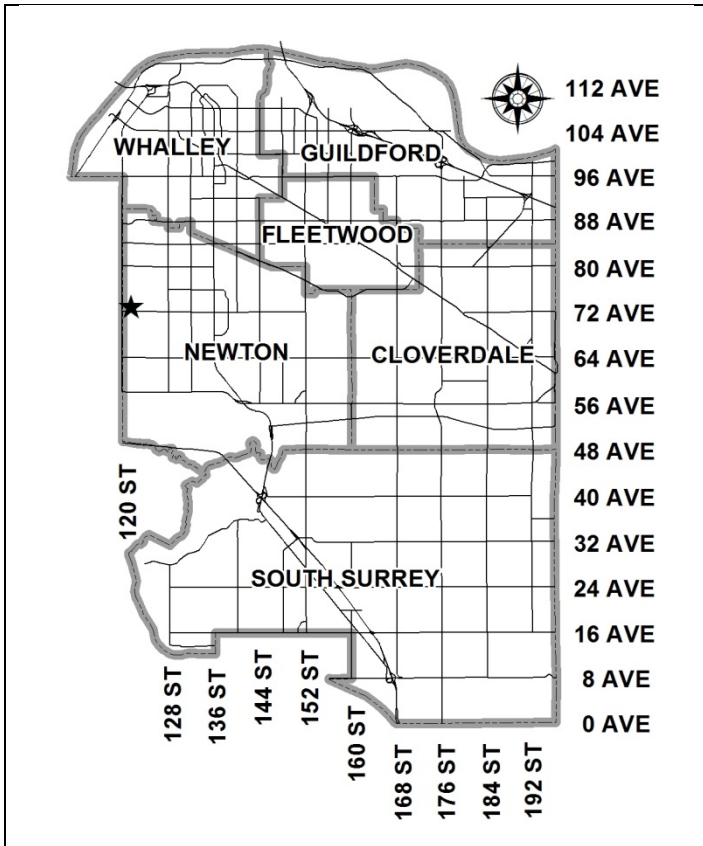


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7915-0226-00

Planning Report Date: November 2, 2015



PROPOSAL:

- **Development Permit**

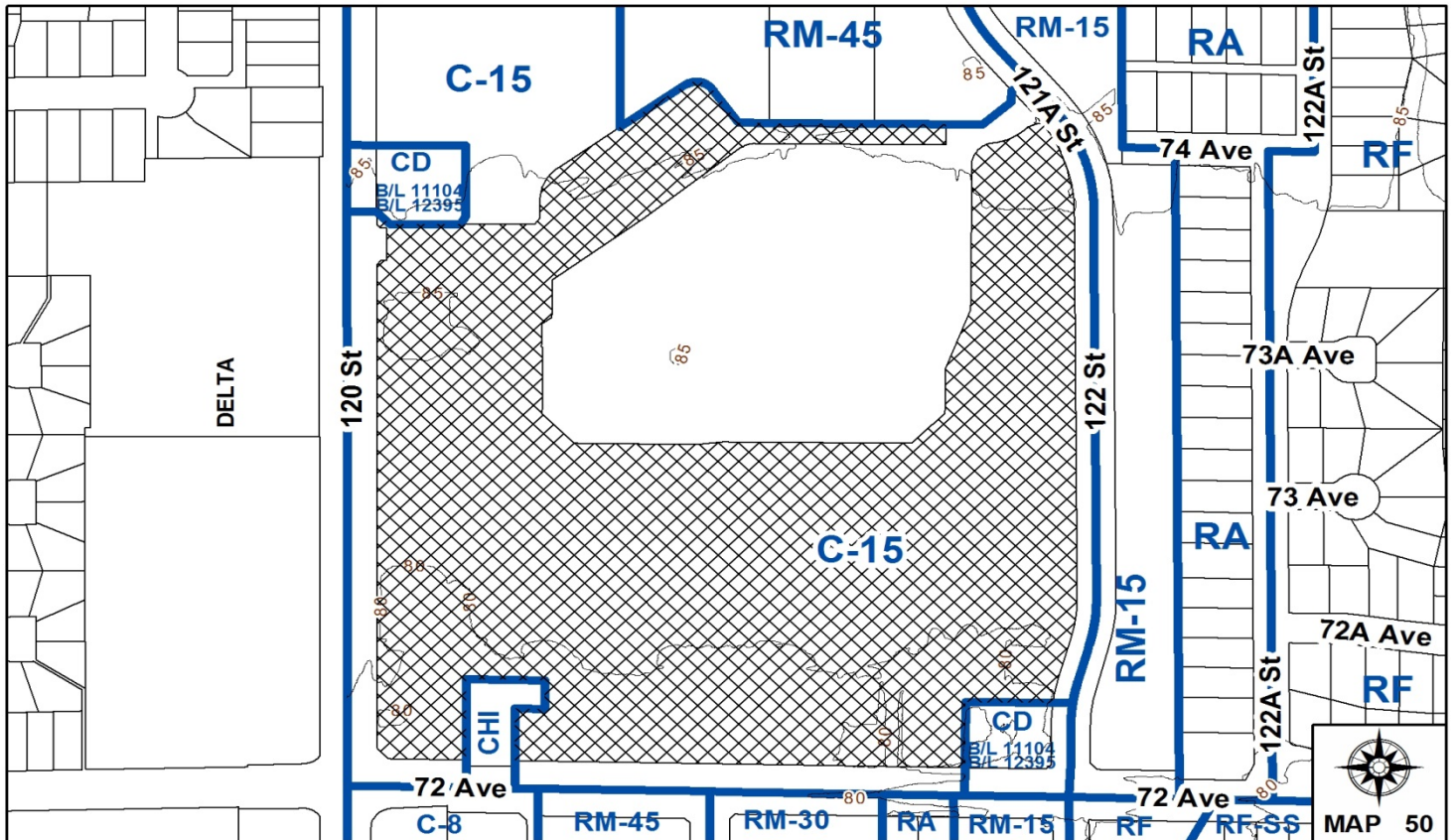
to permit installation of a comprehensive sign package and exterior façade renovation.

LOCATION: 12101 - 72 Avenue

OWNER: Riokim Holdings (Strawberry Hill) Inc

ZONING: C-15

OCP DESIGNATION: Commercial



RECOMMENDATION SUMMARY

- Approval to vary the Sign By-law through a comprehensive sign design package as detailed in Appendix II.
- Approval and issuance of Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking a variance to permit two additional fascia signs, for a total of four, on the subject property.
- Seeking a variance to permit one fascia sign to be located partially above the roofline of the building.

RATIONALE OF RECOMMENDATION

- The proposed comprehensive sign package represents an architectural and aesthetic improvement to the site.
 - The proposed signage is high-quality, is within the maximum permitted sign area, is appropriate in relation to the scale of the building, and complements the architectural improvements to the building.
 - All non-conforming signage will be removed.
 - The proposal will result in a significant decrease in the amount of signage on the site.
-

RECOMMENDATION

1. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
2. Council approve Development Permit No. 7915-0226-00 for a comprehensive sign design package and authorize the Mayor and Clerk to execute the Permit (see Appendix V).

NOTE: If the Development Permit, as presented, is not acceptable to Council in relation to the character of the development, including landscaping and siting, form, exterior design and finish of the building and other structures, including signage, Council may refer the Development Permit back to staff with direction regarding any of these matters.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: A&W Drive-through restaurant with parking area, within the larger Strawberry Hills Shopping Centre.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Within Strawberry Hill Complex):	Retail Commercial	Commercial	C-15
East (Within Strawberry Hill Complex):	Drive-Thru Restaurant (KFC)	Commercial	C-15
South (Across 72 Avenue):	Townhouses	Multiple Residential	RM-30
West (Within Strawberry Hill Complex):	Retail Commercial (Kin's Farm Market)	Commercial	C-15

DEVELOPMENT CONSIDERATIONSBackground & Site Context

- The subject site is an existing drive-through restaurant located within the Strawberry Hills shopping complex, which contains a range of large format retail, entertainment uses, general and personal services, and eating establishments.

- The overall complex encompasses an area of approximately 14 hectares (34.5 acres). The A&W restaurant shares parking with the adjacent KFC drive-through restaurant and a Kin's Farm Market, all three of which are located within a 0.5 hectare (1.25 acre) block at the southern edge of the larger parent parcel, situated between the two 72 Avenue access points.
- This application concerns only the existing 221m² (2400 sq.ft.) drive-through A&W restaurant, addressed as 12133 72 Avenue. The restaurant was constructed in 1994-1995 under Development Permit No. 7993-0453-00 (for the overall complex).
- The existing restaurant is a free-standing building, with a wrap-around drive-through lane.
- At the time of initial construction permits were issued for 7 fascia signs, including 5 A&W logos distributed around the four faces of the building, as well as two 'Drive-Thru' signs on each side of the tallest parapet. Several other fascia and banner signs have since been installed without permits. Photos of the existing building are contained in Appendix III. Building elevation drawings associated with the original permit are contained in Appendix IV.

