL TOWNHOUSE DEVELOPMENT
2227, 2205, 2195, 2187 KING GEORGE HIGHWAY
SURREY, BC

DATE:	16/10/18
SCALE:	3/8" = 1'-0"
DRAWING NO.:	A301

TYPICAL STREET FACING ELEVATION

SCALE:	3/8" = 1'-0"
DATE:	16/10/18
DRAWING NO.:	A301

EXTERIOR FINISHES:

- ① HARDIEPLANK LAP SIDING
SELECT CEDARMILL
COLOR: AUTUMN TAN
- ② HARDIEPLANK LAP SIDING
SELECT CEDARMILL
COLOR: ARTIC WHITE
- ③ OWENS CORNING CULTURED STONE
BLACK RUN DLE COUNTRY LEDGESTONE CSV-391272
- ④ HARDIESHINGLE SIDING
STRAIGHT EDGE PANEL
COLOR: CHESTNUT BROWN
- ⑤ HARDIESHINGLE SIDING
STRAIGHT EDGE PANEL
COLOR: ARTIC WHITE
- ⑥ BLACK ANODIZED ALUMINUM FRAMES AT DOJBLE
GLAZED WINDOWS AND DOORS, CLEAR GLAZING
- ⑦ BLACK POWDER COATED ALUMINUM GUARDRAIL
- ⑧ PAINTED FRONT ENTRY DOOR W/GLASS LITES
RED COLOR: GENERAL PAINT CLC1288N, BULLS EYE
- ⑨ PAINTED FRONT ENTRY DOOR W/GLASS LITES
BLUE COLOR: GENERAL PAINT CL2347N , RAVINE
- ⑩ WOOD TRIM, PAINT FINISH, COLOR: BLACK
- ⑪ BUILT-UP WOOD FASCIA/TRIM,
PAINT FINISH, COLOR: BLACK
- ⑫ GARAGE DOOR, SMOOTH SLAB PANELS C/W GLAZED
LITES, PAINT FINISH: BLACK COLOR
- ⑬ SOFFIT - CLEAR STAINED NATURAL T&G FIR WITH
PREFINISHED BLACK PERFORATED VENTING
- ⑭ CLEAR STAINED NATURAL FIR COLUMNS/BEAMS
- ⑮ RAISED ACRYLIC UNIT IDENTIFICATION NUMBERS
- ⑯ DECORATIVE EXTERIOR WALL SCNCE LIGHT
FIXTURE
- ⑰ PHOTOCCELL SECURITY WALL MOUNT SPOTLIGHT
FIXTURE
- ⑱ ROOF - IKO CAMBRIDGE LAMINATE FIBERGLASS
ASPHALT SHINGLES, DUAL BLACK
- ⑲ DECORTIVE ROOF BRACKET



PARTIAL BLOCK 1 WEST ELEVATION - (FACING DRIVE AISLE)
(NOTE: ALL OTHER BLOCKS AND SIDE ELEVATIONS SIMILAR)



SOUTH ELEVATION (SIDE)



**WEST ELEVATION
[FACING DRIVE AISLE]**



NORTH ELEVATION (SIDE)



**EAST ELEVATION
[FACING KING GEORGE HIGHWAY]**

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RESIDENTIAL TOWNHOUSE DEVELOPMENT
2227, 2205, 2195, 2187 KING GEORGE HIGHWAY
SURREY, BC

DATE: 14/10/18
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

DRAWING NAME:
**BLOCK 1
 BUILDING ELEVATIONS**

SCALE:
 3/32" = 1'-0"

DATE:
 14/10/18

DRAWING NO.:
A303

ISSUE: 0001



**NORTH ELEVATION
(FACING DRIVE AISLE)**



**WEST ELEVATION
(FACING DRIVE AISLE)**



SOUTH ELEVATION



**EAST ELEVATION
(FACING 156TH STREET)**

G3 ARCHITECTURE INC.
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RESIDENTIAL TOWNHOUSE DEVELOPMENT
2227, 2205, 2195, 2187 KING GEORGE HIGHWAY
SURREY, BC

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	16/10/18
2	ISSUED FOR CONSTRUCTION	
3	ISSUED FOR AS-BUILT	
4	ISSUED FOR FINAL REVIEW	
5	ISSUED FOR ARCHIVE	

DRAWING NAME:
**BLOCK 2
 BUILDING ELEVATIONS**

SCALE:
 3/32" = 1'-0"
 DATE:
 16/10/18

DRAWING NO.:
A304



SOUTH ELEVATION (SIDE)

**WEST ELEVATION
(FACING DRIVE AISLE)**



NORTH ELEVATION (SIDE)



**EAST ELEVATION
(FACING KING GEORGE HIGHWAY)**



G3 ARCHITECTURE INC.
 #1 - 1365 JOHNSTON ROAD
 WHITE ROCK, B.C.
 V4B 3Z3
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RESIDENTIAL TOWNHOUSE DEVELOPMENT
2227, 2205, 2195, 2187 KING GEORGE HIGHWAY
SURREY, BC

DATE	DESCRIPTION

DRAWING NAME:
**BLOCK 3
 BUILDING ELEVATIONS**

SCALE:
3/32" = 1'-0"
 DATE:
16/10/18

DRAWING NO.:
A305



SOUTH ELEVATION (SIDE)



**WEST ELEVATION
[FACING DRIVE AISLE]**



NORTH ELEVATION (SIDE)



**EAST ELEVATION
[FACING KING GEORGE HIGHWAY]**

G3 ARCHITECTURE INC.
 #1 - 1365 JOHNSTON ROAD
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RESIDENTIAL TOWNHOUSE DEVELOPMENT
2227, 2205, 2195, 2187 KING GEORGE HIGHWAY
SURREY, BC

DATE: 15/10/18	SCALE: 3/8" = 1'-0"	DRAWING NO.: A306
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DRAWING NAME:
BLOCK 4 BUILDING ELEVATIONS

DATE: 15/10/18	SCALE: 3/8" = 1'-0"	DRAWING NO.: A306
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SOUTH ELEVATION (SIDE)



**WEST ELEVATION
(FACING DRIVE AISLE)**



NORTH ELEVATION (SIDE)



**EAST ELEVATION
(FACING 156TH STREET)**

G3 ARCHITECTURE INC.
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RESIDENTIAL TOWNHOUSE DEVELOPMENT
2227, 2205, 2195, 2187 KING GEORGE HIGHWAY
SURREY, BC

NO.	DESCRIPTION	DATE
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2	ISSUED FOR CONSTRUCTION	
3	ISSUED FOR AS-BUILT	
4	ISSUED FOR RECORD	

