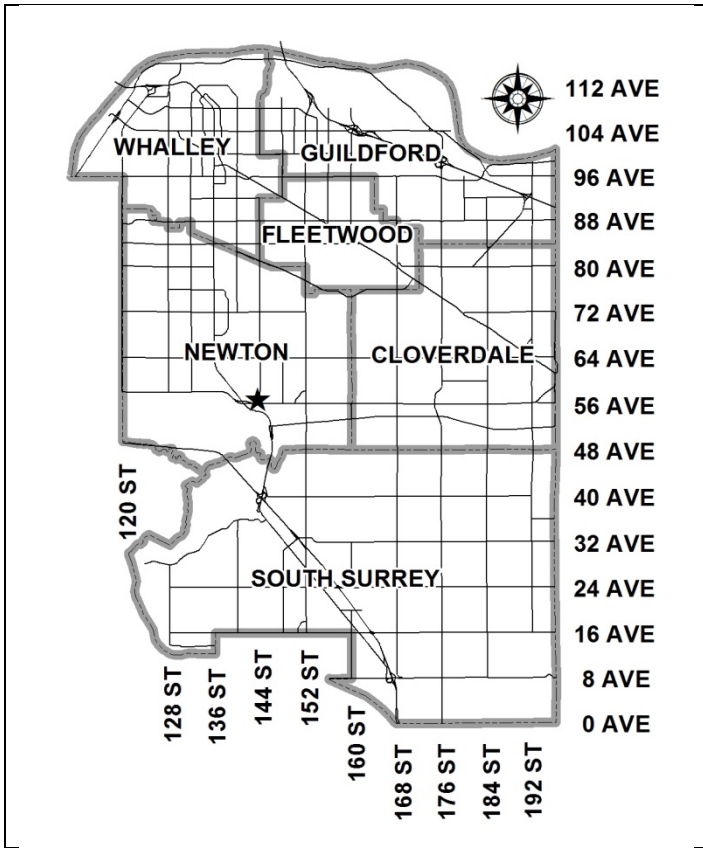


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7915-0212-00

Planning Report Date: December 14, 2015



PROPOSAL:

- Development Permit
- Development Variance Permit

to permit an expansion to the Surrey courthouse.

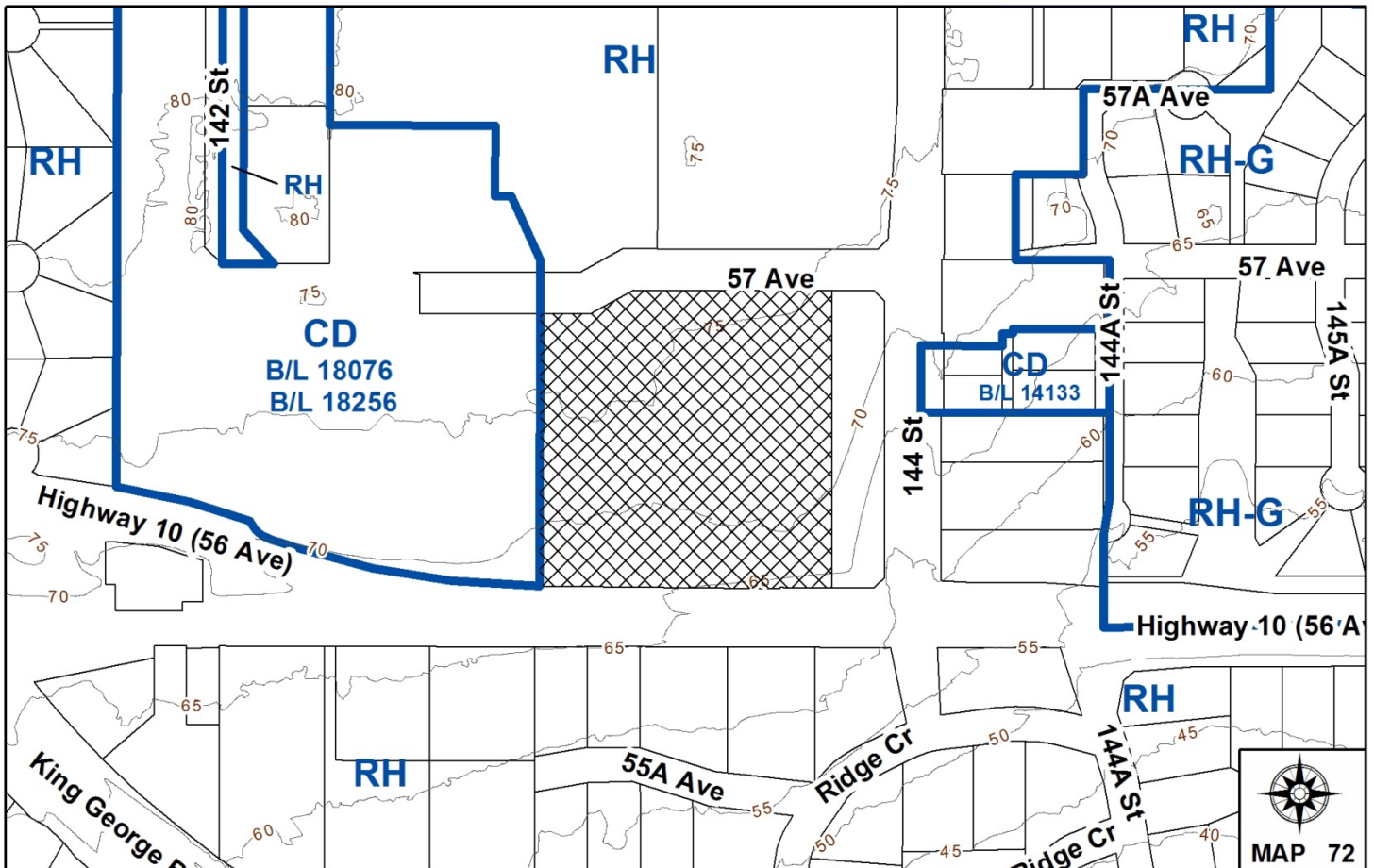
LOCATION: 14340 - 57 Avenue

OWNER: City of Surrey
 BC Buildings Corp

ZONING: RH

OCP DESIGNATION: Urban

NCP DESIGNATION: Institutional



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is requesting to vary the required east side yard setback of the RH Zone from 15 metres (49 ft.) to 14 metres (45 ft.).

RATIONALE OF RECOMMENDATION

- The proposed addition has a contemporary design and utilizes high quality building materials. The design will complement the existing buildings in the Justice Precinct and provide an appropriate interface with surrounding uses.
- The proposal complies with the Official Community Plan (OCP) designation.
- The proposal complies with the South Newton Neighbourhood Concept Plan (NCP) designation.
- The courthouse addition allows the Province of British Columbia to deliver on its promise to provide justice facilities in the Lower Mainland.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7915-0212-00 generally in accordance with the attached drawings (Appendix II).
2. Council approve Development Variance Permit No. 7915-0212-00 (Appendix VI) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum side yard setback (east) of the RH Zone, from 15 metres (49 ft.) to 14 metres (45 ft.).
3. Council instruct staff to resolve the following issues prior to Development Permit approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (c) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department; and
 - (e) resolution of parking deficiency (12 stalls) to the satisfaction of the Planning and Development and the Engineering Departments.

REFERRALS

Engineering: The Engineering Department has no objection to the project, subject to the completion of Engineering servicing requirements, as outlined in Appendix III.

SITE CHARACTERISTICS

Existing Land Use: Surrey courthouse.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across 57 Avenue):	Surrey RCMP detachment and Surrey Pre-Trial Services Centre	Urban/Institutional	RH
East:	Sloped area of City-Owned land	Urban/Institutional	RH
South (Across Highway 10):	Single family lots.	Suburban	RH
West:	RCMP and Crown Council offices (Former Surrey City Hall)	Urban/Office Park	CD (By-law No. 18076 & 18256)

DEVELOPMENT CONSIDERATIONSBackground

- On March 19, 2015, the Minister of Justice, Minister of Technology, Innovation and Citizens' Services and the Mayor of Surrey made a public announcement for the proposed expansion and addition to the existing Surrey Courthouse facility located at 14340 57 Avenue.
- The facility is located at the southwest corner of the intersection of 144 Street and 57 Avenue, south of the main detachment of the Surrey RCMP and the Surrey Pre-Trial Services Centre.
- The existing Surrey courthouse facility is located on a 2.86 hectare (7.06 acre) fee simple lot that is owned by the City of Surrey and leased to the Province under a long-term, 50 year lease.

Current Application

- The subject site is currently zoned Half-Acre Residential (RH), designated Urban in the Official Community Plan (OCP) and is designated Institutional in the South Newton Neighborhood Concept Plan (NCP).
- The applicant is proposing a Development Permit in order to permit the proposed expansion of the existing Surrey courthouse. A Development Variance Permit for setbacks is also proposed as part of the subject application.
- It is anticipated that building construction for the expansion will begin in early 2016 and be completed in the fall of 2017.

TREES

- Trevor Cox, ISA Certified Arborist of Diamondhead Consulting Ltd., prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder			
Cottonwood	1	1	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Maple (Red)	4	4	0
Sweetgum	3	2	1
Coniferous Trees			
Western Red Cedar	5	4	1
Douglas Fir	12	3	9
Grand Fir	3	0	3
Total (excluding Alder and Cottonwood Trees)	27	13	14
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		27	
Total Retained and Replacement Trees		41	

- The Arborist Assessment states that there are a total of 27 protected trees on the site, excluding Alder and Cottonwood trees. Only 1 existing tree on the site is a Cottonwood tree. There are no Alder trees on the site. It was determined that 14 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the building footprint and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 27 replacement trees on the site. The applicant is proposing 27 replacement trees, meeting City requirements.
- In summary, a total of 41 trees are proposed to be retained or replaced on the site.

DESIGN PROPOSAL AND REVIEW

- The existing Surrey courthouse has a gross floor area of 10,291 square metres (110,771 sq. ft.) and contains 14 courtrooms.
- The proposed addition, totaling 3,000 square metres, (32,300 sq. ft.) will be located to the east of the existing Surrey courthouse building, and will contain 3 new courtrooms, judicial chambers, judicial hearing rooms, detention areas and an atrium.

