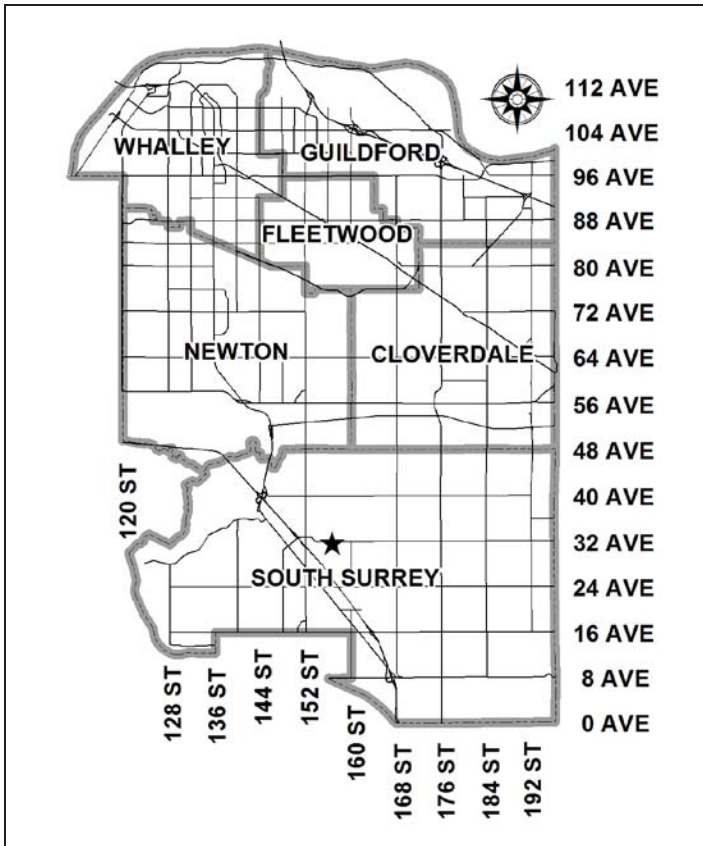


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7915-0316-00

Planning Report Date: July 11, 2016

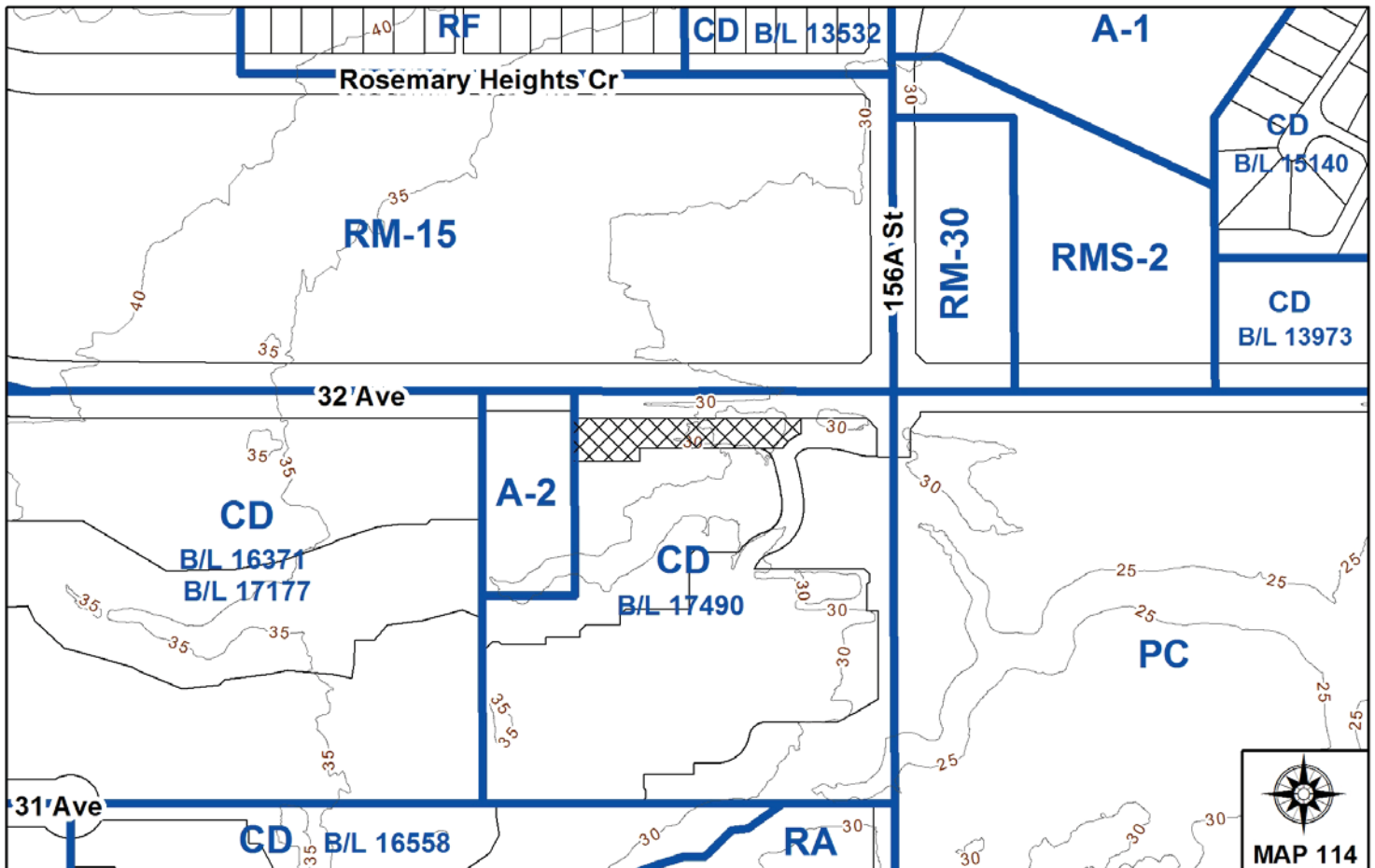


PROPOSAL:

- Amend CD By-law No. 17490
- Development Permit

to permit the development of a 3-storey office building.

