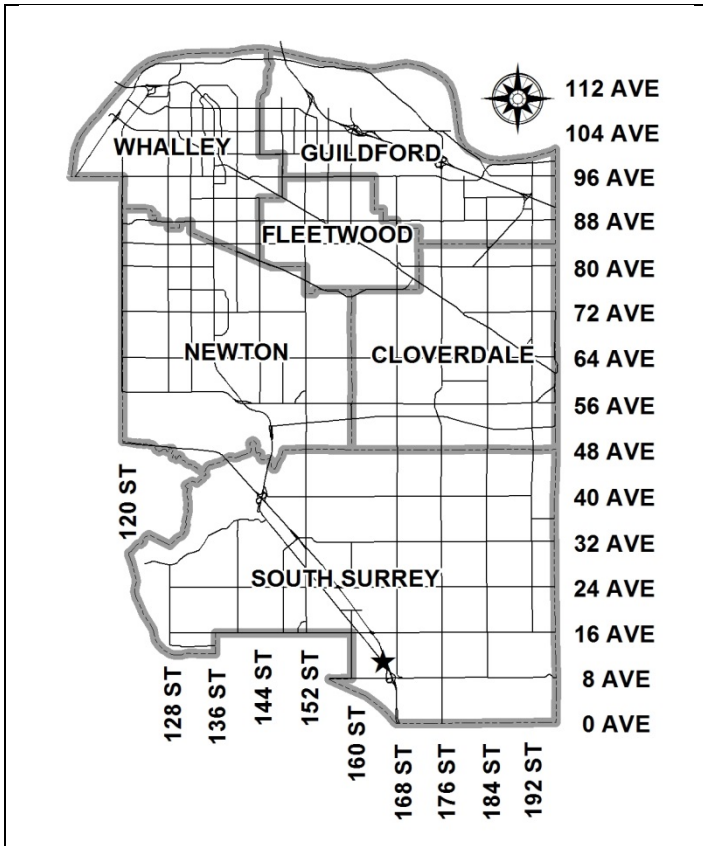


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7915-0225-00

Planning Report Date: March 7, 2015



**PROPOSAL:**

- **Development Variance Permit**

to permit the construction of a basement access well between the principal building and the front lot line, for a proposed single family dwelling.

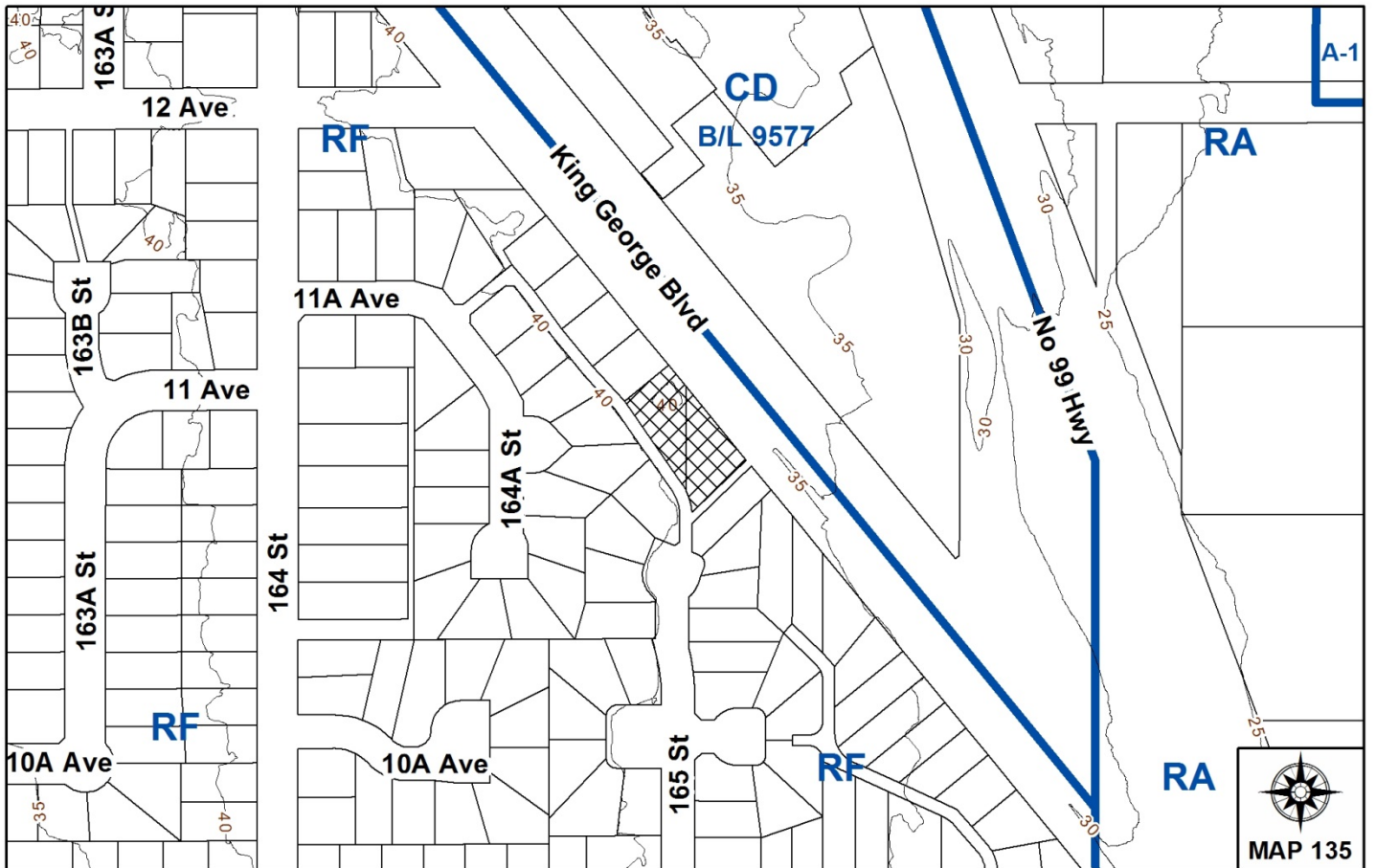
**LOCATION:** 1115 King George Boulevard