Building Design

- The existing 4-storey courthouse building was constructed in the 1980s and is comprised of concrete and glass.
- The addition is proposed at the east end of the existing building in the form of a three-storey addition that will be both complimentary and contemporary in terms of building form.
- The proposed addition is primarily made of concrete and glass. The south façade, facing Highway 10, is comprised of a large area of high-performance glazing, which will be shaded from the sun by a sun shade.
- The north façade, facing the existing parking area, includes windows on the lower floors and a glass and metal railing on the east end. A planter containing vegetation and trees softens and adds texture to the façade. A separate tower element, that will be clad in Terra Cotta panels, separates the new addition from the existing courthouse's east façade.
- The east façade, facing 144 Street, is comprised of high-performance glazing with a sun shade that wraps around the southeast corner.
- The roof-top mechanical areas will be set back from the building face and screened with metal screens to reduce the visual impact on adjoining properties.

Landscaping

- The existing complex has an elaborate trail system that connects the former City Hall (currently leased by Crown Council and the RCMP) to the Surrey courthouse, 57 Avenue and 144 Street.
- An new section of trail will be added to the existing walking trails to replace a portion of trail that is to be removed as part of the subject application. The new trail will help maintain the circulation pattern on the site.
- Existing site furnishings (garbage cans, picnic tables and benches) and lighting bollards will be relocated to a new amenity area on the site, located to the south of the addition.

Parking

- The Zoning By-law does not stipulate the parking requirements for the courthouse portion of the addition. As such, the applicant has submitted a Parking Study, which has been reviewed by The city's Transportation Planning Division and found to be acceptable.
- The Parking Study found that 2.26 spaces would be required per 100 square metres (1,076 sq. ft.) of floor area during peak periods, resulting in the need for 301 parking spaces for the existing building and proposed expansion.
- Currently, there are 289 existing parking stalls on the site, which is less than the 301 spaces that the Parking Study indicates would be required.
- In order to meet the requirements for parking for the existing courthouse and the addition, 39 reserved parking stalls, which are located in the underground parkade, below the existing courthouse, will be converted to regular public visitor parking. An additional 12 parking stalls will be utilized for public visitor parking for the courthouse on the former City Hall site.
- The City of Surrey owns both the subject property and the adjacent site to the west (former City Hall site) at 14245/14275 – 56 Avenue.
- In order to implement the Parking Study's recommendations, the Province is working with The City to accommodate the deficiency of 12 stalls on the adjacent property. Resolution of this issue will be required prior to Final Approval of the subject Development Application.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site in June, 2015. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The project is an addition to the existing Surrey courthouse. • The site is located within the Justice Precinct.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • N/A
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • 27 trees are proposed to be planted to replace 13 trees that are to be removed to accommodate the building envelope and grading. • Existing walking paths on the site are proposed to be re-routed and re-connected.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • Pedestrian linkages to 57 Avenue, 144 Street and within the Justice Precinct are provided.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • CPTED principles have been incorporated into the site and building design.

6. Green Certification (F1)	• N/A
7. Education & Awareness (G1-G4)	• N/A

ADVISORY DESIGN PANEL

The application was presented to the ADP on November 26, 2015. In general, the Panel supported the application, however the Panel would like to see some minor improvements to the north façade (see Appendix V). The applicant has committed to addressing these issues.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To reduce the minimum side yard setback (east) of the RH Zone from 15 metres (49 ft.) to 14 metres (45 ft.).

Applicant's Reasons:

- There is a City-owned property immediately east of the subject site at 5625 – 144 Street, which separates the courthouse building from 144 Street.

Staff Comments:

- The reduced setback does not impact the adjoining (west) property as it is a sloped area of City-owned land. Adjacent residential uses are located quite far from the proposed addition across both 144 Street (east) and Highway No. 10 (south). Reduced setbacks should not have an impact on these residential properties.
- The functional setback from the sidewalk on 144 Street to the building face of the addition is approximately 44 metres (144 ft.).

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Survey Plan, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	ADP Comments
Appendix VI.	Development Variance Permit No. 7915-0212-00

INFORMATION AVAILABLE ON FILE

- Parking Study Prepared by MMM Group Ltd, Dated November 16, 2015.

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

TH/dk

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DEVELOPMENT DATA SHEET

Existing Zoning: RH

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		33,840 m ²
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		33,840 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	25%	18.1%
Paved & Hard Surfaced Areas		18.5%
Total Site Coverage		36.6%
SETBACKS (in metres)		
Front (57 Avenue)	15m	6m
Front (Highway 10)	15m	61.7m
Side #1 (W)	15m	60m
Side #2 (E)	15m	14m
BUILDING HEIGHT (in metres/storeys)		
Principal	9m	15m (4 stories existing)
Accessory	5m	
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		13,921 m ²
TOTAL BUILDING FLOOR AREA		13,921 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		N/A
# of units/ha /# units/acre (net)		N/A
FAR (gross)		0.41
FAR (net)		0.41
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional	301	301
Total Number of Parking Spaces	301	
Number of disabled stalls	4	5
Number of small cars	25%	0
Tandem Parking Spaces: Number / % of Total Number of Units	N/A	N/A
Size of Tandem Parking Spaces width/length	N/A	N/A

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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DATE	ISSUED FOR	REV
2014-12-17	SD PROGRESS	
2015-01-21	SD PROGRESS	
2015-04-29	SD PROGRESS	
2015-04-15	SD PROGRESS	
2015-06-16	DESIGN DEVELOPMENT	
2015-06-26	DEVELOPMENT PERMIT	
2015-08-07	SSBC Tech Review - 30% Stage	
2015-09-23	SSBC Tech Review - 60% Stage	

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North Arrow	Detail Symbol

Seal(s)

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INTERIOR DESIGN
PLANNING

NORR
ARCHITECTS PLANNERS
NORR Limited
An Ingenium Group Company
1201 West Pender St.
Suite 710
Vancouver, BC, Canada V6E 2V2
www.norr.com

Project Manager	Drawn
	JM/DC
Project Leader	Checked
	CDB

Client:
SHARED SERVICES BC,
PROVINCIAL COURT OF BC.

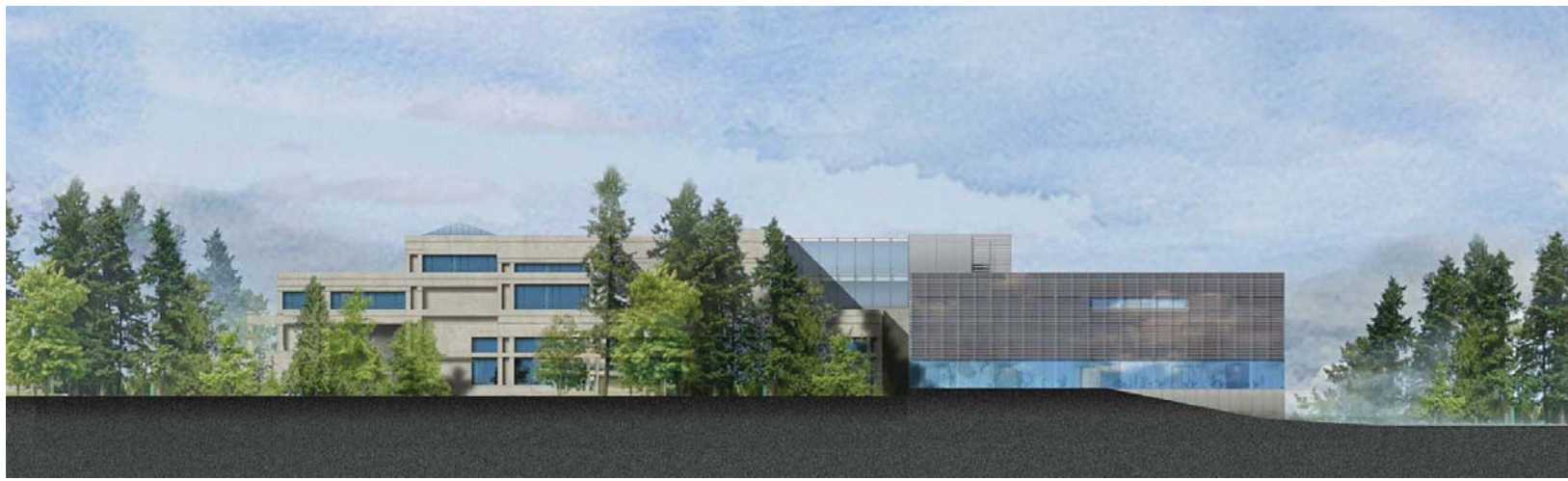
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SURREY COURTHOUSE
RENOVATION AND EXPANSION

Drawing Title
COVER PAGE

Check Scale (may be photo reduced)
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Project No.
OCVA-14-0021

Drawing No.
CD-A00-00-01



VIEW FROM HIGHWAY 10

SURREY COURTHOUSE RENOVATION and EXPANSION PROJECT
SHARED SERVICES BC, PROVINCIAL COURT OF BRITISH COLUMBIA

90% CD



DATE	ISSUED FOR	REV
2014-12-17	SD PROGRESS	
2015-01-21	SD PROGRESS	
2015-04-29	SD PROGRESS	
2015-06-15	SD PROGRESS	
2015-06-16	DESIGN DEVELOPMENT	
2015-06-26	DEVELOPMENT PERMIT	
2015-08-07	SIBC Tech Review - 30% Stage	
2015-09-01	SIBC Tech Review - 60% Stage	

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North Arrow	Detail Symbol

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Suite 710
Vancouver, BC, Canada V6E 2V2
www.norr.com

Project Manager	Drawn
Project Leader	Author
	Checked
	Checker

Client:
SHARED SERVICES BC,
PROVINCIAL COURT OF BC.