LOCATION: 15550 - 32 Avenue
OWNER: 1057359 B.C. Ltd.
ZONING: CD Zone (By-law No. 17490)
OCP DESIGNATION: Urban
NCP DESIGNATION: Live & Work or Business Park Areas



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing to amend CD By-law No. 17490.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is requesting an amendment to CD Zone (By-law No. 17490) to:
 - allow a small-scale drug store operated in conjunction with a medical office as a permitted use; and
 - reduce the minimum west side yard setback from 6.0 metres (20 ft.) to 3.6 metres (12 ft.).

RATIONALE OF RECOMMENDATION

- The proposal complies with the OCP designation for the subject site.
- The proposal complies with the “Live & Work or Business Park Areas” designation in the Rosemary Heights Business Park Neighbourhood Concept Plan (NCP).
- The proposed office building is appropriate for the Rosemary Heights Business Park NCP Area and will be complementary to a 3-storey office building proposed under Development Application No. 7913-0003-00 for the adjacent property to the west at 15542 – 32 Avenue.
- The proposed development is contemporary in architectural character and features high quality durable materials. The urban form and contemporary design is appropriate for this part of Rosemary Heights.
- The proposed office building complies with the uses permitted under CD Zone (By-law No. 17490), with the exception of the proposed small-scale drug store. The use is proposed as an accessory use that is only permitted in conjunction with medical offices.
- The requested reduction to the west side yard setback is consistent with the side yard setbacks permitted under the “Business Park 3 Zone (IB-3)” proposed for the property to the west under Development Application No. 7913-0003-00, which has received Third Reading.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to amend “Comprehensive Development Zone (CD)” (By-law No. 17490) and a date be set for Public Hearing.
2. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) final approval from the Ministry of Transportation & Infrastructure;
 - (c) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
 - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
Parks, Recreation & Culture:	Parks requests that the applicant ensure CPTED principles such as clear site lines, active rooms and windows facing the park are applied.
Ministry of Transportation & Infrastructure (MOTI):	Preliminary Approval is granted for the rezoning for one year pursuant to Section 52(3)(a) of the <i>Transportation Act</i> .

SITE CHARACTERISTICSExisting Land Use: VacantAdjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across 32 Avenue):	Townhouses	Urban/Townhouses	RM-15
East :	Cemetery	Suburban/Existing Cemetery	PC
South:	Greenbelt and townhouses	Urban/Live & Work or Business Park Areas	CD (By-law No. 17490)
West:	Single family dwelling (Development Application No. 7913-0003-00 is at Third Reading and proposes to develop a 3-storey office building).	Urban/Live & Work or Business Park Areas	A-2 (Development Application No. 7913-0003-00 proposes rezoning from A-2 to IB-3)

DEVELOPMENT CONSIDERATIONSContext/Background

- The subject site is approximately 1,796 square metres (0.44 acres) in size and is designated as a "Live & Work or Business Park Area" in the Rosemary Heights Business Park Neighbourhood Concept Plan (NCP) and Urban in the Official Community Plan (OCP).
- The subject site was previously rezoned from "Intensive Agriculture Zone (A-2)" to "Comprehensive Development Zone (CD)" (By-law No. 17490) under Development Application No. 7910-0173-00. This application included issuance of a Development Permit for a 3-storey office building at this location; however, the office building was not constructed and the Development Permit has now expired.
- The previous application also included the development of live-work townhouses to the south at 15588 – 32 Avenue and conveyance of the greenbelt, also to the south, to the City as parkland.

Current Proposal

- The applicant is proposing a Development Permit for a 3-storey office building and amendments to CD Zone (By-law No. 17490) to allow a small-scale drug store as an accessory use and to reduce the west side yard setback from 6.0 metres (20 ft.) to 3.6 metres (12 ft.).

- The proposal is consistent with the “Live & Work/Business Park Area” designation in the NCP, as well as the proposed development to the west. The current proposal complies with all aspects of CD By-law No. 17490 with the exception of a requested reduction to the west side yard setback and the proposed small-scale drug store use.

CD Zone Amendment

- The existing CD Zone (By-law No. 17490) is based on the IB Zone with some variations that were made to suit the previous proposal for a 3-storey office building under Development Application No. 7910-0173-00.

Building Setback Reduction

- The applicant has requested a reduction to the minimum west side yard setback from 6 metres (20 ft.) to 3.6 metres (12 ft.), which is consistent with the side yard setbacks permitted under the IB-3 Zone proposed for the property to the west under Development Application No. 7913-0003-00. Staff support this amendment based on the change in the surrounding development context in the time since CD By-law No. 17490 was adopted.

Small Scale Drug Store

- The application proposes a small-scale drug store that would be operated in conjunction with a proposed medical office located within the 3-storey office building.
- Council has previously expressed concern for the possible over-concentration of small stand-alone drug stores in some areas but has been receptive to small-scale drug stores that operate in conjunction with a medical office.
- The General Provisions of the Zoning By-law require that no small-scale drug store locate within 400 metres (1,300 ft.) of an existing drug store, small-scale drug store or methadone dispensary. There are no other drug stores, small-scale drug stores or methadone dispensaries located within 400 metres (1,300 ft.) of the proposed small-scale drug store. The closest small-scale drug store is located at the Morgan Creek Corporate Centre at 32 Avenue and 152 Street, approximately 460 metres (1,509 ft.) from the subject site.
- The proposed small-scale drug store would allow the medical office to offer an enhanced range of medical-related services including having a registered pharmacist dispense prescribed medication on-site, adding greater convenience for patients and allowing medical staff to better monitor overall patient health.
- The proposed clinic and small-scale drug store will provide additional medical services in a neighbourhood that has experienced increased multi-family residential development in recent years.

PRE-NOTIFICATION

Pre-notification letters were sent on October 14, 2015 to 453 neighbouring property owners and a Development Proposal Sign was installed on June 21, 2016. The following comments have been received in response to the public notification:

- Staff received several emails and phone calls from residents of the townhouse site to the south at 15588 – 32 Avenue expressing concerns about the potential traffic generated by the proposed office building. Specific concerns include the potential for increased traffic on the existing private road through the townhouse site (connecting between 32 Avenue and 31 Avenue), as well as speed/safety and concerns that office visitors will park vehicles on the townhouse property.

The proposed office building will be accessed via a signalized intersection at 32 Avenue and 156A Street. The applicant is proposing 29 parking spaces, exceeding the parking requirements for the proposed uses. The City's Transportation Department has reviewed the proposal and found it to be acceptable from a traffic impact perspective.