DRAWING NAME:
**BLOCK 5
 BUILDING ELEVATIONS**

SCALE:
 3/32" = 1'-0"
 DATE:
 16/10/18

DRAWING NO.:
A307

ISSUE: 10/18



RENDERING #1
VIEW FROM NORTHWEST AT INTERSECTION OF KING GEORGE HIGHWAY AND 156TH STREET



RENDERING #2
VIEW FROM SOUTHWEST ALONG 156TH STREET

G3 ARCHITECTURE INC.
 43 - 1365 JOHNSTON ROAD
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 V4B 3Z1
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RESIDENTIAL TOWNHOUSE DEVELOPMENT
 2227, 2205, 2195, 2187 KING GEORGE HIGHWAY
 SURREY, BC

NO. 001	DATE
NO. 002	DATE
NO. 003	DATE
NO. 004	DATE
NO. 005	DATE
NO. 006	DATE
NO. 007	DATE
NO. 008	DATE
NO. 009	DATE
NO. 010	DATE
NO. 011	DATE
NO. 012	DATE
NO. 013	DATE
NO. 014	DATE
NO. 015	DATE
NO. 016	DATE
NO. 017	DATE
NO. 018	DATE
NO. 019	DATE
NO. 020	DATE

DRAWING NAME:
RENDERINGS #1 AND #2

SCALE:	1/8" = 1'-0"	DRAWING NO.:	A401
DATE:			

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RENDERING #3
VIEW FROM SOUTH ALONG KING GEORGE HIGHWAY



RENDERING #5
VIEW FROM SOUTH WEST CORNER



RENDERING #4
VIEW FROM NORTH ALONG KING GEORGE HIGHWAY



G3 ARCHITECTURE INC.
43 - 1365 JOHNSTON ROAD
WHITE ROCK, B.C.
V4B 3Z3
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RESIDENTIAL TOWNHOUSE DEVELOPMENT
2227, 2205, 2195, 2187 KING GEORGE HIGHWAY
SURREY, BC

NO.	DATE	DESCRIPTION

DRAWING NAME:
RENDERINGS #3, #4 AND #5

SCALE:	ALT. T.S.	DRAWING NO.:
DATE:	16/07/18	A402



RENDERING #6
AERIAL VIEW FROM NORTHEAST



G3 ARCHITECTURE INC.
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 V4B 3Z3
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RESIDENTIAL TOWNHOUSE DEVELOPMENT
2227, 2205, 2195, 2187 KING GEORGE HIGHWAY
SURREY, BC

NO.	DATE	DESCRIPTION

DRAWING NAME:
RENDERINGS #6

SCALE:
 1/4" = 1'-0"
 DATE:
 18/02/22

DRAWING NO.:
A403



RENDERING #7
AERIAL VIEW FROM WEST

G3 ARCHITECTURE INC.
43 - 1365 JOHNSTON ROAD
WHITE ROCK, B.C.
V4B 3Z1
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FAX: 604-677-5967
EMAIL: gus@g3projects.com

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RESIDENTIAL TOWNHOUSE DEVELOPMENT
2227, 2205, 2195, 2187 KING GEORGE HIGHWAY
SURREY, BC

10/001	FINAL ARCHITECTURE DESIGN
10/002	PRELIMINARY DESIGN
10/003	PRELIMINARY DESIGN
10/004	PRELIMINARY DESIGN
10/005	PRELIMINARY DESIGN
10/006	PRELIMINARY DESIGN
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10/100	PRELIMINARY DESIGN

DRAWING NAME:
RENDERINGS #7

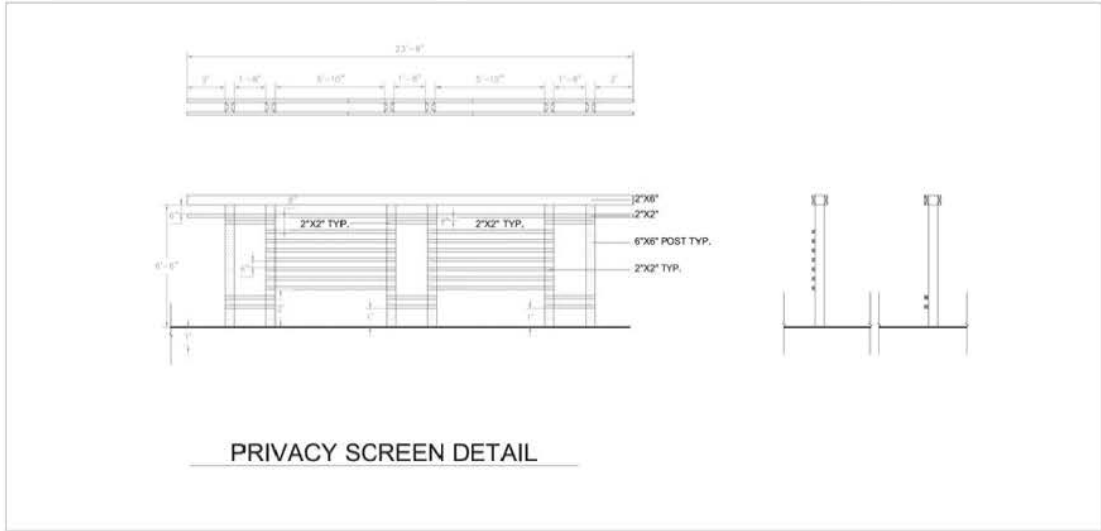
SCALE:	N.T.S.	DRAWING NO.:	A404
DATE:	15/02/22		