Proposal

- The applicant proposes an exterior façade and signage upgrade to the existing building. All existing signage is proposed to be removed, and all exterior surfaces re-clad or repainted. No other changes are proposed to the site. Elevations are contained in Appendix V (Schedule A).
- The applicant proposes to vary the Sign By-law by way of a comprehensive sign Development Permit, to allow installation of four new fascia signs (Appendix V, Schedule B - 1):
 - Three A&W fascia signs on the west, south, and north elevations, one of which is proposed to be located on a parapet, partially above the roof line of the building; and
 - One "Drive Thru" fascia sign on the north façade of the building.
- The Sign By-law allows for installation of a maximum of two (2) fascia signs on this building. Variances to the Sign By-law are required to permit the proposed four (4) fascia signs and to permit one of these signs to be located partially above the roofline.
- The following signage, which complies with the sign bylaw, is also proposed:
 - Installation of window signage;
 - Re-facing of all directional signs on site; and
 - Re-facing of the drive-thru menu board.
- The applicant also proposes the following architectural features to complement the new signage:
 - Installation of a 66cm (26") wide illuminated orange acrylic "boomerang" band around the perimeter of the building;
 - Removal of the architectural arch above the existing fascia sign on the south façade of the building;
 - Renovation of the existing parapet on the west side of the building, where a new A&W fascia sign is proposed.

- Removal of all glass canopies on the outside of the building;
 - Replacement of all aluminum cladding and, where required, stucco; and
 - Painting of all exterior surfaces.
- The proposed exterior building renovations are considered minor in nature. The colours, as well as form and character, are reasonably consistent with the original Development Permit for the site. The proposed changes can be included through Council's consideration of the comprehensive sign Development Permit. No separate Development Permit process for form and character is required.
 - The Sign By-law allows Council to vary the sign bylaw through approval of a Development Permit that contains a comprehensive sign design package.
 - The proposed new signage and building finishes are all detailed in Schedule B of the Development Permit, contained in Appendix V.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To vary the Sign By-law to increase the permitted number of fascia signs from two (2) to four (4).
- To vary the Sign By-law to permit 1 fascia sign to be located partially above the roof line of the building.

Applicant's Reasons:

- This franchise is proposing an exterior and signage renovation to remain consistent with corporate direction.
- All existing non-conforming signage will be removed.
- The proposed signage and façade upgrades are consistent with other A&W restaurants that have been approved throughout the City.

Staff Comments:

- A sign permit was issued in 1994 to permit 2 of the existing "A&W" fascia signs to be located on parapets above the roofline. The proposed replacement signs are located in the same or similar locations.
- The location of the third and fourth signs, (the "A&W" logo and "Drive Thru" fascia) on the north façade is consistent with the location of signage in the original Development Permit.
- The location of signage is consistent with other A&W locations throughout the City which have also been reviewed and approved by Staff and Council where appropriate.

- The applicant is proposing a significant reduction in signage as compared to what was previously permitted as well as what is currently installed.
- The proposed signage is considered by staff to complement the exterior changes to the building and is an architectural and aesthetic improvement.
- The proposed signage and architectural changes are similar to three other existing A&W franchises - 102 Avenue and Whalley Boulevard, 2303 - King George Boulevard, and 7330 King George Blvd.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Sign By-law Variances Tables
Appendix III.	Existing Building Photos
Appendix IV.	Elevations (Existing)
Appendix V.	Development Permit 7915-0226-00

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

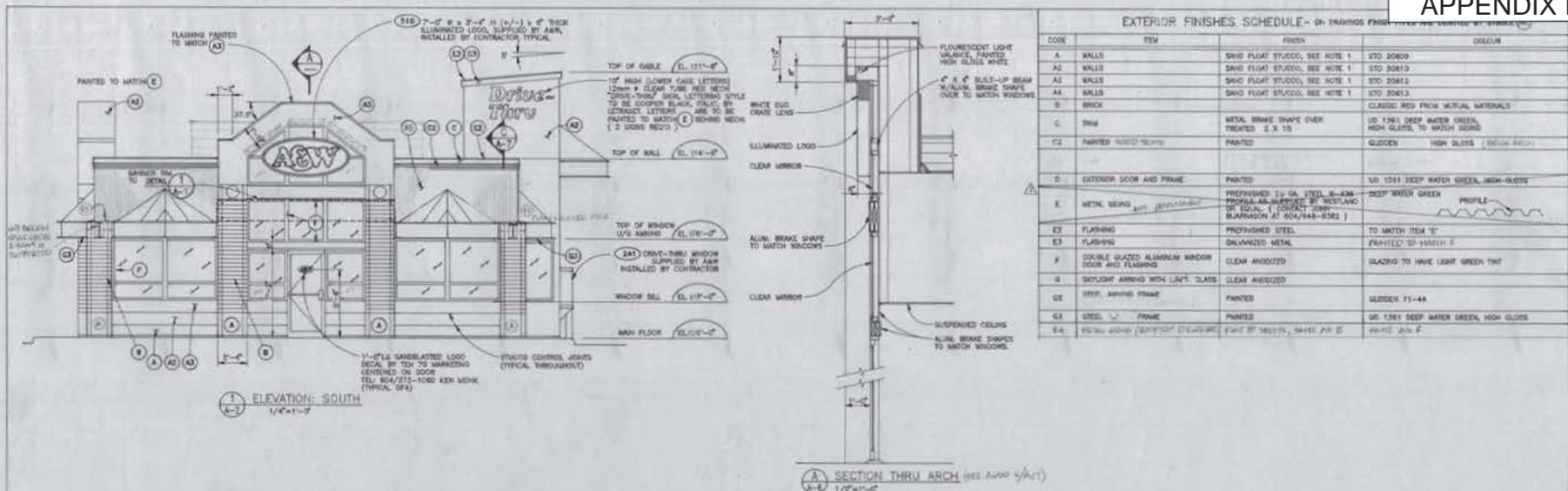
DS/dk

PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To allow two (2) additional fascia signs for a total of four (4) for the A&W Drive-Thru restaurant.	A maximum of two (2) fascia signs are permitted for each premises (Part 5, Section 27(2)(a)).	<p>The proposed fascia signs are of an appropriate size and scale in relation to the proposed building.</p> <p>Permits were previously issued for three (3) fascia signs, consistent with Development Permit 6793-0424-00.</p>
2	To allow one fascia sign to be installed partially above the roofline of the building.	Fascia signs shall not extend above the roof line of the building face to which it is attached (Part 1, Section 6.(1.3)).	The fascia sign is located on a parapet which extends above the roofline of the building.

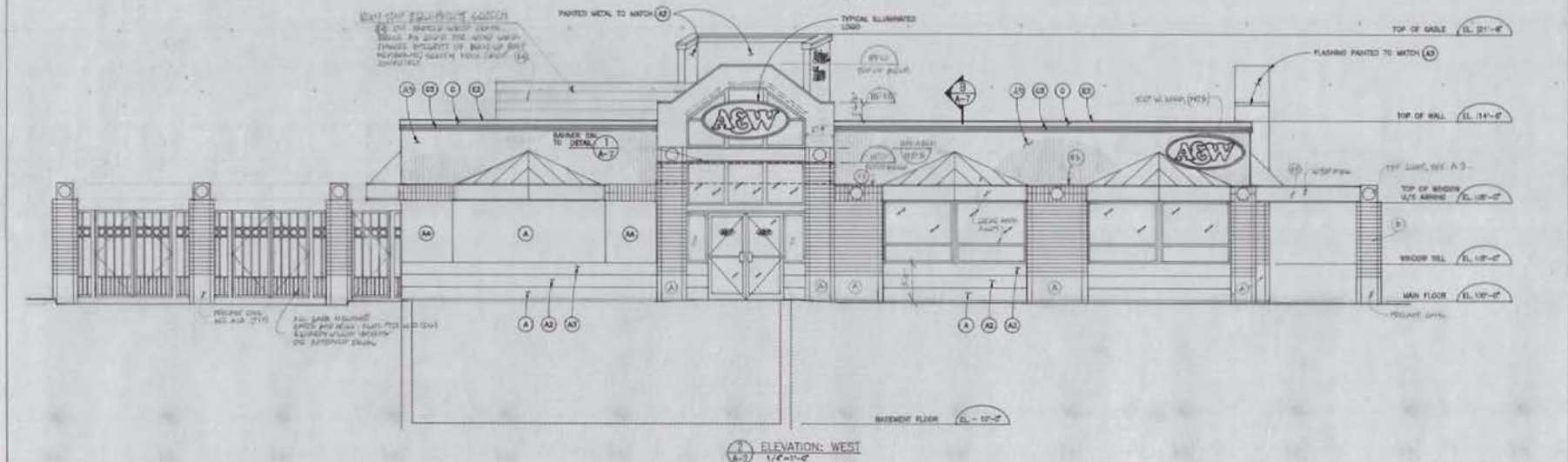
Exterior Photos 72ND & Scott Rd





EXTERIOR FINISHES SCHEDULE - (SEE DRAWING FINISHES SCHEDULE FOR FINISHES)

