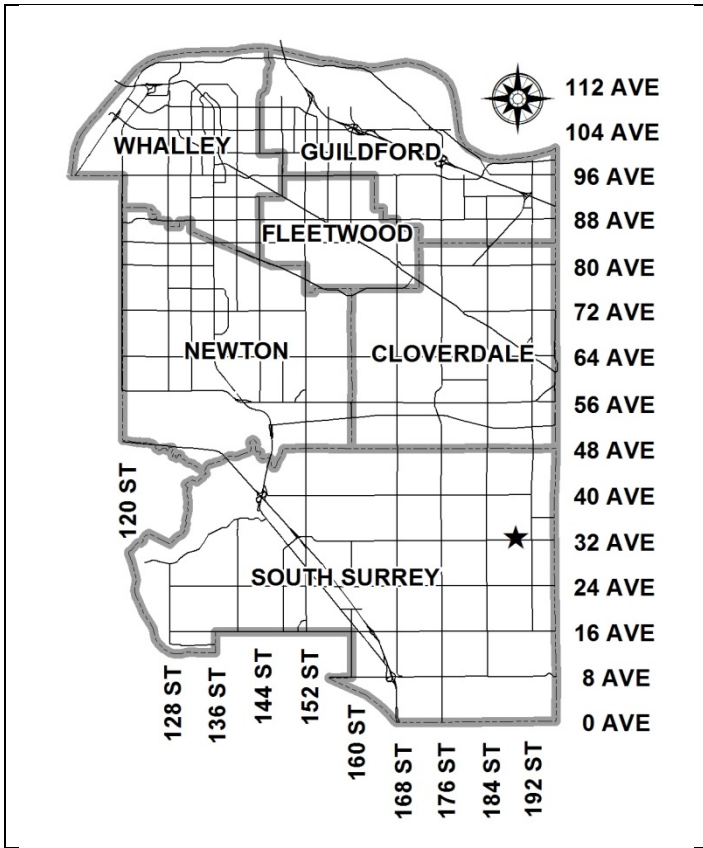


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7915-0251-00

Planning Report Date: December 14, 2015



**PROPOSAL:**

- **Development Permit**

to permit the development of a multi-unit industrial building.

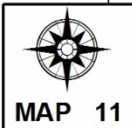
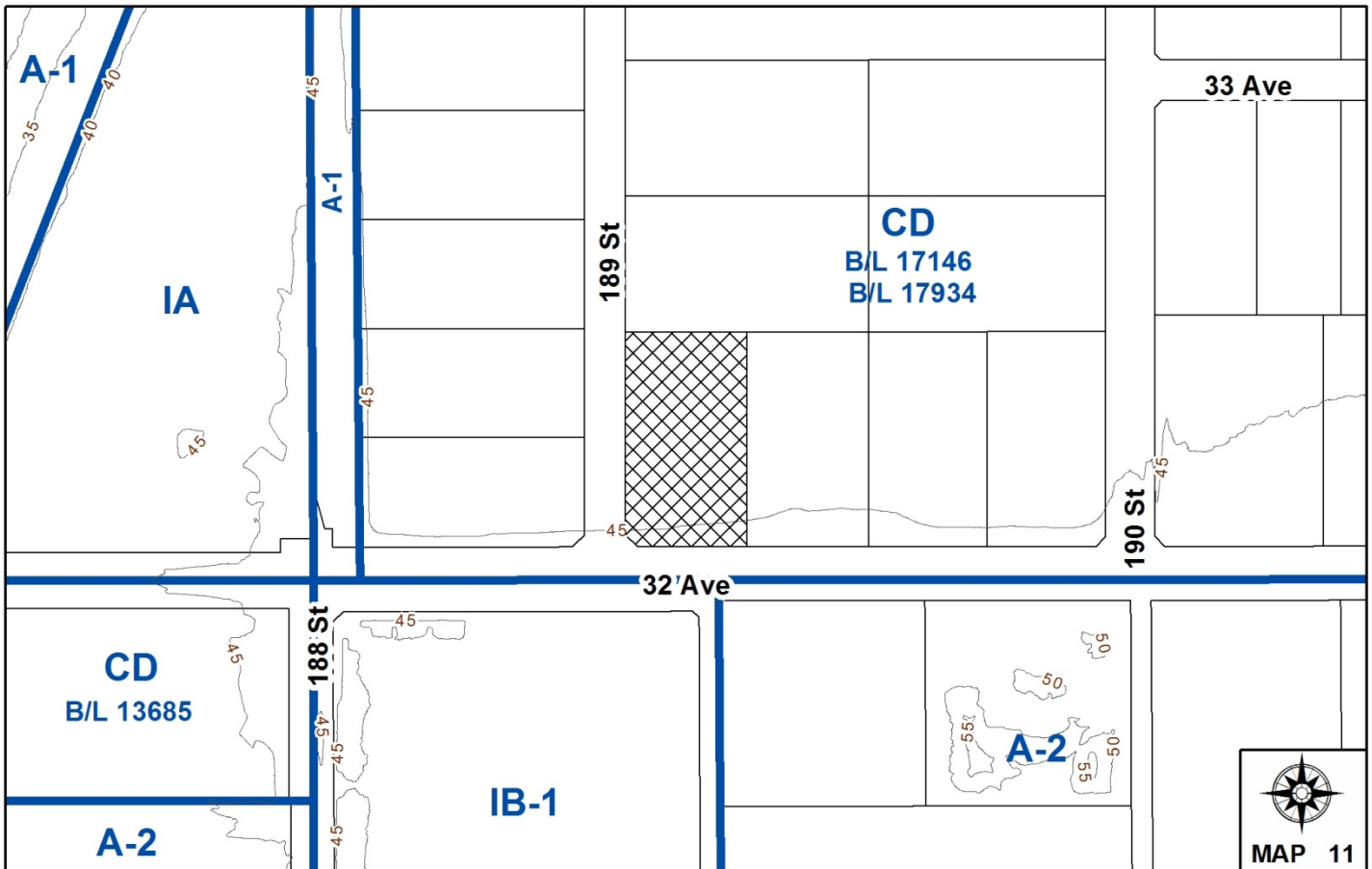
**LOCATION:** 18905 - 32 Avenue

**OWNER:** 18905 32nd Avenue Holdings Ltd

**ZONING:** CD (By-law Nos. 17146 & 17934)

**OCP DESIGNATION:** Mixed Employment

**LAP DESIGNATION:** Business Park and Landscape Strip



RECOMMENDATION SUMMARY

- Approval and issuance of Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with OCP Designation.
- Complies with the Campbell Heights Business Park Local Area Plan.
- The form and character of the proposed building meets the intent of the Campbell Heights Development Design Guidelines and the Campbell Heights North Design Guidelines registered on title.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Permit No. 7915-0251-00 and authorize the Mayor and Clerk to execute the Permit.

**NOTE:** If the Development Permit as presented, is not acceptable to Council in relation to the character of the development, including landscaping and siting, form, exterior design and finish of the building and other structures, Council may refer the Development Permit back to staff with direction regarding any of these matters.

REFERRALS

**Engineering:** The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III, as part of the Building Permit application.

**Parks, Recreation & Culture:** No concerns.

**Fire:** No concerns.

SITE CHARACTERISTICS

Existing Land Use: The site is a vacant pre-serviced lot, devoid of trees and vegetation.

Adjacent Area:

<b>Direction</b>	<b>Existing Use</b>	<b>OCP/LAP Designation</b>	<b>Existing Zone</b>
North:	Light industrial warehouse building approved under Development Application No. 7914-0199-00	Mixed Employment / Business Park	CD (By-law Nos. 17146 & 17934)
East:	Undeveloped industrial land	Mixed Employment / Business Park	CD (By-law Nos. 17146 & 17934)
South (Across 32 Avenue):	Cloverdale Cold Storage facility and agricultural land	Mixed Employment / Business Park (Office) and Landscape strips	IB-1 & A-2
West (Across 189 Street):	Undeveloped industrial land	Mixed Employment / Business Park and Landscape strips	CD (By-law Nos. 17146 & 17934)

## DEVELOPMENT CONSIDERATIONS

### Context

- The subject 0.62 hectare (1.54 acres) site is located at 18905 32 Avenue and is designated Mixed Employment in the Official Community Plan, and Business Park/Buffer in the Campbell Heights Local Area Plan.
- The property is located in Phase Two of the Campbell Heights North Business Park, and was created under subdivision application no. 7912-0160-00 in August 2013. There is a General Development Permit registered on the property, No. 7910-0032-00, which provides design guidelines.

### Proposal

- The applicant is proposing a Development Permit for a multi-tenant industrial building. Currently, no tenants or future users have been identified.
- The development proposes a gross floor area of 3,079 square metres (33,143 sq. ft.), representing a net floor area ratio (FAR) of 0.5, which is less than the 1.0 FAR permitted in CD By-law No. 17146, as amended by By-law No. 17934.
- Of the total proposed floor area, 2,568 square metres (27,642 sq. ft.) is proposed for industrial use, 137 square metres (1,475 sq. ft.) is reserved for a small restaurant, and 374 square metres (4,026 sq. ft.) is proposed as upper floor office space.
- The form, character and density of the proposed development comply with the Campbell Heights Local Area Plan (LAP) and the proposed development meets the requirements of the CD By-law No. 17146, as amended by By-law No. 17934, including floor area, lot coverage, building height and building setbacks.
- The proposal includes a total of 36 parking stalls, which exceeds the 33 parking spaces required under the Zoning By-law.
- One vehicular access is proposed to this site from 189 Street. Shared access will be provided for the property to the east at 18929 32 Avenue, to facilitate its future development. An access easement was registered as part of the subdivision application, and will be revised to accommodate the proposed access alignment. No direct access is provided from 32 Avenue.

## PRE-NOTIFICATION

On November 23, 2015 a development sign was posted on the site and the project was referred to the Little Campbell Watershed Society (LCWS) for review and comment. The LCWS has indicated they have no objection to the proposal as there is no apparent short-term impact perceived on the Little Campbell River at this time. Staff have received no other responses for the proposal.

### DESIGN PROPOSAL AND REVIEW

- The proposed building is consistent with the design guidelines outlined in the Campbell Heights North Design Guidelines and the OCP, and is reflective of the existing design standards within the area. The development concept behind Campbell Heights is a high quality, sustainable industrial business park.
- Overall, the building is proposed to have a modern linear appearance. Architectural emphasis is placed on the main entrance to the building, which is proposed at the corner of 32 Avenue and 189 Street. The building will have a significant amount of glazing and building articulation to provide visual interest. The building is expected to have one industrial use tenant, and one tenant for the small restaurant. Entrance to the offices and the restaurant would be provided from the main entrance, with truck access to the site provided along the northern portion of the site.
- The proposed building construction includes tilt up panels, steel structure, synthetic rubber roofing and glazing systems. The proposed colour scheme uses shades of grey with teal accents.
- Pedestrian access to the site will be available at the corner of 32 Avenue and 189 Street, by way of a sidewalk that will connect the building's main entry to the multi-use pathway along 32 Avenue.
- The applicant has indicated that they are not proposing any signage at this time.

### TREES

- An arborist report was not provided as there are currently no trees and very little vegetation on the property.