PLANT LIST					
Quantity	Symbols	Botanical Name	Common Name	Size	Spacing
Trees					
21	A	Prunus 'vedensis Akebono'	Akebono Flowering Cherry	6cm cal B&B	as shown
7	B	Acer circ-natum	Vine Maple	5cm cal B&B	as shown
6	C	Magnolia steeleii	Star Magnolia	6cm cal B&B	as shown
4	D	Cornus mas	Corallian Cherry Dogwood	5cm cal B&B	as shown
1	E	Cercidiphyllum japonica	Katsura	7cm cal B&B	as shown
5	F	Pinus nigra	Austrian Black Pine	3m High, B&B	as shown
2	G	Fraxinus excelsior 'Golden Desert'	Golden Desert Ash	7cm cal B&B	as shown
0	H	Prunus sibirica 'Amanogawa'	Amanogawa Cherry	5cm cal B&B	as shown
13	I	Pseudotsuga menziesii	Douglas Fir	3m High, B&B	as shown
1	J	Tsuga heterophylla	Western Hemlock	3m High, B&B	as shown
Shrubs, Perennials & Grasses					
83	a	Azalea japonica 'Ward's Ruby'	Eve green Azalea	# 2 pot	as shown
85	b	Azalea japonica 'Diamant Rot'	Eve green Azalea	# 2 pot	as shown
9	c	Azalea x burii 'Klondyke'	Deciduous Azalea	# 2 pot	as shown
53	d	Buxus microphylla 'Winter Gem'	Asian Boxwood	# 3 pot, min. 2' high	as shown
49	e	Erica x darleyensis 'Silberschmelze'	White Bell	# 1 pot	as shown
61	f	Erica x darleyensis 'Mediterranean Pink'	Mediterranean Pink Heather	# 1 pot	as shown
230	g	Taxus x media 'Hicksii'	Hick's Yew	B&B 4' High	as shown
129	h	Carex morrowii 'Aureovariegata'	Variiegated Sedge	# 1 pot	as shown
53	i	Helictotrichon sempervirens	Blue Oat Grass	# 2 pot	as shown
55	j	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	5' high, B & B, trim top flat	as shown
108	k	Thuja sibirica 'Night of Butterflies'	Siberian Fir	# 2 pot	as shown
12	l	Cornus stricta	Redwing Dogwood	# 2 pot	as shown
49	m	Osmanthus heterophyllus 'Variegatus'	Variiegated False Holly	# 2 pot	as shown
13	n	Nandina domestica	Heavenly Bamboo	# 3 pot	as shown
83	o	Festuca idahoensis	Idaho Blue Fescue	# 1 pot	as shown
17	p	Rhododendron 'Mary Fleming'	Rhododendron	# 2 pot	as shown
22	q	Rhododendron 'Purple Splendor'	Rhododendron	# 2 pot	as shown
19	r	Rose mediana 'La Sevillana'	Rose	# 2 pot	as shown
0	s	Clematis armandi	Eve green Clematis	# 3 pot	as shown
52	t	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	5' high, B & B, trim top flat	as shown
13	u	Calamagrostis x acutiflora 'Karl Foerster'	Foerster's Reed Grass	# 3 pot	as shown
53	v	Hemerocallis 'Black-eyed Stella'	Day Lily	# 1 pot	as shown
344	w	Polystichum munifolium	Western Sword Fern	# 1 pot	as shown
201	x	Mahonia aquifolium 'Compacta'	Dwarf Oregon Grape	# 2 pot	as shown
107	y	Carex glauca	Blue Sedge	# 1 pot	as shown
862	z	Arctostaphylos uva-ursi 'Vancouver Jade'	Kinnikinnick	# 1 pot 18" O.C.	as shown

Total 60 replacement trees proposed

NOTES:

- Maintain min. 2% slope away from building.
- All plants and landscape installation to conform to BCSLA Landscape Standards Latest Edition.
- All growing medium to be tested by PSAI (604-273-8226) and amended accordingly if necessary, and to be tested again at Substantial Completion.
- Minimum planting medium depths:
lawn-4"150mm, 9" on slab
groundcover &
shrubs-18"450mm, min 18" on slab
trees-12"300mm, all around the rootball, 24" small trees on slab, 30" medium sized trees on slab
For detailed info see specifications
- Growing medium shall conform to Level 1 Low Traffic Lawn Area, Trees and Large Shrubs (2L/ Table 6-3, 2012 BCLNA Standards)
- All plant material shall meet minimum size requirements as indicated in plant list.
- Trees planted in lawn areas to have 1 m dia. mulched ring.
- Make sure twine around rootballs to be cut and removed to prevent girdling.
- All proposed trees should be planted min. 3 m away from building foundation or face of buildings or retaining walls.
- Install min. 2" of composted bark mulch on all shrub beds after planting and rake smooth. Mulch to be "9.5mm screened composted bark mulch".
- Contractor to ensure all plant material delivered to site is from nurseries certified to be free from the Phytophthora ramorum virus (Sudden Oak Death).
- Contractor to report any discrepancies in plant numbers immediately to Landscape Architect.
- All on-site landscape to be irrigated with an automatic irrigation system.



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DATE	REVISION
Oct. 16	SP SUBMISSION

JHL Design Group Inc.
Landscape Architecture + Urban Design

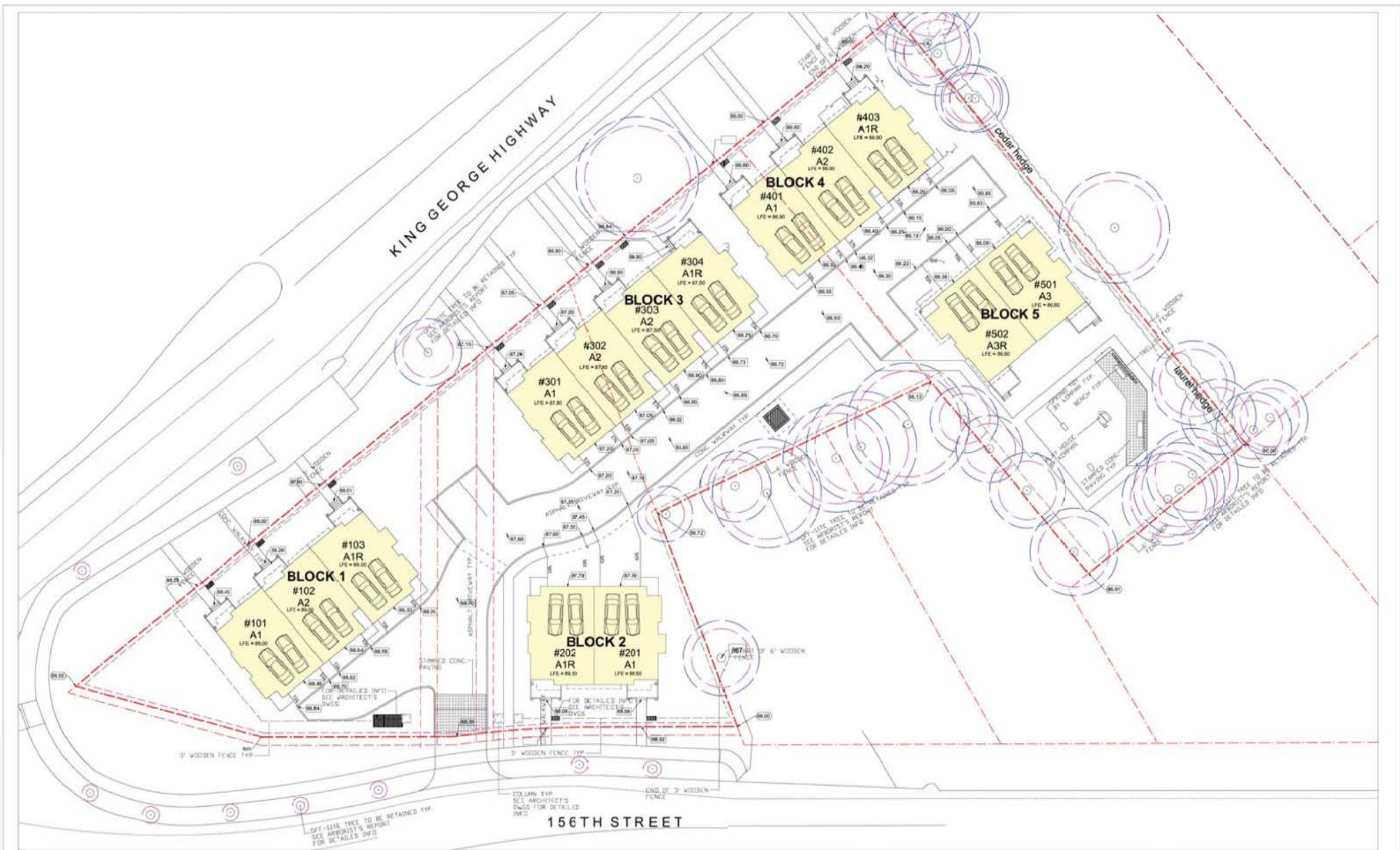
4370, Maple Street, Vancouver, BC
Tel: 604-463-8613
Fax: 1-866-277-9204
Email: jhl@jhlinc.ca

