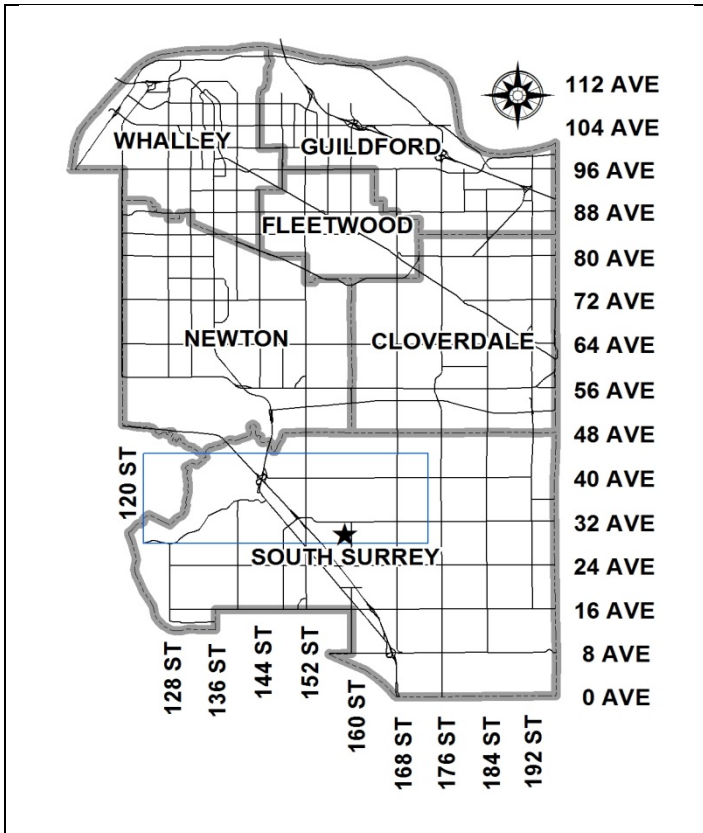


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7915-0260-00

Planning Report Date: May 30, 2016



PROPOSAL:

- Rezoning from RA to RM-30
- Development Permit
- Development Variance Permit

to permit the development of 72 townhouse units.

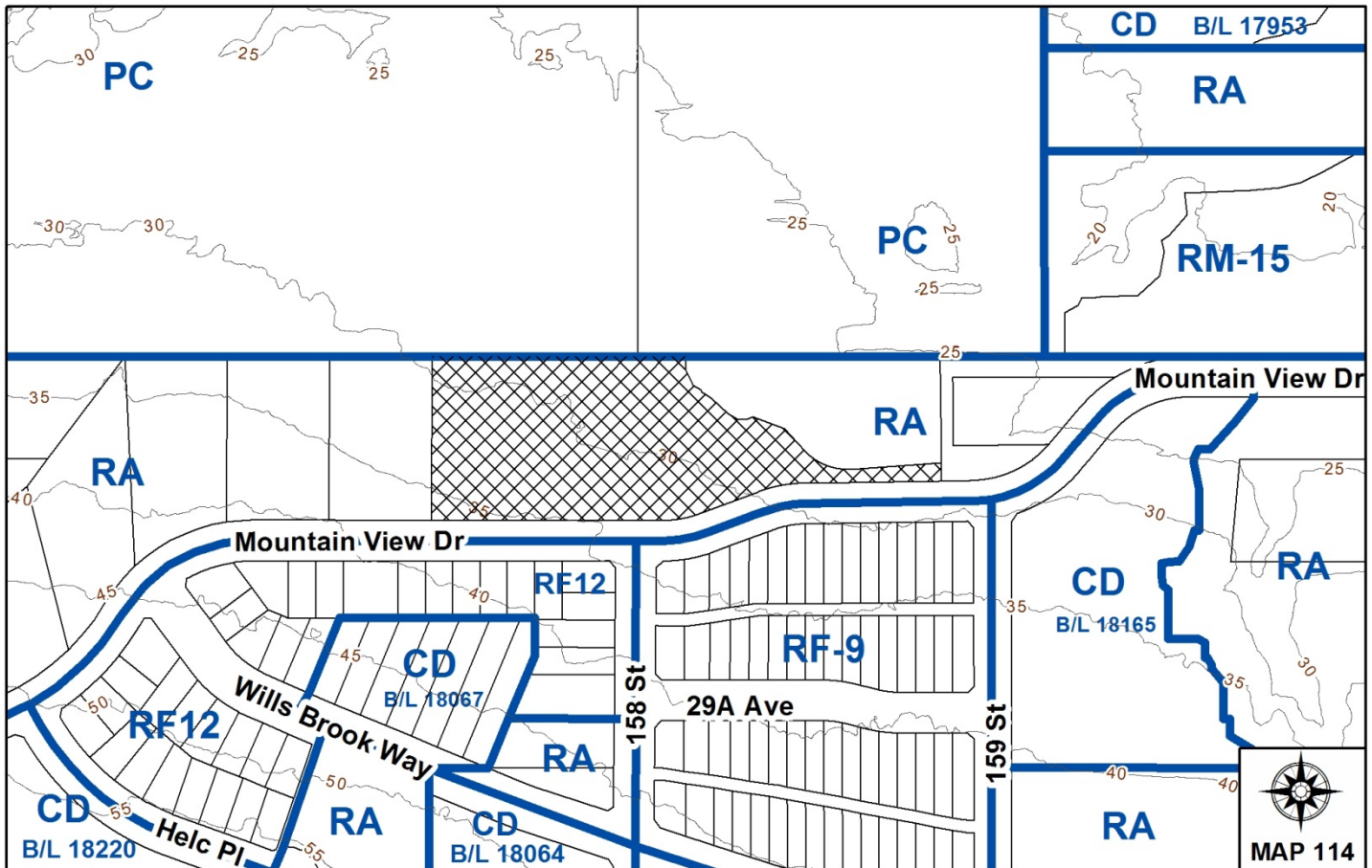
LOCATION: 15755 - Mountain View Drive

OWNER: Grandview Adera Ventures Ltd.

ZONING: RA

OCP DESIGNATION: Urban

NCP DESIGNATION: Multiple Residential (15-25 upa)



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for rezoning.
- Approval to reduce indoor amenity space.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing reductions to the front, rear and side yard setbacks of the RM-30 Zone.
- Parking requirements are proposed to be varied to allow one visitor parking space to be located within the side yard setback.
- The applicant is seeking to reduce the amount of indoor amenity space from 216 square metres (2,325 sq.ft.) to 201 square metres (2,163 sq.ft.).

RATIONALE OF RECOMMENDATION

- The proposal complies with the site's designation in the Official Community Plan (OCP).
- The proposal complies with the site's designation in the North Grandview Heights Neighbourhood Concept Plan (NCP).
- The form and character of the townhouses are appropriate for this area of North Grandview Heights.
- The proposed tree retention includes a grove of high quality trees.
- The proposed variances for building setbacks are supportable as they provide better street presence along Mountain View Drive, or are side yard conditions, and are generally consistent with the setbacks of other projects which have been approved in the neighbourhood, including the adjacent property to the west. Furthermore, the proposed setbacks allow for both an efficient site plan and tree preservation.
- The reduction in the amount of required indoor amenity space is minimal and the shortfall will be addressed through a cash-in-lieu payment.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Multiple Residential 30 Zone (RM-30)" and a date be set for Public Hearing.
2. Council approve the applicant's request to reduce the amount of indoor amenity space from 216 square metres (2,325 sq.ft.) to 201 square metres (2,163 sq.ft.).
3. Council authorize staff to draft Development Permit No. 7915-0260-00 generally in accordance with the attached drawings (Appendix II).
4. Council approve Development Variance Permit No. 7915-0260-00 (Appendix VI) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum rear yard (north) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 7.0 metres (23 ft.);
 - (b) to reduce the minimum west side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 3.0 metres (10 ft.);
 - (c) to reduce the minimum east side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.0 metres (13 ft.) and 3.0 metres (10 ft.);
 - (d) to reduce the minimum front yard (south) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.); and
 - (e) to vary the parking requirements of the RM-30 Zone to allow one (1) visitor parking stall to be located within the side yard setback.
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (c) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (e) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;

- (f) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
- (g) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
- (h) registration of a Section 219 Restrictive Covenant requiring fire sprinklers to National Fire Prevention Association (NFPA) standards and to release and indemnify the City from liability;
- (i) submission of a subdivision layout dedicating approximately 564 square metres (6,069 sq. ft.) of parkland to the City to the satisfaction of the Approving Officer; and
- (j) the applicant adequately address the impact of reduced indoor amenity space.

REFERRALS

Engineering:	The Engineering Department has no objection to the project, subject to the completion of Engineering servicing requirements as outlined in Appendix III.
School District:	<p>Projected number of students from this development:</p> <p>14 Elementary students at Sunnyside Elementary School 7 Secondary students at Semiahmoo Secondary School</p> <p>(Appendix IV)</p> <p>The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Spring 2018.</p>
Parks, Recreation & Culture:	No concerns.
Surrey Fire Department:	No concerns.

SITE CHARACTERISTICS

Existing Land Use: Vacant single family dwelling on development site created under Development Application No. 7911-0269-00.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North:	West portion: Gardens of Gethsemani cemetery.	Suburban/ Existing Cemetery	PC
	East portion: Mountain View Park.	Urban/ Environmental Area	RA
East:	Mountain View Park.	Urban/ Environmental Area	RA
West	Current: Single family dwellings. Proposed: 34-unit townhouse development and 9 single family small lots under Development Application No. 7914-0253-00 (at Third Reading).	Urban/Cluster Housing (6-8 upa)	RA
South (Across Mountain View Drive):	Single family dwellings.	Urban/Cluster Housing (6-8 upa) and Single Family Small Lots	RF-9 and RF-12

DEVELOPMENT CONSIDERATIONSBackground and Site Context

- The subject property was previously created under Development Application No. 7911-0269-00 by Cressey Development Group. The application involved the assembly of a 13.1 hectare (32.3 acre) site consisting of 10 properties in the North Grandview Heights NCP and created 78 single family small lots, 1 childcare centre lot, and 3 lots that were intended to facilitate future townhouse development, one of which is the subject site.
- The subject site was not rezoned as part of Development Application No. 7911-0269-00.
- The subject 1.3 hectare (3 acre) site is zoned "One-Acre Residential Zone (RA)" and designated "Multiple Residential 15-25 upa" in the North Grandview Heights Neighbourhood Concept Plan (NCP) and "Urban" in the Official Community Plan (OCP).

Proposal

- The applicant proposes to rezone the site from "One-Acre Residential Zone (RA)" to "Multiple Residential 30 Zone (RM-30)" and a Development Permit (DP) to allow the development of a 72-unit townhouse development.
- The applicant is proposing a Development Variance Permit (DVP) in order to reduce the minimum setback requirements of the RM-30 Zone and to allow one (1) visitor parking space within the rear yard setback.
- The proposal comprises a total floor area of 11,118 square metres (119,682 sq.ft.), representing a net floor area ratio (FAR) of 0.9, which equals the maximum allowable 0.9 FAR of the RM-30 Zone.
- The applicant is also seeking to reduce the amount of required indoor amenity space from 216 square metres (2,325 sq.ft.) to 201 square metres (2,163 sq.ft.). The applicant will be required to pay cash-in-lieu for the shortfall in indoor amenity space, in accordance with Council policy.
- The applicant also proposes to convey to the City, at no cost, approximately 564 square metres (6,069 sq.ft.) of land for park purposes.

DESIGN PROPOSAL AND REVIEW

- The proposed 72-unit townhouse project is comprised of 3-bedroom units that are contained within 8 buildings. The units have an average floor area of 154 square metres (1,662 sq.ft.).
- Of the 72 units, 36 have double (side by side) garages and 36 have a tandem parking arrangement.
- Buildings are street-oriented to engage the public realm with individual unit entries oriented to the street.
- The overall design of the project follows a modern, west coast, theme typified by clean geometric lines, with strong horizontal and vertical elements, broad overhangs extensive cedar siding (brown), cedar soffits and painted composite board and panel elements (arctic white), cultured ledgerstone (brown) and thoughtful integration of natural materials and native landscaping.
- Exterior building cladding consist of cedar siding, Hardi board siding in white, light grey, graphite, black and brushed metal, red and brown brick siding, aluminum railings, black vinyl windows, and asphalt flat roofs.
- Roof decks and second-floor balconies are proposed for each unit, which provide additional private outdoor amenity space for the enjoyment of owners.
- The perceived building massing has been reduced by following the natural grades of the site through a stepped building form, including complementary vertical façade elements that reduce the horizontality of the design.

- An entry feature, comprised of red and brown brick and a water feature, wraps around the corner of Building 1. Brick is also included at the entry of each unit along Mountain View Drive, creating repetition and consistency along the street.

Landscaping

- The landscaping includes a mix of trees, shrubs and ground cover.
- 84 trees are proposed to be planted within the project, including a mix of maple, dogwood, spruce, ash and beech trees.
- Other plantings include a variety of flowering shrubs, grasses and ground covers that are used to soften the hard surfaces of the site, mark walkways and driveways and help define the transitions between private and semi-private spaces.
- Decorative stamped concrete is proposed at the site's entrance and at the intersection of internal drive aisles. Internal walkways are proposed along the entry drive aisle and along the north and east property lines, adjacent to the cemetery and Mountain View Park to provide connection within the site.
- An entry monument with a water feature is proposed along Mountain View Drive. Wooden gates with columns are provided to define the front yard of each unit and designate between public and private spaces.

Access, Pedestrian Circulation & Parking

- Vehicular access to the site is proposed from Mountain View Drive.
- All of the street-fronting units are proposed to have individual pedestrian access to the street. Each unit is also connected to several main pathways that allow for circulation through the site and connection to the City sidewalk.
- The applicant is proposing to provide 158 resident parking spaces and 14 visitor parking spaces, which meets the Zoning By-law requirement of 158 spaces for resident and visitor parking.

Amenity Space

- The Zoning By-law requires that 216 sq. m. (2,325 sq. ft.) of both indoor and outdoor amenity space be provided for this project, based on 3 sq. m. (32 sq. ft.) per dwelling unit.
- A 613 sq. m. (6,600 sq.ft.) indoor amenity building, located at the north east corner of 159 Street and Mountain View Drive, was approved under Development Application No. 7913-0089-00 and was intended serve a total of 204 townhouse units on three (3) townhouse sites created under Development Application No. 7911-0269-00, one of which is the subject site.
- The amenity building is constructed and contains a gym, exercise room and pet wash area on the ground floor and a great room, kitchen, lounge area, billiards room, coffee bar, and multi-purpose room on the second level.

- To date, 137 of the 204 townhouse units that the amenity space was intended to serve have been approved under Development Application Nos. 7913-0089-00 and 7915-0244-00. These developments are located at 159 Street and Mountain View Drive and 159 Street and Wills Brook Way respectively.
- As a result, there is sufficient indoor amenity space remaining in the building to meet the Zoning By-law requirement for 67 of the 72 units proposed under the subject application.
- The proposed reduction in indoor amenity space equates to 5 units and is minimal. The shortfall will be addressed through a cash-in-lieu payment.
- The applicant is proposing to provide 216 square metres (2,325 sq. ft.) of outdoor amenity spaces on the subject site, which consists of open seating areas, treed and landscaped areas, picnic tables and a water fountain.

TREES

- Nick McMahon, ISA Certified Arborist of Arbortech Consulting, prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder and Cottonwood	14	14	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Bigleaf Maple	10	10	0
Paper Birch	5	5	0
Pacific Dogwood	1	1	0
Walnut	1	0	0
Saucer Magnolia	1	1	0
Flowering Cherry	4	4	0
Coniferous Trees			
Norway Spruce	1	1	0
Blue Spruce	1	1	0
Sitka Spruce	2	1	1
Scots Pine	1	1	0
Western Redcedar	17	6B	11
Western Hemlock	1	1	0
Total (excluding Alder and Cottonwood Trees)	45	33	12
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		80	
Total Retained and Replacement Trees		92	

Contribution to the Green City Fund	N/A
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- The Arborist Assessment states that there are a total of 45 protected trees on the site, excluding Alder and Cottonwood trees. 14 existing trees, approximately 24% of the total trees on the site, are Alder and Cottonwood trees. It was determined that 10 trees can be retained as part of this development proposal. The proposed tree retention consists of a cluster of good specimen Western Red Cedar trees located in the north west corner of the site.
- The proposed tree preservation on the site will require suspended slab for the placement of the drive aisle and supervision by an arborist during construction.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 84 replacement trees on the site. The applicant is proposing to plant 80 replacement trees, meeting City requirements.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on May 24, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is located within the North Grandview Heights NCP.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The applicant is proposing roof top decks that provide the opportunity for gardening.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Absorbent soils greater than 30 cm (1 foot) in depth and natural landscaping are proposed. • The applicant is proposing to retain 10 trees. • Storage space within the garage of each unit is provided for recycling.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • On-site pedestrian paths will be provided. • Garages will have space for bicycle storage.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • Outdoor and indoor amenity space and recreation space is provided. • Landscaping is designed to provide good visibility on the site. Units are oriented to internal drive aisles and Mountain View Drive.
6. Green Certification (F1)	<ul style="list-style-type: none"> • The applicant is proposing to build to a Built Green Gold standard.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • The Built Green certification will be provided to owners.

ADVISORY DESIGN PANEL

The application was not referred to the ADP for review. The design and landscaping plans were reviewed by staff and found to be generally acceptable.

PRE-NOTIFICATION

Pre-notification letters were sent on December 2, 2015 to 126 households within 100 metres (328 ft.) of the subject site. To date, staff have received no comments on the proposed development.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variances:

- Reduce the minimum front yard (south) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.);
- Reduce the minimum rear yard (north) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 7.0 metres (23 ft.);
- Reduce the minimum side yard (west) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 3.0 metres (10 ft.); and
- Reduce the minimum side yard (east) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.0 metres (13 ft.) and 3.0 metres (10 ft.).

Applicant's Reasons:

- Reducing the building setback along Mountain View Drive will bring the buildings closer to the street and allow for a better street presence.
- A reduction in the north setback is supportable as the neighbouring property is the existing cemetery and a reduced setback will not negatively affect its functioning. Furthermore, the proposed setback is consistent with the setback that is proposed on the property to the west [Development Application No. 7914-0253-00] which has received Third Reading.
- The proposed 3.0 metre (10 ft.) east side yard setback is a side yard condition and will have minimal impact as it is located adjacent to Mountain View Park.
- Similarly, the proposed 4.0 metre (13 ft.) east side yard setback will have minimal impact as it is located adjacent to a storm water detention pond.

