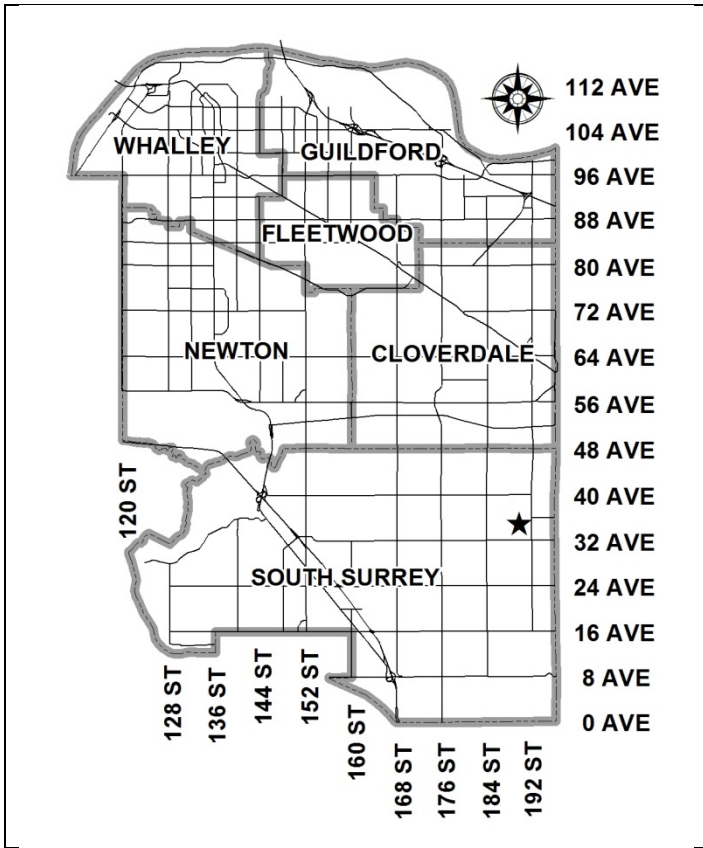


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7915-0239-00

Planning Report Date: November 2, 2015



**PROPOSAL:**

- **Development Permit**

to permit the construction of an industrial warehouse building with accessory office space

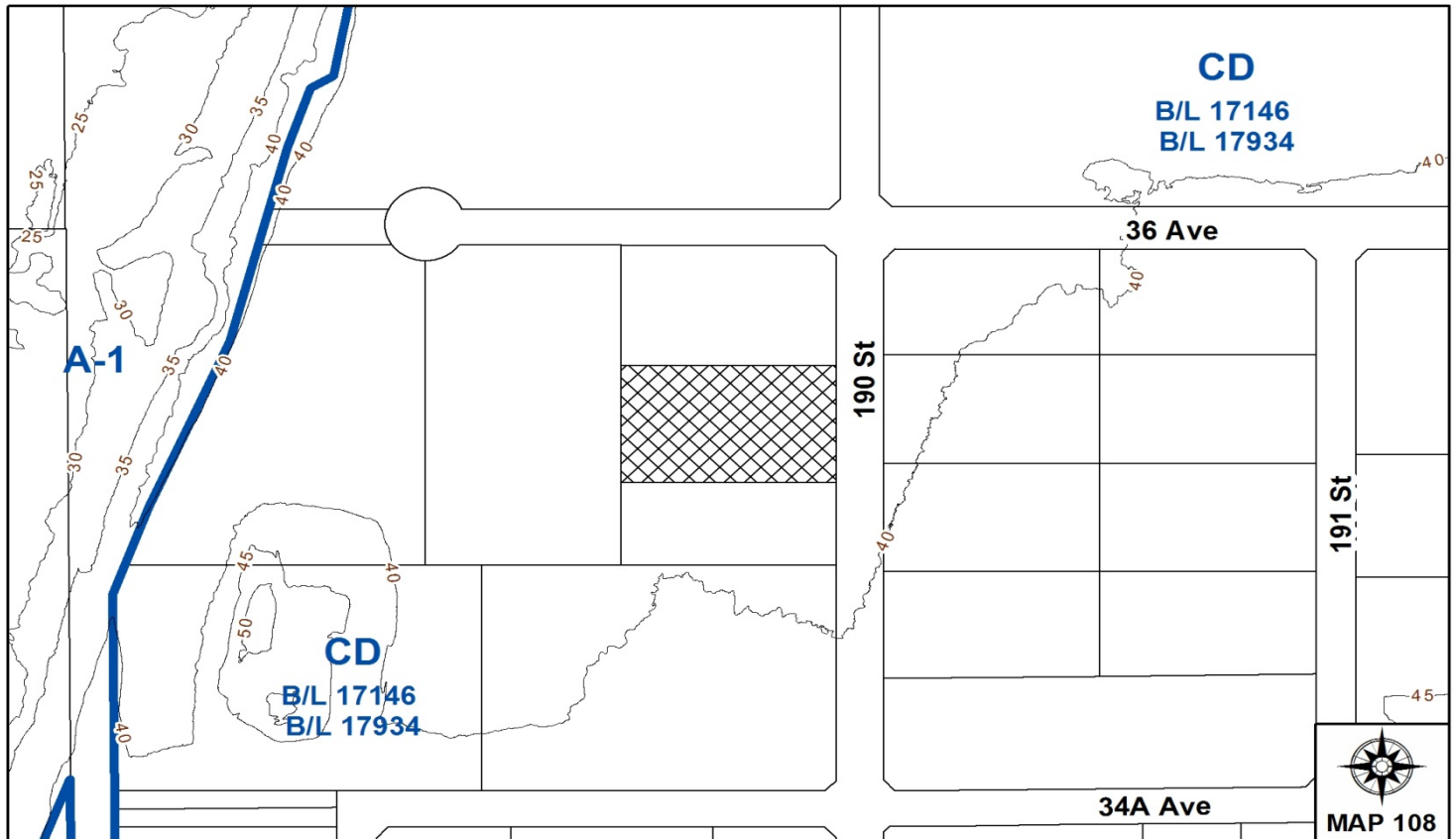
**LOCATION:** 3557 - 190 Street

**OWNER:** Aura Investments Ltd.

**ZONING:** CD (By-law Nos. 17146 & 17934)

**OCP DESIGNATION:** Mixed Employment

**LAP DESIGNATION:** Business Park



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- Complies with OCP Designation and the Campbell Heights Business Park Local Area Plan (LAP).
- The development is consistent with the Campbell Heights North Design Guidelines registered on the site.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7915-0239-00 generally in accordance with the attached drawings (Appendix II).
2. Council instruct staff to resolve the following issues prior to final approval:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
  - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the proposal. No Engineering servicing requirements are required for this project. (Appendix III).

SITE CHARACTERISTICS

Existing Land Use: Undeveloped pre-serviced industrial lands, devoid of trees and vegetation.

Adjacent Area:

Direction	Existing Use	OCP/LAP Designation	Existing Zone
North:	Vacant lot approved for a warehouse/light manufacturing facility under Development Application No. 7914-0328-00	Mixed Employment/ Business Park	CD (By-law Nos. 17146 & 17934)
East (Across 190 Street):	Undeveloped industrial land	Mixed Employment/ Business Park	CD (By-law Nos. 17146 & 17934)
South:	Vacant lot approved for an industrial building under Development Application No. 7914-0110-00	Mixed Employment/ Business Park	CD (By-law Nos. 17146 & 17934)
West:	Undeveloped industrial land	Mixed Employment/ Business Park	CD (By-law Nos. 17146 & 17934)

## DEVELOPMENT CONSIDERATIONS

### Background

- The subject property is located in the Campbell Heights North area within Phase III of the business park. The site fronts 190 Street, south of 36 Avenue. The site area measures approximately 0.72 hectares (1.78 acres).
- All of the Campbell Heights Phase III lands are designated “Mixed Employment” in the Official Community Plan (OCP), “Business Park” in the Campbell Heights Local Area Plan (LAP), and were zoned for “Comprehensive Development (CD)” under development application No. 7910-0032-00.
- The CD By-law (Nos. 17146 and 17934) governing the uses of the site, allows for light impact industry, warehouse uses, distribution centres, limited office and other accessory uses, forming part of a comprehensive design.
- The subject property was originally created under subdivision application No. 7912-0159-00 in October 2014. The property and surrounding properties are currently devoid of trees and vegetation.

### Proposal

- The applicant is applying for a Development Permit to regulate the form and character of a new industrial building consisting of three warehouse units with accessory office space.
- The proposal comprises of a building with a total floor area of 3,343.6 square metres (35,990 sq. ft.) representing a gross floor area ratio (FAR) of 0.47. The building consists of three units with a total of 2,316.6 square metres (24,936 sq. ft.) of warehouse space and 1,027 square metres (11,055 sq. ft.) of accessory office space over two storeys. The building will primarily be occupied by Tip Top Parts, a wholesaler of vacuum cleaner parts, as a distribution centre.
- It is anticipated that the new facility will employ approximately 35 staff.

### Site Layout and Design

- The main entry to the building will be the unit reserved for Tip Top Parts and articulated with a second storey balcony and screening wall. Each individual unit will have an entry located along 190 Street.
- Four truck loading bays are located at the rear of the building with one loading bay for smaller trucks on the south elevation of the building. The south loading bay will be screened by a 7.6 metre (25 ft.) high architectural wall in accordance with the requirements of the Zoning By-law. A 1.8 metre (6 ft.) high metal gate will also be provided for additional screening and security for the loading areas of the site.

- Parking for visitors will be located at the front of the building adjacent 190 Street, while staff parking will be distributed along the rear (west) and south side of the building. A total of 48 parking stalls, including 2 handicap stalls will be provided, meeting the Zoning By-law parking requirement.
- Pedestrian access to the site will be provided from 190 Street to three separate building entries for each tenant.

#### Design Proposal and Review

- The proposed building is generally consistent with the design guidelines outlined in the Campbell Heights North Design Guidelines and reflective of the standards within this area. The development concept behind Campbell Heights is a high quality, sustainable industrial business park.
- The proposed concrete tilt-up building will have a linear appearance with architectural emphasis on the corner (Tip Top Parts) unit. The front façade of the building will be articulated with black spandrel glazing and entry canopies to animate and add interest along the street. The building will be painted a light grey (“Pavestone”) colour and accented with a dark grey (“Peppercorn”) band across the second storey to add horizontal articulation to the building.
- The west and south elevations of the building will facilitate truck loading operations. In keeping with the Campbell Heights guidelines, the loading areas will be fully screened from the fronting street with an architectural wall.

#### Landscaping

- The landscaping for this site proposes 26 new trees (including autumn brilliance serviceberry, red jewel crabapple, and western red cedar), along with shrubs, groundcovers, and grasses to be planted on-site along the entry walkways, parking lot, and in the landscaping strips surrounding the front portion of the site. The intent of the proposed landscape is to introduce a variety of layered plantings to visually break up the scale of the building, screen parking, and enhance the presence of the site.
- The proposal will provide the full 6 metre (20 ft.) wide landscaping strip along 190 Street as per the Zoning By-law requirements. The landscape strip will incorporate a planted bioswale -complete with rain gardens, cobble channels, boulders and other vegetation, to treat storm water runoff and allow for on-site bio-filtration as required within Campbell Heights.
- The vehicular access to the site will be finished with broom finished concrete with saw cuts. On-site pathways (stamped concrete) will provide direct pedestrian connections between the street and the building. Bench seating will be provided for staff and visitors at the two entry walkways and in the staff amenity area.
- Bike racks will be provided at the main building entry in close proximity to pedestrian access points.

- A staff amenity area with benches will be provided on the south side of the site, directly across from the main building entry to the Tip Top Parts unit.
- The site's garbage area will be located in the rear yard and enclosed. The pad-mounted transformer (PMT) will be located within the south landscape strip. Both will be properly screened in keeping with the Campbell Heights design guidelines.

### PRE-NOTIFICATION

- A Development Proposal sign was posted on the site on September 21, 2015 and the proposal was referred to the Little Campbell Watershed Society (LCWS) for review and comment. To date, staff has received no comments from surrounding property owners regarding the proposal.

### SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on August 28, 2015. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>• The proposed development is consistent with the OCP and Campbell Heights Local Area Plan.</li> </ul>
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>• The proposed density is consistent with the existing zoning.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>• Rain water management design features including a bioswale, natural landscaping, and sediment control devices will be incorporated.</li> <li>• Recycling pickup will be made available.</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>• Pedestrian oriented infrastructure will be accommodated through available bicycle racks, lighting, shower and change facilities, preferential carpool parking, and entrance canopies.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>• N/A</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>• The building will be designed to implement the requirements of ASHRAE 90.1 standards as required by the current BC Building Code.</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>• Daylighting through the use of skylights will permit natural light.</li> </ul>

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- |               |   |
|---------------|---|
| Appendix I.   | Lot Owners, Action Summary and Project Data Sheets              |
| Appendix II.  | Site Plan, Building Elevations, Landscape Plans and Perspective |
| Appendix III. | Engineering Summary   |

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Andrew Baziuk Architect Inc. and C. Kavolinas & Associates Inc., respectively, dated September 2015.

*original signed by Ron Hintsche*

Jean Lamontagne  
General Manager  
Planning and Development

DH/dk

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KD 10/28/15 2:06 PM

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent:      Name:                      Bill Vendenberg  
                         Address:                      Great Canadian Holdings Ltd.  
                                                              20465 - Douglas Crescent, P.O. Box 68  
                                                              Langley, B.C. V3A 4B6  
  
                         Tel:                                      604-813-2219
  
2.      Properties involved in the Application
  - (a)      Civic Address:                      3557 - 190 Street
  
  - (b)      Civic Address:                      3557 - 190 Street  
                         Owner:                                      Aura Investments Ltd.  
                         PID:    029-430-348  
                         Lot 16 Section 28 Township 7 New Westminster District Plan EPP41342
  
3.      Summary of Actions for City Clerk's Office



# DEVELOPMENT DATA SHEET

Existing Zoning: CD (By-law No. 17146 & 17934)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		7,205 m <sup>2</sup>
Road Widening area		
Undevelopable area		
Net Total		7,205 m <sup>2</sup>
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	60%	39.1%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS ( in metres)		
Front - 190 Street	16.0 m	20.07 m
Rear	7.5 m	35.06 m
Side #1 (N)	7.5 m / 0.0 m	0.0 m
Side #2 (S)	7.5 m / 0.0 m	14.65 m
BUILDING HEIGHT (in metres/storeys)		
Principal	14 m	9.45 m
Accessory		
FLOOR AREA: Commercial		
Retail		
Office		1,027.0 m <sup>2</sup>
Total		1,027.0 m <sup>2</sup>
FLOOR AREA: Industrial		2,316.6 m <sup>2</sup>
TOTAL BUILDING FLOOR AREA		3,346.6 m <sup>2</sup>
PARKING (number of stalls)		
Commercial		
Industrial		48
Total Number of Parking Spaces		48
Number of disabled stalls		2
Number of small cars		12

Heritage Site	NO	Tree Survey/Assessment Provided	NO
---------------	----	---------------------------------	----

*\* If the development site consists of more than one lot, lot dimensions pertain to the entire site.*



ARCHITECTURAL DRAWING LIST & REVISIONS				
NO.	TITLE	REV#	REV. DATE	REV. DESCRIPTION
A1.1	COVER			
A2.1	SITE PLAN			
A2.2	SITE PLAN SECTIONS			
A3.1	SCREENING ELEVATIONS			
A3.2	GLAZING ELEVATIONS			
A3.3	PROPOSED BUILDING FACE ELEVATIONS			
A4.1	ROOM & AREA CALCULATIONS			
A5.1	BASE FLOOR PLAN			
A5.2	TIP TOP OFFICE FLOOR PLANS			
A5.3	BASE OFFICE FLOOR PLANS			
A5.4	UPPER FLOOR PLAN			
A5.5	ROOF PLAN			
A6.1	LIFTING PLAN			
A6.1	BUILDING SECTIONS			
A6.2	SECTIONS & DETAILS			
A7.1	SOLAR STUDY			
A8.1	NO TRADE			
A8.2	LIGHTING RENDERINGS			
A9.1	LOOR REVIEW			
ATS.1	ARCHITECTURAL SCHEDULES			

**AURA INVESTMENTS LTD.**

**CAMPBELL HEIGHTS WAREHOUSE - SURREY, BC**

**KERKHOFF ENGINEERING LTD.**

NO.	DATE	BY	DESCRIPTION
1	08/11/2015	AB	ISSUED FOR DEVELOPMENT PERMIT
2	09/22/2015	AB	REVISED FOR DEVELOPMENT PERMIT



THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF ANDREW BAZUK ARCHITECT LTD. AND MAY NOT BE REPRODUCED WITHOUT PERMISSION AND UNLESS THE REPRODUCTION CARRIES THEIR NAME. ALL DESIGNS AND OTHER INFORMATION SHOWN ON THIS DRAWING ARE FOR USE ON THE SPECIFIED PROJECT ONLY AND SHALL NOT BE USED OTHERWISE WITHOUT WRITTEN PERMISSION OF THIS OFFICE.