Project:
SURREY COURTHOUSE
RENOVATION AND EXPANSION

Drawing Title:
EXTERIOR RENDERINGS

Check Scale (may be photo reduced)
0 1 inch 0 30mm

Project No.
OCVA-14-0021

Drawing No.
CD-A00-04-01



DATE	ISSUED FOR	BY
2014-12-17	SD PROGRESS	
2015-01-21	SD PROGRESS	
2015-04-29	SD PROGRESS	
2015-08-11	SD PROGRESS	
2015-08-16	DESIGN DEVELOPMENT	
2015-08-26	DEVELOPMENT PERMIT	
2015-08-07	SSBC Tech Review - 30% Stage	
2015-09-01	SSBC Tech Review - 60% Stage	

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North Arrow	Detail Symbol

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 www.norr.com

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Project Leader	Author
	Checked
	Checker

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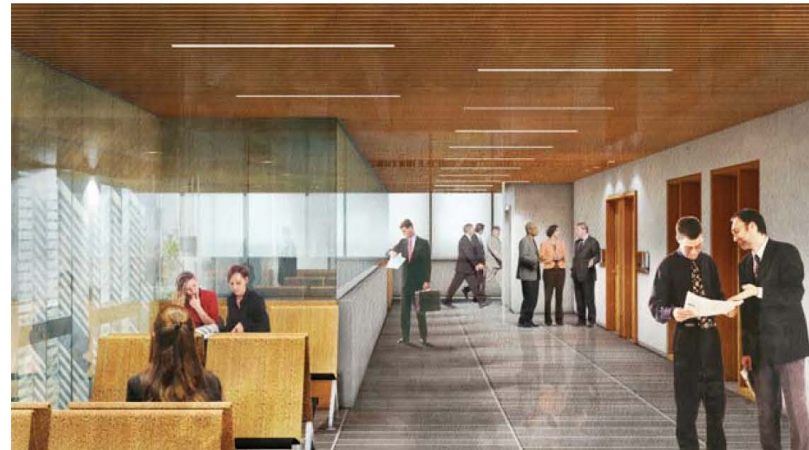
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 SURREY COURTHOUSE
 RENOVATION AND EXPANSION

Drawing Title:
 ATRIUM RENDERINGS

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Project No.
 OCVA-14-0021

Drawing No.
 CD-A00-04-03



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2015-01-21	SD PROGRESS	
2015-04-29	SD PROGRESS	
2015-06-11	SD PROGRESS	
2015-06-16	DESIGN DEVELOPMENT	
2015-06-26	DEVELOPMENT PERMIT	
2015-08-07	SIBC Tech Review - 30% Stage	
2015-09-01	SIBC Tech Review - 60% Stage	

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North Arrow	Detail Symbol

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Project Manager	Drawn
	Author
Project Leader	Checked
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 SHARED SERVICES BC,
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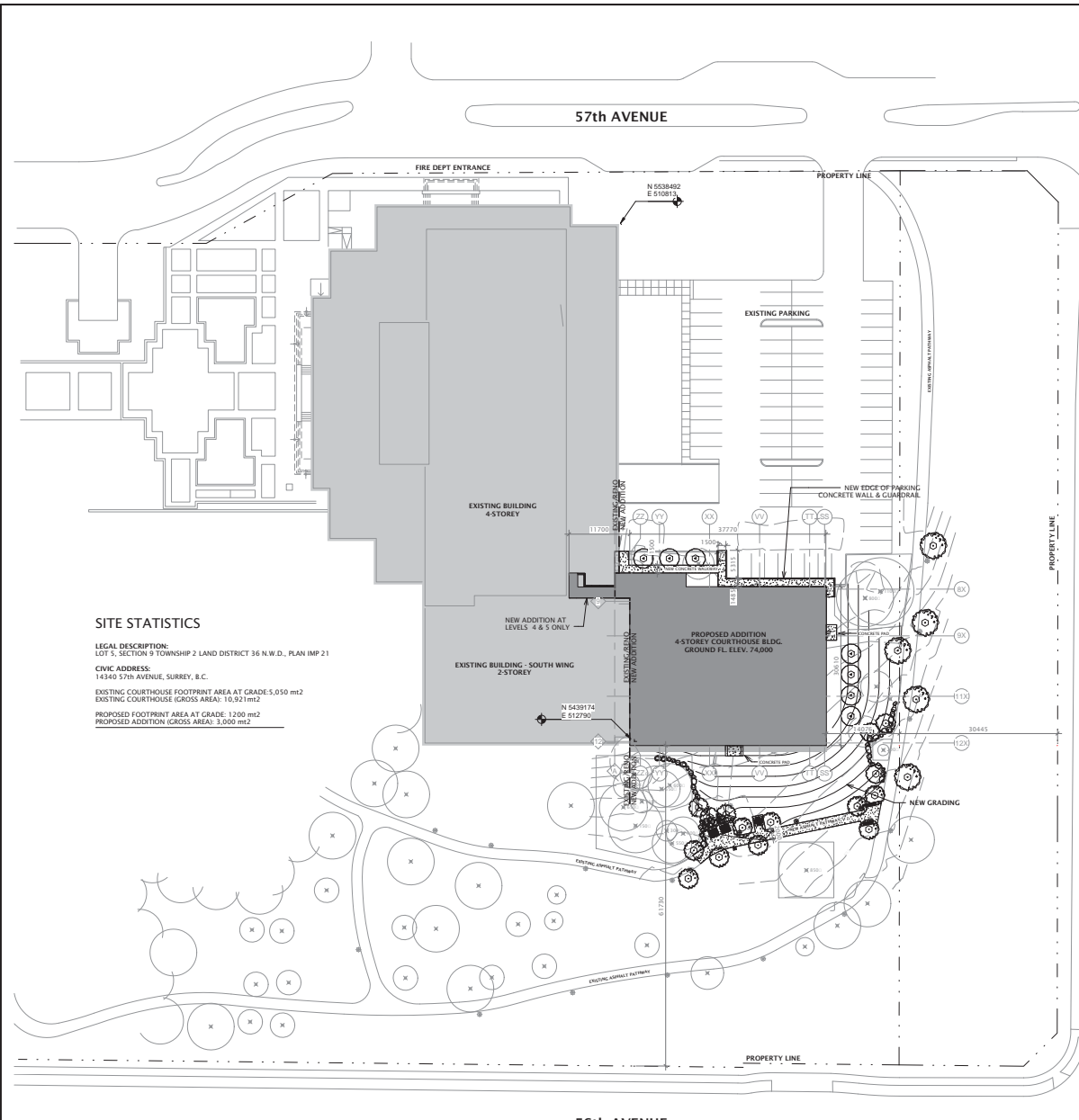
Project:
 SURREY COURTHOUSE
 RENOVATION AND EXPANSION

Drawing Title:
 INTERIOR PERSPECTIVES



Project No.
 OCVA-14-0021

Drawing No.
 CD-A00-04-07



SITE STATISTICS

LEGAL DESCRIPTION:
 LOT 5, SECTION 9 TOWNSHIP 2 LAND DISTRICT 36 N.W.D., PLAN IMP 21
 CIVIC ADDRESS:
 14340 57th AVENUE, SURREY, B.C.
 EXISTING COURTHOUSE FOOTPRINT AREA AT GRADE: 0.50 m²
 EXISTING COURTHOUSE (GROSS AREA): 10.92 m²
 PROPOSED FOOTPRINT AREA AT GRADE: 12.00 m²
 PROPOSED ADDITION (GROSS AREA): 3,000 m²

1
 CD-A10-00-01 1:400

56th AVENUE

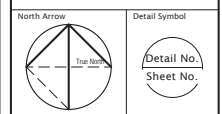
144th STREET

Name of Practice: NORR Limited 1201 West Pender St., Suite 710 Vancouver, BC, Canada V6E 2V2																													
Name of Project: Shared Services BC, Provincial Courthouse of BC																													
Location: 14340-57th Avenue, Surrey, BC V3X 1B2																													
British Columbia Building Code 2012																													
Data Matrix Part 3																													
1 Project Description: Surrey Provincial Courthouse	<input type="checkbox"/> New <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> Change of Use																												
2 Major Occupancy(s) Group B, Division 1 (Contained Use) Group A, Division 2 (Courtyards) Group D, (Offices) Group F, Division 3 (Parkade)	<input type="checkbox"/> Part 3 <input checked="" type="checkbox"/> Part 1 <input type="checkbox"/> Part 2																												
3 Building Area (m ²)	Existing: 6,050 sq.m. New: 1,200 sq.m. Total: 7,250 sq.m.																												
4 Gross Floor Area	Existing: 6,027 sq.m. New: 1,200 sq.m. Total: 7,227 sq.m.																												
5 Number of Storeys	Above Grade: 4 Below Grade: 1																												
6 Height of Building (m)	15m																												
7 Number of Streets / Fire Fighter Access	1 street, 1 access																												
8 Building Classification	3.2.2.36. Group B, Division 1 (Contained Use) 3.2.2.36. Group A, Division 2 (Courtyards) 3.2.2.44. Group D (Offices) 3.2.2.88. Group F, Division 3 (Parkade)																												
9 Sprinkler System Proposed	<input checked="" type="checkbox"/> Entire Building <input type="checkbox"/> Selected Compartments <input type="checkbox"/> Selected Floor Areas <input type="checkbox"/> Riserless <input type="checkbox"/> In Lieu of Roof Rating <input type="checkbox"/> Not Required																												
10 Standpipe required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No																												
11 Fire Alarm required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No																												
12 Water Barrier / Damp in Adequate	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No																												
13 High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No																												
14 Construction Restrictions	<input type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-Combustible Required <input type="checkbox"/> Both																												
15 Miscellaneous Area m ²	<input type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible <input type="checkbox"/> Both																												
16 Occupant load based on	<input type="checkbox"/> m ² / person <input checked="" type="checkbox"/> Design of Building																												
Total: 419	Staff: 419																												
17 Barrier Free Design	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain)																												
18 Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No																												
18 Request Fire Resistance Rating (FRR)	<table border="1"> <tr> <th>Floors</th> <th>FRR (Hours)</th> <th>Listed Design No. or Description (SB-2)</th> </tr> <tr> <td>Floors</td> <td>2 HR</td> <td>N/A</td> </tr> <tr> <td>Roof</td> <td>N/A</td> <td>N/A</td> </tr> <tr> <td>Mezzanine</td> <td>1 HR</td> <td>N/A</td> </tr> <tr> <th>FRR of Supporting Members</th> <th>Listed Design No. or Description (SB-2)</th> </tr> <tr> <td>Floors</td> <td>2 HR</td> <td>N/A</td> </tr> <tr> <td>Roof</td> <td>N/A</td> <td>N/A</td> </tr> <tr> <td>Mezzanine</td> <td>1 HR</td> <td>N/A</td> </tr> </table>	Floors	FRR (Hours)	Listed Design No. or Description (SB-2)	Floors	2 HR	N/A	Roof	N/A	N/A	Mezzanine	1 HR	N/A	FRR of Supporting Members	Listed Design No. or Description (SB-2)	Floors	2 HR	N/A	Roof	N/A	N/A	Mezzanine	1 HR	N/A					
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Floors	2 HR	N/A																											
Roof	N/A	N/A																											
Mezzanine	1 HR	N/A																											
19 Spatial Separation - Concentration of Exterior Walls	3.2.3.																												
20 Purifying Fixtures Requirements	<table border="1"> <thead> <tr> <th>Design Data</th> <th>Required</th> <th>Provided</th> <th>Building Code Reference</th> </tr> </thead> <tbody> <tr> <td>Water closets</td> <td>Lavatories</td> <td>Water closets</td> <td>Lavatories</td> </tr> <tr> <td>Staff: Male</td> <td>5</td> <td>-</td> <td>3.7.4.7</td> </tr> <tr> <td>Female</td> <td>9</td> <td>-</td> <td>3.7.4.7</td> </tr> <tr> <td>Ground Floor Level 2</td> <td>Water closets: 1 per 100 m² located within 45m of a non-barrier free WC</td> <td>Water closets: 1</td> <td>3.8.2.3</td> </tr> <tr> <td>Second Floor Level 3</td> <td>Water closets: 1 per 100 m² located within 45m of a non-barrier free WC</td> <td>Water closets: 1</td> <td>3.8.2.3</td> </tr> <tr> <td>Third Floor Level 4</td> <td>Water closets: 1 per 100 m² located within 45m of a non-barrier free WC</td> <td>Water closets: 1</td> <td>3.8.2.3</td> </tr> </tbody> </table>	Design Data	Required	Provided	Building Code Reference	Water closets	Lavatories	Water closets	Lavatories	Staff: Male	5	-	3.7.4.7	Female	9	-	3.7.4.7	Ground Floor Level 2	Water closets: 1 per 100 m ² located within 45m of a non-barrier free WC	Water closets: 1	3.8.2.3	Second Floor Level 3	Water closets: 1 per 100 m ² located within 45m of a non-barrier free WC	Water closets: 1	3.8.2.3	Third Floor Level 4	Water closets: 1 per 100 m ² located within 45m of a non-barrier free WC	Water closets: 1	3.8.2.3
Design Data	Required	Provided	Building Code Reference																										
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21 Other Requirements	<table border="1"> <tr> <td>Travel Distance</td> <td>45 mts</td> </tr> <tr> <td>Exit Stair Rating</td> <td>2-hour with minimum width of 1100mm</td> </tr> <tr> <td>Service Route</td> <td>2-hour (emergency equipment), 1-hour (non-emergency equipment)</td> </tr> <tr> <td>Emergency Lighting</td> <td>Required for a period of 30 min.</td> </tr> <tr> <td>Emergency Generator</td> <td>Required for a period of 30 min.</td> </tr> <tr> <td>Panic Hardware</td> <td>Required</td> </tr> <tr> <td>Access for Disabled</td> <td>Required</td> </tr> <tr> <td>Group B1 Floor Areas</td> <td>2-hour separation from remainder of floor areas</td> </tr> <tr> <td>Service Shaft</td> <td>2-hour (emergency equipment), 1-hour (non-emergency equipment)</td> </tr> <tr> <td>Elevator Shaft</td> <td>2-hour</td> </tr> </table>	Travel Distance	45 mts	Exit Stair Rating	2-hour with minimum width of 1100mm	Service Route	2-hour (emergency equipment), 1-hour (non-emergency equipment)	Emergency Lighting	Required for a period of 30 min.	Emergency Generator	Required for a period of 30 min.	Panic Hardware	Required	Access for Disabled	Required	Group B1 Floor Areas	2-hour separation from remainder of floor areas	Service Shaft	2-hour (emergency equipment), 1-hour (non-emergency equipment)	Elevator Shaft	2-hour								
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Elevator Shaft	2-hour																												