### Landscaping

- The proposed landscaping consists of a 3.0 metre (10 ft.) wide landscape strip along 189 Street, and a 4.0 metre (13 ft.) wide landscape strip along 32 Avenue, which is in addition to the existing 4.0 metre (13 ft.) wide multi-use pathway. In areas along 32 Avenue where no parking is proposed between the property line and the building, landscaping is increased to 7.0 metre (23 ft.).
- The proposed landscaping will consist of a variety of trees, including 3 Giant Sequoia trees, Maple trees, Serviceberry trees, Crabapple trees and Green Ash trees. These trees will be complemented by a variety of shrubs and ground cover.
- A 3.0 metre (10 ft.) wide section of specialty paving is proposed at the driveway entrance, in a brick parquet pattern.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on July 20, 2015. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>• The proposal complies with the OCP designation, the Campbell Heights LAP designation and the existing zoning.</li> </ul>
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>• The proposed 0.44 FAR is within maximum is 1.0 FAR for the site.</li> <li>• Includes public and private outdoor amenity areas.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>• n/a</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>• A SROW for a multi-use pathway is provided along 32 Avenue.</li> <li>• An access easement was previously secured for the property to the east, to minimize vehicular access on to 32 Avenue.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>• CPTED design principles have been applied, including lighting, glazing and landscaping.</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>• n/a</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>• n/a</li> </ul>

ADVISORY DESIGN PANEL

- The application was not referred to the Advisory Design Panel (ADP), but was reviewed by City Staff and found to be satisfactory. The proposed development was evaluated based on compliance with the design guidelines for Campbell Heights North and the OCP.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	Development Permit No. 7915-0251-00

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by CTA Design Group and Jonathan Losee Ltd., respectively, dated November 10, 2015 and November 17, 2015.

*original signed by Ron Hintsche*

Jean Lamontagne  
General Manager  
Planning and Development

LFM/dk

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KD 12/9/15 11:28 AM





# DEVELOPMENT DATA SHEET

Existing Zoning: CD (By-law No. 17146 & 17934)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>LOT AREA*</b> (in square metres)		
Gross Total	n/a	6,229.5 m <sup>2</sup>
Road Widening area	-	
Undevelopable area	-	
Net Total	-	6,229.5 m <sup>2</sup>
<b>LOT COVERAGE</b> (in % of net lot area)		
Buildings & Structures	60%	44%
Paved & Hard Surfaced Areas	-	40%
Total Site Coverage	-	84%
<b>SETBACKS</b> ( in metres)		
Front	16 m (7.5 m)	9 m
Rear	7.5 m	15.4 m
Side #1 (E)	0.0 m	0.1 m
Side #2 (W)	9.0 m	15.2 m
<b>BUILDING HEIGHT</b> (in metres/storeys)		
Principal	14 m	11.3 m
Accessory	6 m	n/a
<b>NUMBER OF RESIDENTIAL UNITS</b>	-	-
<b>FLOOR AREA: Residential</b>	-	-
<b>FLOOR AREA: Commercial</b>		
Retail		137 m <sup>2</sup>
Office		-
Total	-	-
<b>FLOOR AREA: Industrial</b>	-	2,942 m <sup>2</sup>
<b>FLOOR AREA: Institutional</b>	-	-
<b>TOTAL BUILDING FLOOR AREA</b>	6,229.5 m <sup>2</sup>	3,079 m <sup>2</sup>

**Development Data Sheet cont'd**

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
<b>DENSITY</b>		
# of units/ha /# units/acre (gross)	-	-
# of units/ha /# units/acre (net)	-	-
FAR (gross)	-	0.5
FAR (net)	1.0	0.5
<b>AMENITY SPACE (area in square metres)</b>		
Indoor	-	-
Outdoor	-	72.1 m <sup>2</sup>
<b>PARKING (number of stalls)</b>		
Commercial	3	3
Industrial	30	33
Residential Residents	-	-
Residential Visitors	-	-
Institutional	-	-
Total Number of Parking Spaces	33	36
Number of disabled stalls	1	1
Number of small cars	8 (max)	6
Tandem Parking Spaces: Number / % of Total Number of Units	-	-
Size of Tandem Parking Spaces width/length	-	-

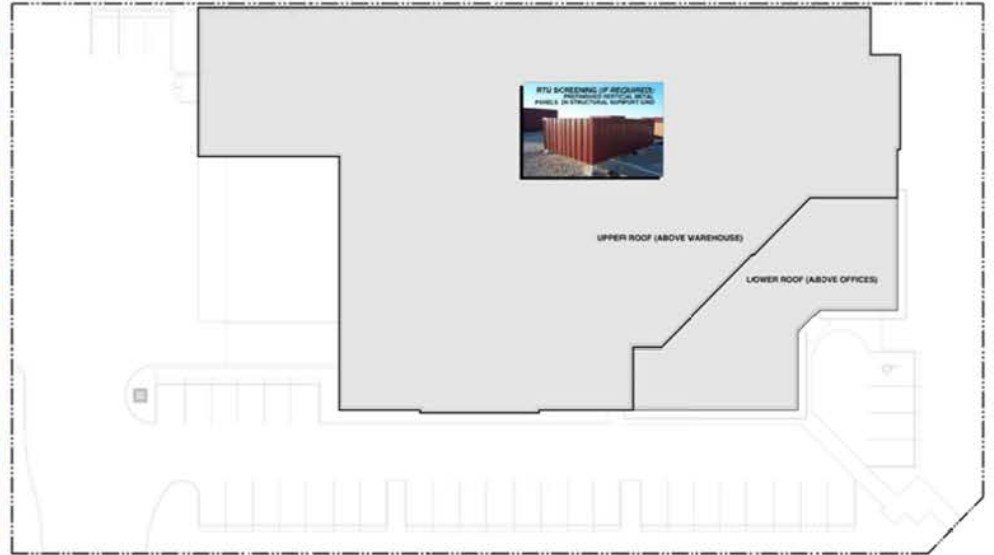
Heritage Site	NO	Tree Survey/Assessment Provided	NO
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CONTEXT PLAN



AERIAL VIEW FROM SOUTHWEST



ROOF PLAN

		<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th>REV</th> <th>DATE</th> <th>REVISION</th> </tr> <tr> <td>A</td> <td>NOV 15</td> <td>DP RE-SUBMISSION</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	REV	DATE	REVISION	A	NOV 15	DP RE-SUBMISSION																<p><b>PROPOSED NEW BUILDING</b></p> <p><b>LOT 12</b></p> <p><b>18905 32ND AVE</b></p> <p>CAMPBELL HEIGHTS NORTH SOUTH SURREY BC</p>	<p><b>-CONTEXT PLAN -ROOF PLAN</b></p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td>DESIGNER</td> <td>JK</td> <td>CHECKED</td> <td>JK</td> </tr> <tr> <td>SCALE</td> <td>1:2000, 1:250</td> <td>TITLE</td> <td></td> </tr> <tr> <td>DRAWING NUMBER</td> <td></td> <td>DATE</td> <td></td> </tr> <tr> <td></td> <td></td> <td>SCALE</td> <td>A0</td> </tr> <tr> <td></td> <td></td> <td>REVISION</td> <td>A</td> </tr> </table>	DESIGNER	JK	CHECKED	JK	SCALE	1:2000, 1:250	TITLE		DRAWING NUMBER		DATE				SCALE	A0			REVISION	A
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**Property Information Report**  
**18905 32 Ave V32 015**

**Property Details**  
 Parcel: 7201-1202-8  
 Owner: Tanya Brown  
 MFD: 624-01-104  
 Description: LOT 12 SECTION 28 TOWNSHIP 7  
 Plan: 20151210 M00  
 Plan Type: SUBDIVISION  
 Plan Year: 2015  
 Block: 1,232 No. Acres: 14,782 No. Sect.:  
 Informational: See map plan for details  
 Type: Standard Lot

**Assessment Details**

Year	Green Land	Green Improvements	Green Assessment
2023	\$1,376,000	\$0	\$1,376,000

**Services Details**

**HCP Details**  
 Land Use: HCP Name: % of Lot: 100%

**RCP Details**  
 Land Use: % of Lot: 100%

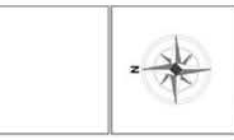
**Zoning Details**  
 Zone: Designation: % of Lot: Release: 100%  
 12: Comprehensive Residential Zone: R2-12(M) S1, 1200

**Land Use Contract**

**SITE DATA:**  
 MUNICIPAL ADDRESS:  
 18905 32ND AVENUE  
 LEGAL DESCRIPTION:  
 LOT 12, 20 T. 7 N., R. 10 W. S. 22  
 ZONING:  
 CSD (COMPREHENSIVE DEVELOPMENT)  
 SITE AREA:  
 87,050 SF (2,008.47 SQM)  
 BLDG AREA (FOOTPRINTS):  
 20,115 SF (1,871.11 SQM)  
 SITE COVERAGE:  
 43% (23,482 SF)  
 BLDG AREA (FLOOR AREA):  
 20,115 SF (1,871.11 SQM)  
 FLOOR AREA (FLOOR AREA):  
 20,115 SF (1,871.11 SQM)  
 FLOOR AREA (FLOOR AREA):  
 20,115 SF (1,871.11 SQM)

**FRONT YARD (SOUTH):**  
 3.0M  
**REAR YARD (NORTH):**  
 13.4M  
**SIDE YARD (EAST):**  
 0.0M  
**SIDE YARD (WEST):**  
 0.0M  
**FRONT STREET (WEST):**  
 13.2M  
**REAR STREET (EAST):**  
 13.2M  
**FRONT STREET (EAST):**  
 13.2M  
**REAR STREET (WEST):**  
 13.2M  
**FRONT STREET (WEST):**  
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**REAR STREET (EAST):**  
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**FRONT STREET (EAST):**  
 13.2M  
**REAR STREET (WEST):**  
 13.2M