The proposed 3-storey office building is appropriate under the business park designation and is consistent with the previous proposal that was approved under Development Application No. 7910-0173-00. The existing live/work townhouses were approved as part of this application.

The proposed office building is complementary to the 3-storey office building proposed under Development Application No. 7913-0003-00 for the neighbouring site to the west.

DESIGN PROPOSAL AND REVIEW

Parking and Access

- The site will be accessed from 32 Avenue, at the northeast corner of the site via a signalized intersection at 156A Street.
- Parking for the office building will be provided in a surface parking lot located on the eastern portion of the site.
- A total of 25 parking spaces are required based on the floor area of the proposed office, medical office and retail store (small-scale drug store) uses. The application proposes 29 parking spaces, which exceeds the Zoning By-law parking requirements.

Site Layout and Architectural Design

- The proposed development is for a 3-storey office building with a total floor area of 981 square metres (10,560 sq. ft.), representing a Floor Area Ratio (FAR) of 0.55, which is within the maximum 0.65 FAR permitted under the CD Zone.

- The proposed office building will be situated on the western portion of the site, oriented to 32 Avenue. In the future, the building will interface with the 3-storey office building being proposed for the neighbouring site to the west located at 15542 – 32 Avenue.
- The current proposal is similar in form and character to the proposal which was previously approved on the property for an office building under Development Application No. 7910-0173-00. The office building is contemporary in architectural character and features high quality durable materials. Colours used will be neutral earth tones in a similar colour palette as the live/work townhouses to the south, including brick red and neutral beige. Siding materials consist of a combination of EIFIS (exterior insulation and finish system) and brick. The building includes significant amounts of glazing on all building elevations.
- The building features a stepped back upper floor and balcony on the north elevation facing 32 Avenue.
- The main entrance to the building will be located on 32 Avenue, close to the parking lot, as well as storefront entrances on the north side of the building for main floor tenants. Stairwell exit doors will be located on the east and west sides of the building. No access is proposed at the rear of the building.
- Fabric awnings have been added to the main floor storefronts to provide an added level of architectural detail and to enhance the pedestrian experience.

Signage

- Signage for the proposed office building consists of the following, which complies with the regulations of Surrey Sign By-law, 1999, No. 13656:
 - one illuminated channel lettering logo on the upper floor;
 - one freestanding sign to be located along 32 Avenue near the entrance to the parking lot, setback 2 metres (6.5 ft.) from the front lot line;
 - a concrete bench with freestanding metal letters of the building's address, to be located at the main entrance to the building; and
 - canopy signage for the ground floor units.

LANDSCAPING

- There are currently no trees on the subject site.
- A Landscaping Plan dated June 2016 was prepared by JHL Design Group Inc. The proposed landscaping for the site consist of a variety of trees including Amanogawa Cherry, Pacific Fire Vine Maple, Katsura, Pink Japanese Snowbell, Flame Amur Maple, Akebono Flowering Cherry, as well as several varieties of shrubs and other plants.
- A total of 32 trees are proposed to be planted on the site.
- A paved walkway will be located along the front of the building to provide access to the main entrance and main floor storefronts. The walkway will continue around the east and west sides of the building to the stairwell exit doors and will provide a connection to the parking lot.

- The garbage enclosure will be located on the east side of the building, adjacent to the parking lot. It will be a decorative enclosure made of brick and hardie panel on a concrete base. The garbage enclosure will be screened with landscaping.
- Specialty decorative paving will be used in the parking lot to visually break up the length of the drive aisle.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on June 29, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The subject site is located at 32 Avenue and 156A Street in the Rosemary Heights Business Park Neighbourhood Concept Plan (NCP) Area.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The current proposal is for an office building only; however, the site was previously subdivided and rezoned as part of a larger comprehensive development under Development Application No. 7910-0173-00, which included development of the live/work townhouses to the south at 15588 – 32 Avenue. • CD By-law No. 17490 permits density up to 0.65 floor area ratio (FAR). The application proposes 0.55 FAR.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • n/a
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • n/a
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • The design of the site incorporates Crime Prevention Through Environmental Design (CPTED) principles including surveillance and protection (“eyes on the street”). Proposed building exits will be visible from 32 Avenue.
6. Green Certification (F1)	<ul style="list-style-type: none"> • n/a
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • Pre-notification letters were sent on October 14, 2015 and a Development Proposal Sign was installed on June 21, 2016. This application will be subject to a Public Hearing for the proposed amendments to the CD Zone.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
- Appendix II. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix III. Engineering Summary
- Appendix IV. Proposed CD By-law Amendment

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

EM/ar

DEVELOPMENT DATA SHEET

Existing Zoning: CD By-law No. 17490

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total	1,500 m ²	1,797.54 m ²
Road Widening area	n/a	
Undevelopable area	n/a	
Net Total		1,797.54 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	18.9%
Paved & Hard Surfaced Areas		53.7%
Total Site Coverage		72.6%
SETBACKS (in metres)		
Front	1.5 m	4.61 m
Rear	1.5 m	1.52 m
Side #1 (East)	1.5 m	4.34 m
Side #2 (West)	6.0 m	3.60 m
BUILDING HEIGHT (in metres/storeys)		
Principal	13.0 m	13.0 m
Accessory	n/a	
FLOOR AREA		
Main - Retail (Pharmacy) & Medical Office		269 m ²
2nd - Medical Office & Dental Office		349 m ²
3rd - Offices		273 m ²
Basement floor area		292.7 m ²
TOTAL BUILDING FLOOR AREA		1183.7 m ²
DENSITY		
FAR (gross)	0.65	.55
FAR (net)		
PARKING (number of stalls)		
Commercial - Retail (Pharmacy) - 102.2 m ²	2.75 sp./ 100 m ² = 3	3
Medical Offices & Dental Office- 515.8 m ²	3.5 sp./100 m ² = 18	18
Offices	2.5 sp./100 m ² = 7	8
Total Number of Parking Spaces	25	29
Number of disabled stalls	0	1
Number of small cars		6
Tandem Parking Spaces: Number / % of Total Number of Units	Not permitted	n/a
Heritage Site	NO	Tree Survey/Assessment Provided
		NO



