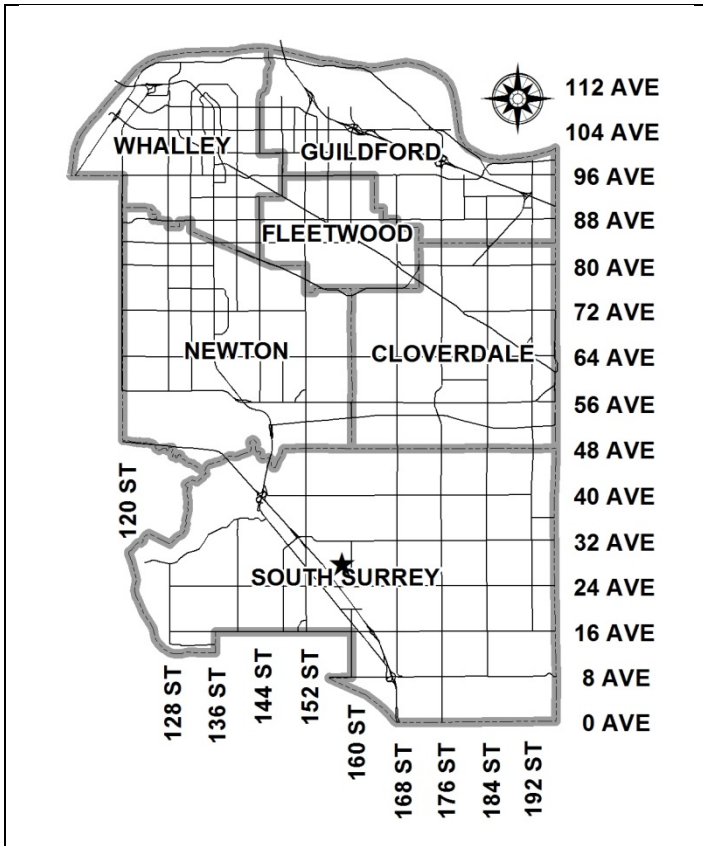


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7915-0244-00

Planning Report Date: February 22, 2016



PROPOSAL:

- **Rezoning** from RA to CD (based on RM-30)
- **Development Permit**

to permit the development of 67 townhouse units.

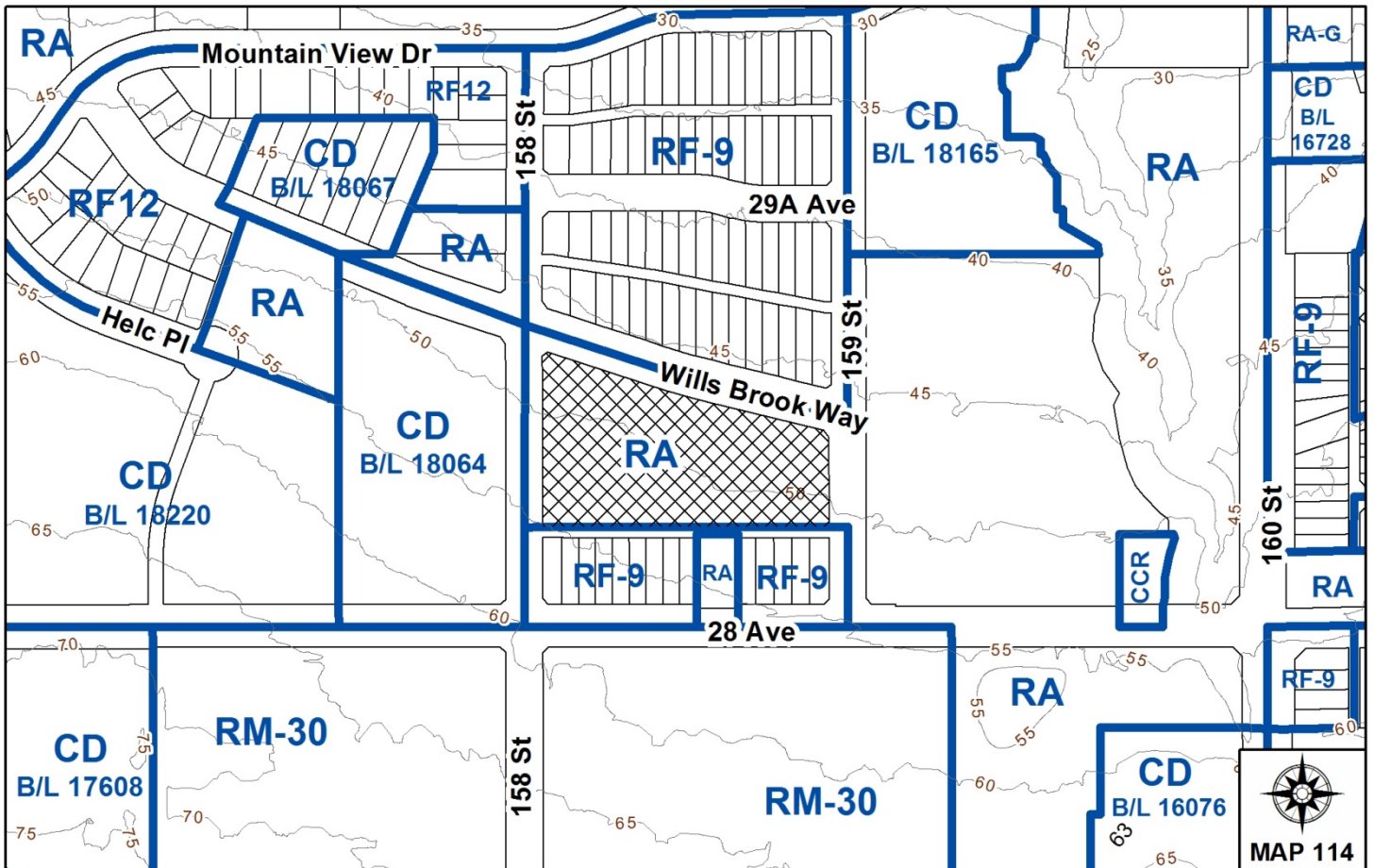
LOCATION: 2825 - 159 Street

OWNER: Greenway Adera Ventures Ltd.

ZONING: RA

OCP DESIGNATION: Urban

NCP DESIGNATION: Multiple residential (15-25 upa)



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for rezoning.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with the Official Community Plan (OCP) Designation.
- Complies with the North Grandview Heights Neighbourhood Concept Plan (NCP) Designation.
- The proposed form and character of the townhouses are appropriate for this area of the North Grandview Heights NCP.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" (By-law No. 12000) to "Comprehensive Development Zone (CD)" (By-law No. 12000) and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7915-0244-00 generally in accordance with the attached drawings (Appendix II).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (c) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;

- (e) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
- (f) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
- (g) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
- (h) registration of a Section 219 Restrictive Covenant requiring fire sprinklers to NFPA standards and to release and indemnify the City from liability;
- (i) registration of an appropriate agreement allowing for the shared use of the proposed amenity building located at 2215 – 164 Street under Development Application No. 7913-0089-00; and
- (j) submission of a subdivision layout for 15755 Mountain View Drive, dedicating approximately 564 m² (6,069 sq.ft) of parkland to the City to the satisfaction of the Approving Officer.

REFERRALS

Engineering: The Engineering Department has no objection to the project, subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

13 Elementary students at Sunnyside Elementary School
7 Secondary students at Semiahmoo Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Winter, 2017.

Parks, Recreation & Culture: No concerns.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Vacant development site created under Application No. 7911-0269-00.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across Wills Brook Way):	Single family dwellings.	Urban/Single Family Small Lots.	RF-9
East (Across 159 Street):	Sunnyside Elementary School.	Urban/Elementary School	RA
South:	Single family dwellings.	Urban/Single Family Small Lots.	RF-9 and RA
West (Across 158 Street):	57 unit townhouse development under construction (approved in 2015 under Application No. 7911-0255-00).	Urban/Townhouses 15 upa max.	CD (By-law No. 18064)

DEVELOPMENT CONSIDERATIONSBackground and Site Context

- Under application No. 7911-0269-00, Cressey Development Group assembled a 13.1 hectare (32.3 acre) site consisting of 10 properties in the North Grandview Heights NCP and created 78 single family small lots, 1 childcare centre lot, and 3 lots for future townhouse development, one of which is the subject site.
- The subject site was not rezoned under Development Application No. No. 7911-0269-00.
- The subject site is bound by 158 Street to the west, 159 Street to the east, Wills Brook Way to the north and a public lane to the south.
- The 1.2 ha (2.9 acre) site is currently zoned "One-Acre Residential Zone (RA)". The applicant has applied to rezone to a "Comprehensive Development Zone" (CD) to accommodate a proposed 67-unit townhouse development. A Development Permit is also required to allow the development.
- This site is currently designated "Multiple Residential 15-25 upa" in the North Grandview Heights Neighbourhood Concept Plan (NCP) and "Urban" in the Official Community Plan (OCP).

Proposal

- The applicant is applying for a rezoning from RA to CD (based on RM-30) and a Development Permit to allow the development of a 67-unit townhouse development.

CD By-law

- The applicant is proposing a CD Zone for the site, based on the RM-30 Zone. The table below outlines the differences between the RM-30 Zone and the proposed CD Zone:

	RM-15 Zone	Proposed CD Zone
Maximum Unit Density	75 uph (30 upa)	57 uph (24 upa)
Maximum Floor Area Ratio (FAR)	0.90	0.94
Setbacks	7.5m (25 ft) from all property lines.	4.5 m (15 ft) along 158 Street, with 3.8 m (12 ft) allowed for entrance vestibules; 4.5 m (15 ft) along 159 Street, with 3.8 m (12 ft) allowed for entrance vestibules; 4.5 m (15 ft) along Wills Brook Way; and 5.0m (16 ft) along the south side yard
Minimum Parcel Size	2,000 sq.m. (0.5 acres)	1.1 hectare (2.7 acres)

- The CD Zone proposes a higher floor area ratio (FAR) of 0.94 versus an FAR of 0.90 as in the RM-30 Zone.
- The applicant owns the development site located at 15755 Mountain View Drive, which is under Development Application No. 7915-0260-00. Under Development Application No. 7915-0260-00, the applicant proposes to convey to the City, at no cost, approximately 564 m² (6,069 sq.ft) of parkland to the City. The FAR proposed in the subject CD Zone takes into consideration this public benefit proposed to be provided by the applicant.
- The proposed density is typical of contemporary townhouse development and conforms with the NCP designation of "Multiple Residential (15-25 upa)".
- Setback relaxations along 158 Street, 159 Street and Wills Brook Way bring the buildings closer to the street and allow for a better street presence. The entrance vestibules on the end units of Buildings 1 and 4 enhance the orientation of the units to the street and provide variation of the façade, adding visual interest.
- The southerly setback relaxation is along the rear lane abutting the detached garages of the small single family lots that front 28 Avenue. The proposed southerly side yard setback will result in a separation of approximately 11.5 metres (38 ft.) between the detached garages on the south side of the lane and the proposed townhouse units on the north side of the lane, resulting in a more open lane with broader sight lines and sky views, and providing functional rear yards for the proposed townhouse units.

Access, Pedestrian Circulation & Parking

- Vehicular access is proposed from two locations; one on 158 Street and another on 159 Street.
- All of the street-fronting units are proposed to have individual pedestrian access to the street. Each unit is also connected to several main pathways that allow for circulation through the site and to the City sidewalk.
- The applicant is proposing to provide 134 resident parking spaces and 13 visitor parking spaces. The Zoning By-law requirement for resident and visitor parking spaces is satisfied.

Amenity Space

- The Zoning By-law requires that 201 sq.m. (2,163 sq. ft.) of indoor amenity area be provided for this project, based on 3 sq.m. (32 sq. ft.) per dwelling unit.
- A 613 sq.m. (6,600 sq.ft.) indoor amenity building, located at the north east corner of 159 Street and Mountain View Drive, was approved under Development Application No. 7913-0089-00 and was intended serve the three (3) townhouse sites created under Development Application No. 7911-0269-00, one of which is the subject site.
- The amenity space contains a gym, exercise room and pet wash area on the ground floor and a great room, kitchen, lounge area, billiards room, coffee bar and a multi-purpose room on the second level.
- The Zoning By-law requires that 201 sq.m. (2,163 sq. ft.) of outdoor amenity area be provided for this project, based on 3 sq.m. (32 sq. ft.) per dwelling unit. The applicant is proposing to provide 201 sq.m. (2,163 sq.ft) of outdoor amenity area which consists of open seating areas, treed and landscaped areas, bike racks, and children's play structures.

DESIGN PROPOSAL AND REVIEW

- The proposed 67-unit townhouse project consists of 3-bedroom units in 11 buildings, with an average floor area of 146 square metres (1575 sq.ft.) per dwelling unit.
- Of the 67 units, 36 have double, side by side, garages and 31 have a tandem parking arrangement. In addition, 13 visitor stalls have been provided, bringing the total parking count to 147 stalls.
- The siting and orientation of the buildings results in a strong streetscape on all sides with front doors close to, and directly accessing, the streets.
- Roof decks and second-floor balconies are proposed for each unit, which provides additional outdoor amenity space for the enjoyment of owners.
- The perceived building massing has been reduced by following the natural grades of the site through a stepped building form, including complementary vertical façade elements that reduce the horizontality of the design.
- The overall design of the project follows a modern, west coast, theme typified by clean geometric lines, with strong horizontal and vertical elements, broad overhangs extensive cedar siding, cedar soffits and painted composite board and panel elements, and thoughtful integration of natural materials and native landscaping.

Landscaping

- Landscaping plans have been received and are generally acceptable. The landscaping includes a mix of trees, shrubs and ground cover.

- 98 trees are proposed to be planted within the project. In addition, street trees will be planted along all perimeter roads and along the south boundary adjacent to the laneway. Maple, oak, cherry, spruce, ash and beech trees are proposed to be planted.
- Other plantings include a variety of flowering shrubs, grasses and ground covers that soften the hard surfaces of the site, mark walkways and driveways and help define the transitions between private and semi-private spaces.

TREES

- Nick McMahon, ISA Certified Arborist of Arbortech Consulting, prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder and Cottonwood	57	57	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Paper Birch	1	1	0
Walnut	2	2	0
Coniferous Trees			
Western Red Cedar	2	2	0
Total (excluding Alder and Cottonwood Trees)	5	5	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		98	
Total Retained and Replacement Trees		98	
Contribution to the Green City Fund		N/A	

- The Arborist Assessment states that there are a total of 5 protected trees on the site, excluding Alder and Cottonwood trees. 47 existing trees, approximately 90% of the total trees on the site, are Alder and Cottonwood trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the condition of the trees (3 of the 5 protected trees, excluding Alder and Cottonwood, are unsuitable for retention due to pre-existing defects or health constraints) and location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 57 replacement trees on the site. The applicant is proposing to plant 98 replacement trees, exceeding City requirements.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on February 16, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • North Grandview Heights • 15-25 upa
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • 23 upa • 67 3-bedroom townhouse units • 20 m² rooftop deck for each unit with opportunities for garden
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Absorbent soils • Vegetated swales • Natural landscaping • Rain garden • 171% increase in on-site tree canopy • 98 replacement trees provided (57 required) • Space provided within each garage for recycling
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • N/A
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • Units designed with front doors off of public streets and internal drive aisles • Low plantings to promote open sightlines • Passive outdoor amenity space • Children's play area
6. Green Certification (F1)	<ul style="list-style-type: none"> • Built Green
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • Sustainability Feature Sheet provided to all homeowners.

ADVISORY DESIGN PANEL

The application was not referred to the ADP for review. The design and landscaping plans were reviewed by staff and found to be generally acceptable.

PRE-NOTIFICATION

Pre-notification letters were sent on December 2, 2015 and January 19, 2016 to 409 households within 100 metres (328 ft.) of the subject site. Staff received no comments.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Proposed CD By-law

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

TH/dk

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Edward Archibald
 Greenway Adera Ventures Ltd.
 Address: 1055 - Dunsmuir Street, Suite 2200
 Vancouver BC V7X 1K8

 Tel: 604-637-4301 - Work
 604-637-4301 - Cellular

2. Properties involved in the Application
 - (a) Civic Address: 2825 - 159 Street

 - (b) Civic Address: 2825 159 St
 Owner: Greenway Adera Ventures Ltd.
 PID: 029-328-314
 Lot 8 Section 23 Township 1 New Westminster District Plan Epp39641

3. Summary of Actions for City Clerk's Office
 - (a) Introduce a By-law to rezone the property.

DEVELOPMENT DATA SHEET

Proposed Zoning: CD

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		11,694
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		39%
Paved & Hard Surfaced Areas		32%
Total Site Coverage		71%
SETBACKS (in metres)		
Front (east)		4.5 m
Rear (west)		4.5 m
Side #1 (north)		4.5 m
Side #2 (south)		5.0 m
BUILDING HEIGHT (in metres/storeys)		
Principal		12.6 m
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		67
Total		67
FLOOR AREA: Residential		11,3035
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		11,035

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		23 upa / 57 uph
# of units/ha /# units/acre (net)		23 upa / 57 uph
FAR (gross)		0.94
FAR (net)		0.94
AMENITY SPACE (area in square metres)		
Indoor		201 m ²
Outdoor		
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		134
Residential Visitors		13
Institutional		
Total Number of Parking Spaces		147
Number of disabled stalls		0
Number of small cars		3
Tandem Parking Spaces: Number / % of Total Number of Units		46%
Size of Tandem Parking Spaces width/length		3.2 m x 6.1 m

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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DEVELOPMENT PERMIT APPLICATION



DRAWING INDEX - DOCUMENTATION

ARCHITECTURAL

→ A-000	COVER SHEET	N/T	
→ A-001	SITE CONTEXT LOCATION	N/T	
→ A-100	SITE PLAN	1.20	
→ A-101	FIRE TRUCK ACCESS PLAN	1.20	
→ A-102	SITE ELEVATIONS	1.20	
→ A-120	SITE SECTIONS	1.20	
→ A-130	MATERIALS	N/T	
→ A-201	BLDG 1 FLOOR PLANS	1.00	
→ A-201	BLDG 1 FLOOR PLANS	1.00	
→ A-201	BLDG 1 ELEVATIONS	1.00	
→ A-202	BLDG 2 FLOOR PLANS	1.00	
→ A-202	BLDG 2 FLOOR PLANS	1.00	
→ A-202	BLDG 2 ELEVATIONS	1.00	
→ A-203	BLDG 3 FLOOR PLANS	1.00	
→ A-203	BLDG 3 FLOOR PLANS	1.00	
→ A-203	BLDG 3 ELEVATIONS	1.00	
→ A-204	BLDG 4 FLOOR PLANS	1.00	
→ A-204	BLDG 4 FLOOR PLANS	1.00	
→ A-204	BLDG 4 ELEVATIONS	1.00	
→ A-205	BLDG 5 FLOOR PLANS	1.00	
→ A-205	BLDG 5 FLOOR PLANS	1.00	
→ A-205	BLDG 5 ELEVATIONS	1.00	
→ A-206	BLDG 6 FLOOR PLANS	1.00	
→ A-206	BLDG 6 FLOOR PLANS	1.00	
→ A-206	BLDG 6 ELEVATIONS	1.00	
→ A-207	BLDG 7 FLOOR PLANS	1.00	
→ A-207	BLDG 7 FLOOR PLANS	1.00	
→ A-207	BLDG 7 ELEVATIONS	1.00	
→ A-208	BLDG 8 FLOOR PLANS	1.00	
→ A-208	BLDG 8 FLOOR PLANS	1.00	
→ A-208	BLDG 8 ELEVATIONS	1.00	
→ A-209	BLDG 9 FLOOR PLANS	1.00	
→ A-209	BLDG 9 FLOOR PLANS	1.00	
→ A-209	BLDG 9 ELEVATIONS	1.00	
→ A-210	BLDG 10 FLOOR PLANS	1.00	
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→ A-210	BLDG 10 ELEVATIONS	1.00	
→ A-211	BLDG 11 FLOOR PLANS	1.00	
→ A-211	BLDG 11 FLOOR PLANS	1.00	
→ A-211	BLDG 11 ELEVATIONS	1.00	
Total	→ 56		
LANDSCAPE			
→ L-1a	LANDSCAPE GROUND LEVEL		
→ L-1b	LANDSCAPE ANTI-OFF AREA		
→ L-1c	LANDSCAPE ROOF TOP LEVEL		
→ L-1d	FENCINGS - GROUND LEVEL		
→ L-1e	LIGHTING LAYOUT		
→ L-1f	LAYOUT CORNER TREATMENTS		
→ L-2a	PLANTING - TREES		
→ L-2b	PLANTING - BLDG 1-3		
→ L-2c	PLANTING - BLDG 4-6		
→ L-2d	PLANTING - BLDG 7 - AMENITY		
→ L-2e	PLANTING - BLDG 8-9		
→ L-2f	PLANTING - BLDG 10-11		
→ L-2g	LANDSCAPE DETAILS		
→ L-2h	LANDSCAPE DETAILS		
Total	→ 51		
Total	→ 107		

Received 1 AUGUST 2016 REZ APPLICATION
 Received 2 OCTOBER 2016 PRELIM CITY REVIEW
 Received 2 DECEMBER 2016 DP APPLICATION
 Received 4 JANUARY 2017 DP REVISION

Project: Greenway at SouthVillage S.I.R. Project No: 15361
 Client: Alera Date: Jun 10/15
 Issue: Issue 04 - Development Permit Re-issue

PROJECT DATA - GREENWAY AT SOUTHWILGEE (LOT B) (ASSUMING 6008.62 sq.ft. of site area added)

Address:	159th Street, Surrey, BC		
Legal Description:	Lot B, Section 23, Township 1, New Westminster District, Plan 5197		
Zoning:	OO		
Legal Site Area:	2.75 acres	118,513 sq.ft.	11,100.00 sq.ft.
Area Transfer from GreenVillage Site:	0.14 acres	6,269 sq.ft.	593.79 sq.ft.
Site Area for PDR Calculations:	2.89 acres	124,782 sq.ft.	11,693.79 sq.ft.
PDR:	0.04	23 MPa	2,164 sq.ft.
Lot Coverage:	30%	49,435 sq.ft.	4,662.07 sq.ft.
Outdoor Amenity Required/Provided:	57 units	sq.ft.	201.00 sq.ft.
Indoor Amenity Required/Provided:	57 units	sq.ft.	2,164 sq.ft.
Parking Required/Provided:	57 units	2.0 spaces per unit	114.00 spaces
Residents:	57 units		13.4 spaces/unit
Visitors:	57 units	0.2 spaces/unit	11.4 spaces
Total Parking Required/Provided:	57 units		125.40 spaces
Units with Double Garages:	36 units	50%	
Units with Surface Parking:	21 units	37%	
Total:	57 units	100%	

Disabled Parking:	1 per 100 spaces	0.13 spaces	0 spaces
Max. Small Cars:	20% of required spaces	2.50 spaces	2 spaces
Small Car Spaces Provided (outside only):	20% of required spaces	2.50 spaces	2 spaces

Residence Unit Type	Number of Units	1st Floor	2nd Floor	3rd Floor	4th Floor	Basement	Total Unit Area (sq.ft.)	Average Area (sq.ft./unit)	Average Area (sq.ft./unit) including parking
1-Bedroom	10	10	0	0	0	0	10,000	1,000	1,000
2-Bedroom	20	20	0	0	0	0	20,000	1,000	1,000
3-Bedroom	27	27	0	0	0	0	27,000	1,000	1,000
Total	57	57	0	0	0	0	57,000	1,000	1,000

Setbacks Required/Proposed: 14.75' 14.75' 14.75' 0.00' 0.0' 5.5' 5.5' 5.5' 5.5'

Height Permitted/Proposed: 42.00' 42.00'

Note 1: Final areas, allowable parking ratios, and parking count to be finalized.
 Note 2: All areas are approximate and are for planning purposes only.
 Note 3: All 8' gross unit areas are measured to the corner of the unit and to the exterior of the exterior walls.
 Note 4: Setbacks and setbacks subject to City of Surrey approval.



GREENWAY - 159th STREET, SOUTH SURREY, BC

TOWNHOME DEVELOPMENT - LIVE WEST COAST

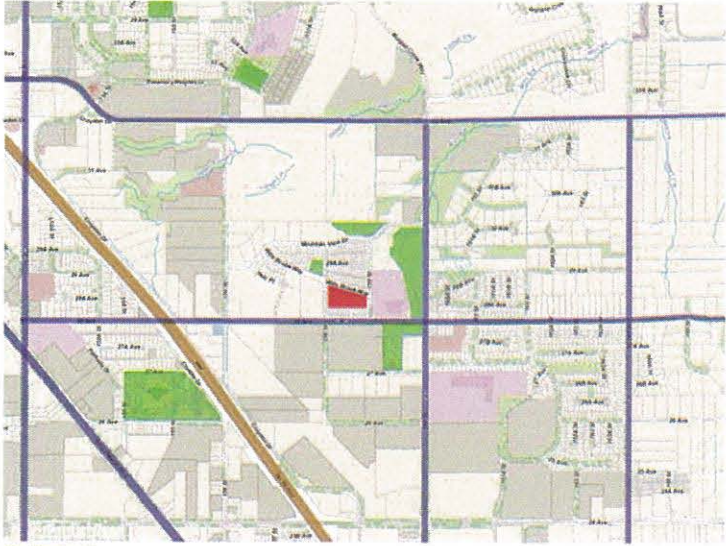
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159th St Surrey BC	000003
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NIS	000006
JAN 18, 2015	000007
MSLR 04	000008
	000009

COVER PAGE

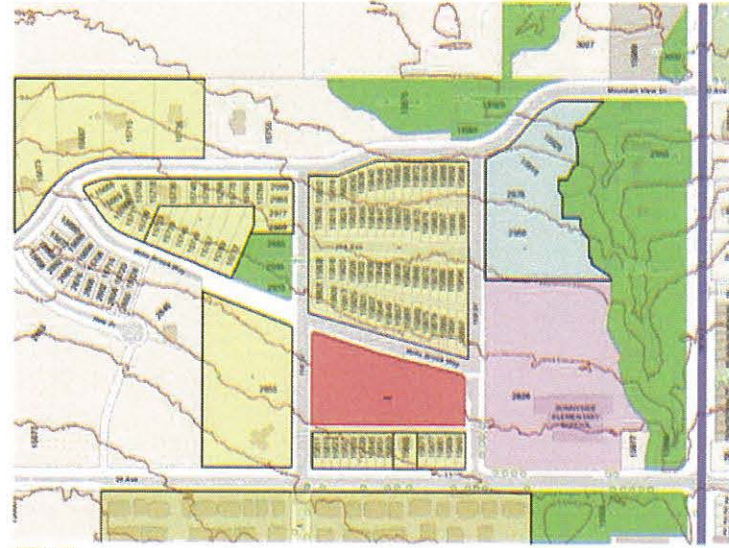
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	000009

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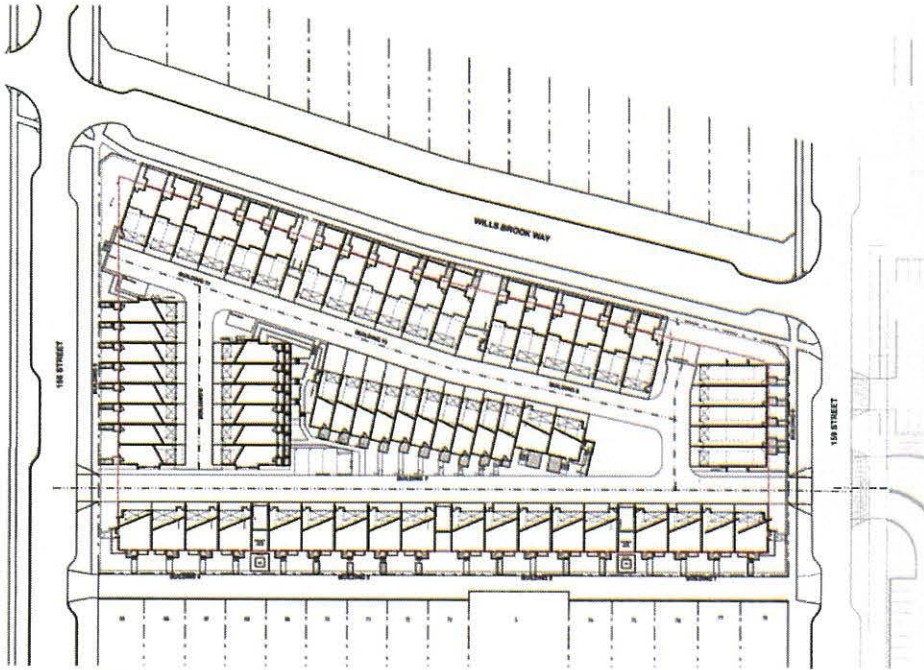
APPENDIX II