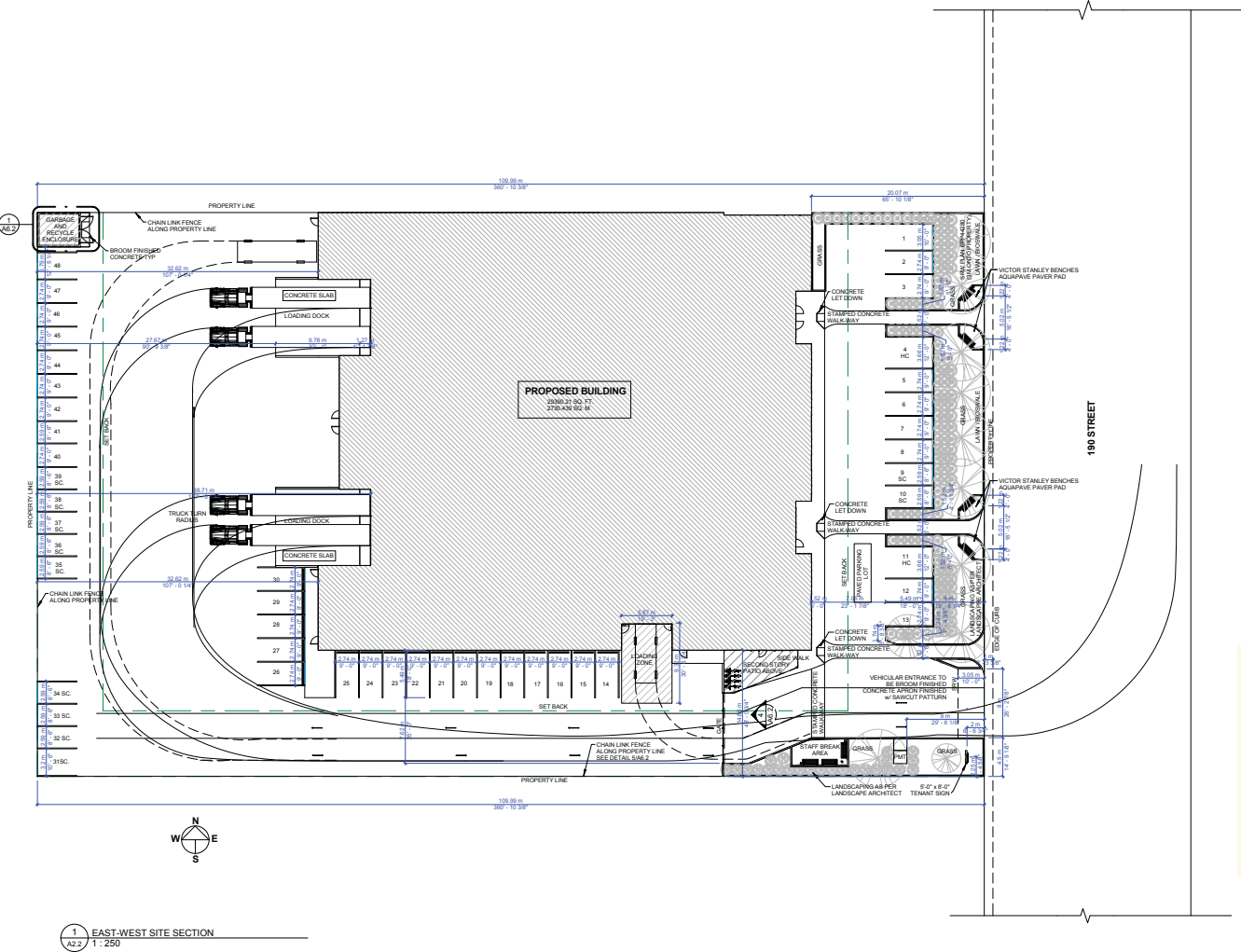
CLIENT: AURA INVESTMENTS LTD.

ADDRESS: CAMPBELL HEIGHTS WAREHOUSE 3557-190th STREET SURREY, BC

TITLE: SITE PLAN

DRAWN BY: CO  
 CHECKED BY: AB  
 SCALE: AS NOTED  
 DATE: SEPTEMBER 22, 2015  
 SHEET NO: A2.1  
 DATE PRINTED: 9/30/2015 3:13:06 PM

ISSUED FOR DEVELOPMENT PERMIT



1 EAST-WEST SITE SECTION  
 A2.2 1:250

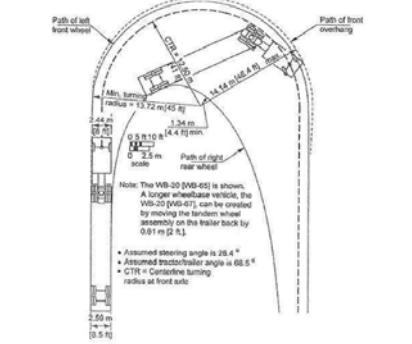
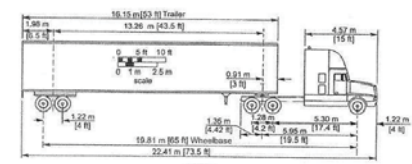
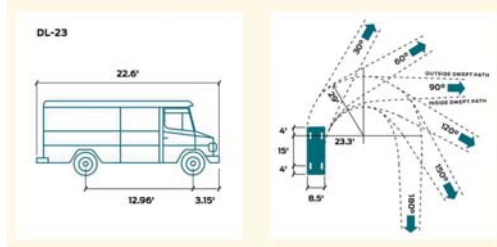


Exhibit B-16. Minimum Turning Path for Interstate Semitrailer (WB-20 [WB-65 and WB-67] Design Vehicle)



ISSUE:	NO. 1	DATE:	NOV 12 2015
NO. 2	NO. 3	NO. 4	NO. 5
NO. 6	NO. 7	NO. 8	NO. 9
NO. 10	NO. 11	NO. 12	NO. 13
NO. 14	NO. 15	NO. 16	NO. 17
NO. 18	NO. 19	NO. 20	NO. 21
NO. 22	NO. 23	NO. 24	NO. 25

andrew bazuk  
Architect  
Inc.  
Box 29, Harrison Hot Springs, BC V0M 1K0  
782-923-5201 or 604-796-1120

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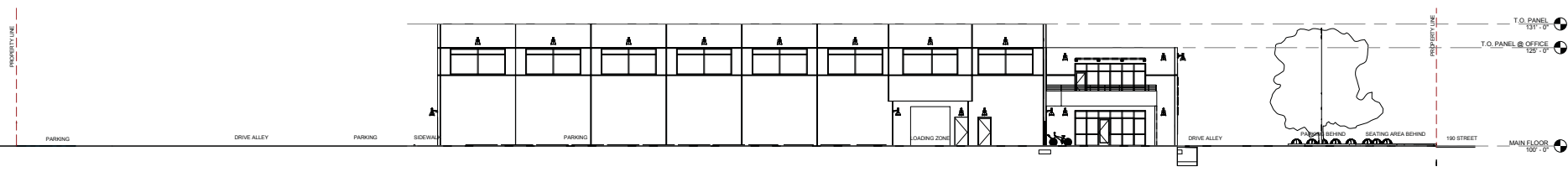
CLIENT:  
AURA INVESTMENTS LTD.

ADDRESS:  
CAMPBELL HEIGHTS WAREHOUSE  
3557-190TH STREET  
SURREY, BC

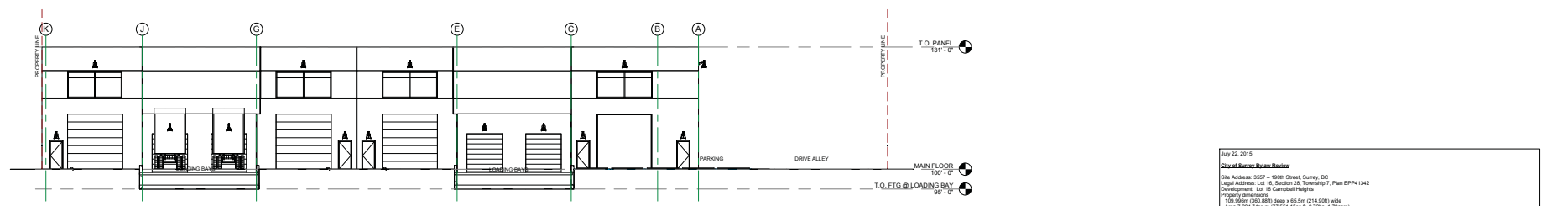
TITLE:  
SITE PLAN SECTIONS

DRAWN BY: CO  
CHECKED BY: AB  
SCALE: AS NOTED  
DATE: SEPTEMBER 22, 2015  
SHEET NO: A2.2

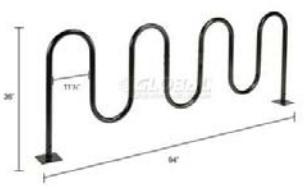
ISSUED FOR DEVELOPMENT PERMIT



2 SITE SECTION EAST-WEST  
1 : 150



1 SITE SECTION NORTH-SOUTH  
1 : 150



Product Specifications	
LENGTH INCHES	54 (204.76 cm)
HEIGHT INCHES	36 (91.44 cm)
COLOR FINISH	Black
A SERIES	Unfinished
BRAND	Corus Industrial
CONSTRUCTION	12-Gauge Steel
MOUNT TYPE	Flange for Existing Concrete
TUBE DIAMETER INCHES	1-5/8 (4.13 cm)
TYPE	9-824 1/2" x 1/2"
WEIGHT LBS.	42 (18.8 kg)

City of Surrey Zoning Bylaw Review  
Zoning: CD (Comprehensive Development Zone)  
6. Permitted uses: The proposed building will be used as a warehouse/retail centre and an associated office area.  
6. Lot Coverage: Shall not exceed 60%  
Lot 10 = 0.72ha (1.78 ac)  
SRM Plan EPP42420

F. Yards and setbacks  
Front yard setback: 10m/32'  
As per lot line property front of the building setback may not be reduced  
Side yard setback: 7.5m/25'  
Side yard setback: 7.5m/25'  
One side yard setback shall be 7.5m or 0.6m if the said side yard abuts land which is commercial or industrial...our building complies with this requirement.  
Six year farming setback: does not apply  
G. Height of Buildings  
The height of buildings shall not exceed 6m/20'  
H. Off-street Parking and Loading/Unloading: Refer to Table C3 of Part 5 zoning bylaw 1992, NO. 15000

1. Landscaping:  
2. Along the developed sides of the lot which abut at highways other than a major road, a continuous landscaping strip of not less than 1.5m/5' shall be provided with the lot.  
3. A continuous landscaping strip of not less than 1.5m/5' shall be provided along all side lines between a highway and 3.0m/10' back from the front face of the closest principal building fronting a highway.  
4. Landscaping, garbage containers and debris recycling containers shall be screened to a height of at least 2.0m/6' by buildings, landscaping screens, a solid decorative fence, or a combination thereof.  
5. See site entry driveway?? To be confirmed  
6. Special Requirements:  
7. Landscaping areas shall not be located within any required front setback or flanking wheel setback.  
8.2 Sign Areas:  
Site access must not be located within 3.5m of the site property line (a single point of entry to individual sites is preferred).

4.3 On-site circulation  
Parking lots and driveways shall be designed so as to minimize conflicts between vehicles and pedestrians.  
On-track turning movements must be accommodated on site.  
Driveways shall be provided to pedestrian movements to and from entrances, connecting to parking areas and public sidewalks.  
4.4 Parking requirements  
Parking spaces at the end of the row shall be provided from turning movements of other vehicles by a setback landscaped area with a minimum of 1.5m width.  
Parking for persons with disabilities shall be located near building entrances, preferably adjacent to a landscaped area.  
All garbage bins shall be provided close to building entrances in a 15' x 6' opening space shall be provided with asphalt, or concrete and graded and drained so as to properly dispose of all surface water.  
Table C.3 Parking Requirements for Industrial Uses  
Light Impact Industrial Uses 1 parking space for every 100sq m/1,075sq ft of floor area.  
4.5 Parking dimensions and standards:  
For 90 degree parking requires 9.0m wide stall + 1.8m deep stall with a 228 stall width.  
For a parking space adjacent to a wall of a stall and side in a parking facility provide an additional 0.3m/1' to ease vehicle maneuverability. The length of a parking space may be reduced to a minimum of 4.3m/16' for an amount 20% of the required parking spaces, provided each space is 4.3m wide.

4.6 Additional Parking Requirements  
1. Parking for Persons with Disabilities  
(a) Where more than 50 parking spaces provided, require 1:100 ratio. Our building does not meet this requirement, but (2) stalls have been provided.  
Disability stalls shall be 3.7m/12' wide, located close to entrance and clearly identified.  
2. All parking areas shall be surfaced with asphalt, concrete or similar pavement.  
3. For 90degree parking angle on a 9m wide stall, the minimum aisle width shall be no less than 228 for a two way traffic direction.  
4.3 A maximum of 25% of the stalls may be reduced to 188 in length provided that each parking space with the reduced length is clearly identified with the words "Short Car Only".  
4.4 Table C.3 Parking Requirements for Industrial Uses  
Warehouse 24,936 sq ft/1,075 = 23 stalls  
Main floor office 2,415 sq ft/107.5 sq ft = 15 stalls  
Upper floor office 5,659 sq ft/107.5 sq ft = 10 stalls  
Total required = 48 stalls  
Parking stalls provided:  
Regular stalls (9m/18ft) = 34  
Small stall (8.5ft/18ft) = 12  
Total stalls provided = 46

4.5 Driveway for Driveway with Disabilities  
If there are disabled persons in a building, where more than 50 parking spaces are provided, parking spaces for persons with disabilities shall be provided in the ratio of 1 for every 100 or part thereof. Parking provisions shall be required to conform to British Columbia Building Code 1994, as amended, and shall:  
1. be at least 2.7m (9 ft) wide.  
2. have flat, also related and level surface.  
3. be located on a firm, stable, and non-slip surface conforming to British Columbia Building Code 1994 as amended, and  
4. be clearly identified as being for the use of persons with disabilities.  
4.6 Requirement of covered loading spaces  
All industrial buildings that provide an off-street loading bay adjacent to each residential floor of the building where to be covered loading bay adjacent to the adjoining and receiving docks or main entry doors of the building. Each loading space must be clearly marked for the exclusive use of loading vehicles.  
1.7 The loading space shall have a width of 128, length of 308 and vertical clearance of 108. Manoeuvring aisle shall have a width of 228, and vertical clearance of 158. Where aisle is not a wall or fence of width

July 22, 2015  
City of Surrey Zoning Bylaw Review  
Site Address: 3557 - 190th Street, Surrey, BC  
Legal Address: L4 B, Section 26, Township 7, Plan EPP41542  
Development: L4 B Commercial  
Property dimensions:  
100' (30.48m) x 150' (45.72m) x 150' (45.72m) x 150' (45.72m)  
Area: 7,204.76sq m (17,251.15sq ft, 3.78ac)  
Zoning: CD (Comprehensive Development Zone)  
Covering bylaws: BL 1746, BL 1734, 12774  
Building construction: The building is to be non-combustible, sprinklered construction consisting of a membrane roof of galvanized steel and steel open webbed roof trusses. All exterior walls will be set up concrete with accent reveals and finish in stone.  
2.0 Property Owner  
Aura Investments Ltd.  
201 Courtenay

1.9 By-Law 1746 Summary

3.1 Permitted uses: This building will be used as a warehouse in the rear, and a two story office in the front facing the street.

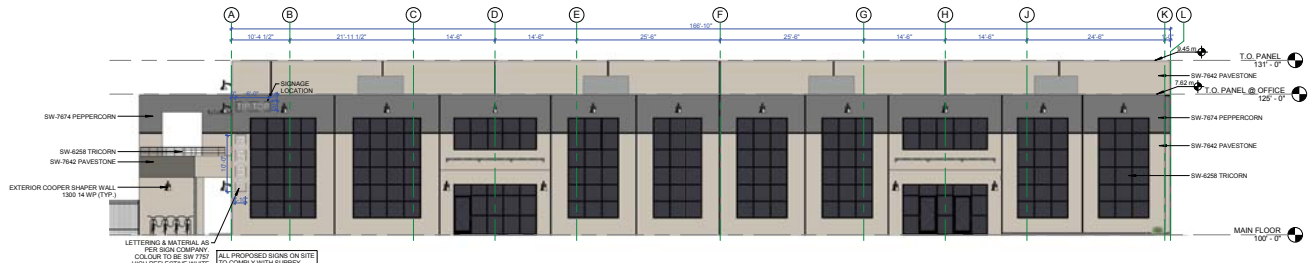
3.2 Density: Floor area ratio shall not exceed 1.0  
Building area:  
1861 Floor  
Warehouse (covered loading bays included)  
15,208 sq ft  
Total area: 5,840 sq ft  
Total warehouse: 24,936 sq ft (2,316 sq m)  
To top: 2,815 sq ft  
To bottom: 1,500 sq ft  
Total main floor office: 6,415 sq ft (593.7 sq m)  
Total main floor building area = 30,351 sq ft (2,819.7 sq m)

3.2 Second floor office area:  
To top: 2,815 sq ft  
To bottom: 1,500 sq ft  
Total second floor office: 6,839 sq ft (633.8 sq m)  
Total building area: 36,800 sq ft (3,418 sq m)  
Floor area ratio: 3.333 (3.333 x 100%) = 4.1% (Building complies as less than 1.0)  
3.3 Lot Coverage: Shall not exceed 60%  
Lot coverage: 2,815 sq ft/24,936 sq ft = 11.3% (Building complies as less than 1.0)  
3.4. Name and address:  
Principal Buildings and structures:  
- Warehouse: 24,936 sq ft (2,316 sq m)  
- Main floor office: 2,415 sq ft (223.0 sq m)  
- Upper floor office: 5,659 sq ft (521.4 sq m)  
3.5. Height of Buildings: Our building is 31'-0" from grade to maximum parapet height, and therefore is in conformance with the 34m (428) limitation.  
3.6. Landscaping:  
All developed portions of the lot not covered by buildings, structures or paved areas shall be landscaped including the retention of mature trees. The landscaping shall be maintained.  
Along the developed sides of the lot which abut 190th street (named or named road), a continuous landscaping strip of not less than 6.0m (20ft) in width shall be provided within the lot.  
Landscaping areas, garbage containers shall be screened to a height of at least 2.0meters (6ft) by buildings, a landscaping screen, a solid decorative fence, or a combination thereof.