CODE	ITEM	FINISH	COLOR
A1	WALLS	SAID FLAT STUCCO, SEE NOTE 1	STO 30009
A2	WALLS	SAID FLAT STUCCO, SEE NOTE 1	STO 30013
A3	WALLS	SAID FLAT STUCCO, SEE NOTE 1	STO 30012
AA	WALLS	SAID FLAT STUCCO, SEE NOTE 1	STO 30013
B	BRICK		CLASSIC RED FROM NATURAL MATERIALS
C	TRIM	METAL BRAKE SHAPE OVER TREATED 2 X 10	UP 1261 DEEP WATER GREEN, HIGH GLOSS, TO MATCH SIGNS
C2	PAINTED ROOF TRUSS	PAINTED	GLIDDEN HIGH GLOSS (EXLUX 800)
D	EXTERIOR DOOR AND FRAME	PAINTED	UP 1261 DEEP WATER GREEN, HIGH GLOSS
E	METAL SIGNS	PREFINISHED 1/2" GA. STEEL SIGN PROFILE AS SHOWN BY WESTLAND OF CANADA (CONTACT WESTLAND BLUMHAGEN AT 604/448-6381)	DEEP WATER GREEN PROFILE
E2	FLASHING	PREFINISHED STEEL	TO MATCH ITEM 'E'
E3	FLASHING	DYANOLIZED METAL	PAINTED TO MATCH 'E'
F	DOUBLE GLAZED ALUMINUM WINDOW DOOR AND FLASHING	CLEAR ANODIZED	GLAZING TO HAVE LIGHT GREEN TINT
G	SKYLIGHT ANCHOR WITH LAMP GLASS	CLEAR ANODIZED	
G2	TRIM, ANCHOR FRAME	PAINTED	GLIDDEN 71-44
S3	STEEL SIGN FRAME	PAINTED	UP 1261 DEEP WATER GREEN, HIGH GLOSS
S4	STEEL SIGN (SIGN TOP ELEMENT)	PAINT BY WESTLAND, 94415, P.B. 2	WHITE SIGN 2



1. ACRYLIC STUCCO TO BE AKZOFLOR FIBREMENT SYSTEM, DISTRIBUTED BY CBS BUILDING PRODUCTS, 604/278-1411.
2. ALL PAINTED FINISH TO HAVE ONE COAT PRIMER AND TWO COATS PAINT.
3. FINISHING: REFER TO DWD. A-14 FOR DETAILS.

No.	Description	Date
1	PRELIMINARY ESTIMATE	1/1/74
2	REVISION	1/1/74
3	REVISION	1/1/74
4	REVISION	1/1/74
5	REVISION	1/1/74
6	REVISION	1/1/74
7	REVISION	1/1/74
8	REVISION	1/1/74
9	REVISION	1/1/74
10	REVISION	1/1/74

A&W

A & W FOOD SERVICES OF CANADA LTD.
REAL ESTATE & CONSTRUCTION DEPARTMENT
NORTH VANCOUVER

Project:
A & W RESTAURANT
STRAWBERRY HILL
72 96 AVE. & SCOTT ROAD
SURREY, B.C.

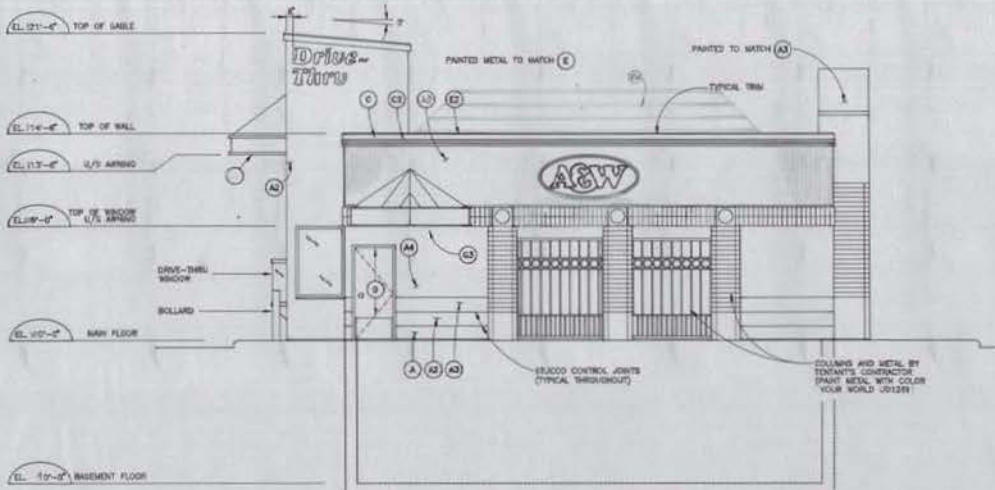
Drawing Title:
EXTERIOR ELEV. SHEET 1

Drawn By:
B. BOEL

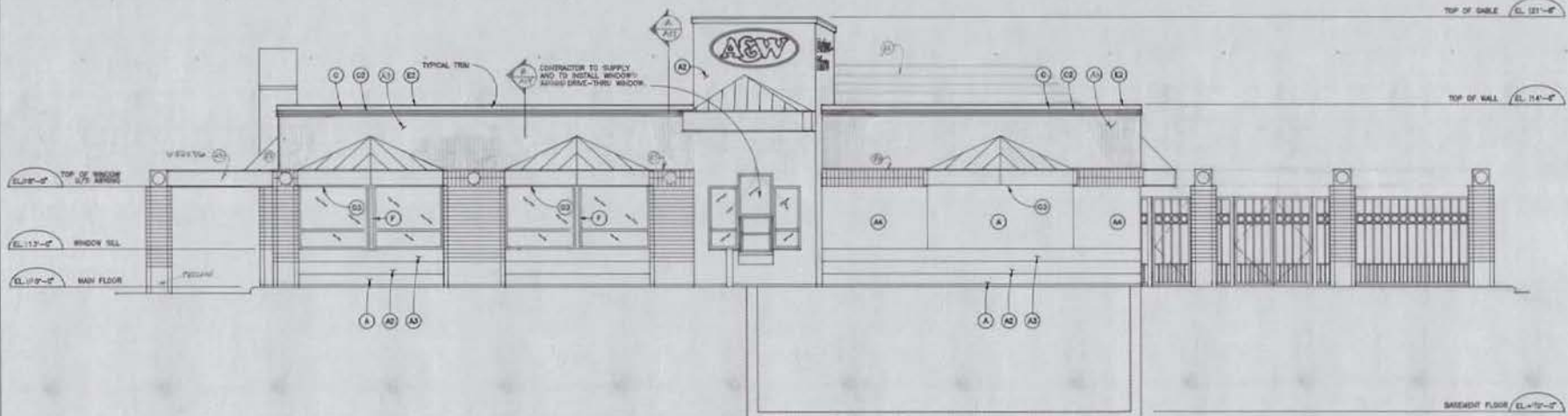
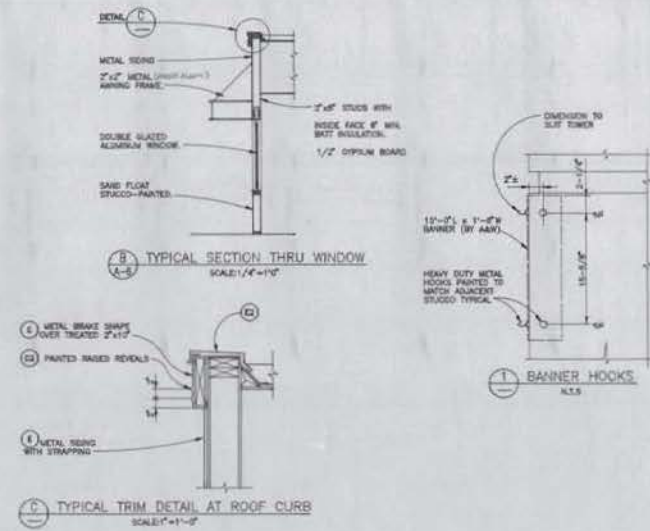
Checked By:
AS. SHOWN

Date:
AUG/21/74

Sheet No.
A-6



1 ELEVATION: NORTH
SCALE: 1/4"=1'-0"



2 ELEVATION: EAST
SCALE: 1/4"=1'-0"

1. FOR EXTERIOR FINISHES SCHEDULE SEE DWG A-6

No.	Description	Date
1	REVISION	

1. THIS DRAWING IS THE PROPERTY OF A&W FOOD SERVICES OF CANADA LTD. AND NOT TO BE LOANED, REPRODUCED, COPIED, OR IN ANY MANNER USED WITHOUT THE WRITTEN PERMISSION OF A&W FOOD SERVICES OF CANADA LTD.