CONTEXT MAP
NTS



SITE MAP
NTS



CONTEXT PLAN
SCALE 1:800



AERIAL PHOTOGRAPH
NTS



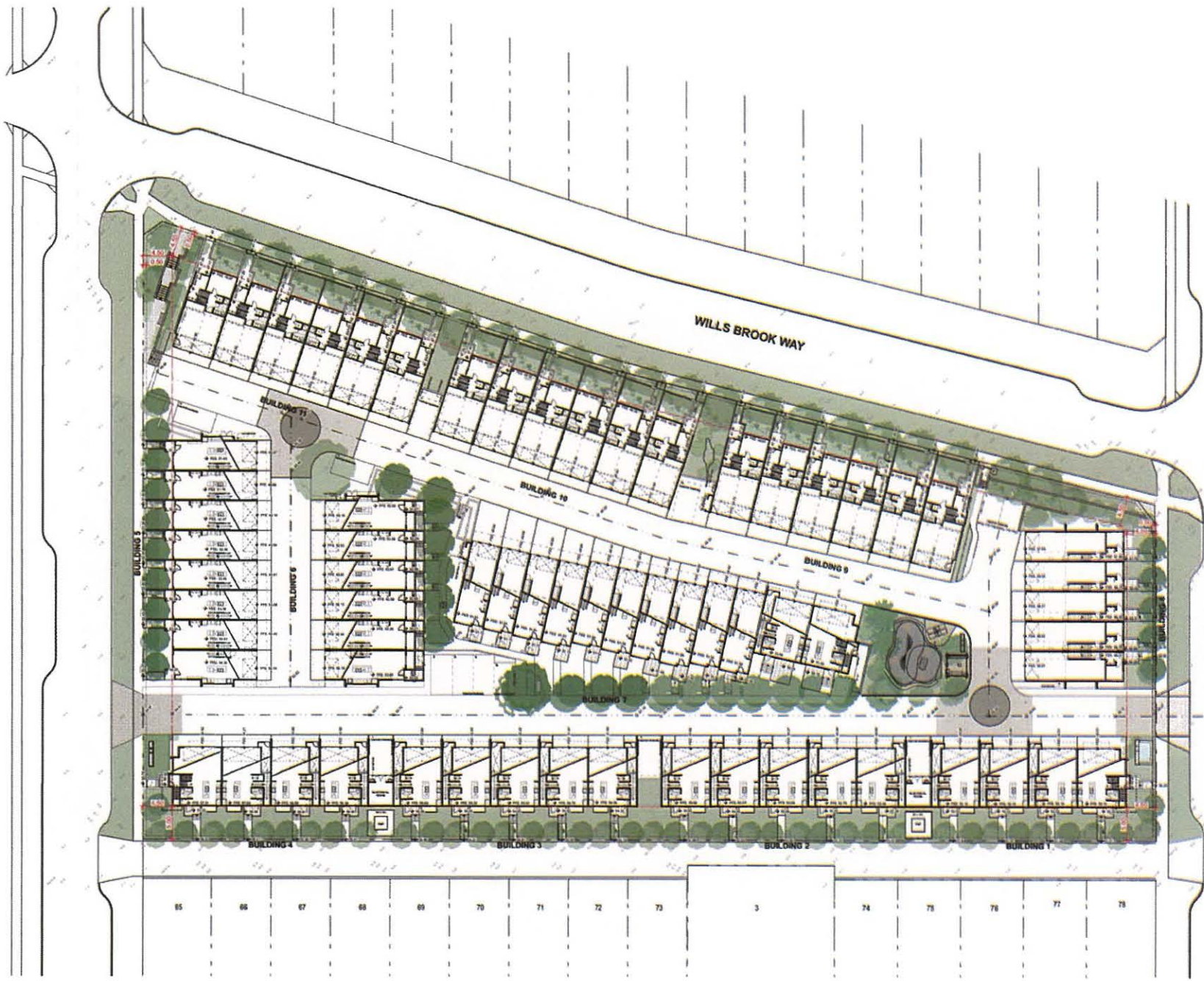
(DIMENSIONS IN METERS)

ADERA (DIMENSIONS IN METERS)

GREENWAY TOWNHOUSE DEVELOPMENT
100m St Surrey BC (DIMENSIONS IN METERS)

SITE CONTEXT/ LOCATION

1/2011 (DIMENSIONS IN METERS)
NTS (DIMENSIONS IN METERS)
JAN 18, 2015 (DIMENSIONS IN METERS)
ISSUE 04 (DIMENSIONS IN METERS)



ia
 INTERIA ARCHITECTURE INC.
 414 WEST PENDER STREET
 VANCOUVER, BC V6B 1T6
 TEL: 604-681-1001 FAX: 604-681-1002
 INFO@INTERIA-ARCH.COM
 WWW.INTERIA-ARCH.COM
 1-877-888-7828



ADERA
 LIVE WEST COAST

DATE: 2016.01.15

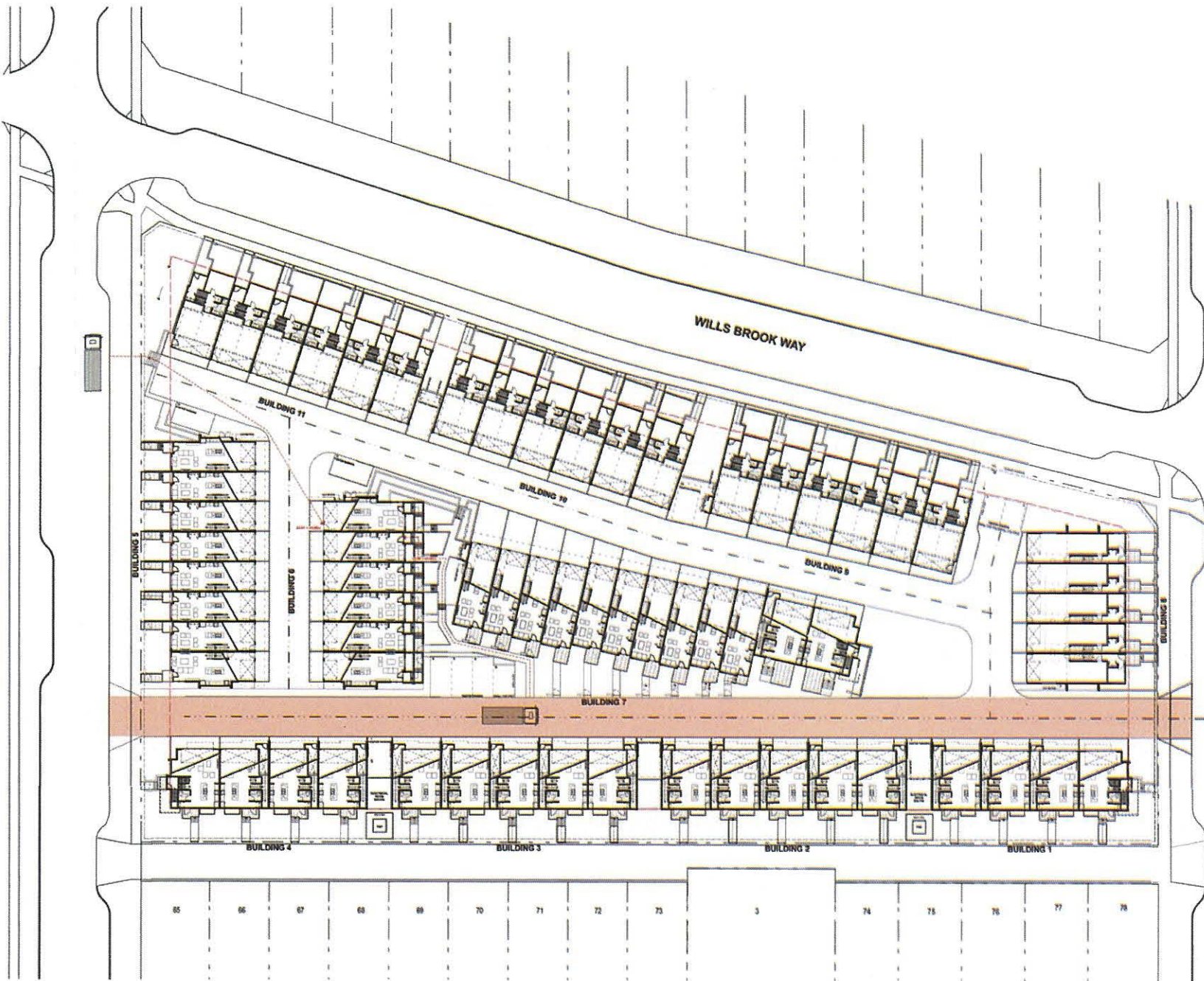
ADERA

GREENWAY
 TOWNHOUSE
 DEVELOPMENT
 150th St Survey BC

SITE PLAN

1/2016 (1/2016)
 1/2016 (1/2016)
 JAN 15, 2016 (1/2016)
 ISSUE 04 (1/2016)

A-1.000



INTEGRARCHITECTURES INC.
 416 WEST PENDER STREET
 VANCOUVER, BC V6B 1T6
 TEL: 604 420 7000 FAX: 604 420 7001
 INFO@INTEGRARCHITECTURES.COM
 WWW.INTEGRARCHITECTURES.COM
 1 800 222 2222



DATE: 2015.04.13

ADERA
 DESIGN

GREENWAY TOWNHOUSE DEVELOPMENT
 159th St Surrey BC

FIRE ACCESS PLAN

15061	DATE: 2015.04.13
1:250	SCALE: 1:250
15061	PROJECT: 15061
15061	ISSUE: 04

A-1.001



1 NORTH ELEVATION
SCALE 1:200



2 EAST ELEVATION
SCALE 1:200



3 WEST ELEVATION
SCALE 1:200



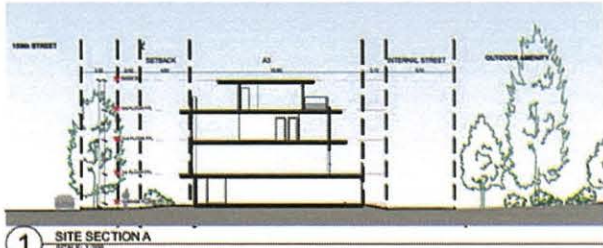
4 SOUTH ELEVATION
SCALE 1:200

ia
 INTEGRAL ARCHITECTURE INC.
 416 WEST PENDER STREET
 VANCOUVER, BC V6B 1T5
 T 604.681.4220 F 604.681.4270
 INFO@INTEGRAL-IA.COM
 WWW.INTEGRAL-IA.COM
 1 200 422 4270

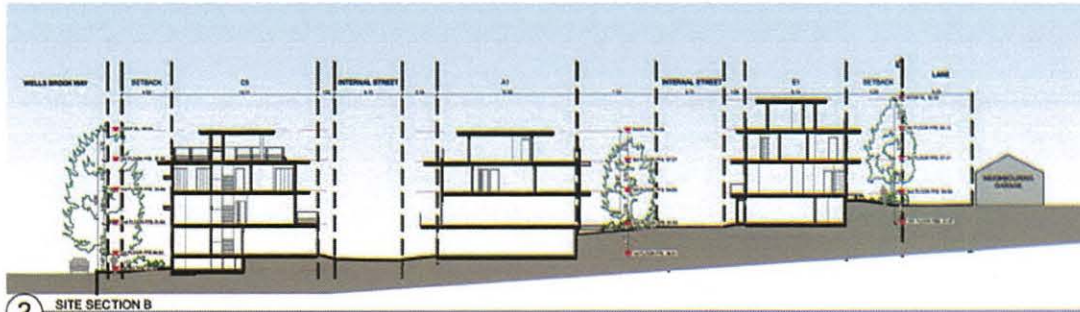


ADERA
 LIVE WEST COAST

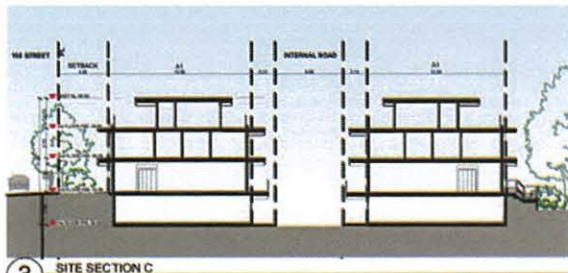
ADDERA
 GREENWAY TOWNHOUSE DEVELOPMENT
 Plot: St. Dunns BC
 SITE ELEVATIONS
 1/31/11
 1/200
 JAN 15, 2016
 ISSUE 04



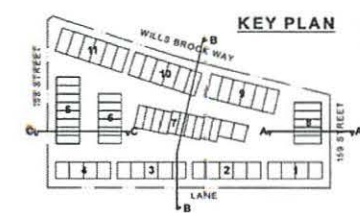
1 SITE SECTION A
SCALE 1/200



2 SITE SECTION B
SCALE 1/200



3 SITE SECTION C
SCALE 1/200



ia

INTERIA ARCHITECTURE INC.
414 WEST PENDER STREET
VANCOUVER, BC V6C 1T5
TEL: 604.681.4222 FAX: 604.681.4270
INFO@INTERIAARCH.COM
WWW.INTERIAARCH.COM
1000 WEST 10TH AVENUE SUITE 100
VANCOUVER, BC V6H 2B6

ADERA
LIVE WITH GRACE

1500-1011-2430

202401

ADERA

1500-1011-2430

GREENWAY TOWNHOUSE DEVELOPMENT
150th St Surrey BC

1500-1011-2430

SITE SECTIONS

13361	1500-1011-2430
1200	1500-1011-2430
JAN 16, 2016	1500-1011-2430
ISSUE 04	1500-1011-2430

A-1.200



- 15 | HARDE TRIM BOARDS UNIVERSAL BLACK 2118-10
- 1 | HARDE PANEL SIDING ARCTIC WHITE
- 5 | CEDAR SIDING STAINED
- 2 | HARDE PLANK LAP SIDING ARCTIC WHITE
- 14 | ALUMINUM RAILING UNIVERSAL BLACK 2118-10
- 9 | GARAGE DOOR STAINED TIMBER
- 18 | CULTURED STONE ALPINE LEDGESTONE PHEASANT

- 13 | CEDAR SOFFITS STAINED
- 17 | FLASHING UNIVERSAL BLACK 2118-10
- 12 | VINYL WINDOWS UNIVERSAL BLACK 2118-10
- 7 | ALUMINUM COMPOSITE PANEL GRAPHITE
- 8 | ENTRY DOOR STAINED TIMBER
- 8 | HARDEPLANK LAP SIDING TIMBER BARK

MATERIAL AND COLOUR LEGEND

Code	Product Description	Product Details (to match)	Manufacturer	External Location
1	Hardeplank Siding - Select Cedarnail - Arctic White	Arctic White - Arctic White	James Hardie	Exterior Walls
2	Hardeplank Lap Siding - Select Cedarnail - Arctic White	Arctic White - Arctic White	James Hardie	Exterior Walls
3	Hardeplank Siding - Select Cedarnail - Stained	Arctic White - Arctic White	James Hardie	Exterior Walls
4	Hardeplank Lap Siding - Select Cedarnail - Stained	Arctic White - Arctic White	James Hardie	Exterior Walls
5	Timber Siding - Lap Siding - Stained	Timber Bark - Cedar	Timber	Exterior Walls
6	Aluminum Railing - Universal Black	Universal Black - Universal Black	Aluminum	Windows and Doors
7	Aluminum Composite Panel - Graphite	Graphite - Graphite	Aluminum	Windows and Doors
8	Timber Entry Door - Stained	Timber Bark - Cedar	Timber	Entrances
9	Timber Garage Door - Stained	Timber Bark - Cedar	Timber	Garage Doors
10	Timber Garage Door - Stained	Timber Bark - Cedar	Timber	Garage Doors
11	Vinyl Windows - Universal Black	Universal Black - Universal Black	Timber	Windows and Doors
12	Vinyl Windows - Universal Black	Universal Black - Universal Black	Timber	Windows and Doors
13	Timber Soffits - Lap Siding - Stained	Timber Bark - Cedar	Timber	Roof overhangs & Soffits
14	Aluminum Railing - Universal Black	Universal Black - Universal Black	Aluminum	Entrances, Balconies & Staircases
15	Harde Trim Boards - Universal Black	Universal Black - Universal Black	James Hardie	Balconies & Roof Features
16	Aluminum Railing - Universal Black	Universal Black - Universal Black	Aluminum	Entrances, Balconies & Staircases
17	Aluminum Railing - Universal Black	Universal Black - Universal Black	Aluminum	Entrances, Balconies & Staircases
18	Cultured Stone - Alpine Ledgestone Pheasant	Pheasant	Shaw Brick	Entrances, Balconies & Staircases



2 | JAMES HARDIE Hardeplank Lap Siding, Select Cedarnail Texture colour: Arctic White



4 | JAMES HARDIE Hardeplank Lap Siding, Select Cedarnail Texture colour: Timber Bark



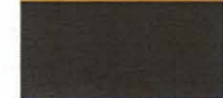
5 | CEDAR SIDING 1x6 T&G select bevelled edge cedar with water based stain - colour to match Sikkens BRD natural oak



15 | JAMES HARDIE Harde Trim Boards, colour: Benjamin Moore Universal Black 2118-10



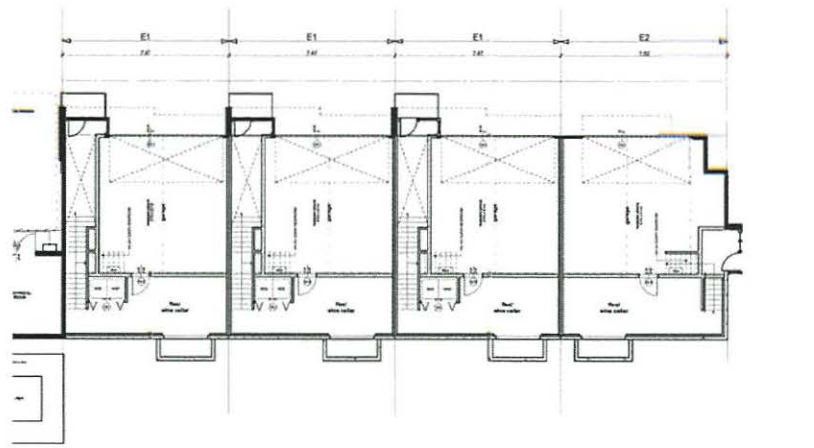
8 | JAMES HARDIE Hardeplank 2.0 colour to match: Natural Brushed



7 | JAMES HARDIE Hardeplank 2.0 colour to match: Natural Graphite

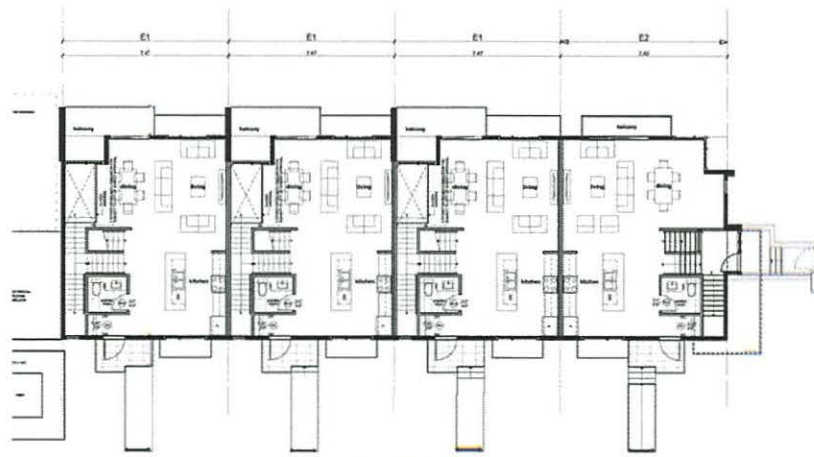


18 | SHAW BRICK Cultured Stone Pro-Finish Alpine Ledgestone colour: Pheasant



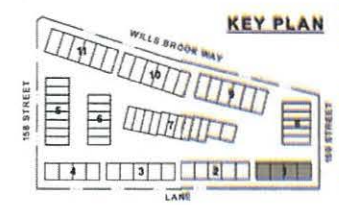
BUILDING 1

1 1st Floor
SCALE: 1/100



BUILDING 1

2 2nd Floor
SCALE: 1/100



ia
 INTERIOR ARCHITECTURE INC.
 118 WEST PENDER STREET
 VANCOUVER, BC V6B 1R5
 TEL: 604.681.4400 FAX: 604.681.4405
 INFO@INTERIORARCHITECTURE.COM
 WWW.INTERIORARCHITECTURE.COM
 1-800-763-2222



ADERA
 LIVE WEST COAST

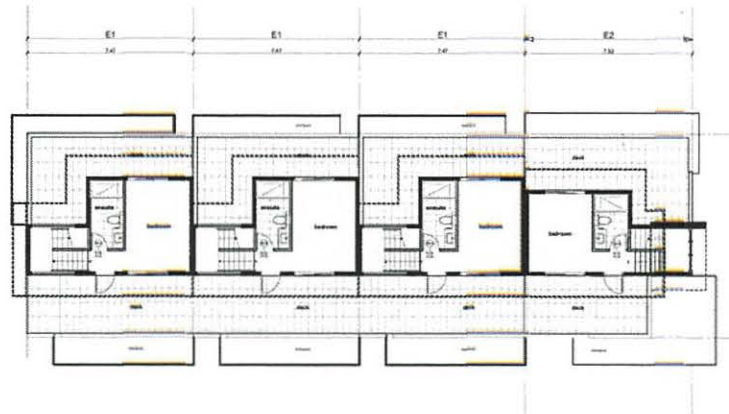
DESIGNED BY:
 DRAWN BY:
 CHECKED BY:
 APPROVED BY:
ADERA
 108 STREET
GREENWAY TOWNHOUSE DEVELOPMENT
 108 West Pender St.
 VANCOUVER, BC V6B 1R5

BUILDING 1 FLOOR PLANS
 1/24/11
 1/1/10
 JAN 18, 2016
 ISSUE 04



BUILDING 1

1 3rd Floor
SCALE: 1/8" = 1'-0"

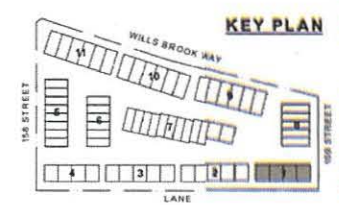


BUILDING 1

1 4th Floor
SCALE: 1/8" = 1'-0"



INTEGRA ARCHITECTURE INC.
 414 WEST PENDER STREET
 VANCOUVER, BC V6C 1R6
 TEL: 604.681.1111
 FAX: 604.681.1112
 WWW.INTEGRAPRINTER.COM
 INFO@INTEGRAPRINTER.COM



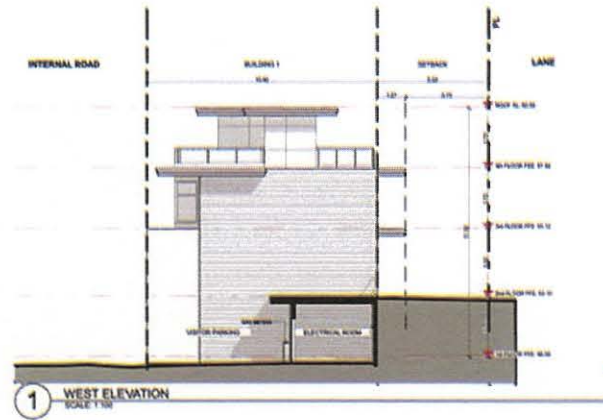
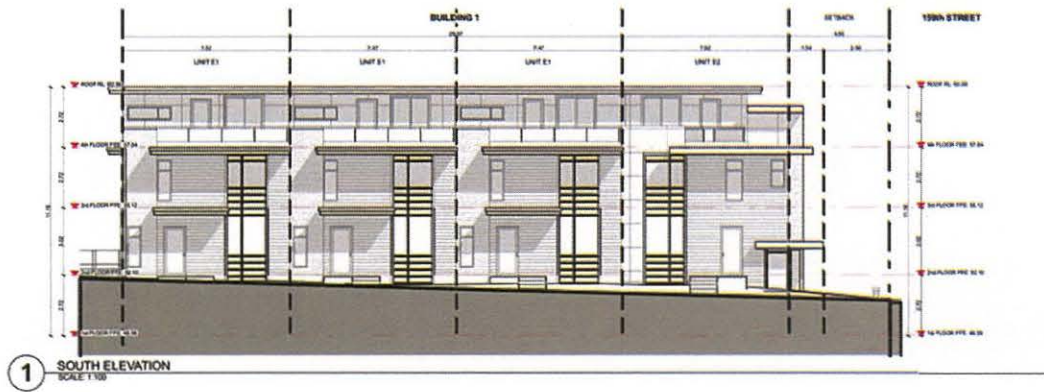
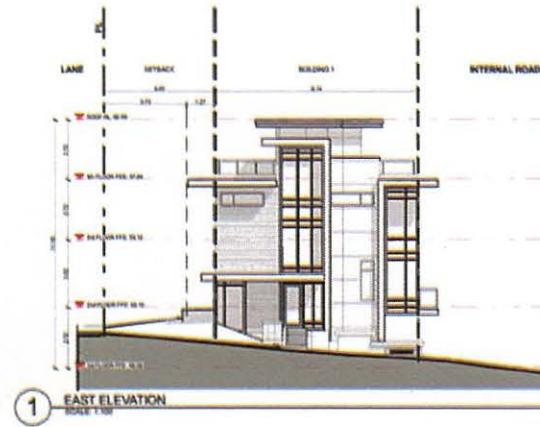
KEY PLAN

ADERA

GREENWAY TOWNHOUSE DEVELOPMENT
 100W-10 Series (B)

BUILDING 1 FLOOR PLANS

15501	(15501)
15502	(15502)
JAN 18 2014	(15503)
15504	(15504)
15505	(15505)



INTEGRA ARCHITECTURE INC.
 418 WEST PENDER STREET
 VANCOUVER, BC V6B 1T5
 T 604 681 4222 F 604 686 4215
 INFO@INTEGRARCH.COM
 WWW.INTEGRARCH.COM
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DATE: 2015.01.16

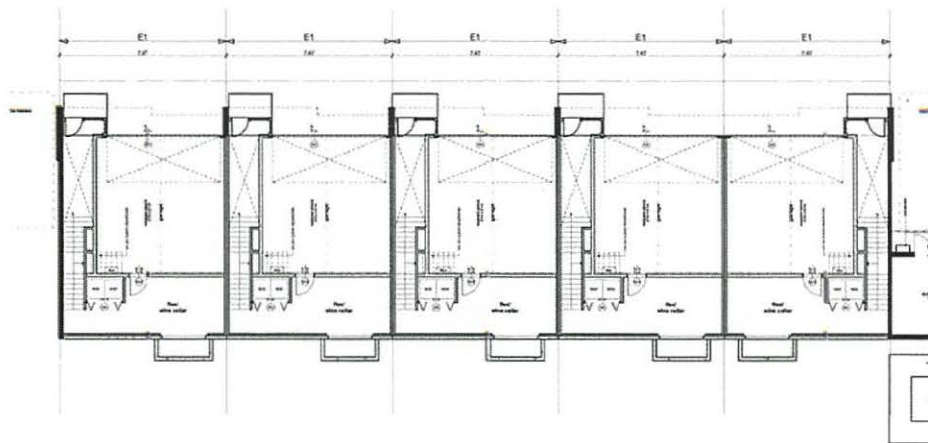
PROJECT: 15042

SCALE: 1:100

ADERA
GREENWAY TOWNHOUSE DEVELOPMENT
 1504 W. SUNEY BC

BUILDING 1 ELEVATIONS

150421 15042121
 1:100 15042121
 JAN 15, 2015 150421
 ISSUE 04 150421



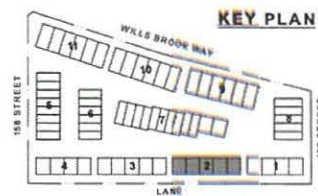
BUILDING 2

1 1st Floor
SCALE: 1/100



BUILDING 2

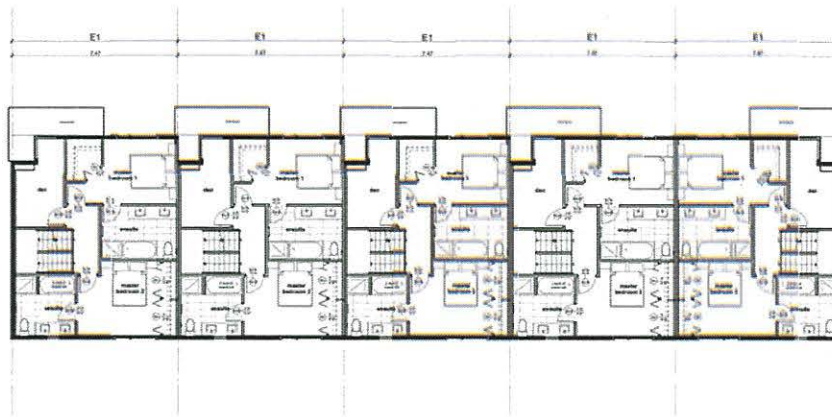
1 2nd Floor
SCALE: 1/100



KEY PLAN

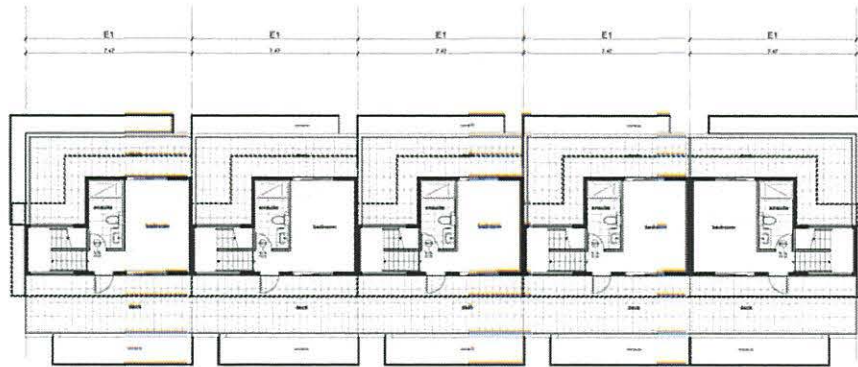
ADERA
GREENWAY TOWNHOUSE DEVELOPMENT
150th St Surrey BC
BUILDING 2 FLOOR PLANS
13361
1:100
JAN 16, 2016
ISSUE 04