NORTH EAST PERSPECTIVE
SCALE: NOT TO SCALE



NORTH WEST PERSPECTIVE
SCALE: NOT TO SCALE



NORTH WEST AERIAL VIEW
SCALE: NOT TO SCALE



SOUTH WEST PERSPECTIVE
SCALE: NOT TO SCALE

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4	2015-11	REQUIRED FOR EP	AP
3	2015-11	REQUIRED FOR EP	AP
2	2015-11	REQUIRED FOR PERMIT/ APPLICATION	EP
1	2015-11	REQUIRED FOR CLIENT REVIEW	EP

START DATE: 2015-06-15
PROJECT NO: 2015-11
DR: EP
CH: JMM
SCALE: AS SHOWN



Project Name
10092 32nd
OFFICE BUILDING
SURREY, BC

KOONER DEVELOPMENTS
SURREY, BC
MR RUPINDER KOONER

3D PERSPECTIVES

REV	Project No.	
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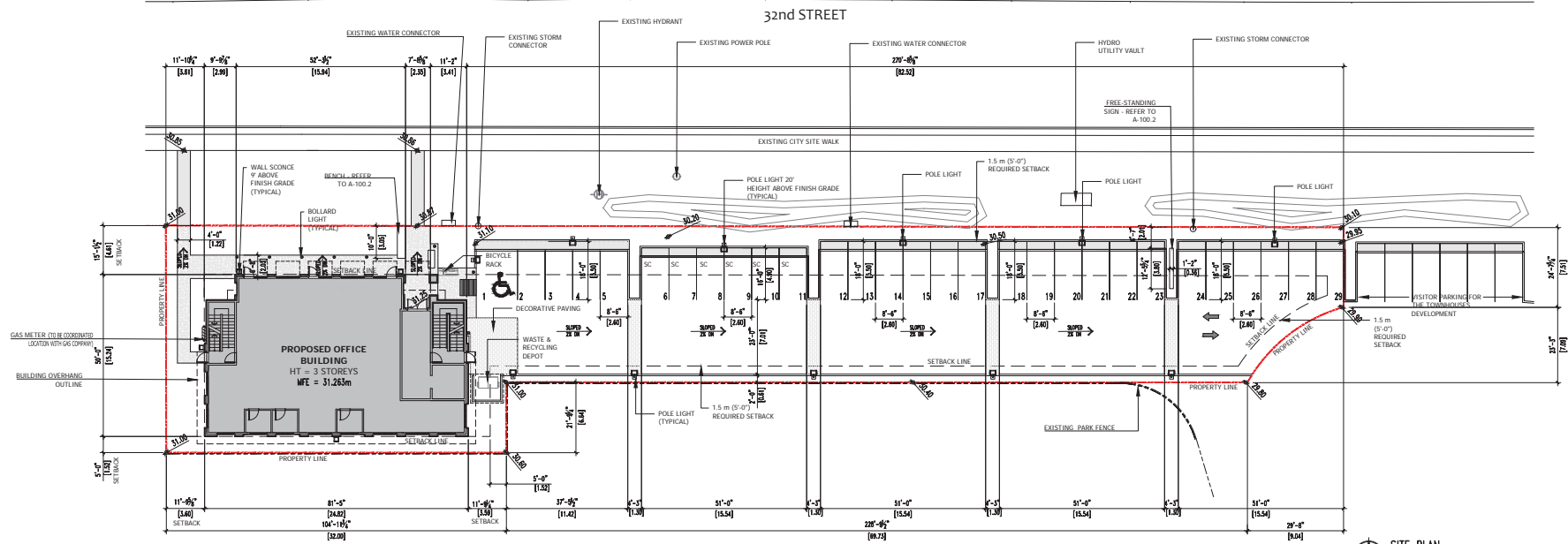


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PROJECT SITE
SCALE: NS

SITE PLAN
SCALE: 1/4" = 1'-0" 1:300

SURVEY NOTE:
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NOTE:
SEE LANDSCAPE DRAWINGS FOR LANDSCAPE LAYOUT

LEGEND

- BUILDING OUTLINE
- PROPERTY LINE
- SETBACK
- BUILDING OVERHANG OUTLINE
- CONCRETE SIDEWALK
- COMPRESSED GRAVEL PATH
- STAPLED ASPHALT PAVING
- REGULAR PARKING STALL (SC IS SMALL CAR)
- NUMBER OF PARKING STALL

REV	DATE	DESCRIPTION	BY
7	2015-06-15	REVISION FOR EP	EM
6	2015-06-15	REVISION FOR EP	EM
5	2015-05-19	REVISION FOR AMENDMENT APPLICATION	EL
4	2015-04-16	REVISION FOR AP	ADP
3	2015-03-19	REVISION FOR AP	ADP
2	2015-03-18	REVISION FOR AMENDMENT APPLICATION	EP
1	2015-03-05	ISSUED FOR CLIENT REVIEW	EP

START DATE	2015-06-15
PROJECT No.	2015-11
DR.	EP
CH.	JMM
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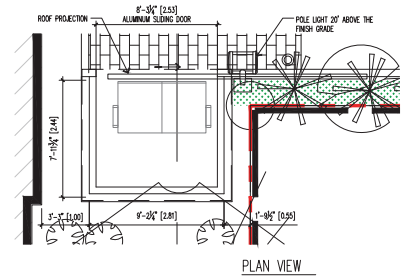
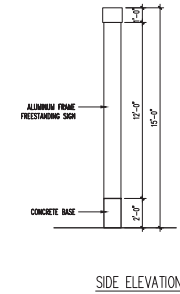
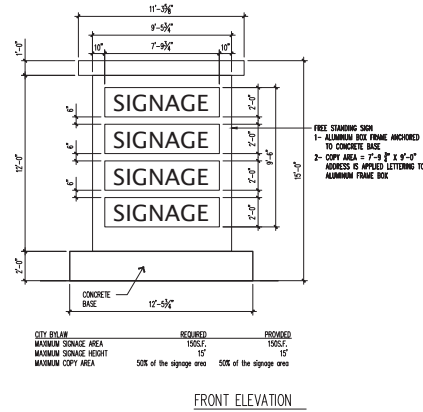
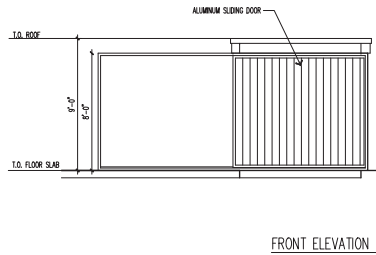
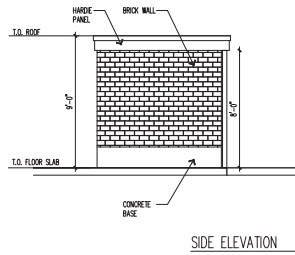
Architects Seal