NO.	DATE	REVISION
1	NOV 15 15	DP RESUBMISSION
2	DEC 15 15	ACCESS AGREEMENT MODIFICATION FOR CITY COMMENTS

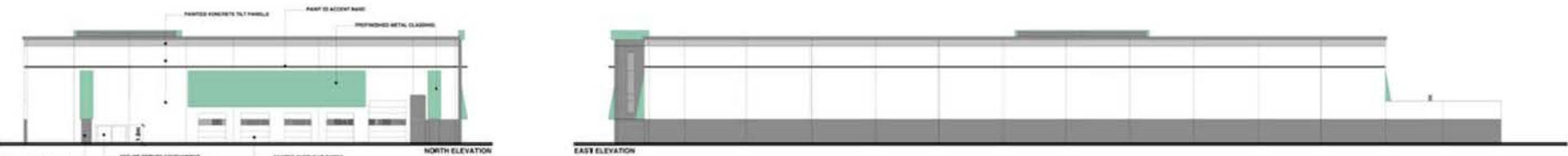
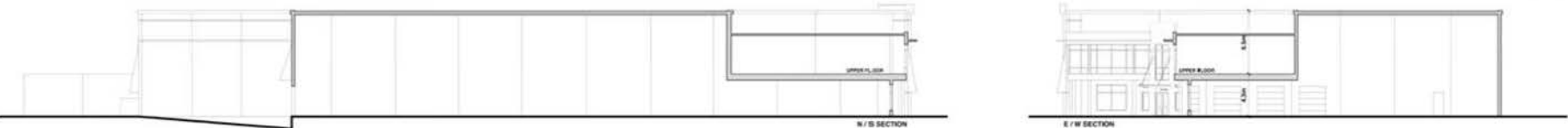
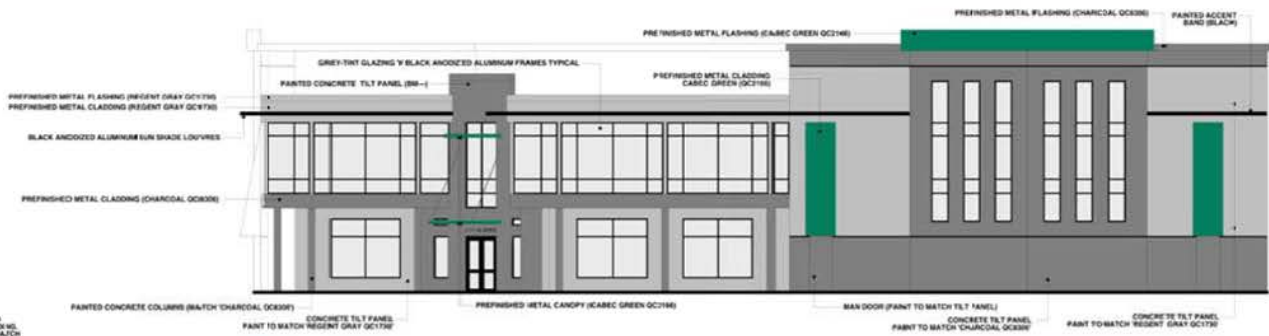
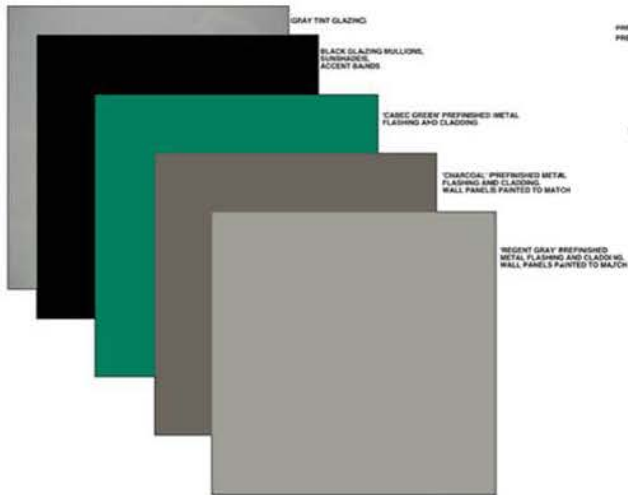


**PROPOSED NEW BUILDING**  
**LOT 12**  
**18905 32ND AVE**  
**CAMPBELL HEIGHTS NORTH**  
**SOUTH SURVEY BC**



**-SITE / FLOOR PLAN**

SCALE:	DATE:	REVISION:
1:200	JK	JK
DATE:	FILE:	REVISION:
12/15/2023	18905 32ND AVE V32 015	A1



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**BLDG FOOTPRINT 29,115SF / 2,705SM**  
**SITE AREA 67,050SF**  
**SITE COVERAGE 43%**

**PARKING:**  
 -INDUSTRIAL USE: 2,568SM      26 CARS  
 -RESTAURANT USE: 137SM      3 CARS  
 -FUTURE UPPER FLR AREA: 374SM      4 CARS  
**PARKING REQ'D:**      33 CARS  
**PARKING PROVIDED:**      36 CARS

**LOT 12 BUILDING**

**32 AVENUE**

**189TH STREET**

**189TH STREET**

Nov. 11, 2014	Rev. Approval for DP
Oct. 07, 2014	Rev. Approval for DP
Aug. 07, 2014	Issue for DP
July 11, 2014	Issue for Review
July 11, 2014	For Review

Prepared by:  
**Jonathan Lowe Ltd**  
 Landscape Architecture

Project:  
**Lot 12 Cambell Heights**  
**18905 32 Ave V3Z 0L5**  
 Surrey, B.C.

Drawing Title:  
**Illustrative**  
**Landscape Plan**

Scale:  
**1:200**  
 Date: July 2014  
 Project No.: 2014-08

**L-1**



Stamped conc. apron from PL to Landscape setback - Brick parquet pattern - Colour TBD

PMT with gravel surround and bollards

PIP concrete walk - broom finish with saw cut joints at 4' o.c.

1 m curb openings with rip rap drainage channel, as per Civil drawings. See detail 3A.4

Indicates 1" wide gravel drip strip at perimeter of building where landscape meets the building edge. Install 6" deep gravel 3/4" dia. clear crush. Install continuous 2x6 treated Hem/PIr edge flush with top of soil and top of gravel to contain gravel. Stake with 2x2x15" stakes at max. 4 ft. o.c. typical.

### LANDSCAPE FURNITURE



LITTER CONTAINER



PICNIC TABLE

BENCH



Bench, High Density Foam Composite Charcoal - MLB1050-PCC



BICYCLE RACK

NOTE: Furniture products to be as shown or equal. Any changes needs landscape architects approval.



BOULDER MONUMENT SIGN INSTALLED IN PHASE ONE

MATCHLINE  
MATCHLINE  
MATCHLINE  
MATCHLINE

2'x2' dia. boulders hand placed in swale shoulders as accent features Typ. of 6 places

Property Line  
City Sidewalk

Street Trees to be determined by City of Surrey. Do Not install street trees on City Boulevard without first consulting Surrey Parks Department. Obtain Approval from Parks Dept. as to species, size, spacing and planting detail prior to doing work on City Boulevards.

189th STREET

Sodded lawn on 150 mm deep top soil mixture - Repair existing sod, or install new sod. Field re view prior to landscape work and advise owner. Intent is to complete landscape work to curb.

Bio-filtration swale  
Raised curb. See Civil

PIP concrete walk - broom finish with saw cut joints at 4' o.c.

1 Maglin MLWR650-32-M Black top Gunmetal with Black LBK liner litter container, or equal. (2) Maglin Benches - (2) Maglin MLB-1050 Bench Gunmetal/Sandstone paper composite slats or equal.

Maglin MBR150 bike racks (2) Gunmetal

Stamped conc. crossing - brick parquet pattern, colour TBD

HC letdowns both access points

Existing lawn drain

Existing lawn drain

Lawn drain - see Civil

HC Letdown both sides of crossing

PIP broom finish concrete with gravel score lines as shown, conc. colour Davis Concrete "Sandstone" or equal.

Boulder monument sign. See Architecture. See Fig.

New concrete walkway to meet existing concrete sidewalk

Sodded lawn on 150 mm deep top soil mixture

New concrete walkway to meet existing concrete sidewalk

32ND AVE

12ND AVENUE

Revision	By	Date
Rev 11, 2014	Rev Approval for GP	
Oct 07, 2014	Rev Approval for GP	
Aug 07, 2014	Issue for GP	
July 17, 2014	Issue for Review	
July 11, 2014	For Review	

Prepared by:  
**Jonathan Loewe Ltd**  
Landscape Architecture  
#102 - 1891 St. Johns Ave.  
Surrey, B.C. V3R 3Y2  
P: 604.459.1322 Fax: 604.459.0424  
E: jon@jonathaneloewe.com

Project:  
**Lot 12 Cambell Heights**  
18905 32 Ave V3Z 0L5  
Surrey, B.C.

Sheet No:  
**Landscape layout & materials plan SOUTH**

Scale:  
1:100  
Date: July 2014  
Project No:  
2014-08

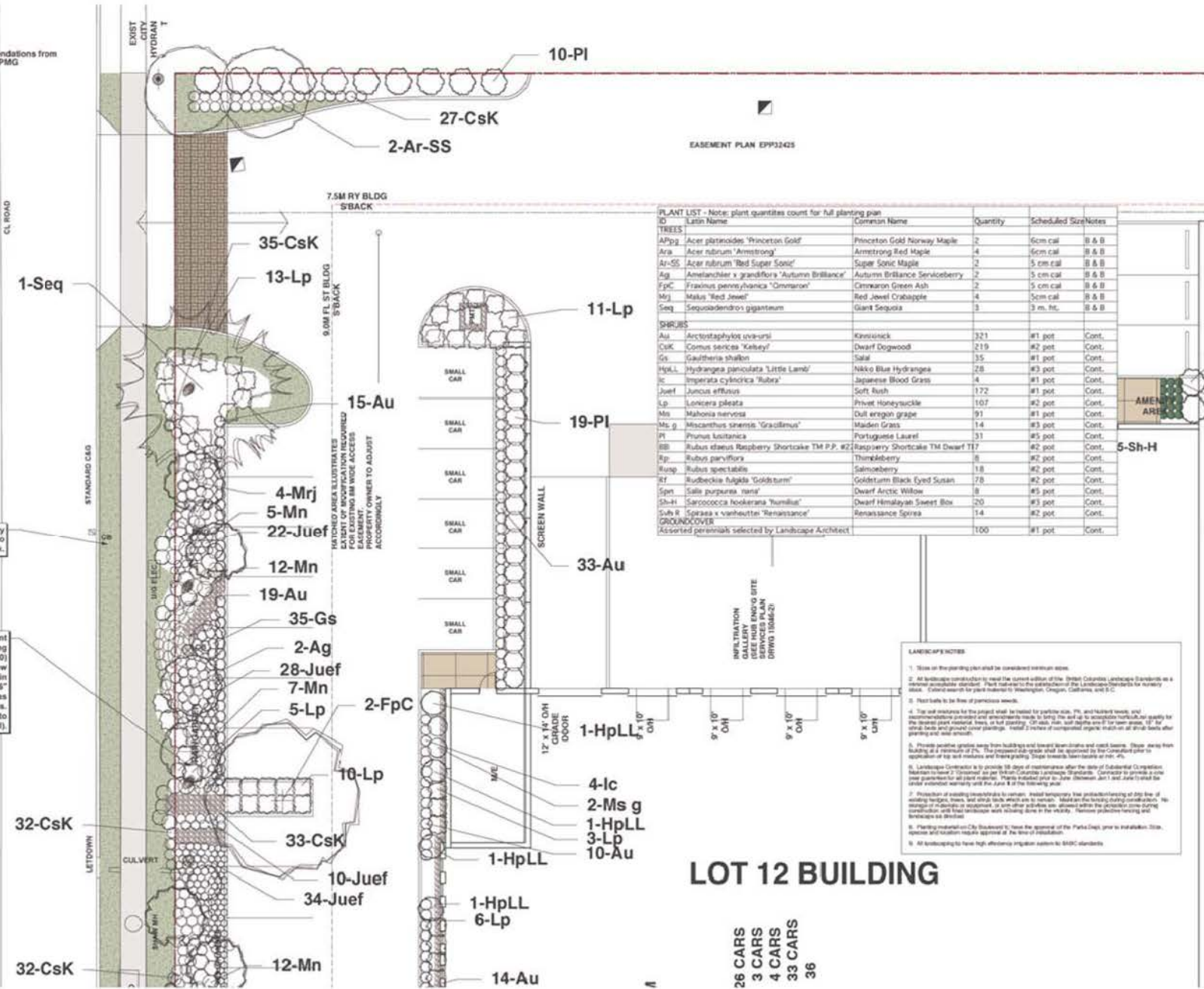


L-2



NOTE: Planting Plan based on recommendations from Campbell Heights Phase 2 drawings by PMG Landscape Architects. Project Number: 13.101

189TH STREET



Street Trees to be determined by City of Surrey. Make good damage to existing trees boulevard and sidewalk.