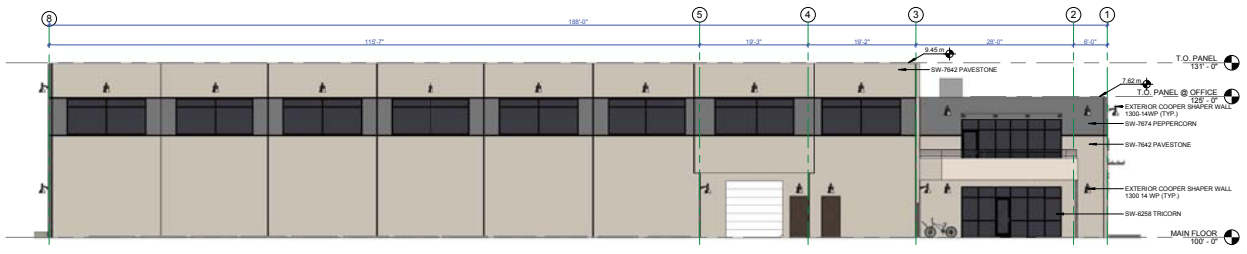
4.8 Parking  
4.1 All parking areas shall be surfaced with asphalt, concrete or similar pavement.  
4.2 For 90degree parking angle on a 9m wide stall, the minimum aisle width shall be no less than 228 for a two way traffic direction.  
4.3 A maximum of 25% of the stalls may be reduced to 188 in length provided that each parking space with the reduced length is clearly identified with the words "Short Car Only".  
4.4 Table C.3 Parking Requirements for Industrial Uses  
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4.5 Driveway for Driveway with Disabilities  
If there are disabled persons in a building, where more than 50 parking spaces are provided, parking spaces for persons with disabilities shall be provided in the ratio of 1 for every 100 or part thereof. Parking provisions shall be required to conform to British Columbia Building Code 1994, as amended, and shall:  
1. be at least 2.7m (9 ft) wide.  
2. have flat, also related and level surface.  
3. be located on a firm, stable, and non-slip surface conforming to British Columbia Building Code 1994 as amended, and  
4. be clearly identified as being for the use of persons with disabilities.  
4.6 Requirement of covered loading spaces  
All industrial buildings that provide an off-street loading bay adjacent to each residential floor of the building where to be covered loading bay adjacent to the adjoining and receiving docks or main entry doors of the building. Each loading space must be clearly marked for the exclusive use of loading vehicles.  
1.7 The loading space shall have a width of 128, length of 308 and vertical clearance of 108. Manoeuvring aisle shall have a width of 228, and vertical clearance of 158. Where aisle is not a wall or fence of width

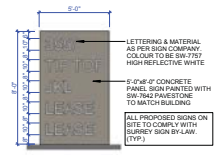
ISSUES:	NO. 1	DATE	DESCRIPTION
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2	10/20/2015	15-030	ISSUED FOR DEVELOPMENT PERMIT



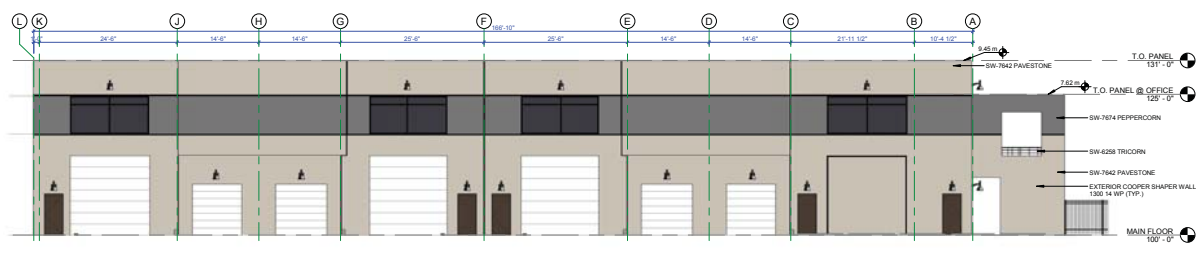
4 BUILDING ELEVATION - EAST  
1:75



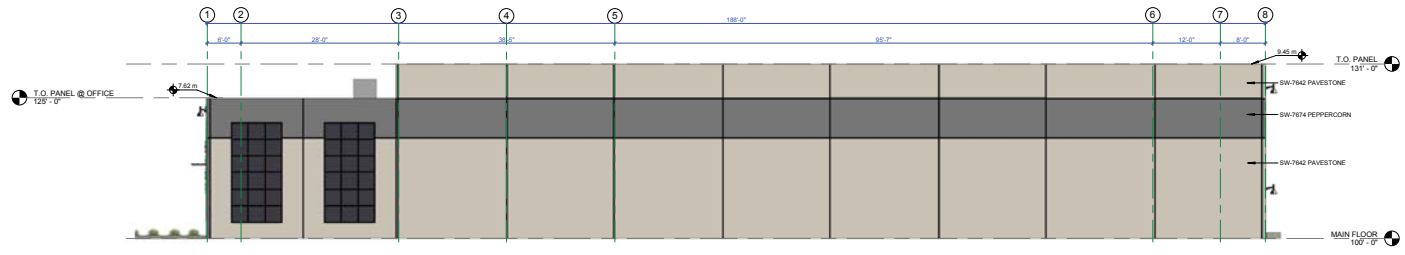
1 BUILDING ELEVATION - SOUTH  
A5.1 1:125



5 TENANT SIGN ELEVATION  
1:50



2 BUILDING ELEVATION - WEST  
A5.1 1:125



3 BUILDING ELEVATION - NORTH  
A5.1 1:125



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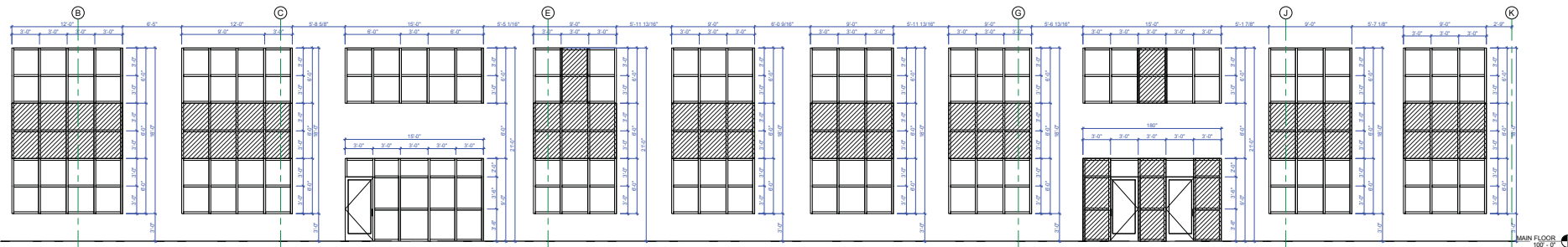
CLIENT:  
AURA INVESTMENTS LTD.

ADDRESS:  
CAMPBELL HEIGHTS WAREHOUSE  
3557-190th STREET  
SURREY, BC

TITLE:  
BUILDING ELEVATIONS

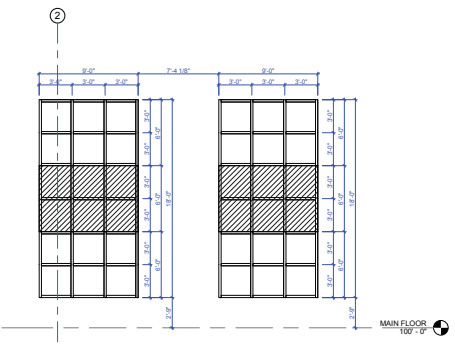
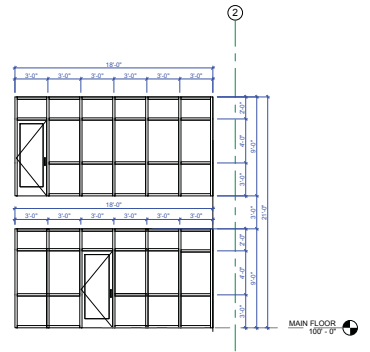
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CHECKED BY: AB  
SCALE: AS NOTED  
DATE: SEPTEMBER 22, 2015  
SHEET NO: A3.1  
DATE PRINTED: 9/30/2015 3:13:28 PM

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HATCHED AREA DENOTES SPANDEL GLASS

1 GLAZING ELEVATION GRID 1  
3/16" = 1'-0"



2 GLAZING ELEVATION GRID B  
3/16" = 1'-0"

3 GLAZING ELEVATION GRID L  
3/16" = 1'-0"

NO.	DATE	BY	DESCRIPTION
1	09/22/2015	AB	ISSUED FOR DEVELOPMENT PERMIT
2	09/22/2015	AB	ISSUED FOR DEVELOPMENT PERMIT

**andrew bazuk Architect Ltd.**  
 Box 29, Harrison Hot Springs, BC V0M 1K0  
 780-803-5201 or 604-796-1120

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ADDRESS:  
**CAMPBELL HEIGHTS WAREHOUSE  
 3557-190th STREET  
 SURREY, BC**

TITLE:  
**GLAZING ELEVATIONS**

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 SCALE: **AS NOTED**  
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 SHEET NO: **A3.2**

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2	2015.09.22	AB	ISSUED FOR DEVELOPMENT PERMIT



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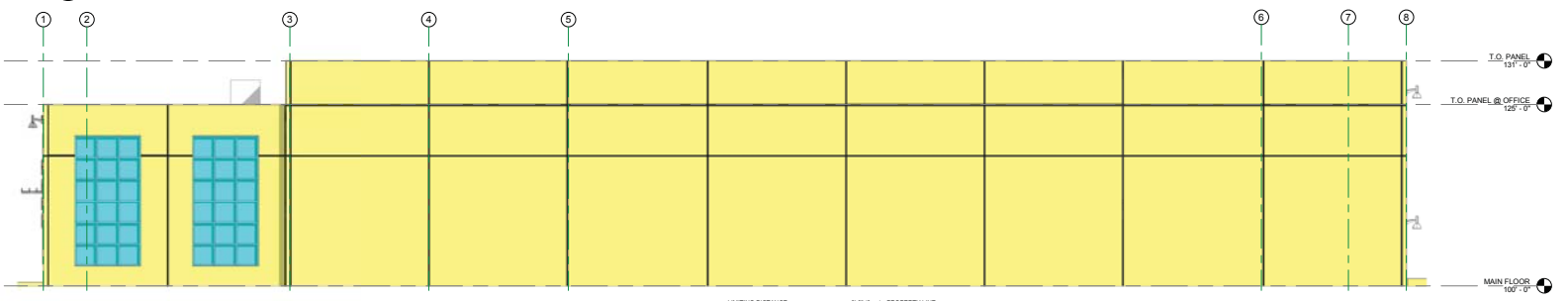
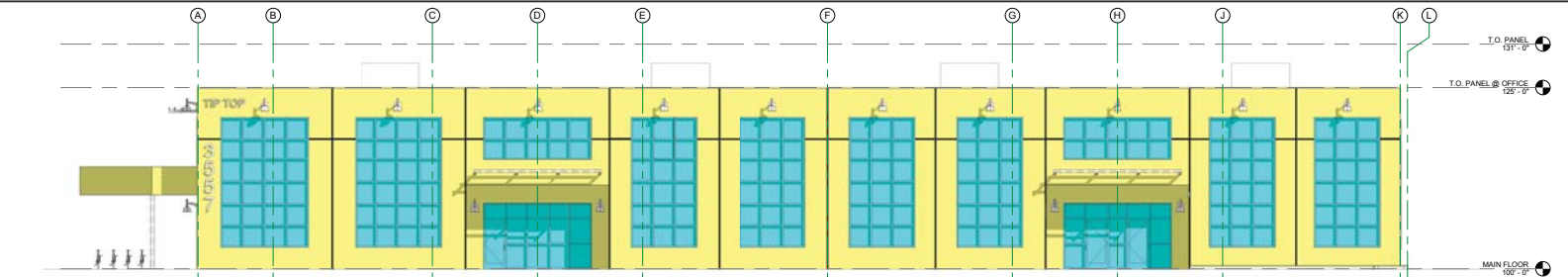
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3557-190th STREET  
SURREY, BC

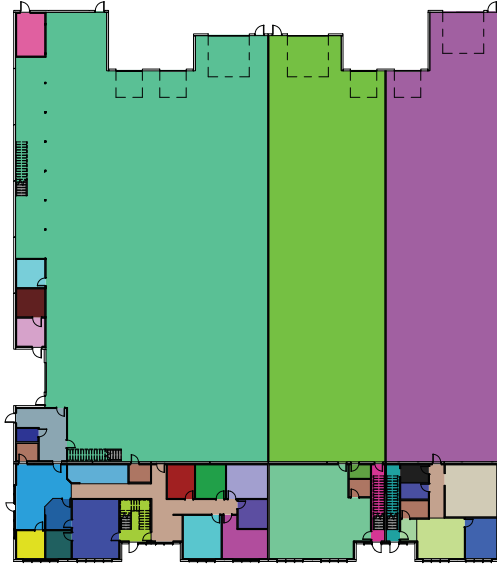
TITLE: EXPOSED BUILDING FACE ELEVATIONS

DRAWN BY: CO  
CHECKED BY: AB  
SCALE: AS NOTED  
DATE: SEPTEMBER 22, 2015

SHEET NO: A3.3  
DATE PRINTED: 9/30/2015 3:13:49 PM

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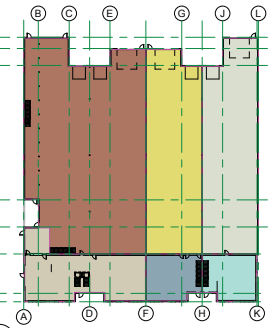


**ROOM AREA LEGEND**

[Light Blue]	CUSTOMER PICKUP AREA	[Yellow]	MEETING ROOM
[Light Blue]	DISPLAY AREA	[Blue]	OFFICE
[Light Blue]	DISPLAY ROOM	[Dark Blue]	OFFICE #1
[Pink]	ELEC.	[Cyan]	OFFICE #2
[Brown]	HIC	[Purple]	OFFICE #3
[Brown]	HALLWAY	[Purple]	OFFICE #4
[Green]	JAN.	[Purple]	OFFICE #5
[Blue]	JAN.	[Green]	OFFICE #6
[Black]	JANITOR / STORAGE ROOM	[Red]	OFFICE #7
[Light Green]	JKL GENERAL OFFICE	[Blue]	RECEPTION
[Cyan]	JKL STAIR	[Blue]	RECEPTION DESK
[Brown]	JKL STAIR WELL	[Blue]	SALES OFFICE
[Purple]	JKL WAREHOUSE	[Light Green]	SEATING AREA
[Blue]	KITCHEN	[Light Green]	TIP TOP STAIR WELL
[Pink]	LEASE UNIT STAIR	[Light Green]	TIP TOP WAREHOUSE
[Green]	LEASE UNIT STAIR WELL	[Light Green]	UNIT 3
[Green]	LEASE UNIT WAREHOUSE	[Pink]	UTILITY
[Brown]	MECH.	[Light Blue]	WAREHOUSE MANAGER OFFICE