SCALE
3/8"=1'-0"
DAY: Oct. 16
DRAWN
APP NO.

PROJECT TITLE
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
2227-2187 KING GEORGE HIGHWAY
SURREY, BC

DRAWING TITLE
NOTES/ PLANT LIST/ DETAILS

L-1



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DATE	REVISIONS
Oct. 16	DP SUBMISSION

JHL Design Group Inc.
Landscape Architecture + Urban Design

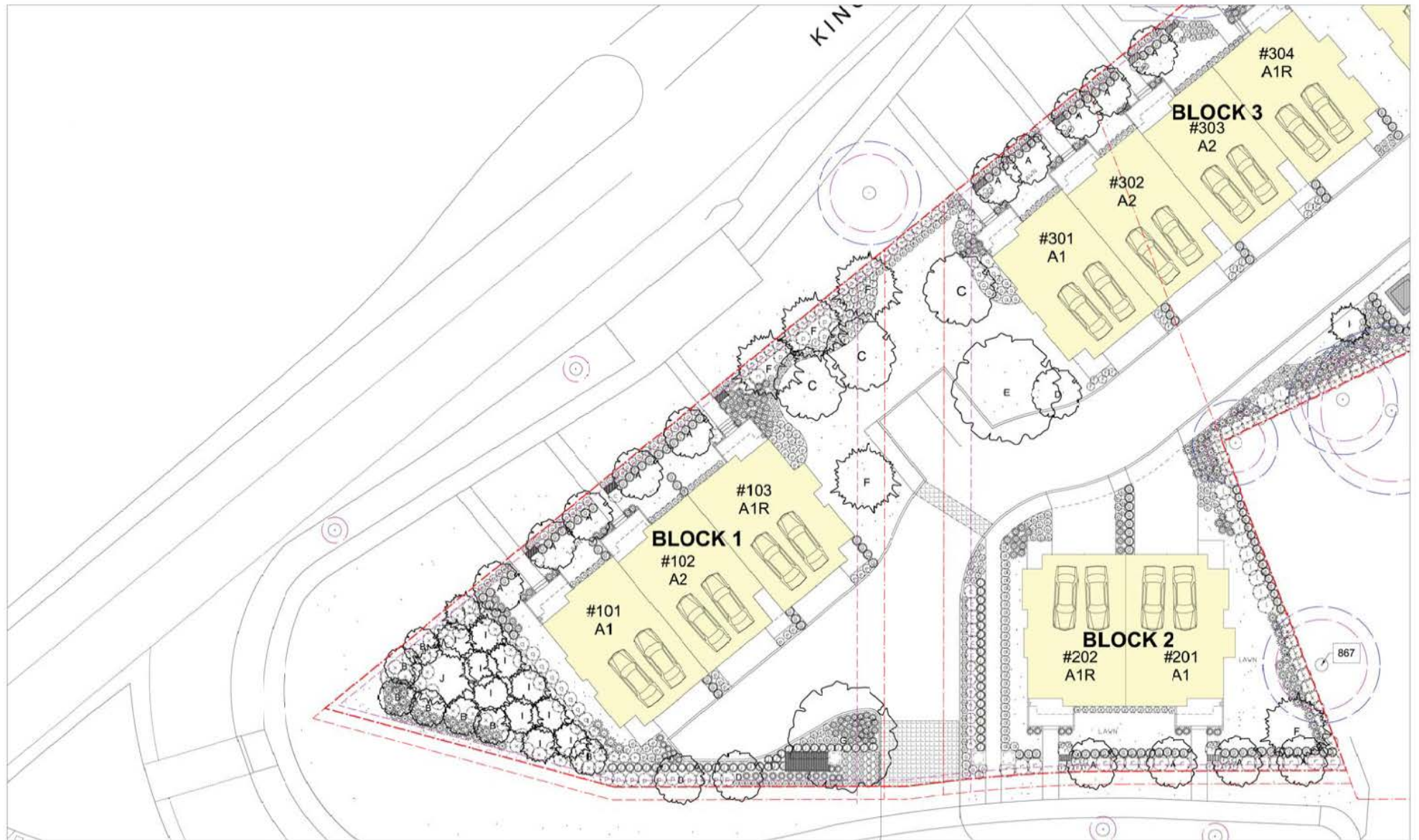
4276 Maple Street, Vancouver, BC
Tel: 604-283-8813
Fax: 1-888-277-3554
Email: info@jhl.ca

SCALE	1/16"=1'-0"
DATE	Oct. 16
DRAWN	
CHECKED	
APP. NO.	