2. DO NOT SCALE DRAWING.

3. CONTRACTOR TO VERIFY ALL MEASUREMENTS AND CONDITIONS, REPORT BY AND ALL RESPONSIBILITIES TO A&W.

4. ALL WORK TO CONFORM TO THE LATEST LOCAL BUILDING CODE, LOCAL BY-LAWS, AND WITH ALL REQUIREMENTS.



A & W FOOD SERVICES OF CANADA LTD.
REAL ESTATE & CONSTRUCTION DEPARTMENT
NORTH VANCOUVER

Project
A & W RESTAURANT
STRAWBERRY HILL
7230 AVE. & SCOTT ROAD
SURREY, B.C.

Drawing Title
EXTERIOR ELEV. SHEET 2

Drawn By: B. BOEL
Approved By: [Signature]
Date: AS SHOWN AUG/24/84

A-7
REV. 2

CITY OF SURREY

(the "City")

DEVELOPMENT PERMIT

NO.: 7915-0226-00

Issued To: Riokim Holdings (Strawberry Hill) Inc
("the Owner")

Address of Owner: C/O RIOCAN MANAGEMENT (BC) INC
315-700 LAWRENCE AVE W
TORONTO ON M6A 3B4

1. This development permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development permit.
2. This development permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 017-964-075
Lot 1 Except: Part Subdivided By Plan LMP45199; Section 19 Township 2
New Westminster District Plan LMP5880
12101 72 Ave

(the "Land")

3. This development permit applies to only to that portion of the buildings and structures on the Land shown on Schedule B which are attached hereto and forms part of this development permit.
4. The Land has been designated as a Development Permit Area in Surrey Official Community Plan By-law, 2013, No. 18020, as amended.
5. Surrey Sign By-law, 1999, No. 13656, as amended, is varied as outlined on Schedule A which is attached hereto and forms part of this development permit, and as shown on the comprehensive sign design package Drawings I through X contained in Schedule B.
6. This development permit amends Development Permit No. 6793-0424-00.

7. Minor changes to the Drawings that do not affect the general form and character of the landscaping and the siting, form, exterior design, finish of buildings, structures and signage on the Land, may be permitted subject to the approval of the City.
8. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development permit.
9. This development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued, within two (2) years after the date this development permit is issued.
10. The terms of this development permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
11. This development permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS DEVELOPMENT PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS DEVELOPMENT PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

Authorized Agent: (Signature)

Name: (Please Print)

Sign By-law Variances

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To allow two (2) additional fascia signs for a total of four (4) for the A&W Drive-Thru restaurant.	A maximum of two (2) fascia signs are permitted for each premises (Part 5, Section 27(2)(a)).	<p>The proposed fascia signs are of an appropriate size and scale in relation to the proposed building.</p> <p>Permits were previously issued for three (3) fascia signs, consistent with Development Permit 6793-0424-00.</p>
2	To allow one fascia sign to be installed partially above the roofline of the building.	Fascia signs shall not extend above the roof line of the building face to which it is attached (Part 1, Section 6.(1.3)).	The fascia sign is located on a parapet which extends above the roofline of the building.

SCHEDULE B - I

0339 72nd AVE & SCOTT ROAD, SURREY, BC

Exterior: Elevations Illustrating New Finishes

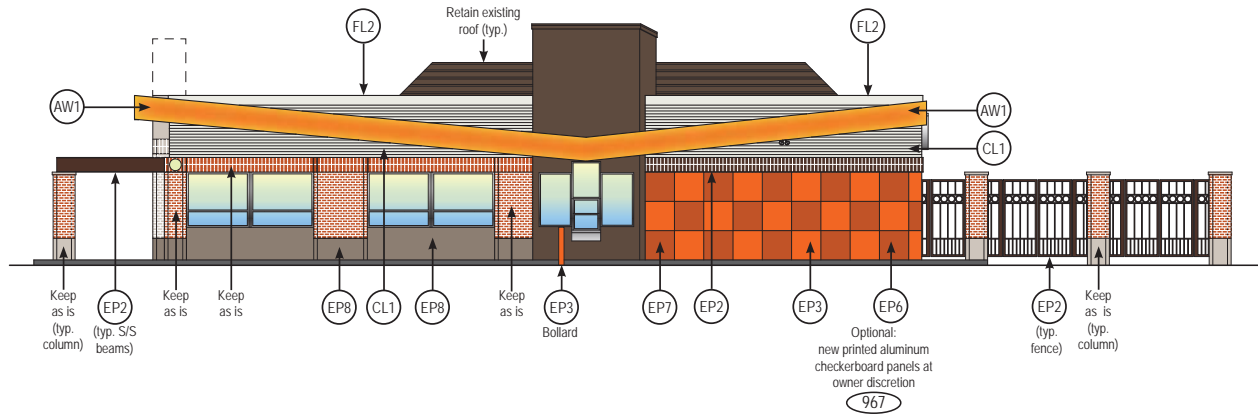
Legend

- - - -	Removed
- . - . -	Optional items
(XX)	Denotes material finishes
(XX)	Denotes equipment number

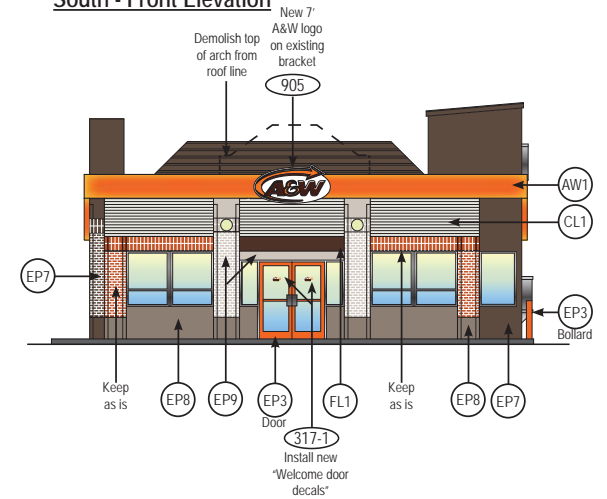
Note:

- Remove all existing signage and all exterior lighting through out.
- Hedges and trees around building to be trimmed to increase visibility