Staff Comments:

- A reduced front yard setback for street-fronting units located along Mountain View Drive will help the development engage the public realm by bringing the buildings closer to the sidewalk. A reduced setback will also encourage neighbourhood interaction and neighbourhood surveillance through 'eyes on the street'.
- Privacy landscaping including hedges, trees and shrubs will provide visual separation between the development and the cemetery to the north.
- The westerly side yard setback is a side yard condition which decreases the impact on the neighbouring property as the units are oriented north-south and not east-west. The neighbouring property to the west, proposed for redevelopment under Development Application No. 7914-0253-00, proposes a similar 3.0 metre (10 ft.) setback along the shared property line.
- The east side yard setback is proposed adjacent to park land which includes a storm water detention pond. The interface between the proposed townhouse units and Mountain View Park is appropriate and supportable.

(b) Requested Variance:

- To permit one (1) visitor parking stall to be located within the east side yard setback.

Applicant's Reasons:

- Relocating the visitor parking space outside of the setback would require eliminating a townhouse unit.

Staff Comments:

- The proposed visitor parking stall in the east side yard setback is supportable as there is landscaping provided between the parking stall and the property to the east, which is a stormwater detention pond.
- The location of the parking stall will not negatively impact the site or adjacent property to the east.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
- Appendix II. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix III. Engineering Summary
- Appendix IV. School District Comments
- Appendix V. Summary of Tree Survey and Tree Preservation
- Appendix VI. Development Variance Permit No. 7915-0260-00

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

TH/dk

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DEVELOPMENT DATA SHEET

Proposed Zoning: RM-30

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		12,917.5 m ²
Road Widening area		
Undevelopable area		
Net Total		12,917.5 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	36%
Paved & Hard Surfaced Areas		37%
Total Site Coverage		73%
SETBACKS (in metres)		
Front	7.5 m	4.5 m
Rear	7.5 m	7 m
Side #1 (East)	7.5 m	4 m
Side #2 (East)	7.5 m	3 m
Side #3 (West)	7.5 m	3 m
BUILDING HEIGHT (in metres/storeys)		
Principal	13 m	11.2 m
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		72
Total		72
FLOOR AREA: Residential		10,744.25 m ²
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		10,744.25 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)	30 upa	24 upa
# of units/ha /# units/acre (net)		
FAR (gross)		0.90
FAR (net)	0.90	0.90
AMENITY SPACE (area in square metres)		
Indoor	216 m ²	186 m ²
Outdoor	216 m ²	216 m ²
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed	144	144
Residential Visitors	14	14
Institutional		
Total Number of Parking Spaces	158	158
Number of disabled stalls		
Number of small cars	4	4
Tandem Parking Spaces: Number / % of Total Number of Units	50%	50%
Size of Tandem Parking Spaces width/length	3.2 m x 6.1 m	3.2 m x 6.1 m

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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DEVELOPMENT PERMIT APPLICATION



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Issue 1 AUGUST 2015 ISZ APPLICATION
 Issue 2 OCTOBER 15/16 PRELIM CITY REVIEW
 Issue 3 JANUARY 26/16 DP APPLICATION
 Issue 4 APRIL 25/16 DP RESUBMISSION

DRAWING INDEX - DOCUMENTATION

ARCHITECTURAL

- A-000 COVER SHEET NTS
- A-001 SITE CONTEXT LOCATION NTS
- A-1000 SITE PLAN 1:250
- A-1001 FIRE TRUCK ACCESS PLAN 1:250
- A-1100 SITE ELEVATIONS 1:200
- A-1200 SITE SECTIONS 1:200
- A-1300 MATERIALS NTS
- A-2010 BLDG 1 FLOOR PLANS 1:100
- A-2011 BLDG 1 FLOOR PLANS 1:100
- A-2012 BLDG 1 ELEVATIONS 1:100
- A-2020 BLDG 2 FLOOR PLANS 1:100
- A-2021 BLDG 2 FLOOR PLANS 1:100
- A-2022 BLDG 2 ELEVATIONS 1:100
- A-2030 BLDG 3 FLOOR PLANS 1:100
- A-2031 BLDG 3 FLOOR PLANS 1:100
- A-2032 BLDG 3 ELEVATIONS 1:100
- A-2040 BLDG 4 FLOOR PLANS 1:100
- A-2041 BLDG 4 FLOOR PLANS 1:100
- A-2042 BLDG 4 ELEVATIONS 1:100
- A-2050 BLDG 5 FLOOR PLANS 1:100
- A-2051 BLDG 5 FLOOR PLANS 1:100
- A-2052 BLDG 5 ELEVATIONS 1:100
- A-2060 BLDG 6 FLOOR PLANS 1:100
- A-2061 BLDG 6 FLOOR PLANS 1:100
- A-2062 BLDG 6 ELEVATIONS 1:100
- A-2070 BLDG 7 FLOOR PLANS 1:100
- A-2071 BLDG 7 FLOOR PLANS 1:100
- A-2072 BLDG 7 ELEVATIONS 1:100
- A-2080 BLDG 8 FLOOR PLANS 1:100
- A-2081 BLDG 8 FLOOR PLANS 1:100
- A-2082 BLDG 8 ELEVATIONS 1:100

LANDSCAPE

- L-1a LANDSCAPE GROUND LEVEL
- L-1b LANDSCAPE AMENITY AREA
- L-1c LANDSCAPE ROOF TOP LEVEL
- L-1d FENCING - GROUND LEVEL
- L-1e LIGHTING LAYOUT
- L-2a PLANTING - TREES
- L-2b PLANTING - BLDG 1, 2
- L-2c PLANTING - BLDG 3, 4
- L-2d PLANTING - BLDG 5
- L-2e PLANTING - BLDG 6, 7, 8
- L-3a LANDSCAPE DETAILS
- L-3b LANDSCAPE DETAILS

Total -- 44

Total -- 12

Total -- 56

Project: Mountain View at Southridge (Lot 1) Project No: 15362
 Client: Abura Date: April 25/16
 Issue: Issue 04

PROJECT DATA - GRANDVIEW AT SOUTH RIDGE (Lot 1) - (assume 6000 sq ft of site area deducted)

Address: Mountain View Drive, Surrey, BC

Legal Description: Lot 1, Section 23, Township 1, New Westminster District, Plan EPP

Zoning: CD

Legal Site Area	5.19 acres	130,046 sq ft	12,917.50 m ²
Area Transfer to Cemetery Site	-0.14 acres	- 6,080 sq ft	- 563.72 m ²
Site Area for FSR Calculations	3.05 acres	132,976 sq ft	12,353.71 m ²
FSR	0.60	24 UPA (per site area)	11,116.77 m ²
Lot Coverage	9%	8 ac ft	5.00 m ²
Outdoor Amenity Required/Provided	72 units	min. 3.00 m ² /unit	2,325 m ²
Indoor Amenity Required/Provided	72 units	min. 3.00 m ² /unit	2,325 m ²

Parking Required/Provided

Residents	72 units	2.0 spaces per unit	144.0 spaces
Visitor	72 units	0.2 spaces/unit	14.4 spaces
Total Parking Required			158.4 spaces
Visitor Parking Provided:			14 spaces

Units with Double Carriage: 36 units (50%)
 Units with Tandem Parking: 36 units (50%)
 Total: 72 units (100%)

Disabled Parking: 1 per 100 spaces (0.14 spaces)
 Max. Small Cars: 25% of required spaces (3.96 spaces)
 Small Car Spaces Provided (includes only): 7% of required spaces (1.11 spaces)

Townhouse Unit Type	Number of Units	1st Floor Garage	1st Floor	2nd Floor	3rd Floor	4th Floor - Loft	Roof Deck	Total Unit Area (including garage)	Average Area/Unit (including Garage)	Average Area/Unit (excluding Garage)
1+1/2+1/2	12 (10)	1,055.5	1,012.0	865.0	602.0	277.0		3,811.5	317.6	1,734
2+1/2	14 (12)	1,441.0	1,352.0	1,160.0	814.0			4,767.0	340.5	1,974
3+1/2	13 (11)	1,581.0	1,468.0	1,268.0	892.0			5,209.0	399.9	1,974
4+1/2	14 (12)	1,841.0	1,728.0	1,528.0	1,072.0			6,169.0	440.7	1,974
1+1/2+1/2	42 (3)	2,172.0	2,030.0	1,710.0	1,210.0			7,122.0	169.6	1,300
2+1/2	42 (3)	2,403.0	2,262.0	1,942.0	1,442.0			7,949.0	189.3	1,300
3+1/2	42 (3)	2,663.0	2,522.0	2,202.0	1,602.0			8,989.0	214.0	1,300
4+1/2	42 (3)	2,923.0	2,782.0	2,462.0	1,802.0			9,969.0	237.4	1,300
1+1/2	14	1,285.0	1,242.0	1,072.0	752.0			4,351.0	310.8	1,300
2+1/2	14	1,695.0	1,652.0	1,482.0	1,082.0			5,911.0	422.2	1,300
3+1/2	14	1,955.0	1,812.0	1,592.0	1,192.0			6,551.0	468.0	1,300
4+1/2	14	2,215.0	2,072.0	1,852.0	1,302.0			7,441.0	531.5	1,300
1+1/2	11	1,014.0	971.0	841.0	601.0			3,427.0	311.5	1,300
2+1/2	11	1,374.0	1,285.0	1,115.0	805.0			4,579.0	416.3	1,300
3+1/2	11	1,634.0	1,545.0	1,375.0	1,015.0			5,569.0	506.3	1,300
4+1/2	11	1,894.0	1,805.0	1,635.0	1,255.0			6,589.0	599.0	1,300
Total Grossed Out Area	72							219,852 sq ft	3,054 sq ft	1,662 sq ft

Setbacks Required/Proposed: 9.64 14.70 9.64 14.70 9.64 3 4.8 3 4.8 ft
 Height Permitted/Proposed: 42.00 ft 15.0 m

Note 1: Final areas, setbacks parking values, and parking count to be confirmed
 Note 2: All areas are approximate and are for zoning purposes only
 Note 3: Net & gross unit areas are measured to the center of partywalls and to the exterior of sheathing of exterior walls
 Note 4: Deductions and setbacks subject to City of Surrey approval



GRANDVIEW - MOUNTAIN VIEW DRIVE, SOUTH SURREY, BC

TOWNHOME DEVELOPMENT - LIVE WEST COAST

(ARCHITECTURE PLAN)

(STRUCTURE DEVELOPMENT)

(PRODUCT)

GRANDVIEW TOWNHOME DEVELOPMENT
 MOUNTAIN VIEW DRIVE
 SURREY, BC

(TITLE)

COVER PAGE

15362 (PROJECT)

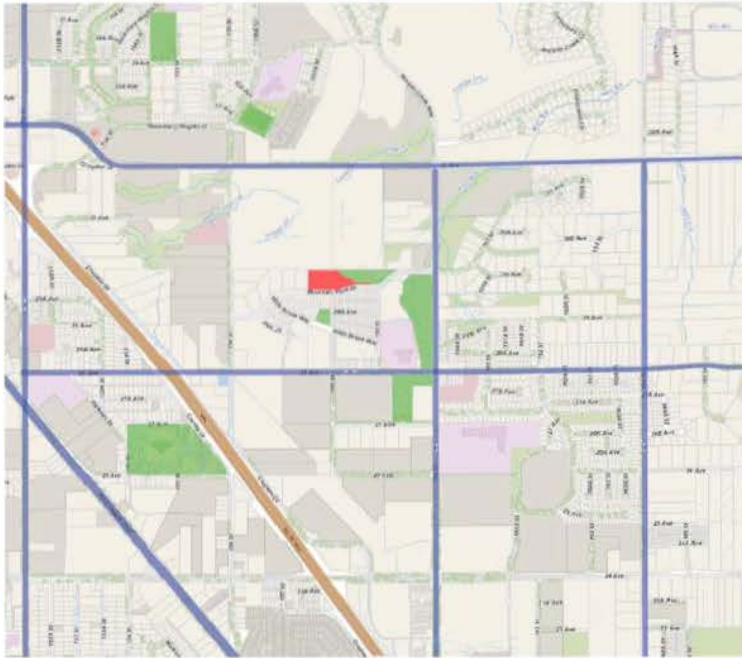
NTS (SCALE)

APR 25, 2016 (DATE)

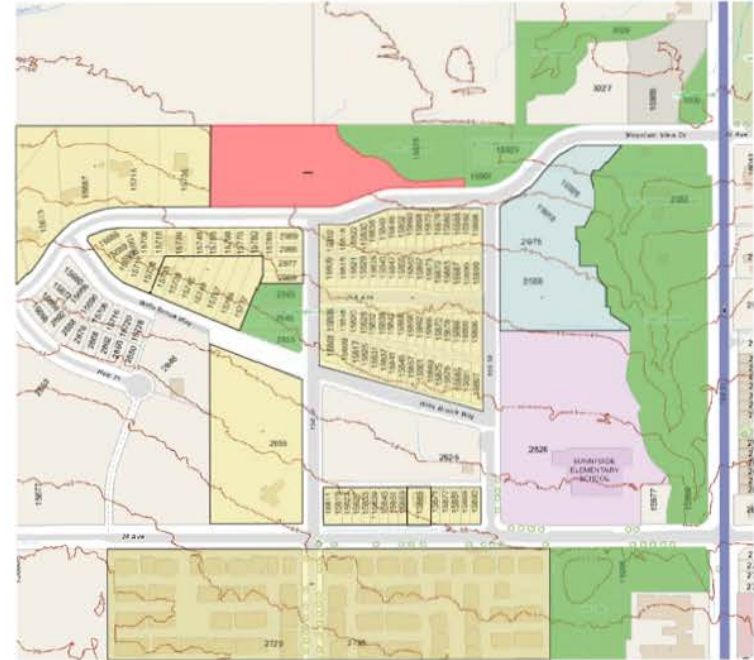
ISSUE 04 (DRAWING)

(DRAWING)

A-0.000



CONTEXT MAP
NTS



SITE MAP
NTS



SITE CONTEXT
SCALE: 1:500



AERIAL PHOTOGRAPH
NTS



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- BLD
- HIGHWAY
- PARK
- SCHOOL
- PROPOSED SITE
- ZONES
- LOCAL INFRASTRUCTURE DEVELOPMENT

————— (Landscape) BLD

————— (CLIENT)

————— (PROJECT)

GRANDVIEW TOWNHOME DEVELOPMENT
 MOUNTAIN VIEW DRIVE
 SURREY, BC

————— (TITLE)

SITE CONTEXT

15362 (PROJECT)

NTS (SCALE)

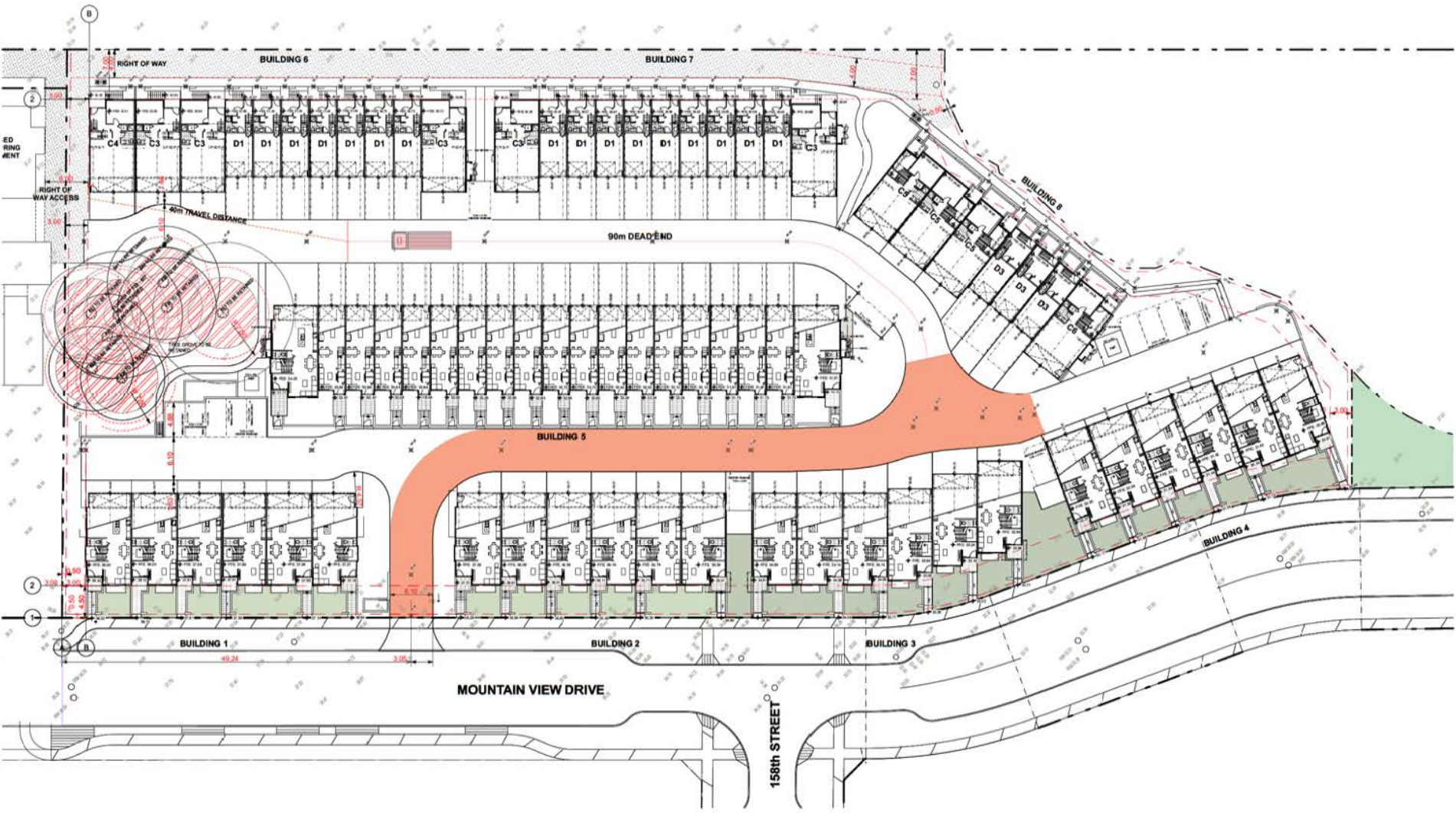
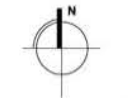
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ISSUE 04 (DRAW)

————— (DRAWING)