PROJECT TITLE	MULTI-FAMILY RESIDENTIAL DEVELOPMENT
ADDRESS	2227-2187 KING GEORGE HIGHWAY
CITY	SURREY, BC

DRAWING TITLE	FENCE LAYOUT PLAN / HARD LANDSCAPE PLAN
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L-2



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DATE	REVISIONS
Oct., 18	EP SUBMISSION

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Landscape Architecture + Urban Design

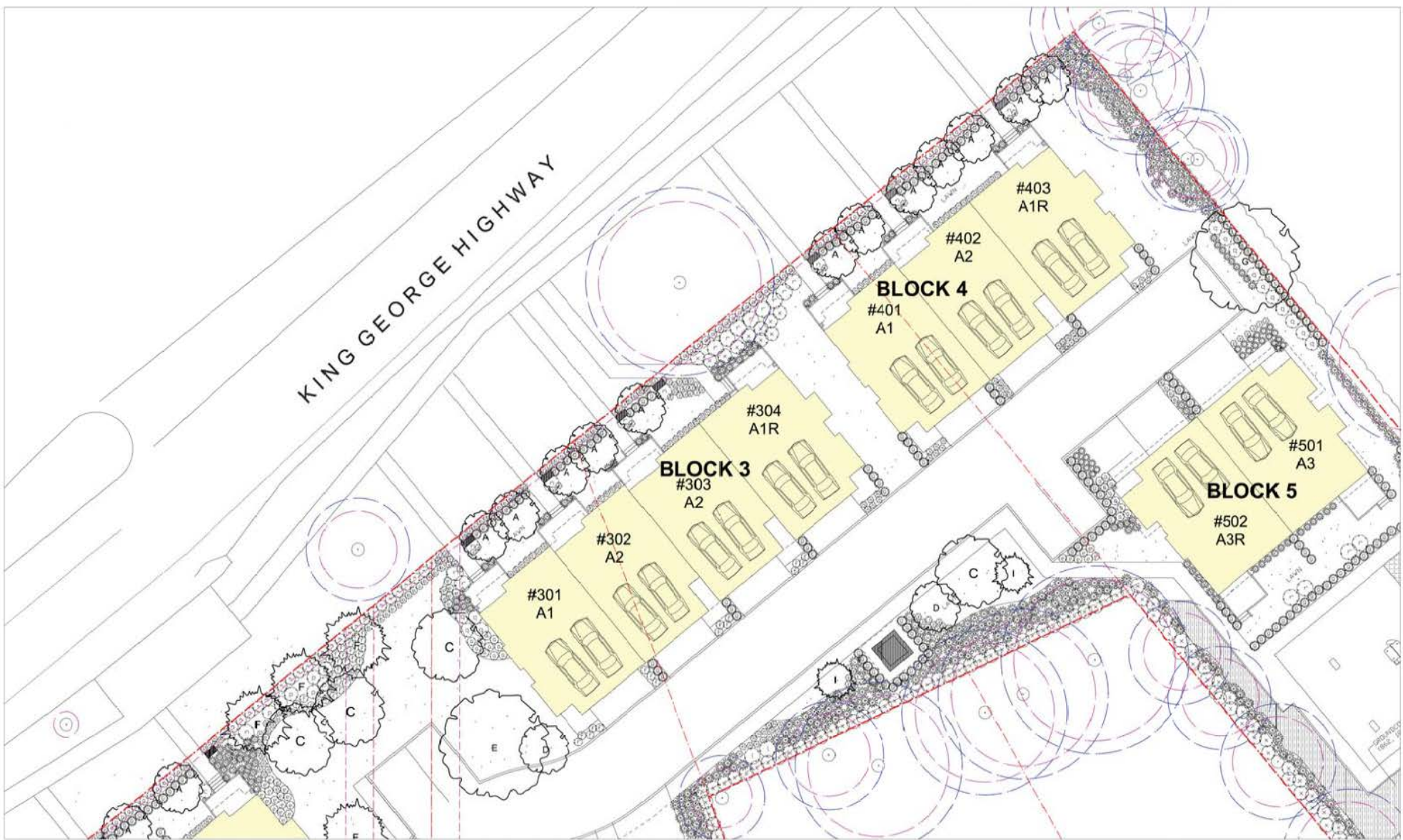
4370, Maple Street, Vancouver, BC
Tel: 604-263-8813
Fax: 1-888-371-9554
Email: jhl@jhl-design.ca

SCALE	DATE
3/32" = 1'-0"	Oct., 18

PROJECT TITLE
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
2227-2187 KING GEORGE HIGHWAY
SURREY, BC

DRAWING TITLE
LANDSCAPE PLAN/
PLANT LIST

KING GEORGE HIGHWAY



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DATE	REVISIONS
Oct. 16	DP SUBMISSION

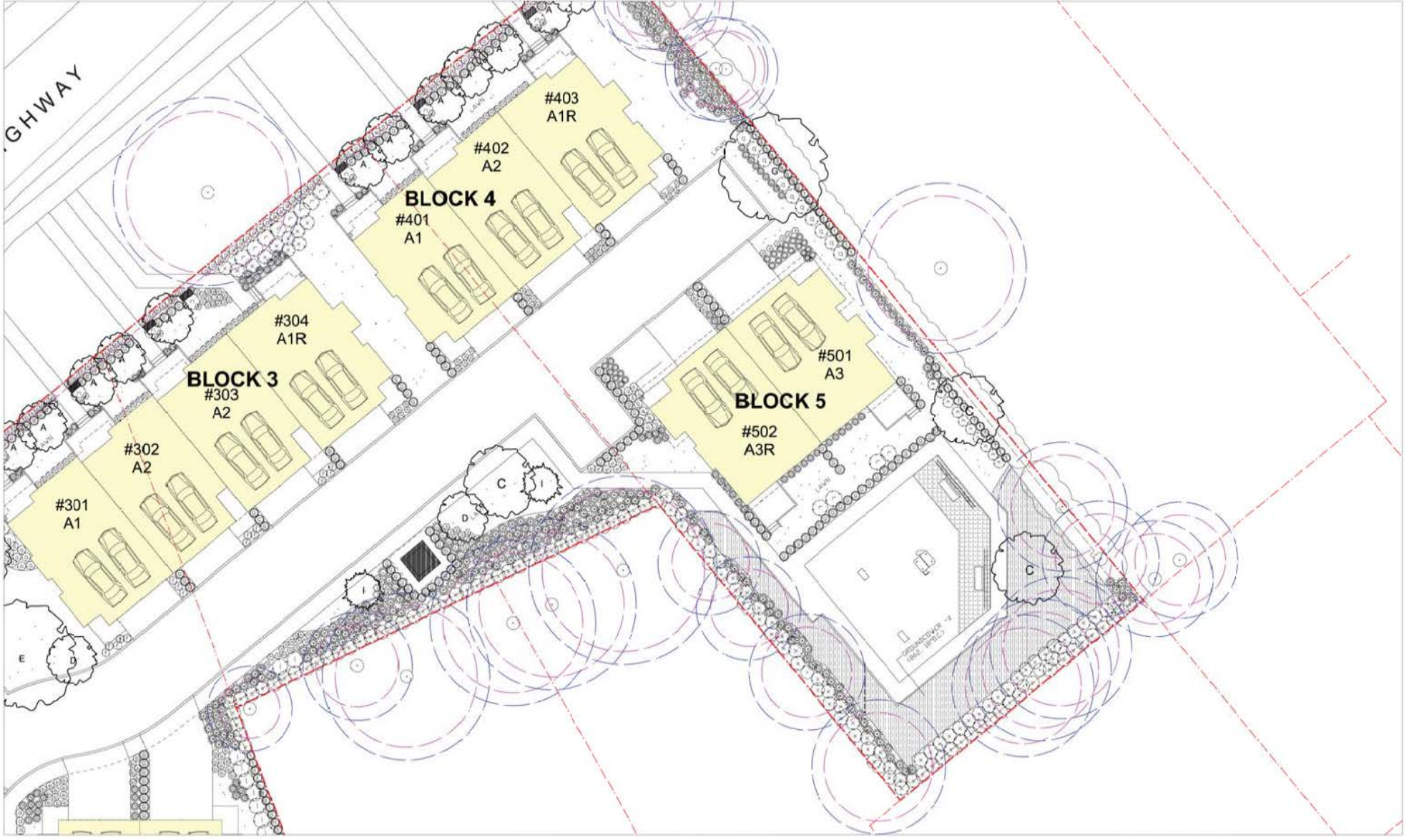
JHL Design Group Inc.
Landscape Architecture • Urban Design