Bioswale with 400mm absorbent topsoil conforming to growing medium (Q2321 2:10 MMCO 2000) specification. 300mm wide low flow channel cut into the bottom of rain garden, c.w. 150mm deep of 4" to 6" river cobbles, and rock log weirs as required for stepped rain gardens. Boulders on edge of bioswale to capture sediment (see Civil).

HATCHED AREA ELUCIDATES EXTENT OF MODIFICATION REQUIRED TO EXISTING GRADE TO ACCOMMODATE PLANTING. PROPERTY OWNER TO ADJUST ACCORDINGLY.

PLANT LIST - Note: plant quantities count for full planting plan

ID	Latin Name	Common Name	Quantity	Scheduled	Size/Notes	
<b>TREES</b>						
APpg	Acer platanoides 'Princeton Gold'	Princeton Gold Norway Maple	2		6cm cal B & B	
Ara	Acer rubrum 'Armstrong'	Armstrong Red Maple	4		6cm cal B & B	
Ar-SS	Acer rubrum 'Red Super Sonic'	Super Sonic Maple	2		5 cm cal B & B	
Ag	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2		5 cm cal B & B	
FpC	Fraxinus pennsylvanica 'Omniaron'	Omniaron Green Ash	2		5 cm cal B & B	
Mj	Malus 'Red Jewel'	Red Jewel Crabapple	4		3cm cal B & B	
Seq	Sequoiadendron giganteum	Giant Sequoia	3		3 m. Ht. B & B	
<b>SHRUBS</b>						
Au	Arctostaphylos uva-ursi	Kinnikinnick	321	#1 pot	Cont.	
CuK	Cornus sericea 'Kelsey'	Dwarf Dogwood	219	#2 pot	Cont.	
Gi	Gaultheria shallon	Salar	35	#1 pot	Cont.	
Hpk.L	Hydrangea paniculata 'Little Lamb'	Nikko Blue Hydrangea	28	#3 pot	Cont.	
Jc	Juncus cylindrica 'Ruber'	Sagebrush Blood Grass	4	#1 pot	Cont.	
Juef	Juncus effusus	Soft Rush	172	#1 pot	Cont.	
Lp	Lonicera pileata	Privet Honeyuckle	107	#2 pot	Cont.	
Mt	Mahonia nervosa	Dull Oregon grape	91	#1 pot	Cont.	
Mt-g	Miscanthus sinensis 'Gracillimus'	Maiden Grass	14	#3 pot	Cont.	
PI	Pinus contorta	Portuguese Laurel	31	#5 pot	Cont.	
RS	Rubus idaeus Raspberry Shortcake TM P.P. #2	Raspberry Shortcake TM Dwarf T17	#2 pot	Cont.		
Rp	Rubus parviflorus	Thimbleberry	8	#2 pot	Cont.	
Rusp	Rubus spectabilis	Salmonberry	18	#2 pot	Cont.	
RT	Rudbeckia huldagi 'Goldsturm'	Goldsturm Black Eyed Susan	78	#2 pot	Cont.	
Spr	Salix purpurea 'nana'	Dwarf Arctic Willow	8	#5 pot	Cont.	
Sh-H	Sarcococca hookerana 'humilis'	Dwarf Himalayan Sweet Box	20	#3 pot	Cont.	
Sv-B	Syringa x vanhouttei 'Renaissance'	Renaissance Spirea	14	#2 pot	Cont.	
<b>GROUNDCOVER</b>						
	Assorted perennials selected by Landscape Architect			100	#1 pot	Cont.

**LANDSCAPE NOTES**

1. Size on the planting plan shall be considered minimum sizes.
2. All landscape contractors to read the upper portion of the United Columbia Landscape Standards as a minimal acceptable standard. Plant material to be purchased from the Landscape Standards for nursery stock. Contact request for plant list to: Sheeringa, Oregon, California, and B.C.
3. Root balls to be free of parasites weeds.
4. Top soil nutrient for the project shall be tested for particle size, PH, and nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material. Fertilizer, CR, pH, and soil depth are to be per upper portion of the standards for all plant material. Plants installed prior to June 30th must have Jan 1 and June 1st tested for a year extended warranty until the June 31st of the following year.
5. Protection of existing infrastructure to remain. Install temporary fine particle filtering of top line of existing bridges, drives, and strip drains, which are to remain. Head and the existing existing construction. No storage of materials or equipment or any other activities are allowed within the protection zone during construction. All landscape work including staking in the vicinity. Remove protective fencing and landscape as directed.
6. Fencing maintenance (See Schedule) to track the approval of the Parks Dept prior to installation. Site species and location require approval of the City of Issaquah.
7. All landscaping to have high efficiency irrigation system to SANS standards.

Nov. 17, 2014	Re-issues for DP
Oct. 27, 2014	Re-issues for DP
Aug. 07, 2014	Issues for DP
July 17, 2014	Issues for Review
July 11, 2014	For Review



Project: Lot 12 Cambell Heights 18905 32 Ave V3Z 0L5 Surrey, B.C.

Drawn: Landscape Planting Plan NORTH

Scale: 1:100 Date: July 2014

L-3a

SCALE 1:100



MATCHLINE  
MATCHLINE

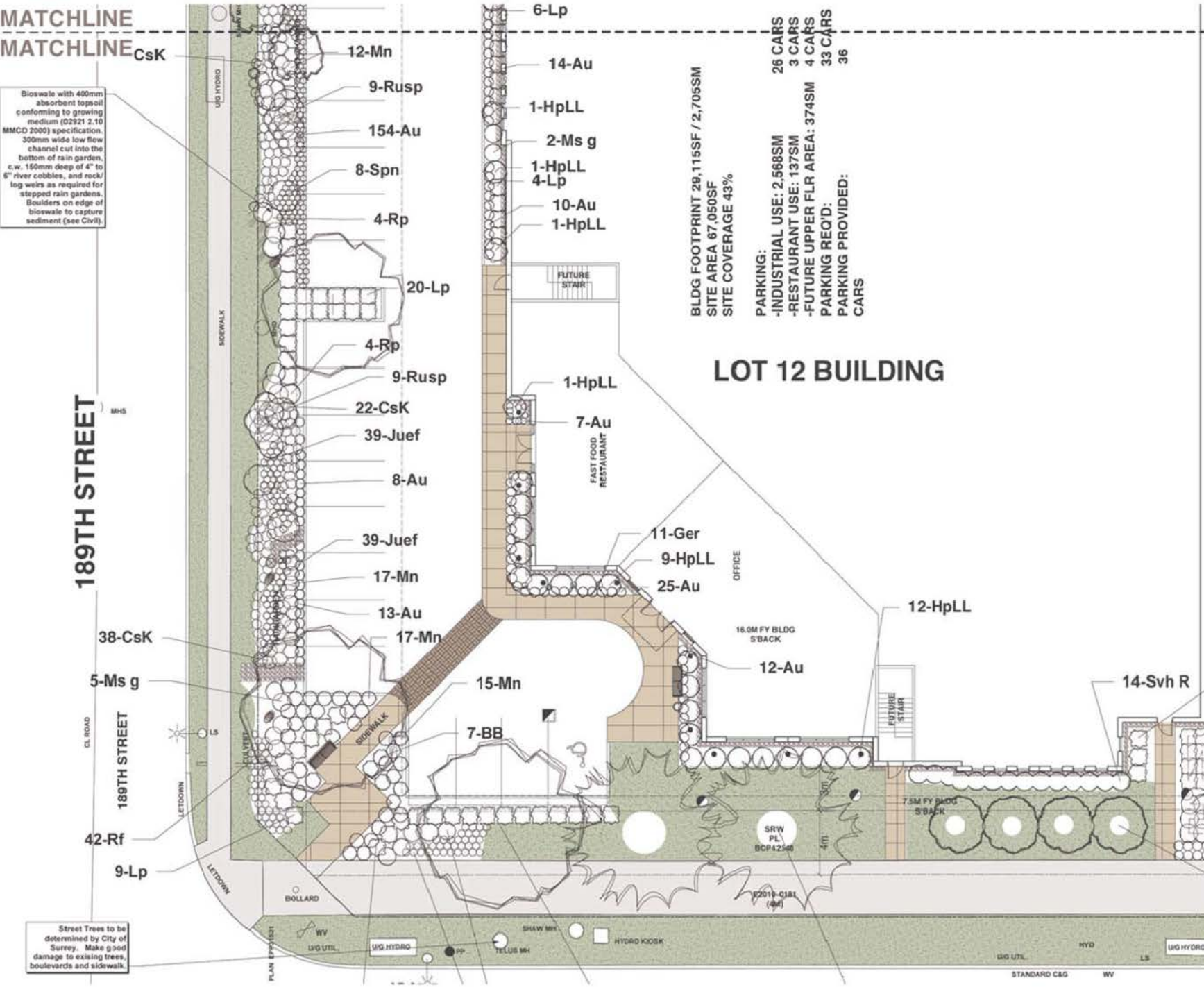
MATCHLINE  
MATCHLINE

Bioswale with 400mm absorbent topsoil conforming to growing medium (02921 2.10 MMCD 2000) specification. 300mm wide low flow channel cut into the bottom of rain garden, c.w. 150mm deep of 4" to 6" river cobbles, and rock/log weirs as required for stepped rain gardens. Boulders on edge of bioswale to capture sediment (see Civil).

189TH STREET

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Street Trees to be determined by City of Surrey. Make good damage to existing trees, boulevards and sidewalk.



BLDG FOOTPRINT 29,115SF / 2,705SM  
SITE AREA 67,050SF  
SITE COVERAGE 43%

PARKING:  
-INDUSTRIAL USE: 2,568SM  
-RESTAURANT USE: 137SM  
-FUTURE UPPER FLR AREA: 374SM  
PARKING REQ'D:  
PARKING PROVIDED:  
CARS

LOT 12 BUILDING

SEE L3a for Landscape notes and Plant List

NOTE: Planting Plan based on recommendations from Campbell Heights Phase 2 drawings by PMG Landscape Architects. Project Number: 13.101

Rev.	Date	Description
1	Nov. 17, 2014	Re-issue for DP
2	Oct. 27, 2014	Re-issue for DP
3	Aug. 27, 2014	Issue for DP
4	July 17, 2014	Issue for Review
5	July 11, 2014	For Review

JOSEPH LORENZ LTD.  
 Landscape Architects  
 4000 - 1890 St. John St.  
 3rd Floor  
 Surrey, BC V3Z 0L5  
 Tel: 604.581.1888  
 Fax: 604.581.1889  
 Email: info@josephlorenz.com

Project:  
 Lot 12 Cambell Heights  
 18905 32 Ave V3Z 0L5  
 Surrey, B.C.