INTERIA ARCHITECTURE INC.
416 WEST PENDER STREET
VANCOUVER, BC V6C 1Y2
TEL: 604 681 4200 F: 604 681 4270
INFO@INTERIAARCH.COM
WWW.INTERIAARCH.COM



BUILDING 2

1 3rd Floor
SCALE: 1/8" = 1'-0"

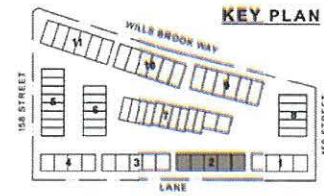


BUILDING 2

1 4th Floor
SCALE: 1/8" = 1'-0"



INTERIORS ARCHITECTURE INC.
418 WEST PENDER STREET
VANCOUVER, BC V6B 1T6
TEL: 604-681-4400 FAX: 604-681-4279
INFO@INTERIORS-ARCH.COM
WWW.INTERIORS-ARCH.COM
1125 COMMERCIAL DRIVE SUITE 100
VANCOUVER, BC V6B 1T6



KEY PLAN

ADERA

GREENWAY TOWNHOUSE DEVELOPMENT
1500 - 15100 BC

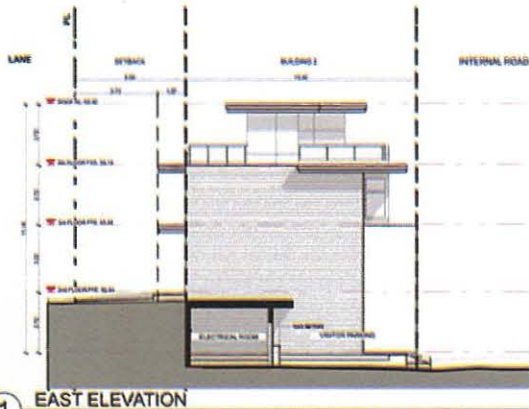
BUILDING 2 FLOOR PLANS

15801	15802
15803	15804
15805	15806
15807	15808
15809	15810

A-2.021



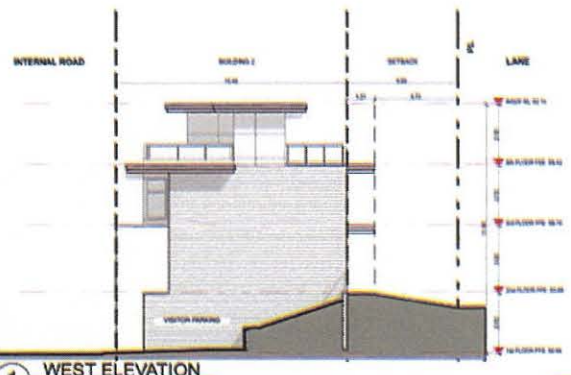
1 NORTH ELEVATION
SCALE: 1/100



1 EAST ELEVATION
SCALE: 1/100



1 SOUTH ELEVATION
SCALE: 1/100



1 WEST ELEVATION
SCALE: 1/100



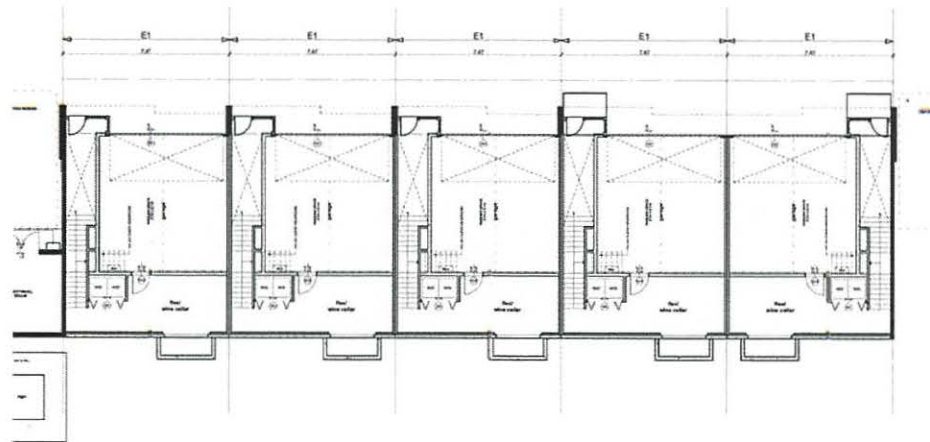
HTSAA ARCHITECTURE INC.
414 WEST PENDER STREET
VANCOUVER, BC V6B 1T6
TEL: 604 439 7848
INFO@HTSAA.COM
WWW.HTSAA.COM
1000 WEST 10TH AVENUE
SUITE 1000 VANCOUVER, BC V6H 1T6



DESIGNED BY
DRAWN BY
CHECKED BY
APPROVED BY
ADERA

GREENWAY TOWNHOUSE DEVELOPMENT
15th St Surrey BC

BUILDING 2 ELEVATIONS
1/2021
1/100
JAN 18, 2018
ISSUE 04



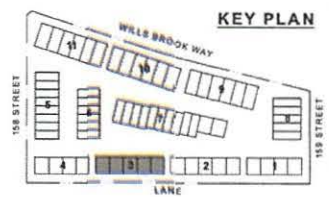
BUILDING 3

1 1st Floor
SCALE: 1/32"



BUILDING 3

1 2nd Floor
SCALE: 1/32"

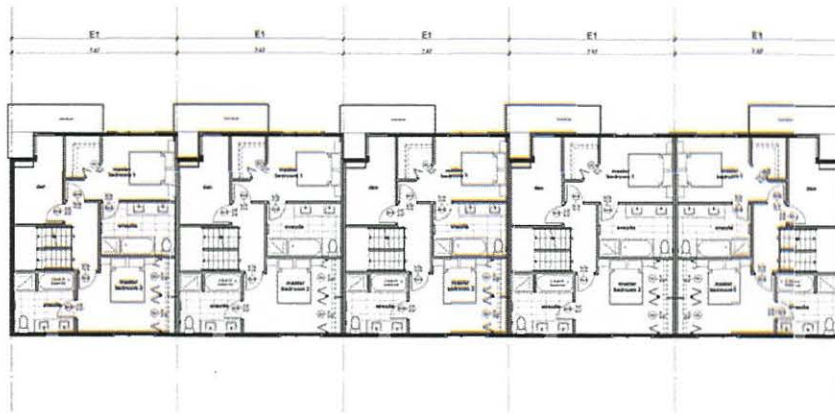


KEY PLAN

ia
 INTERIA ARCHITECTURE INC.
 118 WEST PENDER STREET
 VANCOUVER, BC V6B 1T5
 TEL: 604.681.1111 FAX: 604.681.1112
 INFO@INTERIA-BC.COM
 WWW.INTERIA-BC.COM
 1995 BC REG. ARCHITECTS
 1995 BC REG. ENGINEERS

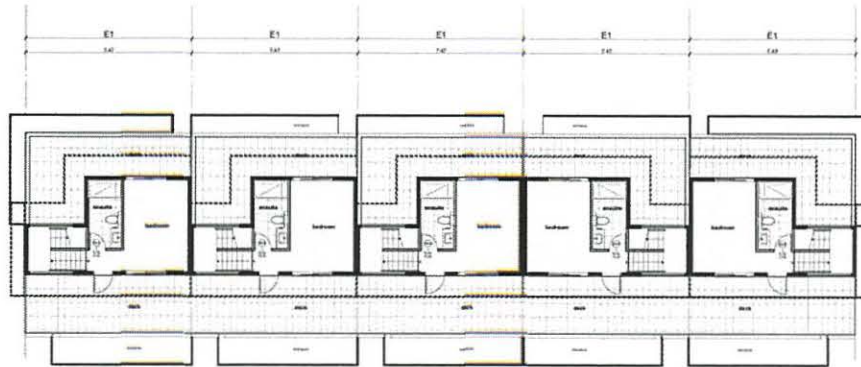


ADERA
 GREENWAY TOWNHOUSE DEVELOPMENT
 1580 St. Dunstons BC
 13M1
 1500
 JAN 18, 2016
 ISSUE 04



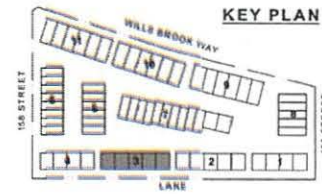
BUILDING 3

1 3rd Floor
SCALE: 1/8" = 1'-0"



BUILDING 3

1 4th Floor
SCALE: 1/8" = 1'-0"



KEY PLAN

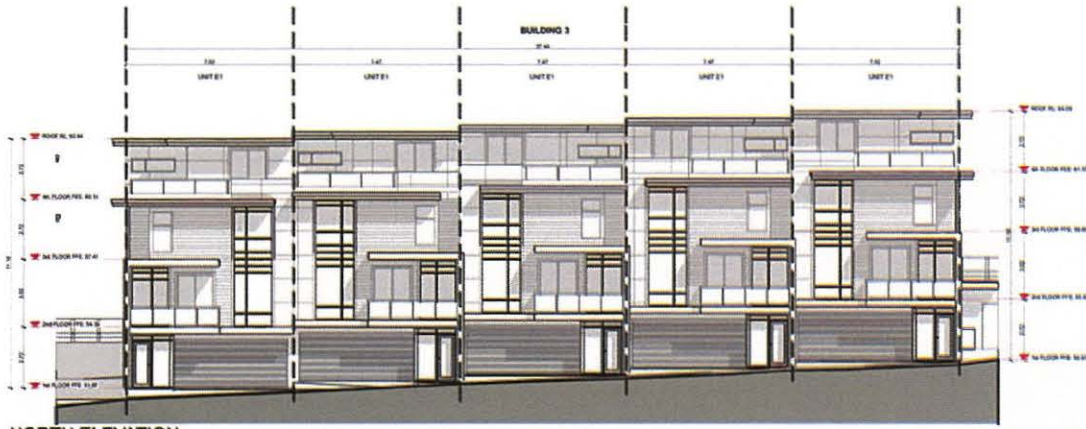


INTEGRATIVE ARCHITECTURE INC.
 418 WEST PENDER STREET
 VANCOUVER, BC V6B 1T6
 604.682.4206 P.604.682.4270
 INFO@IATAGIA-INTX.COM
 WWW.IATAGIA-INTX.COM
 2012 PROFESSIONAL SOCIETY OF ARCHITECTS
 2012 PROFESSIONAL SOCIETY OF ARCHITECTS

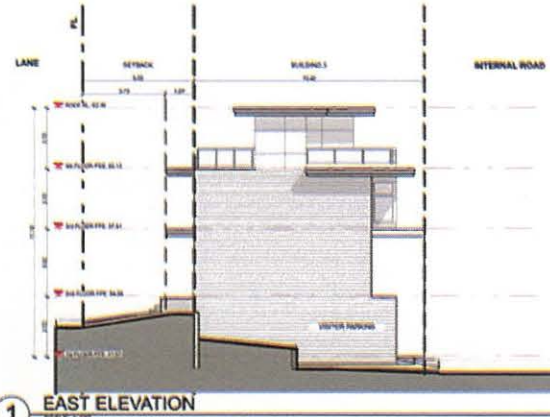


ADERA
 GREENWAY TOWNHOUSE DEVELOPMENT
 1500-1510 Street BC
 155 STREET
 156 STREET

BUILDING 3 FLOOR PLANS
 15501 15502/1
 15502 15503/1
 15503 15504
 15504 15505
 15505 15506/1



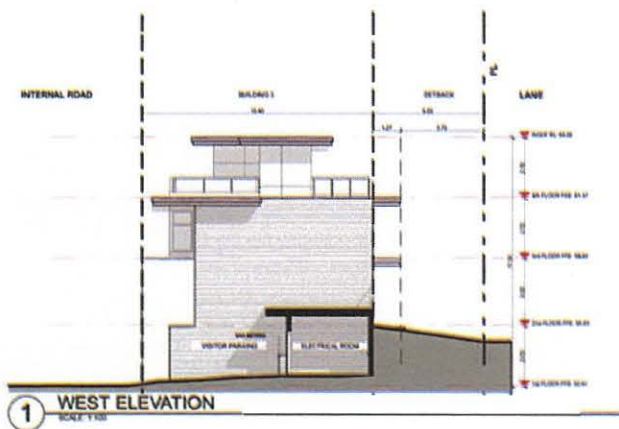
1 NORTH ELEVATION
SCALE: 1/50



1 EAST ELEVATION
SCALE: 1/50



1 SOUTH ELEVATION
SCALE: 1/50



1 WEST ELEVATION
SCALE: 1/50



IA ARCHITECTURE INC.
 516 WEST PENDER STREET
 VANCOUVER, BC V6C 1T6
 TEL: 604 681 7333 FAX: 604 681 7334
 INFO@IAARCHITECTURE.COM
 WWW.IAARCHITECTURE.COM
 1 800 661 1111 (TOLL FREE)
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ADERA
 LIVE WEST COAST

(DATE: 18/01/2018)

ADERA

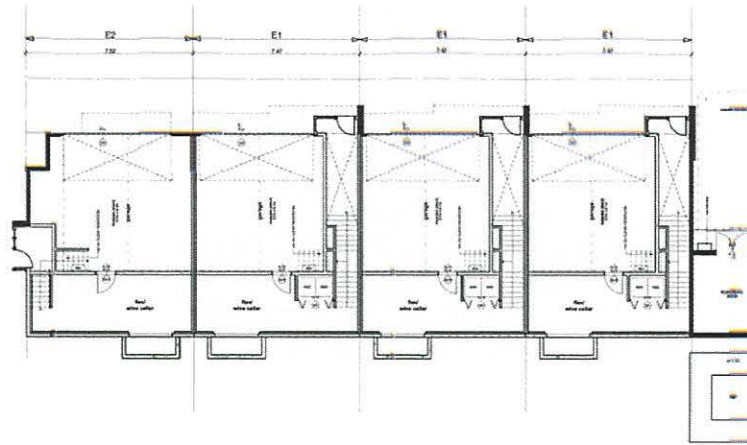
(DATE: 18/01/2018)

GREENWAY TOWNHOUSE DEVELOPMENT
 17th St Surrey BC

(DATE: 18/01/2018)

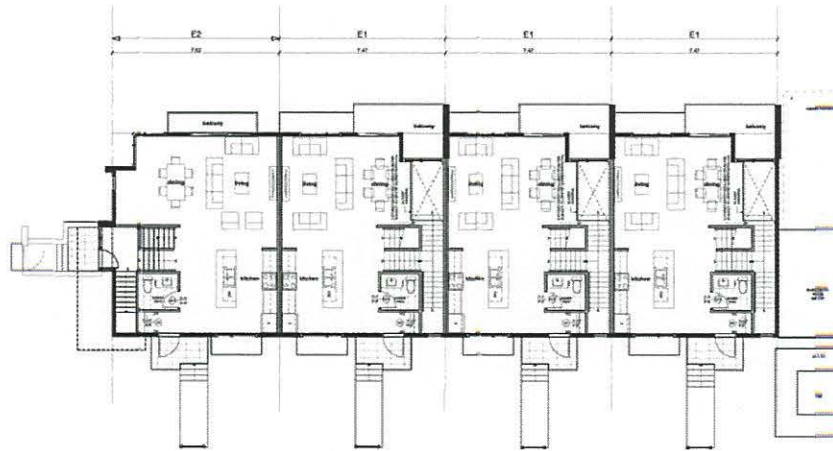
BUILDING 3 ELEVATIONS

1/2018 (DATE: 18/01/2018)
 1/100 (DATE: 18/01/2018)
 JAN 18, 2018 (DATE: 18/01/2018)
 ISSUE 04 (DATE: 18/01/2018)



BUILDING 4

1 1st Floor
SCALE: 1/80

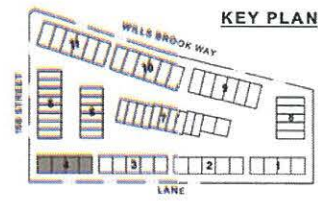


BUILDING 4

2 2nd Floor
SCALE: 1/80



INTERIA ARCHITECTURE INC.
 416 WEST PENDER STREET
 VANCOUVER, BC V6B 1T5
 T 604 683 4200 F 604 683 4270
 INFO@IAARCH.COM
 WWW.IAARCH.COM



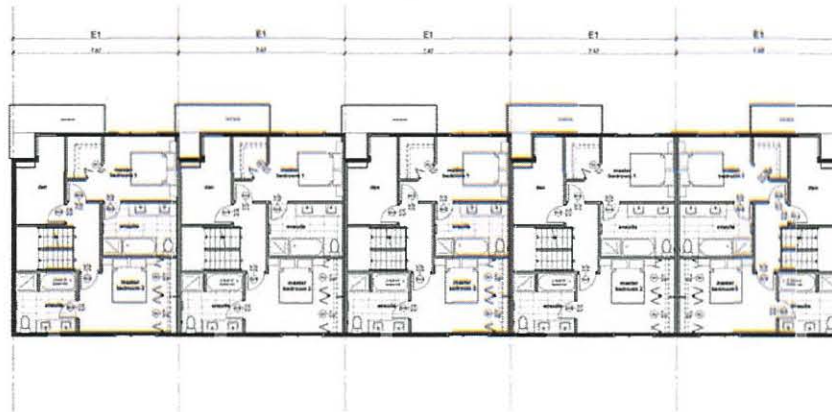
KEY PLAN

DATE: 2015.01.15

ADERA

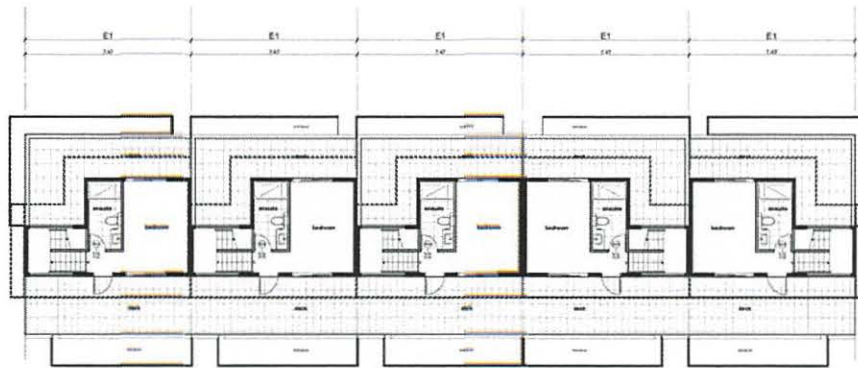
GREENWAY TOWNHOUSE DEVELOPMENT
 158th St Surrey BC

BUILDING 4 FLOOR PLANS
 15261
 1:100
 JAN 15, 2015
 ISSUE 04



BUILDING 3

1 3rd Floor
SCALE: 1/8" = 1'-0"

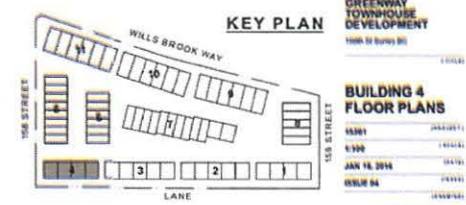


BUILDING 3

2 4th Floor
SCALE: 1/8" = 1'-0"



INTEGRA ARCHITECTURE INC.
 616 WEST PENDER STREET
 VANCOUVER, BC V6B 1T6
 T 604.682.4222 F 604.682.4270
 INFO@INTEGRASITEA.COM
 WWW.INTEGRASITEA.COM
 100% GREEN BUILDING LEADER

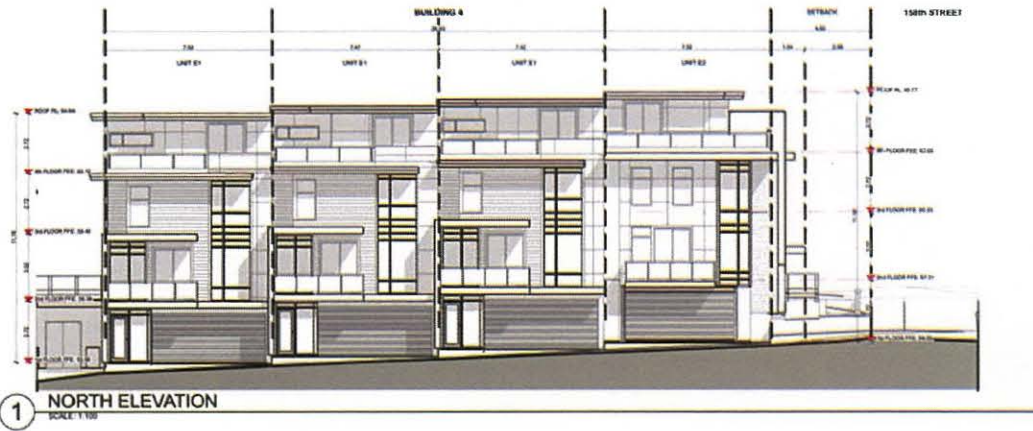


KEY PLAN

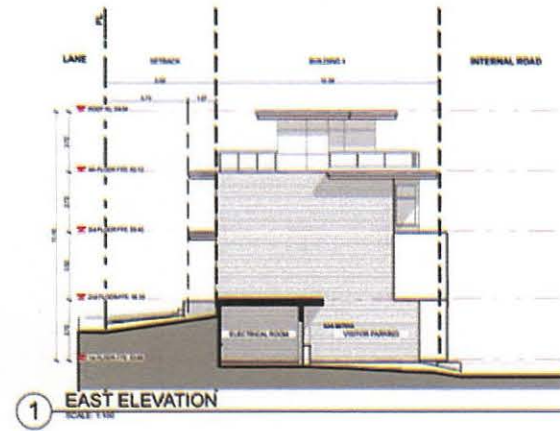
ADERA

GREENWAY TOWNHOUSE DEVELOPMENT
 100% GREEN BUILDING LEADER

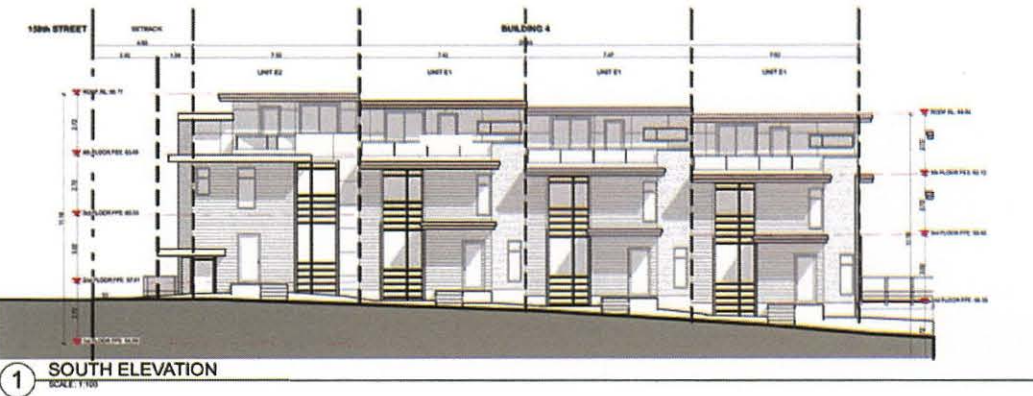
BUILDING 4 FLOOR PLANS
 15301 1/4" = 1'-0"
 15300 1/4" = 1'-0"
 JAN 18, 2014 1/4" = 1'-0"
 15300 1/4" = 1'-0"



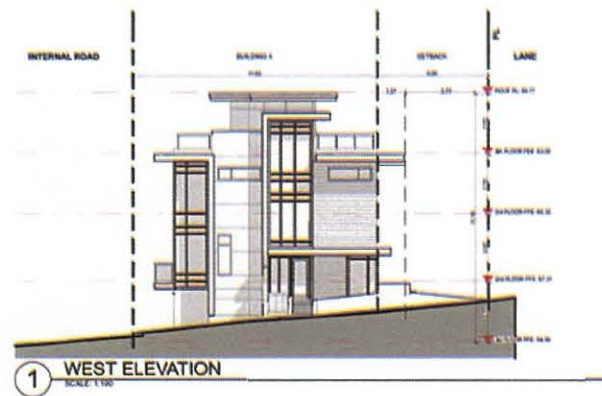
1 NORTH ELEVATION
SCALE: 1/100



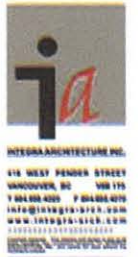
1 EAST ELEVATION
SCALE: 1/100



1 SOUTH ELEVATION
SCALE: 1/100



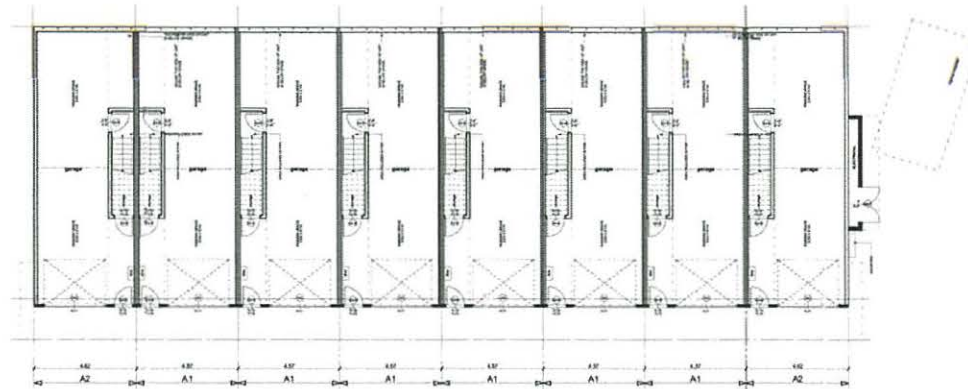
1 WEST ELEVATION
SCALE: 1/100



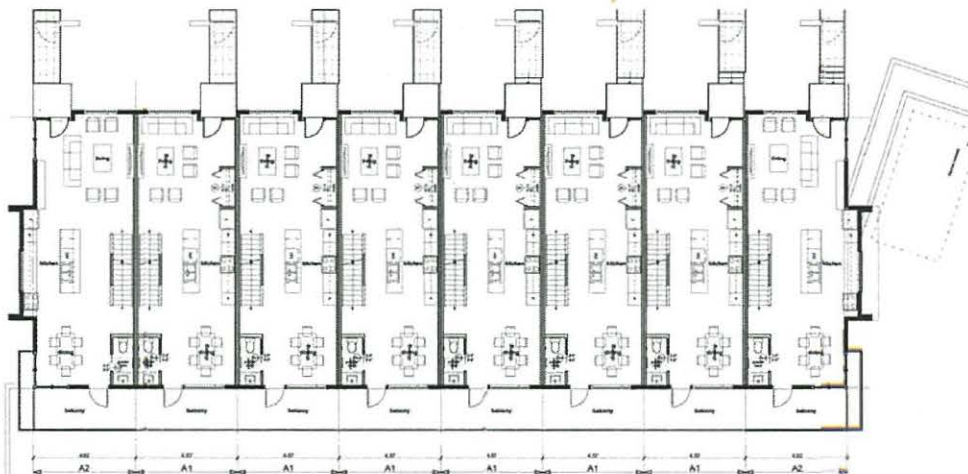
DATE: 2015.01.15
DRAWN: [REDACTED]
CHECKED: [REDACTED]
PROJECT: [REDACTED]
CLIENT: [REDACTED]
LOCATION: [REDACTED]
SCALE: [REDACTED]
SHEET: [REDACTED]

BUILDING 4 ELEVATIONS

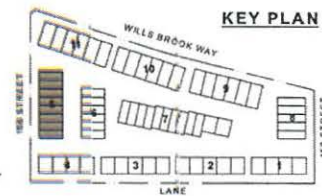
PROJECT: [REDACTED]
SCALE: 1/100
DATE: JAN 15, 2015
ISSUE 04



1 1st Floor
SCALE 1/32"



1 2nd Floor
SCALE 1/32"



KEY PLAN



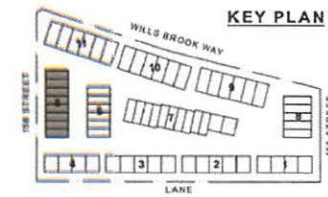
ADERA
GREENWAY TOWNHOUSE DEVELOPMENT
159th St Surrey BC
BUILDING 5 FLOOR PLANS
1591
1590
JAN 18, 2010
ISSUE 04



1 3rd Floor
SCALE: 1/8" = 1'-0"



1 4th Floor
SCALE: 1/8" = 1'-0"