4376, Main Street, Vancouver, BC
Tel: 604-263-8833
Fax: 1-866-877-9554
Email: jhl@jhlgroup.ca

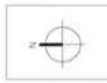
SCALE
1/32" = 1'-0"
DATE
Oct. 16
DRAWN
JOB NO.

PROJECT TITLE
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
2227-2187 KING GEORGE HIGHWAY
SURREY, BC

DRAWING TITLE
LANDSCAPE PLAN / PLANT LIST



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DATE	REVISIONS
Oct. 18	DP SUBMISSION

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 Landscape Architecture + Urban Design

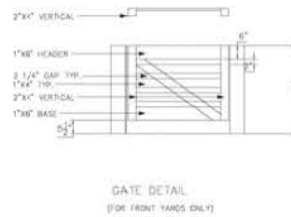
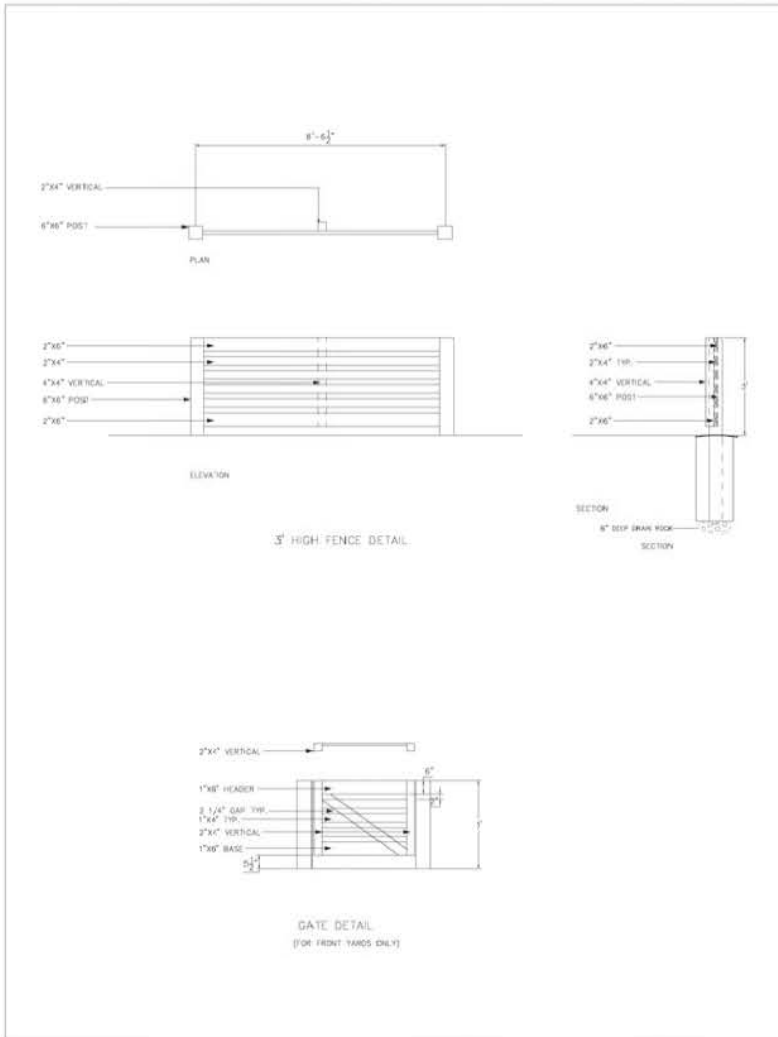
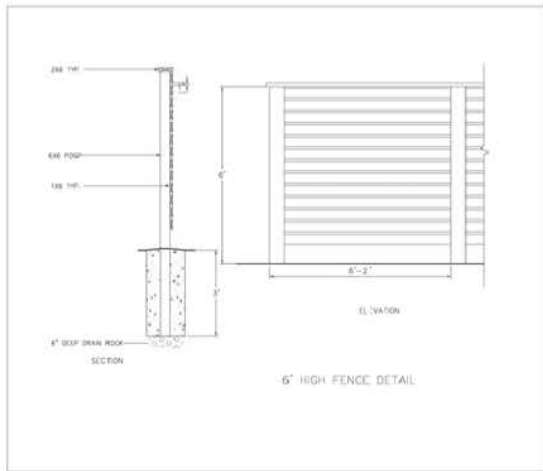
4370 Minor Street, Vancouver, BC
 Tel: 604-263-8613
 Fax: 1-888-277-8554
 Email: jhl@jhlbc.ca

SCALE: 3/32"=1'-0"
 DATE: Oct., 18
 DRAWN:
 JOB NO.:

PROJECT FILE:
 MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 2227-2187 KING GEORGE HIGHWAY
 SURREY, BC

DRAWING TITLE:
 LANDSCAPE PLAN/
 PLANT LIST

L-5



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DATE	REVISION
Oct. 16	DP SUBMITTER

JHL Design Group Inc.
Landscape Architecture + Urban Design

4370, Maple Street, Virginia, BC
Tel: 604-263-8813
Fax: 1-800-271-0554
Email: jhl@jhl.ca

SCALE
DATE: Oct., 16
DRAWN
JOB NO.