Project Name
1550 32nd
OFFICE BUILDING
SURREY, BC

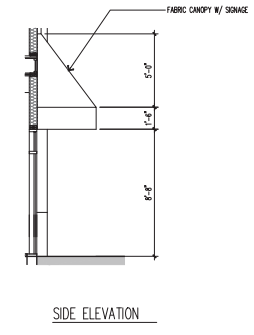
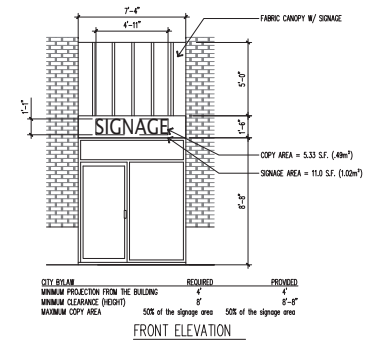
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SITE PLAN

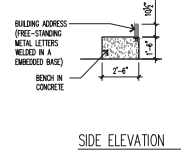
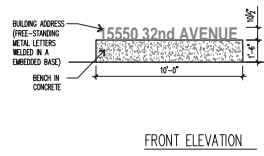
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7	2015-11	A-100.2



1 GARBAGE ENCLOSURE DETAIL
 SCALE 1/4" = 1'-0" (1:48)



3 FREE-STANDING SIGN DETAIL
 SCALE 1/4" = 1'-0" (1:48)



2 BENCH DETAIL
 SCALE 1/4" = 1'-0" (1:48)



5 PHOTO OF TYPICAL EXTERIOR LIGHTNING
 SCALE 1/4" = 1'-0" (1:48)

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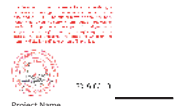
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Project Name
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 SURREY, BC

KOONEN DEVELOPMENTS
 SURREY, BC
 MR RUPINDER KOONER

SITE DETAILS

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- TYPICAL FASCIA SIGN**
- ONE SIGN PERMITTED FOR EACH FRONTAGE
 - COMBINED SIGN AREA OF ALL SIGNS ON A LOT, SHALL NOT EXCEED 1.0 m² PER LINEAR METRE (3 sq.m. PER LINEAR FOOT) OF FRONTAGE FRONTAGE.
 - COPY AREA SHALL NOT EXCEED SIDE OF SIGN AREA.
 - SIGN SHALL NOT PROJECT MORE THAN 0.5 M (1.6 ft.) IN FRONT OF THE BUILDING FACE TO WHICH IT IS ATTACHED.



FASCIA SIGN
 SCALE: 1" = 1'-0"



NORTH ELEVATION
 SCALE: 1" = 1'-0"

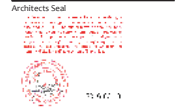
No.	DESCRIPTION	MANUFACTURER	COLOR
01	EFTS (EXTERIOR INSULATION AND FINISH SYSTEM)	DRYWIT (OR EQUAL)	GP# CL2833M JOHNSTON
02	BRICK (RUNNING BOND)	IXL	GARNET VELOUR
03	METAL FRAMED STOREFRONT DR	US ALUMINUM (OR EQUAL)	BLACK NOIR
04	METAL CANOPY	BY CONTRACTOR	BLACK NOIR FRAME & TEMPERED GLASS
05	FABRIC CANOPY W/ SIGNAGE	J.ENNIS FABRICS	TEMPTEST SOLID 782/14 KHAKI & 24 BLACK
06	PREMANUFACTURED CONCRETE LINTEL/SILLS	BY CONTRACTOR	NATURAL
07	METAL FRAMED WINDOWS	US ALUMINUM (OR EQUAL)	BLACK NOIR
08	CONCRETE FOUNDATION	BY CONTRACTOR	NATURAL
09	METAL CAP FLASHING	CASCADIA METALS	WICKER
10	ROOF FASCIA W/ METAL FLASHING AND METAL SOFFIT	VICWEST METALS	BLACK NOIR QC 16068
11	EFTS (EXTERIOR INSULATION AND FINISH SYSTEM)	DRYWIT (OR EQUAL)	GP# CL2607N WALLABE
12	WALL MOUNTED LOGO	BY OWNER	TBD
13	FREESTANDING MONUMENT SIGNAGE	BY CONTRACTOR	
14	METAL INSULATED DOOR	BY CONTRACTOR (PAINT FINISH)	BLACK NOIR QC 16068
15	HARDIE PANEL	JAMES HARDIE PRODUCTS	GP# CL2833M JOHNSTON
16	ALUMINUM SLIDING GATE (GARAGE ENCLOSURE)	BY CONTRACTOR (PAINT FINISH)	BLACK NOIR



EAST ELEVATION
 SCALE: 1" = 1'-0"

REV	DATE	DESCRIPTION	BY
5	2015-06-14	ISSUED FOR CONSULTANT REVIEW	SNS
4	2015-06-14	ISSUED FOR IOP	AD
3	2015-05-15	ISSUED FOR IOP	AD
2	2015-05-14	ISSUED FOR APPROVAL	EP
1	2015-05-14	ISSUED FOR CLIENT REVIEW	EP

START DATE: 2015-06-15
 PROJECT No: 2015-11
 DR: EP
 CH: JMM
 SCALE: AS SHOWN



Project Name:
16660 32nd
 OFFICE BUILDING
 SURREY, BC

KOONER DEVELOPMENTS
 SURREY, BC
 MR RUPINDER KOONER

NORTH ELEVATION
EAST ELEVATION

Project No: 2015-11
 Project Name: 16660 32nd
 Project Date: 2015-11
 Project Title: A-103.1

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architecture
interior design
planning

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SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