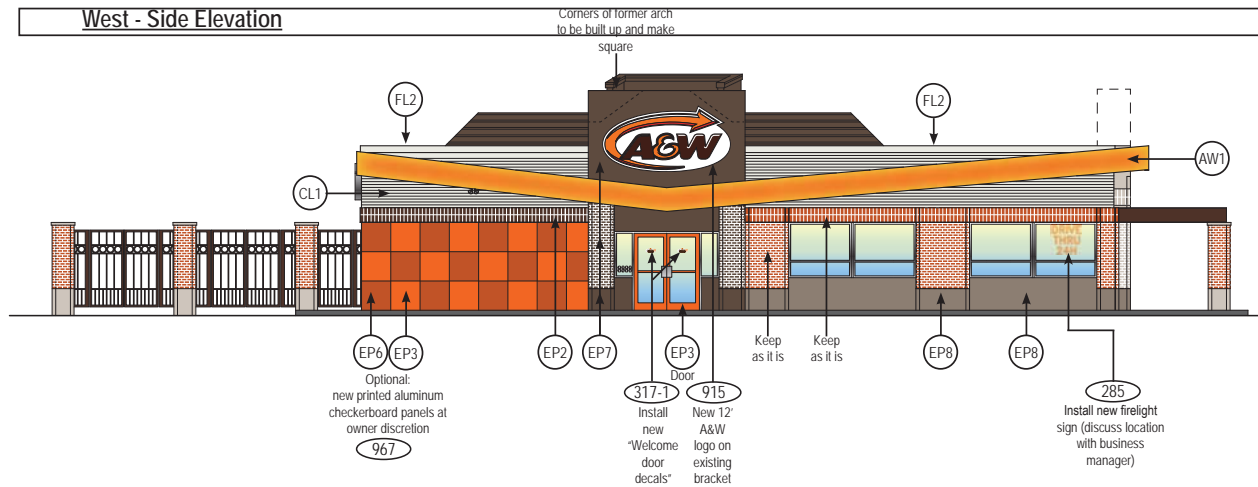
East - Drive Thru Elevation



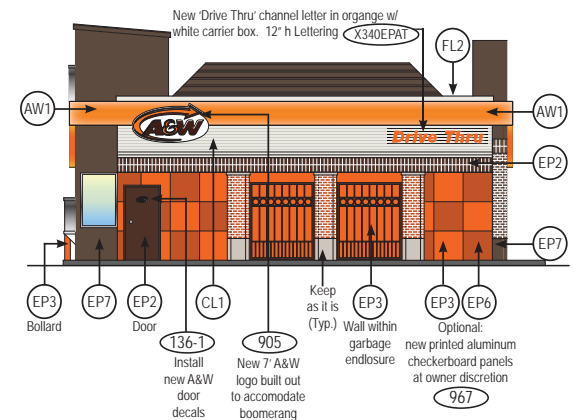
South - Front Elevation



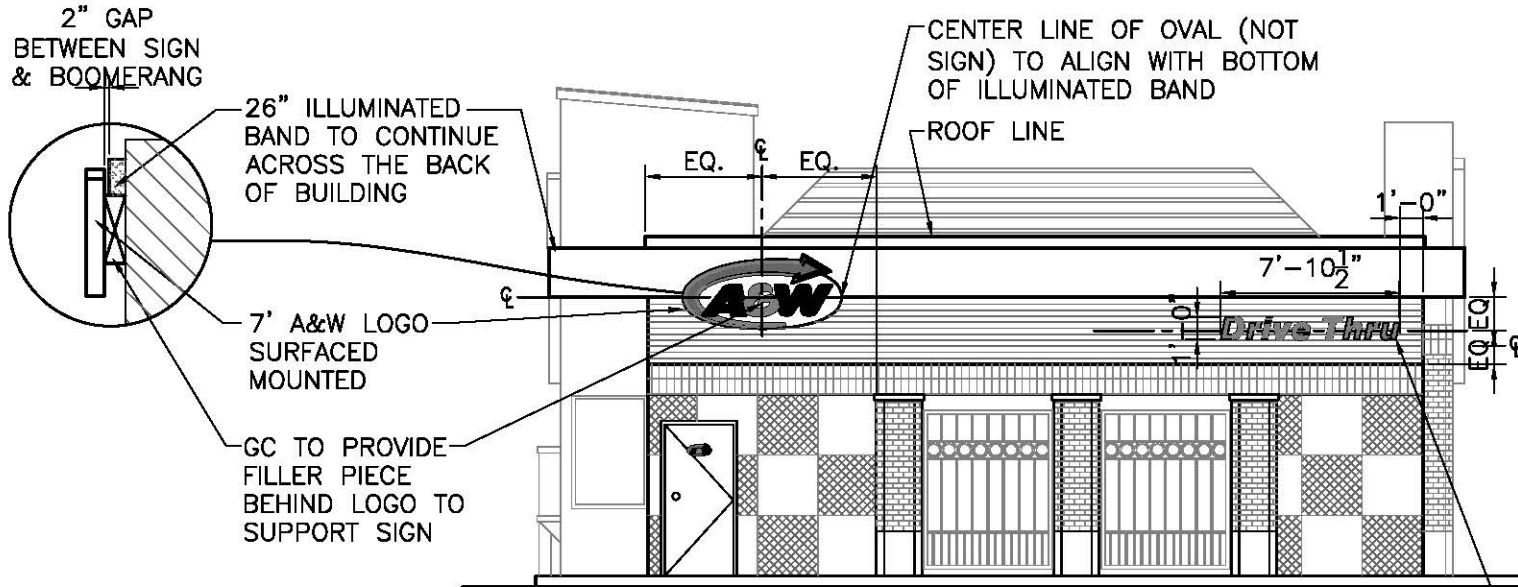
West - Side Elevation



North - Rear Elevation



SIGNAGE ELEVATIONS



NORTH-BACK ELEVATION

NEW 'DRIVE THRU' CHANNEL LETTER
 IN ORANGE W/ CARRIER BOX
 (COLOUR TO MATCH CLADDING) 12"
 LETTERING (X340EPAT)

NOTE:
 THESE ARE GENERIC ELEVATIONS OF A
 STANDARD "B" STYLE BUILDING. THE
 SIGNAGE AND DIMENSIONS SHOWN PERTAIN
 TO THIS SPECIFIC LOCATION.

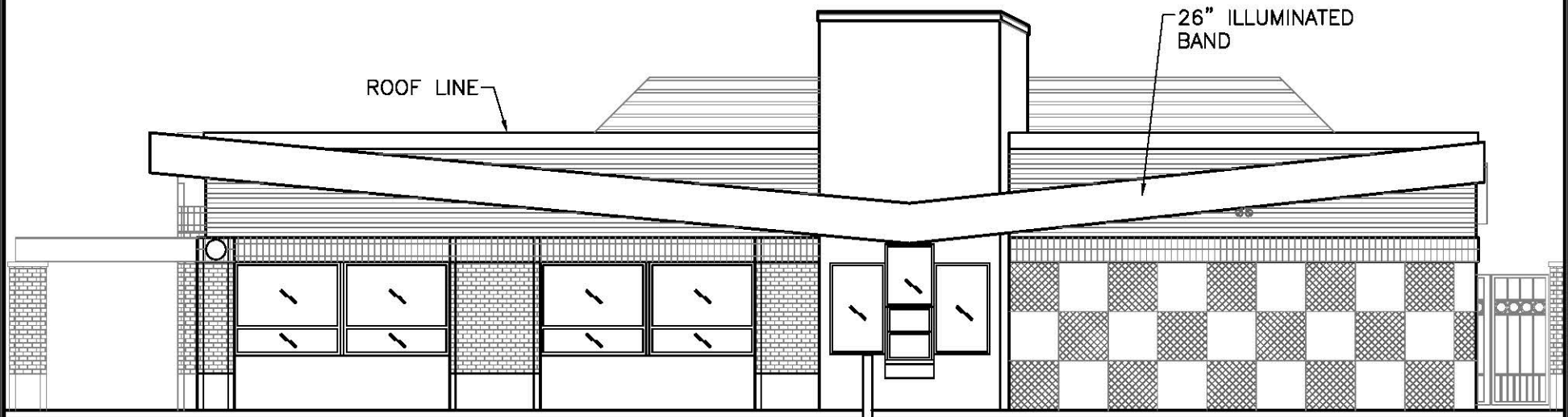
CONTRACTOR TO CONFIRM ALL DIMENSIONS

REV.	DESCRIPTION:	DATE:
1	FOR SIGNAGE ACCORDING TO EXISTING VISIBILITY	2015.03.03
2	REMOVE READO BOARD AND ADD 'Drive Thru' Signage	2015.10.19

SCHEDULE B - II

BOOMERANG RE-IMAGE PROGRAM		DATE: 2014.10.06	BUILDING STYLE: "CUSTOM B" - RIGHT	LOCATION: 72nd AVE & SCOTT ROAD SURREY, BC
---	---	---------------------	---------------------------------------	--

SIGNAGE ELEVATIONS



EAST-DRIVE THRU ELEVATION

NOTE:
 THESE ARE GENERIC ELEVATIONS OF A
 STANDARD "B" STYLE BUILDING. THE
 SIGNAGE AND DIMENSIONS SHOWN PERTAIN
 TO THIS SPECIFIC LOCATION.

CONTRACTOR TO CONFIRM ALL DIMENSIONS

REV.	DESCRIPTION:	DATE:
1	SIGNAGE ACCORDING TO EXISTING VISIBILITY	2015.03.03
2	REMOVE READO BOARD AND ADD 'Drive Thru' Signage	2015.10.19