**OWNER:** Heather J. Fink

**ZONING:** RF

**OCP DESIGNATION:** Urban

**LAP DESIGNATION:** Single Family Residential  
 (6 u.p.a.)



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### RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking to vary the Single Family Residential Zone (RF) to permit construction of a basement access well in the front yard of a new single family home.

### RATIONALE OF RECOMMENDATION

- The proposal would permit a basement access well in the front yard, consistent with the development pattern of other homes in the area.
- Homes along this portion of King George Boulevard are designed such that the front of the house faces onto a lane and the legal front yard on King George Boulevard effectively acts as a rear yard.
- Other homes along this portion of King George Boulevard have basement access wells located in the front yard, as they were constructed prior to the basement access restriction being added to the RF Zone in 2013. Therefore, the proposed front yard basement access well is consistent with the established streetscape.

RECOMMENDATION

The Planning & Development Department recommends that Council approve Development Variance Permit No. 7915-0225-00 (Appendix III), to vary Subsection J.2. Special Regulations of the Single Family Residential Zone (RF) to allow the basement access and basement well to be located in the front yard of the subject lot, to proceed to Public Notification:

REFERRALS

Engineering: The Engineering Department has no objection to the proposal.

SITE CHARACTERISTICS

Existing Land Use: Vacant single family lot.

Adjacent Area:

Direction	Existing Use	OCP/King George Corridor Plan Designation	Existing Zone
North:	Single family dwellings	Urban / Single Family Residential (6 u.p.a.)	RF
East (Across King George Boulevard):	Hotel	Urban / Tourist Commercial	CD (By-law No. 9577)
South:	Single family dwellings	Urban / Single Family Residential (6 u.p.a.)	RF
West:	Single family dwellings	Urban / Single Family Residential (6 u.p.a.)	RF

DEVELOPMENT CONSIDERATIONSBackground

- The 925 square metre (9,952 sq. ft.) subject site is located at 1115 King George Boulevard. The site is designated Urban in the Official Community Plan (OCP), Single Family Residential (6 u.p.a.) in the King George Corridor Development Concept Plan, and is zoned Single Family Residential Zone (RF).
- The subject property, together with the property to the north at 1139 King George Boulevard, are currently under application to subdivide from two (2) RF lots into three (3) RF lots, under Development Application No. 7915-0225-00. Preliminary Layout Approval for this subdivision was issued on November 9, 2015.

### Current Proposal

- The applicant has submitted a building permit application to construct a single family dwelling on the subject lot, with the front of the house and garage facing the rear lane. The proposal is to have the basement access and well in the front yard and is consistent with other homes on this portion of King George Boulevard, which were constructed prior to the basement access restriction being added to the RF Zone in 2013.
- Driveways are not permitted onto King George Boulevard and the apparent front of the proposed home will face onto the rear lane. The legal front yard along King George Boulevard will effectively act as a rear yard.

### BY-LAW VARIANCE AND JUSTIFICATION

#### (a) Requested Variance:

- To vary the requirement that basement access and basement wells be permitted only between the principal building and the rear lot line in the RF Zone.

#### Applicant's Reasons:

- On this lot, and on neighbouring lots to the northwest that also “legally front” King George Boulevard, houses are designed so that the apparent front of the dwellings face the lane, and that the apparent rear yards face King George Boulevard. There is considerable separation between the legal front lot line and King George Boulevard, with dense planting near the front lot line concealing views from traffic. There is no public sidewalk on this side of King George Boulevard and no entry walkway to the legal front yard. The King George Boulevard side of the property is effectively the rear yard, and the lane is effectively the front yard.
- Other homes along this portion of King George Boulevard have basement access wells located in the front yard, as they were constructed prior to the basement access restriction being added to the RF Zone in 2013. The house at 1085 King George Boulevard was approved in 2013, just prior to introduction of the changes to the RF Zone, permitting construction of a basement entry well in the front yard.
- The proposed front yard basement access well is consistent with the established streetscape.

#### Staff Comments:

- The RF Zone was amended in September 2013 to restrict basement access and basement wells to the rear yard only, rather than the front yard or side yard. Other homes along this portion of King George Boulevard were constructed prior to the changes to the RF Zone and have basement access wells located in the front yard. Therefore, the provision of a basement access well in the front yard on the subject property would be consistent with other dwellings in the area.