KEY PLAN



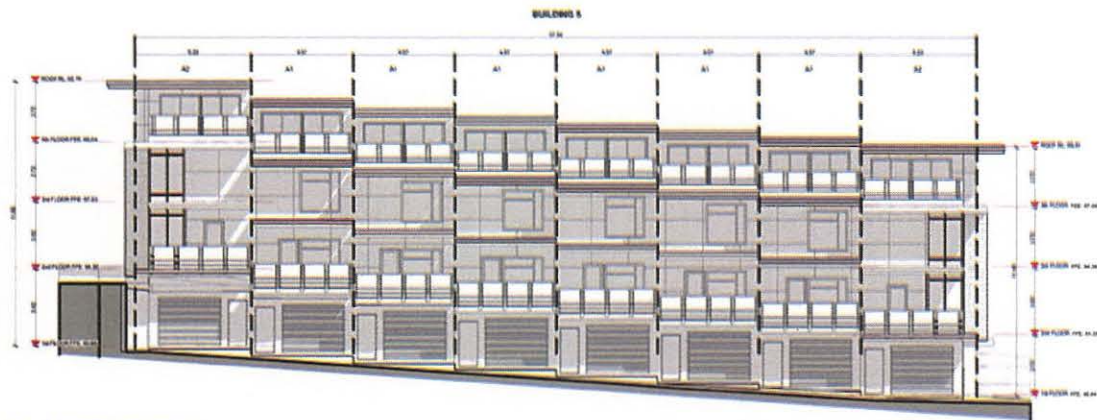
IDEA ARCHITECTURE INC.
 414 WEST PENDER STREET
 VANCOUVER, BC V6C 1T6
 TEL: 604.681.4200 FAX: 604.681.4205
 INFO@IDEAARCHITECT.COM
 WWW.IDEAARCHITECT.COM
 100% GREEN BUILDING DESIGN



ADERA
ADERA
GREENWAY TOWNHOUSE DEVELOPMENT
 1000-10 BURNS BLVD
BUILDING 5 FLOOR PLANS
 15861 15862
 15863 15864
 15865 15866
 15867 15868
 15869 15870



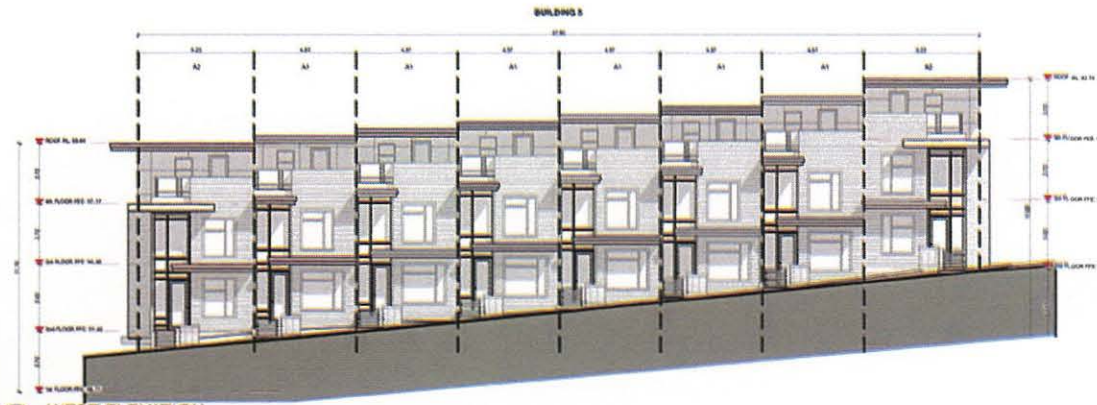
1 NORTH ELEVATION
SCALE: 1/100



1 EAST ELEVATION
SCALE: 1/100



1 SOUTH ELEVATION
SCALE: 1/100



1 WEST ELEVATION
SCALE: 1/100



INTEGRA ARCHITECTURE INC.
414 WEST PENDER STREET
VANCOUVER, BC V6B 1T5
TEL: 604.681.4070
F: 604.681.4075
INFO@INTEGRARCH.COM
WWW.INTEGRARCH.COM



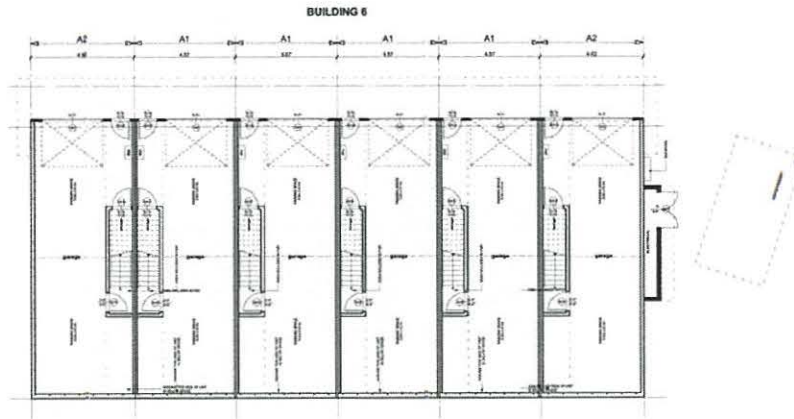
ADERA
LIVE MEET COAST

ADERA

GREENWAY
TOWNHOUSE
DEVELOPMENT
108th St Surrey BC

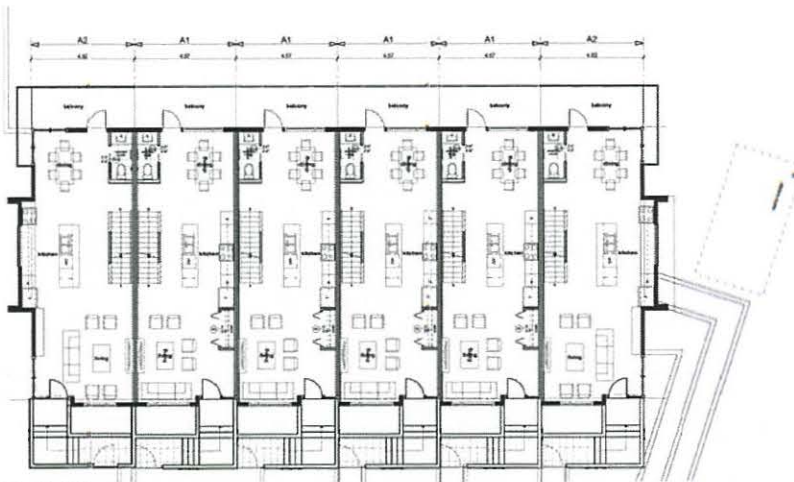
**BUILDING 5
ELEVATIONS**

1/2021
1/100
JAN 18, 2018
ISSUE 04

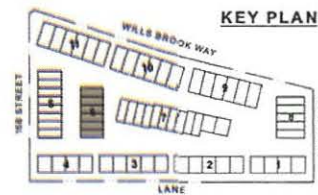


1 1st Floor
SCALE 1/16

2



1 2nd Floor
SCALE 1/16



KEY PLAN

INTEGRA ARCHITECTURE INC.
 418 WEST PENDES STREET
 VANCOUVER, BC V6B 1Y5
 T 604 682 4200 F 604 682 4279
 INFO@INTEGRASIA.COM
 WWW.INTEGRASIA.COM



ADERA
 LIVE WEST COAST

000001 0001

ADERA

000001 0001

GREENWAY TOWNHOUSE DEVELOPMENT
 150th St Surrey BC

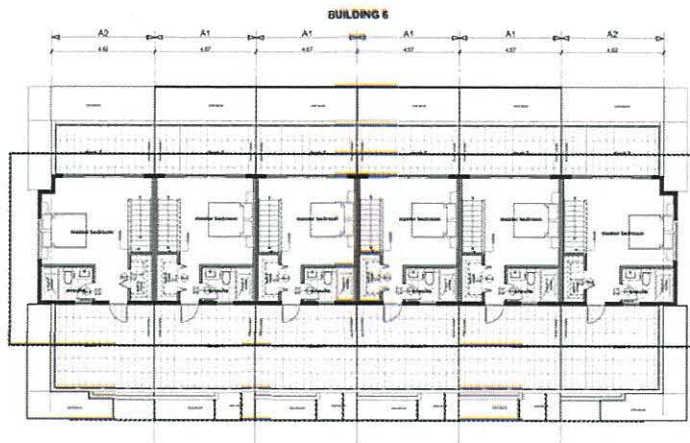
000001 0001

BUILDING 6 FLOOR PLANS

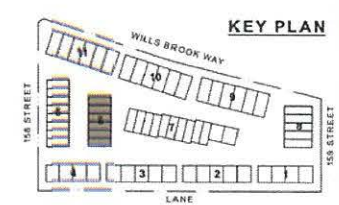
13361	000001
1:000	000001
JAN 18, 2016	000001
ISSUE 04	000001



1 3rd Floor
SCALE 1/16"



1 4th Floor
SCALE 1/16"



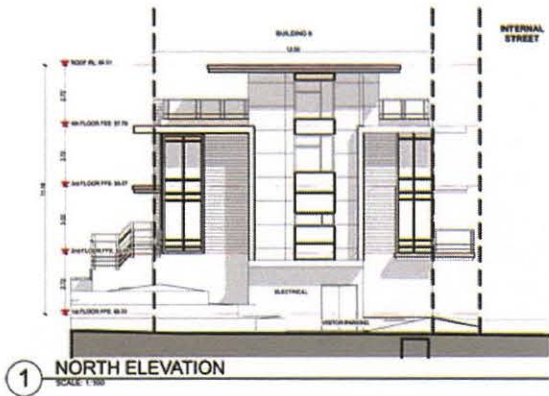
KEY PLAN



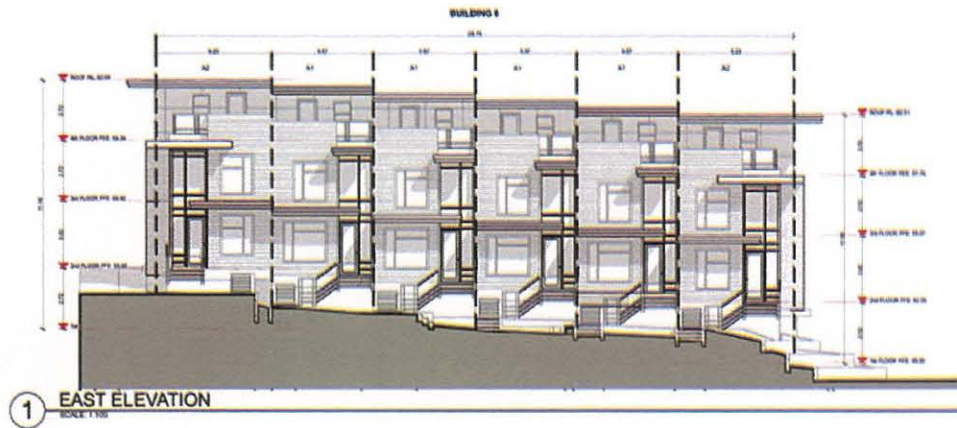
ADERA

GREENWAY TOWNHOUSE DEVELOPMENT
 1506 St. James St.

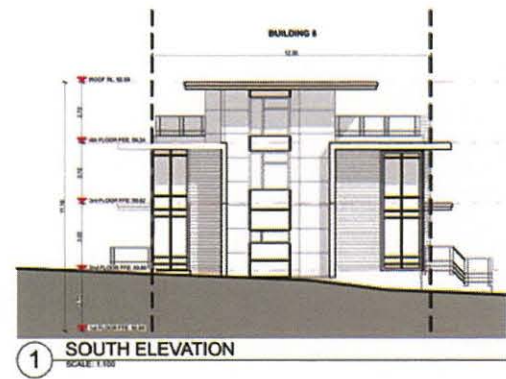
BUILDING 6 FLOOR PLANS
 15301 (A4) (2014)
 1/100 (A4) (2014)
 JAN 18, 2014 (A4) (2014)
 15301 04 (A4) (2014)



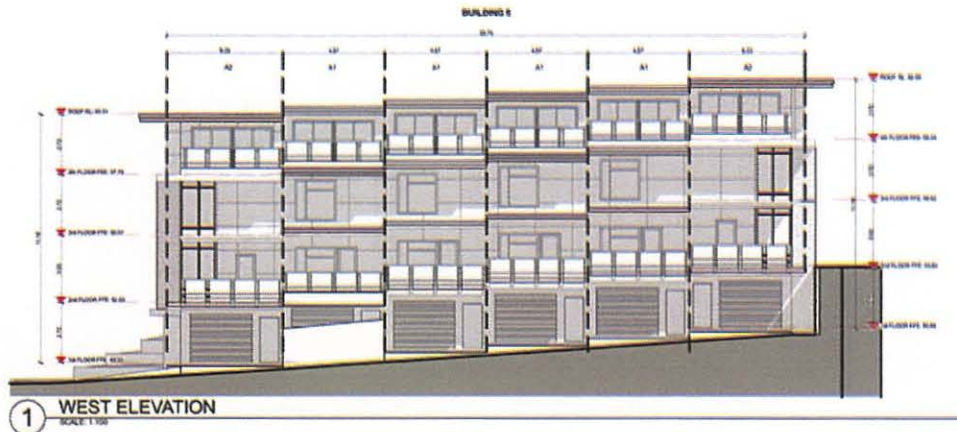
1 NORTH ELEVATION
SCALE 1:100



1 EAST ELEVATION
SCALE 1:100



1 SOUTH ELEVATION
SCALE 1:100



1 WEST ELEVATION
SCALE 1:100



INTERIA ARCHITECTURE INC.
 416 WEST PENDER STREET
 VANCOUVER, BC V6C 1T8
 TEL: 604.681.1111 FAX: 604.681.1112
 INFO@IAARCHITECTURE.COM
 WWW.IAARCHITECTURE.COM
 100% GREEN BUILDING PRACTICE
 LEED ACCREDITED



DATE: 2018.01.18

DESIGNER: ADERA

CLIENT: GREENWAY TOWNHOUSE DEVELOPMENT

PROJECT: 100% GREEN BUILDING PRACTICE

PROJECT: LEED ACCREDITED

PROJECT: 100% GREEN BUILDING PRACTICE

PROJECT: LEED ACCREDITED

PROJECT: 100% GREEN BUILDING PRACTICE

PROJECT: LEED ACCREDITED

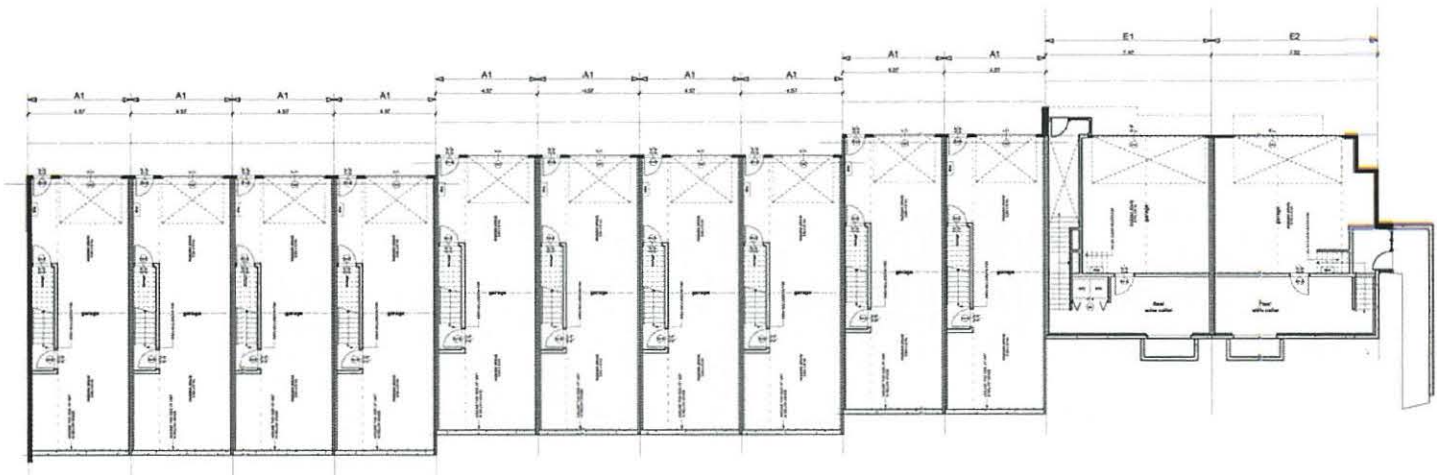
PROJECT: 100% GREEN BUILDING PRACTICE

PROJECT: LEED ACCREDITED

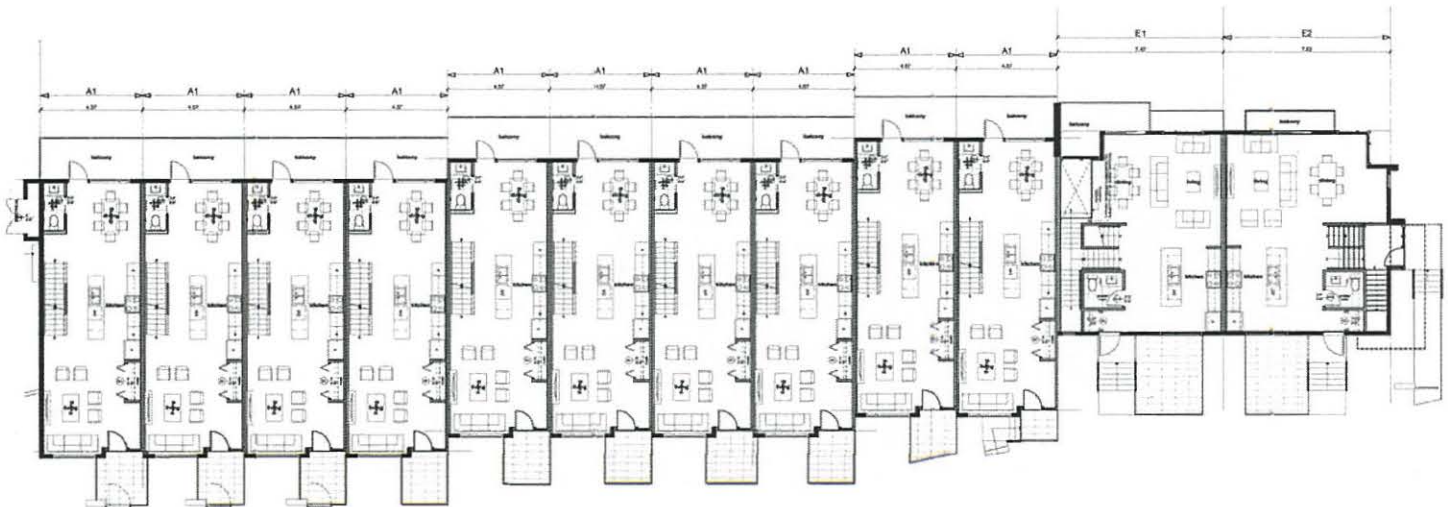
PROJECT: 100% GREEN BUILDING PRACTICE

BUILDING 6 ELEVATIONS

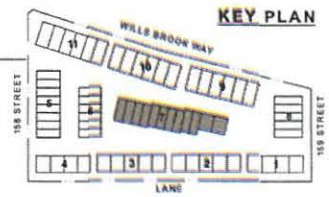
NO. 01	DATE: 2018.01.18
NO. 02	DATE: 2018.01.18
NO. 03	DATE: 2018.01.18
NO. 04	DATE: 2018.01.18



1 1st Floor
SCALE 1/8" = 1'-0"



1 2nd Floor
SCALE 1/8" = 1'-0"



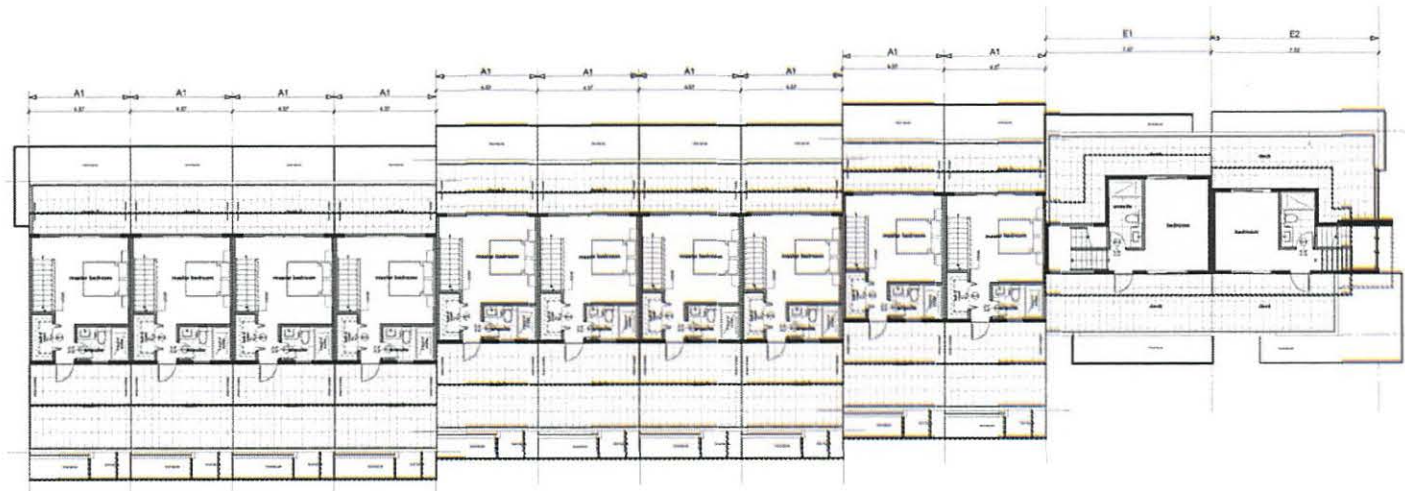
KEY PLAN



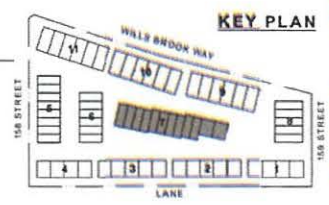
DESIGNED BY	INTERIA
DATE	2010.01
CLIENT	ADERA
PROJECT	GREENWAY TOWNHOUSE DEVELOPMENT
LOCATION	155th St Surrey BC
PROJECT NO.	155-010
DATE	2010.01
ISSUE NO.	ISSUE 04



1 3rd Floor
SCALE: 1/8"=1'-0"



1 4th Floor
SCALE: 1/8"=1'-0"



INTEGRA ARCHITECTURE INC.
 415 WEST PENDER STREET
 VANCOUVER, BC V6B 1T6
 T 604.683.4200 F 604.683.4270
 INFO@INTEGRARCH.COM
 WWW.INTEGRARCH.COM
 100% GREEN BUILDING PRACTICE



ADERA

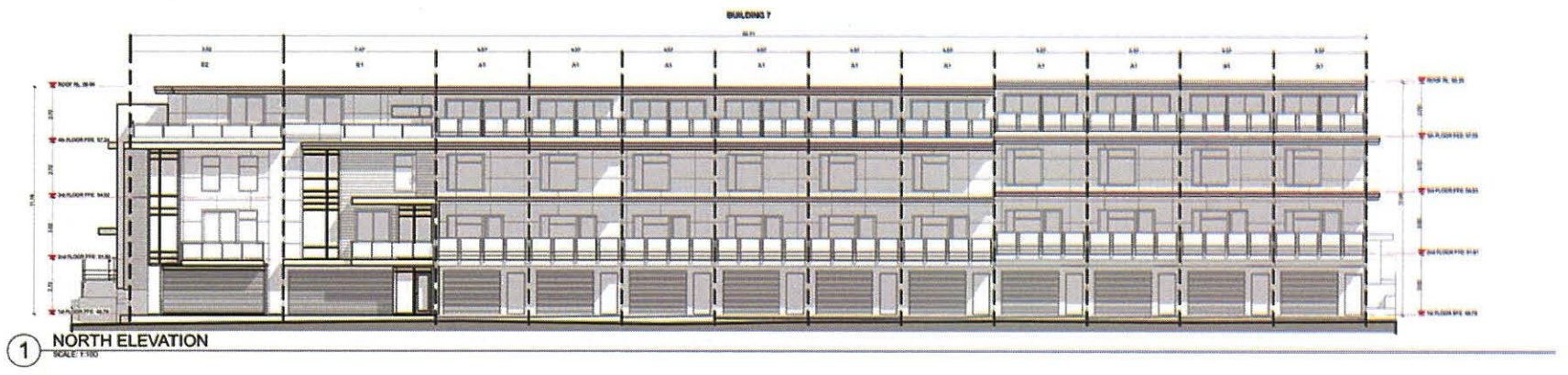
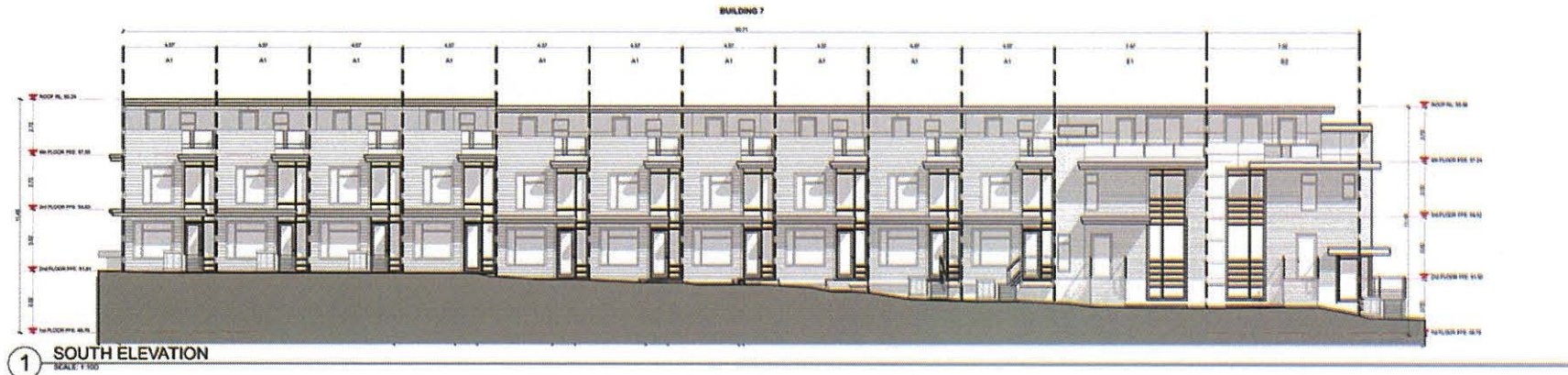
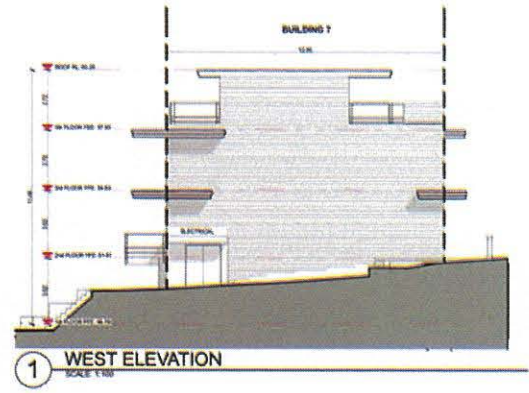
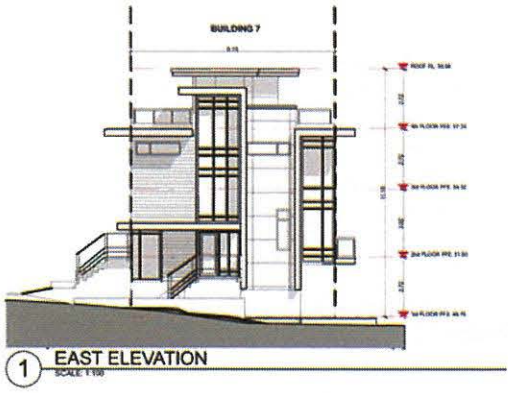
GREENWAY TOWNHOUSE DEVELOPMENT
 1500th St (Corner 8th)

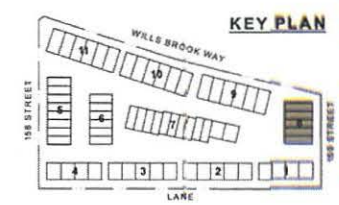
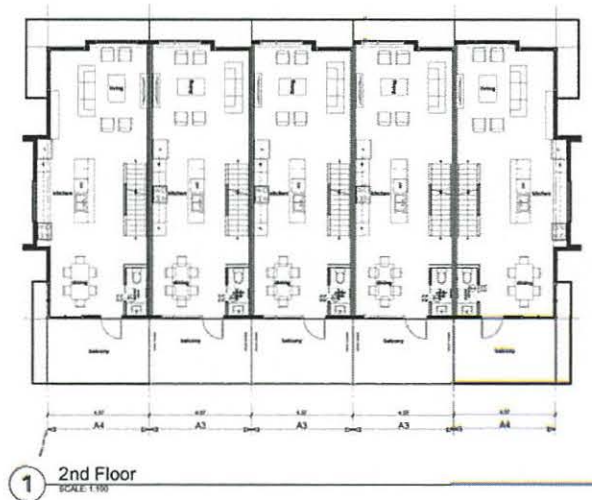
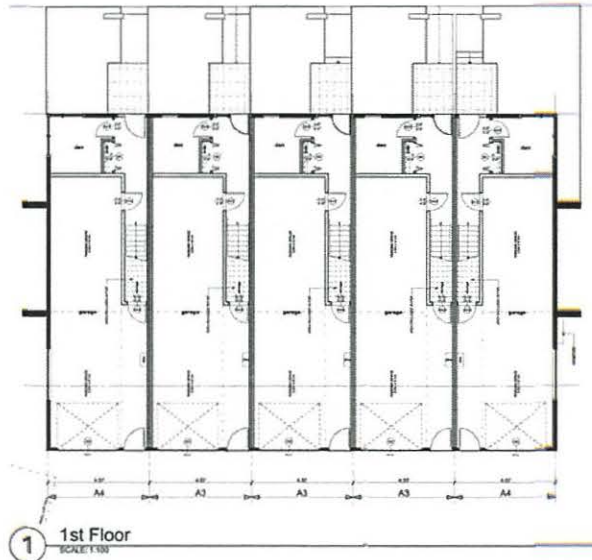
BUILDING 7 FLOOR PLANS
 15001 15002
 15003 15004
 JAN 18, 2016 15005
 15006 15007