DATE	ISSUED FOR	REV
2014-12-17	SD PROCESS	
2015-01-21	SD PROCESS	
2015-04-29	SD PROCESS	
2015-04-13	SD PROCESS	
2015-06-16	DESIGN DEVELOPMENT	
2015-06-26	DEVELOPMENT PERMIT	
2015-08-07	SSBC Tech Review - 30% Stage	
2015-09-21	SSBC Tech Review - 60% Stage	

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 PLANNING

NORR
 ARCHITECTS PLANNERS
 NORR Limited
 An Ingersoll Group Company
 1201 West Pender St.
 Suite 710
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 www.norr.com

Project Manager	Drawn Author
Project Leader	Checked Checker

Client:
 SHARED SERVICES BC,
 PROVINCIAL COURT OF BC.

Project:
 SURREY COURTHOUSE
 RENOVATION AND EXPANSION

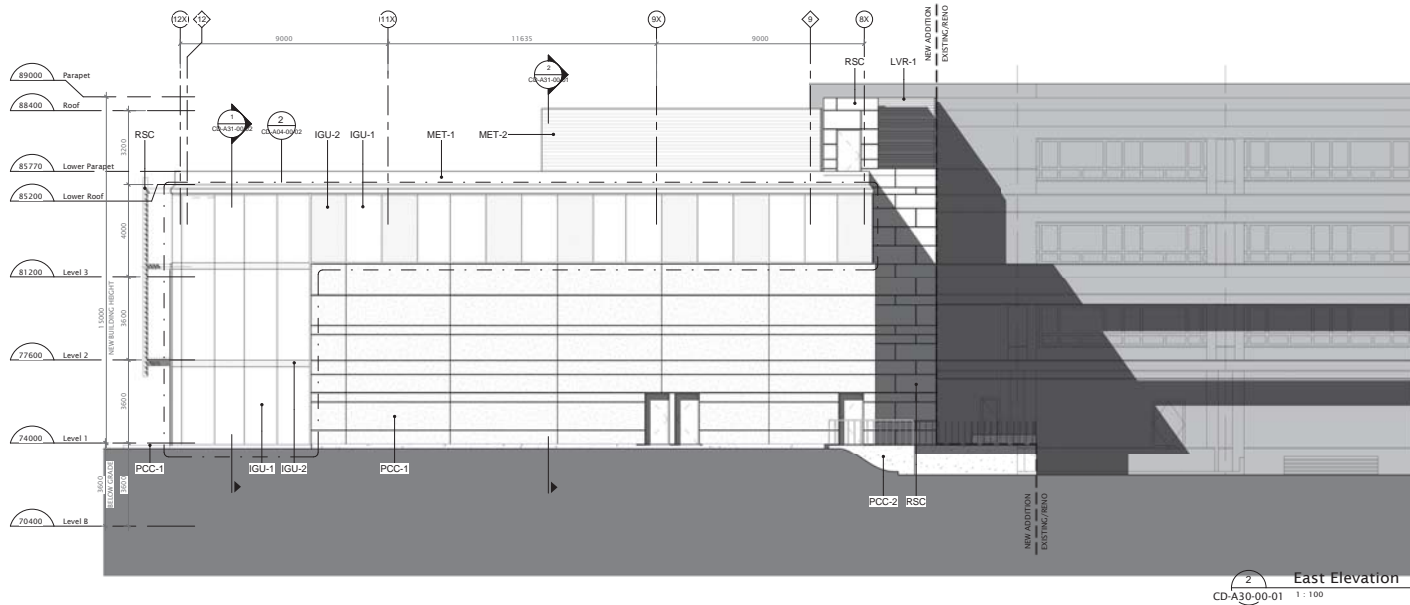
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 SITE PLAN

Check Scale (may be photo reduced)
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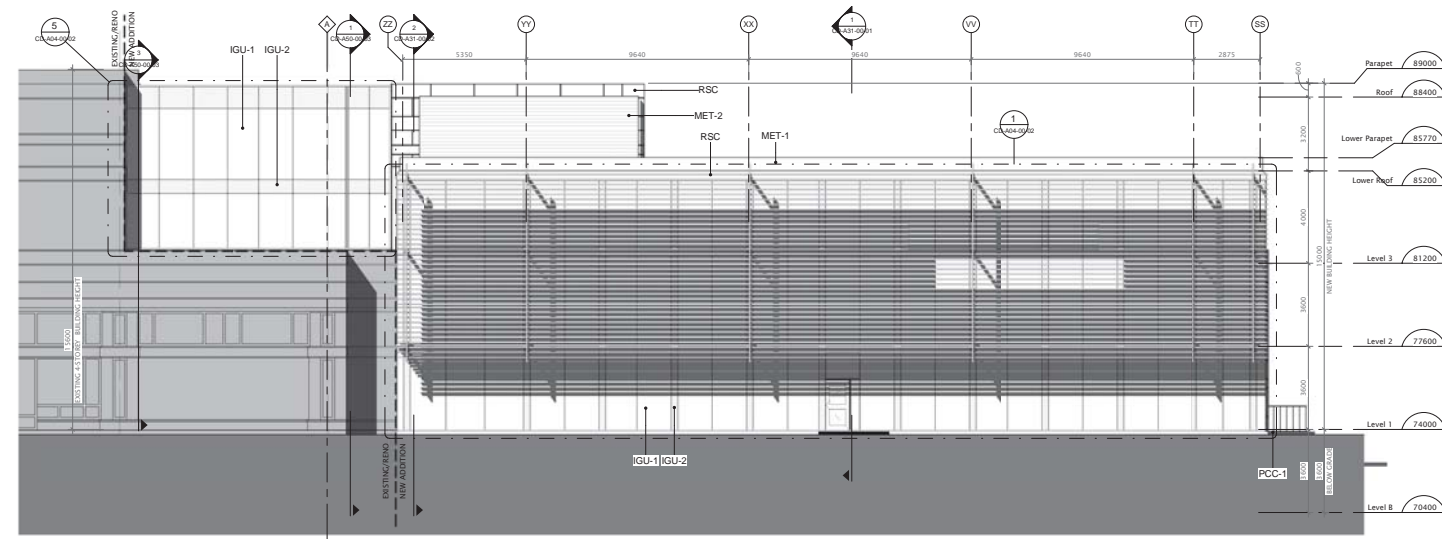
Project No.: OCVA-14-0021
 Drawing No.: CD-A10-00-01

LEGEND

- RSC TERRACOTTA RAIN SCREEN SYSTEM
- LVR-1 ARCHITECTURAL METAL LOUVER
- PCC-1 PRE-CAST ARCHITECTURAL CONCRETE PANELS
- PCC-2 CONCRETE
- MET-1 METAL COPING
- MET-2 METAL PANEL
- IGU-1 DOUBLE GLAZED WINDOW UNIT - CLEAR
- IGU-2 GLAZED WINDOW UNIT - SHADOW BOX



2 East Elevation
CD-A30-00-01 1:100



1 South Elevation
CD-A30-00-01 1:100

DATE	ISSUED FOR	REV
2014-12-17	SD PROGRESS	
2015-01-21	SD PROGRESS	
2015-04-29	SD PROGRESS	
2015-04-13	SD PROGRESS	
2015-06-16	DESIGN DEVELOPMENT	
2015-06-26	DEVELOPMENT PERMIT	
2015-08-07	SSBC Tech Review - 30% Stage	
2015-09-23	SSBC Tech Review - 60% Stage	

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North Arrow	Detail Symbol

Seal(s)

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An Ingenium Group Company

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www.norr.com

Project Manager	Drawn
Project Leader	Author
	Checked
	Checker

Client:
SHARED SERVICES BC.
PROVINCIAL COURT OF BC.