PROJECT TITLE
MULTI-FAMILY RESIDENTIAL DEVELOPMENT
2227-2187 KING GEORGE HIGHWAY
SURREY, BC

DRAWING TITLE
DETAILS

L-6

TO: **Manager, Area Planning & Development - South Surrey Division
Planning and Development Department**

FROM: **Development Project Engineer, Engineering Department**

DATE: **June 21, 2016** PROJECT FILE: **7815-0332-00**
REVISED: **November 30, 2016**

RE: **Engineering Requirements
Location: 2195, 2187, 2205 & 2227 King George Blvd**

REZONING AND SUBDIVISION

Property and Right-of-Way Requirements

- dedication varies from 1.0 m to 1.942 m along 156 Street towards the 24.0 m Collector Road allowance.
- register 0.5 m statutory right-of-way along frontages for inspection chambers and sidewalk maintenance.

Works and Services

- extend a 200 mm water main on King George Blvd (south) to replace the existing 100 mm, between 156 Street and the development's south property line.
- construct adequate storm water runoff mitigation features in accordance with the Fergus Creek Integrated Stormwater Management Plan (ISMP) requirements.
- construct water, storm and sanitary service connections, complete with inspection chambers/water metre to the site.

A Servicing Agreement is required prior to Rezoning and Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Rémi Dubé, P.Eng.
Development Services Manager

M51



Monday, October 17, 2016
 Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 15 0332 00

SUMMARY

The proposed 15 Single family with suites are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	8
Secondary Students:	4

September 2016 Enrolment/School Capacity

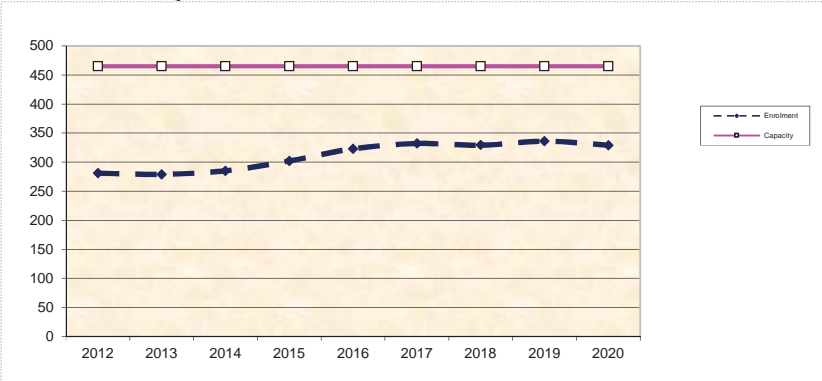
Jessie Lee Elementary	
Enrolment (K/1-7):	41 K + 282
Capacity (K/1-7):	40 K + 425
Earl Marriott Secondary	
Enrolment (8-12):	1856
Nominal Capacity (8-12):	1500
Functional Capacity*(8-12):	1620

School Enrolment Projections and Planning Update:

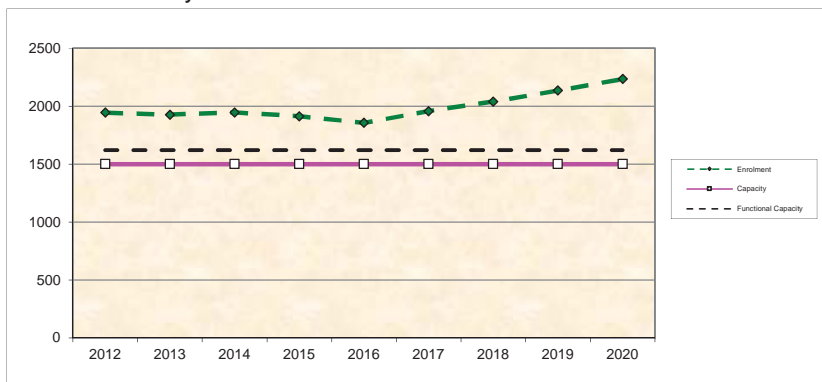
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

A Late French Immersion program was moved from White Rock Elementary to Jessie Lee Elementary to help balance enrolment between elementary schools. Also, with the replacement school location of Sunnyside Elementary, there was a boundary move from Sunnyside to Jessie Lee which will help increase enrolment in the coming years. The school district has also purchased land for a new secondary school in the Grandview area adjoining the City of Surrey future aquatic centre and recreation property. Capital project approval has been granted for the new 1,500 student secondary schools (likely opening 2020)

Jessie Lee Elementary



Earl Marriott Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

Appendix _____


TREE PRESERVATION SUMMARY

Surrey Project No.: 7915-0332-00
 Project Address: 2227, 2205, 2195, 2187 King George Hwy., Surrey, BC
 Consulting Arborist: Nick McMahon

ON-SITE TREES:	QUANTITY OF TREES
Total Bylaw Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, excluding Park and ESA dedications)	49
Bylaw Protected Trees to be Removed	38
Bylaw Protected Trees to be Retained (excludes trees in Park dedication areas and ESA's)	15
Replacement Trees Required:	
Alder and Cottonwood at 1:1 ratio: 0 times 1 = 0	0
All Other Bylaw Protected Trees at 2:1 ratio: 34 times 2 = 68	68
TOTAL:	68
Replacement Trees Proposed	68
Replacement Trees in Deficit	0
Protected Trees Retained in Proposed Open Space/ Riparian Areas	0

OFF-SITE TREES:	QUANTITY OF TREES
Bylaw Protected Off-Site Trees to be Removed	0
Replacement Trees Required:	
Alder and Cottonwood at 1:1 ratio: 0 times 1 = 0	
All Other Bylaw Protected Trees at 2:1 ratio: 0 times 2 = 0	
TOTAL:	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

This summary and the referenced documents are prepared and submitted by:



Nick McMahon, Consulting Arborist Dated: October 22, 2015

Direct: 604 812 2986
 Email: nick@aclgroup.ca

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7915-0332-00

Issued To: OSMAN AZIZA
RAMZ F ELSAYED

(the "Owner")