A-2.071



DESIGNED BY
 ADERA
 GREENWAY TOWNHOUSE DEVELOPMENT
 10th St Surrey BC
 BUILDING 7 ELEVATIONS
 1/2011
 1/100
 JAN 15, 2015
 ISSUE 04

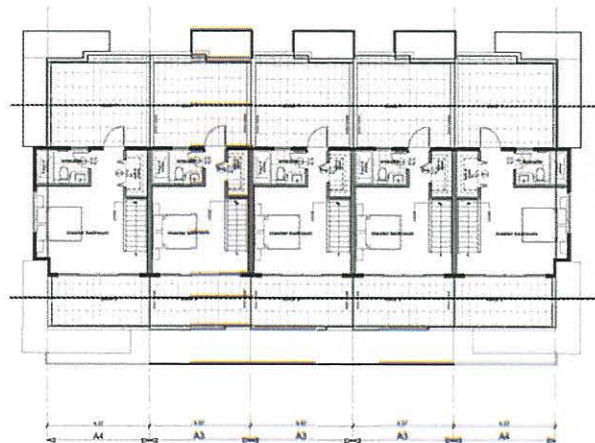




DESIGNED BY	
DATE	
ADERA	
DATE	
GREENWAY TOWNHOUSE DEVELOPMENT	
155 W. 15th Street, BC	
BUILDING 8 FLOOR PLANS	
1/32	
1/32	
JAN 18, 2018	
ISSUE 04	



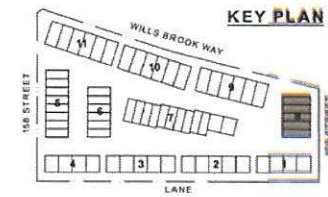
1 3rd Floor
SCALE: 1/32"



1 4th Floor
SCALE: 1/32"



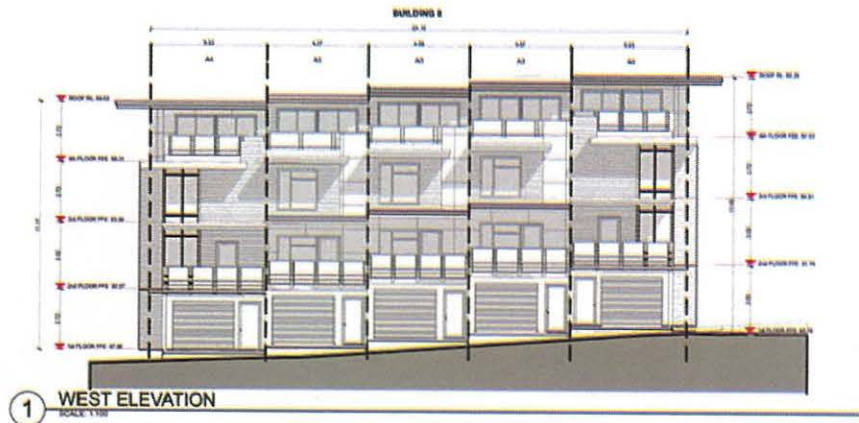
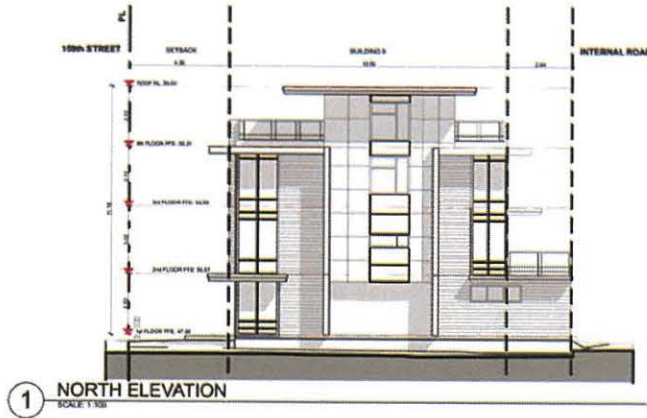
INTEGRA ARCHITECTURE INC.
414 WEST PENDER STREET
VANCOUVER, BC V6C 1T6
TEL: 604.681.4275
F: 604.681.4275
INFO@INTEGRARCH.COM
WWW.INTEGRARCH.COM
1233 PENDER STREET, VANCOUVER, BC V6C 1T6



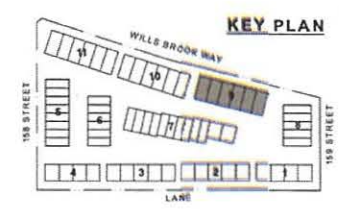
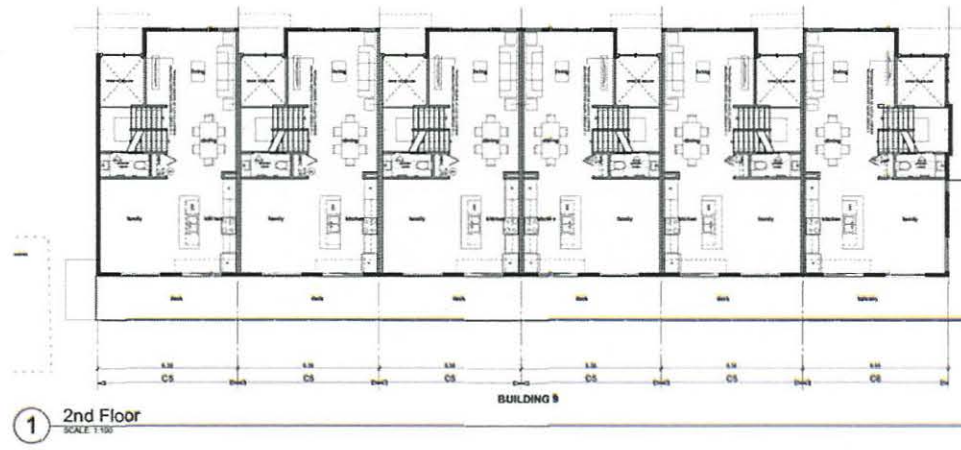
KEY PLAN

ADERA
GREENWAY TOWNHOUSE DEVELOPMENT
1588-15908 BC
15881 (2011/01/11)
4-1590 (2011/01/11)
JAN 18, 2014 (2014/01/18)
REVISOR SA (2014/01/18)

BUILDING 8 FLOOR PLANS



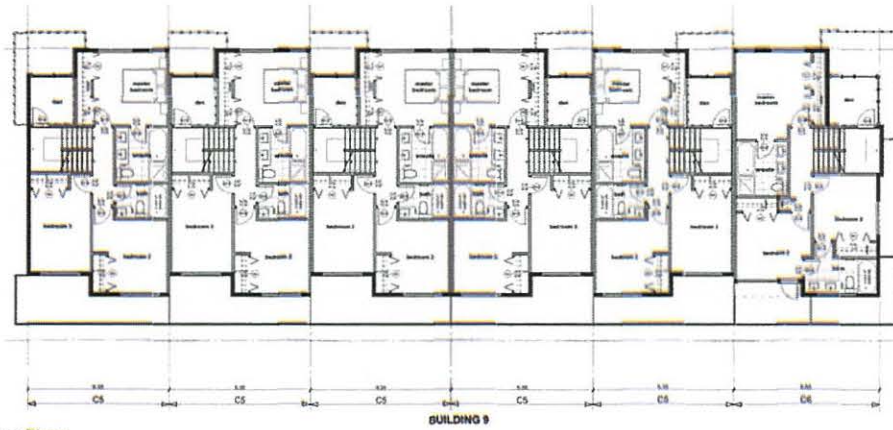
DESIGNED BY	
DESIGNED BY	
DESIGNED BY	
ADERA	
DESIGNED BY	
GREENWAY TOWNHOUSE DEVELOPMENT	
1000 St. Dunsmuir BC	
DESIGNED BY	
BUILDING 8 ELEVATIONS	
1/32nd	(DATE)
1/100	(DATE)
JAN 15, 2016	(DATE)
ISSUE 04	(DATE)



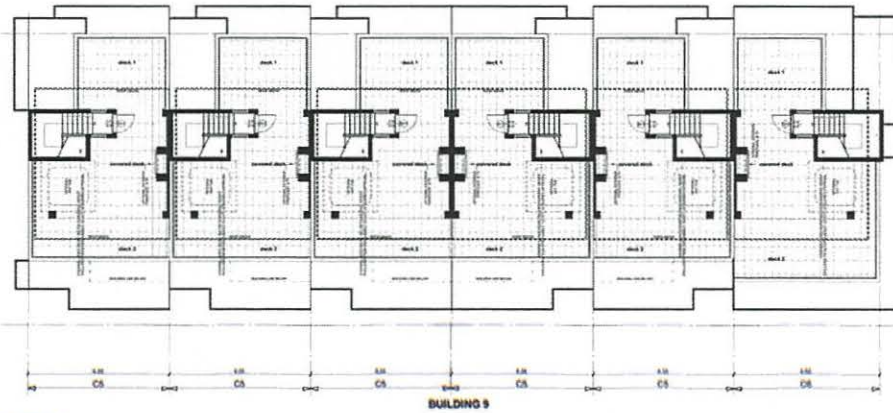
ia
 INTERIA ARCHITECTURE INC.
 414 WEST PENDER STREET
 VANCOUVER, BC V6B 1T6
 TEL: 604.401.7800 FAX: 604.401.7801
 INFO@INTERIAARCH.COM
 WWW.INTERIAARCH.COM
 1997 PFP PROFESSIONAL DESIGNER



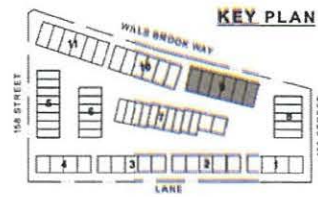
ADDERA
 GREENWAY TOWNHOUSE DEVELOPMENT
 1550 St Dunsmuir BC
 BUILDING 9 FLOOR PLANS
 15361 (1/24/2011)
 15360 (1/24/2011)
 JAN 18, 2011 (1/27/11)
 ISSUE 04 (1/27/11)



1 3rd Floor
SCALE 1/16"



1 4th Floor
SCALE 1/16"



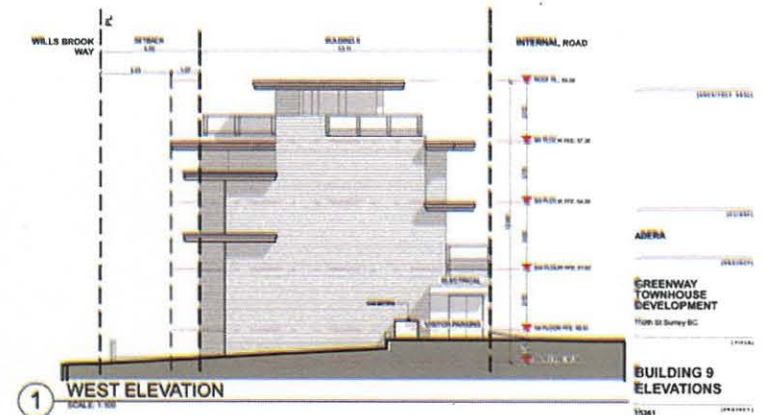
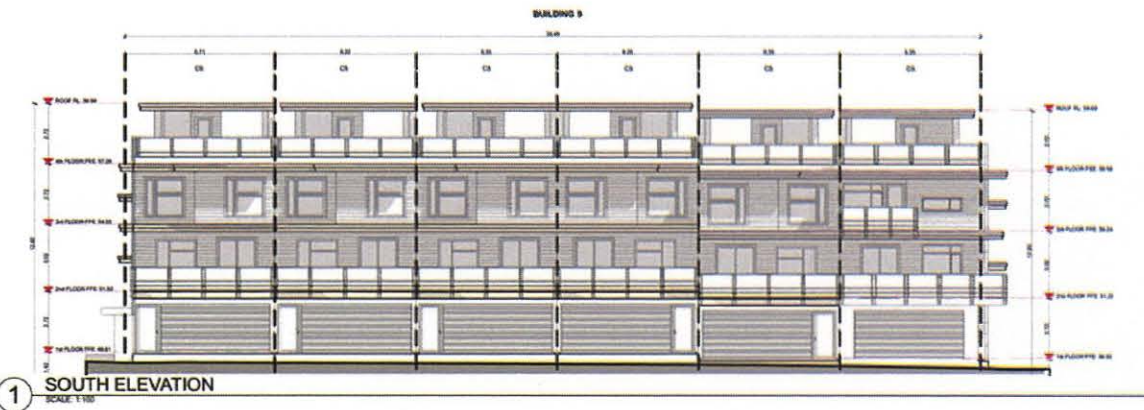
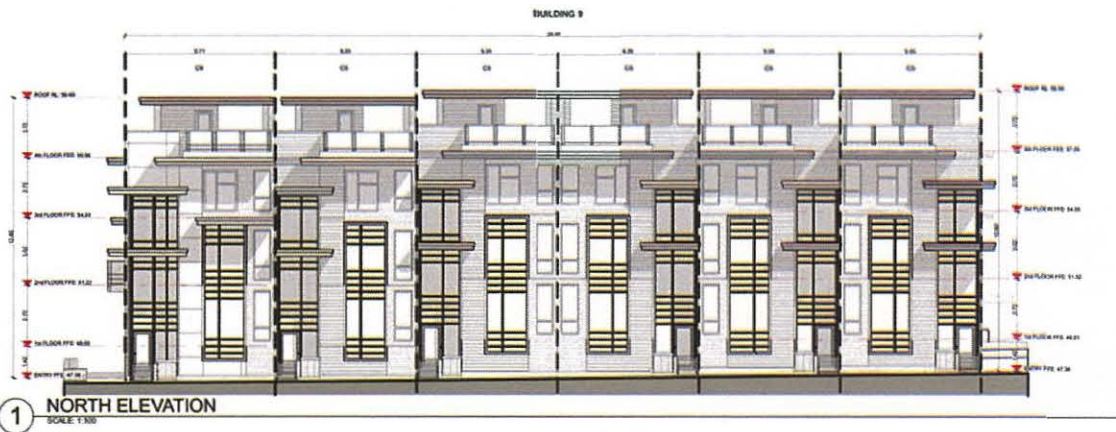
KEY PLAN

ia
 HESONA ARCHITECTURE INC.
 414 WEST PENDER STREET
 VANCOUVER, BC V6C 1T6
 TEL: 604.681.4229 FAX: 604.681.4230
 INFO@IAARCHITECTURE.COM
 WWW.IAARCHITECTURE.COM
 2013 CANADIAN REGISTERED ARCHITECTS



ADERA
 LIVE WEST COAST

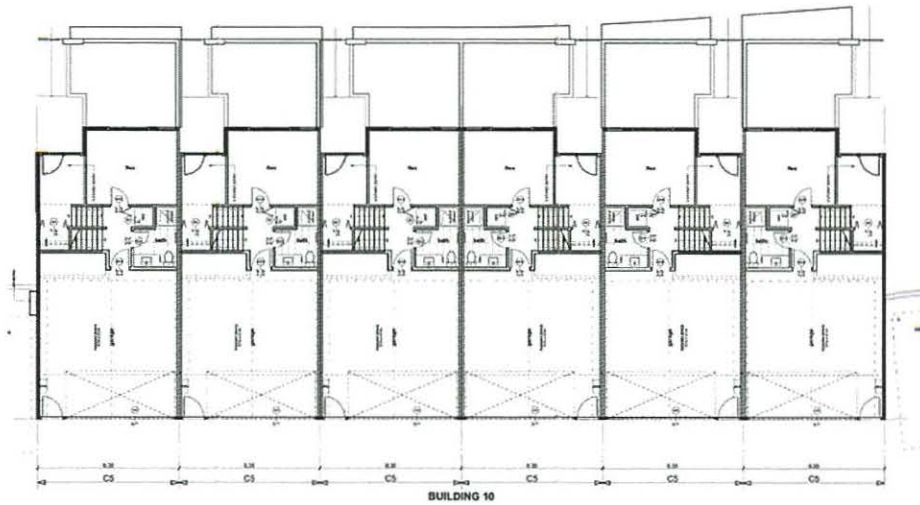
ADERA
 GREENWAY TOWNHOUSE DEVELOPMENT
 1506-55 Spring St.
 VANCOUVER, BC
 15601 0000001
 15602 0000002
 15603 0000003
 15604 0000004
 15605 0000005
 15606 0000006
 15607 0000007
 15608 0000008
 15609 0000009
 15610 0000010



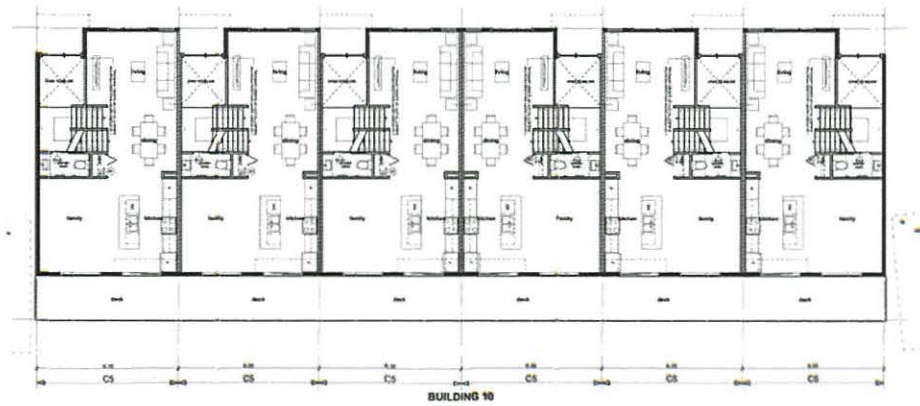
ia
INTERARCHITECTURE INC.
114 WEST PENDER STREET
VANCOUVER, BC V6B 1T9
TEL: 604 681 7888 FAX: 604 681 7889
INFO@INTERARCHITECTURE.COM
WWW.INTERARCHITECTURE.COM
ESTABLISHED 1998

ADERA
LIVE WEST EASY

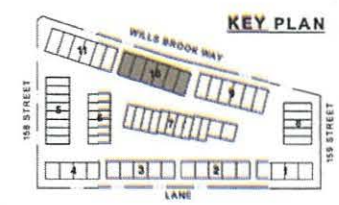
GREENWAY TOWNHOUSE DEVELOPMENT
1100-1110 Dunbar BC
ADERA
BUILDING 9 ELEVATIONS
1/300
1/100
JAN 15, 2010
ISSUE 04



1 1st Floor
SCALE 1:100



1 2nd Floor
SCALE 1:100



KEY PLAN

ia
 INTERIA ARCHITECTURE INC.
 116 WEST PENDER STREET
 VANCOUVER, BC V6B 1T8
 TEL: 604.682.7222 FAX: 604.682.7225
 INFO@INTERIAARCH.COM
 WWW.INTERIAARCH.COM
 1-877-337-3333

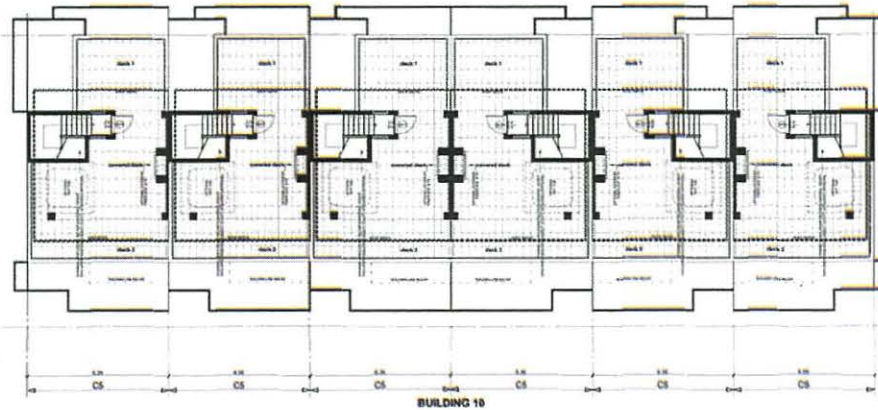


ADERA
 LIVE WELL COAST

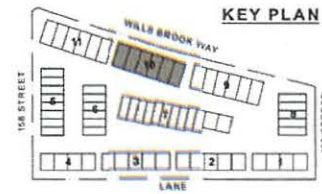
ADERA
 GREENWAY TOWNHOUSE DEVELOPMENT
 1590 St. Dunstons BC
BUILDING 10 FLOOR PLANS
 15361
 1180
 JAN 18, 2015
 ISSUE 04



1 3rd Floor
SCALE: 1/16"



1 4th Floor
SCALE: 1/16"



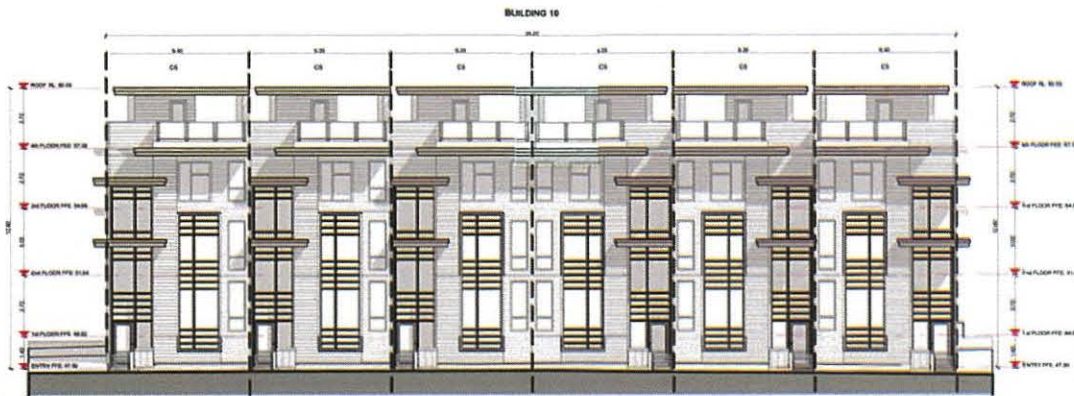
KEY PLAN

ia
 INTERIA ARCHITECTURE INC.
 418 WEST PENDER STREET
 VANCOUVER, BC V6B 1T8
 TEL: 604.681.4229 F: 604.681.4270
 INFO@INTERIA-ARCH.COM
 WWW.INTERIA-ARCH.COM
 100% GREEN BUILDING DESIGN

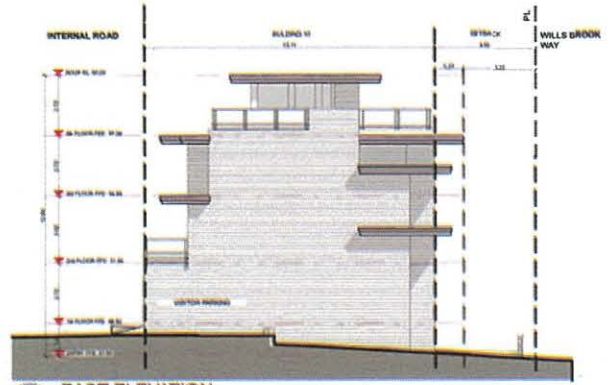


ADERA
 LIVE WEST COAST

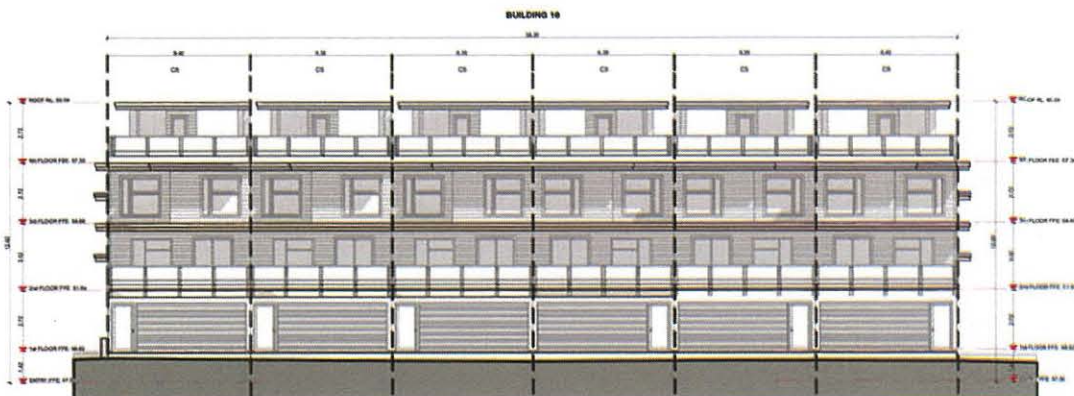
ADERA
 GREENWAY
 TOWNHOUSE
 DEVELOPMENT
 1088-88 BURNS BLVD
 (1/11/11)
 (1/11/11)
 (1/11/11)
 (1/11/11)
 (1/11/11)
 (1/11/11)



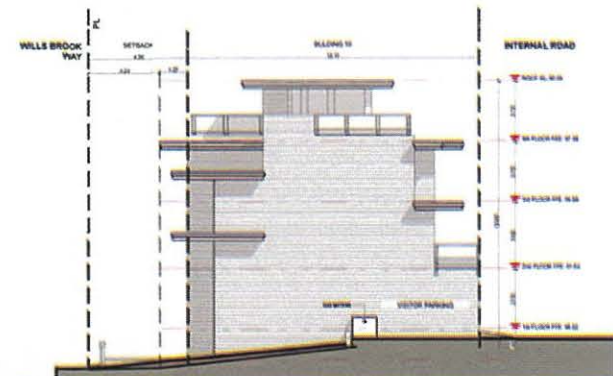
1 NORTH ELEVATION
SCALE 1:100



1 EAST ELEVATION
SCALE 1:100



1 SOUTH ELEVATION
SCALE 1:100



1 WEST ELEVATION
SCALE 1:100

ia
 INTEGRA ARCHITECTURE INC.
 414 WEST PENDER STREET
 VANCOUVER, BC V6B 1T6
 T 604 681 4222 F 604 681 0770
 INFO@I.A.A.R.C.H. C.A.M
 WWW.I.A.A.R.C.H. C.A.M
 REGISTERED ARCHITECTS

ADERA
 LIVE WEST COAST

DESIGNED BY
 ADERA
 GREENWAY TOWNHOUSE DEVELOPMENT
 10th St Surrey BC
 (1:100)
 ISSUE 04



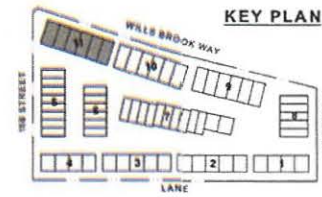
1 1st Floor
SCALE: 1/32



1 2nd Floor
SCALE: 1/32



INTERARCHITECTURE INC.
119 WEST PENDER STREET
VANCOUVER, BC V6B 1R9
V.604.679.7331 F.604.679.7332
INFO@IARCHITECTURE.COM
WWW.IARCHITECTURE.COM
100-1111-1111-1111



KEY PLAN

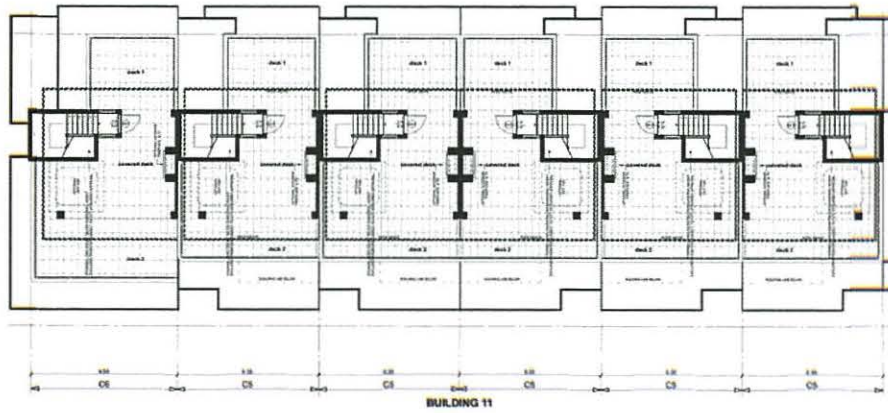
ADERA

GREENWAY
TOWNHOUSE
DEVELOPMENT
1506 St Duney St

**BUILDING 11
FLOOR PLANS**
12041
1:300
JAN 18, 2016
ISSUE 04



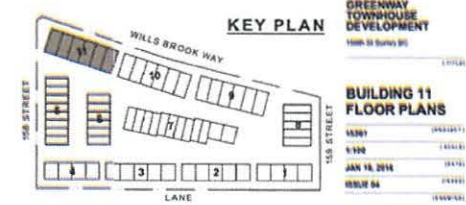
1 3rd Floor
SCALE: 1/100



1 4th Floor
SCALE: 1/100



INTERIA ARCHITECTURE INC.
 414 WEST PENDER STREET
 VANCOUVER, BC V6B 1T6
 TEL: 604.681.4225
 FAX: 604.681.4225
 INFO@INTERIAARCH.COM
 WWW.INTERIAARCH.COM
 1111 BROADWAY SUITE 200
 VANCOUVER, BC V6A 1A1