**1 MAIN FLOOR ROOM AREA PLAN**  
A2.2 1" = 20'-0"

#	RM NAME	LEVEL	PERIMETER	AREA	FLOOR FINISH	FLOOR FINISH COLOUR	WALL FINISH	WALL FINISH COLOUR	CEILING FINISH	CEILING FINISH COLOUR	COMMENTS
4	TIP TOP WAREHOUSE	MAIN FLOOR	588'-0"	13347 SF							
5	UNIT 1	MAIN FLOOR	135'-8 1/2"	384 SF							
6	JKL GENERAL OFFICE	MAIN FLOOR	59'-11 1/2"	220 SF							
7	DISPLAY AREA	MAIN FLOOR	59'-2 1/2"	151 SF							
8	LEASE UNIT WAREHOUSE	MAIN FLOOR	378'-2"	5581 SF							
9	JKL WAREHOUSE	MAIN FLOOR	284'-11 1/2"	5311 SF							
10	CUSTOMER PICKUP AREA	MAIN FLOOR	60'-5 1/2"	214 SF							
11	DISPLAY ROOM	MAIN FLOOR	70'-11 1/2"	244 SF							
14	KITCHEN	MAIN FLOOR	22'-11 1/2"	62 SF							
15	HALLWAY	MAIN FLOOR	48'-4 1/2"	95 SF							
16	OFFICE	MAIN FLOOR	48'-11 1/2"	146 SF							
17	OFFICE #4	UPPER FLOOR	38'-10 1/2"	53 SF							
18	OFFICE #3	UPPER FLOOR	42'-11 1/2"	148 SF							
19	OFFICE #5	UPPER FLOOR	48'-11"	124 SF							
20	OFFICE #6	UPPER FLOOR	50'-11"	152 SF							
21	OFFICE #2	UPPER FLOOR	48'-1 1/2"	148 SF							
22	HIC	UPPER FLOOR	28'-4 1/2"	43 SF							
23	JKL OFFICE	UPPER FLOOR	60'-6"	389 SF							
24	JANITOR / STORAGE ROOM	MAIN FLOOR	48'-6"	84 SF							
25	BOARD ROOM	UPPER FLOOR	75'-5"	531 SF							
27	KITCHEN & DINING AREA	UPPER FLOOR	102'-2 1/2"	428 SF							
28	OFFICE	UPPER FLOOR	72'-9 1/2"	301 SF							
29	OFFICE	UPPER FLOOR	38'-6"	80 SF							
30	DESIGN & MARKETING OFFICE	UPPER FLOOR	68'-2"	294 SF							
31	RECEPTION	UPPER FLOOR	68'-2"	294 SF							
33	COMPUTER & TELEPHONE ROOM	UPPER FLOOR	30'-7"	84 SF							
34	WIC	UPPER FLOOR	39'-10 1/2"	55 SF							
35	PATIO	UPPER FLOOR	70'-6"	371 SF							
39	OFFICE #7	MAIN FLOOR	41'-8"	126 SF							
40	OFFICE #8	MAIN FLOOR	50'-4 1/2"	131 SF							
43	OFFICE #9	MAIN FLOOR	55'-3"	160 SF							
44	WORK AREA	UPPER FLOOR	51'-0"	168 SF							
51	MEZZANINE	UPPER FLOOR	150'-3"	1421 SF							
54	MEETING ROOM	MAIN FLOOR	36'-2"	91 SF							
55	HIC	MAIN FLOOR	28'-4 1/2"	43 SF							
59	OFFICE #8	MAIN FLOOR	28'-4 1/2"	43 SF							
60	HIC	MAIN FLOOR	43'-2 1/2"	93 SF							
100	RECEPTION	MAIN FLOOR	72'-2"	150 SF							
107	SALES OFFICE	MAIN FLOOR	72'-2"	150 SF							
108	OFFICE #1	MAIN FLOOR	36'-4 1/2"	82 SF							
109	RECEPTION DESK	MAIN FLOOR	36'-1 1/2"	68 SF							
111	HALLWAY	MAIN FLOOR	171'-2"	434 SF							
112	OFFICE #4	MAIN FLOOR	38'-2 1/2"	101 SF							
113	JKL STAIR WELL	UPPER FLOOR	48'-8"	81 SF							
115	LEASE UNIT	UPPER FLOOR	142'-10 1/2"	1150 SF							
117	LEASE UNIT	UPPER FLOOR	48'-11"	175 SF							
121	TIP TOP STAIR WELL	UPPER FLOOR	23'-10"	53 SF							
127	JKL STAIR	MAIN FLOOR	60'-4 1/2"	119 SF							
128	ELEC.	MAIN FLOOR	38'-6"	92 SF							
129	MECH.	MAIN FLOOR	48'-6"	92 SF							
130	UTILITY	MAIN FLOOR	48'-6"	140 SF							
131	OFFICE #2	MAIN FLOOR	60'-4"	170 SF							
132	HIC	MAIN FLOOR	26'-5 1/2"	43 SF							
138	RD OFFICE	UPPER FLOOR	60'-11"	121 SF							
139	TIP TOP STAIR WELL	UPPER FLOOR	48'-0"	148 SF							
140	CL.	UPPER FLOOR	42'-11 1/2"	72 SF							
149	STORAGE ROOM	UPPER FLOOR	50'-7"	106 SF							
149	HIC	UPPER FLOOR	39'-1 1/2"	49 SF							
149	SEATING AREA	UPPER FLOOR	23'-10 1/2"	49 SF							
144	WAREHOUSE MANAGER OFFICE	MAIN FLOOR	30'-8"	92 SF							
146	OFFICE	UPPER FLOOR	40'-3 1/2"	227 SF							
146	HIC	MAIN FLOOR	26'-4 1/2"	43 SF							
147	JAN.	MAIN FLOOR	22'-11 1/2"	33 SF							
148	HALLWAY	UPPER FLOOR	112'-0"	284 SF							
149	HALLWAY	UPPER FLOOR	64'-8 1/2"	180 SF							
150	LEASE UNIT STAIR WELL	UPPER FLOOR	48'-8"	81 SF							
151	HALLWAY	UPPER FLOOR	42'-8 1/2"	75 SF							
152	MEZZANINE	UPPER FLOOR	250'-0 1/2"	1787 SF							
153	LEASE UNIT STAIR	MAIN FLOOR	61'-8 1/2"	119 SF							
Grand total: 69				5,104'-8 1/2"	38873 SF						



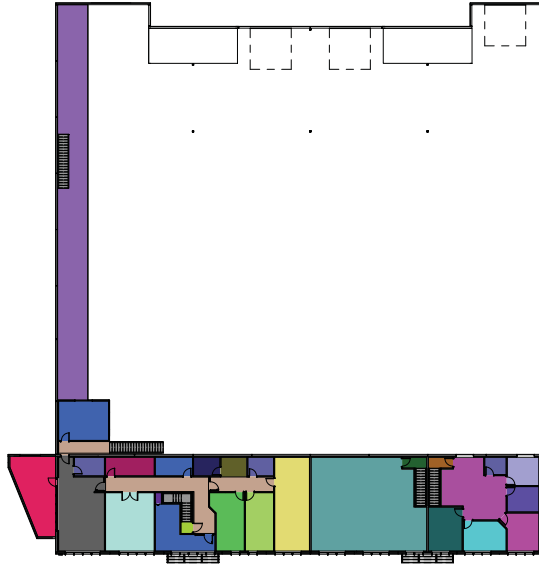
**5 MAIN FLOOR BUILDING AREA PLAN**  
A2.2 1" = 500'

**Schema 1 Legend**

[Light Blue]	JKL OFFICE
[Light Green]	JKL WAREHOUSE
[Blue]	LEASE UNIT OFFICE
[Yellow]	LEASE UNIT WAREHOUSE
[Light Green]	TIP TOP OFFICE
[Brown]	TIP TOP WAREHOUSE

**AREA SCHEDULE - MAIN FLOOR**

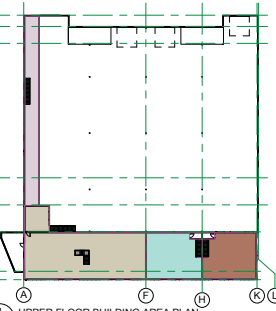
AREA NUMBER	AREA NAME	Level	AREA	LEVEL
	JKL OFFICE	MAIN FLOOR	1234 SF	
	JKL WAREHOUSE	MAIN FLOOR	2567 SF	
	LEASE UNIT WAREHOUSE	MAIN FLOOR	5678 SF	
	TIP TOP WAREHOUSE	MAIN FLOOR	1309 SF	
	TIP TOP OFFICE	MAIN FLOOR	3156 SF	
Grand total: 8	LEASE UNIT OFFICE	MAIN FLOOR	2907 SF	



**ROOM AREA LEGEND**

[Light Blue]	BOARD ROOM
[Purple]	CLST.
[Dark Blue]	COMPUTER & TELEPHONE ROOM
[Yellow]	DESIGN & MARKETING OFFICE
[Brown]	HALLWAY
[Purple]	JKL OFFICE
[Brown]	JKL STAIR WELL
[Brown]	KITCHEN & DINING AREA
[Green]	LEASE UNIT
[Green]	LEASE UNIT STAIR WELL
[Purple]	MEZZANINE
[Blue]	OFFICE
[Dark Blue]	OFFICE #1
[Cyan]	OFFICE #2
[Purple]	OFFICE #3
[Purple]	OFFICE #4
[Purple]	OFFICE #5
[Pink]	PATIO
[Purple]	RD OFFICE
[Light Green]	STORAGE ROOM
[Light Green]	TIP TOP STAIR WELL
[Light Green]	TR OFFICE
[Blue]	WIC
[Brown]	WORK AREA

**2 UPPER FLOOR ROOM AREA PLAN**  
A6.1 1" = 20'-0"



**4 UPPER FLOOR BUILDING AREA PLAN**  
A6.1 1" = 500'

**BUILDING AREA LEGEND**

[Light Blue]	JKL OFFICE
[Light Green]	LEASE UNIT OFFICE
[Light Green]	TIP TOP MEZZANINE
[Brown]	TIP TOP OFFICE

**AREA SCHEDULE - UPPER FLOOR**

AREA NUMBER	AREA NAME	LEVEL	AREA	COMMENTS
	TIP TOP OFFICE	UPPER FLOOR	2166 SF	
	LEASE UNIT OFFICE	UPPER FLOOR	1270 SF	
	JKL OFFICE	UPPER FLOOR	1211 SF	
	TIP TOP MEZZANINE	UPPER FLOOR	1421 SF	
	TIP TOP MEZZANINE	UPPER FLOOR	1348 SF	
Grand total: 5			8417 SF	

**ISSUES**

NO.	DATE	DESCRIPTION	BY
1		ISSUED FOR PERMIT	
2		ISSUED FOR RECORD	

**Architect**  
Andrew Bazuk  
78-2605-001 or 604-796-1120  
Box 29, Harrison Hot Springs, BC V0W 1K0

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CLIENT: **AURA INVESTMENTS LTD.**

ADDRESS: **CAMPBELL HEIGHTS WAREHOUSE 3557-190TH STREET SURREY, BC**

TITLE: **ROOM & AREA CALCULATIONS**

ISSUED FOR DEVELOPMENT PERMIT  
DRAWN BY: **CO**  
CHECKED BY: **AB**  
SCALE: **AS NOTED**  
DATE: **SEPTEMBER 22, 2015**  
SHEET NO: **A4.1**  
DATE PLOTTED: **9/30/2015 3:13:54 PM**



NO.	DATE	BY	DESCRIPTION
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2	09/22/2015	AB	ISSUED FOR DEVELOPMENT PERMIT



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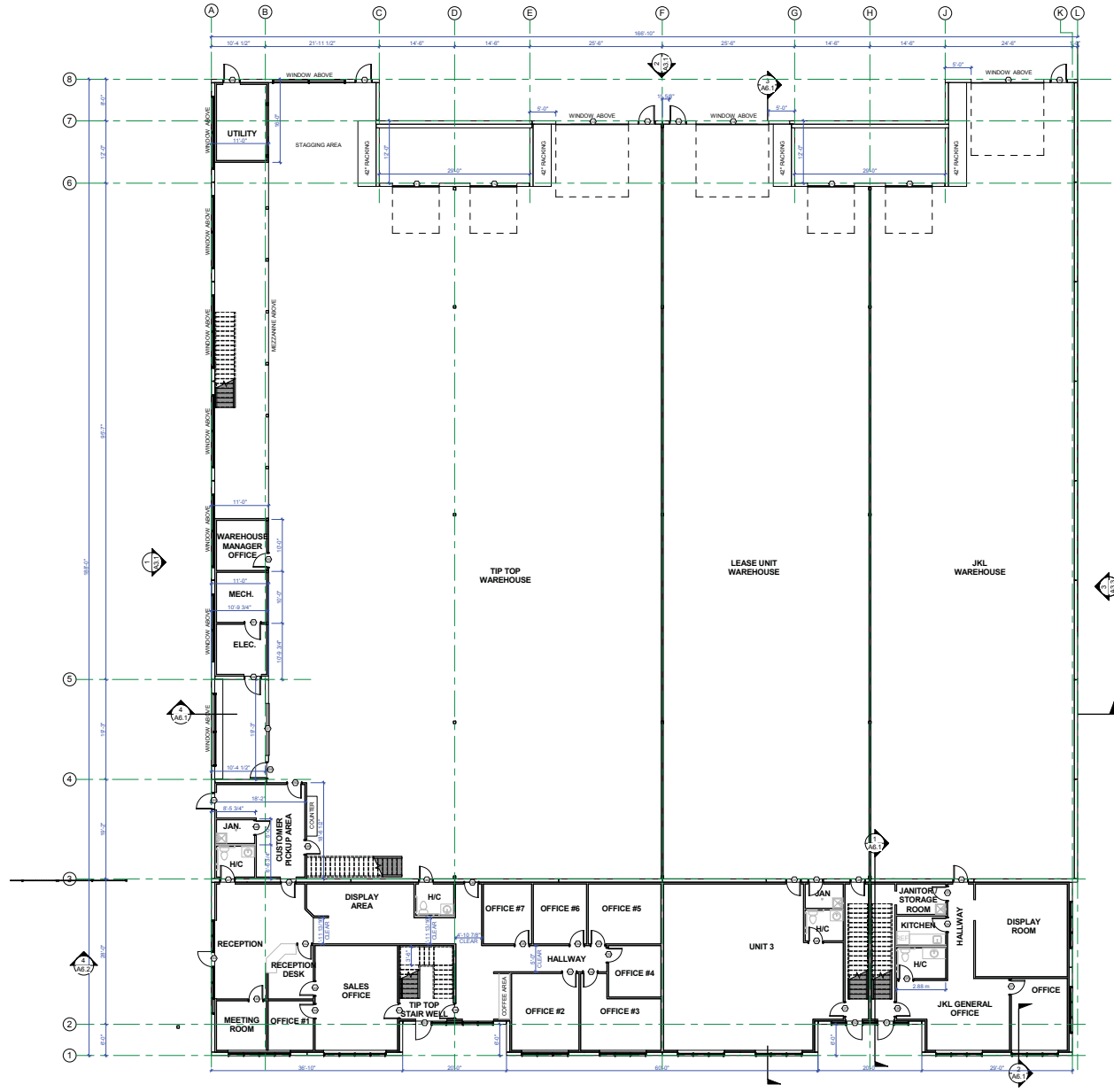
ADDRESS: CAMPBELL HEIGHTS WAREHOUSE, 3557-190th STREET SURREY, BC

TITLE: MAIN FLOOR PLAN

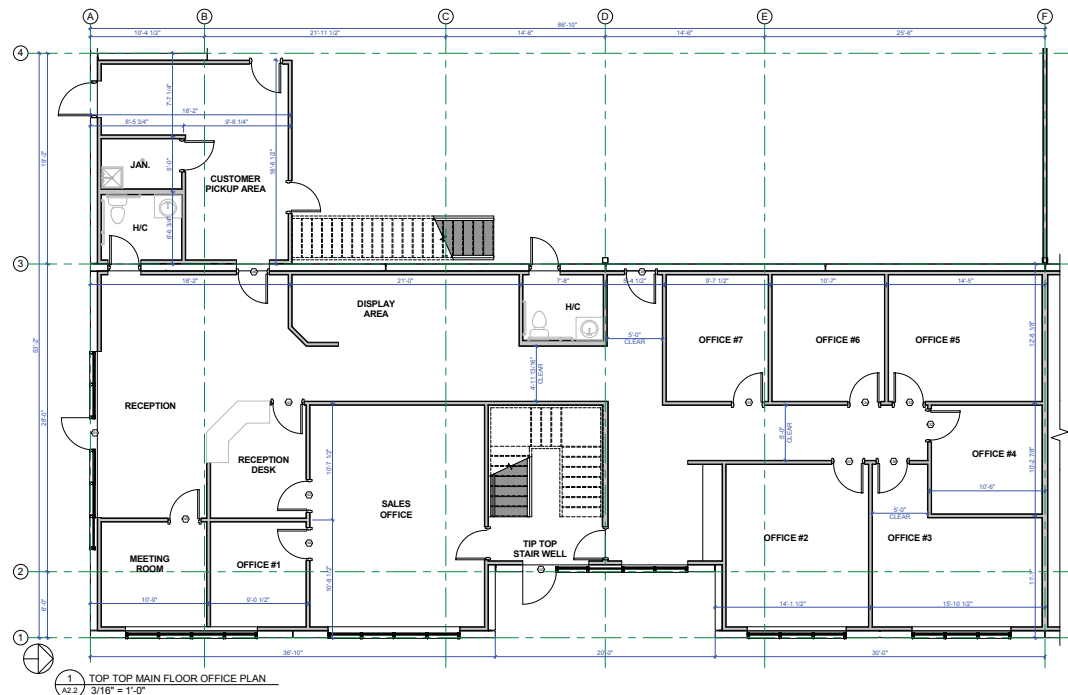
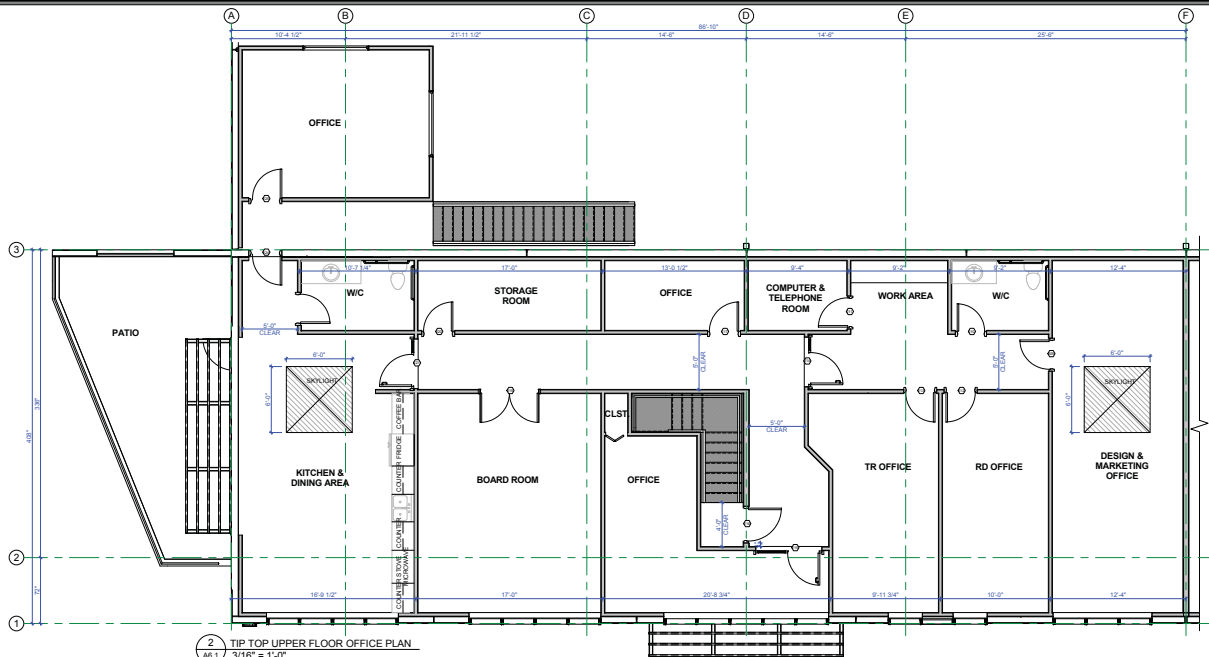
DRAWN BY: CO  
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1 MAIN FLOOR PLAN  
 A2.2 1" = 10'-0"