Project:
SURREY COURTHOUSE
RENOVATION AND EXPANSION

Drawing Title:
ELEVATIONS

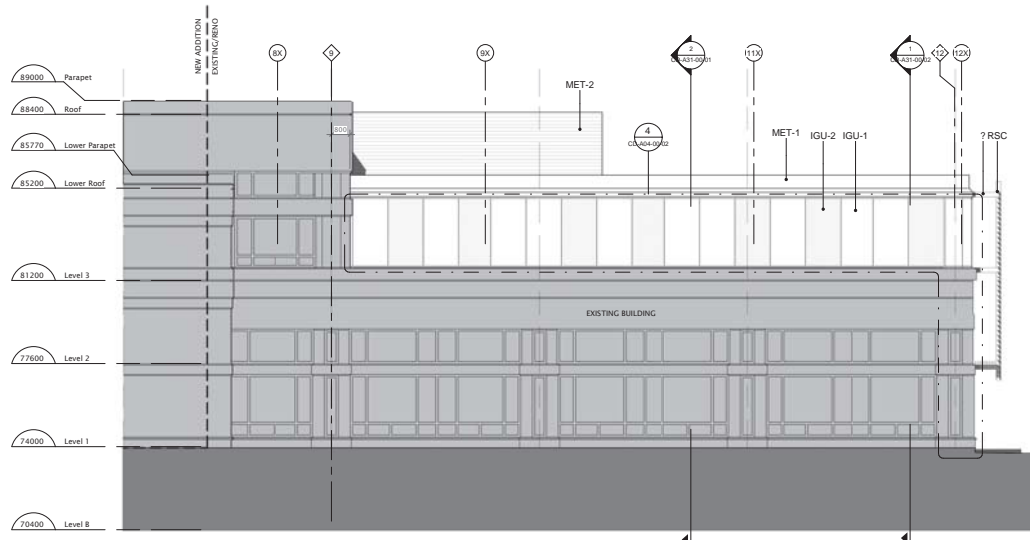
Check Scale (may be photo reduced)
0 1 inch 0 30mm

Project No. OCVA-14-0021

Drawing No. CD-A30-00-01

LEGEND

- RSC TERRACOTTA RAIN SCREEN SYSTEM
- LVR-1 ARCHITECTURAL METAL LOUVER
- PCC-1 PRE-CAST ARCHITECTURAL CONCRETE PANELS
- PCC-2 CONCRETE
- MET-1 METAL COPING
- MET-2 METAL PANEL
- IGU-1 DOUBLE GLAZED WINDOW UNIT - CLEAR
- IGU-2 GLAZED WINDOW UNIT - SHADOW BOX



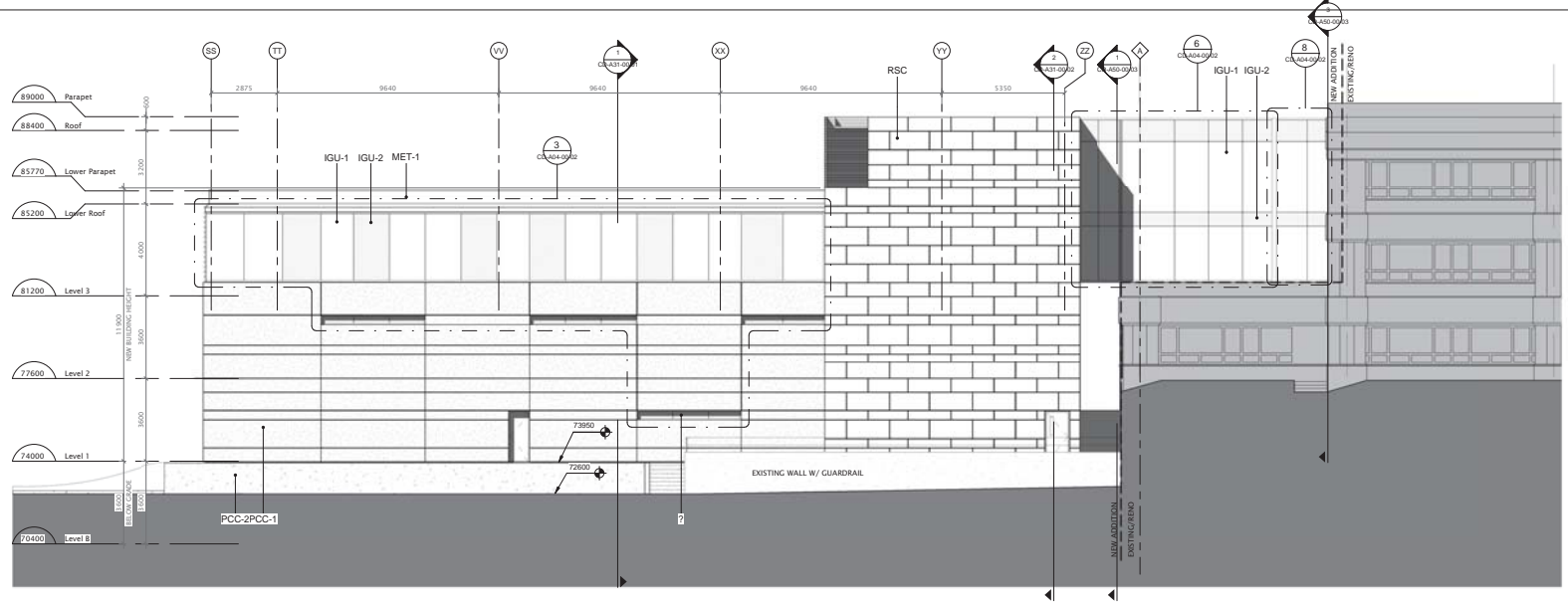
2 West Elevation
CD-A30-00-02 1:100

DATE	ISSUED FOR	REV
2014-12-17	SD PROGRESS	
2015-01-21	SD PROGRESS	
2015-04-29	SD PROGRESS	
2015-04-13	SD PROGRESS	
2015-06-16	DESIGN DEVELOPMENT	
2015-06-26	DEVELOPMENT PERMIT	
2015-08-07	SSBC Tech Review - 30% Stage	
2015-09-23	SSBC Tech Review - 60% Stage	

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North Arrow	Detail Symbol



1 North Elevation
CD-A30-00-02 1:100

Seal(s)

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Vancouver, BC, Canada V6E 2V2
www.norr.com

Project Manager	Drawn
Project Leader	Author
	Checked
	Checker

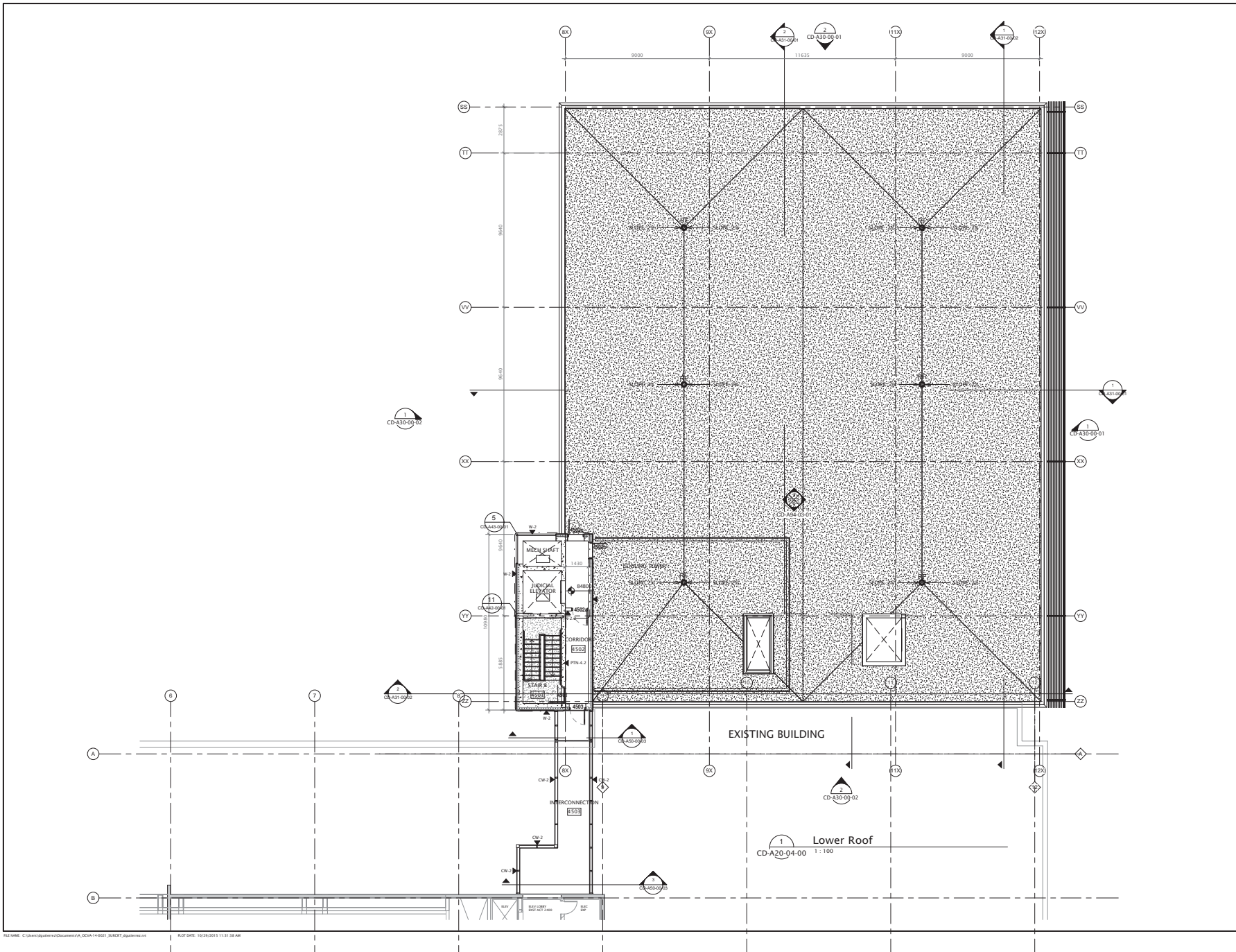
Client:
SHARED SERVICES BC.
PROVINCIAL COURT OF BC.