KEY PLAN

ADERA

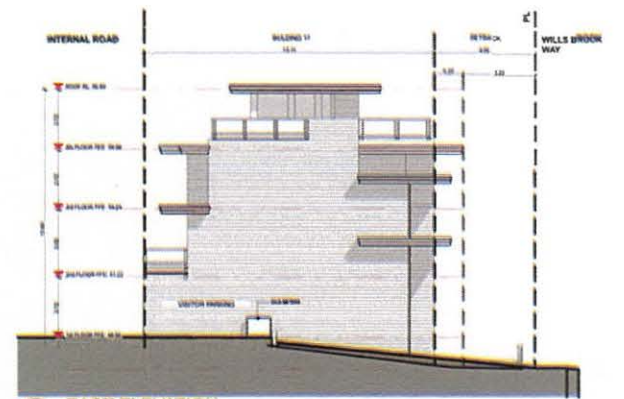
GREENWAY TOWNHOUSE DEVELOPMENT
 1000-10 Series (P)

BUILDING 11 FLOOR PLANS

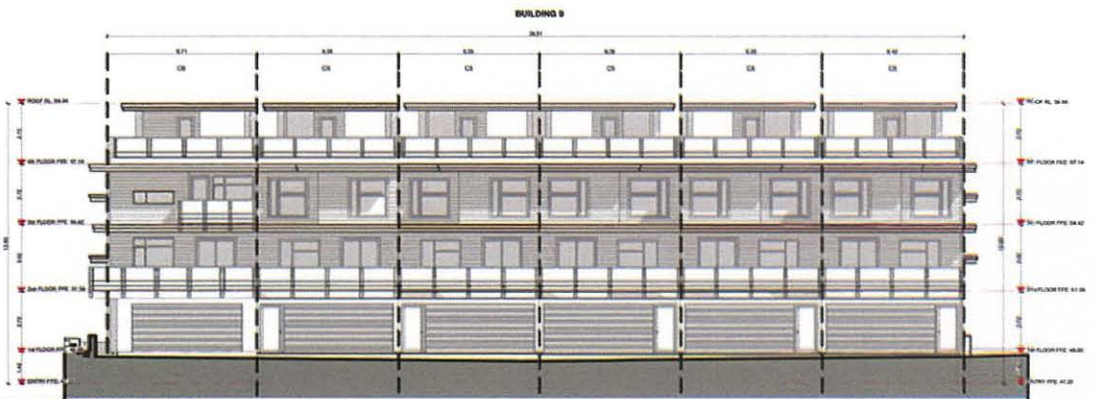
1/1001	(1/1001)
1/1002	(1/1002)
JAN 18, 2014	(1/1003)
REVISION 04	(1/1004)
	(1/1005)



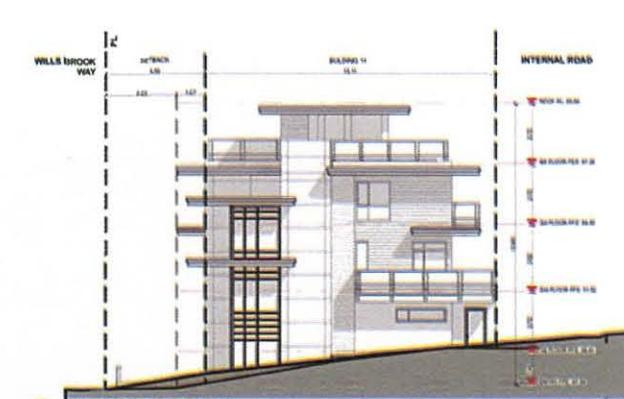
1 NORTH ELEVATION
SCALE 1/100



1 EAST ELEVATION
SCALE 1/100



1 SOUTH ELEVATION
SCALE 1/100



1 WEST ELEVATION
SCALE 1/100



INTERIA ARCHITECTURE INC.
416 WEST PENDER STREET
VANCOUVER, BC V6B 1T6
TEL: 604-681-8888 FAX: 604-681-8889
WWW.INTERIAARCHITECTURE.COM
100-1100-1100-1100-1100



DATE: 2016.01.15

PROJECT:

DATE:

PROJECT:

DATE:

PROJECT:

DATE:

PROJECT:

DATE:

PROJECT:

DATE:

PROJECT:

DATE:

PROJECT:

DATE:

PROJECT:

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DATE:

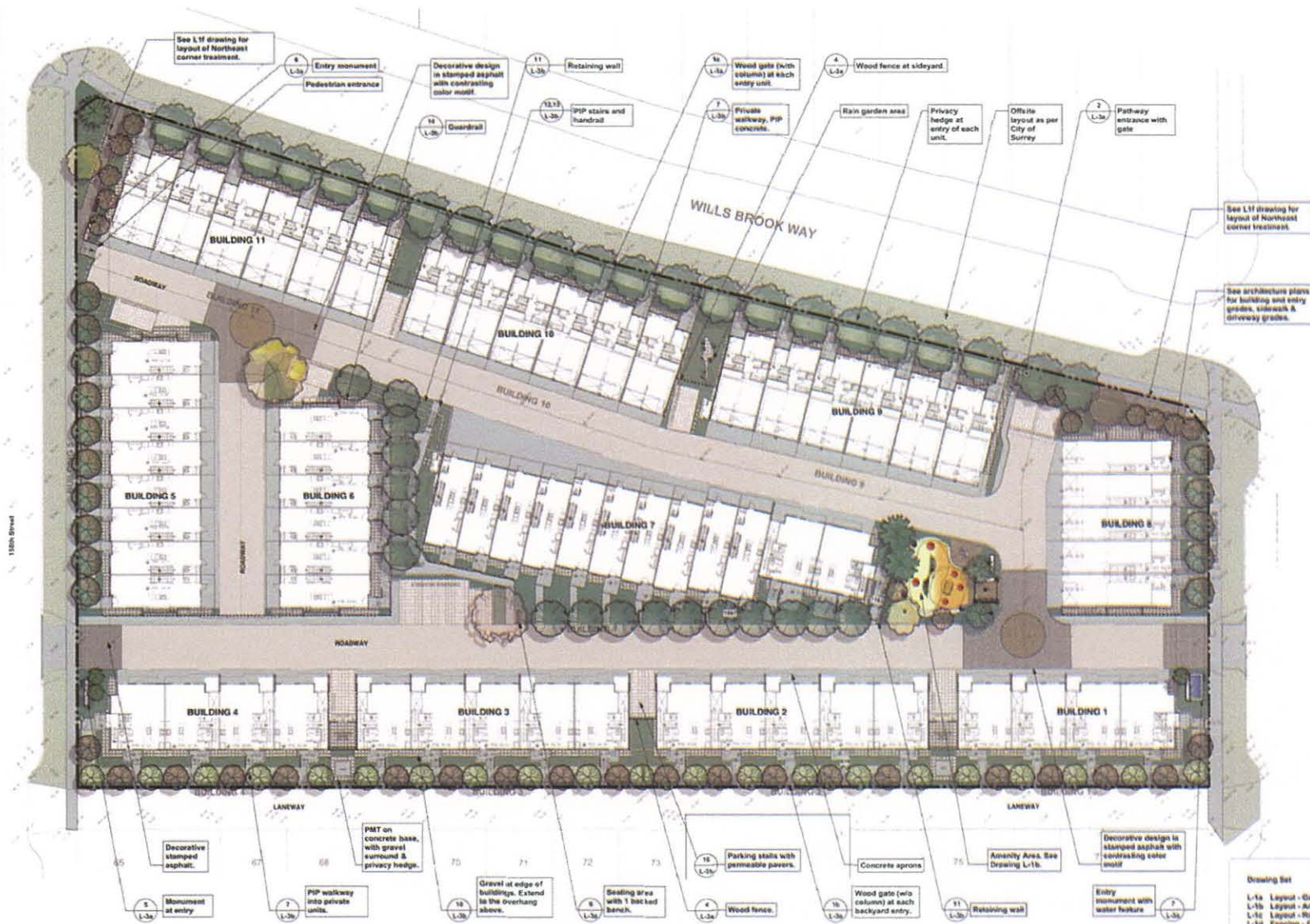
ADERA
GREENWAY TOWNHOUSE DEVELOPMENT
1100 W. BURNLEY BC

BUILDING 11 ELEVATIONS

1/100

JAN 15, 2016

ISSUE 04



Jun 18 2014	Revision for OUP Application
Jun 18 2014	For City Review L-10
Jun 14 2014	For Review/Prep Issue B5 - EP APPLICATION
Dec 17 2013	For Review
Dec 11 2013	For Review
Oct 14 2013	For Review
Aug 08 2013	For Review

Jonathan Innes Ltd.
 LANDSCAPE ARCHITECTS
 2817 - 19th St. W.
 Richmond, B.C. V6V 2G9
 Tel: 604.273.8888
 Fax: 604.273.8889
 Email: jonathan@joninnes.com

GREENWAY
 Townhouse Development
 Surrey, B.C.

Drawing Title:
Landscape Layout Plan - Ground Level

Scale:
 1:200
 Date: July 2014
 Project No:
 2013-31

Drawing List

- L-1a Layout - Ground Level
- L-1b Layout - Amenity Area
- L-1c Layout - Roof Level
- L-1d Fencing - Ground Level
- L-1e Lighting Layout
- L-1f Layout - External Treatments
- L-2a Planting - Trees
- L-2b Planting - Bldgs 1,2,3
- L-2c Planting - Bldgs 4,5,6
- L-2d Planting - Bldg 7, Amenity
- L-2e Planting - Bldgs 8,9
- L-2f Planting - Bldgs 10,11
- L-3a Details
- L-3b Details

L-1a



Amenity play equipment with Hemisphere climber (page 6 and up).



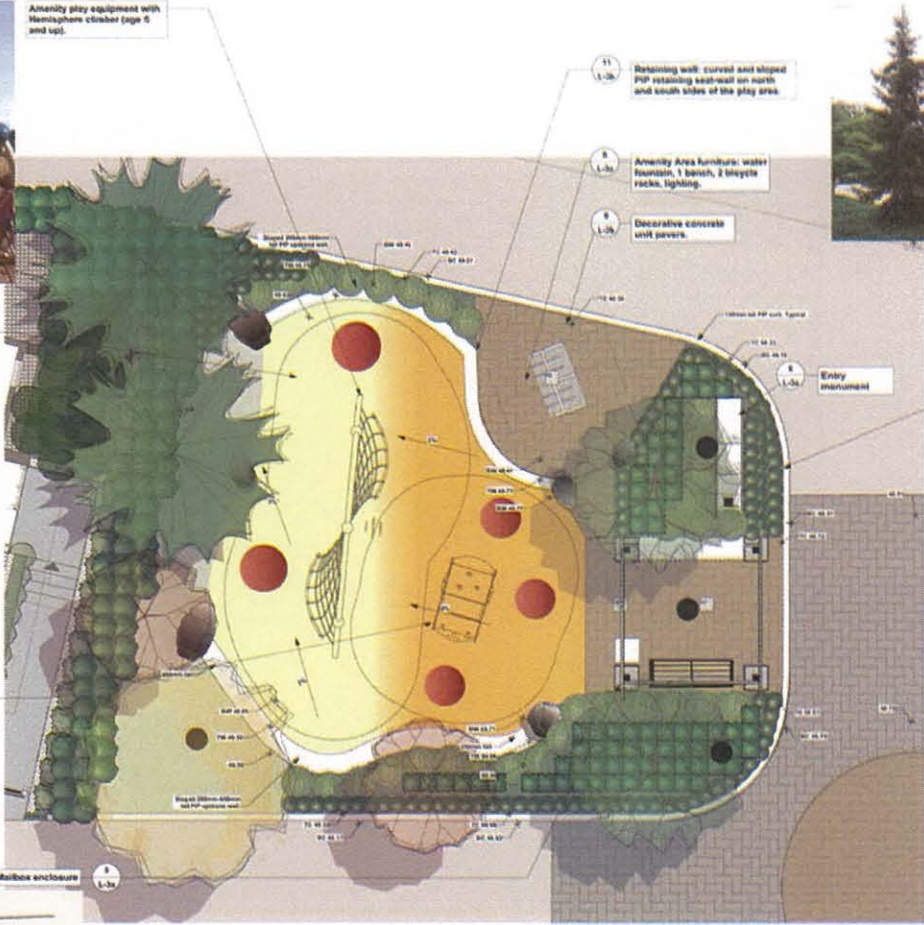
Custom colored rubberized surfacing (Mushroom table/chair not included).



Amenity play equipment with Toddler play house (page 2-5).



Mailbox enclosure



Retaining wall: curved and sloped PIP retaining wall on north and south sides of the play area.

Amenity Area furniture: water fountain, 1 bench, 2 bicycle racks, lighting.

Decorative concrete unit pavers.



Plant palette: Miscanthus sinensis, Box crataegi in a natural shape, salt and bergenia edging. Trees to include: Quercus Green Park, Japanese Red Maple, Parrotia Perseica, and Serbian Spruce.



Jan 18 2016	Review for EIP Application
Jan 18 2016	For City Review (L1)
Jan 17 2016	For Review/Working
Dec 17 2015	Issue 03 - EIP APPLICATION
Dec 11 2015	For Review
Oct 14 2015	For Review
Aug 08 2015	For Review

Prepared by
JONATHAN LOVE LTD.
 Landscape Architecture
 8707 166th Ave.
 Vancouver, BC V5V 2M6
 Tel: 604.944.1997
 E-mail: info@jonathanlove.com

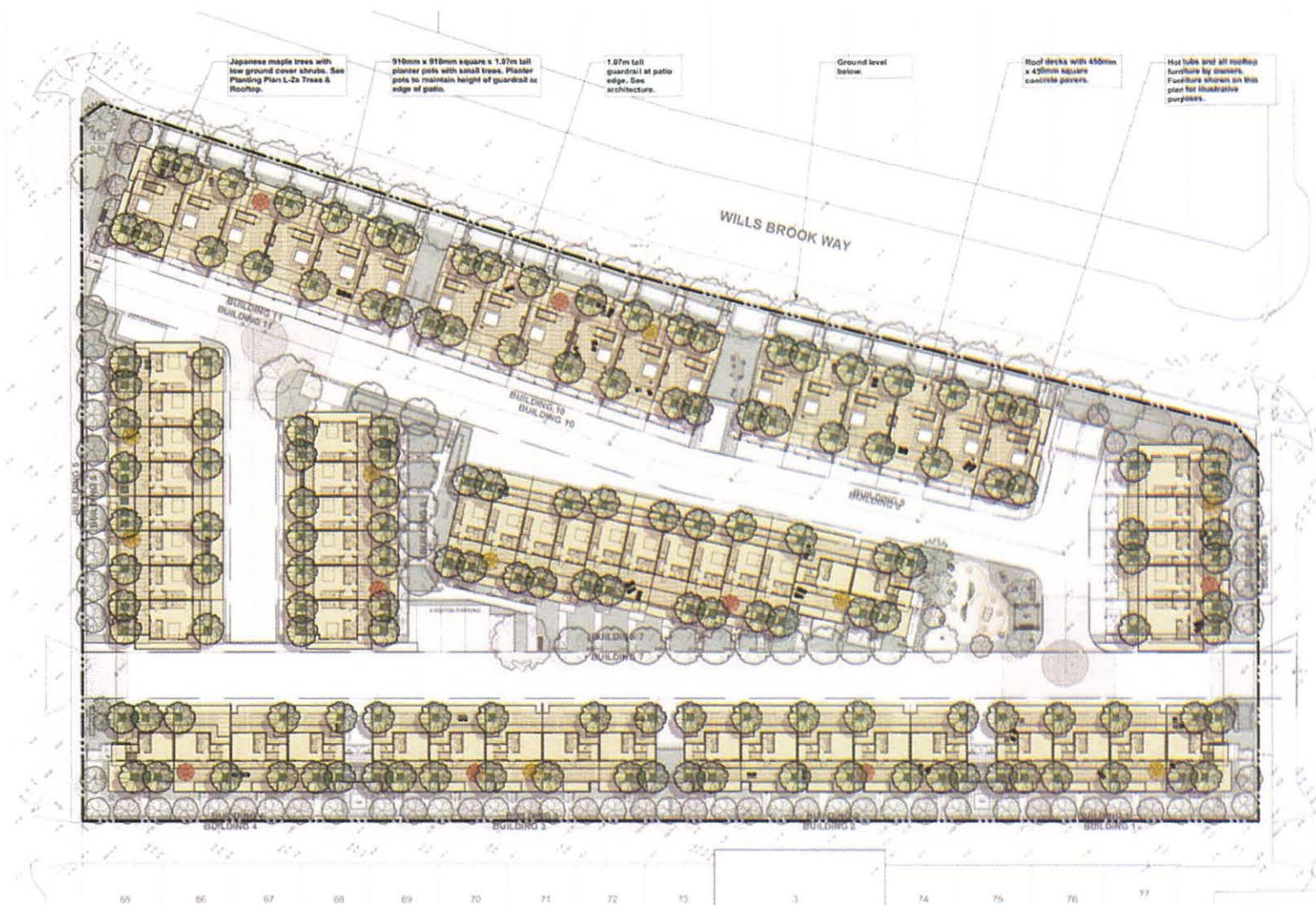
Project
GREENWAY
 Townhouse Development
 Surrey, B.C.

Drawn by
Landscape Layout Plan - Amenity Area
 Title
 L-1b
 Date July 2015
 Project No 2015-11

- Drawing Set
- L-1a Layout - Ground Level
 - L-1b Layout - Amenity Area
 - L-1c Layout - Road Level
 - L-1d Fencing - Ground Level
 - L-1e Lighting Layout
 - L-1f Layout - Corner Treatments
 - L-2a Planting - Trees
 - L-2b Planting - Shrub 1,2,3
 - L-2c Planting - Shrub 4,5,6
 - L-2d Planting - Shrub 7, Amenity
 - L-2e Planting - Shrub 8,9
 - L-2f Planting - Shrub 10,11
 - L-3a Details
 - L-3b Details



L-1b



Jan 18 2016	Revision for EOP Application
Jan 13 2016	For City Review (L10)
Jan 14 2016	For Review/Preung
Dec 17 2015	Issue 03 - DR APPLICATION
Dec 11 2015	For Review
Oct 14 2015	For Review
Aug 08 2015	For Review

Jonathan Iosco Ltd.
 Landscape Architecture
 4801 - 46th St. Unit 104
 Edmonton, AB T5B 0K6
 Tel: (780) 462-1111
 Email: jon@jiosco.com

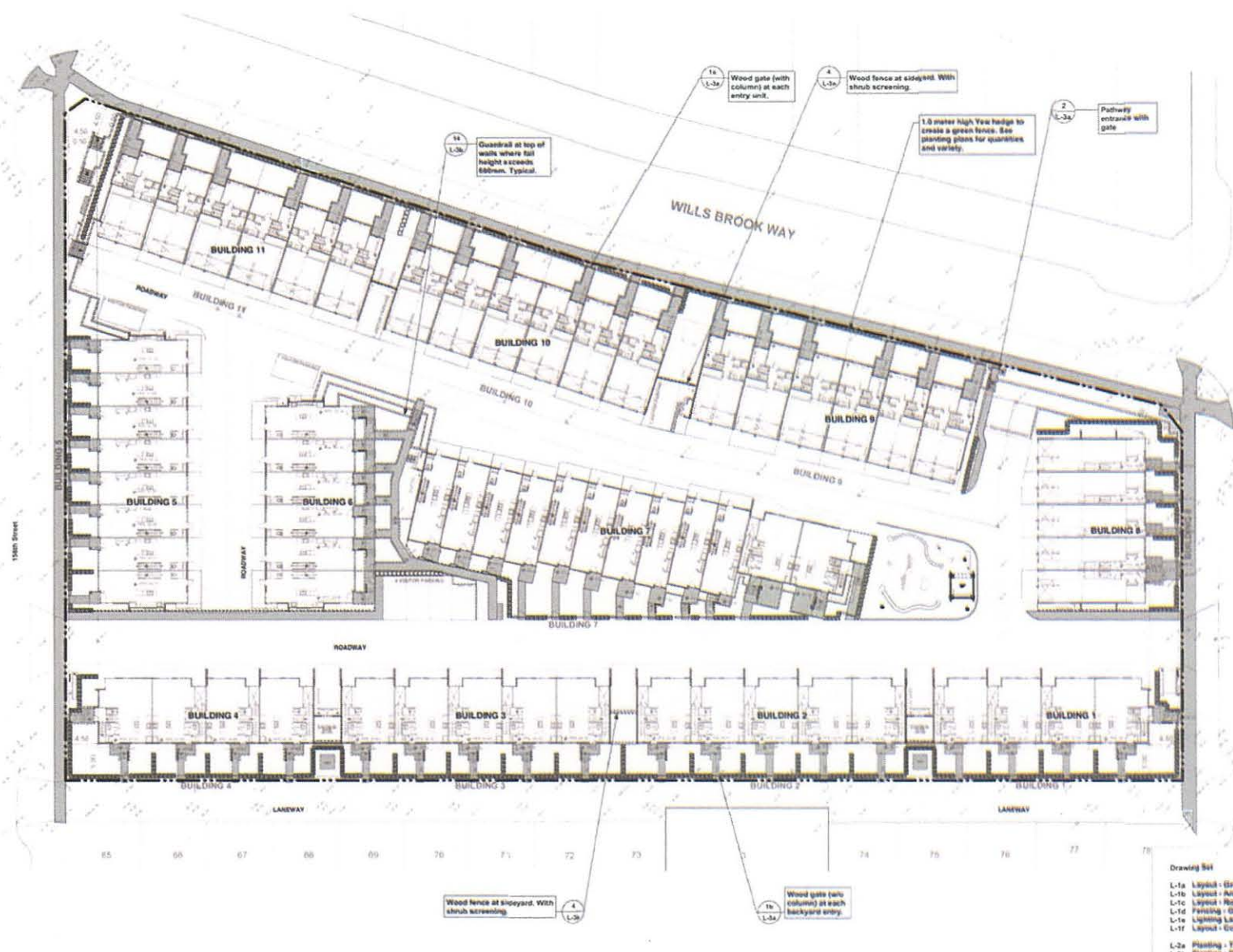
Project:
GREENWAY
 Townhouse Development
 Survey, R.C.

Sheet File:
Landscape Layout Plan - Rooftop
 Scale:
 1:250
 Date: July 2016
 Project No:
 2015-01

- Drawing Set**
- L-1a Layout - Ground Level
 - L-1b Layout - Amenity Area
 - L-1c Layout - Roof Level
 - L-1d Fencing - Ground Level
 - L-1e Lighting Layout
 - L-1f Layout - Exterior Treatments
 - L-2a Planting - Trees
 - L-2b Planting - Shrub 1,2,3
 - L-2c Planting - Shrub 4,5,6
 - L-2d Planting - Shrub 7, Amenity
 - L-2e Planting - Shrub 8,9
 - L-2f Planting - Shrub 10,11
 - L-3a Details
 - L-3b Details



L-1c



Jan 18 2015	Revision 01 for Application
Jan 18 2015	For City Review (L10)
Jan 14 2015	For Review/Planning
Dec 17 2014	Issue 03 - DP APPLICATION
Dec 11 2014	For Review
Oct 14 2014	For Review
Aug 08 2014	For Review

JOHNSON LEESE LTD.
 1000 10th Street
 Suite 100
 Toronto, ON M5G 1S7
 Tel: 416-593-8888
 Fax: 416-593-8889
 Email: info@johnsonleese.com

Project:
GREENWAY
 Townhouse Development
 Survey, B.E.

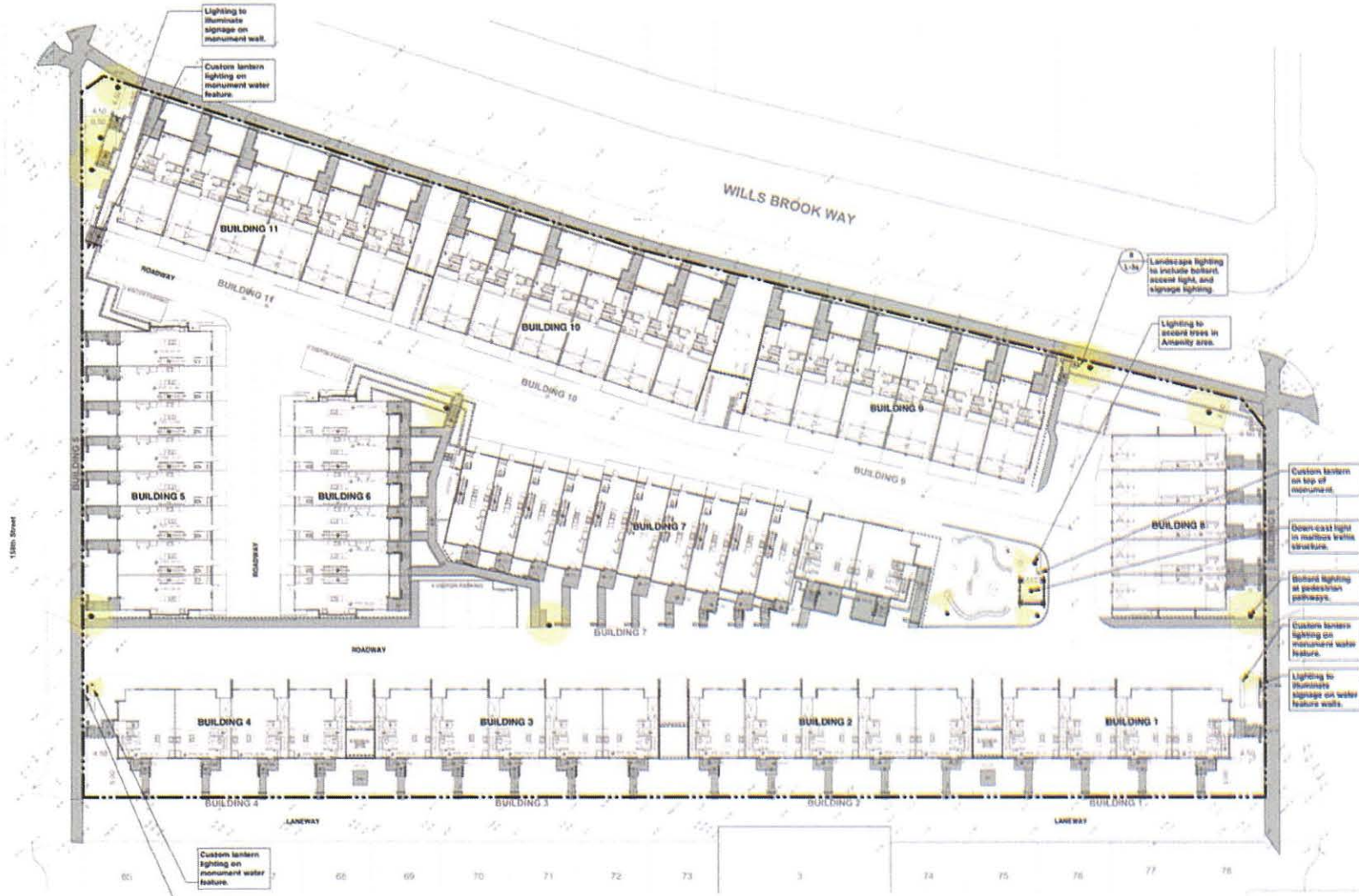
Drawn By:
Landscape Fencing Plan - Ground Level

Date: July 2015
 Scale: 1:200
 Project No: 2015-01

- Drawing Set**
- L-1a Layout - Ground Level
 - L-1b Layout - Amenity Areas
 - L-1c Layout - Road Levels
 - L-1d Fencing - Ground Level
 - L-1e Lighting Layout
 - L-1f Layout - Erosion Treatments
 - L-2a Planting - Trees
 - L-2b Planting - Shrub 4.2.3
 - L-2c Planting - Shrub 4.5.5
 - L-2d Planting - Shrub 7, Amenity
 - L-2e Planting - Shrub 8.9
 - L-2f Planting - Shrub 10, 11
 - L-3a Details
 - L-3b Details



L-1d



Jan 14 2016	Revision for IOP Approval
Jan 14 2016	For City Review (L-1)
Jan 14 2016	For Review/Issued
Dec 17 2015	Issue 03 - SH-APPLICATION
Nov 11 2015	For Review
Oct 14 2015	For Review
Aug 08 2015	For Review

Architect

JONATHAN LOVIE LTD.
Landscape Architecture

4407 - 164th St. NW
Edmonton, AB T5A 0A2
Canada
Tel: 780.441.1111
Fax: 780.441.1112

Project

GREENWAY
Townhouse Development
Survey, R.C.