PROJECT NO: 15-030

NO.	DATE	BY	DESCRIPTION
1	09/22/2015	AB	ISSUED FOR DEVELOPMENT PERMIT
2	09/22/2015	AB	ISSUED FOR DEVELOPMENT PERMIT



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ADDRESS: CAMPBELL HEIGHTS WAREHOUSE, 3557-190th STREET SURREY, BC

TITLE: TIP TOP OFFICE FLOOR PLANS

DRAWN BY: CO  
CHECKED BY: AB  
SCALE: AS NOTED  
DATE: SEPTEMBER 22, 2015  
SHEET NO: A5.2

DATE PRINTED: 9/30/2015 3:13:57 PM

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PROJECT NO:		15-030
ISSUES:	DESCRIPTION:	
1	ISSUE FOR PERMIT	
2	ISSUE FOR PERMIT	
3	ISSUE FOR PERMIT	
4	ISSUE FOR PERMIT	
5	ISSUE FOR PERMIT	

**Andrew Bazuk Architect Ltd.**  
 Andrew Bazuk  
 Box 26, Harrison Hot Springs, BC V0M 1K0  
 786-603-5801 or 604-796-1120

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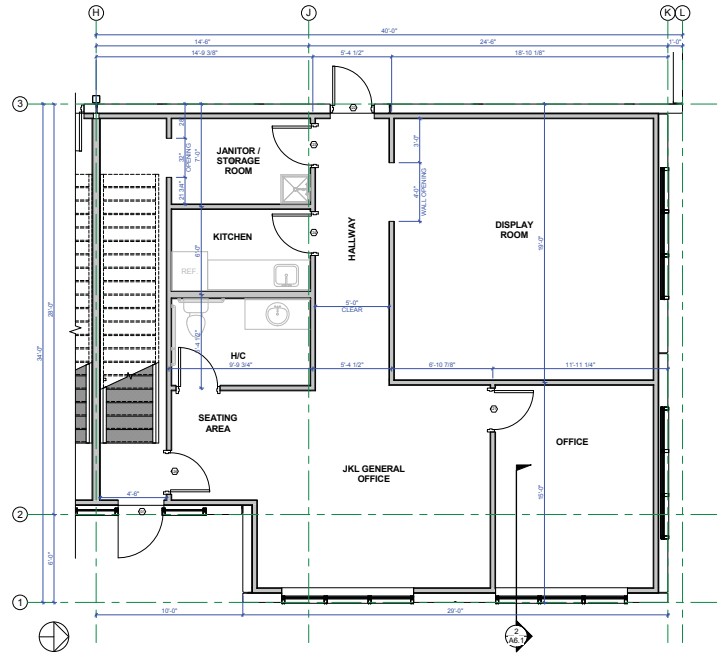
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**CAMPBELL HEIGHTS WAREHOUSE  
 3557-190th STREET  
 SURREY, BC**

TITLE:  
**JKLOFFICE FLOOR PLANS**

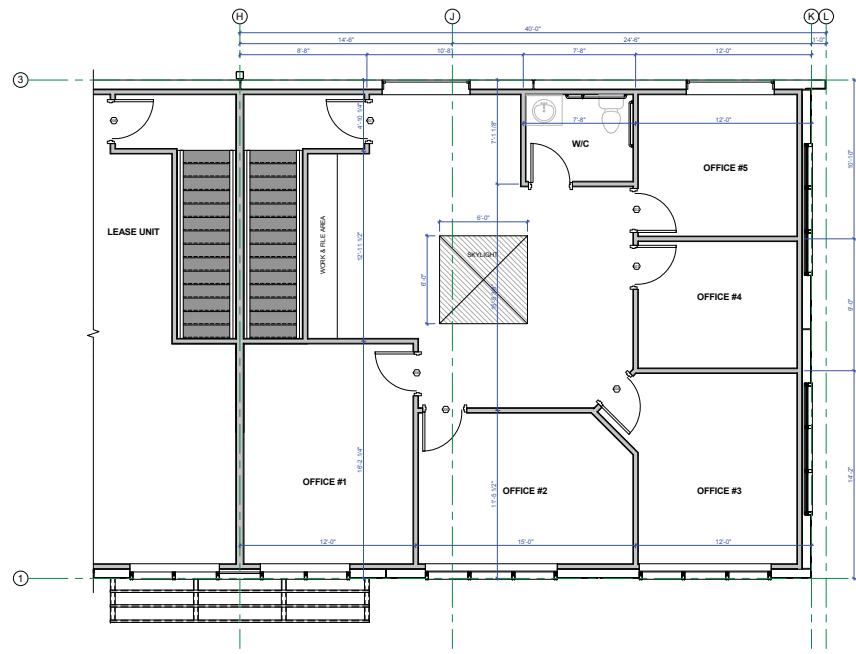
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 CHECKED BY: **AB**  
 SCALE: **AS NOTED**  
 DATE: **SEPTEMBER 22, 2015**  
 SHEET NO: **A5.3**

DATE PRINTED:  
**9/30/2015 3:13:58 PM**

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1 JKL MAIN FLOOR OFFICE PLAN  
 A2.2 1/4" = 1'-0"



2 JKL UPPER FLOOR OFFICE PLAN  
 A6.1 1/4" = 1'-0"

ISSUES		DESCRIPTION
1	DATE	ISSUED FOR PERMIT
2	DATE	ISSUED FOR DEVELOPMENT PERMIT



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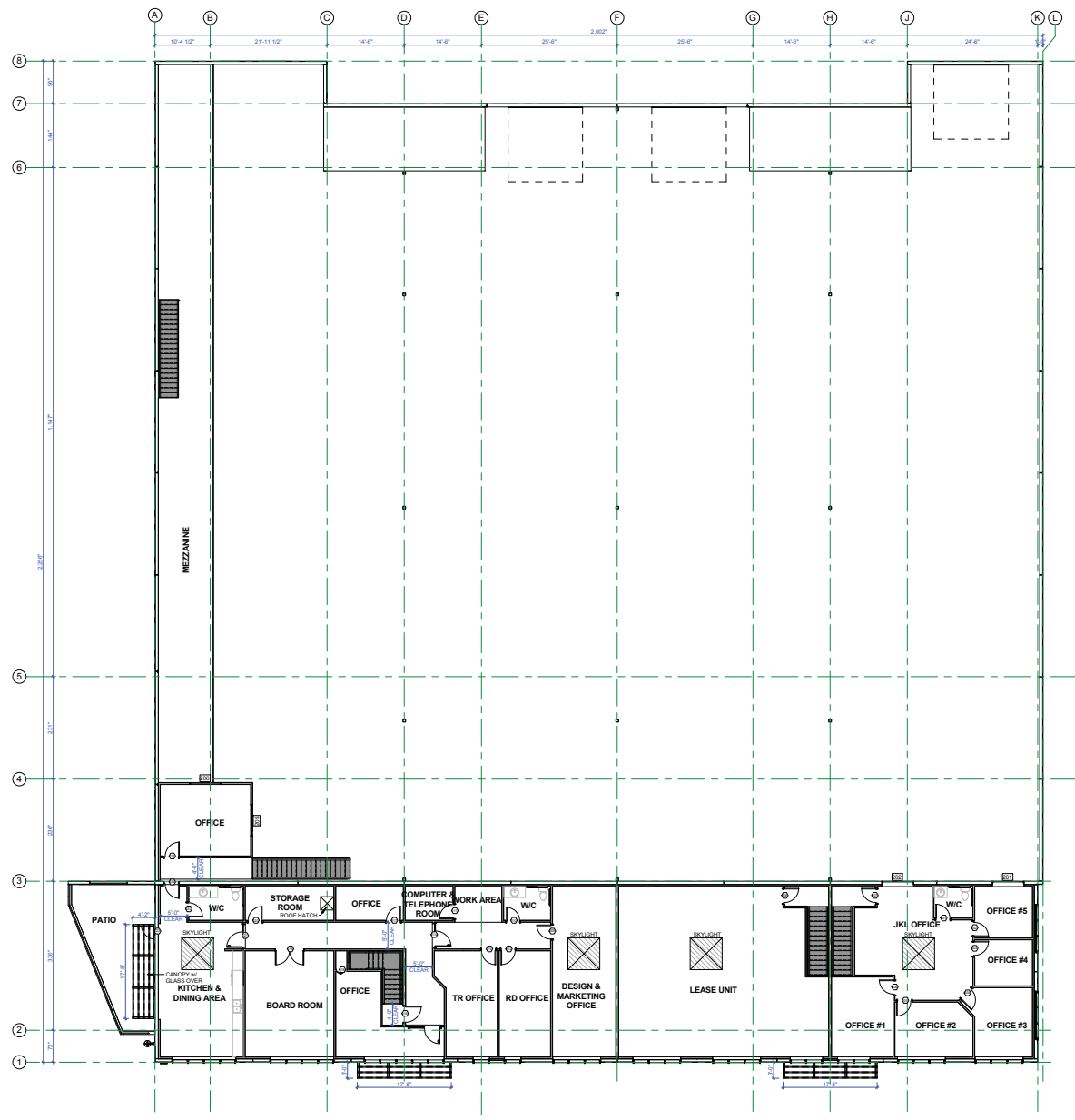
CLIENT: AURA INVESTMENTS LTD.

ADDRESS: CAMPBELL HEIGHTS WAREHOUSE, 3557-190th STREET SURREY, BC

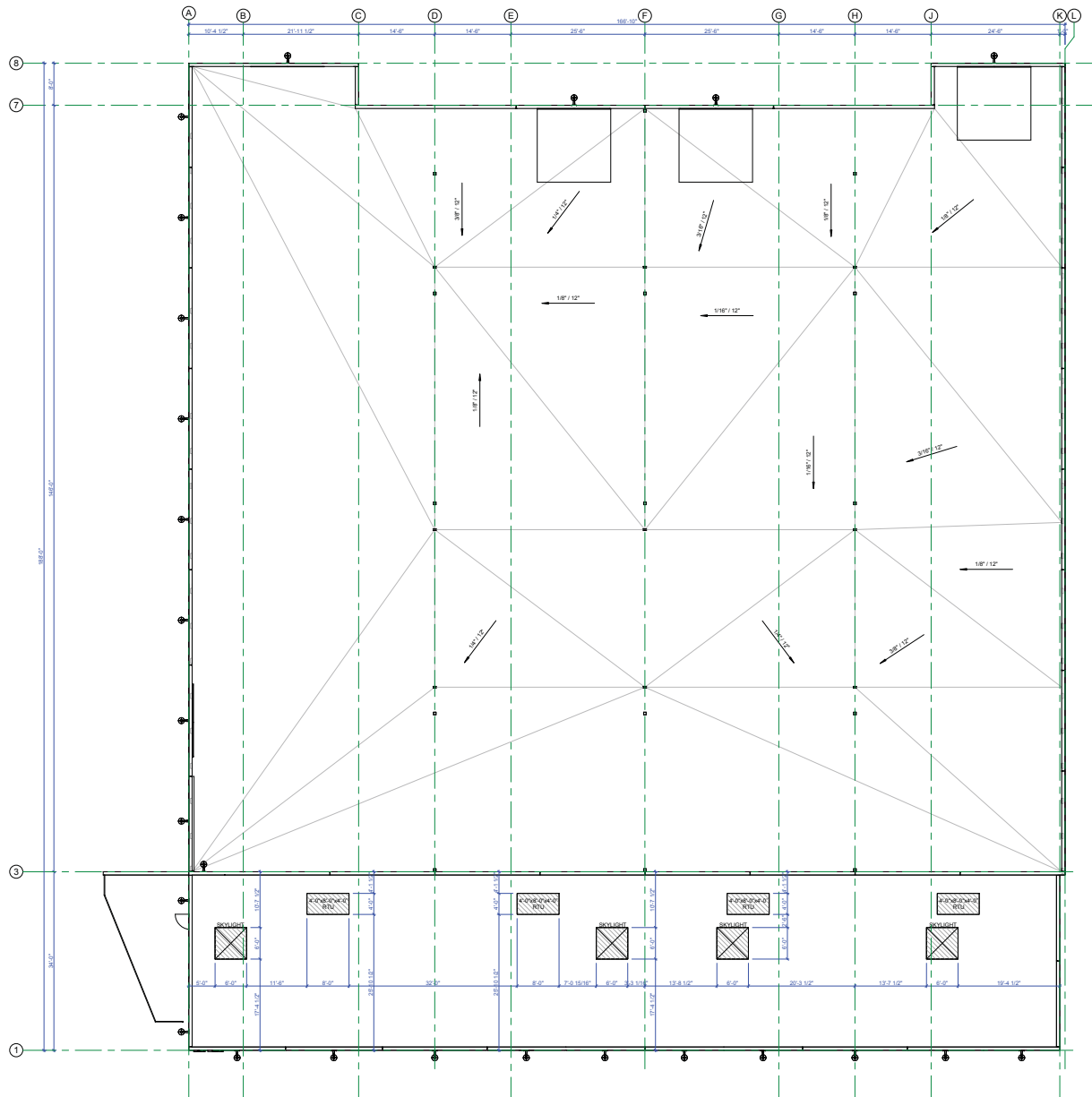
TITLE: UPPER FLOOR PLAN

DRAWN BY: CO  
 CHECKED BY: AB  
 SCALE: AS NOTED  
 DATE: SEPTEMBER 22, 2015  
 SHEET NO: A5.4  
 DATE PRINTED: 9/30/2015 3:13:59 PM

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1 UPPER FLOOR PLAN  
 A5.1 1" = 10'-0"



1 ROOF DRAIN PLAN  
S3.1 1" = 10'-0"

PROJECT NO: 15-030

ISSUES		DESCRIPTION
NO. 1	DATE	15/09/2015
NO. 2	DATE	15/09/2015
NO. 3	DATE	15/09/2015



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CLIENT: AURA INVESTMENTS LTD.

ADDRESS: CAMPBELL HEIGHTS WAREHOUSE 3557-190th STREET SURREY, BC

TITLE: ROOF PLAN

ISSUED FOR DEVELOPMENT PERMIT

DRAWN BY: CO  
CHECKED BY: AB  
SCALE: AS NOTED  
DATE: SEPTEMBER 22, 2015  
SHEET NO: A5.5  
DATE PRINTED: 9/30/2015 3:14:00 PM

NO.	DATE	ISSUES / DESCRIPTION
1	2015.09.22	ISSUED FOR DEVELOPMENT PERMIT
2	2015.09.22	ISSUED FOR DEVELOPMENT PERMIT



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CLIENT: AURA INVESTMENTS LTD.