Project:
SURREY COURTHOUSE
RENOVATION AND EXPANSION

Drawing Title:
ELEVATIONS

Check Scale (may be photo reduced)
0 1 inch 2 inch 30mm

Project No.	OCVA-14-0021
Drawing No.	CD-A30-00-02



DATE	ISSUED FOR	REV
2014-12-17	SD PROGRESS	
2015-01-21	SD PROGRESS	
2015-04-29	SD PROGRESS	
2015-04-13	SD PROGRESS	
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KEY PLAN

North Arrow

Detail Symbol

True North

Detail No.
Sheet No.

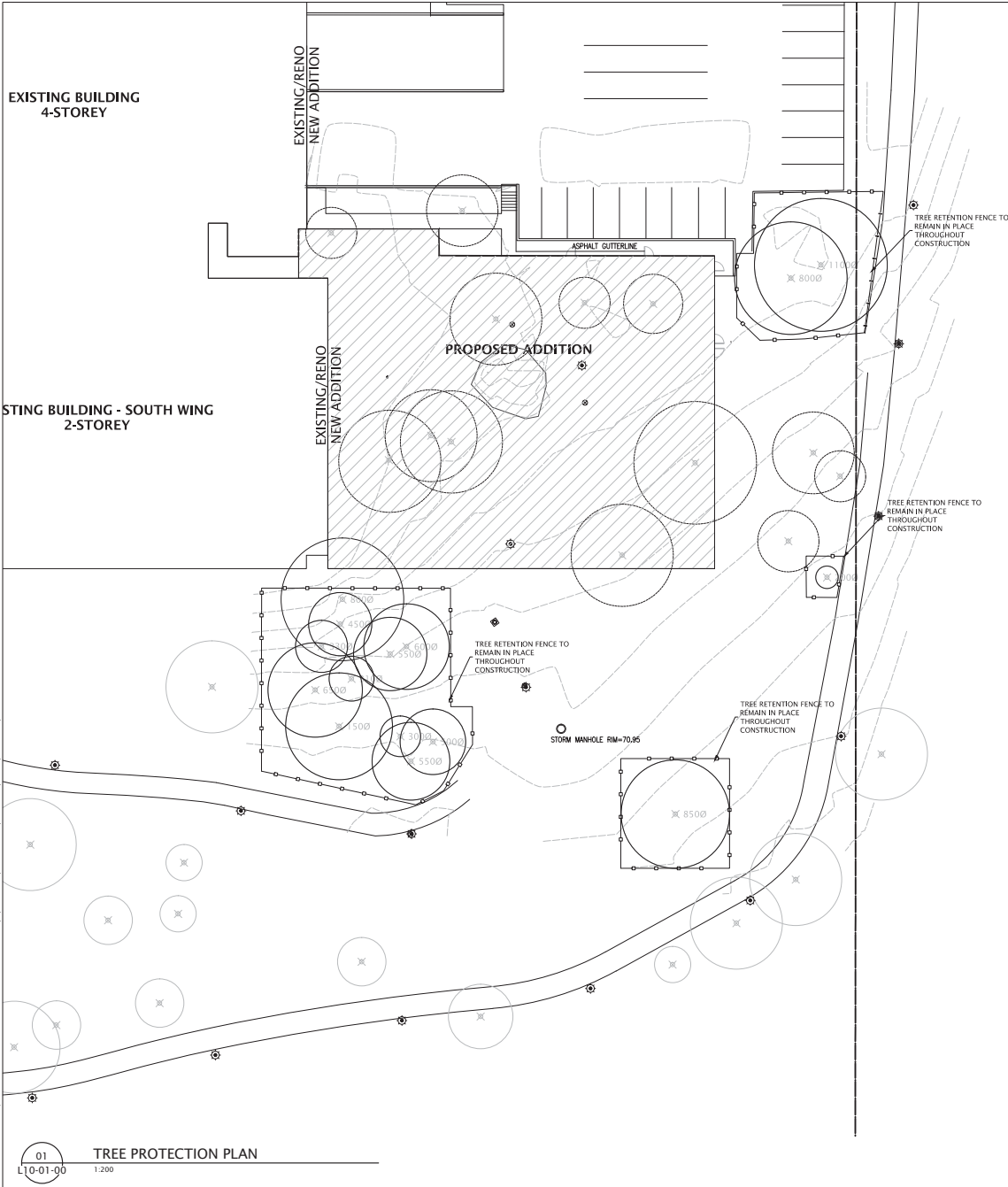
Seal(s)

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PLANNING

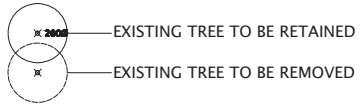
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Tel: 604.681.1111
Fax: 604.681.1112
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ARCHITECTS PLANNERS
NORR Limited
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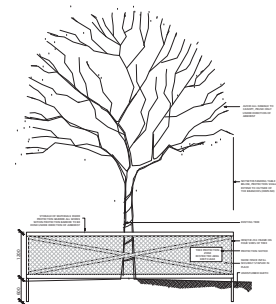
Project Manager	Drawn
	Author
Project Leader	Checked
	Checker
Client:	
SHARED SERVICES BC, PROVINCIAL COURT OF BC.	
Project:	
SURREY COURTHOUSE RENOVATION AND EXPANSION	
Drawing Title:	
LEVEL 4 - LOWER ROOF	
Check Scale (may be photo reduced)	
Project No.	OCVA-14-0021
Drawing No.	CD-A20-04-00



TREE LEGEND:



ALL WORK TO BE COMPLETED IN CONJUNCTION WITH ARBORIST REPORT BY DIAMOND HEAD CONSULTING LTD. ANY FURTHER INFORMATION REGARDING THE EXISTING TREES SHALL BE PROVIDED WITHIN THE REPORT. TREE LOCATIONS ARE ESTIMATED PER ARBORIST PLANS, CANOPY SHOWN IS NOT TO SCALE.



TREE PROTECTION DETAIL
SCALE: N.T.S.

1. ALL RETAINED TREES AS SHOWN SHALL BE IDENTIFIED ON SITE IN SUCH A WAY SO THAT ALL WORKERS SHALL KNOW THAT THE VEGETATION IS TO BE RETAINED. IDENTIFICATION OF RETAINED VEGETATION ON SITE SHALL BE BY A TREE PROTECTION BARRIER AS DETAILED HERE. FOR SAFETY REASONS, CONFIRM THAT NO BURIED SERVICES ARE PRESENT BEFORE PROCEEDING WITH INSTALLATION AND INSURE THAT THE BARRIER DOES NOT INTERFERE WITH FIRE HYDRANTS, INTERSECTIONS OR TRAFFIC SIGNAGE.
2. THE TREE'S ROOTS, TRUNK, CROWN AND TREE PROTECTION ZONE MUST BE ADEQUATELY PROTECTED. THE TREE PROTECTION BARRIER MUST BE AT LEAST 1.2m (4') IN HEIGHT, DIMENSIONED TO MEET THE REQUIREMENTS OF THE CITY OF SURVEY TREE PROTECTION BY-LAW 2008 NO 16100. ON THE REQUIREMENTS OF THE PROJECT ARBORIST (WHICHEVER IS GREATER) AND INSTALLED IN ALL LOCATIONS WHERE TREES ARE TO BE RETAINED. THE FENCING BARRIER MATERIAL SHALL BE BRIGHT, CONTRASTING COLOUR AND BE DURABLE. FORCE POSTS SHALL BE METAL POSTS, COMPARABLE OR HEAVIER. FENCING SHALL BE MAINTAINED IN AN UPRIGHT POSITION THROUGHOUT THE DURATION OF THE PROJECT.

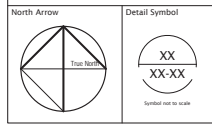
CITY OF SURVEY MINIMUM REQUIREMENTS:

TRUNK DIAMETER (CM)	MINIMUM PROTECTION BARRIER HEIGHT (M)	MINIMUM PROTECTION BARRIER DISTANCE FROM TREE (M)
30	1.2	1.2
35	1.5	1.5
40	1.8	1.8
45	2.1	2.1
50	2.4	2.4
55	2.7	2.7
60	3.0	3.0
65	3.3	3.3
70	3.6	3.6
75	3.9	3.9
80	4.2	4.2
85	4.5	4.5
90	4.8	4.8
95	5.1	5.1
100	5.4	5.4

3. A WARNING SIGN SHALL BE DISPLAYED ON ALL TREE PROTECTION BARRIERS. THE SIGN SHALL BE A MINIMUM OF 30.5x40.5 CM AND SHALL CLEARLY STATE: "WARNING - TREE PROTECTION ZONE - RESTRICTED AREA - KEEP CLEAR".
4. MULCHING TO THE EDGE OF THE TREE PROTECTION ZONE WILL BE REQUIRED. THE MULCH SHALL CONSIST OF UNTREATED WOOD CHIPS 2.5 CM IN SIZE AND SHALL BE SPREAD TO A 5 CM (2") DEPTH. THE MULCH SHOULD BE KEPT AT LEAST 5 CM (2") FROM TREE TRUNK.
5. NO EXCAVATION, STOCK PILING OF MATERIAL OR OTHER CONSTRUCTION RELATED ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION BARRIER.
6. TREES AND OTHER VEGETATION WITHIN THE TREE PROTECTION BARRIER SHALL BE ADEQUATELY MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS. THEY SHALL BE WATERED SUFFICIENTLY, PARTICULARLY IF THE ROOT SYSTEM HAS BEEN DISTURBED DURING CONSTRUCTION. A TREE WATERING SCHEDULE WILL BE REQUIRED WHEN THE DEVELOPMENT IS TO LAST MORE THAN TWO WEEKS.
7. ROOT AND BRANCH PRUNING SHALL ONLY BE COMPLETED WITH APPROVAL FROM AND IN ACCORDANCE WITH THE CITY OF SURVEY AND THE CONSULTANT.
8. IF ANY DAMAGE OCCURS TO THE PROTECTED VEGETATION (REGARDLESS OF HOW) THE CONTRACTOR IS REQUIRED TO NOTIFY THE PERMIT HOLDER WITHIN TWO WORKING DAYS.