Drawn For

Landscaping Lighting Plan - Ground Level

Scale

1:500

Date: July 2015

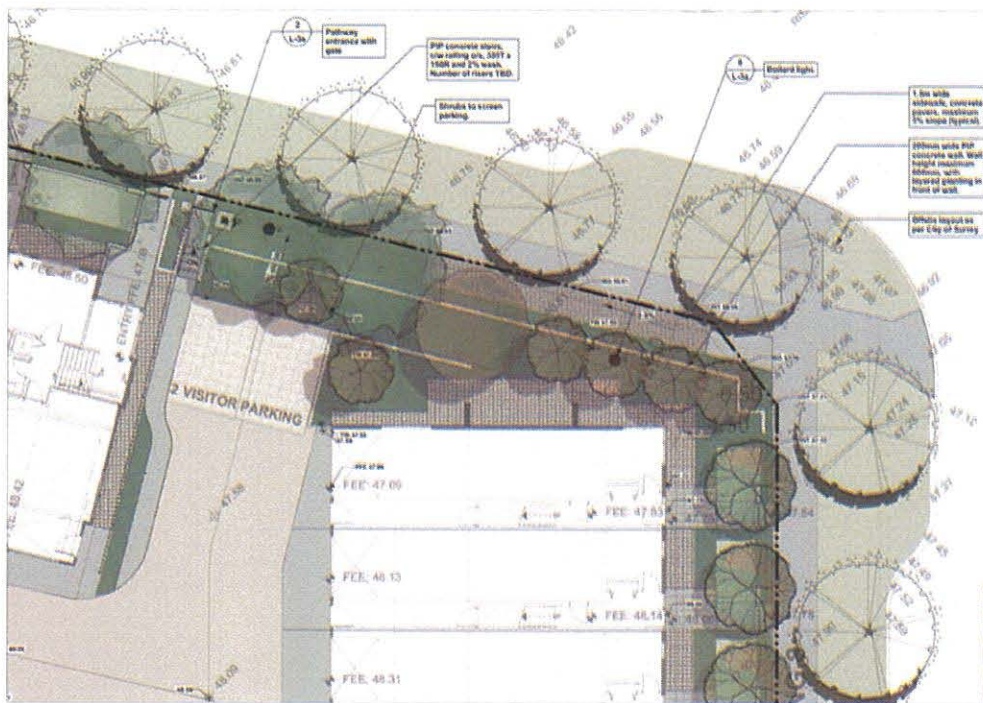
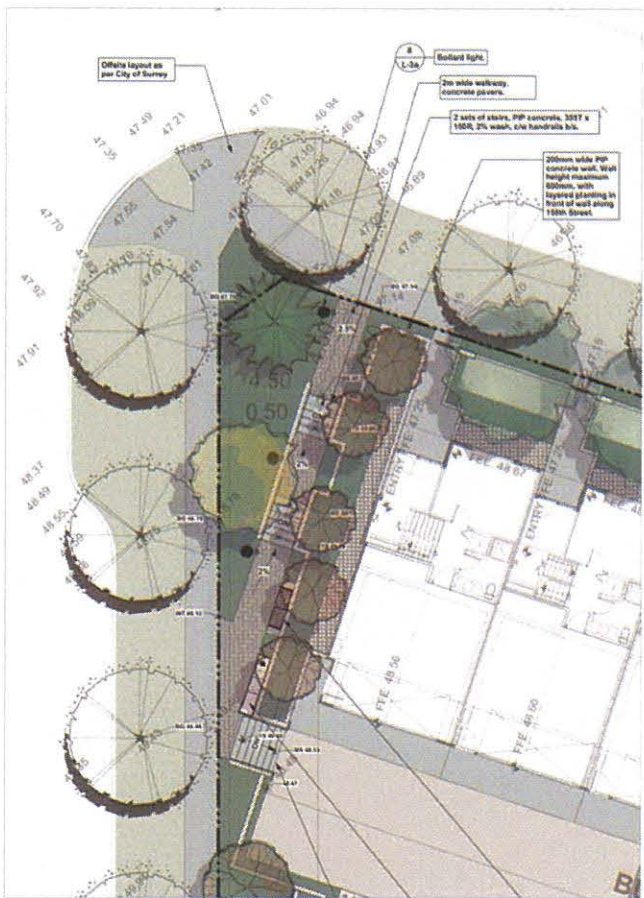
Project No: 2015-07

Drawing Set

L-1a	Layout - Ground Level
L-1b	Layout - Amenity Area
L-1c	Layout - Road Level
L-1d	Fencing - Ground Level
L-1e	Lighting Layout
L-1f	Layout - Exterior Treatments
L-2a	Planting - Trees
L-2b	Planting - Bldg 1,2,3
L-2c	Planting - Bldg 4,5,6
L-2d	Planting - Bldg 7, Amenity
L-2e	Planting - Bldg 8,9
L-2f	Planting - Bldg 10,11
L-3a	Details
L-3b	Details



L-1e



PIP stairs 200R x 100R, with 2% wash, c/s handrails both sides

8 Entry monument

1-3a

1 seating bench on concrete pad

1-3a

Jan 18 2016	Revision for SR Application
Jan 13 2016	For City Review L-10
Jan 14 2016	For Review/Phasing
Dec 17 2015	Issue B5 - SR APPLICATION
Dec 11 2015	For Review
Oct 14 2015	For Review
Aug 06 2015	For Review

Reviewed

Jonathan Ince P.Eng
LANDSCAPE ARCHITECTURE

2017 West 10th Street
Vancouver, B.C. V6P 4G1
Tel: 604.683.9922
Email: jon@joninco.com

- Drawing Set
- L-1a Layout - Ground Level
 - L-1b Layout - Amenity Area
 - L-1c Layout - Roof Level
 - L-1d Fencing - Ground Level
 - L-1e Lighting Layout
 - L-1f Layout - Corner Treatments
 - L-2a Planting - Trees
 - L-2b Planting - Blots 1,2,3
 - L-2c Planting - Blots 4,5,6
 - L-2d Planting - Blot 7, Amenity
 - L-2e Planting - Blot 8,9
 - L-2f Planting - Blot 10,11
 - L-3a Details
 - L-3b Details

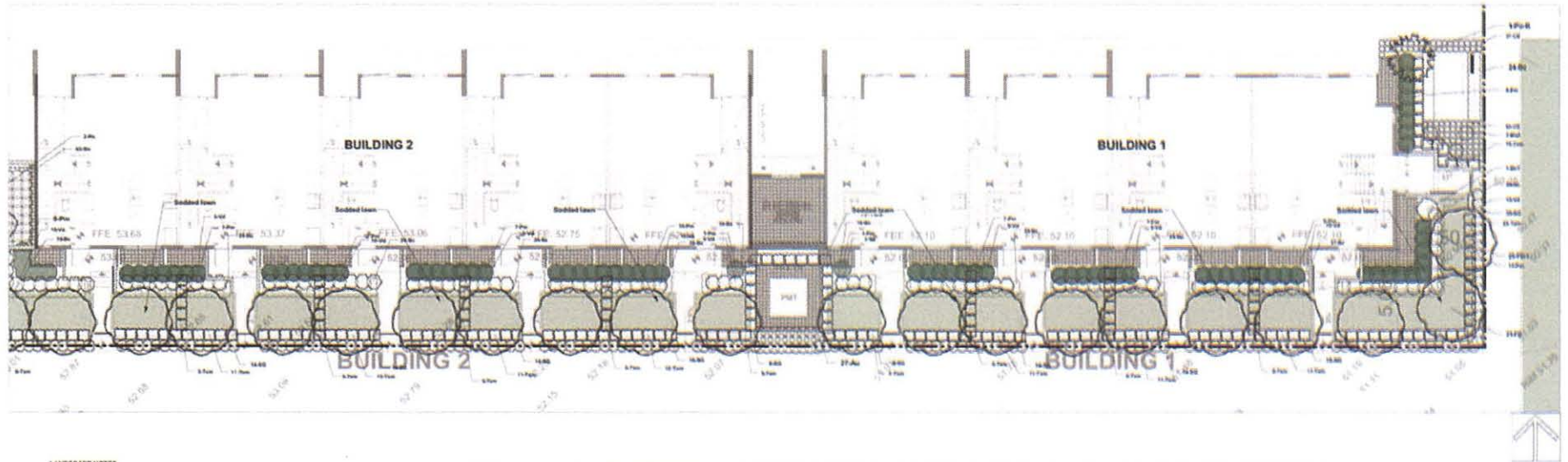
GREENWAY
Townhome Development
Survey, B.C.

Project Title
**Landscape Layout Plan -
Corner Treatments**

Scale
1:500
Date: July 2016
Project No:
2015-31

L-1f

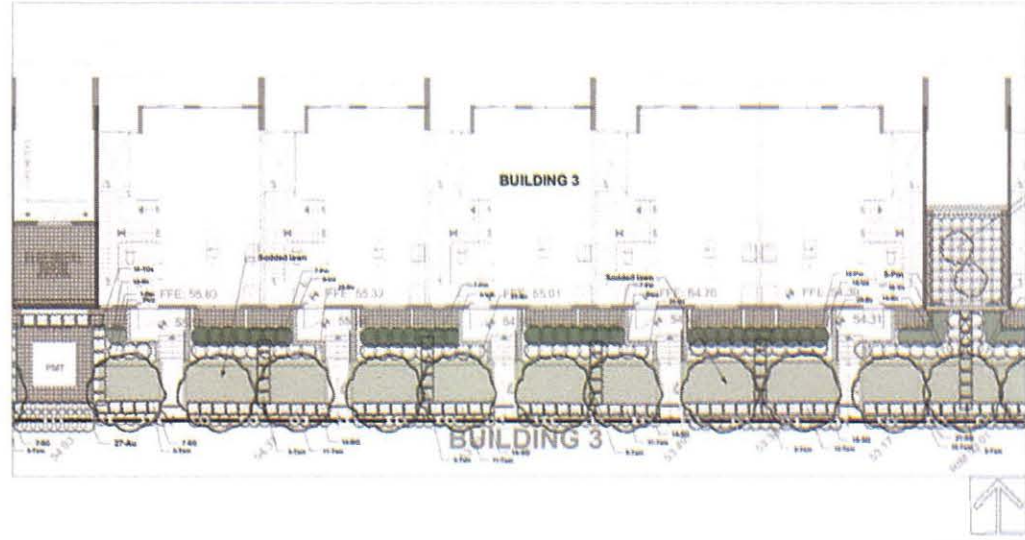




LANDSCAPE NOTES

- Sizes on the planting plan shall be considered minimum sizes.
- All landscape construction to meet the current edition of the British Columbia Landscape Standards as a minimal acceptable standard. Plant material to be suitable for the Landscape Standards for nursery stock. Extend search for plant material to Washington, Oregon, California, and B.C.
- Root balls to be free of gummy weeds.
- Top soil measures for the project shall be tested for pesticide rates, pH, and nutrient levels, and recommendations provided and amendments made for bringing the soil up to acceptable horticultural quality for the desired plant material. Amend soil for pH and nutrient levels. Install 2 inches of composted organic mulch on all plant beds after planting and site cleanup.
- Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. The proposed sub-grade shall be approved by the Consultant prior to application of the soil mixtures and finish grading. Slope towards lawn drains at min. 4%.
- Landscape Contractor is to provide 55 days of maintenance after the date of Substantial Completion. Maintain to level 2 Standard as per British Columbia Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (between Jan 1 and June 1) shall be under additional warranty until the June 1 of the following year.
- Protection of existing trees/shrubs to remain. Install temporary tree protection fencing at drip line of existing hedges, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until landscape work is being done in the vicinity. Remove protective fencing and landscape as directed.
- Planting material on City Boulevard to have the approval of the Parks Dept. prior to installation. Stock species indication require approval at the time of installation.
- All landscaping to have high efficiency irrigation system to IABC standards.

PLANT LIST - SHRUBS and GRASSES	Common Name	Quantity	Scheduled Size	Notes
01	Artemisia tridentata	240	90 pot	Comp.
02	Berberis thunbergii	45	90 pot	Comp.
03	Bergenia cordifolia	1100	90 pot	Comp.
04	Cornus sericea	810	90 pot	Comp.
05	Cornus sericea 'Satanita'	7	90 pot	Comp.
06	Coreopsis grandiflora 'Star Wheel'	7	90 pot	Comp.
07	Coreopsis grandiflora	144	90 pot	Comp.
08	Coreopsis grandiflora	144	90 pot	Comp.
09	Coreopsis grandiflora	144	90 pot	Comp.
10	Coreopsis grandiflora	144	90 pot	Comp.
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95	Coreopsis grandiflora	144	90 pot	Comp.
96	Coreopsis grandiflora	144	90 pot	Comp.
97	Coreopsis grandiflora	144	90 pot	Comp.
98	Coreopsis grandiflora	144	90 pot	Comp.
99	Coreopsis grandiflora	144	90 pot	Comp.
100	Coreopsis grandiflora	144	90 pot	Comp.



Jan 10 2014	Review for EIR Application
Jan 15 2014	For City Review (L10)
Jan 16 2014	For Review/Pricing
Dec 17 2013	Issue #1 - DR APPLICATION
Dec 11 2013	For Review
Oct 14 2013	For Review
Aug 08 2014	For Review

JANATHAN COOPER LTD.
 LANDSCAPE ARCHITECTS

4701 - 861 St. Unit 10
 Vancouver, B.C. V6P 6E1
 Tel: 604-681-7801
 Fax: 604-681-7802
 Email: info@janathancooper.com

- Drawing List**
- L-1a Layout - Ground Level
 - L-1b Layout - Amenity Area
 - L-1c Layout - Road Level
 - L-1d Paving - Ground Level
 - L-1e Lighting Layout
 - L-1f Layout - Corner Treatments
 - L-2a Planting - Trees
 - L-2b Planting - Bldg 1, 2, 3
 - L-2c Planting - Bldg 4, 5, 6
 - L-2d Planting - Bldg 7, Amenity
 - L-2e Planting - Bldg 8, 9
 - L-2f Planting - Bldg 10, 11
 - L-3a Details
 - L-3b Details

GREENWAY
 Townhouse Development
 Survey, B.C.

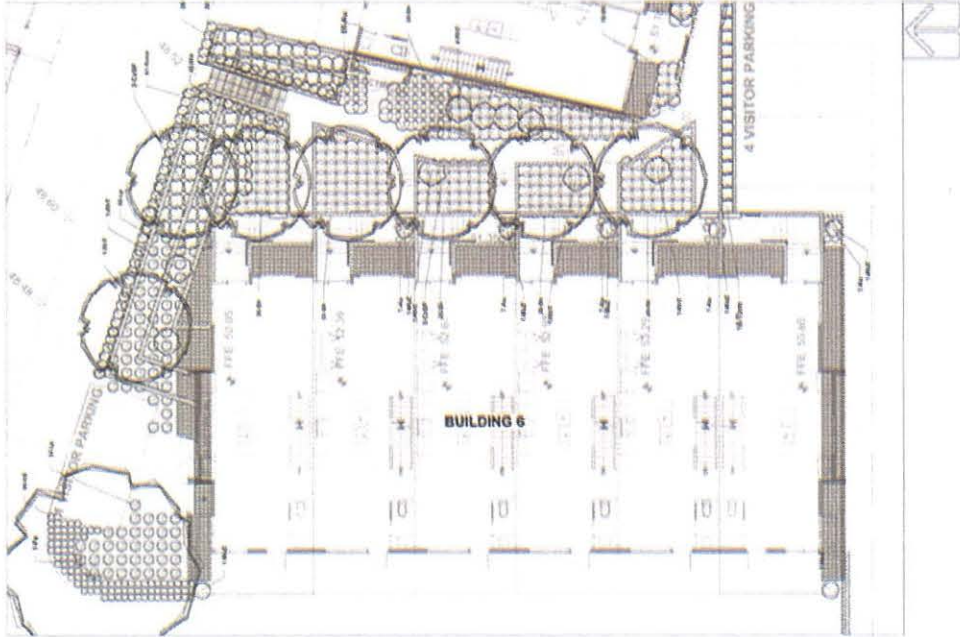
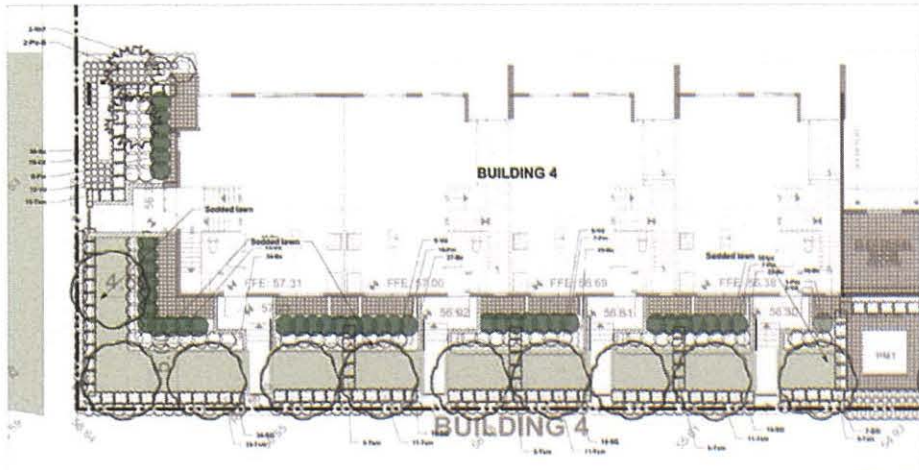
Issue Title: **Planting Plan - Buildings 1, 2, 3 & Shrub List**

Scale: 1:500

Date: July 2014

Project No: 2014-01

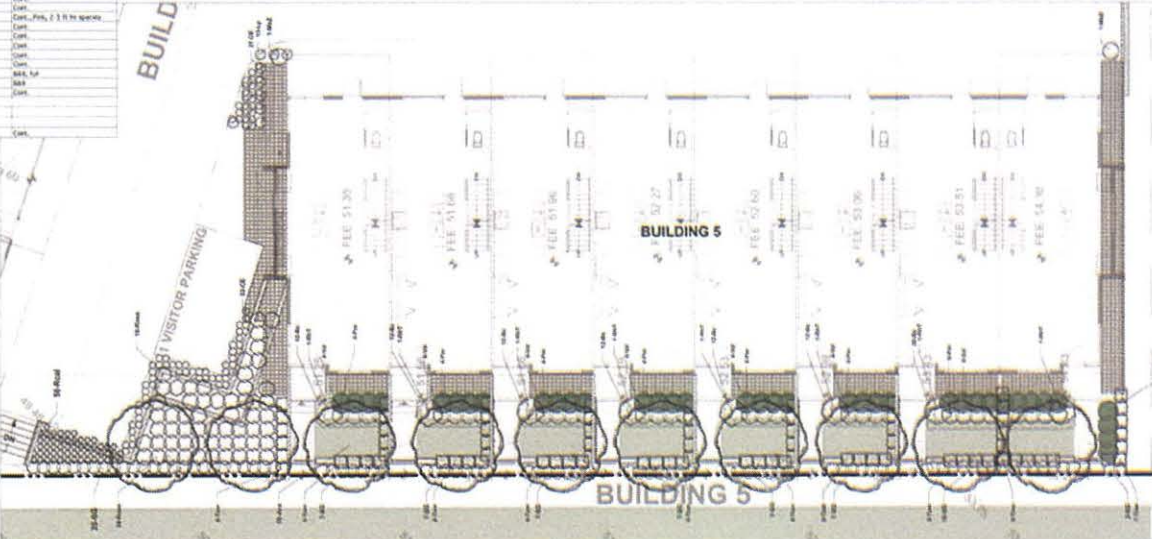
L-2b



PLANT LIST - TREES AND GROUNDWORK

ID	Latin Name	Common Name	Quantity	Schedul'd Size	Notes
TREES and GROUNDWORK					
01	Arcytophyllum cruciatum	Arrowweed	41 per.	12 ft.	Plant
02	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
03	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
04	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
05	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
06	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
07	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
08	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
09	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
10	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
11	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
12	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
13	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
14	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
15	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
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17	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
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27	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
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29	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
30	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
31	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
32	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
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34	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
35	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
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37	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
38	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
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48	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
49	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant
50	Asplenium platyneuron	Shield Fern	20 per.	12 ft.	Plant

- LANDSCAPE NOTES**
- Sizes on the planting plan shall be considered minimum sizes.
 - All landscape construction to meet the current edition of the British Columbia Landscape Standards as a minimum acceptable standard. Plant material to the satisfaction of the Landscape Standards for nursery stock. Extensive search for plant material to Washington, Oregon, California, and B.C.
 - Plant beds to be free of perennial weeds.
 - Top soil and mulches for the project shall be based on particle size, pH, and nutrient levels, and recommendations provided and amendments must be brought to the soil up to acceptable horticultural quality for the desired plant material. Topsoil shall be 10% organic, and depths are 6" for lawn areas, 18" for shrub beds and ground cover plantings. Install 2 inches of composted organic mulch on all shrub beds after planting and before irrigation.
 - Provide positive grades away from buildings and toward lawn areas and catch basins. Slope away from buildings at a minimum of 2%. The proposed site grade shall be approved by the District prior to application of top soil, mulches and final grading. Slope towards open basins at max. 4%.
 - Landscape Contractor is to provide 30 days of maintenance after the date of Substantial Completion. Maintain to level C. Overseed as per British Columbia Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June 1st between June 1st and June 31st shall be under extended warranty until June 1st of the following year.
 - Protection of existing trees/shrubs to remain. Install temporary tree protection fencing at the base of existing trees, shrubs, and ground beds which are to remain. Mark with the temporary survey construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done at the site. Remove protective fencing and landscape as directed.
 - Planting installation on City Street shall have the approval of the Parks Dept. prior to installation. Date, species and location require approval at the time of installation.
 - All landscaping to have high efficiency irrigation system to ISIRC standards.



Revision table:
Jun 18 2016 Follow for CP Application
Jan 14 2016 For City Review L10
Dec 17 2015 For Review/Review
Dec 17 2015 Issue 05 - CP APPLICATION
Oct 11 2015 For Review
Oct 14 2015 For Review
Aug 08 2015 For Review

Prepared by:
Jonathan Cove Ltd.
LANDSCAPE ARCHITECTS

Address:
4557 - 160 St. Red Deer
Alberta T4N 1N1
Tel: 403-292-0551
Email: jonathan@jonathan-cove.com

Project:
GREENWAY
Townhome Development
Survey, R.L.

Drawing Set:
L-1a Layout - Ground Level
L-1b Layout - Amenity Area
L-1c Layout - Roof Level
L-1d Fencing - Ground Level
L-1e Lighting Layout
L-1f Layout - Corner Treatments

Sheet Title:
Planting Plan -
Buildings 4, 5, 6

Scale:
As Shown

Date:
July 2016

Drawn by:
J. Cove

Checked by:
J. Cove

Reviewed by:
J. Cove

Approved by:
J. Cove

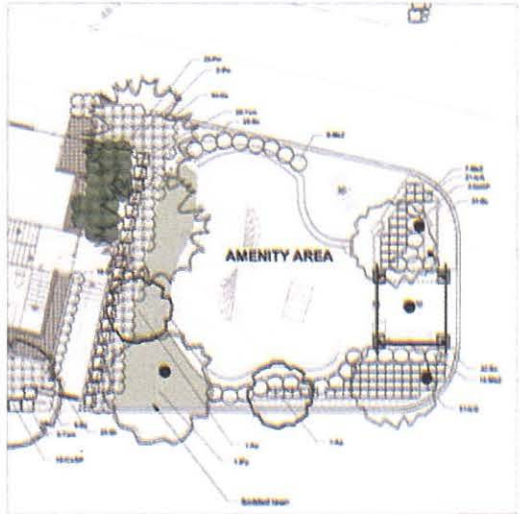
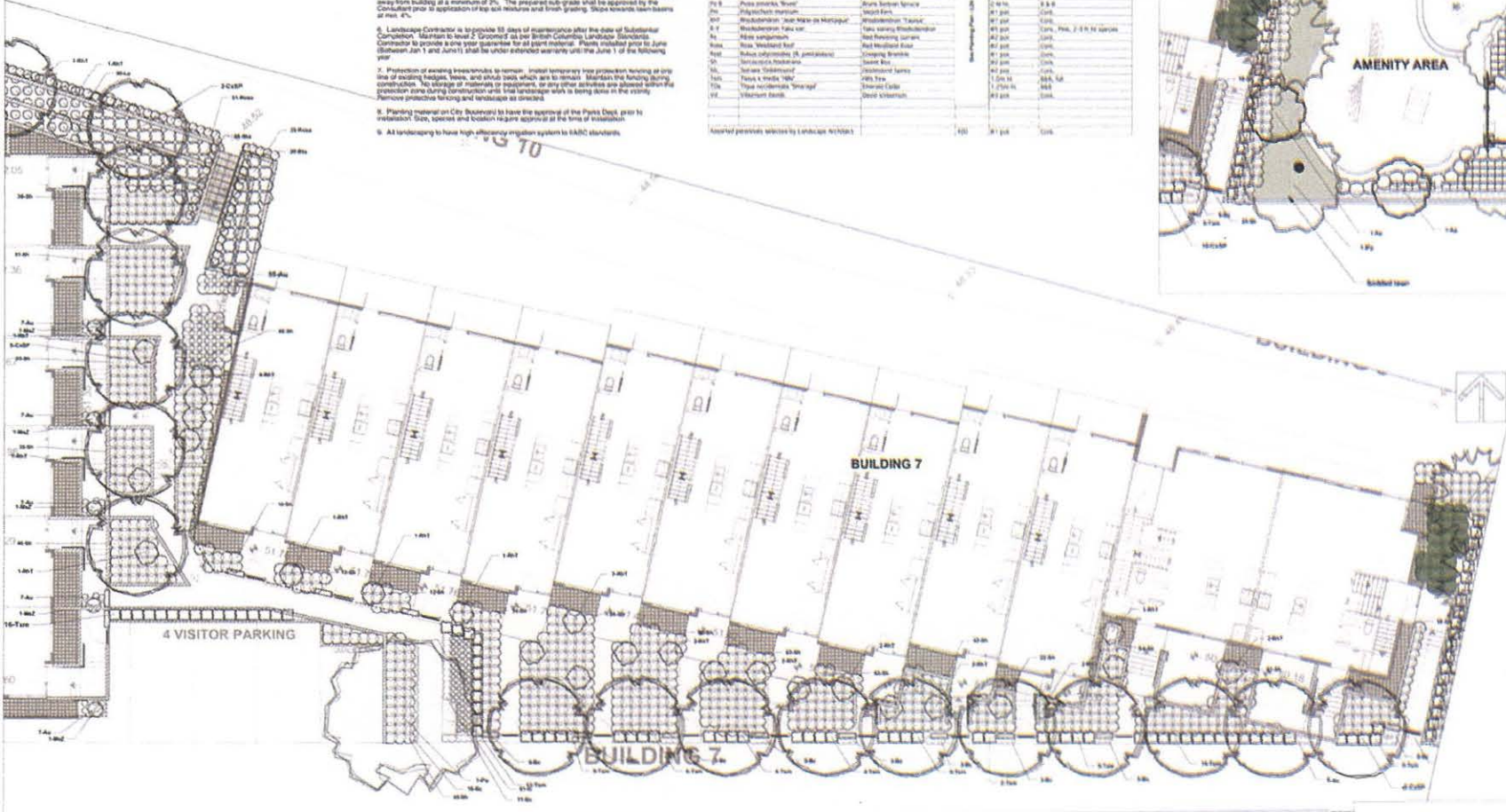
Project No:
L-2c

LANDSCAPE NOTES

1. Sizes on the planting plan shall be considered minimum sizes.
2. All landscape construction to meet the current edition of the British Columbia Landscape Standards as a minimal acceptable standard. Plant material to be submitted for the Landscape Consultant for nursery stock. Conduct search for rare material in Washington, Oregon, California, and B.C.
3. Final soils to be free of pernicious weeds.
4. Top soil reserved for the project shall be tested for pesticides, PH, and nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material types, or soil planting. Soil shall, from top down, be 12" to 18" loam level, 18" for shrub beds and ground cover plantings. Install 2 inches of composted organic mulch or 2 inch stone after planting and soil testing.
5. Provide tented grades away from buildings and landscaped lawn drains and catch basins. Slope away from building at a minimum of 2%. The proposed sub-grade shall be approved by the Consultant prior to approval of top soil resources and finish grading. Slope towards lawn basins at min. 4%.
6. Landscape Contractor is to provide 15 days of maintenance after the date of Substantial Completion. Materials to level 2. Grouted by per British Columbia Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (between Jan 1 and June) shall be under selected warranty until the June 1 of the following year.
7. Protection of existing trees to remain. Install temporary tree protection fencing at one line of existing hedges, trees, and shrub beds, which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until the landscape work is being done in the vicinity. Remove protective fencing and landscape as directed.
8. Planting material on City boulevard to have the toping of the Plant Deck prior to residential. Signs, screens and location require approval at the time of installation.
9. All landscaping to have high efficiency irrigation system to SASC standards.