Client:  
 ING. CHAMBER  
 Sheet Title:  
 Landscape Planting Plan

Scale:  
 1"=50'  
 Date:  
 July 2014  
 Drawing No:  
 1019-03

W. CHAMBER  
 150mm PVC PIPE  
 POWER POLE

L-3b



## INTER-OFFICE MEMO

---

TO: **Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **December 6, 2015** PROJECT FILE: **7815-0251-00**

---

RE: **Engineering Requirements (Commercial/Industrial)  
Location: 18905-32 Avenue**

### DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit. The following are to be addressed prior to issuance of the **Building Permit (BP)**:

- Evaluate services (e.g. driveways, water connections, sanitary sewer connections, storm water drainage) provided to the site by 7812-0160-00 and relocate/modify through the BP process. This will also include abandonment of redundant service connections as required;
- Relocate and/or construct curb letdowns for 11 m driveway to proposed location and complete associated modifications to drainage features if required;
- Amend access easement to suit proposed drive aisle as shown on Hub Engineering Inc. Plan # 15046-1, dated July 2015;
- Submitted preliminary sketches indicating infiltration/detention of runoff up to the 100 year Return Period as per Campbell Heights Land Use Plan requirements. An emergency overland flow path should be included in the lot grading design to direct flows for safe conveyance of flows in excess of 100 year Return Period.; and
- Design/Construct onsite infiltration and water treatment features as per Campbell Heights Land Use Plan requirements and as described in servicing plans under City project 7812-0160-00 and Restrictive Covenants on title.

The applicant is advised to review the registered sustainable drainage and water quality control restrictive covenants prior to submitting the building permit application.



Rémi Dubé, P.Eng.  
Development Services Manager

LR



CITY OF SURREY

(the "City")

DEVELOPMENT PERMIT

NO.: 7915-0251-00

Issued To: 18905 32nd Avenue Holdings Ltd  
("the Owner")

Address of Owner: 201-1525 Cliveden Avenue  
Delta BC V3M 6L2

1. This development permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development permit.
2. This development permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 029-167-116  
LT 12 SC 28 T7 PLEPP31532  
18905 32 Ave

(the "Land")

3. This development permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development permit.
4. The Land has been designated as a Development Permit Area in Surrey Official Community Plan By-law, 2013, No. 18020, as amended.
5. The character of the development including landscaping and the siting, form, exterior design, finish of buildings, structures and signage shall be in accordance with the drawings numbered 7915-0251-00 (A) through to and including 7915-0251-00 (H) (the "Drawings") which are attached hereto and form part of this development permit.
6. Minor changes to the Drawings that do not affect the general form and character of the landscaping and the siting, form, exterior design, finish of buildings, structures and signage on the Land, may be permitted subject to the approval of the City.

7. (a) The landscaping shall conform to drawings numbered 7915-0251-00 (D) through to and including 7915-0251-00 (H) (the "Landscaping").
- (b) The Landscaping shall be completed within six (6) months after the date of the final inspection of the buildings and structures referred to in the Drawings.
- (c) Prior to the issuance of the building permit for this development, security is to be submitted to ensure satisfactory completion of the Landscaping. The security for the Landscaping is to be submitted as follows:

Cash or an Irrevocable Letter of Credit, in a form acceptable to the City, in the amount of \$58,286.21

(the "Security")

- (d)
  - i. When the Landscaping is substantially complete as determined by the City, without the City having to use the Security, 90% of the original Security will be returned. When the Landscaping receives final approval by the City, not earlier than twelve (12) months after the date of substantial completion of the Landscaping, 10% of the original Security will be returned.
  - ii. If final approval of the Landscaping is not given by the City, the City has the option of using the Security to complete the Landscaping and any remaining money shall be returned. The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Landscaping.
  - iii. If the City elects not to enter upon the Land to complete the Landscaping and the Owner does not complete the Landscaping, the Security is forfeited to the City five (5) years after the date of the provisional or final inspection of the buildings and structures referred to in the Drawings.
8. This development permit supplements/amends Development Permit No. 7910-0032-00.
9. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development permit.
10. This development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued, within two (2) years after the date this development permit is issued.
11. The terms of this development permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

12. This development permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .  
ISSUED THIS DAY OF , 20 .

\_\_\_\_\_  
Mayor - Linda Hepner

\_\_\_\_\_  
City Clerk - Jane Sullivan

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS DEVELOPMENT PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS DEVELOPMENT PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

\_\_\_\_\_  
Authorized Agent (Signature)

*John Kristanson*

Name: (Please Print)

OR

\_\_\_\_\_  
Owner: (Signature)

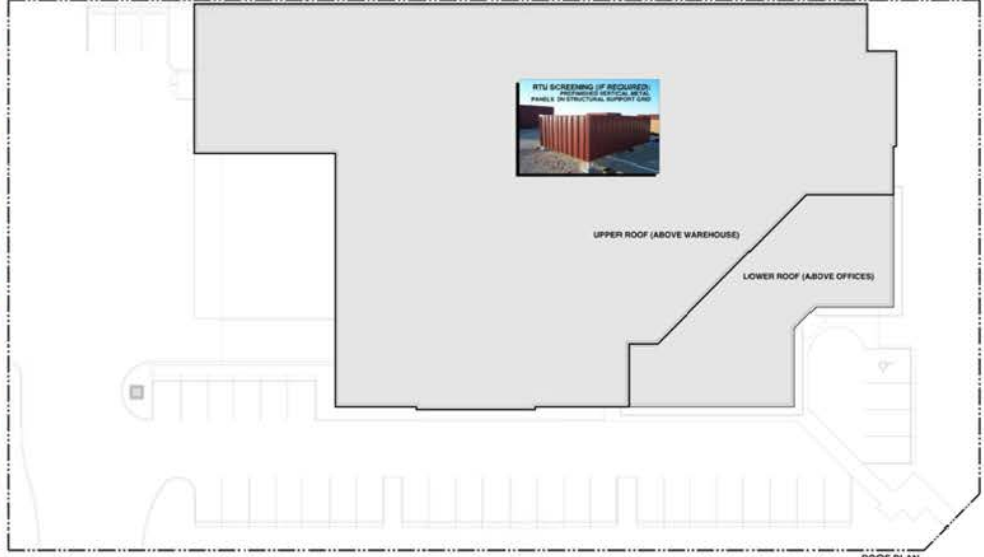
\_\_\_\_\_  
Name: (Please Print)



CONTEXT PLAN

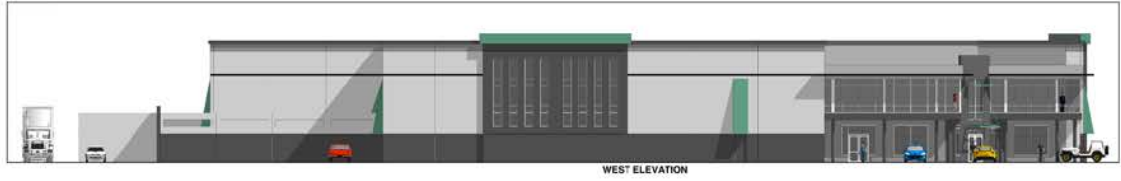
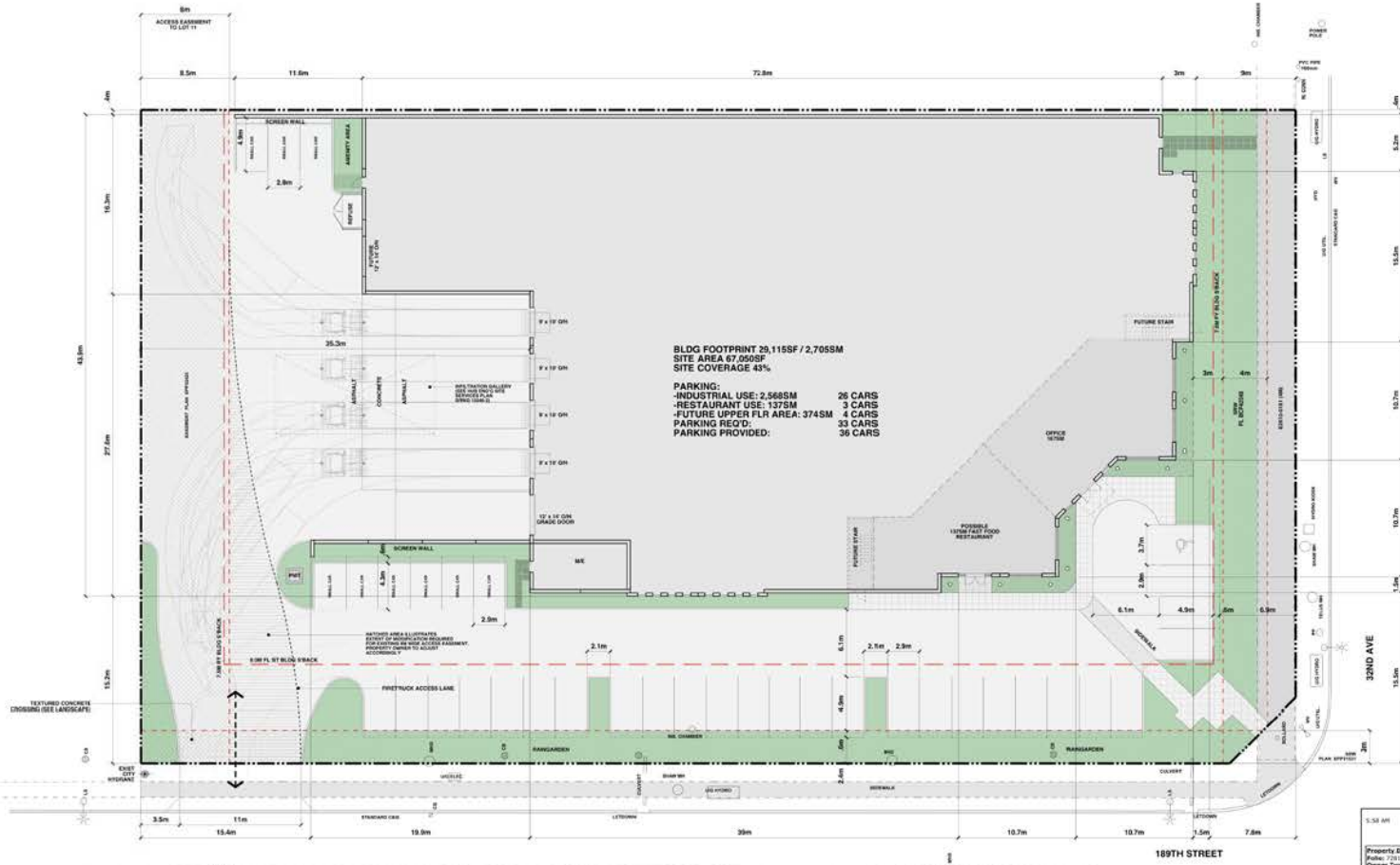


AERIAL VIEW FROM SOUTHWEST



ROOF PLAN

		<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>REMARKS</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>A NOV 15 15</td> <td>DP RESUBMISSION</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV	DATE	REMARKS	1	A NOV 15 15	DP RESUBMISSION														INCORPORATED & REGISTERED 1881 WEST 4TH STREET VANCOUVER, BC V6J 1K6 TEL: 604 278 1232 <b>cta</b> CIVIL ENGINEERING ENGINEERING OF CIVIL ENGINEERS		<b>PROPOSED NEW BUILDING</b>  <b>LOT 12</b>  18905 32ND AVE CAMPBELL HEIGHTS NORTH SOUTH SURVEY BC	TITLE: <b>-CONTEXT PLAN -ROOF PLAN</b> DRAWN: JK CHECKED: JK SCALE: 1:2000; 1:250 DRAWING NUMBER: SHEET: A0 VERSION: A
REV	DATE	REMARKS																							
1	A NOV 15 15	DP RESUBMISSION																							