SCHEDULE B - III

**BOOMERANG
 RE-IMAGE
 PROGRAM**

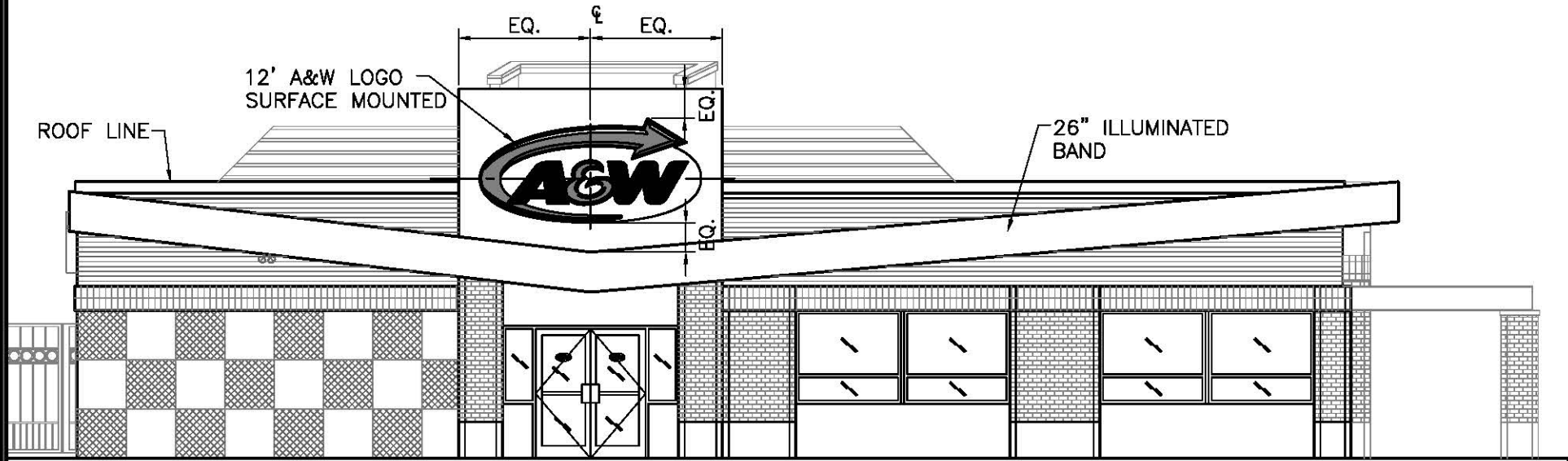


DATE:
 2014.10.06

BUILDING STYLE:
 "CUSTOM B" - RIGHT

LOCATION:
 72nd AVE & SCOTT ROAD
 SURREY, BC

SIGNAGE ELEVATIONS



WEST-SIDE ELEVATION

NOTE:

THESE ARE GENERIC ELEVATIONS OF A STANDARD "B" STYLE BUILDING. THE SIGNAGE AND DIMENSIONS SHOWN PERTAIN TO THIS SPECIFIC LOCATION.

CONTRACTOR TO CONFIRM ALL DIMENSIONS

SCHEDULE B - IV

REV.	DESCRIPTION:	DATE:
1	REPLACE SIGNAGE ACCORDING TO EXISTING VISIBILITY	2015.03.03
2	REMOVE READO BOARD AND ADD 'Drive Thru' Signage	2015.10.19

BOOMERANG
RE-IMAGE
PROGRAM

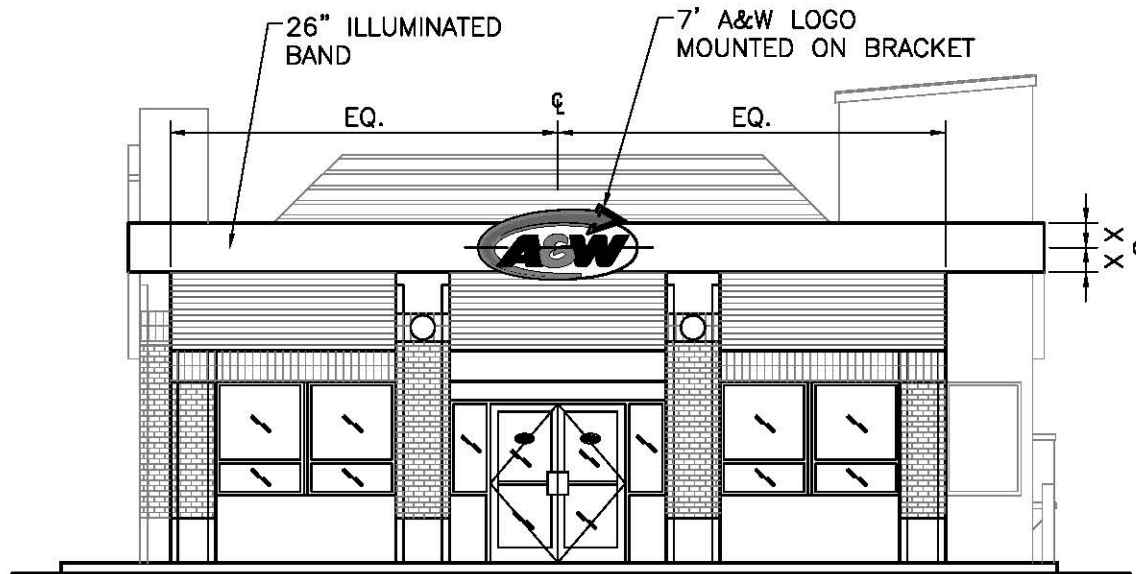


DATE:
2014.10.06

BUILDING STYLE:
"CUSTOM B" - RIGHT

LOCATION:
72nd AVE & SCOTT ROAD
SURREY, BC

SIGNAGE ELEVATIONS



SOUTH-FRONT ELEVATION

NOTE:
 THESE ARE GENERIC ELEVATIONS OF A STANDARD "B" STYLE BUILDING. THE SIGNAGE AND DIMENSIONS SHOWN PERTAIN TO THIS SPECIFIC LOCATION.

CONTRACTOR TO CONFIRM ALL DIMENSIONS

REV.	DESCRIPTION:	DATE:
1	SIGNAGE ACCORDING TO EXISTING VISIBILITY	2015.03.03
2	REMOVE READO BOARD AND ADD 'Drive Thru' Signage	2015.10.19

SCHEDULE B - V

**BOOMERANG
 RE-IMAGE
 PROGRAM**



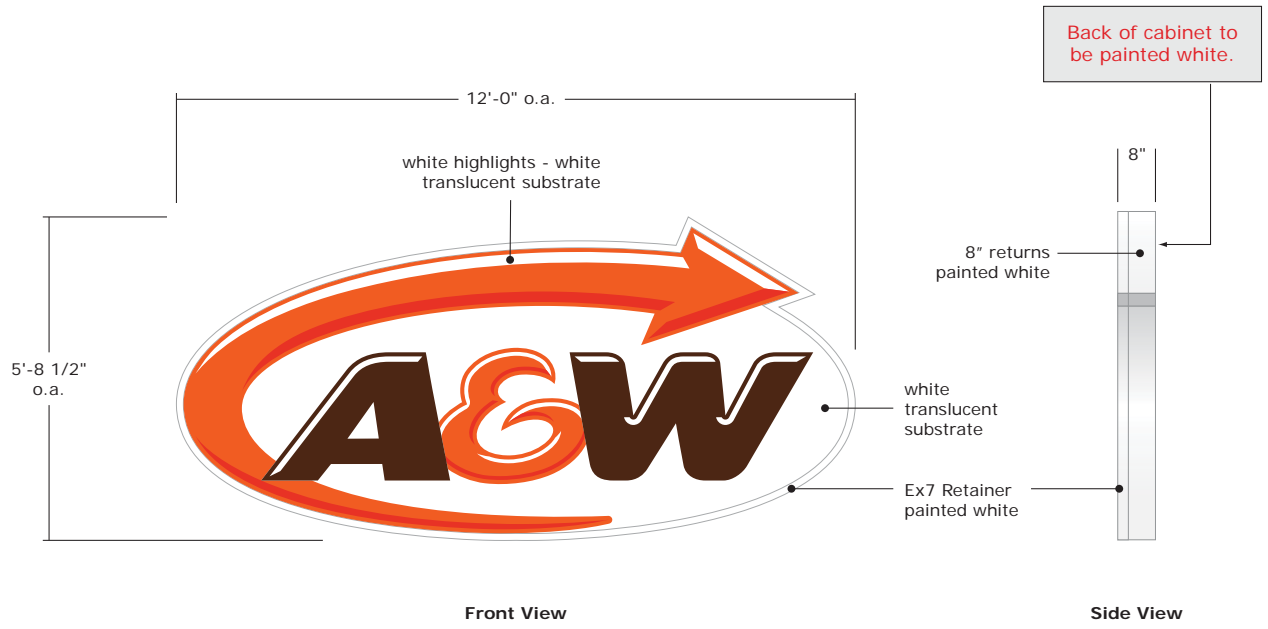
DATE:
 2014.10.06

BUILDING STYLE:
 "CUSTOM B" - RIGHT

LOCATION:
 72nd AVE & SCOTT ROAD
 SURREY, BC

IF YOU CAN READ THIS YOUR PDF PRINTOUT IS NOT TO SCALE. CHANGE "PAGE SCALING" TO "NONE".