No.	DESCRIPTION	MANUFACTURER	COLOR
01	EIFS (EXTERIOR INSULATION AND FINISH SYSTEM)	DRYVIT (OR EQUAL)	GP# CL2833M JOHNSTON
02	BRICK (RUNNING BOND)	IXL	GARNET VELOUR
03	METAL FRAMED STOREFRONT DR	US ALUMINIUM (OR EQUAL)	BLACK NOIR
04	METAL CANOPY	BY CONTRACTOR	BLACK NOIR FRAME & TEMPERED GLASS
05	FABRIC CANOPY W/ SIGNAGE	JENNIS FABRICS	TEMPOTEST SOLID 782/14 KHAKI & 24 BLACK
06	PREMANUFACTURED CONCRETE LINTEL/SILLS	BY CONTRACTOR	NATURAL
07	METAL FRAMED WINDOWS	US ALUMINIUM (OR EQUAL)	BLACK NOIR
08	CONCRETE FOUNDATION	BY CONTRACTOR	NATURAL
09	METAL CAP FLASHING	CASCADIA METALS	WICKER
10	ROOF FASCIA W/ METAL FLASHING AND METAL SOFFIT	VIWEST METALS	BLACK NOIR OC 16068
11	EIFS (EXTERIOR INSULATION AND FINISH SYSTEM)	DRYVIT (OR EQUAL)	GP# CL2607N WALLABE
12	WALL MOUNTED LOGO	BY OWNER	TBD
13	FREESTANDING MONUMENT SIGNAGE	BY CONTRACTOR	
14	METAL INSULATED DOOR	BY CONTRACTOR (PAINT FINISH)	BLACK NOIR OC 16068
15	HARDIE PANEL	JAMES HARDIE PRODUCTS	GP# CL2833M JOHNSTON
16	ALUMINIUM SLIDING GATE (GARAGE ENCLOSURE)	BY CONTRACTOR (PAINT FINISH)	BLACK NOIR



WEST ELEVATION
SCALE: 1/8" = 1'-0"

REV	DATE	DESCRIPTION	BY
5	2015-11-14	ISSUED TO CONSULTANT FOR REVIEW	SNS
4	2015-11-14	REQUIRED FOR OP	AP
3	2015-11-15	REQUIRED FOR OP	AP
2	2015-11-14	ISSUED FOR PERMIT/REVISION	EP
1	2015-11-14	ISSUED FOR CLIENT REVIEW	EP

START DATE	2015-06-15
PROJECT No	2015-11
DR.	EP
CH.	JMM
SCALE	AS SHOWN
Architects Seal	

Project Name
1050 32nd
OFFICE BUILDING
SURREY, BC

KOONER DEVELOPMENTS
SURREY, BC
MR RUPINDER KOONER

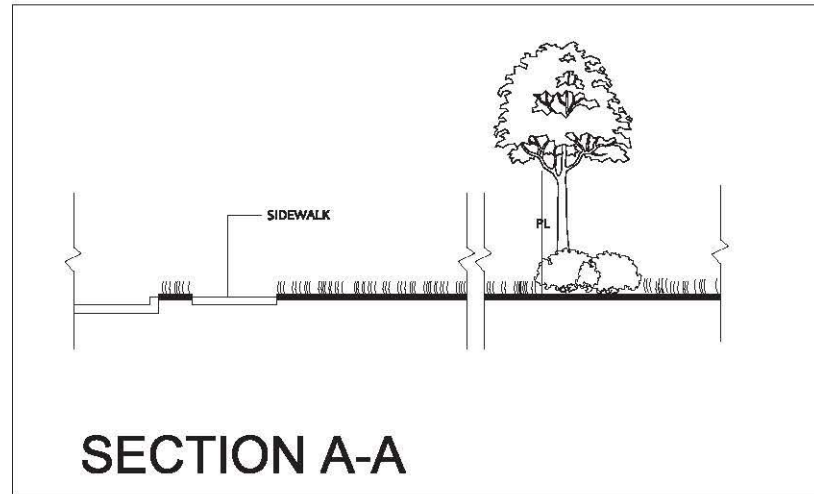
SOUTHELEVATION
WEST ELEVATION

Project No.	2015-11
Rev	4
Project No.	A-103.2

NOTES:

1. Maintain min. 2% slope away from building.
2. All plants and landscape installation to conform to BCSLA Landscape Standards Latest Edition.
3. All growing medium to be tested by PSAL (604-273-8226) and amended accordingly if necessary, and to be tested again at Substantial Completion.
4. Minimum planting medium depths:
lawn-6"/150mm, 9" on slab
groundcover &
shrubs-18"/450mm, min 18" on slab
trees-12"/300mm, all around the rootball, 24" small trees on slab, 30" medium sized trees on slab
For detailed info see specifications
Growing medium shall conform to Level 1 Low Traffic Lawn Area, Trees and Large Shrubs (2L/ Table 6-3, 2012 BCLNA Standards)
5. All plant material shall meet minimum size requirements as indicated in plant list.
6. Trees planted in lawn areas to have 1 m dia. mulched ring.
7. Make sure twine around rootballs to be cut and removed to prevent girdling.
8. All proposed trees should be planted min. 3 m away from building foundation or face of buildings or retaining walls.
9. Install min. 2" of composted bark mulch on all shrub beds after planting and rake smooth. Mulch to be "9.5mm screened composted bark mulch".
10. Contractor to ensure all plant material delivered to site is from nurseries certified to be free from the Phytophthora ramorum virus (Sudden Oak Death).
11. Contractor to report any discrepancies in plant numbers immediately to Landscape Architect.
12. All on-site landscape to be irrigated with an automatic irrigation system.