1:50 AM Property Information Report 01/05/2015  
**18905 32 Ave V32 015**

**Property Details**  
 Folio: 791-1102-9  
 Owner Type: Private  
 PID: 024-05-114  
 Survey: LOT 12 SECTION 28 TOWNSHIP 7  
 Plan: 024-05-114-000  
 Plan Type: 500-0-0-0  
 Area: 6,223 sq. meters (67,050 sq. feet)  
 Information: See WUP plan for details  
 Type: Standard Lot

**Assessment Details**

Year	Gross Land	Gross Improvements	Gross Assessment
2011	\$1,336,000	\$1	\$1,336,000

**Services Details**

**RCP Details**  
 Land Use: NCP Name: % of Lot: 100%

**SCP Details**  
 Land Use: % of Lot: 100%

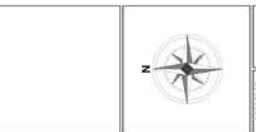
**zoning Details**  
 Zone: Description: % of Lot: Subzone: % of Lot: 100%  
 024 Comprehensive Development Zone \$1,374,000 1,754

**Land Use Contract**

**SITE DATA:**  
 MUNICIPAL ADDRESS: 18905 32ND AVENUE  
 LEGAL DESCRIPTION: LOT 12, S 28 T 7 R 1 E P31532 NWD  
 ZONING: C2 (COMPREHENSIVE DEVELOPMENT)  
 LIGHT INDUSTRIAL  
 SITE AREA: APPROX 67,050 SF / 67,050 SF  
 BLDG AREA (FOOTPRINT): 20,115 SF  
 SITE COVERAGE: 43%  
 ALLOWED 40% (PROPOSED) 43%  
 GROSS BLDG AREA: 3,078M / 33,142SF  
 PAR. 616

**FRONT YARD (SOUTH):** 8.0M  
**REAR YARD (NORTH):** 13.5M  
**SIDE YARD (EAST):** 0.0M  
**REAR STREET (WEST):** 11.2M  
**BLDG HT:** 11.2M  
**ALLIANCE:** 14.8M  
**PROPOSED:** 16.7M  
**REQUIRED: 33 CARS (L809SM/100 + 3 FOR 137SM RESTAURANT)**  
**PROPOSED: 36 CARS**  
**LOADING BAY PROVIDED TO EA GH DOOR**

REV	DATE	REMARKS
A	NOV 16 15	DP RESUBMISSION
B	DEC 02 15	ACCESS ASSESSMENT MODIFICATION PER CIV. ENG'Y



ARCHITECTURE & ENGINEERING  
 800 - 467-7000  
 222 WEST 10TH STREET  
 VANCOUVER BC V6Z 1R4  
**CPA**  
**CPA DESIGN GROUP**  
 CONSULTING ENGINEER  
 A PROFESSIONAL MEMBER OF THE SOCIETY OF PROFESSIONAL ENGINEERS AND GEOMETRIC ENGINEERS OF BRITAIN COLUMBIA

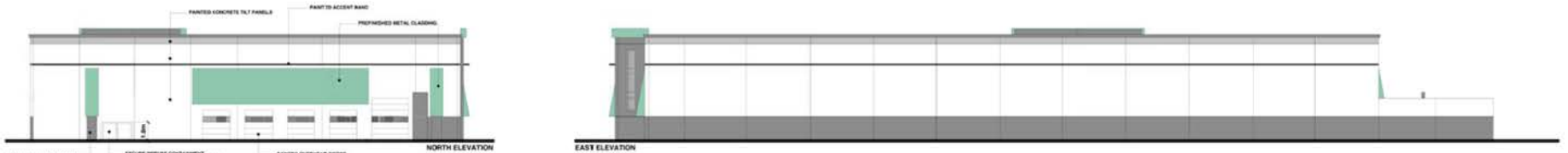
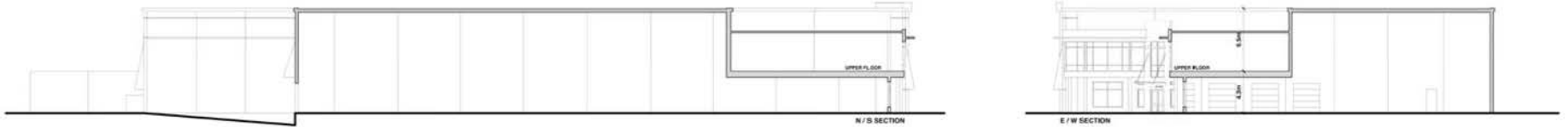
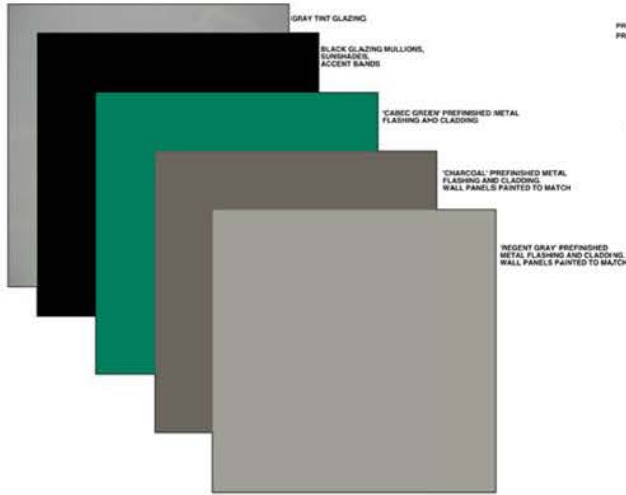


**PROPOSED NEW BUILDING**  
**LOT 12**  
**18905 32ND AVE**  
**CAMPBELL HEIGHTS NORTH**  
**SOUTH SURREY BC**

**-SITE / FLOOR PLAN**

DRAWN	JK	CHECKED	JK
SCALE:	1:200	FILE:	
DRAWING NUMBER:		REVISION:	
		A1	B





REV	DATE	REMARKS	APPROVED BY	DESIGNED BY	CHECKED BY	SCALE	FILE	SECTION
A	NOV 16 15	DP RESUBMISSION				1:200		A2

PROFESSIONAL ARCHITECTURE & ENGINEERING  
 100-10150 160 STREET  
 VANCOUVER, BC V6P 6E1  
 TEL: 604 271 1212  
 WWW.CCSA.CA  
**CCSA**  
**CONSTRUCTION CONSULTANTS ASSOCIATION OF BC**  
 ASSOCIATION OF PROFESSIONALS

When drawings are prepared for construction, the Designer is responsible for ensuring that the drawings are complete and correct. The Designer is not responsible for any errors or omissions on the drawings. The Designer is not responsible for any errors or omissions on the drawings. The Designer is not responsible for any errors or omissions on the drawings.

**PROPOSED  
NEW BUILDING**  
**LOT 12**  
**18905 32ND AVE**  
**CAMPBELL HEIGHTS NORTH**  
**SOUTH SURREY BC**

**SECTION**  
**-ELEVATIONS**  
**-SECTIONS**  
**-COLOR BOARD**

SCALE: 1:200

SECTION: **A**



BLDG FOOTPRINT 29,115SF / 2,705SM  
 SITE AREA 67,050SF  
 SITE COVERAGE 43%

PARKING:  
 -INDUSTRIAL USE: 2,568SM 26 CARS  
 -RESTAURANT USE: 137SM 3 CARS  
 -FLTURE UPPER FLR AREA: 374SM 4 CARS  
 PARKING REQ'D: 33 CARS  
 PARKING PROVIDED: 36 CARS

**LOT 12 BUILDING**

32ND AVENUE

189TH STREET

189TH STREET

Nov. 17, 2014	Re-issue for DP
Dec. 27, 2014	Re-issue for DP
Aug. 07, 2014	Issue for DP
July 17, 2014	Issue for Review
July 11, 2014	For Review

Prepared by:  
**Jonathan Loose Ltd.**  
 Landscape Architects

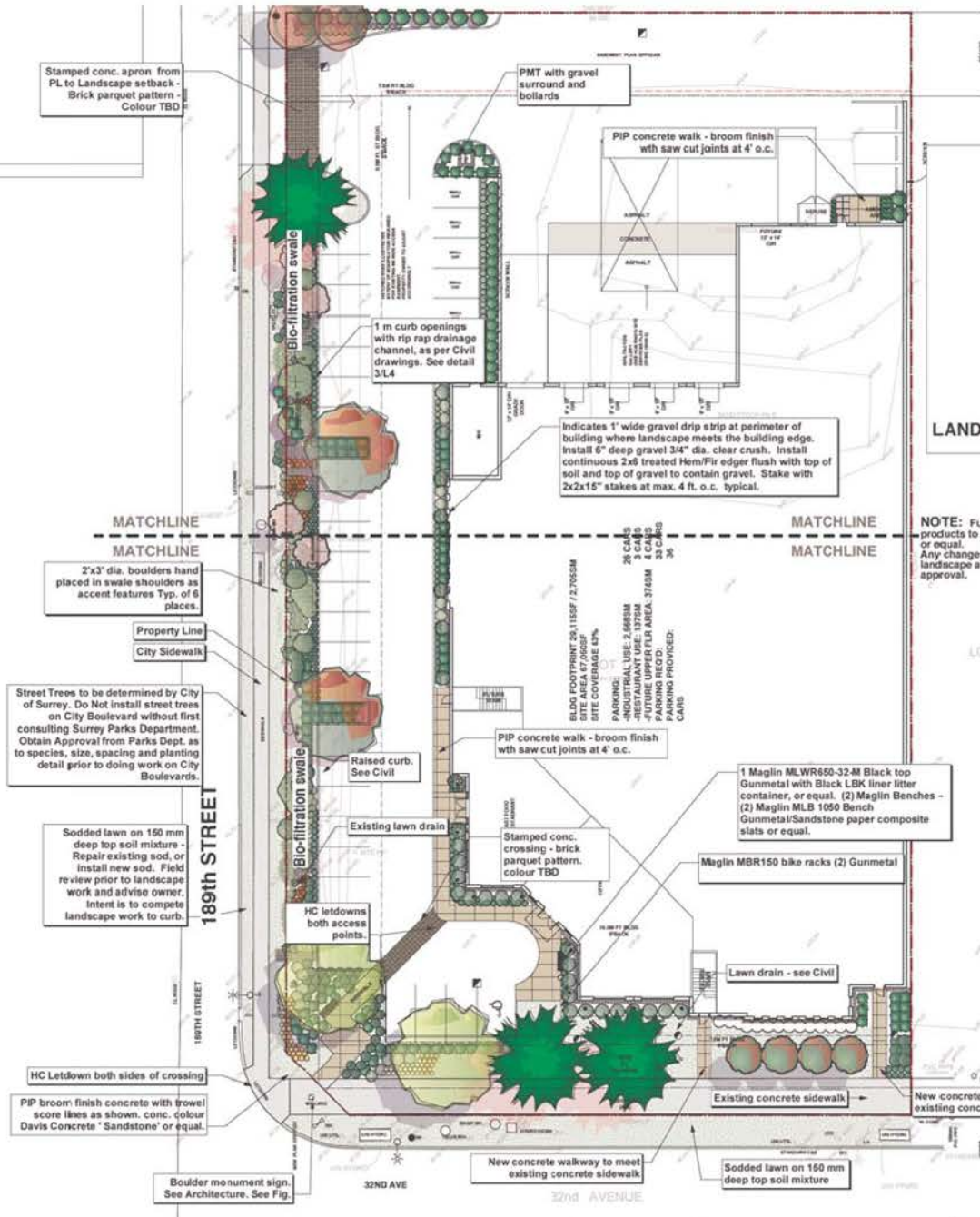
Project:  
**Lot 12 Cambell Heights**  
 18905 32 Ave V3Z 0L5  
 Surrey, B.C.