SCHEDULE B - VI



Manufacture and Install... Exterior

12ft Single Face Illuminated Cabinet (Wall Mount)

Overall Size: 5'-8 1/2" X 12'-0"
 Total Area: 51.53 sq. ft.
 Est. Weight: 370 lbs

Construction: S/F Cabinet

Substrate: Lexan face c/w 1st surface vinyl
Cabinet: Hinged cabinet painted white
Retainers: Ex7 retainers painted white
Illumination: T12 6500 K - HO illumination

Graphics

"A", "W": Brown, White
 "&": Orange, White, Red
 Arrow: Orange, White, Red
 Background: White

Color Data

- White: White translucent substrate / white paint
- Orange: 3M 3630-44 Orange vinyl
- Red: 3M 3630-43 Lt. Tomato Red vinyl
- Brown: 3M 3630-59 Dark Brown vinyl

See Technical Drawings For Construction Details



2710 Kaslo Street
 Vancouver, BC, Canada V5M 4J1

Tel (604) 215-5526
 Fax (604) 215-0696
 www.pattisonsign.com

DATE: June 20, 2012
 SKETCH: AW007
 SALES: Randy Sigouin
 ARTIST: D.F.
 SCALE: 3/8" = 1'-0"
 VOLTAGE: 120 V
 PAGE: 1 of 1

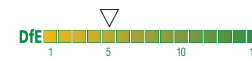
MASTER
 DATE OF MASTER: June 20, 2012

MASTER SIGN OFF	
Artist	SALES REP

MASTER REVISION HISTORY	
1	M1: Change height to match tech dwgs. Added hot spec.
2	
3	



Fluorescent, Neon and HID lamps contain Mercury. Dispose of these lamps according to Local, Provincial, State or Federal Laws.



REVISION HISTORY (PRIOR TO MASTER PRINT)	
1	
2	
3	

A&W

Various Locations

IF YOU CAN READ THIS YOUR PDF PRINTOUT IS NOT TO SCALE. CHANGE "PAGE SCALING" TO "NONE".

SCHEDULE B - VII



Manufacture and Install... Exterior

Illuminated Channel Letters

Overall Size: 1'-0 1/2" X 8'-0"
Total Area: 8.2 sq ft

Construction: Channel Letters

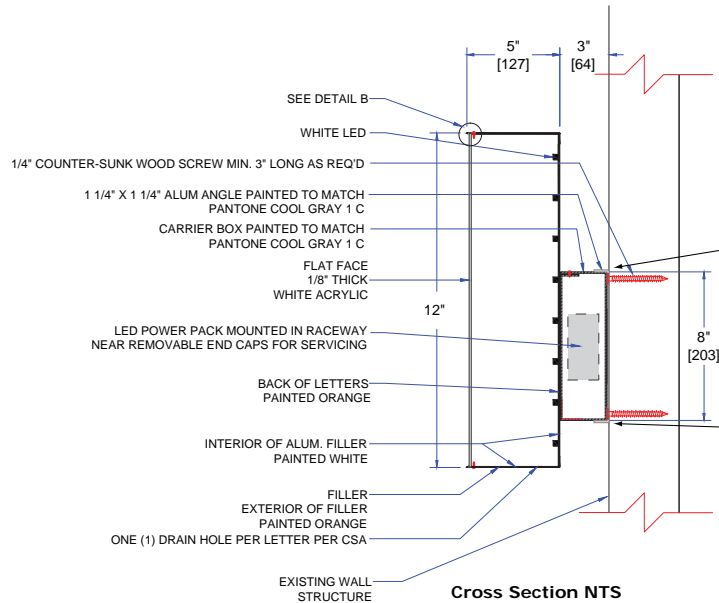
- Power:** In raceway. Raceway painted Gray to match Pantone Cool Gray 1 C.
- Method of attachment:** RW flush with wall.
- Substrate:** Translucent white plex face w/ 1st surface vinyl.
- Trim Cap:** 1" ...orange
- Returns:** 5" painted orange
- Illumination:** LED (Installer to confirm existing voltage)

Graphics

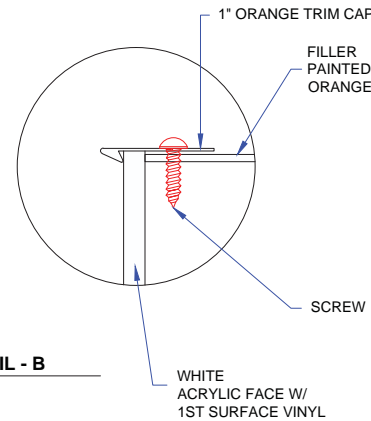
- "Drive Thru": Orange
- Background: existing building

Color Data

- Orange: 3M 3630-44 Orange vinyl
- Orange: Paint to match Pantone 165 C
- Grey: Paint to match Pantone Cool Gray 1 C



Painted aluminum angle installed on wall prior to raceway. Angle to run entire length of raceways top and bottom.



DETAIL - B

Cross Section NTS



120-7885 North Fraser Way
Burnaby, BC, Canada V5J 5M7

Tel (604) 215-5526
Fax (604) 215-0696
www.pattisonsign.com

DATE: Oct 28, 2015
SKETCH: V15-4797 A
SALES: Randy Sigouin
ARTIST: D.F.
SCALE: 3/4" = 1'-0"
VOLTAGE: 120 V req'd
PAGE: 1 of 1

Customer Approval

Landlord Approval

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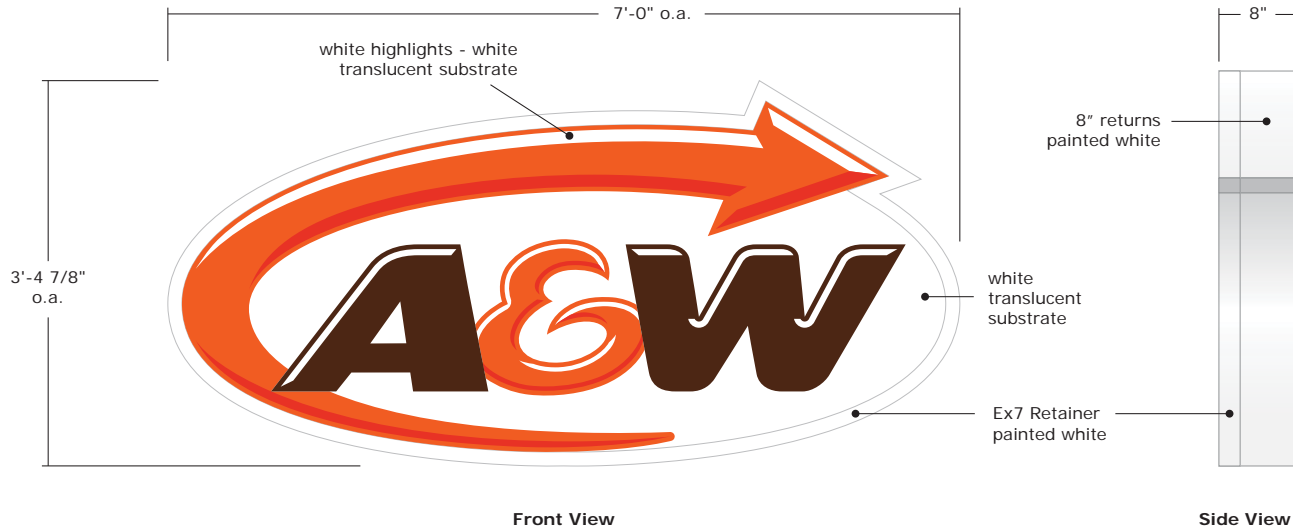
REVISION HISTORY (PRIOR TO MASTER ART):



Fluorescent, Neon and HID lamps contain Mercury. Dispose of these lamps according to Local, Provincial, State or Federal Laws.

A&W #0339

Strawberry Hill
72 Ave.
Surrey, BC



Manufacture and Install... Exterior

7ft Single Face Illuminated Cabinet

Overall Size: 3'-4 7/8" X 7'-0"

Total Area: 17.89 sq. ft.

Est. Weight: 150 lbs

Construction: S/F Cabinet

- Substrate:** Lexan face c/w 1st surface vinyl
- Cabinet:** Hinged cabinet painted white
- Retainers:** Ex7...painted white
- Illumination:** T12 6500 K - HO illumination

Graphics

- "A", "W": Brown, White
- "&": Orange, White, Red
- Arrow: Orange, White, Red
- Background: White

Color Data

- White: White translucent substrate / white paint
- Orange: 3M 3630-44 Orange vinyl
- Red: 3M 3630-43 Lt. Tomato Red vinyl
- Brown: 3M 3630-59 Dark Brown vinyl

See Technical Drawings For Construction Details



2710 Kaslo Street
Vancouver, BC, Canada V5M 4J1

Tel (604) 215-5526
Fax (604) 215-0696
www.pattisonsign.com

DATE: Nov 3, 2010
SKETCH: AW009
SALES: Randy Sigouin
ARTIST: D.F.
SCALE: 3/4" = 1'-0"
VOLTAGE: 120 V
PAGE: 1 of 1

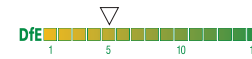
MASTER
DATE OF MASTER: Nov 3, 2010

MASTER SIGN OFF	
Artist	SALES REP

MASTER REVISION HISTORY	
1	
2	
3	



Fluorescent, Neon and HID lamps contain Mercury. Dispose of these lamps according to Local, Provincial, State or Federal Laws.