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GRANDVIEW TOWNHOME DEVELOPMENT
MOUNTAIN VIEW DRIVE, SURREY BC

FIRE TRUCK ACCESS PLAN

15363 (09/10/2011)
1:250 (10/14/12)
APR 25, 2016 (10/15/12)
FOR REVIEW (10/15/12)



NORTH ELEVATION
SCALE: 1:200



EAST ELEVATION
SCALE: 1:200



SOUTH ELEVATION 1/2
SCALE: 1:200



SOUTH ELEVATION 2/2
SCALE: 1:200



WEST ELEVATION
SCALE: 1:200



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WEST ELEVATION

1:200

ADERA

1:200

GRANDVIEW TOWNHOME DEVELOPMENT

MOUNTAIN VIEW DRIVE SURREY BC

1:200

SITE ELEVATIONS

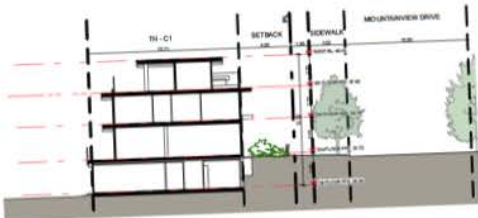
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1:200

APR 25, 2016

FOR REVIEW

A-2.000



Section A
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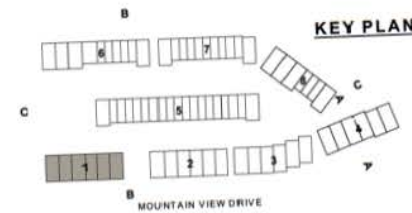


Section B
SCALE: 1:200



Section C
SCALE: 1:200

Section C 2/2
SCALE: 1:200



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GRANDVIEW TOWNHOME DEVELOPMENT
 MOUNTAIN VIEW DRIVE SURREY BC

SITE SECTIONS

1582	DATE: 2011
1:200	SCALE:
APR 25, 2010	DATE:
FOR REVIEW	STATUS:

A-3.000



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15 | HARDIE TRIM BOARDS
 UNIVERSAL BLACK
 2118-10

1 | HARDIE PANEL
 SIDING
 ARCTIC WHITE

5 | CEDAR SIDING
 STAINED

18 | CULTURED STONE
 ALPINE LEDGESTONE
 PHEASANT

8 | ENTRY DOOR
 STAINED TIMBER

13 | CEDAR SOFFITS
 STAINED

12 | VINYL WINDOWS
 UNIVERSAL BLACK
 2118-10

14 | ALUMINUM RAILING
 UNIVERSAL BLACK
 2118-10

7 | ALUMINUM
 COMPOSITE PANEL
 GRAPHITE

2 | HARDIE PLANK
 LAP SIDING
 ARCTIC WHITE

17 | FLASHING
 UNIVERSAL BLACK
 2118-10

MATERIAL AND COLOUR LEGEND

Colour	Product (to match)	Product Finish (to match)	Manufacturer	Element Location
1 White	HardiePanel Siding - Smooth texture, c/w Easy-Ton - Anodized Aluminum	JamesHardie - Timber Bark	JamesHardie	Exterior Walls
2 White	HardiePlank Lap Siding - Select cedar/mill texture, 2" edgepiece	JamesHardie - Arctic White	JamesHardie	Exterior Walls
3 Brown	HardiePanel Siding - Smooth texture, c/w Easy-Ton - Anodized Aluminum	JamesHardie - Timber Bark	JamesHardie	Exterior Walls
4 Brown	HardiePlank Lap Siding - Select cedar/mill texture, 2" edgepiece	JamesHardie - Timber Bark	JamesHardie	Exterior Walls
5 Cedar	Cedar Siding - 1x4 T&G select bevelled edge cedar with water based stain	Sikkens Stain Color SRD - Cedar	Coleman Manufacturing	Exterior Walls
6 Silver	James Hardie aluminum composite panel	Natural: Brushed PEVE	JamesHardie	Window Infill Panels
7 Graphite	James Hardie - Hardie Panel	Natural: Graphite PEVE	James Hardie	Window Infill Panels
8 Cedar	Timber Entry Door	Sikkens Stain Color SRD - Cedar	-	Townhome Entrance @ 1st Floor
9 Cedar	Timber Garage Door - Sectional	Sikkens Stain Color SRD - Cedar	-	Selected Garage Doors
10 Silver	Metal Garage Door - Sectional	Clear Anodized Aluminum	-	Garage Doors
11 Silver	Wing Windows and Doors c/w matching Flanking and Trim	Clear Anodized Aluminum	Bentley	Windows and Doors
12 Cedar	Cedar Soffits - 1x4 T&G select bevelled edge cedar with water based stain	Sikkens Stain Color SRD - Cedar	Coleman Manufacturing	Roof overhang & Entry Soffits
13 Black	Pre-Finished Aluminum Railing c/w Clear Safety Glass Infill Panels	Tiger Drytek Powdercoat Paint to match Benjamin Moore Black and 2118-10	Lindab	Balconies, Patios & Exterior Stairs
14 Black	Hardie's in Boards c/w Pre-Finished steel Rastings (Match Metals Ltd. - colour to match)	Benjamin Moore Universal Black 2118-10	JamesHardie	Balcony & Roof Fascias
15 Silver	Pre-Finished Flashing	Clear anodized aluminum	Match Metals	Selected Windows
16 Black	Pre-Finished Flashing	Benjamin Moore Universal Black 2118-10	Match Metals	Balcony Edges, Roof Overhangs & Windows
17 Roof & Down	Boral Bricks - Henderson Collection - Stack Bond Black Bond	Weathered Trail	Boral Bricks	Selected Exterior Walls & Landscape Elements



2 | JAMES HARDIE
 HardiePlank Lap Siding, Select Cedar/mill Texture
 colour: Arctic White



1 | JAMES HARDIE
 Hardie Panel Siding Smooth
 Colour: Timber Bark



5 | CEDAR SIDING
 1x4 T&G select bevelled edge cedar
 with water based stain - colour to
 match Sikkens SRD natural oak



14 | JAMES HARDIE
 HardieTrim Boards
 colour: Benjamin Moore Universal Black 2118-10



6 | JAMES HARDIE
 Hardie panel 2.0
 colour to match: Natural Brus'wd



7 | JAMES HARDIE
 Hardie panel 2.0
 colour to match: Natural Graphite



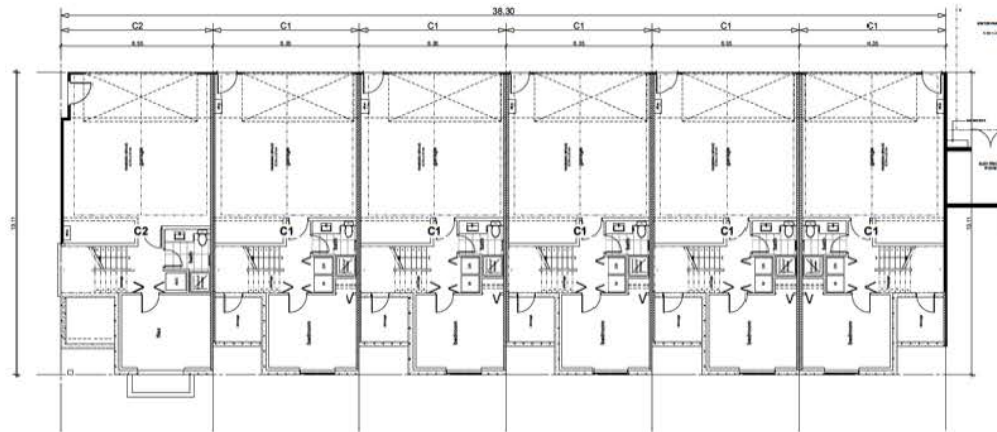
17 | BORAL BRICK
 Henderson Collection - Stack Bond
 colour: Weathered Trail

STRUCTURE DEVELOPMENT

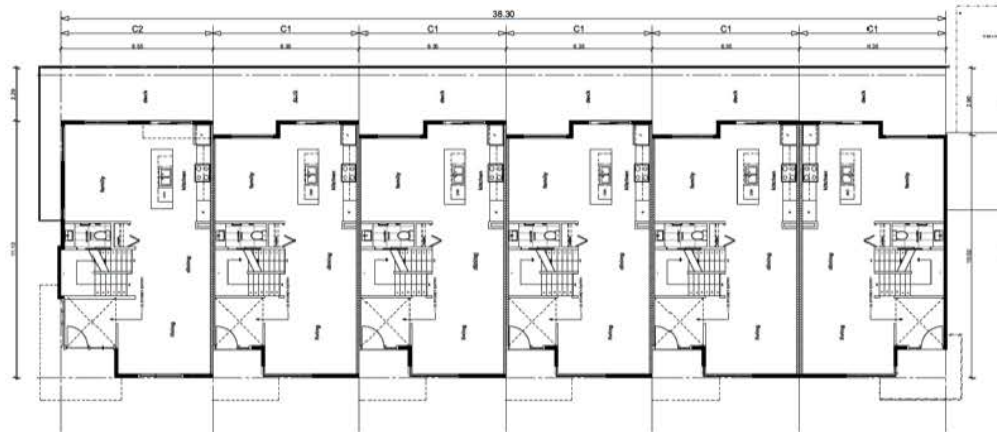
GRANDVIEW TOWNHOME DEVELOPMENT
 MOUNTAIN VIEW DRIVE
 SURREY, BC

MATERIALS

15362 PROJECT
 NTS DRAWING
 APR 25, 2016 DATE
 ISSUE 04 DRAWING



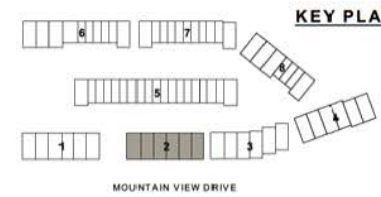
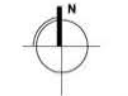
1 1st Floor
SCALE: 1:100



2 2nd Floor
SCALE: 1:100



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KEY PLAN

PREPARED BY

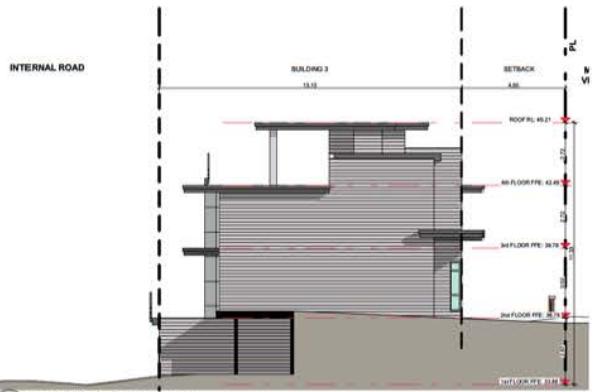
ADERA

GRANDVIEW TOWNHOME DEVELOPMENT
 MOUNTAIN VIEW DRIVE SURREY BC

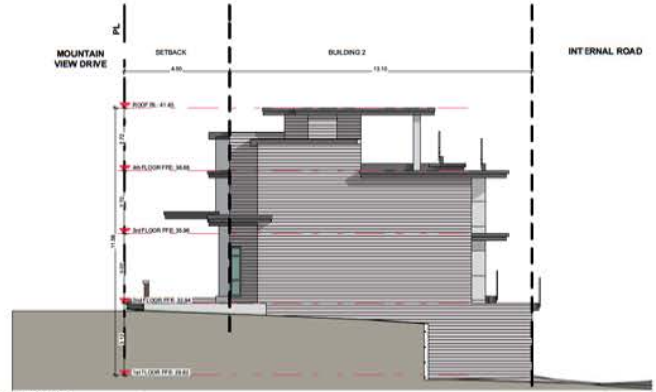
BUILDING 2 FLOOR PLANS

15263 (19/10/2017)
 1:100 (18/04/2016)
 APR 25, 2016 (18/04/2016)
 FOR REVIEW (18/04/2016)

A-2.020



1 BLD 3 WEST ELEVATION
SCALE: 1:100



3 EAST ELEVATION
SCALE: 1:100



2 SOUTH ELEVATION
SCALE: 1:100



4 NORTH ELEVATION
SCALE: 1:100



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(DATE) (REV)

(DATE) (REV)

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(DATE) (REV)

GRANDVIEW TOWNHOME DEVELOPMENT
 MOUNTAIN VIEW DRIVE SURREY BC

BUILDING 3 ELEVATIONS

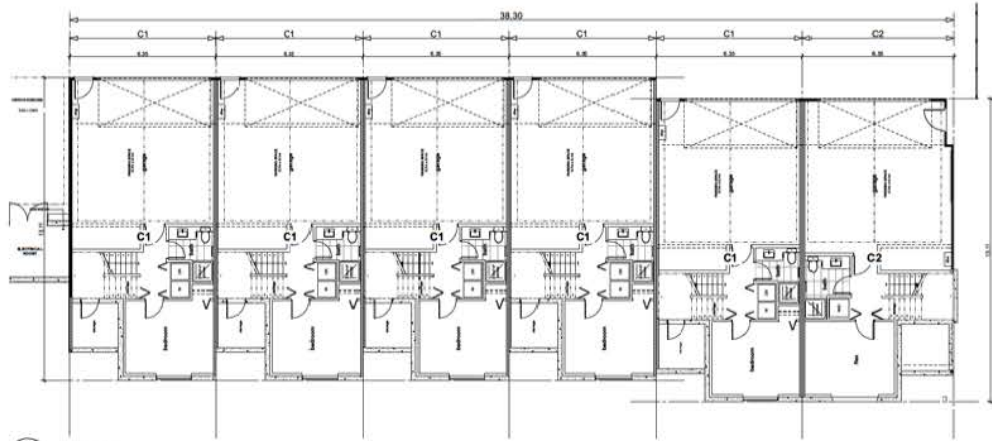
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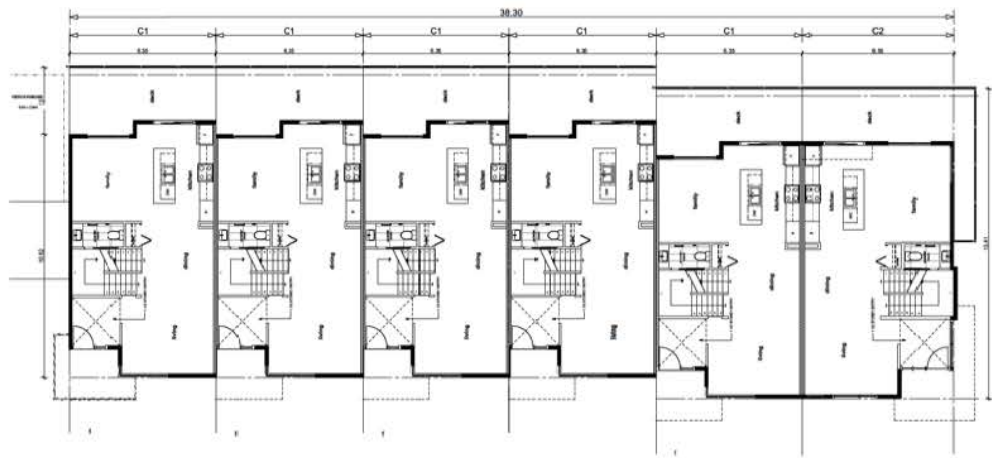
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FOR REVIEW (DATE)

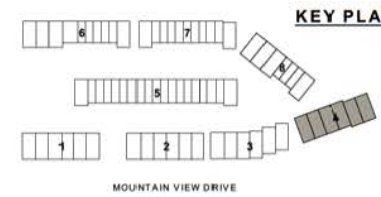
(DATE) (REV)



1 1st Floor
SCALE: 1:100



2 2nd Floor
SCALE: 1:100



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GRANDVIEW TOWNHOME DEVELOPMENT
 MOUNTAIN VIEW DRIVE, SURREY BC

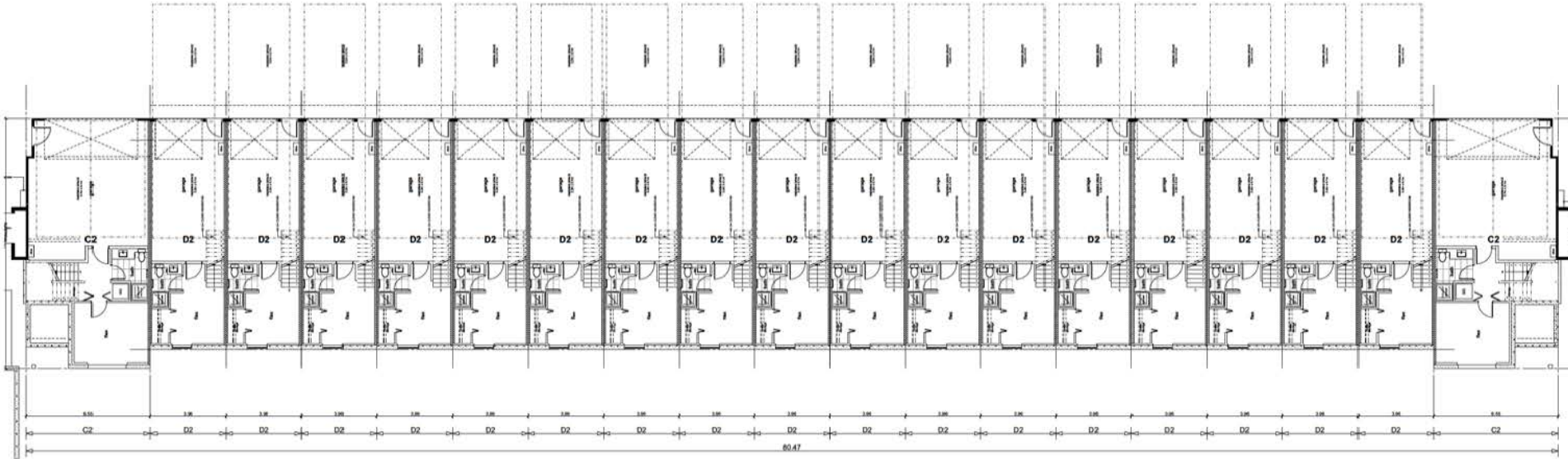
KEY PLAN

BUILDING 4 FLOOR PLANS

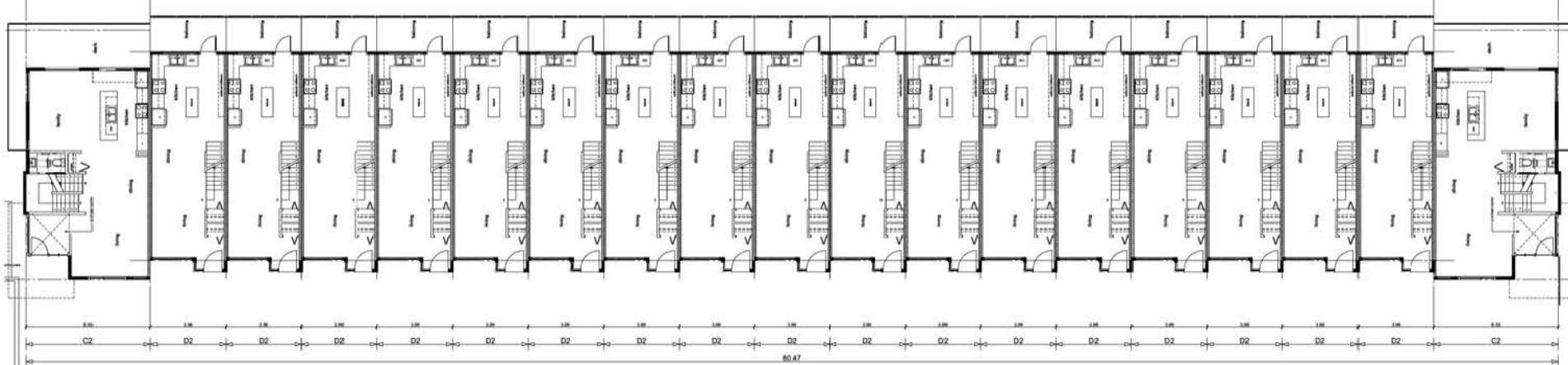
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 APR 25, 2016
 FOR REVIEW