- The proposed variance will not result in a negative impact to the streetscape and adjoining properties.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Lot Owners and Action Summary  
Appendix II. Site Plan  
Appendix III. Development Variance Permit No. 7915-0225-00

*original signed by Ron Hintsche*

Jean Lamontagne  
General Manager  
Planning and Development

EM/ar





**SITE PLAN**

SCALE: 1:100 METRIC

**LOT CALCULATIONS: RP ZONING**  
 LOT AREA = 929.2 SQ.M. (3623.7 SQ.FT.)  
 FLOOR AREA RATIO:  
 MAX. ALLOWABLE FLOOR AREA = 4882.4 SQ.FT.  
 PROPOSED:  
 HOUSE = 2355 SQ.FT.  
 GARAGE = 854 SQ.FT.  
 MAX COVERED DECKS @ 10% = 488.2 SQ.FT.  
 ACTUAL COVERED DECKS = 397 SQ.FT. (COUNT 0)  
 TOTAL = 3484.0 SQ.FT. PLUS OUTDOOR LIVING = 364 SQ.FT.  
 TOTAL = 3799.0 SQ.FT.

**SITE COVERAGE:**  
 MAX. ALLOWABLE @ 0.32 = 3184.8 SQ.FT.  
 PROPOSED = 2538.3 SQ.FT.

**MAIN FLOOR, GARAGE & PARTIAL VERANDA = 2355 SQ.FT.**  
 UPPER FLOOR SETBACK REQ'D @ 20% = 477.0 SQ.FT.  
 SETBACK ACHIEVED = 544.1 SQ.FT.  
 MAX. UPPER FLOOR AREA @ 30% = 1809 SQ.FT.  
 UPPER FLOOR AREA = 1352 SQ.FT.  
 (INCLUDING OPEN TO BELOW & STAIRS)

**UNDERGROUND BASEMENT VOLUME: (EXISTING)**  
 AVG. SLDG. GRADE = 38.60 - 37.82 - 38.25 - 38.41 / 4 = 38.322  
 90% UNDERGROUND ACHIEVED AT SLAB LEVEL (38.322 - 1.37) = 37.45  
 BASEMENT SLAB = 37.30 (55.5% UNDER EXISTING)

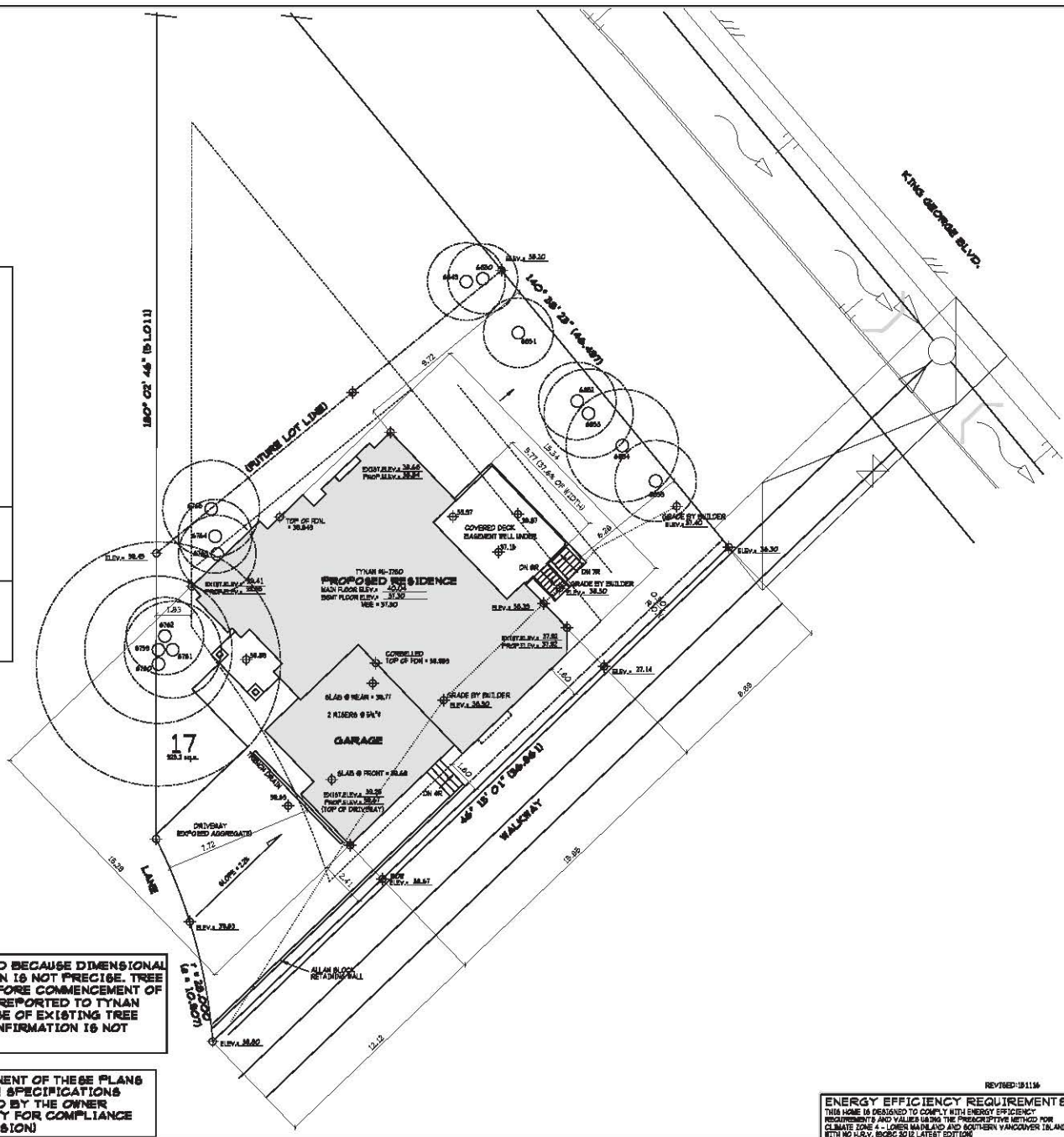
**UNDERGROUND BASEMENT VOLUME: (PROPOSED)**  
 AVG. SLDG. GRADE = 38.54 - 37.82 - 38.59 - 38.95 / 4 = 38.96  
 90% UNDERGROUND ACHIEVED AT SLAB LEVEL (38.96 - 1.37) = 37.59  
 BASEMENT SLAB = 37.30 (60.5% UNDER PROPOSED)