DATE	ISSUED FOR	REV
2014-12-17	SD - PROGRESS	-
2015-01-21	SD - PROGRESS	-
2015-04-09	DD - PROGRESS	-
2015-04-15	DD - PROGRESS	-
2015-05-23	DD - 100%	-
2015-11-27	SSBC Tech Review - 90%	-
2015-12-09	BUILDING PERMIT	-

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Consultants	Client
Civil: ISL Engineering & Land Services	ISL Engineering & Land Services
Landscape: Landscape Firm Name	Landscape Firm Name
Architectural: NORR Architects Planners - RATIO	NORR Architects Planners - RATIO
Structural: Fast & Epp Consulting	Fast & Epp Consulting
Mechanical: AME Group Ltd.	AME Group Ltd.
Electrical: Applied Engineering Solutions	Applied Engineering Solutions

Seals)



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www.ratio.com



Project Manager	Drawn
C. Sierz	D. DUNCAN
Project Leader	Checked
G. Burwell	

Client
SHARED SERVICES BC
PROVINCIAL COURT OF BC

Project
SURVEY COURTHOUSE
RENOVATION AND EXPANSION

Drawing Title
TREE PROTECTION PLAN

Check Scale (may be photo reduced)
1 inch = 0 10mm

Project No. OCVA-14-0021
Drawing No. L10-01-00

01 TREE PROTECTION PLAN
L10-01-00
1:200

PLOT DATE: December 8, 2015 TIME: 4:00 PM FULL PATH AND FILENAME: C:\D:\TIMDATA\OCVA\140021\1500\DELIV\LAND\02_CONS\1101-00_000_RATIO_TREES.rvt



2 x 2 BENCH PICNIC TABLES



1 x 4 BENCH PICNIC TABLES



2 x BENCH

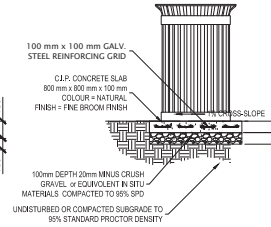
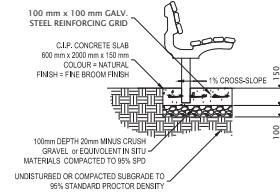
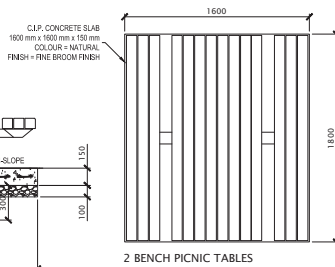
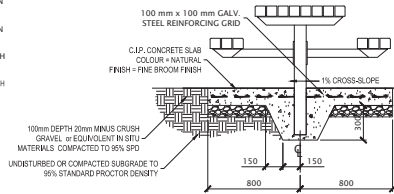
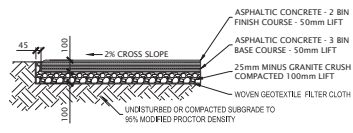


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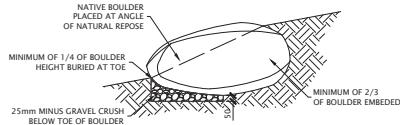


3 x LIGHTING BOLLARD

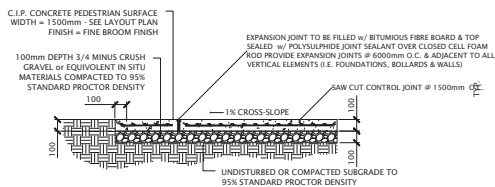
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L20-21-00 N.T.S.



02 PEDESTRAIN ASPHALT PAVING
L20-21-00 1:20

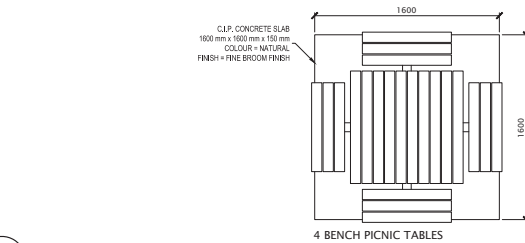


03 BOULDER PLACEMENT
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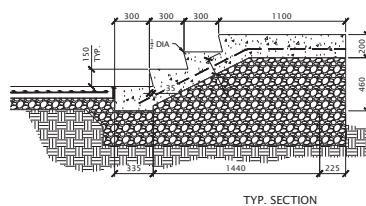


07 CONCRETE WALKWAY PAVING
L20-21-00 1:20

04 PICNIC TABLE ANCHOR SLABS
L20-21-00 1:20



08 CONCRETE STAIR SECTION
L20-21-00 1:20

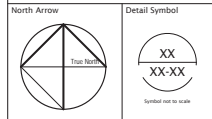


05 BENCH ANCHOR SLAB
L20-21-00 1:20

06 REFUSE RECEPTACLE ANCHOR SLAB
L20-21-00 1:20

DATE	ISSUED FOR	REV
2014-12-17	SD - PROGRESS	-
2015-01-21	SD - PROGRESS	-
2015-04-09	DD - PROGRESS	-
2015-04-15	DD - PROGRESS	-
2015-05-23	DD - 100%	-
2015-11-27	SSBC Tech Review - 90%	-
2015-12-09	BUILDING PERMIT	-

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Consultants	ISL Engineering & Land Services
Civil:	ISL Engineering & Land Services
Landscape:	Landscape Firm Name
Architectural:	NORR Architects Planners - RATIO
Structural:	Fast & Epp Consulting
Mechanical:	AME Group Ltd.
Electrical:	Applied Engineering Solutions

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RATIO ARCHITECTURE
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NORR

Project Manager G. Burwell	Drawn D. DUNCAN
Client SHARED SERVICES BC PROVINCIAL COURT OF BC	Checked

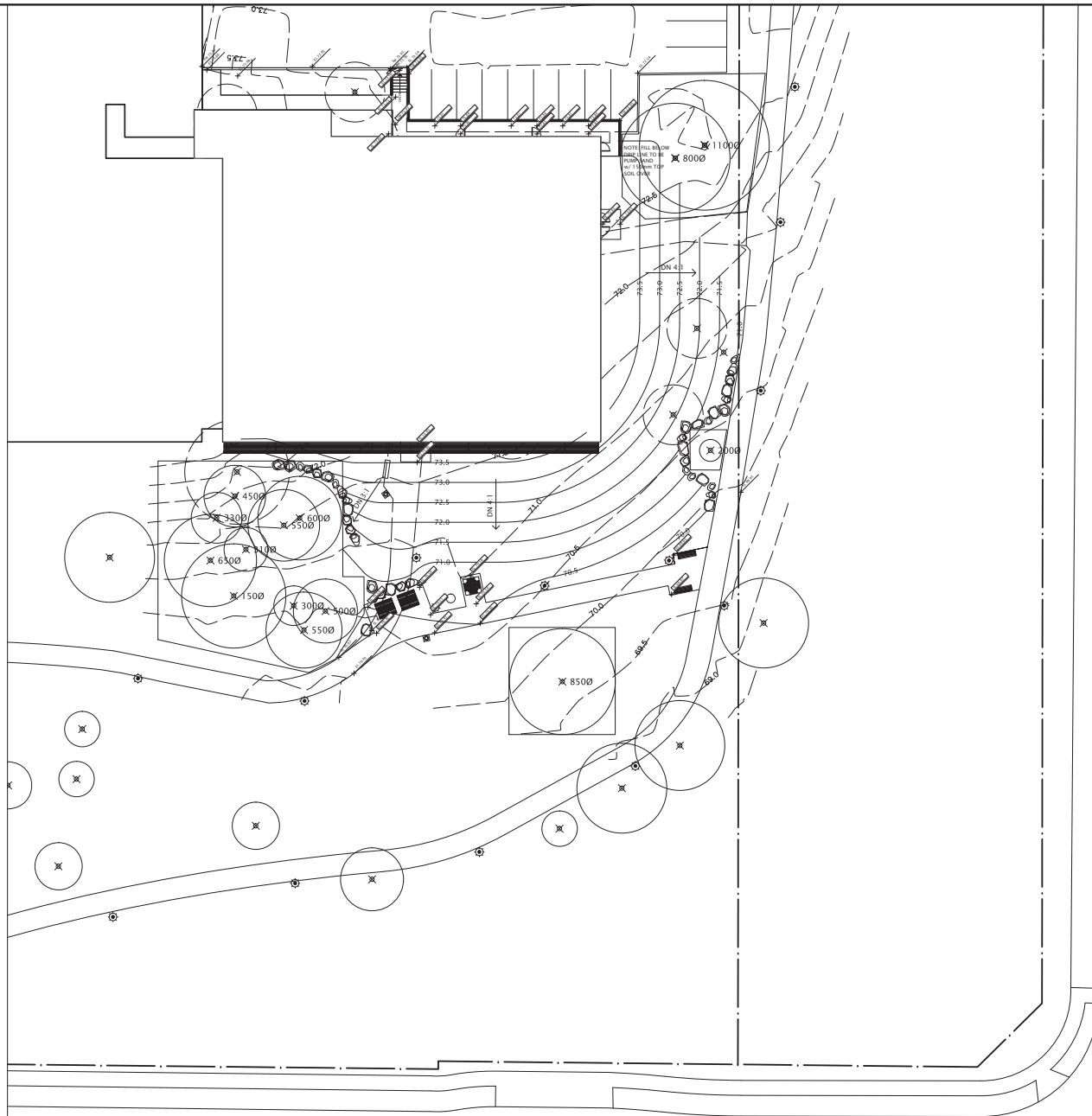
Project
SURREY COURTHOUSE
RENOVATION AND EXPANSION

Drawing Title
**HARD LANDSCAPE
DETAILS**

Check Scale (may be photo reduced)
1 inch = 0 10mm

Project No. OCA-14-0021
Drawing No. L20-21-00

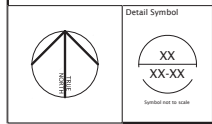
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01 LANDSCAPE GRADING PLAN
DD-L30-01-00 1:200

DATE	ISSUED FOR	REV
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2015-01-21	SD - PROGRESS	-
2015-04-08	DD - PROGRESS	-
2015-04-15	DD - PROGRESS	-
2015-05-22	DD - 100%	-

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Seal(s)

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Holder: David, Architect, AIA, R. AIA, M.A.S.T.
Holder: D. DUNCAN, Architect, AIA, R. AIA, M.A.S.T.
Holder: M. RAY, Architect, AIA, R. AIA, M.A.S.T.
Holder: S. HARRIS, Architect, AIA, R. AIA, M.A.S.T.