Scale:  
**1:250**

Date: July 2014  
 Project No: 2014-08



L-1



**LANDSCAPE FURNITURE**



LITTER CONTAINER



PICNIC TABLE



BENCH



BICYCLE RACK

*NOTE: Furniture products to be as shown or equal. Any changes needs landscape architects approval.*




Revisions:

Nov. 17, 2014	Re-issue for DP
Oct. 27, 2014	Re-issue for DP
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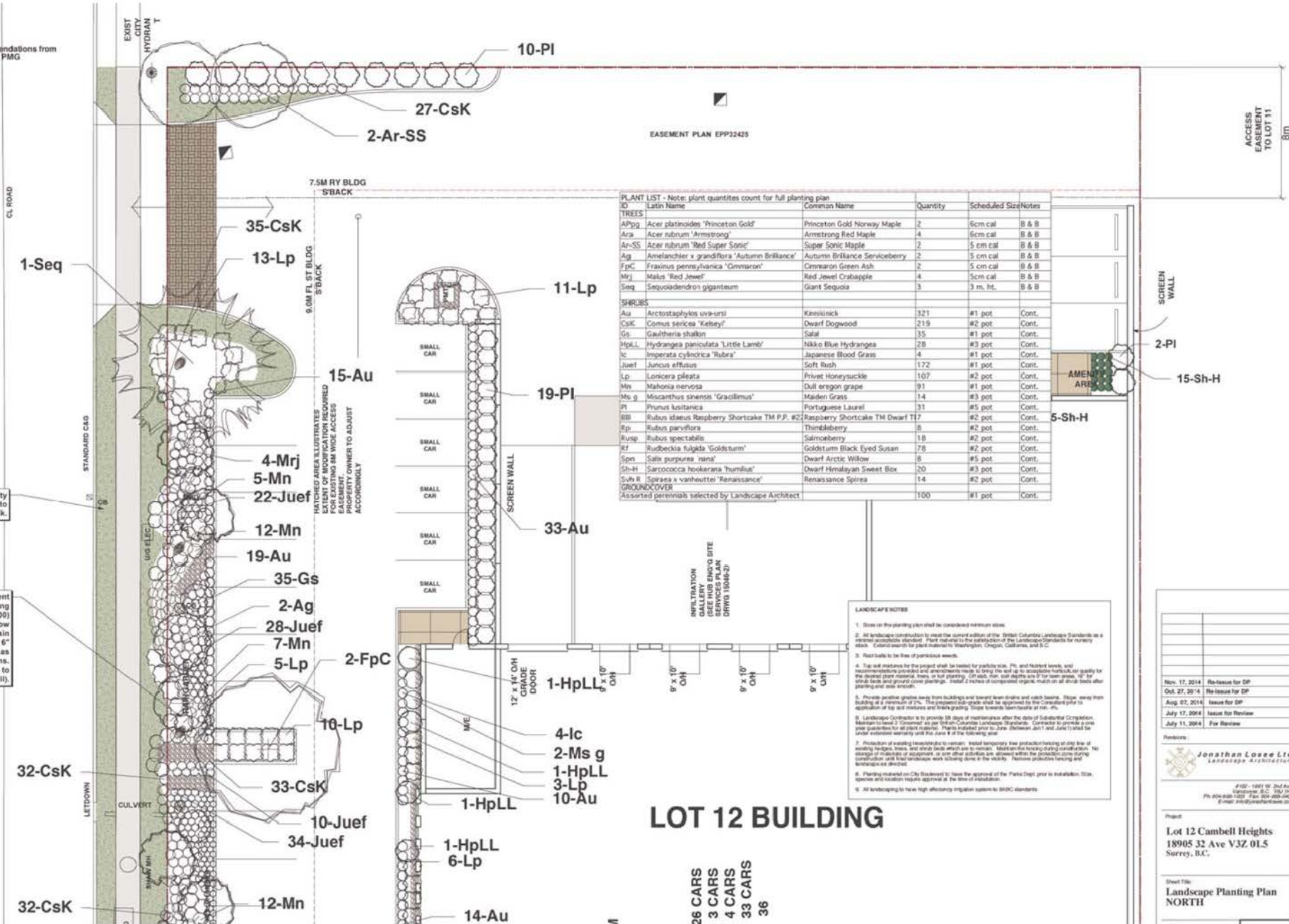
Prepared by:  
**Jonathan Loese Ltd.**  
Landscape Architects

Project:  
**Lot 12 Cambell Heights**  
18905 32 Ave V3Z 0L5  
Surrey, B.C.



NOTE: Planting Plan based on recommendations from Campbell Heights Phase 2 drawings by PMG Landscape Architects. Project Number: 13.101

189TH STREET



EASEMENT PLAN EPP202425

PLANT LIST - Note: plant quantities count for full planting plan

ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
<b>TREES</b>					
APpg	<i>Acer platanoides</i> 'Princeton Gold'	Princeton Gold Norway Maple	2	6cm cal	B & B
Ara	<i>Acer rubrum</i> 'Armstrong'	Armstrong Red Maple	4	6cm cal	B & B
Ar-SS	<i>Acer rubrum</i> 'Red Super Sonic'	Super Sonic Maple	2	5 cm cal	B & B
Ag	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2	5 cm cal	B & B
FpC	<i>Fraxinus pennsylvanica</i> 'Gimmaron'	Gimmaron Green Ash	2	5 cm cal	B & B
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HpLL	<i>Hydrangea paniculata</i> 'Little Lamb'	Little Blue Hydrangea	28	#3 pot	Cont.
Jc	<i>Imperata cylindrica</i> 'Rubra'	Japanese Blood Grass	4	#1 pot	Cont.
Juef	<i>Juncus effusus</i>	Soft Rush	172	#1 pot	Cont.
Lp	<i>Lonicera pileata</i>	Privet Honeyuckle	107	#2 pot	Cont.
Ms	<i>Mahonia nervosa</i>	Dull Oregon grape	91	#1 pot	Cont.
Ms-g	<i>Miscanthus sinensis</i> 'Gracillimus'	Maiden Grass	14	#3 pot	Cont.
PI	<i>Prunus lusitana</i>	Portuguese Laurel	31	#5 pot	Cont.
BB	<i>Rubus idaeus</i> Raspberry Shortcake TM P.P. #2	Raspberry Shortcake TM Dwarf T17	#2 pot	Cont.	
Ep	<i>Rubus parviflorus</i>	Thimbleberry	8	#2 pot	Cont.
Rusp	<i>Rubus spectabilis</i>	Salmonberry	18	#2 pot	Cont.
Wf	<i>Rudbeckia fulgida</i> 'Goldsturm'	Goldsturm Black Eyed Susan	78	#2 pot	Cont.
Sps	<i>Salix purpurea</i> 'nana'	Dwarf Arctic Willow	8	#5 pot	Cont.
Sh-H	<i>Sarcococca hookeriana</i> 'humilis'	Dwarf Himalayan Sweet Box	20	#3 pot	Cont.
Su-H	<i>Syringa x vanhouttei</i> 'Renaissance'	Renaissance Spirea	14	#2 pot	Cont.
Assorted perennials selected by Landscape Architect					

Street Trees to be determined by City of Surrey. Make good damage to existing trees boulevard and sidewalk.

Bioswale with 400mm absorbent topsoil conforming to growing medium (Q2321 2.10 MMCO 2000) specification. 300mm wide low flow channel cut into the bottom of rain garden, c.w. 150mm deep of 4" to 6" river cobbles, and rock log weirs as required for stepped rain gardens. Boulders on edge of bioswale to capture sediment (see Civil).

HATCHED AREA ILLUSTRATES EXTENT OF MODIFICATION REQUIRED TO EXISTING EASEMENT. PROPERTY OWNER TO ADJUST ACCORDINGLY.

- LANDSCAPE NOTES
1. Sizes on the planting plan shall be considered minimum sizes.
  2. All landscape contribution to meet the current edition of the British Columbia Landscape Standards as a general acceptable standard. Plant material to the satisfaction of the Landscape Standards for nursery stock. Consider research for plant material by: Washington, Oregon, California, and B.C.
  3. Root balls to be free of potting weeds.
  4. Top soil mixture for the project shall be tested for particle size, pH, and nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or turf planting. CH soil, top soil depths are 8" for lawn areas, 10" for shrub beds and ground cover plantings. Install 4" inches of composted organic mulch on all shrub beds after planting and soil finish.
  5. Provide profile grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. The proposed sub-grade shall be approved by the Contractor prior to application of top soil mixture and finish grading. Slope towards lawn/terrace at min. 1%.
  6. Landscape Contractor to provide 90 days of maintenance after the date of Substantial Completion. Maximum to level 2. Complied as per British Columbia Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June 30th 2017 and June 30th 2018 shall be under extended warranty until the June 30 of the following year.
  7. Protection of existing landscape to remain: Install temporary tree protection fencing at drop line of existing hedges, trees, and shrub beds which are to remain. Mark the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work including staking in the vicinity. Remove protective fencing and landscape as directed.
  8. Finaling maintenance by Contractor to have the approval of the Parks Dept prior to installation. Site species and location require approval at the time of installation.
  9. All landscaping to have High efficiency irrigation system to BADC standards.

Date	Revision
Nov. 17, 2014	Re-issue for DP
Oct. 27, 2014	Re-issue for DP
Aug. 07, 2014	Issue for DP
July 17, 2014	Issue for Review
July 11, 2014	For Review

Jonathan Lowe Ltd.  
Landscape Architecture

PROJ: 18903-02-2nd Rev.  
DATE: 07-16-14  
FILE: 18903-02-2nd Rev. 001-001-002  
E-MAIL: jon@jlowe.com

Project  
**Lot 12 Cambell Heights**  
18905 St. Ave V3Z 0L5  
Surrey, B.C.