NOTE: GRADING IS AS PER PRELIMINARY GRADING PLAN SURREY PROJECT NO. 7913 0235 00

NOTE: TREE CUTTING PERMITS WERE APPLIED FOR BUT NOT ISSUED AT THE TIME OF THIS SUBMISSION CITY APPROVAL IS REQUIRED.

NOTE: EXISTING TREES ARE LOCATED USING A SCALING METHOD BECAUSE DIMENSIONAL DATA IS NOT AVAILABLE. THEREFORE THE TREE LOCATION IS NOT PRECISE. TREE LOCATIONS MUST BE CONFIRMED ON SITE BY SURVEY BEFORE COMMENCEMENT OF ANY CONSTRUCTION, AND ANY DISCREPANCIES MUST BE REPORTED TO TYNAN DESIGN LTD. WE ACCEPT NO RESPONSIBILITY FOR THE USE OF EXISTING TREE LOCATION INFORMATION ON THESE PLANS IF SURVEY CONFIRMATION IS NOT PROVIDED PRIOR TO CONSTRUCTION.

NOTE: THE ENERGY DETAIL SHEETS FORM AN INTEGRAL COMPONENT OF THESE PLANS AND NO CONSTRUCTION SHOULD TAKE PLACE UNLESS THE SPECIFICATIONS OF THE SAID DETAIL SHEETS ARE THOROUGHLY REVIEWED BY THE OWNER AND THE BUILDER, WHO SHALL TAKE FULL RESPONSIBILITY FOR COMPLIANCE WITH THE BC BUILDING CODE (LATEST EDITION AND REVISION)



**GENERAL:**  
 THANK YOU FOR PROVIDING YOUR HOME PLANS FROM TYNAN DESIGN LTD. WE APPRECIATE YOUR ORDER AND ANY COMMENTS YOU MAY HAVE ABOUT THE QUALITY OF THE PLANS AND THE SERVICE WE PROVIDED TO PROVIDE THE BEST ACCURACY AND UP TO DATE PLANS IN THE INDUSTRY. HOWEVER, AS IT IS IMPERABLE TO COMPLETELY ELIMINATE HUMAN ERROR, IT IS THE RESPONSIBILITY OF THE OWNER AND BUILDER TO VERIFY ALL DIMENSIONS AND FINISHES BEFORE PROCEEDING WITH CONSTRUCTION, AND TO REPORT ALL ERRORS OR DISCREPANCIES TO TYNAN DESIGN LTD. BEFORE TAKING ANY FINAL ACTION. I AGREE TO REPORT ERRORS AND DISCREPANCIES TO TYNAN DESIGN LTD. OF ALL RESPONSIBILITY ASSOCIATED WITH THE CONSTRUCTION OF THIS HOME.

ALL NOTES CONTAINED ON ALL PAGES OF THIS PLAN APPLY TO ALL OTHER PAGES OF THIS PLAN.

**COPYRIGHT:**  
 YOUR PURCHASE OF THESE PLANS IN NO WAY IMPLIES THAT YOU ACQUIRE OWNERSHIP OF THEM. THIS IS A LIMITED LICENSE AGREEMENT WHICH GIVES YOU THE RIGHT TO BUILD THE STRUCTURE ONLY. TO VIEW OR BUILD THE DESIGN AGAIN, YOU MUST PURCHASE THE BLUE PRINTS.

THESE PLANS ARE COPYRIGHTED AND ALL RIGHTS ARE RESERVED. THE REPRODUCTION OF THESE PLANS BY ANY MEANS, IN ANY FORM OR AS A MODEL, IS STRICTLY PROHIBITED AND IS SUBJECT TO A CIVIL PENALTY WHICH MAY BE ENFORCED TO THE FULL EXTENT OF THE LAW TO PROTECT OUR INTELLECTUAL PROPERTY.

**THE BUILDING SITE:**  
 LOT GEOMETRY AND TOPOGRAPHICAL INFORMATION HAS BEEN OBTAINED FROM SOURCES BELIEVED TO BE RELIABLE. HOWEVER, THE OWNER AND BUILDER ARE LEGALLY AND TOPOGRAPHICAL SURVEYS, AS WELL AS WITH REGARD TO THE LOCATION OF ANY UTILITY LINES OR STRUCTURES WHICH OCCUR AS A RESULT OF THIS INFORMATION. THE OWNER IS RESPONSIBLE FOR ANY ERRORS WHICH OCCUR AS A RESULT OF THIS INFORMATION. THE OWNER IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF THIS DATA. IT IS THE OWNER'S RESPONSIBILITY TO ENSURE THAT THIS DATA IS CORRECT.