PLANT LIST					
Quantity	Symbols	Botanical Name	Common Name	Size	Spacing
15	A	Prunus serrulata 'Amanogawa'	Amanogawa Chery	5cm cal B&B	as shown
3	B	Acer circinatum 'Pacific Fire'	Pacific Fire Vine Maple	5cm cal B&B	as shown
0	C	Betula jacquemontii	Whitebarked Himalayan Birch	6cm cal B&B	as shown
1	D	Cercidiphyllum japonica	Katsura	7cm cal B&B	as shown
2	E	Styrax japonica 'Rosea'	Pink Japanese Snowbell	6cm cal B&B	as shown
8	F	Acer ginnala 'Flame'	Flame Amur Maple	5cm cal B&B	as shown
3	G	Prunus 'Yedoensis Akebono'	Akebono Flowering Cherry	6cm cal B&B	as shown
Shrubs & Others					
46	a	Azalea japonica 'Diamant Lachs'	Azalea	# 2 pot	as shown
83	b	Erica x darleyensis 'Mediterranean Pink'	Mediterranean Pink Heather	# 1 pot	as shown
67	c	Carex morrowii 'Aureovariegata'	Variiegated Sedge	# 1 pot	as shown
15	d	Mahonia aquifolium 'Compacta'	Dwarf Mahonia	# 2 pot	as shown
475	e	Arctostaphylos uva ursi 'Vancouver Jade'	Kinnikinnick	# 1 pot	12" o. c.
0	f	Polystichum munitum	Western Sword Fern	# 2 pot	as shown
121	g	Festuca idahoensis	Bluebunch Fescue	# 1 pot	as shown
0	h	Prunus lusitana	Portugal Laurel	# 3 pot	as shown
0	i	Rhododendron 'Mary Fleming'	Rhododendron	# 2 pot	as shown
26	j	Iris sibirica 'Fight of Butterflies'	Siberian Iris	# 1 pot	as shown
80	k	Rose meiland 'Bonica'	Rose	# 2 pot	as shown
4	l	Parthenocissus quinquefolia	Viginer Creeper	# 1 pot	as shown
17	m	Carex obnuptus	Slough Sedge	# 1 pot	as shown
12	n	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	6' high, B&B	as shown
170	o	Buxus microphylla 'Winter Beauty'	Korean Boxwood	# 3 pot	as shown
0	p	Helictotrichon sempervirens	Blue Oat Grass	# 1 pot	as shown
0	q	Taxus x media 'Hicksii'	Hick's Yew	# 3 pot	as shown
40	r	Cornus sericea	Redtwig Dogwood	# 3 pot	as shown



SECTION A-A

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DATE	REVISION
June, 16	DP-Submission

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Landscape Architecture + Urban Design

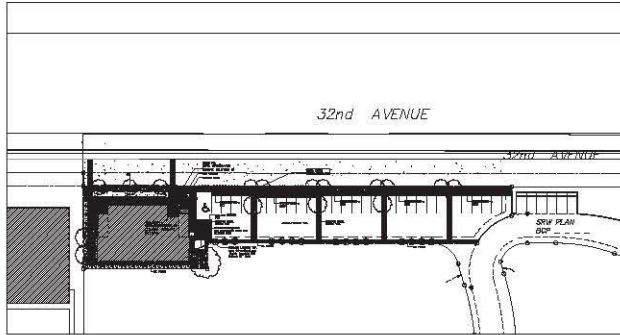
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Tel: 604-263-8813
Fax: 1-866-277-9554
Email: jhl@jhl.com

SCALE

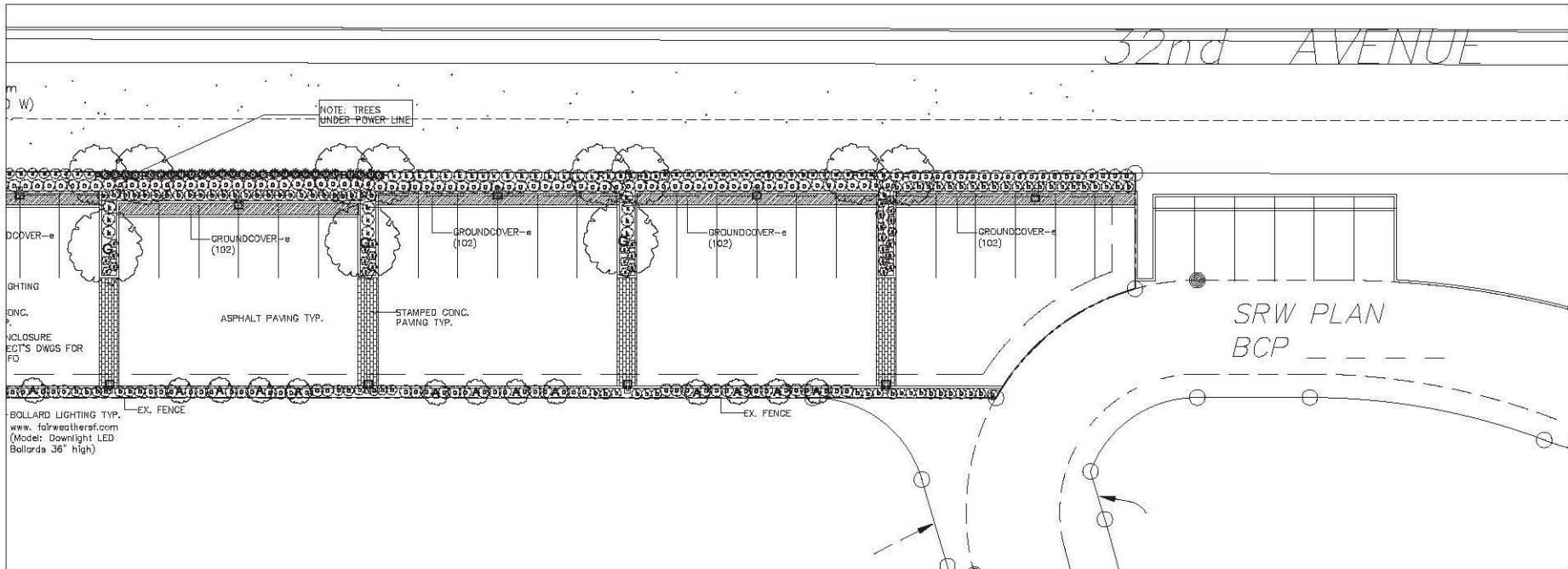
PROJECT TITLE
SURREY OFFICE BUILDING
18922, 32 AVENUE
SURREY, BC

DRAWING TITLE
PLANT LIST/NOTES

L-1



OVERALL REFERENCE PLAN



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DATE	REVISIONS
June, 18	DR Submission