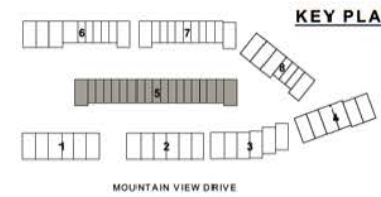
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1
1st Floor
SCALE: 1:100



2
2nd Floor
SCALE: 1:100



ADERA
(DATE: 04/21/16)

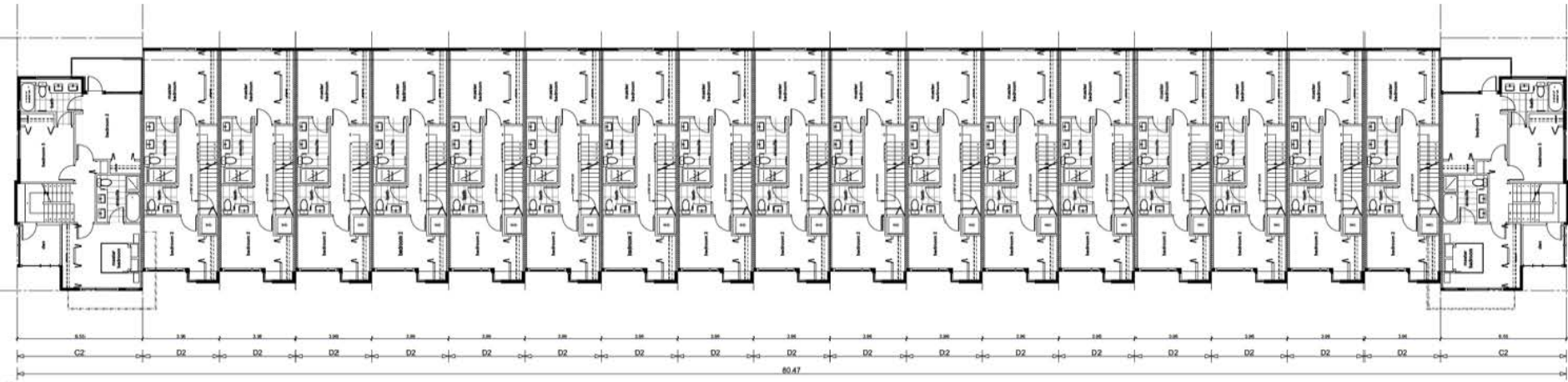
GRANDVIEW TOWNHOME DEVELOPMENT
MOUNTAIN VIEW DRIVE, SURREY, BC
(DATE: 04/21/16)

BUILDING 5 FLOOR PLANS
1:100 (DATE: 04/21/16)
APR 25, 2016 (DATE: 04/21/16)
FOR REVIEW (DATE: 04/21/16)

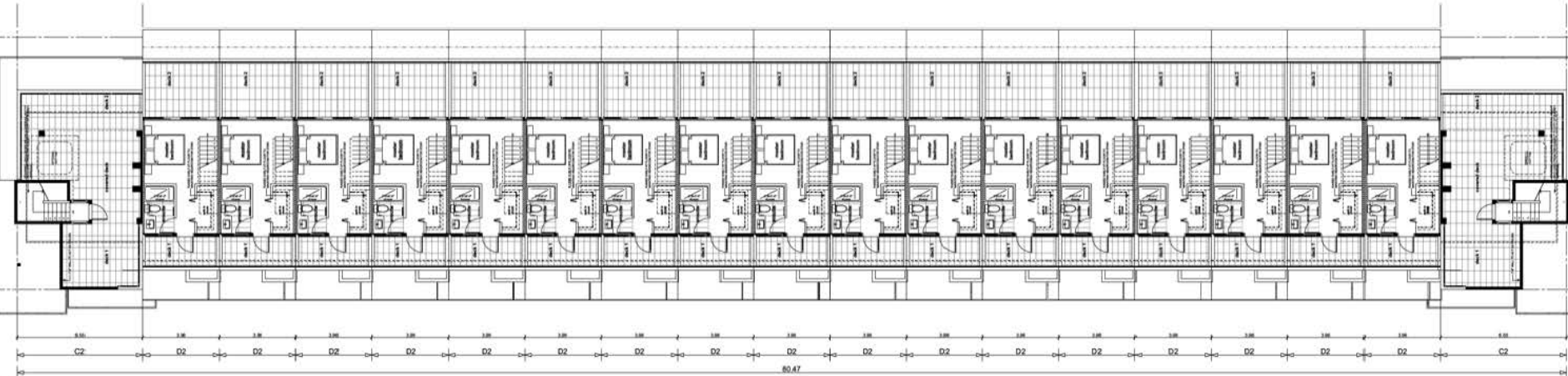
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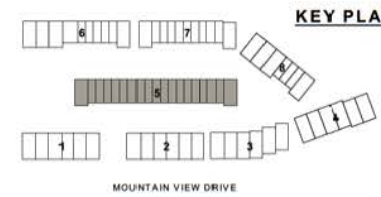
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1 3rd Floor
SCALE: 1:100



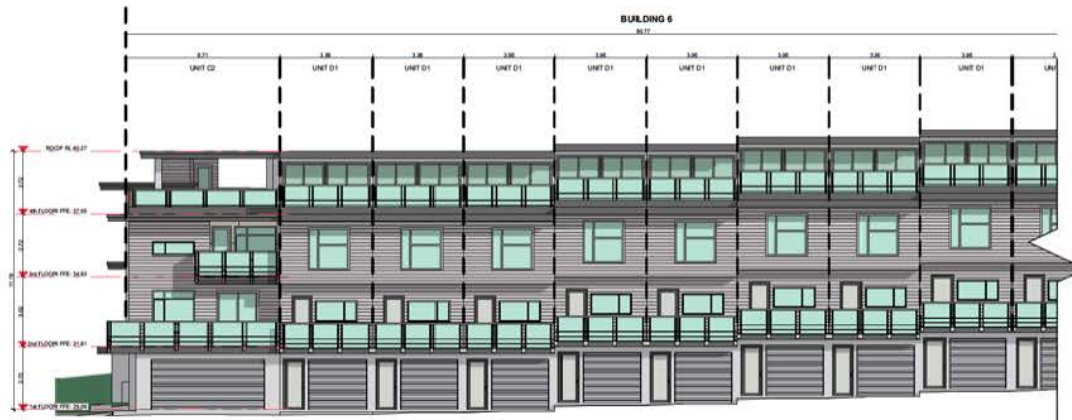
2 4th Floor
SCALE: 1:100



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GRANDVIEW TOWNHOME DEVELOPMENT
 MOUNTAIN VIEW DRIVE, SURREY BC
1:100 (A)

BUILDING 5 FLOOR PLANS
 15263 (19/03/2017)
 1:100 (18/04/16)
 APR 25, 2016 (18/04/16)
 FOR REVIEW (18/04/16)



NORTH ELEVATION 1/1
SCALE: 1:100



NORTH ELEVATION 2/2
SCALE: 1:100



EAST ELEVATION
SCALE: 1:100



WEST ELEVATION
SCALE: 1:100



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DATE PLOTTED: 04/24/16

DATE PLOTTED: 04/24/16

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DATE PLOTTED: 04/24/16

GRANDVIEW TOWNHOME DEVELOPMENT
MOUNTAIN VIEW DRIVE SURREY BC

BUILDING 5 ELEVATIONS

15263 (04/24/16)
1:100 (04/24/16)
APR 25, 2016 (04/24/16)
FOR REVIEW (04/24/16)



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SOUTH ELEVATION 1/2
SCALE: 1:100



SOUTH ELEVATION 2/2
SCALE: 1:100

(DATE PLOTTED: 2016)

(DATE PLOTTED: 2016)

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(DATE PLOTTED: 2016)

GRANDVIEW TOWNHOME DEVELOPMENT
MOUNTAIN VIEW DRIVE SURREY BC

BUILDING 5 ELEVATIONS

15263 (DATE PLOTTED: 2016)

1:100 (DATE PLOTTED: 2016)

APR 25, 2016 (DATE PLOTTED: 2016)

FOR REVIEW (DATE PLOTTED: 2016)

(DATE PLOTTED: 2016)



1 BLD 6 EAST ELEVATION
SCALE: 1:100



4 BLD 6 WEST ELEVATION
SCALE: 1:100



2 BLD 6 NORTH ELEVATION
SCALE: 1:100



3 BLD 6 SOUTH ELEVATION
SCALE: 1:100



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(DATE) (SCALE)

(DATE) (SCALE)

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(DATE) (SCALE)

GRANDVIEW TOWNHOME DEVELOPMENT
MOUNTAIN VIEW DRIVE SURREY BC

BUILDING 6 ELEVATIONS

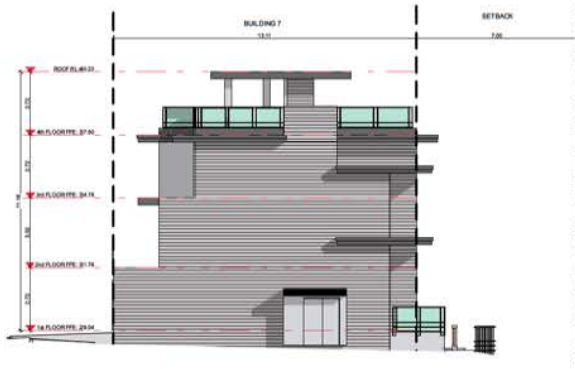
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1:100 (DATE)

APR 25, 2016 (DATE)

FOR REVIEW (DATE)

(DATE) (SCALE)



1 BLD 7 EAST ELEVATION
SCALE: 1:100



2 BLD 7 WEST ELEVATION
SCALE: 1:100



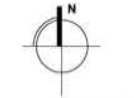
3 BLD 7 NORTH ELEVATION
SCALE: 1:100



4 BLD 7 SOUTH ELEVATION
SCALE: 1:100



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(DATE) (REV)

(DATE) (REV)

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(DATE) (REV)

GRANDVIEW TOWNHOME DEVELOPMENT
MOUNTAIN VIEW DRIVE SURREY BC

BUILDING 7 ELEVATIONS

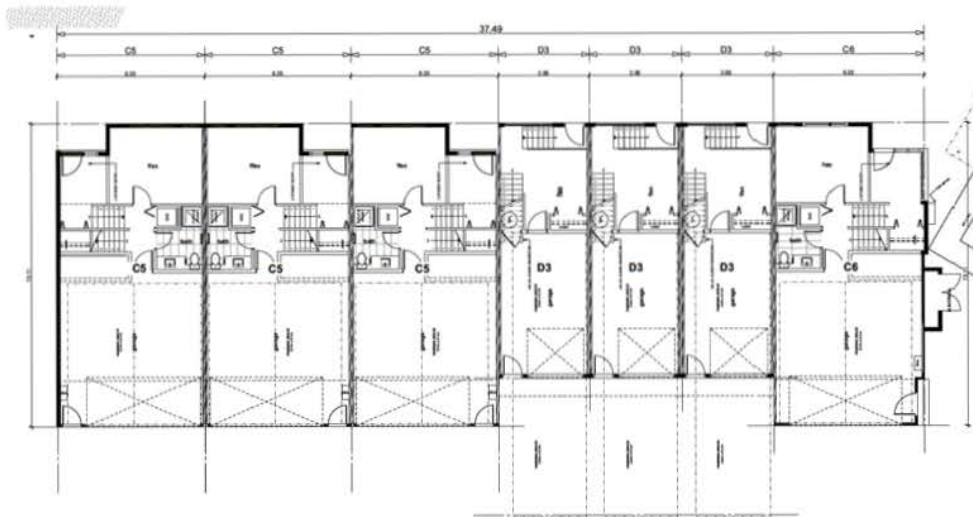
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APR 25, 2016 (DATE)

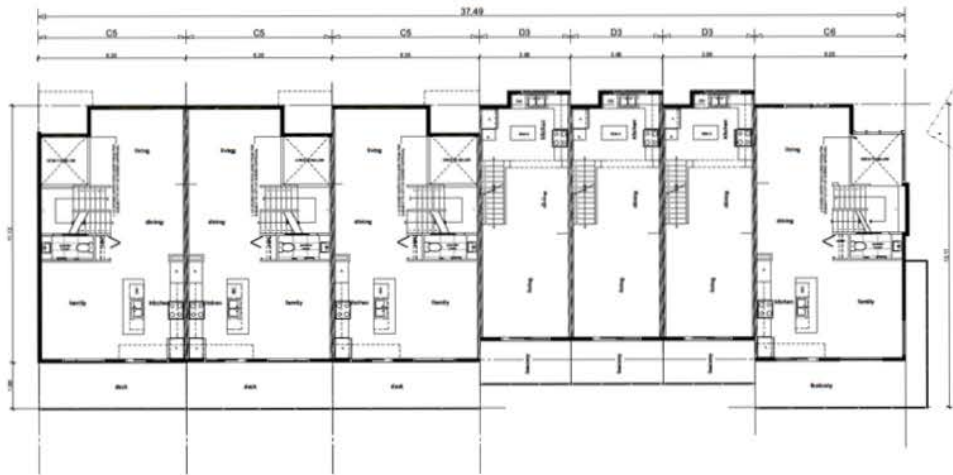
FOR REVIEW (DATE)

(DATE) (REV)



1 1st Floor
SCALE: 1:100

BUILDING 8



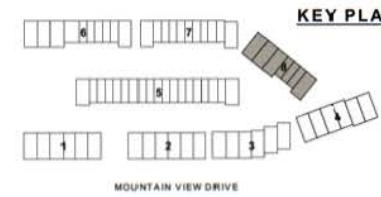
2 2nd Floor
SCALE: 1:100



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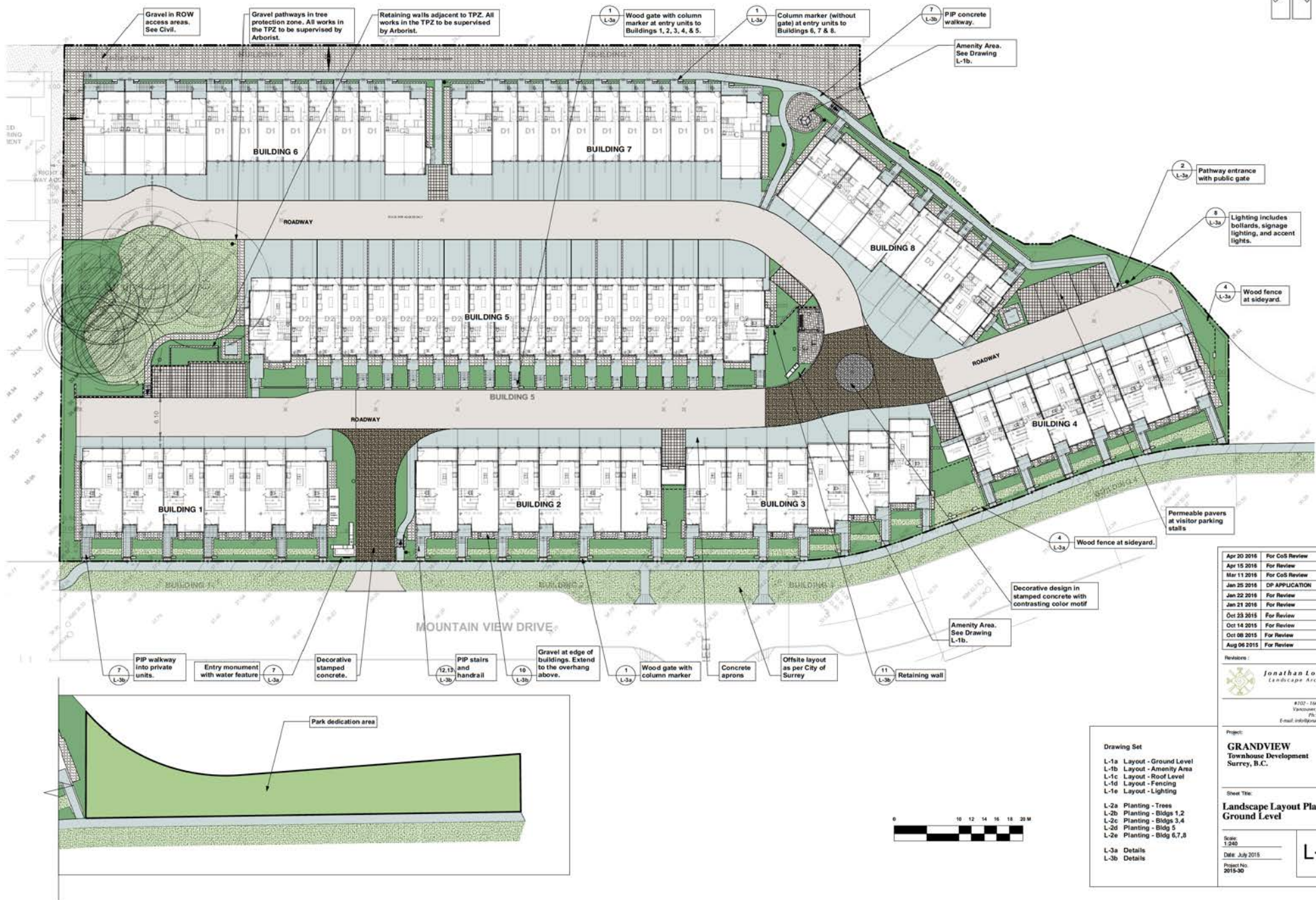


ADERA
 GRANDVIEW TOWNHOME DEVELOPMENT
 MOUNTAIN VIEW DRIVE SURREY BC



KEY PLAN

BUILDING 8 FLOOR PLANS
 15362 (24) (2/21)
 1:100 (24) (4/16)
 APR 25, 2016 (24) (1/16)
 FOR REVIEW (24) (4/16)



Apr 20 2016	For CoS Review
Apr 15 2016	For Review
Mar 11 2016	For CoS Review
Jan 25 2016	DP APPLICATION
Jan 22 2016	For Review
Jan 21 2016	For Review
Oct 23 2015	For Review
Oct 14 2015	For Review
Oct 08 2015	For Review
Aug 06 2015	For Review

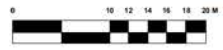
Revisors:

 #107 - 1561 W. 2nd Ave.
 Vancouver, B.C. V6J 1K3
 P: 604-688-1003
 E-mail: info@jonathanlosee.com

Project:
GRANDVIEW
 Townhouse Development
 Surrey, B.C.