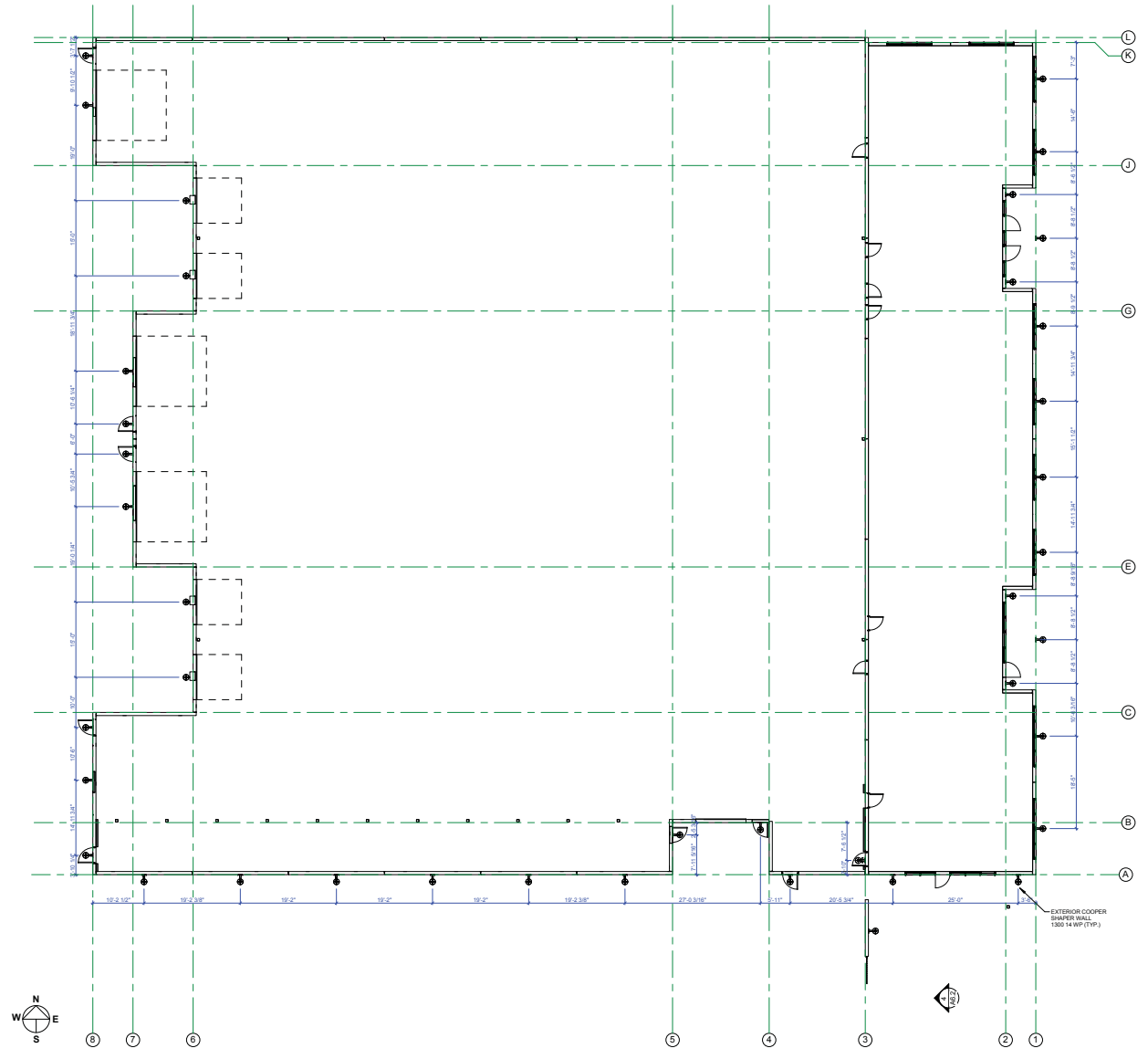
ADDRESS: CAMPBELL HEIGHTS WAREHOUSE, 3557-190th STREET SURREY, BC

TITLE: LIGHTING PLAN

DRAWN BY: CO  
 CHECKED BY: AB  
 SCALE: AS NOTED  
 DATE: SEPTEMBER 22, 2015  
 SHEET NO: A5.6

DATE PRINTED: 9/30/2015 3:14:03 PM

ISSUED FOR DEVELOPMENT PERMIT



1 EXTERIOR LIGHTING PLAN  
 3/32" = 1'-0"

ISSUES	
NO	DESCRIPTION
1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT

**Andrew Buzluk Architect Ltd.**  
 780-363-5301 or 604-796-1120  
 2511 15th Street, Surrey, BC V4A 1Y2

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CLIENT: AURA INVESTMENTS LTD.

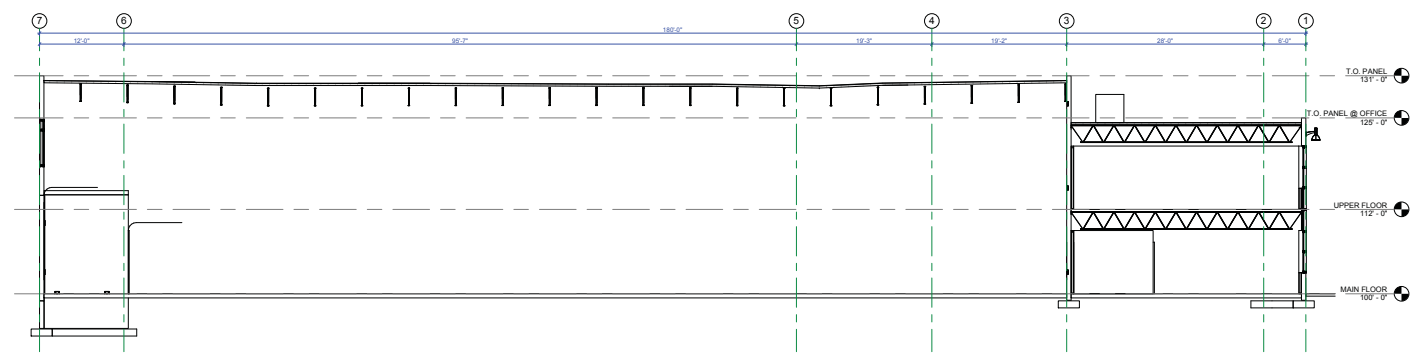
ADDRESS: CAMPBELL HEIGHTS WAREHOUSE, 3557-190th STREET SURREY, BC

TITLE: BUILDING SECTIONS

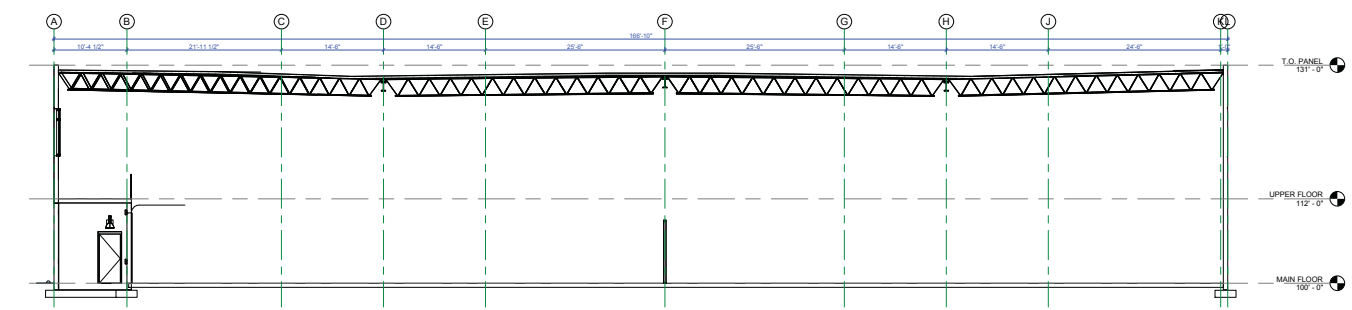
DRAWN BY: CO  
 CHECKED BY: AB  
 SCALE: AS NOTED  
 DATE: SEPTEMBER 22, 2015  
 SHEET NO: A6.1

DATE PRINTED: 9/30/2015 3:14:04 PM

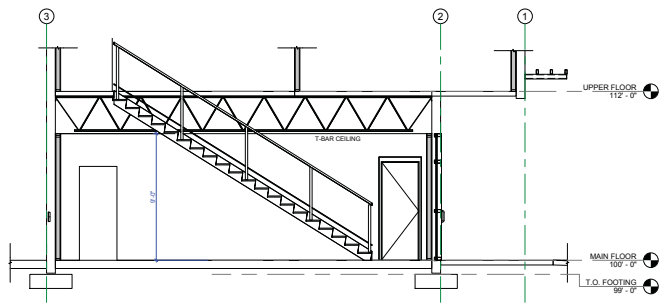
ISSUED FOR DEVELOPMENT PERMIT



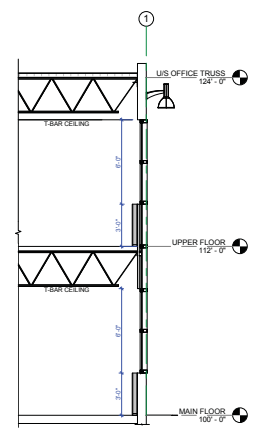
3 BUILDING SECTION  
 A6.1 1:100



4 BUILDING SECTION THRU WARHOUSE  
 A6.1 1:100



1 STAIR SECTION @ OFFICE  
 A6.1 1:50



2 WINDOW HEIGHT DETAIL  
 A6.1 1:50

ISSUES:	DESCRIPTION:
1	ISSUE NOT RECORDED PERMIT
2	ISSUE NOT RECORDED PERMIT

andrew bazuk  
**Architect** Inc.  
 Box 28, Harrison Hot Springs, BC V0M 1K0  
 782-825-5201 or 604-796-1120

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CLIENT:  
**AURA INVESTMENTS LTD.**

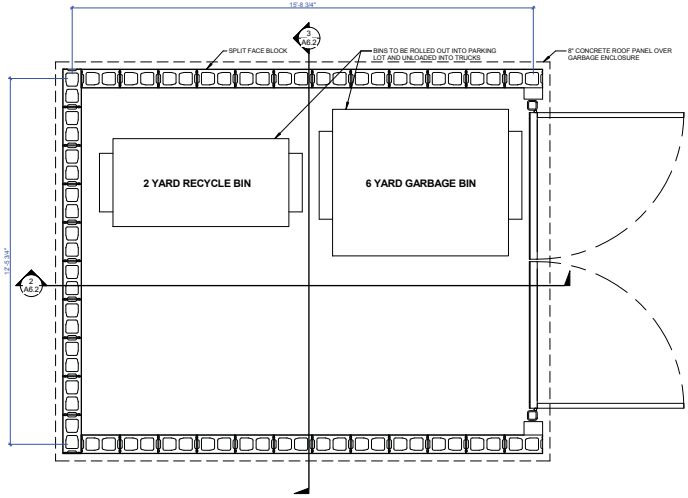
ADDRESS:  
**CAMPBELL HEIGHTS WAREHOUSE  
 3557-190th STREET  
 SURREY, BC**

TITLE:  
**SECTIONS & DETAILS**

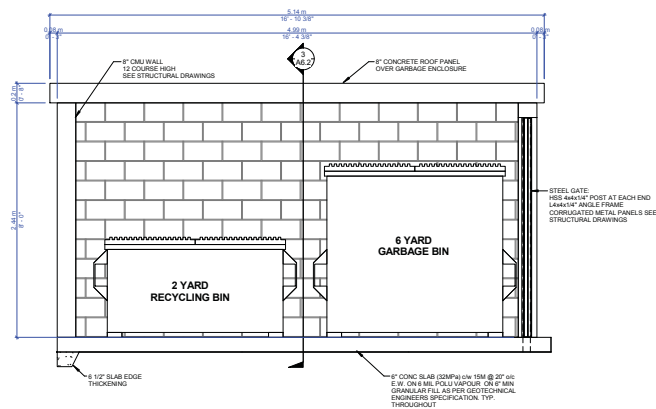
DRAWN BY: **CO**  
 CHECKED BY: **AB**  
 SCALE: **AS NOTED**  
 DATE: **SEPTEMBER 22, 2015**  
 SHEET NO: **A6.2**

DATE PRINTED  
 9/30/2015 3:14:06 PM

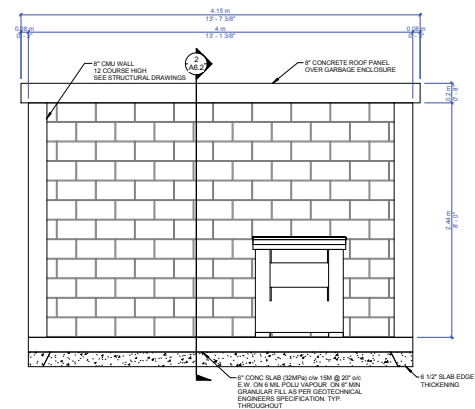
**ISSUED FOR DEVELOPMENT PERMIT**



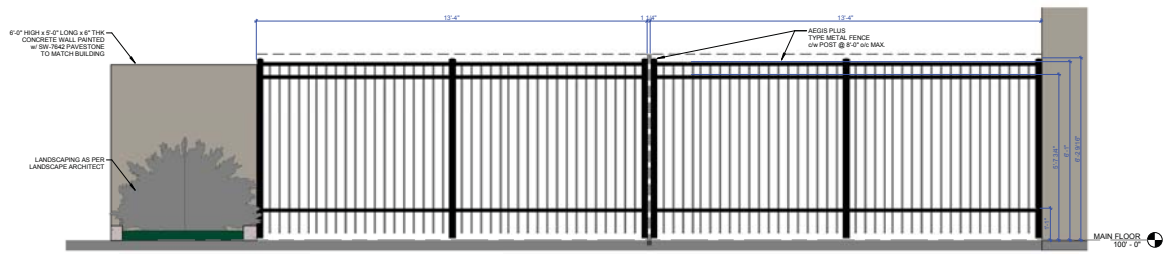
1 GARBAGE ENCLOSURE DETAIL  
 A2.1 1/2" = 1'-0"



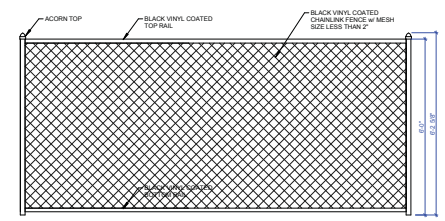
2 GARBAGE ENCLOSURE  
 A6.2 1/2" = 1'-0"



3 GARBAGE ENCLOSURE SECTION 2  
 A6.2 1/2" = 1'-0"



4 FRONT GATE DETAIL  
 A2.1 1/2" = 1'-0"



5 CHAIN LINK FENCE @ PROPERTY LINE  
 1/2" = 1'-0"



NO.	DATE	ISSUES
1	15/09/2015	ISSUED FOR DEVELOPMENT PERMIT
2	15/09/2015	ISSUED FOR DEVELOPMENT PERMIT

**andrew  
bazuk**  
**Architect** Ltd.  
Box 29, Harrison Hot Springs, BC V0M 1K0  
780-805-5201 or 604-796-1120

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CLIENT:  
**AURA INVESTMENTS LTD.**

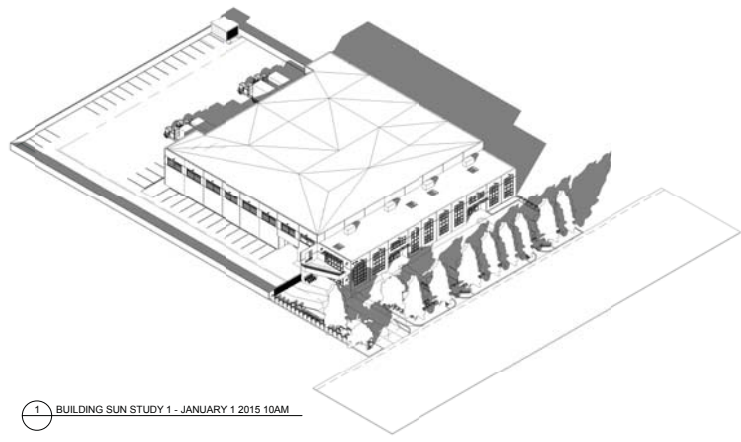
ADDRESS:  
**CAMPBELL HEIGHTS WAREHOUSE  
3557-190th STREET  
SURREY, BC**

TITLE:  
**SOLAR STUDY**

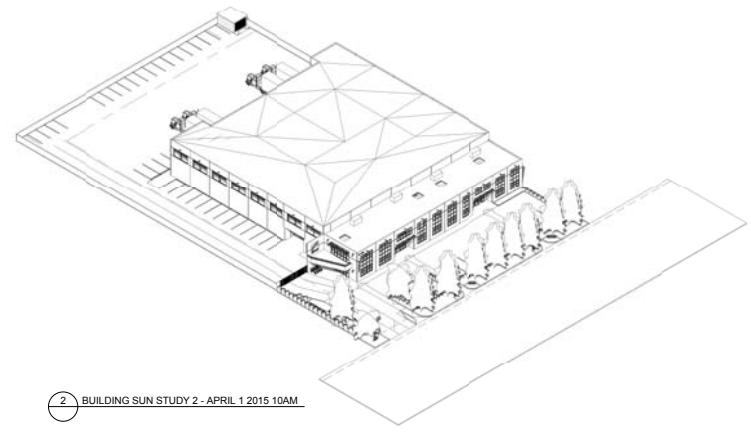
DRAWN BY: **CO**  
CHECKED BY: **AB**  
SCALE: **AS NOTED**  
DATE: **SEPTEMBER 22, 2015**  
SHEET NO: **A7.1**