Address of Owner: 8068 - 170 Street
Surrey, BC V4N 4Y9

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 000-829-862

Lot 1 Section 14 Township 1 New Westminster District Plan 68617

2227 - King George Boulevard

Parcel Identifier: 000-732-826

Lot 4 Section 14 Township 1 New Westminster District Plan 16306

2195 - King George Boulevard

Parcel Identifier: 011-197-633

Parcel "A" (Explanatory Plan 8204) Lot 12 Section 14 Township 1 New Westminster District Plan 6136 Except Plan BCP38150

2205 - King George Boulevard

Parcel Identifier: 004-369-882

Lot "B" Section 14 Township 1 New Westminster District Plan 13177

2187 - King George Boulevard

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic addresses change, the City Clerk is directed to insert the new civic address for the Land, as follows:
-

4. Part 21, Multiple Residential 15 Zone (RM-15), of Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Subsection F, Yards and Setbacks, the minimum west setback of the Multiple Residential (15) Zone (RM-15) is reduced from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for Block 1 and Block 2;
- (b) In Subsection F, Yards and Setbacks, the minimum east setback of the Multiple Residential (15) Zone (RM-15) is reduced from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for Block 1, and Block 3 and Block 4;
- (c) In Subsection F, Yards and Setbacks, the minimum south setback of the Multiple Residential (15) Zone (RM-15) is reduced from 7.5 metres (25 ft.) to 6.0 metres (19.5 ft.) for Block 4 and 3.0 metres (9.7 ft.) for Block 2 and Block 5; and
- (d) In Subsection F, Yards and Setbacks, the minimum north setback of the Multiple Residential (15) Zone (RM-15) is reduced from 7.5 metres (25 ft.) to 4.9 metres (16 ft.) for Block 5.

5. The siting of buildings and structures shall be in accordance with the drawing numbered 7915-0332-00(A) (the "Drawing") which is attached hereto and forms part of this development variance permit.

6. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

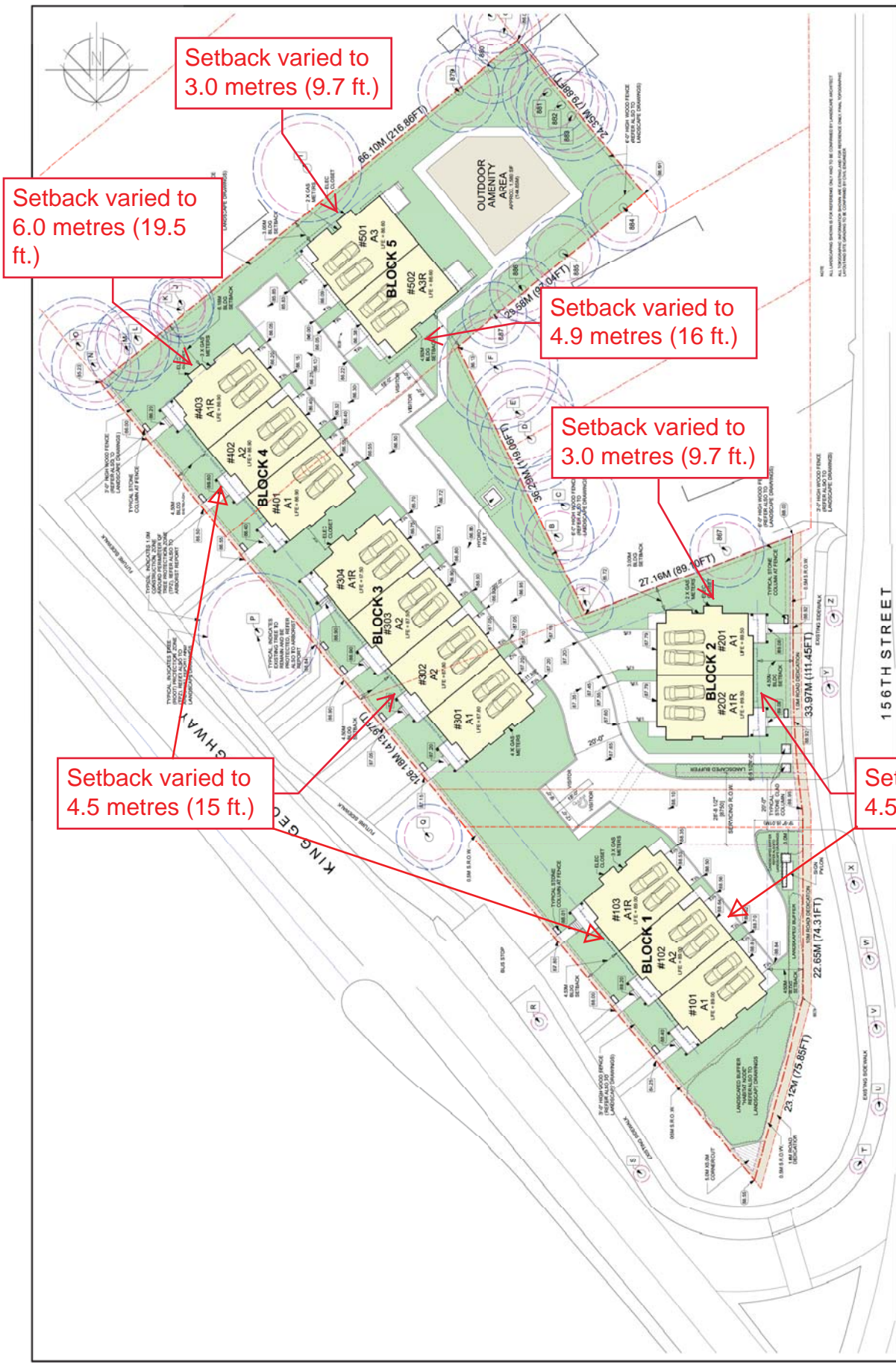
7. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

8. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
9. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
10. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan



G3 ARCHITECTURE INC. 23 - 1365 JOHNSTON ROAD WHITE ROCK, B.C. 1 V8B 2Z1 TEL: 604-916-8881 FAX: 604-927-0396 EMAIL: g3arch@prospect.com	RESIDENTIAL DEVELOPMENT 2227, 2205	PROJECT NAME: SITE PLAN	DRAWING NO.: A101
	DO NOT SCALE OFF DRAWING. THIS DRAWING IS NOT FOR CONSTRUCTION PURPOSES. ALL RIGHTS RESERVED AND REPRODUCTION IN ANY FORM MUST BE APPROVED BY G3 ARCHITECTURE INC.	SCALE: 1/8" = 1'-0" DATE: 10/2018	NOTES: ALL LANDSCAPING DETAILS TO BE APPROVED BY LANDSCAPE ARCHITECT. ALL LANDSCAPING MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT. ALL LANDSCAPING MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.