EXISTING ANGLES INDICATED AT THE CORNERS OF THE STRUCTURE ARE BASED ON LINEAR INTERPOLATION OF THE TOPOGRAPHICAL DATA PROVIDED TO US. THIS IS A GENERALLY ACCEPTED METHOD OF DETERMINING EXISTING ELEVATIONS AT THE CORNERS OF THE STRUCTURE. IT IS NOT PERFECT AS THERE IS ALWAYS A PERFECT LINE OF SIGHT BETWEEN ANY TWO POINTS ON THE SITE. FOR EXAMPLE, A PERFECT LINE OF SIGHT OCCURS BETWEEN ANY TWO POINTS ON THE SITE WHOSE LINE IS NOT INTERRUPTED BY THE LINEAR INTERPOLATED METHOD. IF YOU REQUIRE PERFECTLY ACCURATE EXISTING GRADE INFORMATION, YOU MUST EMPLOY A REGISTERED LAND SURVEYOR TO MEASURE THE ACTUAL ELEVATION AT EACH OF THE EXISTING CORNERS OF THE STRUCTURE.

THE OWNER OR BUILDER IS TO APPLY ANY NECESSARY CORRECTIONS REQUIRED ON THE PLAN IN ADDITION TO THE LEGAL DESCRIPTION NAME OF PROPERTY, OWNER, LOCATION OF SERVICES, ETC. ALL DIMENSIONS SHOWN ON THE SITE PLAN AND THE LOCATION OF ANY BASEMENTS OR ROOF OF STRUCTURE TO BE APPROVED BY BUILDING AUTHORITIES BEFORE COMMENCING CONSTRUCTION.

GRADE IS TO ALLOW A MINIMUM OF TWO PERCENT (2%) FROM THE STRUCTURE FOR SERVICE WATER MAINS. THE BUILDER IS RESPONSIBLE FOR PROVIDING MAINS, AND TO PROVIDE THAT SERVICE MAINS ON THE SITE PLAN ARE ACCURATE BEFORE EXCAVATION TAKES PLACE. THIS IS ESPECIALLY IMPORTANT TO ENSURE THAT EXISTING OVERLAND WATER FLOW PATTERNS ARE MAINTAINED.

ANY RETAINING WALLS REQUIRED ARE TO BE BUILT ACCORDING TO GOOD PRACTICE, AND ARE EXTERNALLY THE RESPONSIBILITY OF OTHERS.

THE DESIGNER SHALL NOT BE RESPONSIBLE FOR SITE CONDITIONS SUCH AS SOIL BEARING CAPACITY, DEPTH OF FROST LINE, WATER TABLE, UNDERGROUND SERVICES, DRAINED STRUCTURES, OR EXCESS ORGANIC MATERIAL, FOUNDATION SETTLEMENTS DUE TO SLIP OR OTHER MATERIALS, OR FOUNDATION CRACKING DUE TO SETTLING AND/OR OVERLOADING.

**CLIMATE AND SOIL:**  
 CLIMATE VALUES REQUIRED FOR THE DESIGN OF THIS STRUCTURE SHALL BE IN CONFORMANCE WITH THE VALUES ESTABLISHED BY THE AUTHORITY AND UNLESS OTHERWISE SPECIFIED. CORRECTIONS MAY BE MADE TO THE LOCAL CLIMATE AND LOADS, WEATHER ZONE, AND CONDITIONS OF WIND, PRECIPITATION, AND OTHER FACTORS BEYOND THE SCOPE OF THESE DRAWINGS. IT IS THE RESPONSIBILITY OF THE OWNER TO DETERMINE THESE CONDITIONS AND TO MAKE ANY NECESSARY ADJUSTMENTS TO THESE PLANS.

**ASSUMED VALUES:**  
 GRADED SLOPE (LOAD-NO. 1) P.W.  
 MAIN LOAD @ 2.0 P.S.F.  
 WIND LOAD: MAY BE 80 KPH (50 MPH) BEYOND 100 KPH (62.5 MPH) ABOUT 10% INCREASE TO 1.0. WEATHER ZONE = 4 (WINDWARD)  
 SOIL BEARING CAPACITY: 1500 N/M<sup>2</sup>  
 FROST PENETRATION: 600S (1'-4")

**CIVIC:**  
 THESE PLANS CONFORM TO THE ADDRESS: 1118 52ND AVENUE, SURREY, B.C. V3V 3K4  
 1118 52ND AVENUE, SURREY, B.C. V3V 3K4

<b>BUILDING CODE:</b>	1118 52ND AVENUE, SURREY, B.C. V3V 3K4
<b>CUSTOMER:</b>	FINK
<b>DESIGN:</b>	MS
<b>DRAWN:</b>	MS
<b>CHECKED:</b>	DV
<b>LOT #:</b>	17
<b>SCALE:</b>	1:100 METRIC
<b>U-1780</b>	LOT 17
<b>SHEET 1 OF 7</b>	REV: 0

**ENERGY EFFICIENCY REQUIREMENTS**  
 THIS HOME IS DESIGNED TO COMPLY WITH ENERGY EFFICIENCY REQUIREMENTS AND VALUES USING THE PREScriptive METHOD FOR CLIMATE ZONE 4 - LOWER MAINLAND AND SOUTHERN VANCOUVER ISLAND WITH NO H.V.A.C. B.C.B.C. 2012 LATEST EDITION

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7915-0225-00

Issued To: HEATHER J. FINK

("the Owner")

Address of Owner: 935 - 163 Street  
Surrey, BC V4A 9T8

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 028-833-627  
Lot 17 Section 12 Township 1 Plan BCP50756

1115 - King George Boulevard

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) In Subsection J.2 Special Regulations of Part 16 Single Family Residential Zone (RF), the requirement that basement access and basement wells are permitted only between the principal building and the rear lot line is waived for the Land.
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.