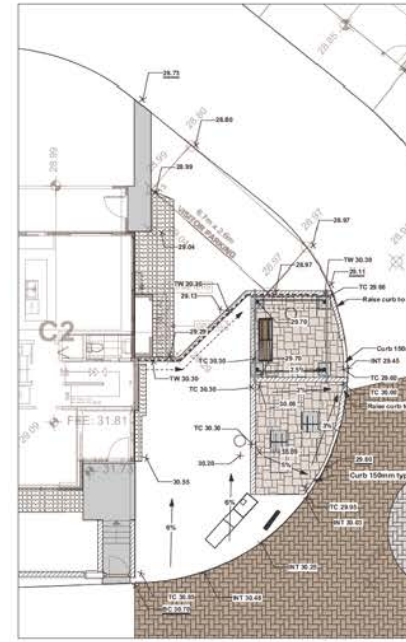
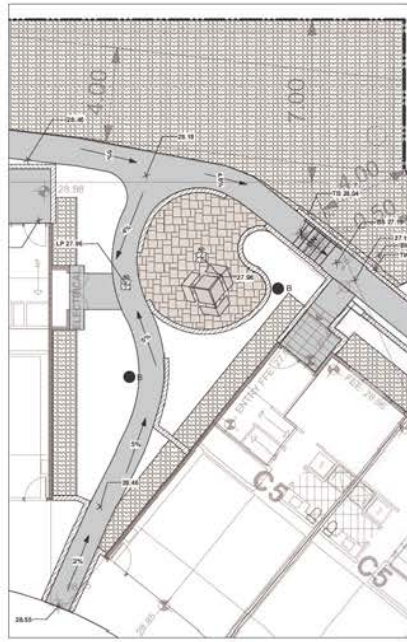
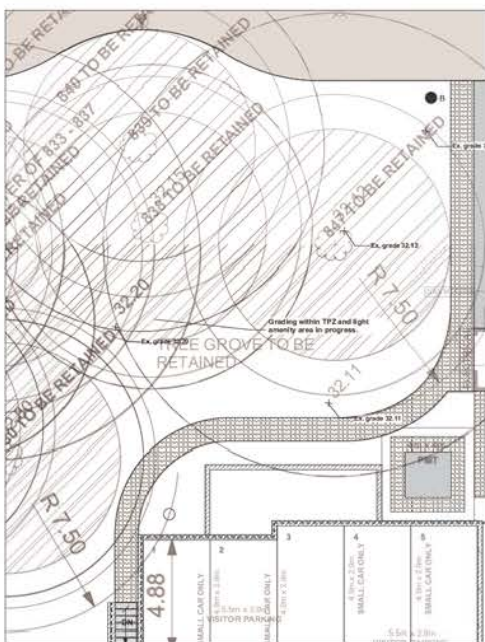
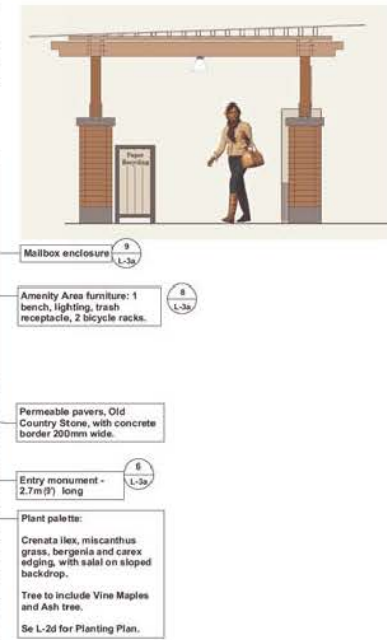
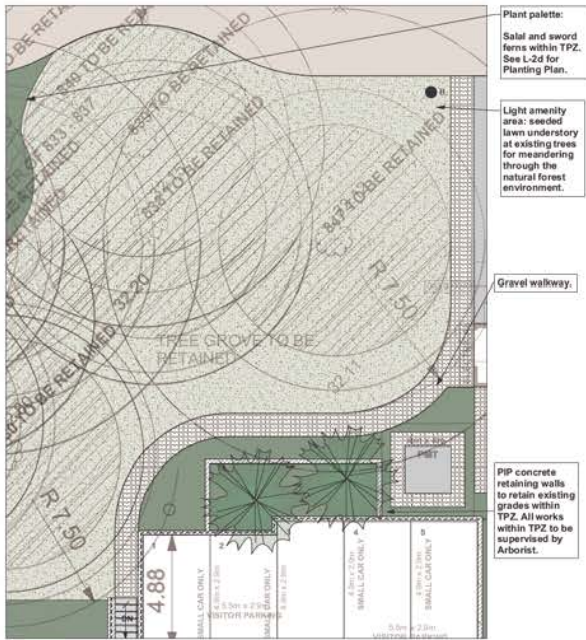
Sheet Title:
**Landscape Layout Plan -
 Ground Level**

- Drawing Set**
- L-1a Layout - Ground Level
 - L-1b Layout - Amenity Area
 - L-1c Layout - Roof Level
 - L-1d Layout - Fencing
 - L-1e Layout - Lighting
 - L-2a Planting - Trees
 - L-2b Planting - Bldgs 1,2
 - L-2c Planting - Bldgs 3,4
 - L-2d Planting - Bldg 5
 - L-2e Planting - Bldg 6,7,8
 - L-3a Details
 - L-3b Details



Scale:
 1:240
 Date: July 2015
 Project No:
 2015-30

L-1a



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Apr 20 2016	For CoS Review
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Aug 08 2015	For Review

Revisions:

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Project:

GRANDVIEW
Townhouse Development
Surrey, B.C.

Sheet Title:

**Landscape Layout Plan -
Amenity Areas**

Scale:
1:100

Date: July 2015

Project No:
2015-30

L-1b

Drawing Set

- L-1a Layout - Ground Level
- L-1b Layout - Amenity Area
- L-1c Layout - Roof Level
- L-1d Layout - Fencing
- L-1e Layout - Lighting

L-2a Planting - Trees

- L-2b Planting - Bldgs 1,2
- L-2c Planting - Bldgs 3,4
- L-2d Planting - Bldg 5
- L-2e Planting - Bldg 6,7,8

L-3a Details

L-3b Details



Japanese maple trees with low ground cover shrubs. See Planting Plan L-2a Trees & Rooftop.

910mm x 910mm square x 1.07m tall planter pots. Planter pots to maintain height of guardrail at edge of patio.

1.07m tall guardrail. See architecture.

Ground level below.

Roof decks with 450mm x 450mm square concrete pavers.

Rooftop furniture by owners. Furniture shown on this plan for illustrative purposes.



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Project:

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Townhouse Development
Surrey, B.C.

Sheet Title:

**Landscape Layout Plan -
Roof Level**

- Drawing Set
- L-1a Layout - Ground Level
 - L-1b Layout - Amenity Area
 - L-1c Layout - Roof Level
 - L-1d Layout - Fencing
 - L-1e Layout - Lighting
- L-2a Planting - Trees
- L-2b Planting - Bldgs 1,2
 - L-2c Planting - Bldgs 3,4
 - L-2d Planting - Bldg 5
 - L-2e Planting - Bldg 6,7,8
- L-3a Details
- L-3b Details

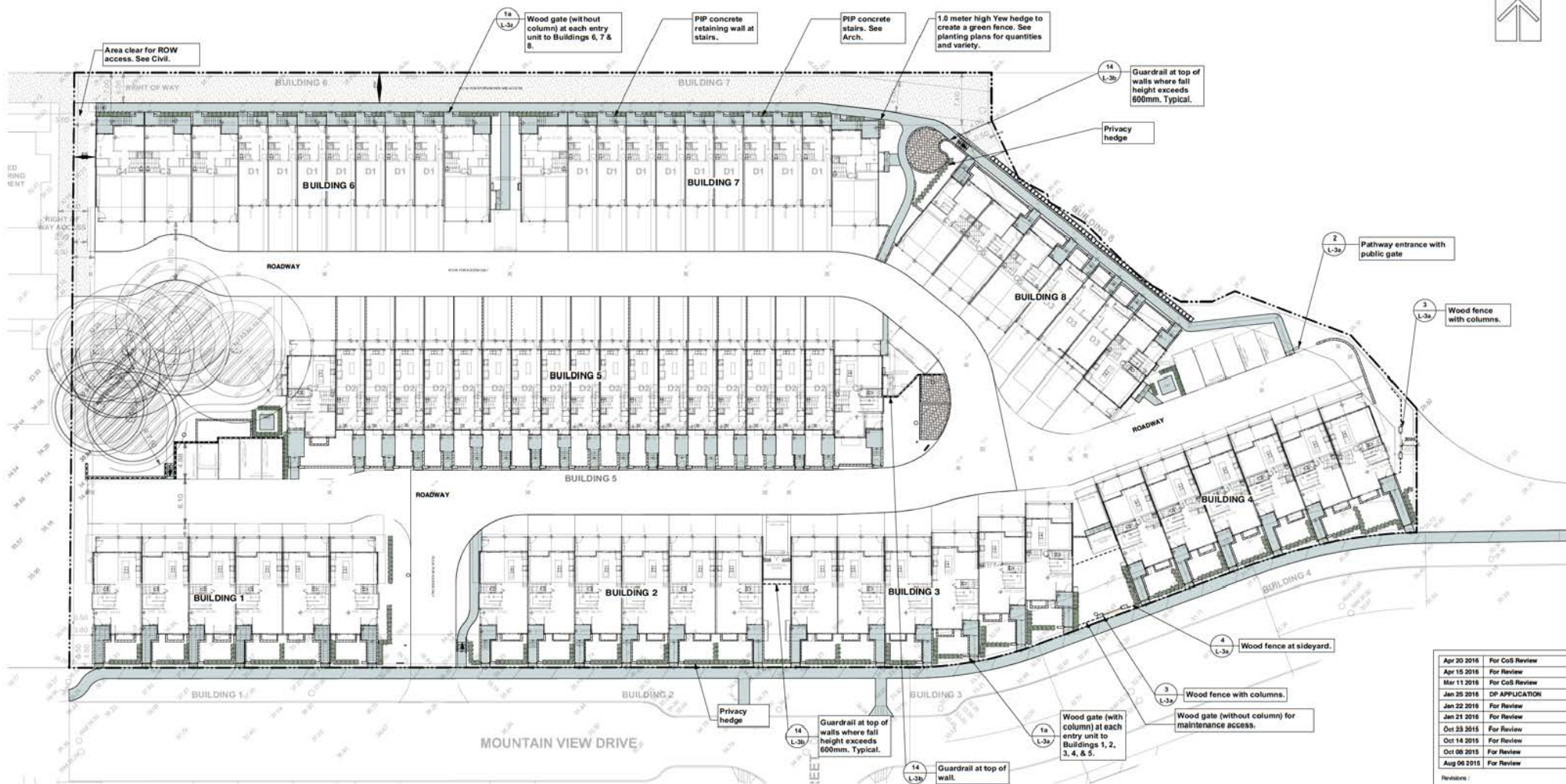


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Date: July 2015

Project No: 2015-30

L-1c



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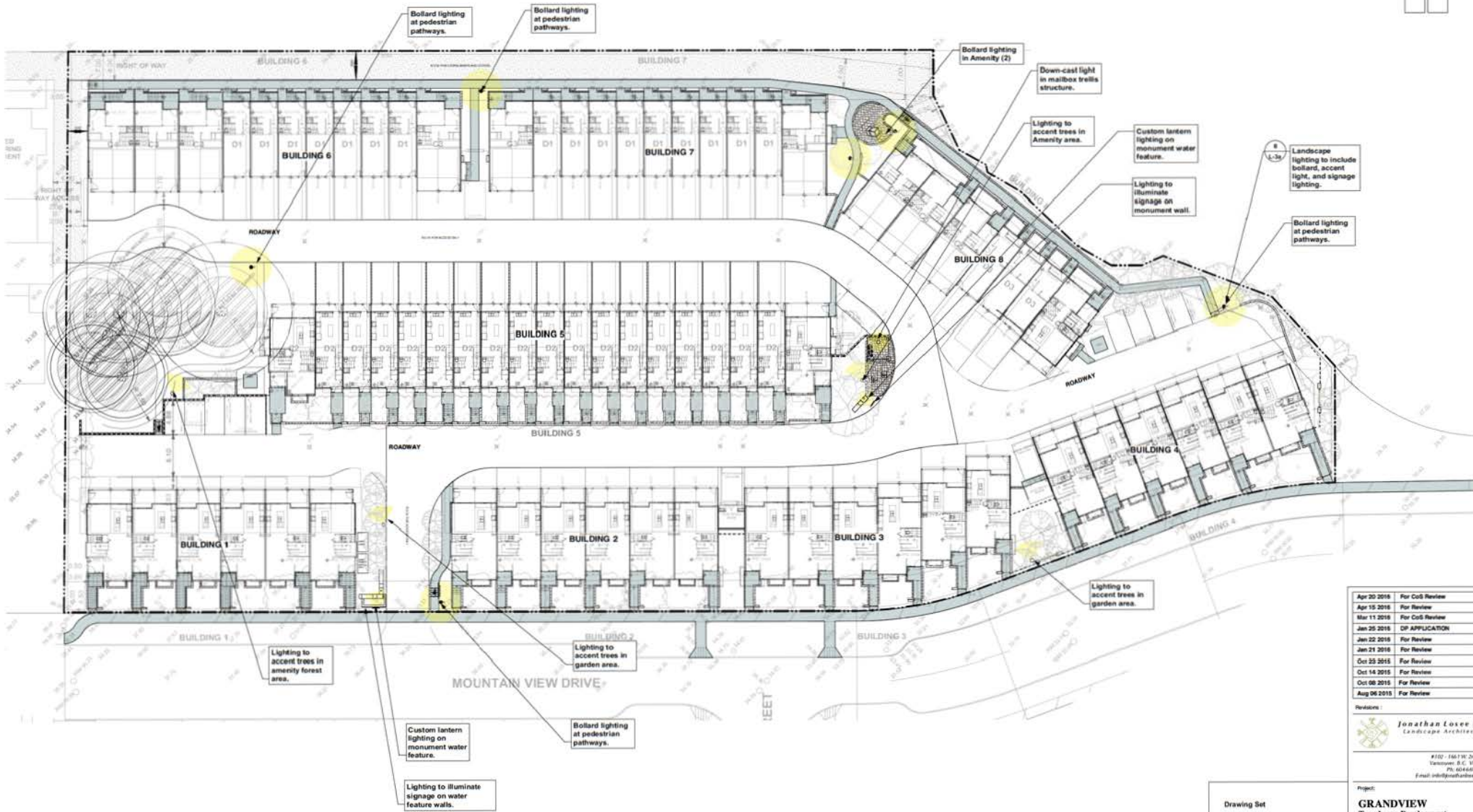
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- L-1a Layout - Ground Level
 - L-1b Layout - Amenity Area
 - L-1c Layout - Roof Level
 - L-1d Layout - Fencing
 - L-1e Layout - Lighting
 - L-2a Planting - Trees
 - L-2b Planting - Bldgs 1,2
 - L-2c Planting - Bldgs 3,4
 - L-2d Planting - Bldg 5
 - L-2e Planting - Bldg 6,7,8
 - L-3a Details
 - L-3b Details

Project:
GRANDVIEW
Townhouse Development
Surrey, B.C.

Sheet Title:
Landscape Layout Plan - Ground Level

Scale: 1:240
Date: July 2015
Project No: 2015-30

L-1a



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GRANDVIEW
 Townhouse Development
 Surrey, B.C.