PLANT LIST - TREES AND SHRUBS COVER

ID	Latin Name	Common Name	Quantity	Scheduled Date	Notes
10	Quercus agrifolia	Quercus	120	2014	
11	Juniperus horizontalis	Juniper	24	2014	
12	Juniperus horizontalis	Juniper	24	2014	
13	Juniperus horizontalis	Juniper	24	2014	
14	Juniperus horizontalis	Juniper	24	2014	
15	Juniperus horizontalis	Juniper	24	2014	
16	Juniperus horizontalis	Juniper	24	2014	
17	Juniperus horizontalis	Juniper	24	2014	
18	Juniperus horizontalis	Juniper	24	2014	
19	Juniperus horizontalis	Juniper	24	2014	
20	Juniperus horizontalis	Juniper	24	2014	
21	Juniperus horizontalis	Juniper	24	2014	
22	Juniperus horizontalis	Juniper	24	2014	
23	Juniperus horizontalis	Juniper	24	2014	
24	Juniperus horizontalis	Juniper	24	2014	
25	Juniperus horizontalis	Juniper	24	2014	
26	Juniperus horizontalis	Juniper	24	2014	
27	Juniperus horizontalis	Juniper	24	2014	
28	Juniperus horizontalis	Juniper	24	2014	
29	Juniperus horizontalis	Juniper	24	2014	
30	Juniperus horizontalis	Juniper	24	2014	
31	Juniperus horizontalis	Juniper	24	2014	
32	Juniperus horizontalis	Juniper	24	2014	
33	Juniperus horizontalis	Juniper	24	2014	
34	Juniperus horizontalis	Juniper	24	2014	
35	Juniperus horizontalis	Juniper	24	2014	
36	Juniperus horizontalis	Juniper	24	2014	
37	Juniperus horizontalis	Juniper	24	2014	
38	Juniperus horizontalis	Juniper	24	2014	
39	Juniperus horizontalis	Juniper	24	2014	
40	Juniperus horizontalis	Juniper	24	2014	
41	Juniperus horizontalis	Juniper	24	2014	
42	Juniperus horizontalis	Juniper	24	2014	
43	Juniperus horizontalis	Juniper	24	2014	
44	Juniperus horizontalis	Juniper	24 <td 2014		
45	Juniperus horizontalis	Juniper	24	2014	
46	Juniperus horizontalis	Juniper	24	2014	
47	Juniperus horizontalis	Juniper	24	2014	
48	Juniperus horizontalis	Juniper	24	2014	
49	Juniperus horizontalis	Juniper	24	2014	
50	Juniperus horizontalis	Juniper	24	2014	



Date	Description
June 18 2014	Response to DP Application
June 18 2014	For City Review (15/14)
June 18 2014	For Review/Printing
Dec 17 2015	Issue 01 - DP APPLICATION
Dec 11 2015	For Review
Oct 14 2015	For Review
Aug 19 2015	For Review

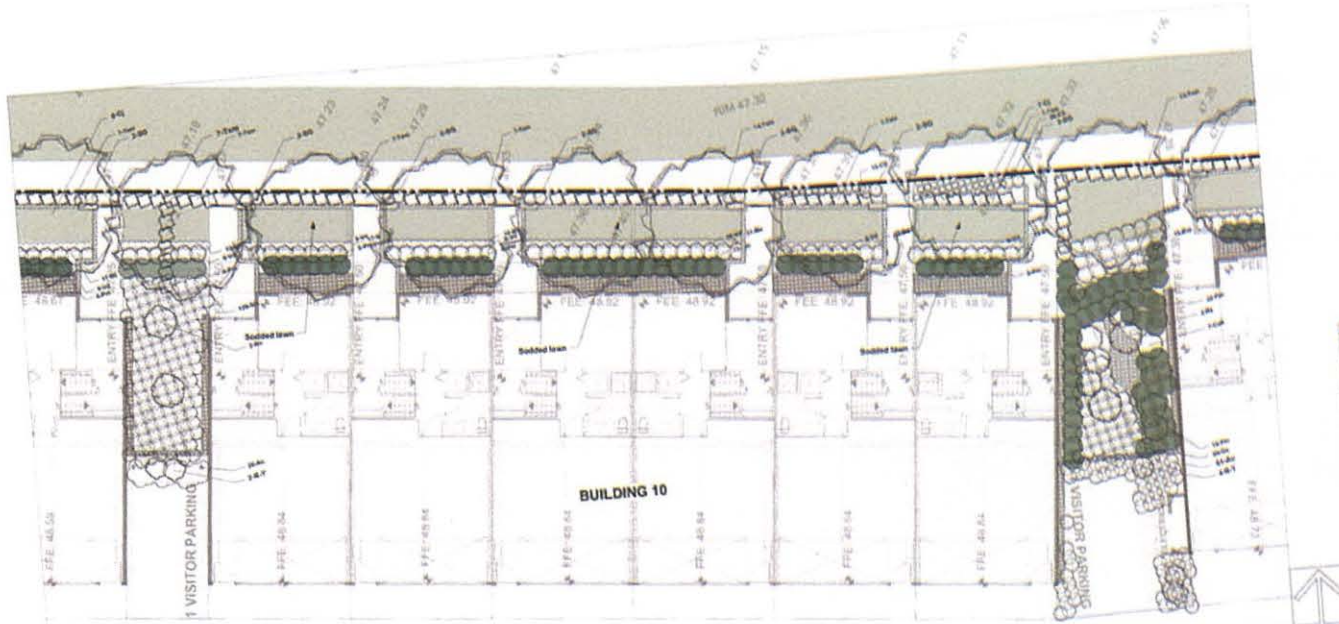
GREENWAY
 Urban Home Development
 Surrey, B.C.

Project:
Planting Plan -
Buildings 7, Amenity Area

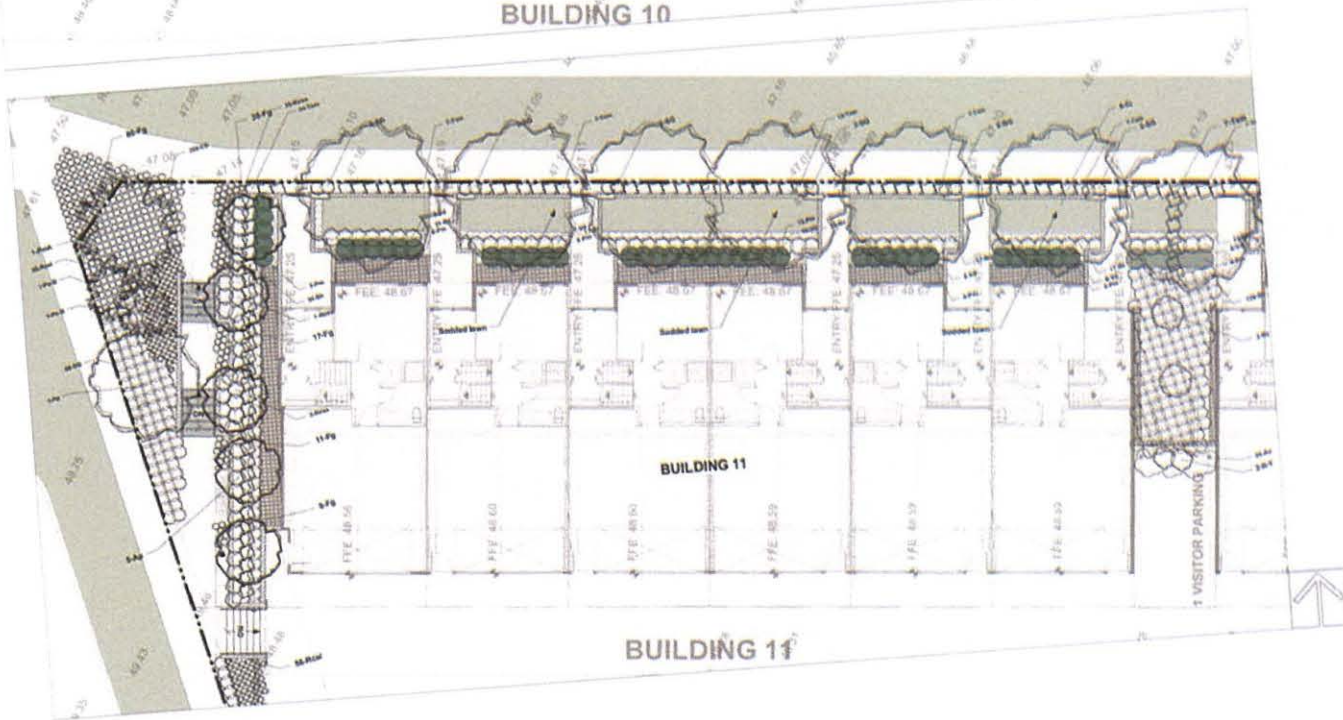
Scale:
 1:500

Date:
 July 2015

Sheet No:
L-2d



BUILDING 10



BUILDING 11

LANDSCAPE NOTES

1. Refer to the parking plan sheet for consistent naming conventions.
2. All landscape construction to meet the surface finish of the British Columbia landscape standards as a minimum standard. Erosion control for storm water management. Erosion control sheet is attached.
3. Refer to the site plan for parking areas.
4. Top soil requires for the ground shall be tested for organic matter, pH, and nutrient levels. Soil shall be amended and replaced with top soil. The top soil shall be tested for organic matter, pH, and nutrient levels. The top soil shall be tested for organic matter, pH, and nutrient levels. The top soil shall be tested for organic matter, pH, and nutrient levels.
5. Provide existing plants away from buildings and avoid landscaping adjacent to them. Place plants away from buildings and avoid landscaping adjacent to them. Place plants away from buildings and avoid landscaping adjacent to them.
6. Landscaping materials to be provided in place of maintenance when the site is landscaped. Landscaping materials to be provided in place of maintenance when the site is landscaped. Landscaping materials to be provided in place of maintenance when the site is landscaped.
7. Protection of existing trees shall be maintained. Existing trees shall be maintained. Existing trees shall be maintained.
8. Planting schedule on site shall be provided to the City of Surrey, prior to construction. Planting schedule on site shall be provided to the City of Surrey, prior to construction. Planting schedule on site shall be provided to the City of Surrey, prior to construction.
9. All landscaping to have high efficiency irrigation system for each landscape.

PLANT LIST - QUANTITIES AND DIMENSIONS	Species Name	Quantity	Installed Size	Notes
0	Latin Name			
1	Asplenium nidus	1	100	Plant
2	Asplenium nidus	1	100	Plant
3	Asplenium nidus	1	100	Plant
4	Asplenium nidus	1	100	Plant
5	Asplenium nidus	1	100	Plant
6	Asplenium nidus	1	100	Plant
7	Asplenium nidus	1	100	Plant
8	Asplenium nidus	1	100	Plant
9	Asplenium nidus	1	100	Plant
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35	Asplenium nidus	1	100	Plant
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55	Asplenium nidus	1	100	Plant
56	Asplenium nidus	1	100	Plant
57	Asplenium nidus	1	100	Plant
58	Asplenium nidus	1	100	Plant
59	Asplenium nidus	1	100	Plant
60	Asplenium nidus	1	100	Plant
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80	Asplenium nidus	1	100	Plant
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93	Asplenium nidus	1	100	Plant
94	Asplenium nidus	1	100	Plant
95	Asplenium nidus	1	100	Plant
96	Asplenium nidus	1	100	Plant
97	Asplenium nidus	1	100	Plant
98	Asplenium nidus	1	100	Plant
99	Asplenium nidus	1	100	Plant
100	Asplenium nidus	1	100	Plant

Jun 18 2010 Review for DP Application
 Jun 18 2010 For City Review in 15
 Jun 17 2010 For Review/Printing
 Jun 17 2010 Issue 01 - DP APPLICATION
 Oct 11 2010 For Review
 Oct 14 2010 For Review
 Aug 08 2010 For Review

JORDANIAN ENGINEERING
 1001-1002
 1001-1002
 1001-1002
 1001-1002

GREENWAY
 Townhouse Development
 Surrey, B.C.

Drawing Set
 L-1a Layout - Ground Level
 L-1b Layout - Accessory Area
 L-1c Layout - Roof Level
 L-1d Fencing - Ground Level
 L-1e Lighting Layout
 L-1f Layout - Corner Treatments

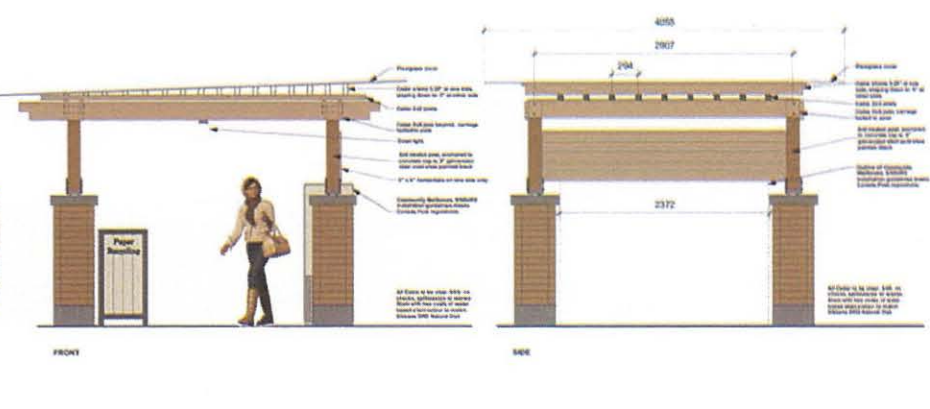
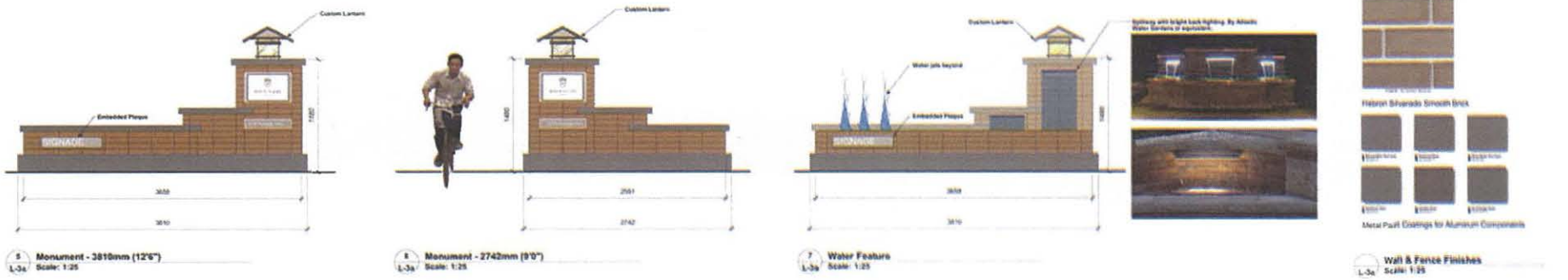
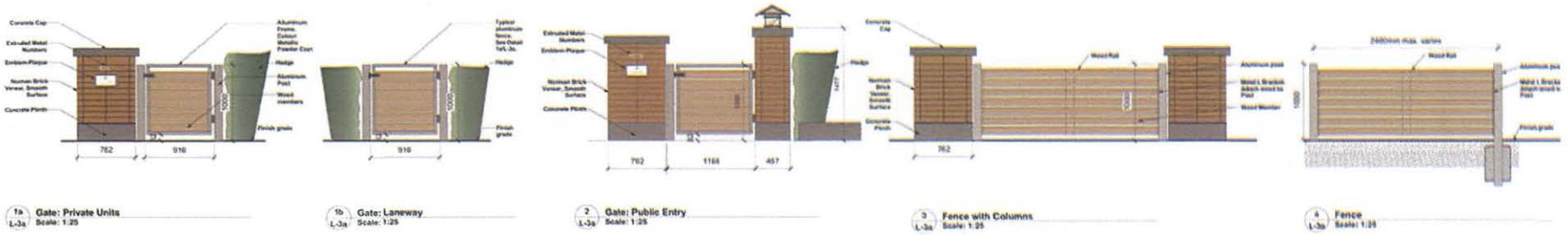
L-2a Planting - Trees
 L-2b Planting - Shrub 1, 2, 3
 L-2c Planting - Shrub 4, 5, 6
 L-2d Planting - Shrub 7, 8, 9
 L-2e Planting - Shrub 10, 11
 L-2f Planting - Shrub 12, 13

L-3a Details
 L-3b Details

Sheet No.
Planting Plan - Buildings 10, 11
 Scale
 1:100
 Date
 July 2010
 Drawn By
 JES

L-2f

NOTE: Interior entry to substitute Both Metal frame and Post with wood



8 Furniture
Scale: 1:25

9 Mailbox Enclosure
Scale: 1:25

June 18 2016	Permit for DP Application
June 18 2016	For City Review (L-1)
June 17 2016	For Review/Printing
June 17 2016	Issue 05 - DP APPLICATION
Oct 11 2015	For Review
Oct 14 2015	For Review
Aug 04 2015	For Review

Project: **GREENWAY**
Townhouse Development
Surrey, B.C.

Sheet No. **L-3a**

Author: [Name]

Scale: 1:25

Drawn: [Name]

Checked: [Name]

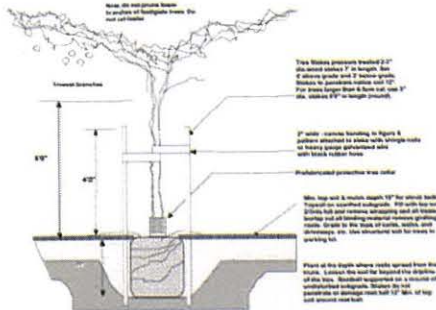
Project No. 2015-01

2015-01

Drawing Set

- L-1a Layout - Ground Level
- L-1b Layout - Amenity Area
- L-1c Layout - Road Level
- L-1d Fencing - Ground Level
- L-1e Lighting Layout
- L-1f Layout - Corner Treatments
- L-2a Planting - Trees
- L-2b Planting - Shrub 1,2,3
- L-2c Planting - Shrub 4,5,6
- L-2d Planting - Shrub 7, Amenity
- L-2e Planting - Shrub 8,9
- L-2f Planting - Shrub 10,11
- L-3a Details
- L-3b Details

L-3a



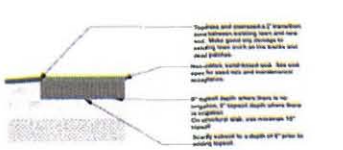
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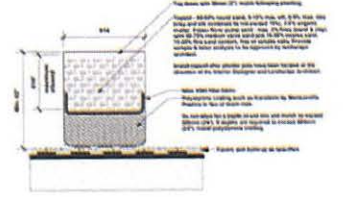
2 Shrub planting Scale: 1:25



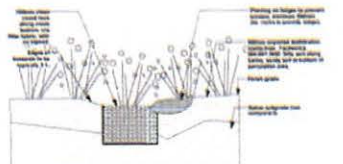
3 Planting on steep slopes Scale: 1:25



4 Sod installation Scale: 1:25



5 Soil installation in planters Scale: 1:25



6 Biofiltration swale Scale: 1:25



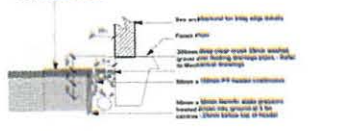
7 Concrete walkway Scale: 1:25



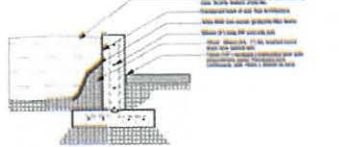
8 Concrete slab pavers on slab Scale: 1:25



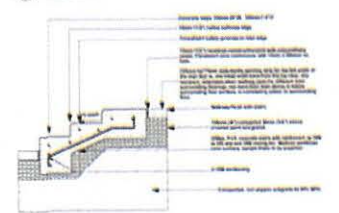
9 Concrete unit pavers Scale: 1:25



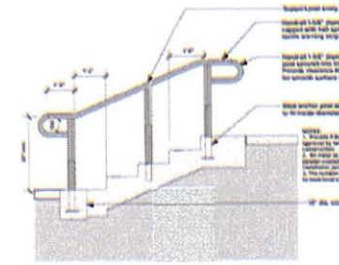
10 Gravel strip Scale: 1:25



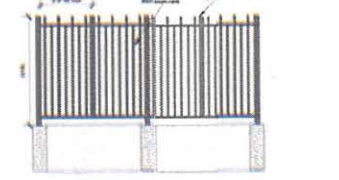
11 Retaining wall Scale: 1:25



12 PIP Concrete stairs Scale: 1:25



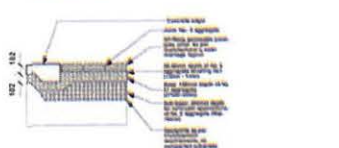
13 Handrail Scale: 1:25



14 Guardrail Scale: 1:25



15 Rubberized surfacing Scale: 1:25



16 Permeable paving in parking spots Scale: 1:25

Drawing Set

- L-1a Layout - Ground Level
- L-1b Layout - Amenity Area
- L-1c Layout - Road Level
- L-1d Parking - Ground Level
- L-1e Lighting Layout
- L-1f Layout - Corner Treatments
- L-2a Planting - Trees
- L-2b Planting - Shrubs 1,2,3
- L-2c Planting - Shrubs 4,5,6
- L-2d Planting - Shrub 7, Amenity
- L-2e Planting - Shrub 8,9
- L-2f Planting - Shrub 10,11
- L-3a Details
- L-3b Details

Jan 14 2016	Review for DP Application
Jan 15 2016	For City Review (L-10)
Jan 14 2016	For Review/Pricing
Dec 11 2015	Meet 03 - DP APPLICATION
Dec 11 2015	For Review
Dec 14 2015	For Review
Aug 06 2015	For Review

REVISED

ZHATHAN ENGINEERING
LANDSCAPE ARCHITECTS

1000 ...
1000 ...
1000 ...

Project: **GREENWAY**
Townhome Development
Surrey, B.C.

Drawn by: [Name]

Details

Date: July 2016

Project No: 2015-01

L-3b

INTER-OFFICE MEMO

**TO: Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: January 15, 2016
revised Jan 21 2016

PROJECT FILE: 7815-0244-00

**RE: Engineering Requirements (Residential)
Location: 2825 159 Street**

REZONE / DEVELOPMENT PERMIT

Construction of off-site works and preservicing were completed through Project 7811-0269-00. The site plan is to confirm use of the existing connections with building layout consideration for extension of the private services within the site.

At building permit the applicant will be required to:

- confirm that appropriate detention has been provided at the detention pond located at 15755 Mountain View Drive;
- provide detailed design of the accesses and the impact to the traffic patterns on the street and to the adjacent driveways; and
- obtain an Erosion & Sediment Control Permit for the on-site works.

DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Variance Permit.

R. Dubé
PD

Rémi Dubé, P.Eng.
Development Services Manager

KH



Friday, November 27, 2015
 Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 15 0244 00

SUMMARY

The proposed 67 townhouse units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	13
Secondary Students:	7

September 2015 Enrolment/School Capacity

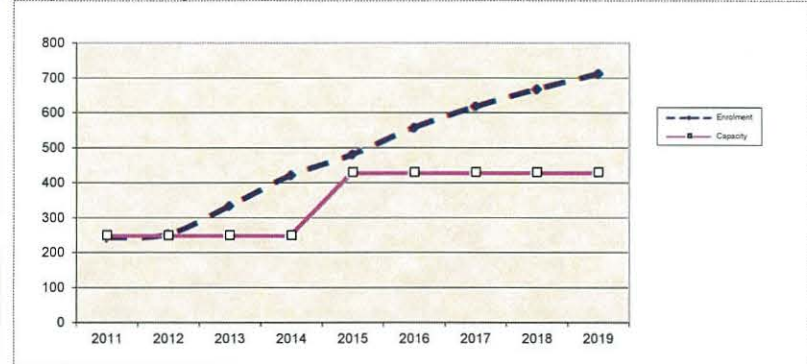
Sunnyside Elementary	
Enrolment (K/1-7):	77 K + 406
Capacity (K/1-7):	80 K + 350
Semiahmoo Secondary	
Enrolment (8-12):	1584
Nominal Capacity (8-12):	1300
Functional Capacity*(8-12):	1404

School Enrolment Projections and Planning Update:

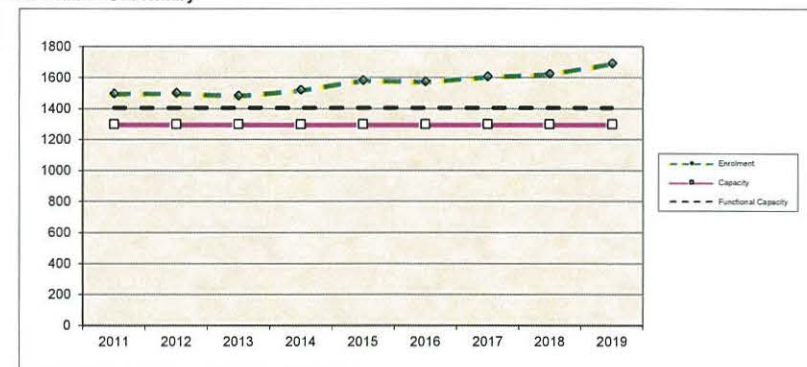
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Sunnyside Elementary was replaced on a new site and opened in September 2013, the school is now full as are area secondary schools. The school district has land for a new elementary school and secondary school in the Grandview Heights area. The District has the construction of both schools as a high priority in the district's Capital Plan that is submitted to the province for funding consideration. Until new elementary and secondary school capacity is available, the school district does not support development occurring at a higher density than outlined in approved NCPs.

Sunnyside Elementary



Semiahmoo Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 029-328-314
 Lot 8 Section 23 Township 1 Plan EPP39641

2825 - 159 Street

(hereinafter referred to as the "*Lands*")

2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium *density, ground-oriented multiple unit residential buildings* and related *amenity spaces*, which are to be developed in accordance with a *comprehensive design* where *density* bonus is provided.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. *Ground-oriented multiple unit residential buildings.*
2. *Child care centres*, provided that such centres:
 - (a) Do not constitute a singular use on the *lot*; and
 - (b) Do not exceed a total area of 3.0 square metres [32 sq.ft.] per *dwelling unit*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. The maximum *density* shall not exceed a *floor area ratio* of 0.1 or *unit density* of 2.5 *dwelling units per hectare* [1 upa]. The maximum *density* of development may be increased to that prescribed in section D.2 of this Zone if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.
2.
 - (a) The *floor area ratio* shall not exceed 0.94; and
 - (b) The *unit density* shall not exceed 57 *dwelling units per hectare* [23 upa].
3. The indoor *amenity space* required in Sub-section J.1 (b) of this Zone is excluded from the calculation of *floor area ratio*.

E. Lot Coverage

The *lot coverage* shall not exceed 39%.

F. Yards and Setbacks

Buildings and structures shall be sited in accordance with the following minimum *setbacks*:

Use	Setback	Front Yard (East)	Rear Yard (West)	Side Yard on Flanking Street (North)	Side Yard (South)
<i>Principal Buildings and Accessory Buildings and Structures</i>		4.5 m.* [15 ft.]	4.5 m.* [15 ft.]	4.5 m. [15 ft.]	5.0 m. [16.5 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

*Entrance vestibules on end units permitted to be set back 3.8 metres (12 feet).

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. Principal buildings: The *building height* shall not exceed 13 metres [43 ft.].
2. Accessory buildings and structures:
 - (a) *Indoor amenity space buildings*: The *building height* shall not exceed 11 metres [36 ft.]; and
 - (b) *Other accessory buildings and structures*: The *building height* shall not exceed 4.5 metres [15 ft.].

H. Off-Street Parking

1. Resident, visitor and employee *parking spaces* shall be provided as stated in Table C.6 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Parking within the required *setbacks* is not permitted.
3. All required resident *parking spaces* shall be provided as *parking within building envelope*.
4. *Tandem parking* is permitted, subject to the following:
 - (a) A maximum of fifty percent (47%) of all required resident *parking spaces* may be provided as *tandem parking spaces*.
 - (b) *Parking spaces* provided as *tandem parking* must be enclosed and attached to each *dwelling unit*;
 - (c) *Parking spaces* provided as *tandem parking* must be held by the same owner; and
 - (d) Access to *parking spaces* provided as *tandem parking* is not permitted within 6 metres [20 ft.] from *lot* entrances/exits.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping strip* of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.

3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping screen*, a solid decorative fence, or a combination thereof.

J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*, of which a maximum of 1.5 square metres [16 sq.ft.] per *dwelling unit* may be devoted to a *child care centre*.
2. *Child care centres* shall be located on the *lot* such that these centres:
 - (a) Are accessed from a *highway*, independent from the access to the residential uses permitted in Section B of this Zone; and
 - (b) Have direct access to an *open space* and play area within the *lot*.
3. *Balconies* or outdoor patios shall be a minimum of 5% of the *dwelling unit* or 4.6 square metres (50 sq.ft.) per *dwelling unit*, whichever is greater.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
1.10 hectare [2.70 acres]	48 metres [157 ft.]	150 metres [492 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-30 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2014, No. 18148, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-30 Zone.
9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.
11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.

3. This By-law shall be cited for all purposes as "Surrey Zoning Bylaw, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20 .

PASSED SECOND READING on the _____ th day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20 .

PASSED THIRD READING on the _____ th day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

MAYOR

CLERK

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