6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
  
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
  
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

---

Mayor – Linda Hepner

---

City Clerk – Jane Sullivan



# SITE PLAN

SCALE 1:100 (METRIC)

**LOT CALCULATIONS: RP ZONING**  
 LOT AREA = 925.2 SQ.M. (9959.7 SQ.FT.)  
 FLOOR AREA RATIO:  
 MAX. ALLOWABLE FLOOR AREA = 4992.4 SQ.FT.  
 PROPOSED :  
 HOUSE = 2038 SQ.FT.  
 GARAGE = 626 SQ.FT.  
 MAX COVERED DECKS @ 10% = 499.2 SQ.FT.  
 ACTUAL COVERED DECKS = 337 SQ.FT. (COUNT 0)  
 TOTAL = 3494.0 SQ.FT. PLUS OUTDOOR LIVING = 264 SQ.FT.  
 TOTAL = 3758.0 SQ.FT.

**SITE COVERAGE:**  
 MAX. ALLOWABLE @ 0.32 = 3186.8 SQ.FT.  
 PROPOSED = 2538.3 SQ.FT.

**MAIN FLOOR, GARAGE & PARTIAL VERANDA = 2385 SQ.FT.**  
 UPPER FLOOR SETBACK REQ'D @ 20% = 477.0 SQ.FT.  
 SETBACK ACHIEVED = 566.1 SQ.FT.  
 MAX. UPPER FLOOR AREA @ 80% = 1908 SQ.FT.  
 UPPER FLOOR AREA = 1392 SQ.FT.  
 (INCLUDING OPEN TO BELOW & STAIRS)

**UNDERGROUND BASEMENT VOLUME: (EXISTING)**  
 AVG. BLDG. GRADE =  
 (38.68+ 37.92+ 39.28+ 39.41) / 4 = 38.822  
 50% UNDERGROUND ACHIEVED AT SLAB LEVEL  
 (38.822 - 1.37) = 37.45  
 BASEMENT SLAB = 37.30 (55.5% UNDER EXISTING)

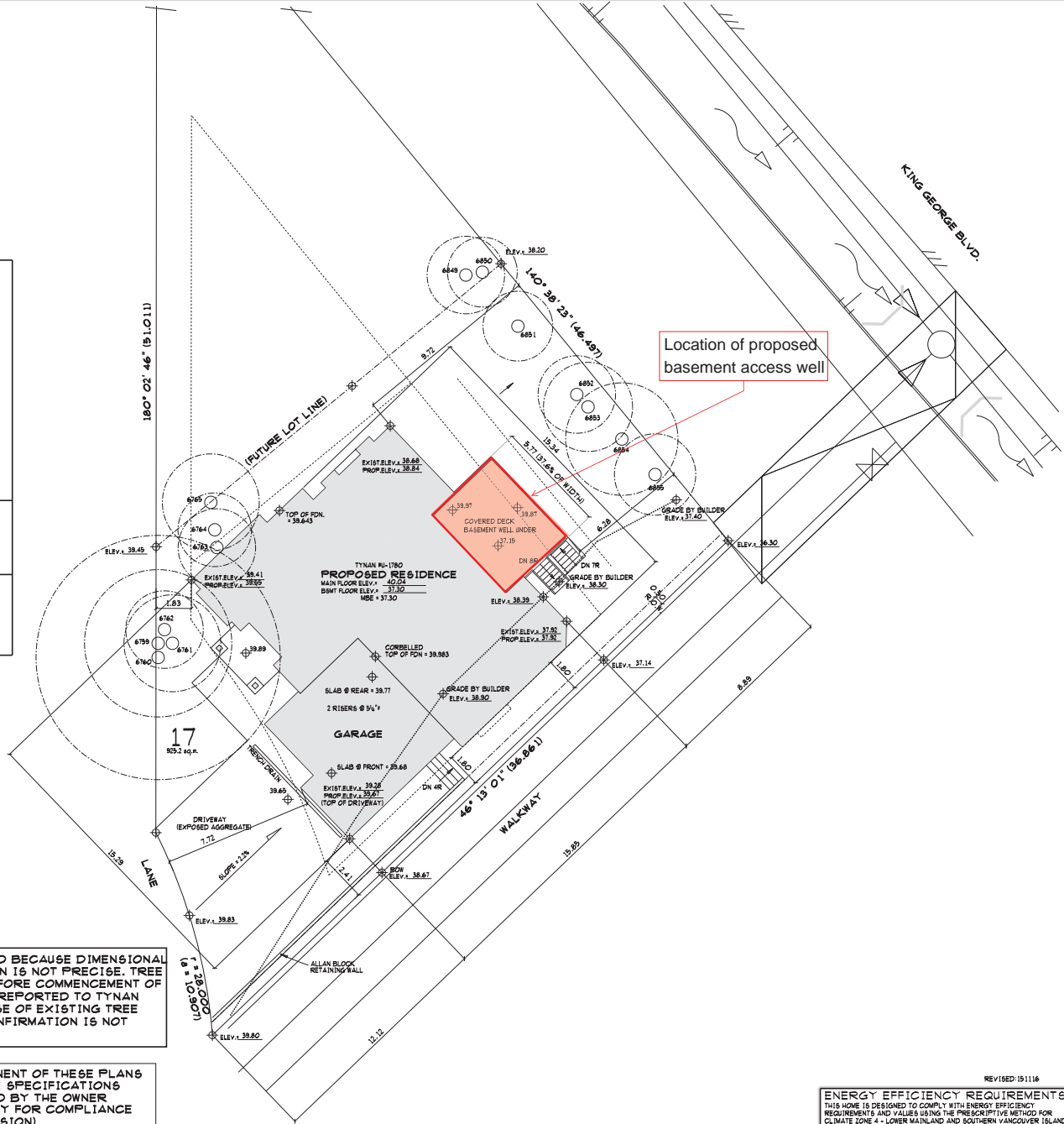
**UNDERGROUND BASEMENT VOLUME: (PROPOSED)**  
 AVG. BLDG. GRADE =  
 (38.84+ 37.92+ 39.55+ 39.55) / 4 = 38.96  
 50% UNDERGROUND ACHIEVED AT SLAB LEVEL  
 (38.96 - 1.37) = 37.59  
 BASEMENT SLAB = 37.30 (60.5% UNDER PROPOSED)