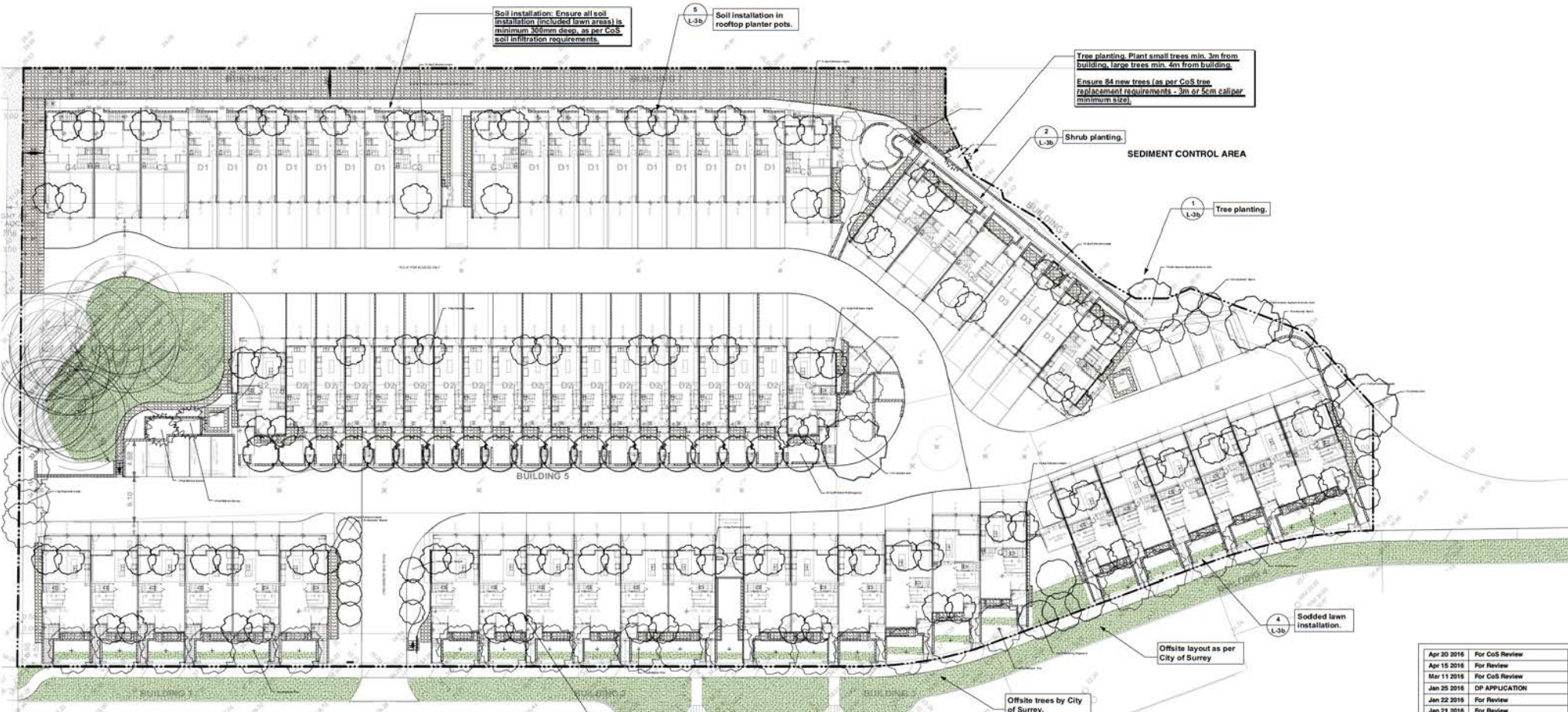
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**Landscape Layout Plan -
 Ground Level**

Drawing Set
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 L-1b Layout - Amenity Area
 L-1c Layout - Roof Level
 L-1d Layout - Fencing
 L-1e Layout - Lighting
 L-2a Planting - Trees
 L-2b Planting - Bldgs 1,2
 L-2c Planting - Bldgs 3,4
 L-2d Planting - Bldg 5
 L-2e Planting - Bldg 6,7,8
 L-3a Details
 L-3b Details



Scale:
 1:240
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 2015-30

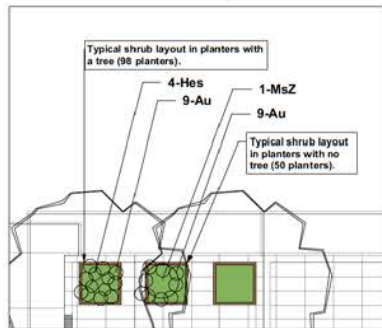
L-1a



MOUNTAIN VIEW DRIVE

See box below for layout of shrubs in planters with a tree and planters without a tree.

- LANDSCAPE NOTES**
- Sizes on the planting plan shall be considered minimum sizes.
 - All landscape construction to meet the current edition of the British Columbia Landscape Standards as a minimal acceptable standard. Plant material to the satisfaction of the Landscape Standards for nursery stock. Extensive search for plant material in Washington, Oregon, California, and B.C.
 - Root balls to be free of pernicious weeds.
 - Top soil mixtures for the project shall be tested for particle size, pH, and Nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or turf planting. Off-site, mix soil types are 0" for lawn areas, 18" for shrub beds and ground cover plantings. Install 2 inches of composted organic mulch on all shrub beds after planting and rake smooth.
 - Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixtures and final grading. Slope towards lawn basins at min. 4%.
 - Landscape Contractor is to provide 60 days of maintenance after the date of Substantial Completion. Maintain to level 2' Graded as per British Columbia Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (Between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
 - Protection of existing trees/shrubs to remain. Install temporary tree protection fencing at 6'0" line of existing hedges, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing and landscape as directed.
 - Planting material on City Boulevard to have the approval of the Parks Dept. prior to installation. Size, species and location require approval at the time of installation.
 - All landscaping to have high-efficiency irrigation system to IABC standards.



1 Rooftop Shrub Layout
L-2a
Scale: 1:50

PLANT LIST - TREES & ROOFTOP	Latin Name	Common Name	Quantity	Scheduled Size	Notes
TREES					
AC	<i>Acet. chinensis</i>	Vine maple	5	104 full fl.	B & B
AD	<i>Acer glabrum</i>	Downy maple	5	50cm cal.	B & B
CI	<i>Caracaltheus japonicus</i>	Katsura Tree	25	60cm fl.	B & B
CO	<i>Cornus florida</i>	Flowering Dogwood	4	#10 pot, 3m	Cont.
CO	<i>Cornus x "Winter Red"</i>	Seabur Pink Dogwood	19	#10 pot, 3m	Cont.
ES	<i>Fagus sylvatica "laevis"</i>	European Beech	20	50cm cal.	B & B
PAAM	<i>Fraxinus americana "Autumn Purple"</i>	American Purple American Ash	2	60cm cal.	B & B
FR	<i>Fraxinus excelsior "Spat. Cloud"</i>	European Ash	2	50cm cal.	B & B
PRNA	<i>Prunella canadensis</i>	Marion's Spirea	2	1.0M full fl. B&B	B & B
SR	<i>Sorbus domestica</i>	European Sorbus	1	1.0M full fl. B&B	B & B
ROOFTOP					
APR	<i>Acet. japonicum "scandolobum"</i>	Tulip-tree maple	38	#10 pot	Cont. Beech
SHRUBS AND GROUNDCOVER - ROOFTOP					
AR	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	1132	#1 pot	Cont.
HE	<i>Hedera helix "compensans"</i>	Blue Oct. Green	149	#2 pot	Cont.
MZ	<i>Miscanthus sinensis "Zoborn"</i>	Zebra Grass	50	#1 pot	Cont.



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Revisors:

Jonathan Losee Ltd.
Landscape Architecture

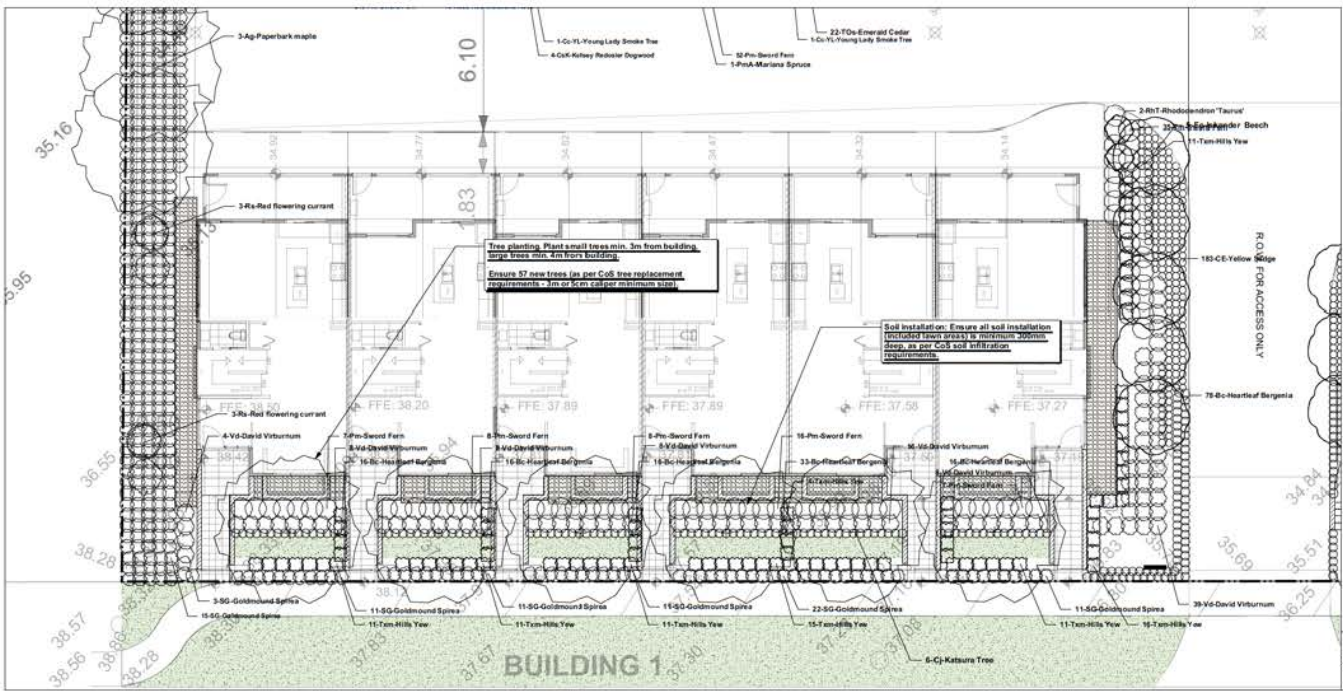
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Project: **GRANDVIEW**
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Surrey, B.C.

Sheet Title: **Planting Plan - Trees and Rooftop & Tree List**

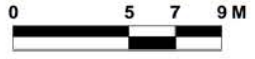
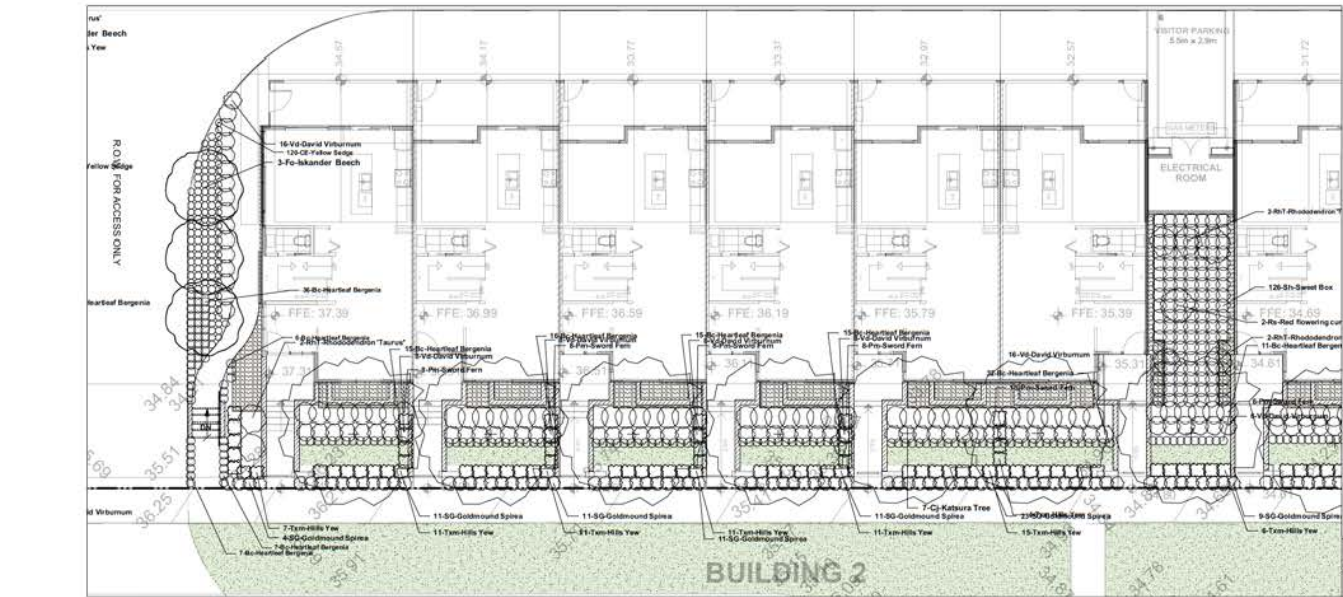
Scale: 1:240
Date: July 2015
Project No: 2015-30

L-2a



- LANDSCAPE NOTES**
- Sizes on the planting plan shall be considered minimum sizes.
 - All landscape construction to meet the current edition of the British Columbia Landscape Standards as a minimal acceptable standard. Plant material to the satisfaction of the Landscape Standards for nursery stock. Conduct search for plant material in Washington, Oregon, California, and B.C.
 - Root balls to be free of pernicious weeds.
 - Top soil mixtures for the project shall be tested for particle size, Ph, and nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or turf planting. Off-site: min. soil depth is 6" for lawn areas, 18" for shrub beds, ground cover plantings. Install 2 inches of composted organic mulch on all shrub beds after planting and rain erosion.
 - Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. The proposed sub-grade shall be approved by the Consultant prior to application of top soil mixtures and finish grading. Slope towards lawn basins at max. 4%.
 - Landscape Contractor is to provide 55 days of maintenance after the date of Substantial Completion. Maintain to level 2 (as noted) as per British Columbia Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (Between Jan 1 and April 1) shall be under extended warranty until the June 1 of the following year.
 - Protection of existing trees/shrubs to remain: Install temporary tree protection fencing at 60% line of existing ledges, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing and landscape as directed.
 - Planting material on City Boulevard to have the approval of the Parks Dept. prior to installation. Size, species and location require approval at the time of installation.
 - All landscaping to have high efficiency irrigation system to IASBC standards.

PLANT LIST - SHRUBS AND GROUNDCOVER	Latin Name	Common Name	Quantity	Scheduled Size	Notes
SHRUBS					
A	<i>Arctostaphylos uva-ursi</i>	Arctostaphylos	335	#1 jet	Cont.
B	<i>Bergenia cordifolia</i>	Heartleaf Bergenia	975	#1 jet	Cont.
CE	<i>Cornus 'Vivipar'</i>	Yellow Spice	418	#1 jet	Cont.
CK	<i>Cornus sericea 'Sedgwick'</i>	Redder Spice Dogwood	4	#1 jet	Cont.
Co-YL	<i>Cornus sanguinea 'Young Lady'</i>	Young Lady Spice Tree	2	#10 jet	Cont. Size
DE	<i>Doonbush 'Shades'</i>	Sage	803	#1 jet	Cont.
IS	<i>Ilex crenata 'Silver Island'</i>	Japanese Holly	27	#3 jet	Cont.
IS	<i>Ilex 'Spiraea' 'Spiraea'</i>	Japanese Blood Grass	104	#1 jet	Cont.
IS	<i>Ilex 'Spiraea' 'Spiraea'</i>	Red Top Honeyuckle	6	#2 jet	Cont.
MAZ	<i>Malvastrum coccineum 'Zebra'</i>	Zebra Grass	6	#2 jet	Cont.
MS	<i>Philadelphus 'Moutan'</i>	Sweet Fern	163	#1 jet	Cont.
PH	<i>Philadelphus 'Jean Marie de Montpelier'</i>	Philadelphus 'Jean Marie de Montpelier'	25	#7 jet	Cont.
RA	<i>Rosa rugosa</i>	Red Flowering Currant	9	#2 jet	Cont.
RA	<i>Rosa 'Mendocino'</i>	Red Flowering Currant	132	#2 jet	Cont.
RA	<i>Rosa 'Cuthbert'</i>	Woodstock rose	7	#2 jet	Cont.
SA	<i>Sarcococca hookeriana</i>	Sweet Box	912	#2 jet	Cont.
SP	<i>Spiraea 'Goldmund'</i>	Goldmund Spirea	152	#2 jet	Cont.
SP	<i>Spiraea japonica 'Magic Carpet'</i>	Magic Carpet Spirea	179	#3 jet	Cont.
TM	<i>Thalictrum 'Amber'</i>	Amber Tree	112	1.0m H.	848, Aug
TO	<i>Thuja occidentalis 'Emerald'</i>	Emerald Cedar	35	1.75m H.	848
VB	<i>Viburnum 'david'</i>	David Viburnum	333	#3 jet	Cont.
GROUNDCOVER					



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Project:
GRANDVIEW
Townhouse Development
Surrey, B.C.