Sheet Title  
**Landscape Planting Plan**  
**NORTH**

Scale  
1:100  
Date: July 2014  
Revised: 07/16/2015

26 CARS  
3 CARS  
4 CARS  
33 CARS  
36

LOT 12 BUILDING

SCALE 1:100



L-3a

MATCHLINE  
MATCHLINE

NOTE: Planting Plan based on recommendations from Campbell Heights Phase 2 drawings by PMG Landscape Architects. Project Number: 13.101

SEE L3a for Landscape notes and Plant List

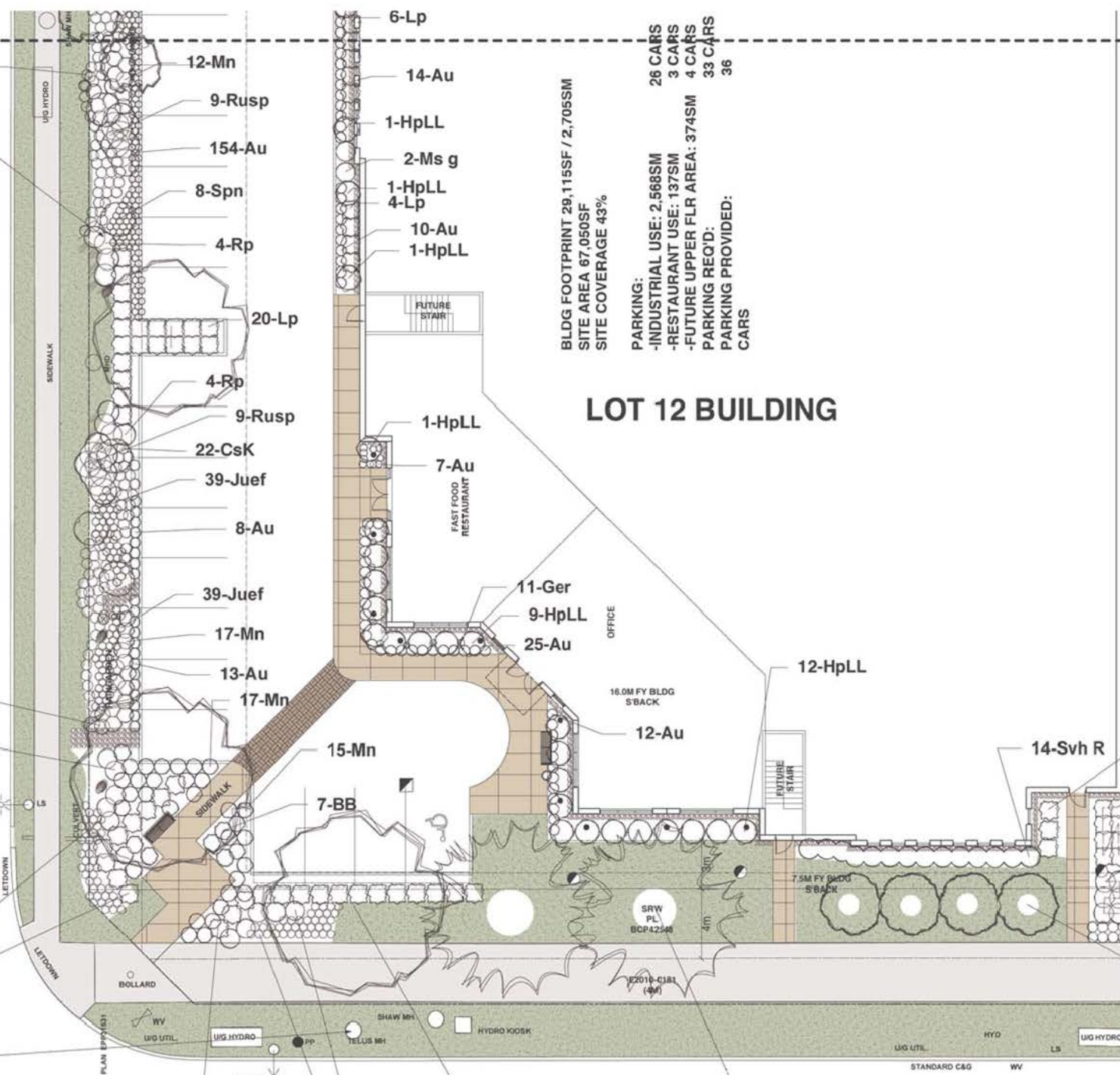
MATCHLINE  
MATCHLINE

Bioswale with 400mm absorbent topsoil conforming to growing medium (02921 2.10 MMCD 2000) specification. 300mm wide low flow channel cut into the bottom of rain garden, c.w. 150mm deep of 4" to 6" river cobbles, and rock/log weirs as required for stepped rain gardens. Boulders on edge of bioswale to capture sediment (see Civil).

189TH STREET

189TH STREET

Street Trees to be determined by City of Surrey. Make good damage to existing trees, boulevards and sidewalk.



BLDG FOOTPRINT 29,115SF / 2,705SM  
SITE AREA 67,050SF  
SITE COVERAGE 43%

PARKING:  
-INDUSTRIAL USE: 2,568SM  
-RESTAURANT USE: 137SM  
-FUTURE UPPER FLR AREA: 374SM  
PARKING REQ'D:  
PARKING PROVIDED:  
CARS

LOT 12 BUILDING

Nov. 17, 2014	Re-issue for DP
Oct. 27, 2014	Re-issue for DP
Aug. 07, 2014	Issue for DP
July 17, 2014	Issue for Review
July 11, 2014	For Review

Revisors:

**Jonathan Loose Ltd.**  
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Project:  
**Lot 12 Cambell Heights**  
18905 32 Ave V3Z 0L5  
Surrey, B.C.

ANS-CHAMBER  
Sheet Title:  
**Landscape Planting Plan**

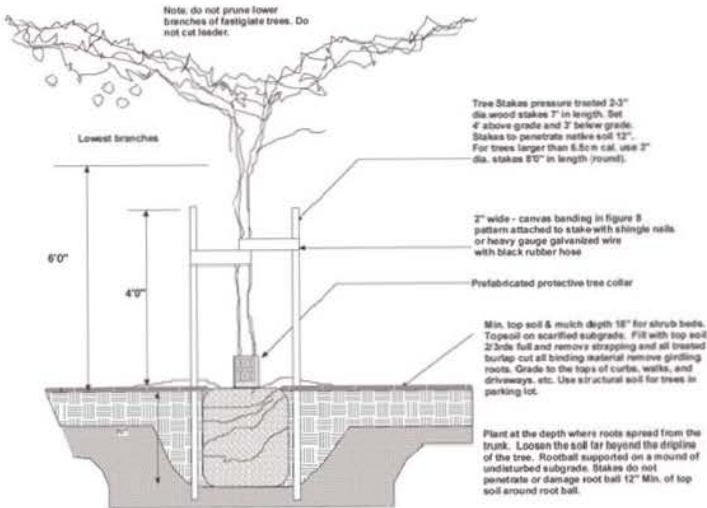
Scale:  
1:100

Date: July 2014  
Revised: 2015-28

100mm PVC PIPE  
POWER POLE

**L-3b**



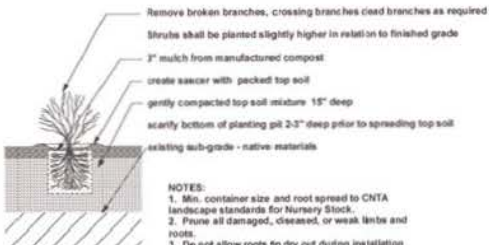


Root ball width plus 24" Min. Compacted to 85% standard proctor density. Scarify bottom and sides of tree pit prior to planting

All wire baskets shall have the top 1/3 of the wire removed prior to planting

Keep the soil moist, not water-logged, to the full depth of the roots. 4" deep saucer formed in top soil for initial first year of watering. Provide 3" deep if well compacted bark mulch over tree pit circumference. Do not mound up against flare of tree. Soil over root ball should not exceed 1" depth. Remove dead and dying branches with until the second growing season to begin training cuts for shaping and to begin fertilizing.

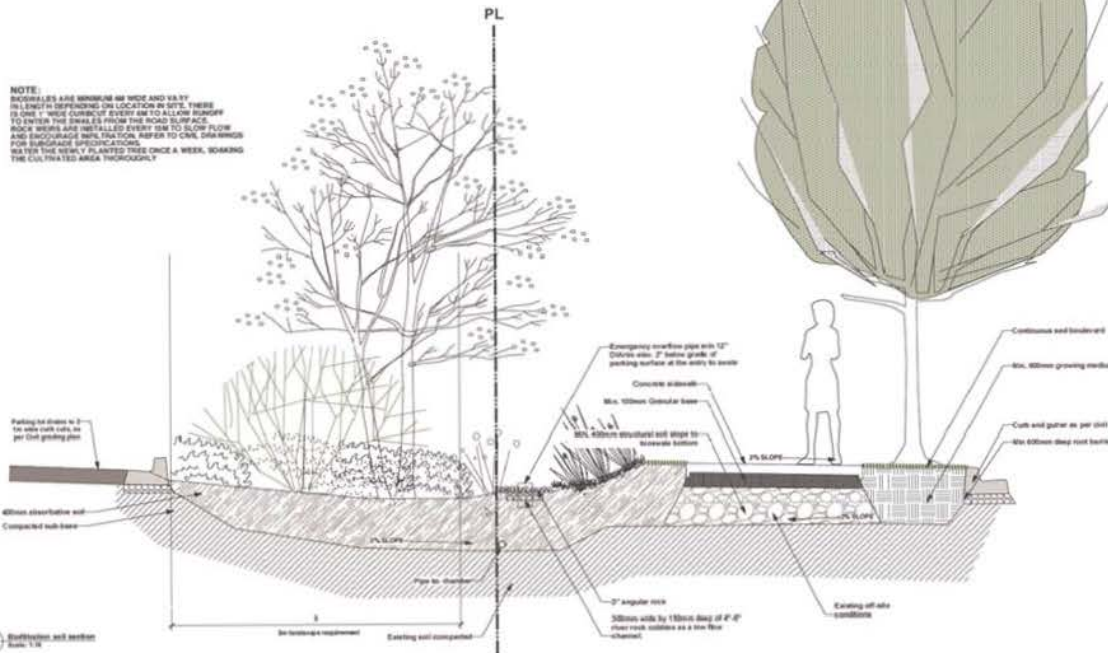
1 Tree planting  
L-4  
NTS



NOTES:  
1. Min. container size and root spread to CNTA landscape standards for Nursery Stock.  
2. Prune all damaged, diseased, or weak limbs and roots.  
3. Do not allow roots to dry out during installation process, water plant roots well prior to planting and water immediately following planting.

2 Shrub planting  
L-4  
NTS

NOTE:  
SINKHOLES ARE MINIMUM 48 HOURS AND 18" BY 18" DEPTH DEPENDING ON LOCATION IN SITE. THESE SINKHOLES MUST BE COVERED WITH A 1/2" THICK PLATE TO ENTER THE SINKHOLES FROM THE ROAD SURFACE. COVER WITH 1" HIGH CURBS OF 6000 PSI TO ALLOW FLOW AND ENCOURAGE INFILTRATION REFER TO CIVIL DRAWINGS FOR SINKHOLE SPECIFICATIONS. WATER THE RECENTLY PLANTED TREE ONCE A WEEK, SOAKING THE CULTIVATED AREA THOROUGHLY.



Rev. 17, 2014	Re-issue for EP
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July 11, 2014	For Review
Revised:	
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Lot 12 Cambell Heights 18905 32 Ave V3Z 0L5 Surrey, B.C.	
Sheet No:	
<b>Details</b>	
Scale:	
As Shown	
Date: July 2014	
Project No: 2015-26	

L-4