NOTE: GRADING IS AS PER PRELIMINARY GRADING PLAN SURREY PROJECT NO. 79.15 0225 00

NOTE: TREE CUTTING PERMITS WERE APPLIED FOR BUT NOT ISSUED AT THE TIME OF THIS SUBMITTION CITY APPROVAL IS REQUIRED.

NOTE: EXISTING TREES ARE LOCATED USING A SCALING METHOD BECAUSE DIMENSIONAL DATA IS NOT AVAILABLE. THEREFORE THE TREE LOCATION IS NOT PRECISE. TREE LOCATIONS MUST BE CONFIRMED ON SITE BY SURVEY BEFORE COMMENCEMENT OF ANY CONSTRUCTION, AND ANY DISCREPANCIES MUST BE REPORTED TO TYNAN DESIGN LTD. WE ACCEPT NO RESPONSIBILITY FOR THE USE OF EXISTING TREE LOCATION INFORMATION ON THESE PLANS IF SURVEY CONFIRMATION IS NOT PROVIDED PRIOR TO CONSTRUCTION.

NOTE: THE ENERGY DETAIL SHEETS FORM AN INTEGRAL COMPONENT OF THESE PLANS AND NO CONSTRUCTION SHOULD TAKE PLACE UNLESS THE SPECIFICATIONS OF THE SAID DETAIL SHEETS ARE THOROUGHLY REVIEWED BY THE OWNER AND THE BUILDER, WHO SHALL TAKE FULL RESPONSIBILITY FOR COMPLIANCE WITH THE BC BUILDING CODE (LATEST EDITION AND REVISION)



Location of proposed basement access well

**GENERAL:**  
 THANK YOU FOR PURCHASING YOUR HOME PLANS FROM TYNAN DESIGN LTD. WE APPRECIATE YOUR ORDER AND ANY COMMENTS YOU MAY HAVE ABOUT THE QUALITY OF THE PLANS AND THE SERVICE WE ENGAGE IN TO PROVIDE THE MOST ACCURATE AND UP TO DATE PLANS IN THE INDUSTRY. HOWEVER, AS IT IS IMPOSSIBLE TO COMPLETELY ELIMINATE HUMAN ERROR, IT IS THE RESPONSIBILITY OF THE OWNER AND BUILDER TO VERIFY ALL DIMENSIONS AND STRUCTURE BEFORE PROCEEDING WITH CONSTRUCTION, AND TO REPORT ALL ERRORS OR OMISSIONS TO TYNAN DESIGN LTD. BEFORE TAKING REMEDIAL ACTION. FAILURE TO REPORT ERRORS AND OMISSIONS WILL REMAIN THE RESPONSIBILITY OF THE OWNER AND BUILDER. TYNAN DESIGN LTD. OR ANY OTHER PARTY ASSOCIATED WITH THE CONSTRUCTION OF THIS HOME.  
 ALL NOTES CONTAINED ON ALL PAGES OF THIS PLAN APPLY TO ALL OTHER PAGES OF THIS PLAN.

**COPYRIGHT:**  
 YOUR PURCHASE OF THESE PLANS IN NO WAY IMPLIES THAT YOU ACQUIRE OWNERSHIP OF THEM. THIS IS A LIMITED LICENSE AGREEMENT WHICH GIVES YOU THE RIGHT TO BUILD ONE STRUCTURE ONLY. IF YOU WISH TO BUILD THE DESIGN AGAIN, YOU MUST PURCHASE THE PLAN AGAIN.  
 THESE PLANS ARE COPYRIGHTED AND ALL RIGHTS ARE RESERVED. THE REPRODUCTION OF THESE PLANS BY ANY MEAN, IN PART OR AS A WHOLE, IS STRICTLY PROHIBITED AND IS SUBJECT TO SEVERAL CIVIL PENALTIES WHICH ARE ENFORCED TO PREVENT IN ORDER TO PROTECT OUR BUSINESS.

**THE BUILDING SITE:**  
 LOT GEOMETRY AND TOPOGRAPHICAL INFORMATION HAS BEEN OBTAINED FROM SOURCES BELIEVED TO BE RELIABLE. HOWEVER, ERRORS CAN AND DO OCCUR ON LEGAL AND TOPOGRAPHICAL SURVEYS. AS A RESULT OF THIS INFORMATION WE ARE NOT RESPONSIBLE FOR ANY ERRORS WHICH OCCUR AS A RESULT OF THE USE OF THIS SITE INFORMATION. IT IS THE OWNER'S RESPONSIBILITY TO OBTAIN DATA. IT IS THE OWNER'S RESPONSIBILITY TO OBTAIN THAT SITE DATA IS CORRECT.