Sheet Title:
Planting Plan - Bldg 1 & 2

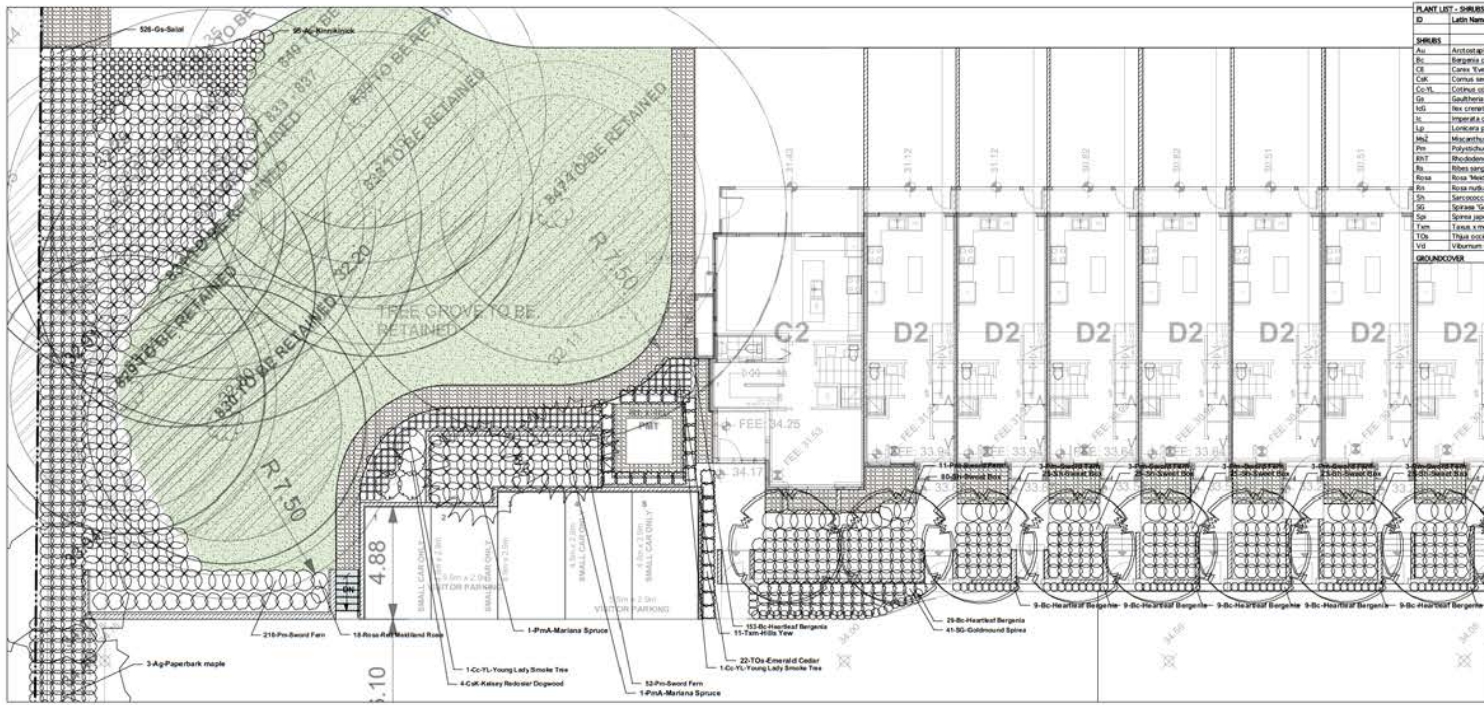
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Date: July 2015

Project No:
2015-30

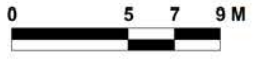
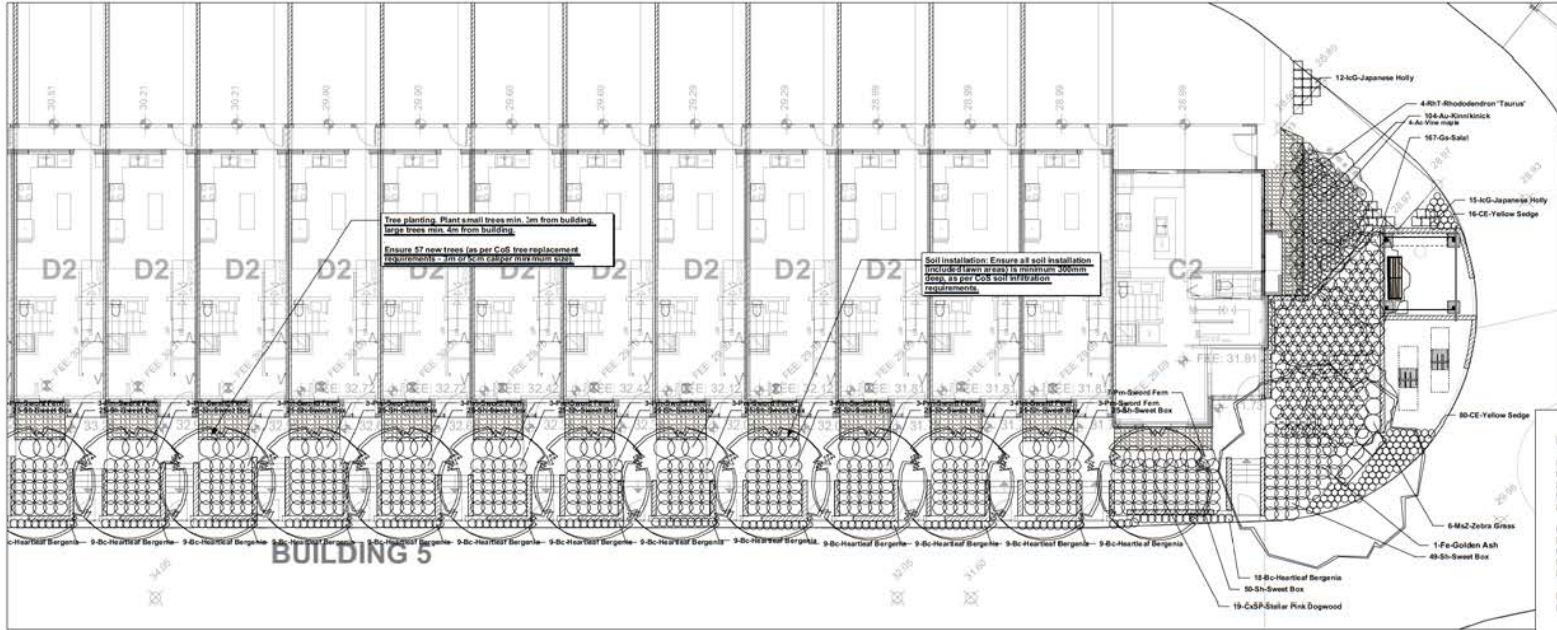
- Drawing Set**
- L-1a Layout - Ground Level
 - L-1b Layout - Amenity Area
 - L-1c Layout - Roof Level
 - L-1d Layout - Fencing
 - L-1e Layout - Lighting
 - L-2a Planting - Trees
 - L-2b Planting - Bldgs 1,2
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 - L-2d Planting - Bldg 5
 - L-2e Planting - Bldg 6,7,8
 - L-3a Details
 - L-3b Details

L-2b



PLANT LIST - SUBSIES and GROUNDCOVER	Latin Name	Common Name	Quantity	Scheduled Size	Notes
SHRUBS					
Au	Actinophloeus aureus	Kindrick	#1 per	Cont.	
Ba	Begonia cordifolia	Heartleaf Begonia	#1 per	Cont.	
Ce	Cornus Tatarica	Yellow Sedge	#1 per	Cont.	
CaK	Cornus sericea 'Kelsey'	Kelsey Reducer Dogwood	#3 per	Cont.	
CoLr	Colinus oppugnat 'Young Lady'	Young Lady Smoke Tree	#10 per	Cont. Mid	
Da	Daubentonia andrea	Gold	#1 per	Cont.	
Ms	Moss crenata 'Green Island'	Japanese Holly	#3 per	Cont.	
Ja	Juniperus californica 'Nancy'	Japanese Blue Juniper	#1 per	Cont.	
Li	Lawsonia japonica 'Red Tip'	Red Tip Honey suckle	#2 per	Cont.	
Mz	Miscanthus sinensis 'Zosterifolius'	Zoster Grass	#2 per	Cont.	
Pa	Parthenocissum vitifolium	Scand. Clem.	#1 per	Cont.	
RhT	Rhododendron 'Jean Marie de Montigny'	Rhododendron 'Taurus'	#2 per	Cont.	
Rh	Ribes sanguineum	Red flowering currant	#2 per	Cont.	
Roa	Rosa 'Newland' dwarf	Newland Rose	#2 per	Cont.	
Ra	Rosa rubra	Red Rose	#2 per	Cont.	
Sa	Sarcocolla hookeriana	Sweet Box	#2 per	Cont.	
Sg	Spiraea 'Goldmound'	Goldmound Spiraea	#2 per	Cont.	
Sp	Spirea japonica 'Magi Carpet'	Magi Carpet Spiraea	#3 per	Cont.	
Te	Taxus canadensis 'Mill'	Mill. Tree	1.0m Ht	866, 546	
Toa	Thuja occidentalis 'Smaragd'	Emerald Cedar	1.25m Ht	866	
Va	Viburnum doakei	Doak Viburnum	#3 per	Cont.	
GROUNDCOVER					

- LANDSCAPE NOTES**
- Sizes on the planting plan shall be considered minimum sizes.
 - All landscape contribution to meet the current edition of the British Columbia Landscape Standards as a minimal acceptable standard. Plant material to be installation of the Landscape Standards for Nursery Stock - Ground Source for plant material in Washington, Oregon, California, and B.C.
 - Root balls to be free of pernicious weeds.
 - Top soil mixtures for the project shall be tested for particle size, pH, and nutrient levels, and recommendations and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material. Trees or turf planting. Off spec. mix soil depths are 0" for lawn areas, 10" for shrub beds and ground cover plantings. Install 2 inches of controlled organic mulch on all shrub beds after planting and rake smooth.
 - Provide positive grades away from buildings and toward rain drains and catch basins. Slope away from building at a minimum of 2%. The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixtures and finish grading. Slope towards lean basins at min. 4%.
 - Landscape Contractor is to provide 55 days of maintenance after the date of substantial completion. Material to be provided as per British Columbia Landscape Standards. Contractor to provide a one year guarantee for all plant material. Planting inclusive prior to June (Between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
 - Protection of existing trees/shrubs to remain: Install temporary tree protection fencing at 0.5m line of existing hedges, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing and landscape as directed.
 - Planting material on City Boulevard to have the approval of the Parks Dept prior to installation. Site, species and location require approval at the time of installation.
 - All landscaping to have high efficiency irrigation system to IARC standards.



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Revisions:

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- Drawing Set**
- L-1a Layout - Ground Level
 - L-1b Layout - Amenity Area
 - L-1c Layout - Roof Level
 - L-1d Layout - Fencing
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 - L-3a Details
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Project:
GRANDVIEW
Townhouse Development
Surrey, B.C.

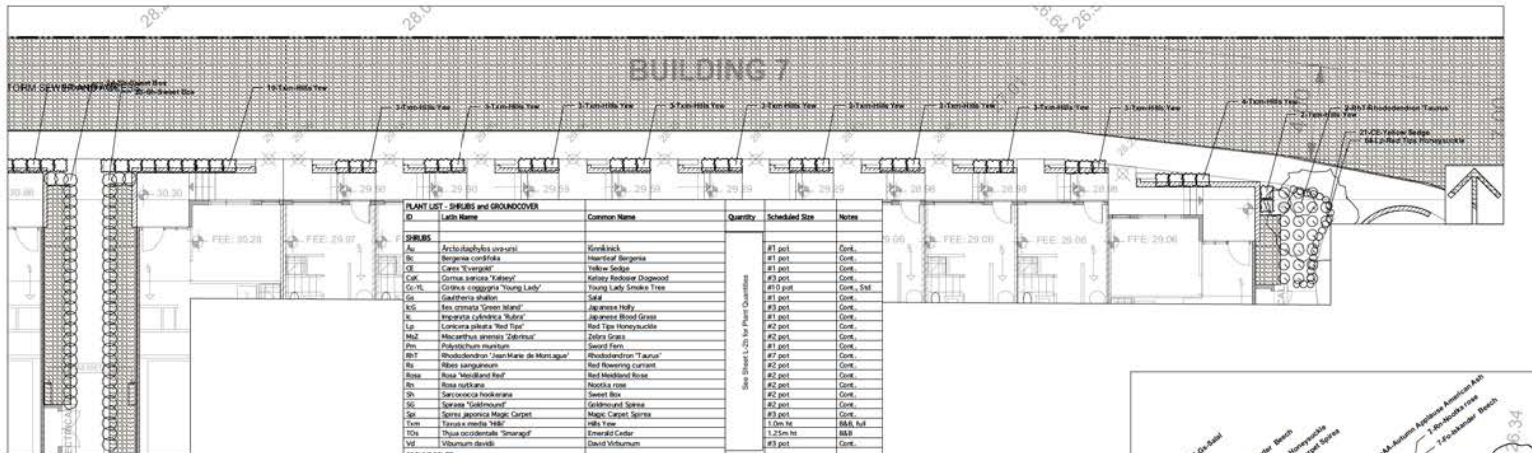
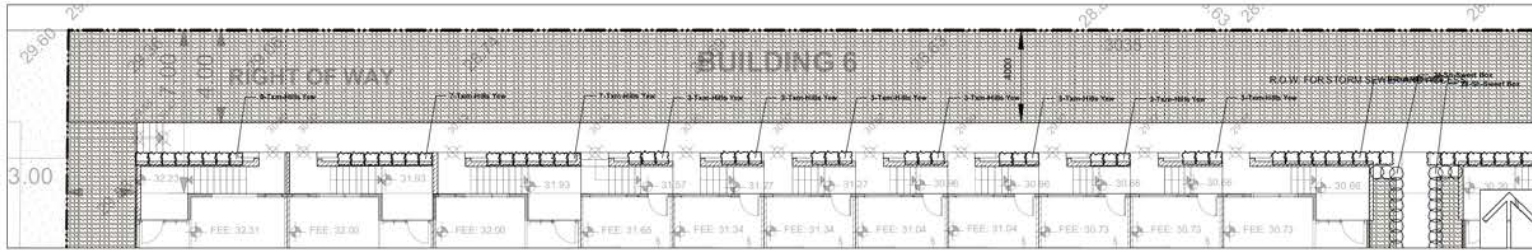
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Planting Plan - Bldg 5

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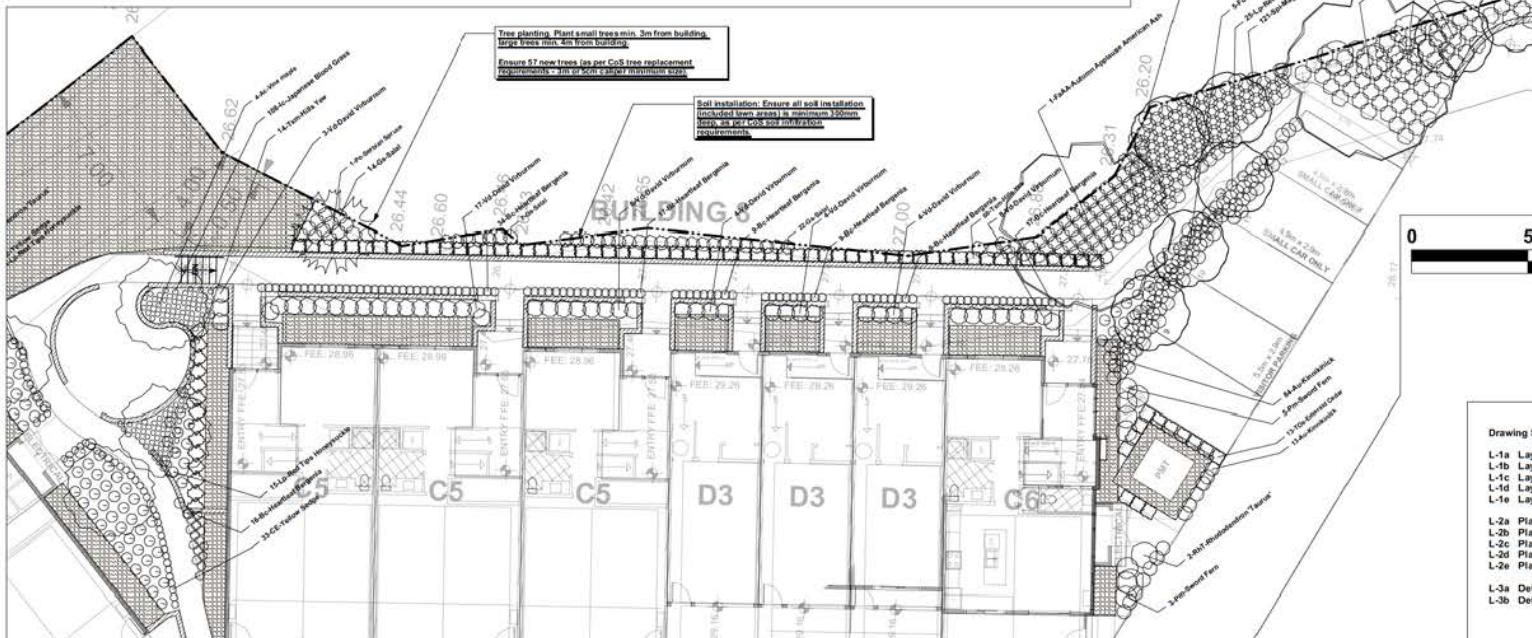
Date: July 2015

Project No:
2015-20

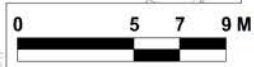
L-2d



- LANDSCAPE NOTES**
- Sizes on the planting plan shall be considered minimum sizes.
 - All landscape construction to meet the current edition of the British Columbia Landscape Standards as a minimal acceptable standard. Plant material to the satisfaction of the Landscape Standards for nursery stock. Extend search for plant material to Washington, Oregon, California, and B.C.
 - Root balls to be free of pernicious weeds.
 - Top soil mixtures for the project shall be tested for particle size, pH, and nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horizontal quality for the desired plant material, trees, or turf planting. (C.F. sub. min. soil depths are 1' for lawn areas, 18" for shrub beds and ground cover plantings. Install 2 inches of composted organic mulch on all shrub beds after planting and rake smooth.
 - Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 1%. The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixture and finish grading. Slope towards lawn basins at min. 4%.
 - Landscape Contractor to provide 56 days of maintenance after the date of Substantial Completion. Maintain to level 2 'Oncom' as per British Columbia Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
 - Protection of existing trees/shrubs to remain: Install temporary tree protection fencing at 3' O.C. line of existing hedges, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing and landscape as directed.
 - Planting material on City Boulevard to have the approval of the Parks Dept. prior to installation. Size, species and location require approval of the time of installation.
 - All landscaping to have high efficiency irrigation system to BISC standards.



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Project:

GRANDVIEW
Townhouse Development
Surrey, B.C.