DATE PRINTED  
**9/30/2015 3:14:18 PM**

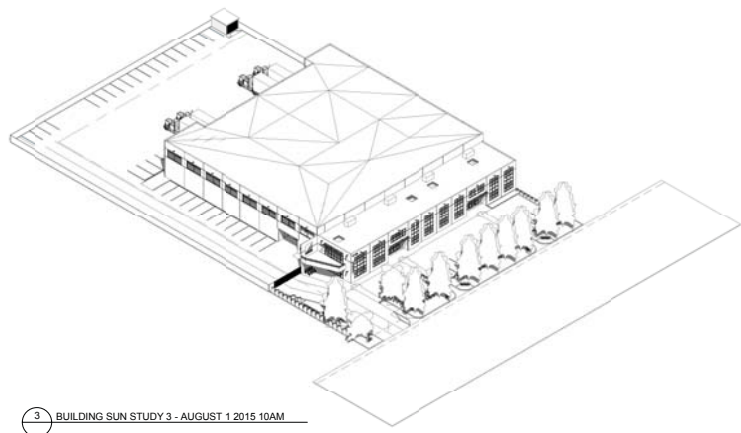
**ISSUED FOR DEVELOPMENT PERMIT**



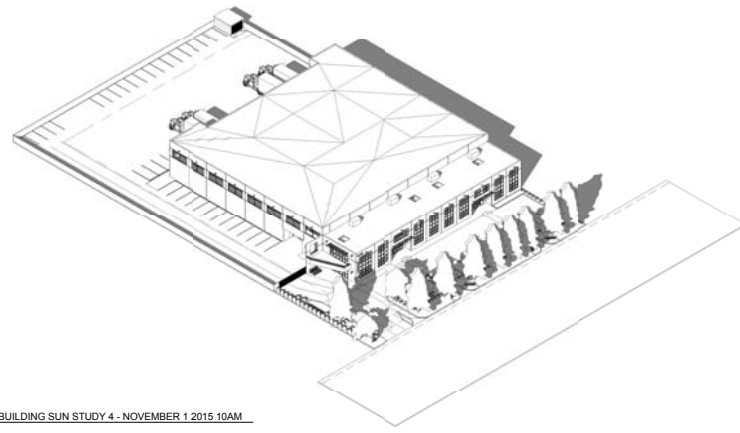
1 BUILDING SUN STUDY 1 - JANUARY 1 2015 10AM



2 BUILDING SUN STUDY 2 - APRIL 1 2015 10AM



3 BUILDING SUN STUDY 3 - AUGUST 1 2015 10AM



4 BUILDING SUN STUDY 4 - NOVEMBER 1 2015 10AM



PERSPECTIVE VIEW - SOUTH EAST



TIP TOP ENTRANCE



PERSPECTIVE VIEW - NORTH EAST



PERSPECTIVE VIEW - NORTH EAST



VIEW FROM ROAD- ROOF TOP UNIT VISIBILITY



PERSPECTIVE VIEW - SOUTH WEST

PROJECT NO: 15-030

ISSUE	DESCRIPTION
1	ISSUE FOR PERMIT
2	ISSUE FOR PERMIT

**andrew bazuk Architect Ltd.**  
 Box 28, Harrison Hot Springs, BC V0W 1K0  
 780-820-5201 or 604-796-1120

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**ISSUED FOR DEVELOPMENT PERMIT**

CLIENT: AURA INVESTMENTS LTD.

ADDRESS: CAMPBELL HEIGHTS WAREHOUSE  
 3557-190th STREET  
 SURREY, BC

TITLE: 3D VIEWS

DRAWN BY: CO

CHECKED BY: AB

SCALE: AS NOTED

DATE: SEPTEMBER 22, 2015

SHEET NO: A8.1

DATE PRINTED: 9/30/2015 3:16:51 PM



PERSPECTIVE VIEW - SOUTH EAST - NIGHT LIGHTING



TIP TOP ENTRANCE - NIGHT LIGHTING



PERSPECTIVE VIEW - NORTH EAST - NIGHT LIGHTING



FRONT ENTRY PERSPECTIVE VIEW - NIGHT LIGHTING



PERSPECTIVE VIEW - SOUTH WEST - NIGHT LIGHTING



PERSPECTIVE VIEW - NORTH EAST - NIGHT LIGHTING

PROJECT NO: 15-030

NO.	DATE	ISSUES
1	2015.09.22	ISSUED FOR DEVELOPMENT PERMIT
2	2015.09.22	ISSUED FOR DEVELOPMENT PERMIT

**Andrew Bazuk Architect Ltd.**  
 Box 26, Harrison Hot Springs, BC V0M 1K0  
 780-825-5201 or 604-796-1120

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CLIENT: AURA INVESTMENTS LTD.

ADDRESS: CAMPBELL HEIGHTS WAREHOUSE, 3557-190th STREET SURREY, BC

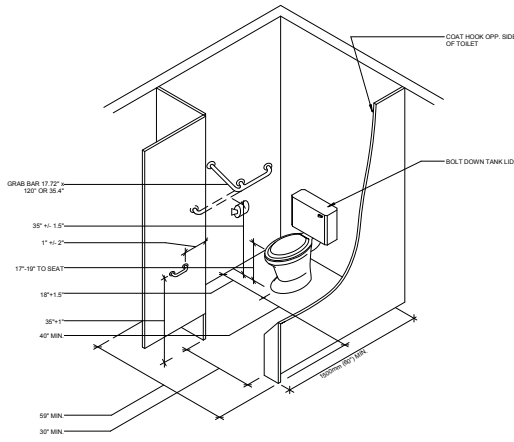
TITLE: LIGHTING RENDERINGS

DRAWN BY: CO  
 CHECKED BY: AB  
 SCALE: AS NOTED  
 DATE: SEPTEMBER 22, 2015  
 SHEET NO: A8.2

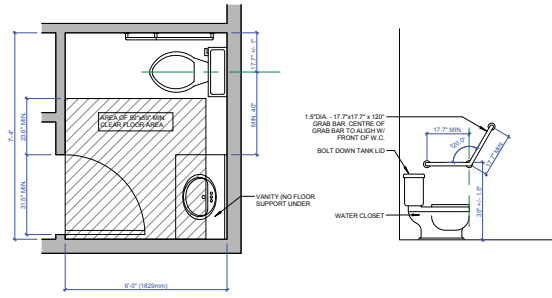
DATE PRINTED: 9/30/2015 3:16:52 PM

**ISSUED FOR DEVELOPMENT PERMIT**

ISSUES:	
NO	DESCRIPTION
1	NO CHANGE REQUIRED
2	NO CHANGE REQUIRED

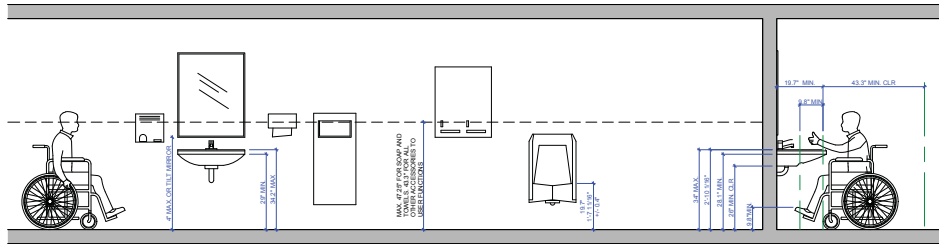


**LAVATORY WITHOUT SINK**

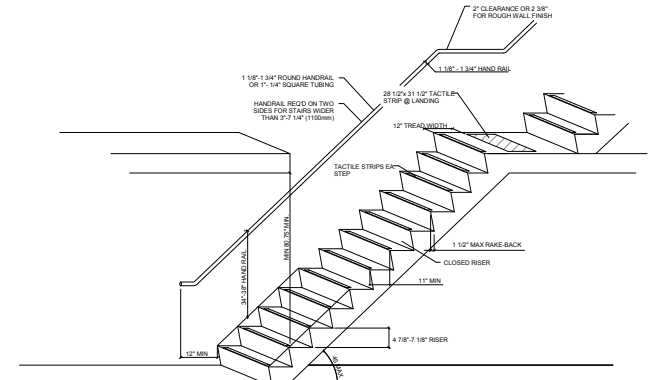


**LAVATORY, WATER CLOSET & ALL ACCESSORIES TO CONFIRM TO SECTION 3.7.2.10 (9) (B.C.B.C. 2012)**

**LAVATORY SINK**



**1 CODE REVIEW H/C WASHROOM**  
1 : 25



**2 CODE REVIEW TYP. STAIR**  
1 : 25

**Andrew Bazuk Architect Ltd.**  
Box 28, Harrison Hot Springs, BC V0M 1K0  
780-820-5201 or 604-796-1120

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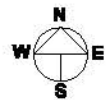
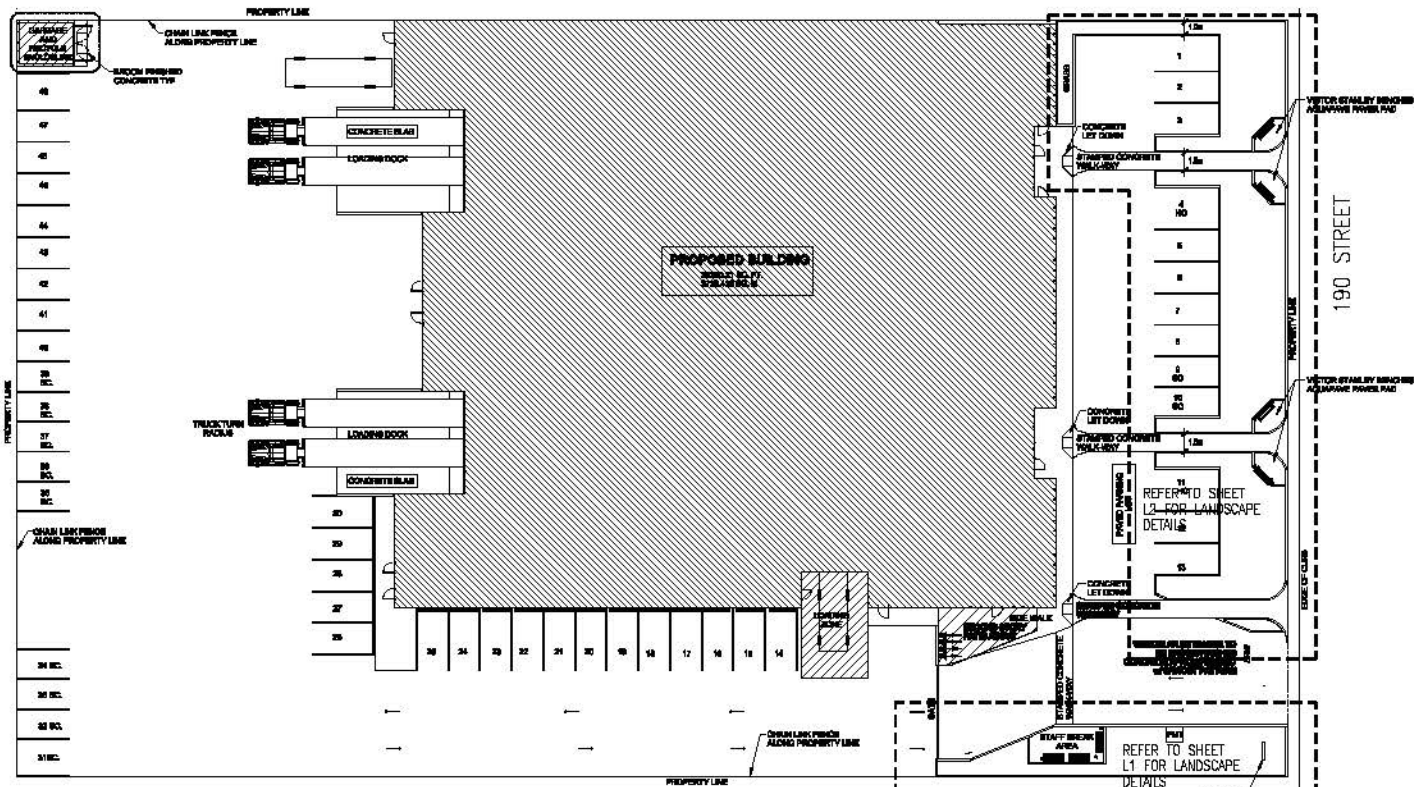
**ISSUED FOR DEVELOPMENT PERMIT**

CLIENT:  
**AURA INVESTMENTS LTD.**

ADDRESS:  
**CAMPBELL HEIGHTS WAREHOUSE  
3557-190TH STREET  
SURREY, BC**

TITLE:  
**CODE REVIEW**

DRAWN BY: **CO**  
CHECKED BY: **AB**  
SCALE: **AS NOTED**  
DATE: **SEPTEMBER 22, 2015**  
SHEET NO: **A9.1**  
DATE PRINTED:  
**9/30/2015 3:16:52 PM**



DATE	BY	REV	NO.
04/15/10	city of murray comments	1	

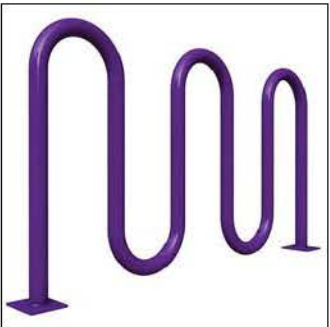
**C. KAWOLINAS & ASSOCIATES INC.**  
 BUDA, OKLA  
 2482 JONAHIL GLETT  
 ARDENFORD, B.C.  
 T2F 3K3  
 PHONE (844) 657-8276

**CLIENT**  
 ALUM INVESTMENTS LTD.  
 c/o BILL WICKHAM/BCDC  
 851-813-2210

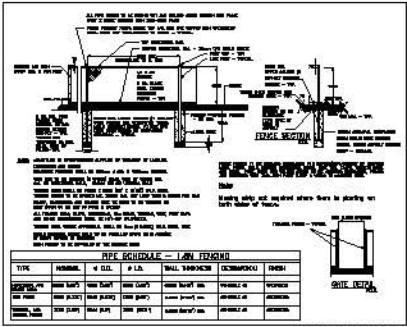
**TITLE**  
 PLAN VIEW  
 CONTEXT PLAN  
 PROPOSED  
 WAREHOUSE DEVELOPMENT  
 CAURELL HEIGHTS NORTH  
 PAGE 3 - LOT 18  
 190 STREET  
 SURVEY, B.C.

PLAN	12200	DATE	04/15/10
REV1		DATE	
REV2		DATE	
REV3		DATE	

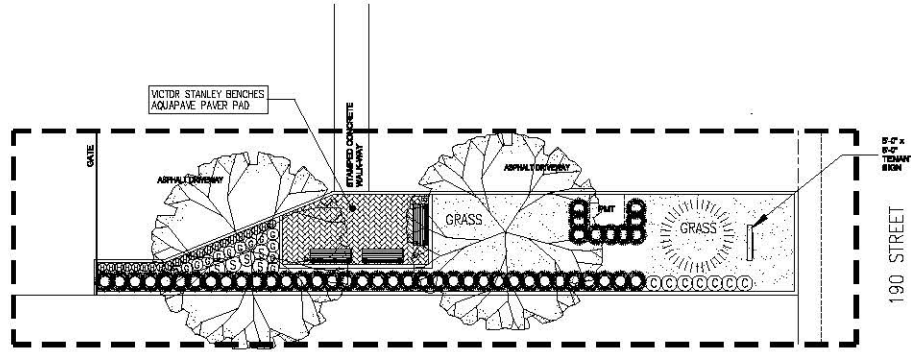
**PROJECT**  
 L-0



DERO ROLLING RACK  
BIKE RACK



1.8m CHAINLINK FENCING

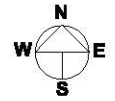
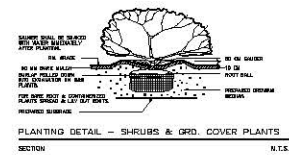
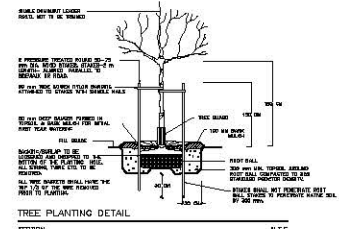


PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	REMARKS
(C)	ACER RUBRUM 'BOWHALL'	BOWHALL RED MAPLE	2	6 CM. CAL.	AS SHOWN	B. & B.
(T)	THUJA PLICATA	WESTERN RED CEDAR	1	2.50 METERS	AS SHOWN	B. & B.
(C)	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	7	#3 POT	90 CM. O.C.	
(G)	GAULTHERIA SHALLON	SALAL	13	#3 POT	85 CM. O.C.	
(S)	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	22	#2 POT	45 CM. O.C.	
(S)	SPIRAEA BETULIFOLIA 'TOR'	TOR SPIRAEA	5	#3 POT	90 CM. O.C.	
(S)	THUJA OCCIDENTALIS 'SMARACD'	EMERALD ARBORVITAE	44	1.50 METERS	65 M. O.C.	