**EXISTING GRADES INDICATED AT THE CORNERS OF THE STRUCTURE ARE BASED ON LINEAR INTERPOLATION OF THE TOPOGRAPHICAL DATA PROVIDED TO US. THIS IS A GENERALLY ACCEPTED METHOD OF DETERMINING EXISTING ELEVATIONS AT THE CORNERS OF THE STRUCTURE. IT IS NOT PERFECT AS THERE IS SELDOM A PERFECT LINEAR RELATIONSHIP BETWEEN ANY TWO POINTS ON THE SITE. FOR EXAMPLE, A TERRACE OR STAIRS OCCURING BETWEEN ANY TWO POINTS ON THE SITE WOULD NOT BE INTERPOLATED BY THE LINEAR INTERPOLATION METHOD. IF YOU REQUIRE PERFECTLY ACCURATE EXISTING GRADE INFORMATION, YOU MAY EMPLOY A REGISTERED LAND SURVEYOR TO MEASURE THE ACTUAL ELEVATION AT EACH THE EXTERIOR CORNERS OF THE STRUCTURE.**

**THE OWNER OR BUILDER IS TO SUPPLY ANY MISSING DIMENSIONS REQUIRED ON THE SITE PLAN IN ADDITION TO THE LEGAL DESCRIPTION NAME OF STREETS, NORTH ARROW, LOCATION OF SERVICES ETC. ALL DIMENSIONS SHOWN ON THE SITE PLAN AND THE LOCATION OF ANY EASEMENTS OR RIGHT OF WAY ARE TO BE APPROVED BY BUILDING AUTHORITIES BEFORE COMMENCING CONSTRUCTION.**

**GRADE IS TO SLOPE A MINIMUM OF TWO PERCENT AWAY FROM THE STRUCTURE FOR SURFACE WATER RUNOFF. THE BUILDER IS RESPONSIBLE FOR REQUIRED GRADING, AND TO ENSURE THAT FOUNDATIONS SHOWN ON THE SITE PLAN ARE ACCURATE BEFORE EXCAVATION TAKES PLACE. THIS IS EXTREMELY IMPORTANT TO ENSURE THAT EXISTING OVERLAND WATER FLOW PATTERNS ARE MAINTAINED.**

**ANY RETAINING WALLS REQUIRED ARE TO BE BUILT ACCORDING TO GOOD PRACTICE, AND ARE ENTIRELY THE RESPONSIBILITY OF OTHERS.**

**THE DESIGNER SHALL NOT BE RESPONSIBLE FOR SITE CONDITIONS SUCH AS SOIL BEARING CAPACITY, DEPTH OF FROST LINE, WATER TABLES, UNDERGROUND SPRINGS, BURIED STRUCTURES, OR BURIED ORGANIC MATERIALS. FOUNDATIONS IS TO BE LAYED ON OTHER MATERIALS, OR FOUNDATION CRACKING DUE TO SETTLING & HOME ON UNEVEN BEARING.**

**CLIMATE AND SOIL:**  
 CLIMATIC VALUES REQUIRED FOR THE DESIGN OF THIS STRUCTURE SHALL BE IN CONFORMANCE WITH THE VALUES ESTABLISHED BY THE AUTHORITY HAVING JURISDICTION. THESE DRAWINGS MAY NEED TO BE ADJUSTED IN CONSIDERATION OF HAVING LOCAL WIND LOADS, WIND LOADS BEING IN ZONE, SOIL CONDITIONS, FROST PENETRATION LEVELS, AND OTHER FACTORS BEYOND THE SCOPE OF THESE DRAWINGS. IT IS THE RESPONSIBILITY OF THE OWNER TO DETERMINE THESE CONDITIONS AND TO HIRE AN APPROPRIATE PROFESSIONAL TO MAKE ANY NECESSARY ADJUSTMENTS TO THESE PLANS.  
 ASSIGNED VALUES:  
 GROUND SNOW LOAD: 50.1 PBF  
 WIND LOAD: 8.3 PBF  
 WIND LOAD: MAX 80 KPH (50 MPH)  
 SEISMIC NOT RATED: INHERENT ABOUT 10% OF ZONE 4  
 SOIL BEARING CAPACITY: 100 PBF  
 FROST PENETRATION: 480mm (1'-6")

**CIVIC ADDRESS:**  
 1118 KING GEORGE BLVD.  
**BUILDING CODE:**  
 THESE PLANS CONFORM TO THE BRITISH COLUMBIA BUILDING CODE 2012 EDITION, OCCUPANCY GROUP C.

**LEGAL DESCRIPTION:**  
 LOT #17  
**CUSTOMER:**  
 FINK  
**DESIGN:** MS  
**DRAWN:** MS  
**CHECKED:** DV  
**DATE:** 151110  
**DATE:** 151113

**SCALE:** 1:100 (METRIC)  
**U-1780**  
 (LOT 17)  
**SHEET 1 OF 7** REV: 0

**ENERGY EFFICIENCY REQUIREMENTS**  
 THIS HOME IS DESIGNED TO COMPLY WITH ENERGY EFFICIENCY REQUIREMENTS AND VALUES USING THE PRESCRIPTIVE METHOD FOR CLIMATE ZONE 4 - LOWER MAINLAND AND SOUTHERN VANCOUVER ISLAND WITH NO H.V.C. (BCBC 2012 LATEST EDITION)