REVISION HISTORY (PRIOR TO MASTER PRINT)	
1	
2	
3	

A&W

Various Locations

INSTALLATION INSTRUCTIONS

"DRIVE THRU 24 HRS." 36" x 36"

LED FIRELIGHT SIGN

SCHEDULE B - IX

QUOTE/PROJECT#: _____

LINKS:

THIS SHEET;
PROD SHEET;
B.O.M.;
ADDITIONAL;

DRAWING DATE: 11/15/12 PROJECT DUE DATE: SALES ORDER #:

CUSTOMER:
A&W RESTAURANT CANADA
PROJECT SITE:

CUSTOMER CONTACT NAME:

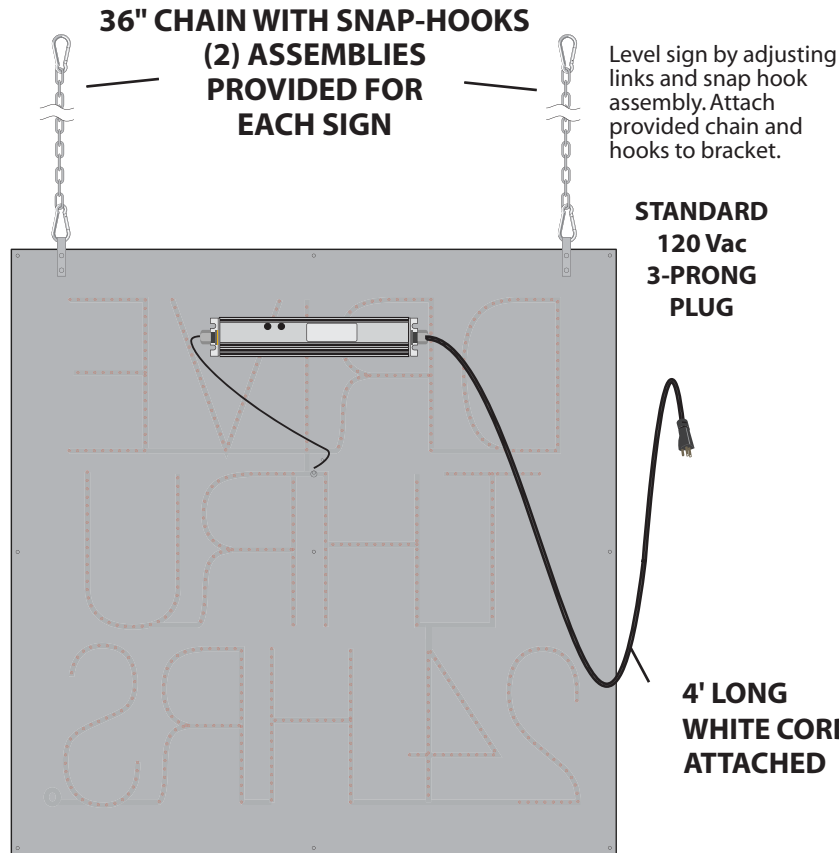
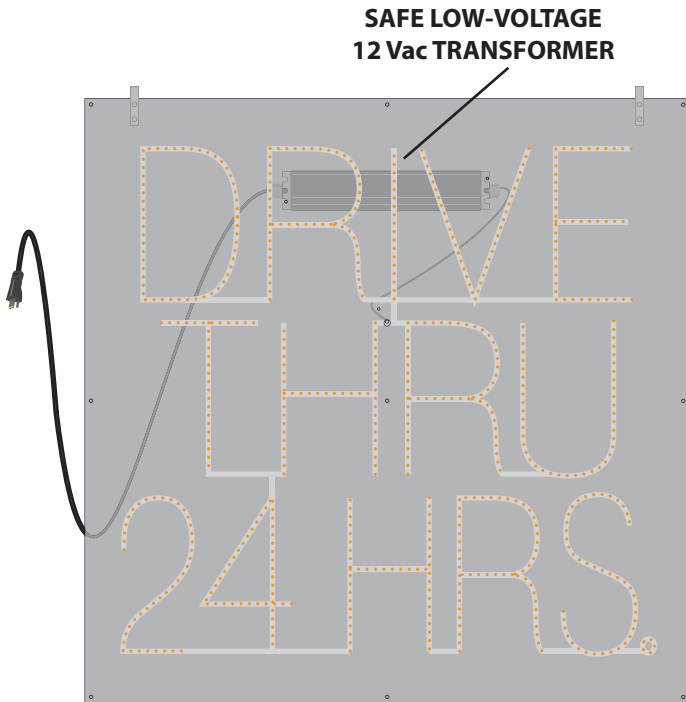
DRAWN BY: TOM HARRIS SALES REPRESENTATIVE: KEITH HANNAH

- QUOTE COPY
- PRODUCTION COPY
- INSTALL COPY**

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LED FOOTAGE AND TRANSFORMER QUANTITIES ARE ESTIMATES ONLY AND ARE BASED ON CUSTOMER SUPPLIED INFORMATION. ACTUAL PARTS AND LOCATIONS MAY VARY AT THE TIME OF INSTALL, DUE TO INSTALLATION METHOD. CUSTOMER MUST VERIFY BEFORE PROCEEDING WITH INSTALL.

REV. 0



CAUTION: SIGN WEIGHT=35lbs.-Professional Installation is Highly Recommended to prevent Accidents. Proper Hardware Rated to Support Weight Should be used to Install.

CLEANING SIGN: Use only soft cotton cloth and mild cleansing solution (Novus Plastic Polish 1 Recommended). If very dusty, lightly remove dust first without swirling motion, then clean surface. To avoid scratches do not use paper towels to clean plastic surface.

Max. Amp 4.2

SCALE: NTS

MATERIAL:
CLEAR ACRYLIC

TOLERANCE:

±

SCALE:
NTS

SHEET:
1

REV. A
190-4055
PART NO.

9. Legend: Exterior Materials and Finishes

Standard Paint Colours ¹				
Code	Manufacturer	Colour	Pantone	Swatch
EP1	Left blank on purpose			
EP2	Benjamin Moore	Hasbrouck Brown HC-71	476	
	(Primarily for exterior bulkhead, service doors and exterior walls)			
EP3	Benjamin Moore	Rumba Orange 2014-20	165	
	(Primarily for exterior menuboard, bollards, quirky checkerboard and exterior walls)			
EP4	Benjamin Moore	White Down OC-131	Warm Grey 1	
	(Primarily for exterior walls)			
EP5	Left blank on purpose			
EP6	Benjamin Moore	Rust #2175-30	167	
	(Primarily for quirky checkerboard)			
EP7	Benjamin Moore	Sierra Spruce #2108-20	n/a	
	(Primarily for exterior repainted fin or tower)			
EP8	Benjamin Moore	Stardust #2108-40	n/a	
	(Primarily for exterior repainted base of walls)			

Standard Paint Colours ¹				
Code	Manufacturer	Colour	Pantone	Swatch
EP9	Benjamin Moore	Abalone #2108-60	n/a	
	(Primarily for exterior walls)			
EP10	Benjamin Moore	Horizon OC-53	n/a	
	(Primarily for exterior walls where cladding is not acceptable)			
EP11	Any	Silver	Silver 442C	
	(Primarily for pole of existing pylon sign base for retrofits)			
Metals				
Code	Description	Product	Finish/Colour	Swatch
CL1	Ribbed Metal cladding	Vicwest Profile: CL 6025SR Gauge 26	Valspar WeatherX Cambridge White QC 16161	
	(Primarily for new exterior cladding, 4-6 weeks lead time)			
FL1	Metal Flashing	Source Locally	To match Pantone 476	
	(Primarily for retrofitting bulkheads and former neon bands and above windows)			
FL2	Metal Flashing	Source Locally	To match CL1	
	(Primarily for parapet flashing)			
Fabrics				
Code	Manufacturer	Product	Finish/Colour	Swatch
EV1	Eradi-Lite or Awncshade	Awning fabric	#2751 Orange (standard) or #5123 Orange (standard)	
	(* OPTIONAL: Use at entrances: Eradi-Lite more expensive, but superior)			

NOTE: 1) Paint colour specifications are provided for colour reference only, do not sample from this page. The type of paint (latex, oil-base, etc.) and finish (eggshell, high-gloss, etc.) will vary depending on the application and is further detailed in the Technical Notes.