NOTES / GENERAL

- 1) PLANT SPECIES IN THIS SET ARE SPECIFIED ACCORDING TO THE LANDSCAPE STATEMENT "LSCSIT". CONTRACTOR SPECIES MAY BE SPECIFIED AS PER THEIR ENGINEERING SOIL PLAN AND CONTRACT SPECIFICATIONS ARE THE MINIMUM ACCEPTABLE SPECIES SELECTION AND OTHER PLANT MATERIALS AVAILABLE FOR SELECTION SUBJECT TO "LANDSCAPE STATEMENT" AT SUBJECT OF SITE. AREA OF SEARCH TO INCLUDE (LOCAL MARKET AND PRICES) "SUBSTITUTION" MUST BE SUBMITTED APPROVAL FROM THE "LANDSCAPE ARCHITECT" PRIOR TO INSTALLATION. SUBSTITUTION TO SPECIFIED MATERIAL (UNAPPROVED SUBSTITUTION) WILL BE REJECTED. ALLOW A MAXIMUM OF TWO (2) REPLACEMENTS PER SPECIES TO BE REJECTED FOR SELECTION. SUBSTITUTIONS ARE SUBJECT TO "LSCSIT" LANDSCAPE STATEMENT.
- 2) ALL PLANT MATERIAL MUST BE PROVIDED FROM IDENTIFIED TRUSTEES FREE MARKET. ALL PLANT MATERIALS MUST DELIVERED TO THE LATEST EXTERIOR OF THE "LANDSCAPE STATEMENT". PROVIDER CERTIFICATION LETTER REQUIRED. ALL LANDSCAPE AND LANDSCAPE MATERIALS TO CONFORM TO THE LATEST EDITION OF THE INTERNATIONAL "LANDSCAPE STATEMENT".
- 3) MR. BROWN'S DESIGN DETAIL PROPOSED SIGNATURE SHALL BE:
  - LAWN AREAS 450 MM
  - GRAVEL COVER AREAS 450 MM
  - SHRUB AREAS 450 MM
  - TREE PIT 300 MM AROUND ROOT BALL
- 4) ORGANIC MEDIA SHALL HAVE PHYSICAL AND CHEMICAL PROPERTIES AS DESCRIBED IN THE STATEMENT FOR LEVEL 2 AND LEVEL 3. MEDIA SUPPLY FOR MEDIA TESTS SUBMITTED PRIOR TO THE MEDIA SHALL CONFORM TO THE REQUIREMENTS FOR QUALITY APPLICATION, PROGRESSING AND MIXING OF ORGANIC MEDIA SUBSTITUTES SHALL BE DONE OFF-SITE. A QUALIFIED LABORATORY PROVIDED ORGANIC MEDIA SHALL BE TESTED BY A REGISTERED LABORATORY. THE CONTRACTOR SHALL GUARANTEE THAT THE TOP SUBMITTED FOR TESTING IS A REPRESENTATIVE SAMPLE TAKEN FROM THE SOIL THAT WILL BE USED AT THE SITE.
- 5) ON-SITE OR IMPORTED SOIL SHALL MEET THE REQUIREMENTS OF THE STATEMENT FOR ORGANIC MEDIA. SOIL SHALL BE SOILLY TEST FOR NUTRIENT, MOISTURE, VIBRATORY PARTICLES, WEIGHT OF ORGANIC MATTER OF MEDIA. PLANT PATHOGENIC ORGANISM, TOXIC MATERIALS, STRESS TOXIN, AN AND OTHER OBJECTS.
- 6) ALL PLANTING BEDS SHALL RECEIVE MIN. 50 MM DRAIN WALKS.
- 7) PLANT SPECIES AND VARIETIES MAY NOT BE SUBSTITUTED WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- 8) THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE. WORKMANSHIP DEFECTS ALL PLANT MATERIALS NOT SURVIVING OR IN POOR CONDITION DURING THE GUARANTEE PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT HIS OWN COST TO THE OWNER.
- 9) THE CONTRACTOR SHALL CLEAR AWAY FROM THE SITE ALL REMAINS AS IT ACCUMULATES AND SHALL, AT THE COMPLETION OF THE WORK, LEAVE THE WORK AND THE SITE THEREIN IN A CLEAN AND PLEASANT CONDITION, FREE FROM ALL OBSTRUCTIONS.



REV	DATE	CITY OF SURVEY COMMENTS	1
0		ISSUANCE	

C.KAVOLINAS & ASSOCIATES INC  
 2822 JEROME COURT  
 ABERTSFORD, B.C.  
 V3C 3C8  
 PHONE (604) 807-0378

CLIENT  
 ALPHA INVESTMENTS LTD.  
 C/O. BILL VOUGHERDSON

604-813-2210

TITLE  
 PLAN VIEW

LANDSCAPE PLAN  
 PROPOSED  
 WAREHOUSE DEVELOPMENT  
 CHATELAIN HEIGHTS NORTH  
 PHASE 3 - LOT 16  
 190 STREET FRONTAGE  
 SURREY, B.C.

SCALE	1:100	DATE	JUL/16
DRAWN	CKD	CHECKED	CKD
DATE	10/16	DATE	10/16
APP'D	CKD	APP'D	CKD

PROJECT JOB NO.  
 DESIGN NO.  
 L-2 of 2



AUTUMN BRILLIANCE SERVICEBERRY



RED JEWEL CRABAPPLE



WESTERN RED CEDAR



VARIEGATED SWEETFLAG



BEARBERRY



ICE DANCE JAPANESE SEDGE



BEACH STRAWBERRY



SALAL



BLUE OAT GRASS



COMMON SOFT RUSH



PRIVET HONEYSUCKLE



OREGON GRAPE



VARIEGATED PURPLE MOOR GRASS



BARREN STRAWBERRY

DATE	BY	NO.
06/15	City of Murray comments	1
DATE	BY	NO.
	REVISED	

C.KAVOLINAS & ASSOCIATES INC.  
 803LA 051A  
 3000 JENKINS COURT  
 ABERDEEN, S.C.  
 29522  
 PHONE (804) 857-2378

CLIENT  
 ALFA INVESTMENTS LTD.  
 c/o BILL VANDERBEEK  
 804-813-2210

TITLE  
 PLAN VIEW  
 LANDSCAPE PLANTS  
 PROPOSED  
 WAREHOUSE DEVELOPMENT  
 CAMPBELL HEIGHTS NORTH  
 PHASE 3 - LOT 18  
 180 STREET FRONTAGE  
 CLAYTON, S.C.

SCALE	DATE
N.T.S.	JUN/16
CLIENT	DATE
DATE	DATE
PROJECT	NO. 0037

REVISION	DATE
L-3	

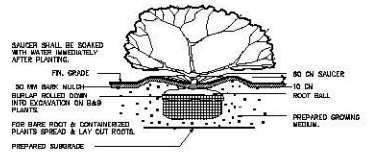
KEY	BOTANICAL NAME	PLANT LIST COMMON NAME	QTY.	SIZE	SPACING	REMARKS
	FRAXINUS ORNUS 'ARIE PETERS'	ARIES PETER'S FLOWERING ASH	7	6 CM. CAL.	AS SHOWN	1.8M STANDARD B. & B.
	ACER RUBRUM 'BOWHALL'	BOWHALL RED MAPLE	5	6 CM. CAL.	AS SHOWN	B. & B.
	AMELANCHIER x GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	2	6 CM. CAL.	AS SHOWN	B. & B.
	MALUS 'RED JEWEL'	RED JEWEL CRABAPPLE	3	6 CM. CAL.	AS SHOWN	B. & B.
	CHAMEACYPARIS NOOTKATENSIS PENDULA	WEeping NOOTKA CYPRESS	6	3.00 METERS	AS SHOWN	B. & B.
	ACORUS CALAMUS 'VARIEGATUS'	VARIEGATED SWEETFLAG	26	#2 POT	45 CM. O.C.	
	ARCOSTAPHYLOS UVA URSI	BEARBERRY	54	#2 POT	45 CM. O.C.	
	CAREX MORROWII 'ICE DANCE'	ICE DANCE JAPANESE SEDGE	63	#2 POT	45 CM. O.C.	
	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	7	#3 POT	90 CM. O.C.	
	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	33	#2 POT	45 CM. O.C.	
	GAULTHERIA SHALLOM	SALAL	127	#3 POT	65 CM. O.C.	
	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	242	#2 POT	45 CM. O.C.	
	JUNCUS EFFUSUS	COMMON SOFT RUSH	50	#2 POT	45 CM. O.C.	
	MAHONIA NERVOSA	OREGON GRAPE	78	#3 POT	45 CM. O.C.	
	MOINIA CAERULEA 'VARIEGATA'	VARIEGATED PURPLE MOOR GRASS	85	#2 POT	45 CM. O.C.	
	SPIRAEA BETULIFOLIA 'TOR'	TOR SPIRAEA	9	#3 POT	90 CM. O.C.	
	VIBURNUM DENTATUM 'BLUE MUFFIN'	BLUE MUFFIN VIBURNUM	13	#3 POT	90 CM. O.C.	
	WALDSTEINIA TERNATA	BARREN STRAWBERRY	47	#2 POT	45 CM. O.C.	
	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD ARBORVITAE	21	1.50 METERS	65 M. O.C.	

BIO-SWALES TO BE CONSTRUCTED IN ACCORDANCE TO EXISTING RESTRICTIVE COVENANT TITLE.

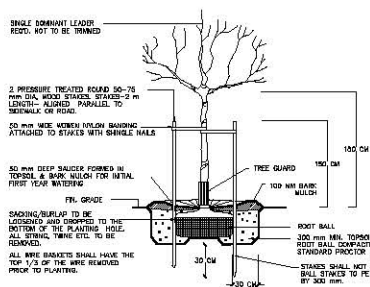
NOTES / GENERAL

- PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO BE LANDSCAPE STANDARD LATEST EDITION. CONTAINER SIZES ARE SPECIFIED AS PER "OTA STANDARDS" BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. SEARCH AND REVIEW WARE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY "LANDSCAPE ARCHITECT" AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. SUBSTITUTIONS MUST OBTAIN WRITTEN APPROVAL FROM THE "LANDSCAPE ARCHITECT" PRIOR TO MAKING ANY SUBSTITUTIONS TO SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF THE WORKING DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO "B.C. LANDSCAPE STANDARDS"
- ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED "DISEASE FREE" SOURCES. ALL PLANT MATERIAL MUST CONFORM TO THE LATEST EDITION OF THE "BC LANDSCAPE STANDARDS". PROMISE CERTIFICATION UPON REQUEST. ALL LANDSCAPING AND LANDSCAPE MATERIALS TO CONFORM TO THE LATEST EDITION OF THE BC/LA "LANDSCAPE STANDARDS"
- MIN. GROWING MEDIUM DEPTHS OVER PREPARED SUBGRADE SHALL BE:
 

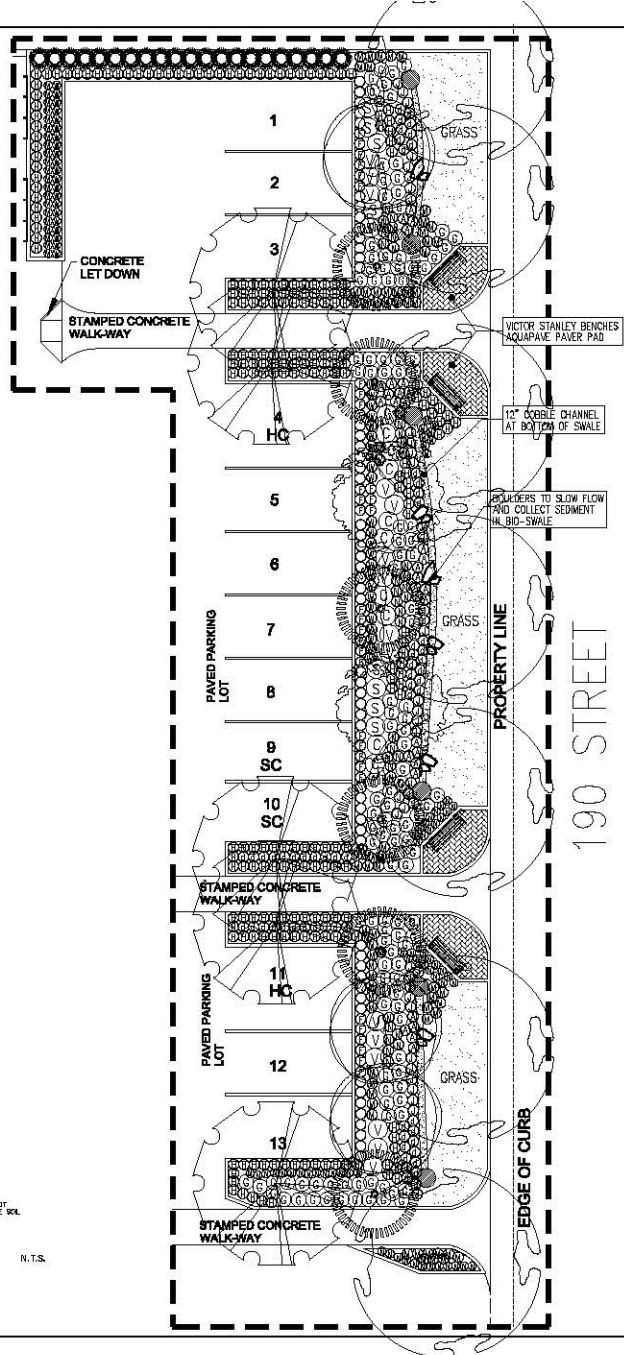
LAWN AREAS	300 mm
GROUND COVER AREAS	450 mm
SHRUB AREAS	450 mm
TREE AREAS	300 mm AROUND ROOT BALL
- GROWING MEDIUM SHALL HAVE PHYSICAL AND CHEMICAL PROPERTIES AS DESCRIBED IN THE STANDARDS FOR LEVEL 2 AND LEVEL 3 AREAS, EXCEPT FOR AREAS OVER STRUCTURES WHERE THE MEDIUM SHALL CONFORM TO THE REQUIREMENTS FOR LEVEL 1 APPLICATIONS. PROCESSING AND MIXING OF GROWING MEDIUM COMPONENTS SHALL BE DONE OFF-SITE USING A MECHANIZED SCREENING PROCESS. PREPARED GROWING MEDIUM SHALL BE TESTED BY A REGISTERED LABORATORY. THE CONTRACTOR SHALL GUARANTEE THAT THE SOIL SUBMITTED FOR TESTING IS A REPRESENTATIVE SAMPLE TAKEN FROM THE SOIL THAT WILL BE USED AT THE SITE.
- ON-SITE OR IMPORTED SOILS SHALL SATISFY THE REQUIREMENTS OF THE STANDARDS FOR GROWING MEDIUM. SOILS SHALL BE INITIALLY FREE FROM SUSPENDED SOLIDS, ROOT BALL PARTS, WEED OR REPRODUCTIVE PARTS OF WEEDS, PLANT PATHOGENIC ORGANISMS, TOXIC MATERIALS, STONES OVER 30 MM AND FOREIGN OBJECTS.
- ALL PLANTING BEDS SHALL RECEIVE MIN. 50 MM BARK MULCH.
- PLANT SPECIES AND VARIETIES MAY NOT BE SUBSTITUTED WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) FULL YEAR FROM THE DATE OF FINAL ACCEPTANCE, UNLESS OTHERWISE SPECIFIED. ALL PLANT MATERIAL NOT SURVIVING, OR IN POOR CONDITION DURING THE GUARANTEE PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.
- THE CONTRACTOR SHALL CLEAR AWAY FROM THE SITE ALL RUBBISH AS IT ACCUMULATES, AND SHALL, AT THE COMPLETION OF THE WORK, LEAVE THE WORK AND THE SITE THEREOF IN A CLEAN AND PRESSURE-FREE CONDITION, FREE FROM ALL OBSTRUCTIONS.



PLANTING DETAIL - SHRUBS & GRD. COVER PLANTS  
SECTION N.T.S.



TREE PLANTING DETAIL  
SECTION N.T.S.



DATE	CITY OF SURRY COMMENTS	1
REV	REVISION	NO.
DATE	CITY OF SURRY COMMENTS	1
REV	REVISION	NO.

C.KAVOLINAS & ASSOCIATES INC.

BC/LA CS/LA

2462 JONQUIL COURT  
ABERFORD, B.C.  
V2E 3J9

PHONE (604) 857-2376

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OWNER

AURA INVESTMENTS LTD.  
c/o BILL WUNDERBERG

604-613-2210

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TITLE

PLAN VIEW

LANDSCAPE PLAN  
PROPOSED  
WAREHOUSE DEVELOPMENT

CAMPBELL HEIGHTS NORTH  
PHASE 3 - LOT 15  
160 STREET PRODUCE  
SURREY, B.C.

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SCALE	1:100	DATE	JUL/15
DRAWN	DMV	CHECKED	DMV
DATE	DMV	DATE	DMV
PROJECT	DMV	DATE	DMV

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JOB NO.

DRAWING NO.

L-1 of 2



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TO: **Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **October 28, 2015** PROJECT FILE: **7815-0239-00**

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RE: **Engineering Requirements (Commercial/Industrial)  
Location: 3557 190 Street**

#### **DEVELOPMENT PERMIT**

There are no engineering requirements relative to the Development Permit.

#### **BUILDING PERMIT**

The following are to be addressed prior to issuance of the Building Permit:

- Completion and acceptance of Surrey Project 7812-0159-00;
- Evaluate services (e.g. driveways, water connections, sanitary sewer connections, storm water drainage) provided to the site by 7812-0159-00 and address through the BP process;
- Relocation of service connections as required and abandonment of redundant service connections as required;
- Relocation of curb letdown to proposed new location and associated modification to drainage features if required; and
- Design/Construction of onsite infiltration and water treatment features as per Campbell Heights Land Use Plan requirements and as described in servicing plans under City project 7812-0159-00 and Restrictive Covenants on title.

The applicant is advised to review the registered sustainable drainage and water quality control restrictive covenants prior to submitting building permit application.



Rémi Dubé, P.Eng.  
Development Services Manager

LR