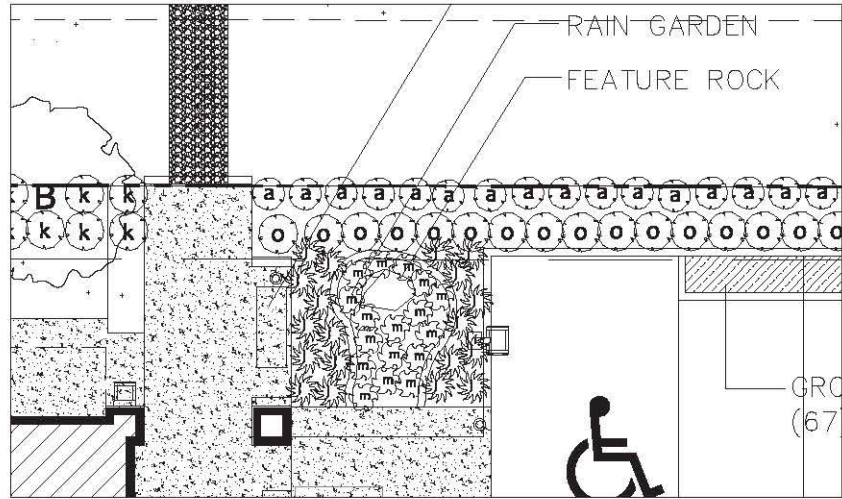
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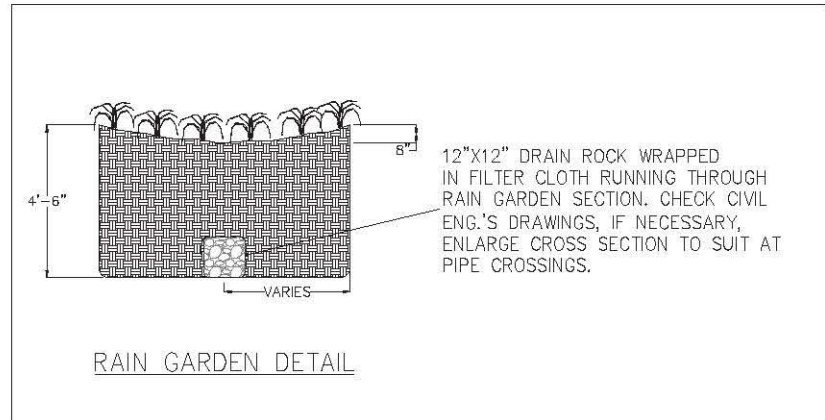
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DATE	June, 18
DRAWN	
JOB NO.	

PROJECT TITLE
SURREY OFFICE BUILDING
16982, 32 AVENUE
SURREY, BC

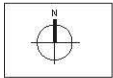
DRAWING TITLE
**PLANT DESIGN/
LANDSCAPE PLAN
OVERALL REFERENCE PLAN**



RAIN GARDEN LAYOUT PLAN 1/4"=1'-0"



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DATE	REVISIONS
June, 16	DP Submission

JHL Design Group Inc.
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SCALE	
DATE	June, 16
DRAWN	
CHECKED	

PROJECT TITLE	SURREY OFFICE BUILDING
	16550, 32 AVENUE
	SURREY, BC

DRAWING TITLE	DETAILS
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**TO: Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: April 25, 2016 **PROJECT FILE: 7815-0316-00**

**RE: Engineering Requirements (Commercial/Industrial)
Location: 15550 32 Avenue**

REZONE

The following are to be addressed as a condition of the proposed Rezoning to amend CD Bylaw 17490 to allow for development of a mixed use commercial retail/office building and pharmacy:

Property and Right-of-Way Requirements

- Register 0.5 m Statutory Right-of-Way along 32 Avenue for City infrastructure maintenance.

Works and Services

- Confirm the site has been graded to within 300 mm of the ultimate road centerline elevation at the 32 Avenue property line.
- Review the Storm Water Control Plans provided for projects 7810-0173-00 and 7897-0067-00, confirm assumptions and ensure servicing meets the current design criteria.
- Provide onsite measures to meet the Old Logging Ditch & Burrow's Ditch Integrated Stormwater Management Plan (ISMP) recommendations for the proposed land use (disconnect roof leaders and discharge to pervious areas; onsite retention of 300 m³/ha with a maximum release rate of 8 L/s/ha for the 2-year return period and 11 L/s/ha for the 5-year return period), and register a Restrictive Covenant (RC) for the onsite drainage features.
- Provide Water Quality features to treat site runoff and ensure corresponding RC is in place.
- Confirm the existing service connections are adequate for the proposed use.
- Abandon existing service connections not required for the proposed use.

A Servicing Agreement for the proposed rezone is not required; however, a processing fee of \$1,401.75 (GST included) is required to administer the storm water review, water flow analysis and legal document requirements.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/Development Variance Permit.



Rémi Dubé, P.Eng.
Development Services Manager
IK1

CITY OF SURREY

BY-LAW NO. _____

A by-law to amend "Surrey Zoning By-law, 1993, No. 12000,
Amendment By-law, 2011, No. 17490"
.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

1. "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, 2011, No. 17490" is hereby amended as follows:

(a) Sub-section 2.B.2.(c) is amended by inserting the following after Sub-section 2.B.2(c)v.:

“vi. *Retail store limited to a small-scale drug store, provided that:*

a. The *small-scale drug store* is an *accessory use* only to offices of medical doctors who are licensed with the College of Physicians and Surgeons;

b. There is not more than one *small-scale drug store* on the *Lands*; and

c. The *small-scale drug store* is contained in the same *principal building* as the medical doctors' offices.”

(b) Section 2.F. is deleted and replaced with the following:

“1. Block A:

Buildings and structures shall be sited not less than 6.0 metres [20 ft.] from the west *lot line* and not less than 1.5 metres [5 ft.] from any other *lot line*. Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Block B:

Buildings and structures shall be sited not less than 3.6 metres [12 ft.] from the west *lot line* and not less than 1.5 metres [5 ft.] from any other *lot line*. Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

3. Blocks C and D:

Not applicable.”

2. This By-law shall be cited for purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, 2011, No. 17490, Amendment By-law, 2016, No. _____."

PASSED FIRST AND SECOND READING on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

PASSED THIRD READING ON THE _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

MAYOR

CLERK

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ME 7/5/16 7:40 PM