Sheet Title:

Planting Plan - Bldg 6, 7, & 8

Scale:

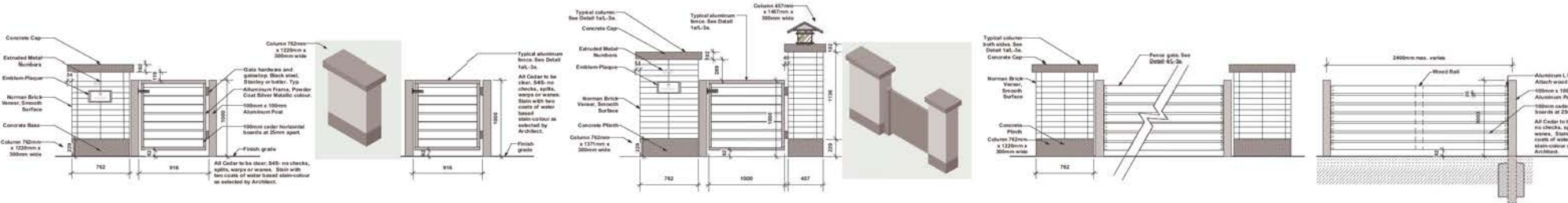
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Date: July 2015

Project No: 2015-20

- Drawing Set**
- L-1a Layout - Ground Level
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 - L-2c Planting - Bldgs 3,4
 - L-2d Planting - Bldg 5
 - L-2e Planting - Bldg 6,7,8

L-2e



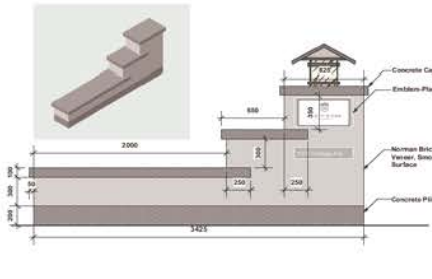
1a Gate: Private Units with Column
Scale: 1:25

1b Gate: Private Units without Column
Scale: 1:25

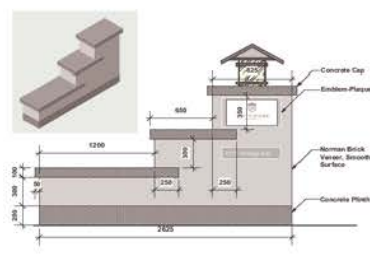
2 Gate: Public Entry with Tall Columns
Scale: 1:25

3 Fence with Columns
Scale: 1:25

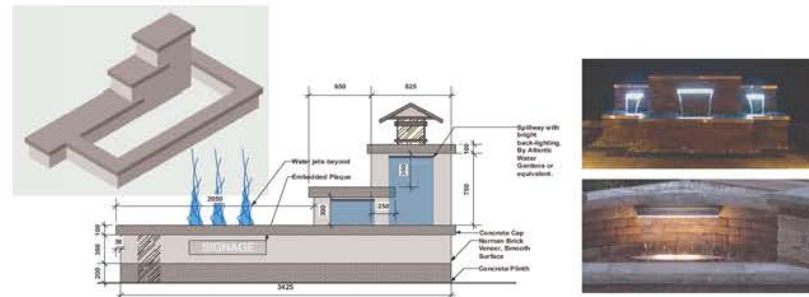
4 Fence
Scale: 1:25



5 Monument - 3425mm (11'3")
Scale: 1:25



6 Monument - 2625mm (8'7")
Scale: 1:25



7 Water Feature
Scale: 1:25

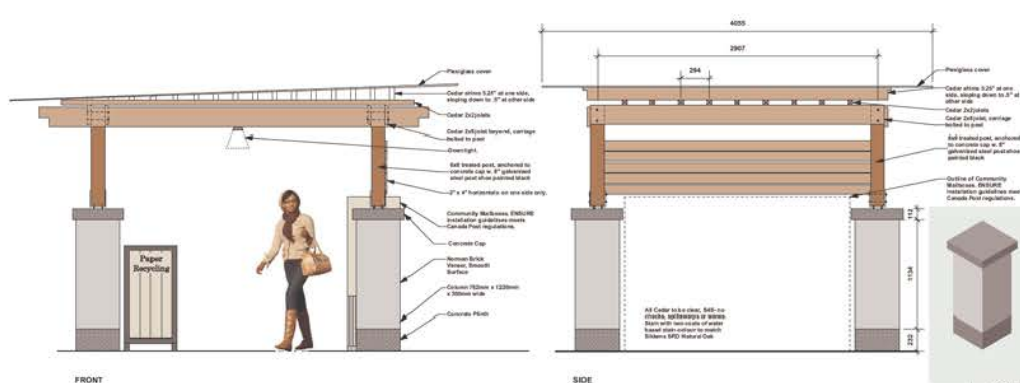


Wall & Fence Finishes
Scale: 1:25



8 Furniture
Scale: 1:25

9 Mailbox Enclosure
Scale: 1:25



Set

- you - Ground Level
- you - Amenity Area
- L-1c Layout - Roof Level
- L-1d Layout - Fencing
- L-1e Layout - Lighting
- L-2a Planting - Trees
- L-2b Planting - Bldgs 1,2
- L-2c Planting - Bldgs 3,4
- L-2d Planting - Bldg 5
- L-2e Planting - Bldg 6,7,8
- L-3a Details
- L-3b Details

Apr 20 2016	For CoS Review
Apr 15 2016	For Review
Mar 11 2016	For CoS Review
Jan 25 2016	DP APPLICATION
Jan 22 2016	For Review
Jan 21 2016	For Review
Oct 23 2015	For Review
Oct 14 2015	For Review
Oct 08 2015	For Review
Aug 06 2015	For Review

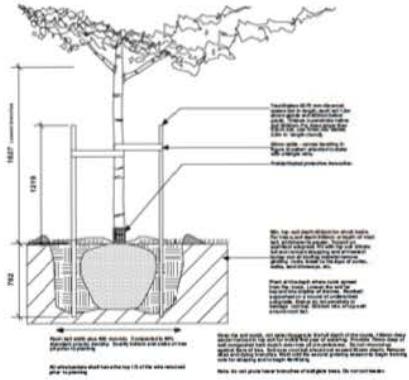
Revisions:
Jonathan Loew Ltd.
 Landscape Architecture
 #102 - 106 W 2nd Ave
 Vancouver, B.C. V6J 2A3
 PH: 604-681-3923
 Email: info@jonathanloew.com

Project:
GRANDVIEW
 Townhouse Development
 Surrey, B.C.

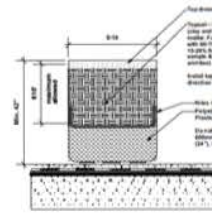
Sheet Title:
Details

Scale:
 1:25
 Date: July 2015
 Project No:
 2015-30

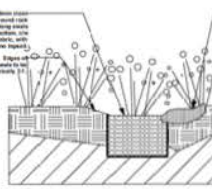
L-3a



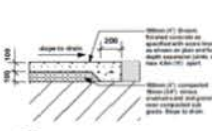
4 Sod installation
Scale: 1:25



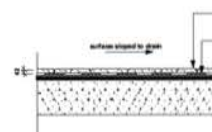
5 Soil installation in planters
Scale: 1:25



6 Biofiltration swale
Scale: 1:25

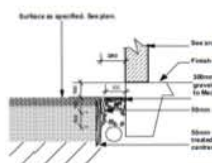


7 Concrete walkway
Scale: 1:25

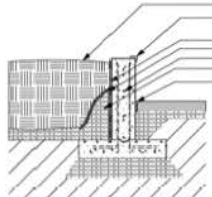


8 Concrete slab pavers on slab
Scale: 1:25

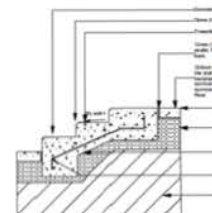
9 Concrete unit pavers
Scale: 1:25



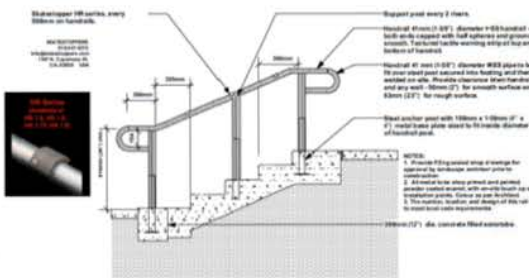
10 Gravel strip
Scale: 1:25



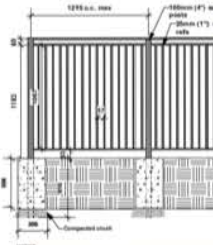
11 Retaining wall
Scale: 1:25



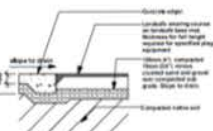
12 PIP Concrete stairs
Scale: 1:25



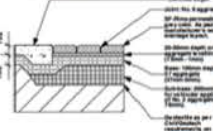
13 Handrail
Scale: 1:25



14 Guardrail
Scale: 1:25

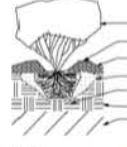


15 Rubberized surfacing
Scale: 1:25



16 Permeable paving in parking spots
Scale: 1:25

1 Tree planting
Scale: 1:25



2 Shrub planting
Scale: 1:25



3 Planting on steep slopes
Scale: 1:25



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Landscape Architecture
#102 - 2663 W 2nd Ave
Surrey, B.C. V3Y 0A3
PH: 604-669-0803
Email: info@jiose.com

Project
GRANDVIEW
Townhouse Development
Surrey, B.C.

Sheet Title
Details

Scale:
1:25
Date: July 2016
Project No:
2015-30

- Drawing Set
- L-1a Layout - Ground Level
 - L-1b Layout - Amenity Area
 - L-1c Layout - Roof Level
 - L-1d Layout - Fencing
 - L-1e Layout - Lighting
- L-2a Planting - Trees
- L-2b Planting - Bldgs 1,2
 - L-2c Planting - Bldgs 3,4
 - L-2d Planting - Bldg 5
 - L-2e Planting - Bldg 6,7,8
- L-3a Details
- L-3b Details

L-3b

**TO: Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: Development Project Engineer, Engineering Department

DATE: May 25, 2016 **PROJECT FILE: 7815-0260-00**

**RE: Engineering Requirements
Location: 15755 Mountain View Drive**

REZONE/SUBDIVISION

Property and Statutory Right-of-Way (SRW) Requirements

- Register a SRW corridor through the site for City access to the existing SRW at the rear of the property;
- Register a SRW at the northeast corner of the site to provide for a City vehicle parking/turnaround area; and
- Provide new SRW or modify existing for sanitary sewer that aligns with the adjacent Park lands.

Works and Services

- Construct storm sewer and all-weather access within the existing SRW at the rear of property.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development / Development Variance Permits.



Robert Cooke, Eng.L.
Development Project Engineer

KMH



Wednesday, May 25, 2016
 Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 15 0260 00

School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Sunnyside Elementary was replaced on a new site and opened in September 2013, the school is now full as are neighbouring elementary schools and area secondary schools. A new elementary school site has been purchased south of 23rd Avenue (Site #206 near Edgewood Drive) and the construction of this new elementary school is a high priority in the District's 5-Year Capital Plan. The school district has also purchased land for a new secondary school in the Grandview area adjoining the City of Surrey future aquatic centre and recreation property. Capital project approval has been granted for the new 1,500 student secondary schools (likely opening 2020). A proposed addition to Pacific Heights Elementary is included in the capital plan, but as a lower priority than the two capital projects mentioned above. The enrolment projections include anticipated residential growth from the Grandview and Sunnyside NCPs. The actual enrolment growth rate will be driven by the timing of development, demographic changes and market factors. Enrolment pressures in this area of Surrey are extreme and capital project approval timelines for new elementary space are unknown at this time. Additional portables will be required at area schools for September 2016 and options for placing portables on neighbouring sites are under investigation. Until new elementary and secondary school capital projects are approved and completed capacity issues will remain.

SUMMARY

The proposed 72 townhouse units are estimated to have the following impact on the following schools:

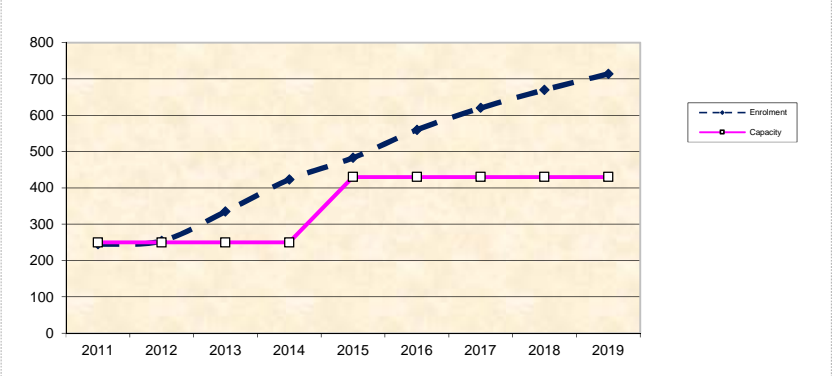
Projected # of students for this development:

Elementary Students:	14
Secondary Students:	7

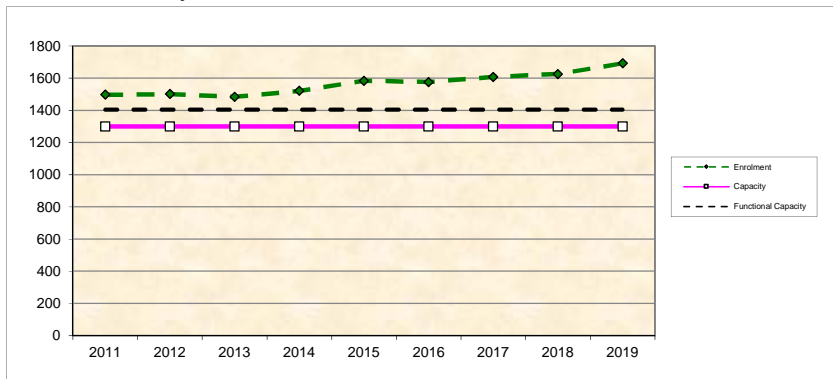
September 2015 Enrolment/School Capacity

Sunnyside Elementary	
Enrolment (K/1-7):	77 K + 406
Capacity (K/1-7):	80 K + 350
Semiahmoo Secondary	
Enrolment (8-12):	1584
Nominal Capacity (8-12):	1300
Functional Capacity*(8-12):	1404

Sunnyside Elementary



Semiahmoo Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7915-0260-00

Issued To: GRANDVIEW ADERA VENTURES LTD.

("the Owner")

Address of Owner: 2200 – 1055 Dunsmuir Street
Vancouver, BC V7X 1K8

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 029-328-241
Lot 1 Section 23 Township 1 New Westminster District Plan Epp39641
15755 - Mountain View Drive

(the "Land")

3. Part 22, Multiple Residential 30 Zone (RM-30) of Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Subsection F, Yards and Setbacks, the minimum front yard setback (south) from the property line is reduced from 7.5 metres (25 ft.) to 4.5 metres (15 ft.);
 - (b) In Subsection F, Yards and Setbacks, the minimum rear yard setback (north) from the property line is reduced from 7.5 metres (25 ft.) to 7.0 metres (23 ft.);
 - (c) In Subsection F, Yards and Setbacks, the minimum side yard setback (west) from the property line is reduced from 7.5 metres (25 ft.) to 3.0 metres (10 ft.);
 - (d) In Subsection F, Yards and Setbacks, the minimum side yard setback (east) from the property line is reduced from 7.5 metres (25 ft.) to 4.0 metres (13 ft.) and 3.0 metres (10 ft.);

- (e) Subsection H.3, Off-Street Parking and Loading/Unloading, is varied to allow one (1) visitor parking stall to be located within the east side yard setback.
- 4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
- 5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
- 6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
- 7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
- 8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan



INTEGRA ARCHITECTURE INC.
415 WEST HENDER STREET
VANCOUVER, BC V6B 1T5
T 604.688.4220 F 604.688.4270
info@intgra-arch.com
www.intgra-arch.com



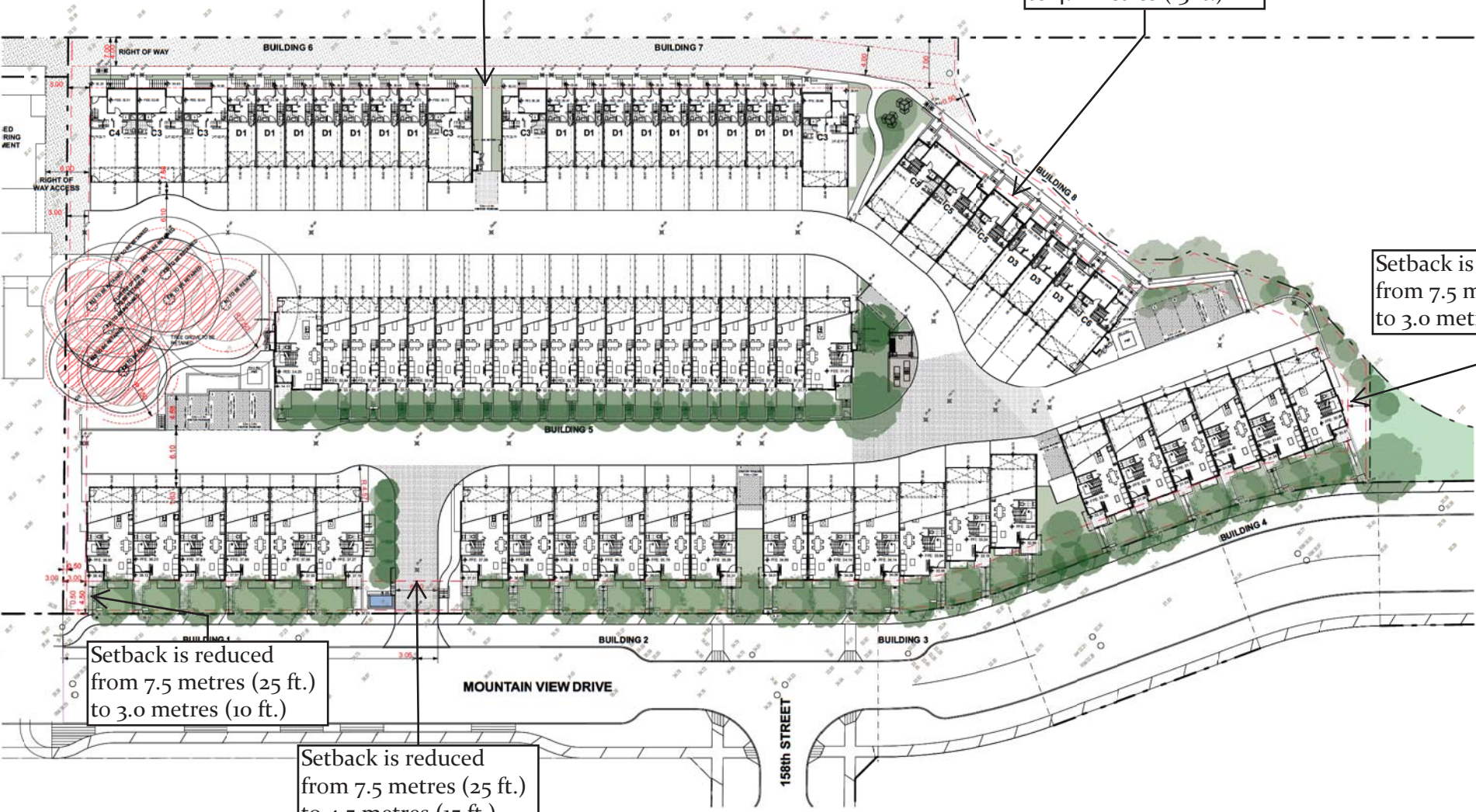
Setback is reduced from 7.5 metres (25 ft.) to 3.0 metres (10 ft.).

Setback is reduced from 7.5 metres (25 ft.) to 4.0 metres (13 ft.).

Setback is reduced from 7.5 metres (25 ft.) to 7.0 metres (23 ft.).

Setback is reduced from 7.5 metres (25 ft.) to 3.0 metres (10 ft.).

Setback is reduced from 7.5 metres (25 ft.) to 4.5 metres (15 ft.).



ARCHITECT SEAL

SCALE 1/8" = 1'-0"

ADERA

DATE 04/25/2016

GRANDVIEW TOWNHOME DEVELOPMENT
MOUNTAIN VIEW DRIVE, SURREY BC

DATE 04/25/2016

SITE PLAN

15362 PROJECT

1:250 SCALE

APR 25, 2016 DATE

FOR REVIEW DRAWING

DATE 04/25/2016