Project Manager	Drawn
C. Sternz	D. DUNCAN
Project Leader	Checked
Initial LastName	

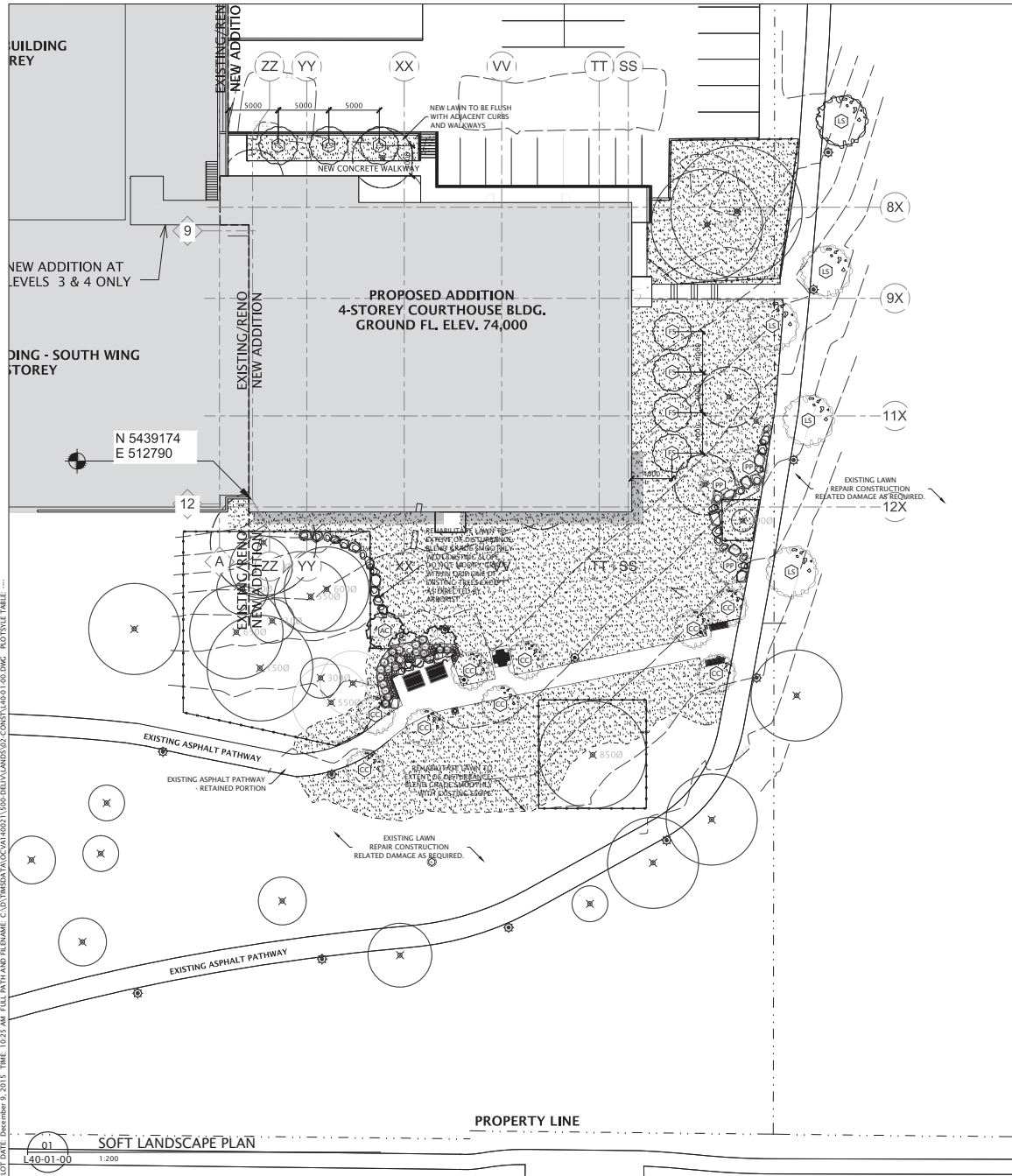
Client
SHARED SERVICES BC
PROVINCIAL COURT OF BC

Project
SURREY COURTHOUSE
14340-57th avenue
SURREY, BC. V3X 1B2

Drawing Title
LANDSCAPE GRADING

Check Scale (may be photo reduced)
1 inch = 0 10mm

Project No. OCVA-14-0021
Drawing No. DD-L30-01-00



PLANT LEGEND:

- EXISTING STREET TREES TO BE RETAINED
- ACER CIRCINATUM (VINE MAPLE)
- CERCIS CANADENSIS (EASTERN REDBUD)
- LIQUIDAMBAR STYRACIFLUA (AMERICAN SWEETGUM)
- PARROTIA PERSICA (PERSIAN IRONWOOD)
- FAGUS SYLVATICA 'DAWYCK' (DAWYCK UPRIGHT BEECH)
- RIBES SANGUINEUM (FLOWERING CURRANT)
- PINUS MUGO 'SLOWMOUND' (SLOWMOUND MUGO PINE)
- HEMEROCALLIS X CHICAGO APACHE (DAYLILY)
- PHLOX DOUGLASII (MOSS PHLOX)

LANDSCAPE NOTES

1. COMPLIANCE: GOVERNMENT - ALL WORK SHALL BE COMPLETED TO THE SATISFACTION OF LOCAL GOVERNMENT AUTHORITIES AND SHALL COMPLY WITH ALL STANDARDS AND REGULATIONS OF THE TIME. CONTRACTORS SHALL ENSURE COMPLIANCE OF ALL WORK PRIOR TO INSTALLATION.
2. COMPLIANCE: BCNTA/ICSLA - ALL TOP SOIL, PLANT MATERIAL, SHIPPING PROCEDURES, AND PLANTING TECHNIQUES SHALL CONFORM TO LATEST EDITION OF BCNTA/ICSLA LANDSCAPE STANDARD AVAILABLE AT COMMENCEMENT OF WORK.
3. EXISTING SERVICES - REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF ALL BURIED SERVICES. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL UTILITIES LOCATIONS AND ANY AND ALL COSTS WHICH ARISE FROM DAMAGE TO SERVICES CAUSED BY AN ACT OR FAILURE TO ACT OF THE CONTRACTOR.
4. TOP SOIL - GENERAL - TOP SOIL SHALL MEET THE BCNTA/ICSLA STANDARDS AND BE FORMULATED IN ACCORDANCE WITH THE ATTACHED SPECIFICATION.
5. GRADING, ALLOWANCES AND TOPSOIL PLACEMENT GRADES SHOWN ON DRAWINGS ARE FINISHED GRADES. ALL SLOPES SHALL BE NO GREATER THAN 3:1. SUBGRADE IS TO ALLOW FOR PLACEMENT OF THE FOLLOWING DEPTHS OF PLANTING MEDIUM:
 - GRASS AREAS - 150 MM
 - SHRUB BEDS - 450 MM
 - GROUND COVER AREAS - 300 MM
 - TREE #1'S - 300 MM
 - (ON ALL SIDES OF THE ROOT BALL)
6. GRADING, FILL MATERIAL - ALL FILL SHALL BE FREE OF EXTRANEOUS MATERIAL INCLUDING BUT NOT LIMITED TO ROCKS AND CONCRETE LARGER THAN 150 MM DIA. ROOTS AND BRANCHES, DIMENSIONAL LUMBER, STEEL AND IRON BAR OR STRAPPING, AND OTHER CONSTRUCTION WASTE AND LITTER.
7. TRENCHING - TRENCHING FOR UTILITY CONNECTIONS TO BE COORDINATED WITH ENGINEERING DEPARTMENT TO ENSURE SAFE ROOT ZONES OF RETAINED TREES. METHODS OF TREE PROTECTION TO BE APPROVED BY PARK BOARD.
8. PLANT MATERIAL QUANTITIES - CONTRACTOR SHALL CONFIRM ALL PLANT MATERIAL QUANTITIES. ANY DISCREPANCIES BETWEEN THE PLANT LIST AND THE DRAWING SHALL BE REPORTED TO THE CONSULTANT. IN CASE OF DISCREPANCY CONTRACTOR SHALL INSTALL PLANT MATERIAL AS PER DRAWING, IN CIRCUMSTANCES WHERE THERE IS A DISCREPANCY BETWEEN GROUND COVER QUANTITY AND SPACING THE SPACING REQUIREMENT WILL PREVAIL.
9. PLANT MATERIAL SUBSTITUTIONS - NO SUBSTITUTIONS TO PLANT LIST SHALL BE MADE BY CONTRACTOR WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CONSULTANT.
10. SODDING - CONTRACTOR SHALL INSTALL TOP SOIL AND TURF TO THE EDGE OF DISTURBANCE OR TO THE BOUNDARY OF THE WORK AND MATCH THE GRASS VARIETIES USED ADJACENT.
11. MULCH - PLANTING AREAS SHALL BE MULCHED WITH 50 MM OF SH/FIB BARK MULCH. THE USE OF CEDAR MULCH OR ANY MIX CONTAINING CEDAR IS NOT PERMITTED.
12. MAINTENANCE - MAINTAIN THE SITE FOR ONE FULL YEAR AFTER CONSTRUCTION COMPLETION. HAND WATER ALL AREAS AS REQUIRED TO INSURE PROPER GROWING HABITS OF ALL SOFT LANDSCAPE AREAS.

PLANT LIST

QTY	SCIENTIFIC NAME	COMMON NAME	PLANT SIZE	MATURE SIZE
3	<i>Acer circinatum</i>	Vine Maple	6cm CAL. (B&B), min 700mm wide X 650mm depth root ball	5m mature height 3m mature spread
9	<i>Cercis canadensis</i>	Eastern Redbud	6cm CAL. (B&B), min 700mm wide X 650mm depth root ball	6m mature height 6m mature spread
5	<i>Liquidambar styraciflua</i>	American Sweetgum	6cm CAL. (B&B), min 700mm wide X 650mm depth root ball	12m mature height 9m mature spread
3	<i>Parrotia persica</i>	Persian Ironwood	6cm CAL. (B&B), min 700mm wide X 650mm depth root ball	9m mature height 6m mature spread
7	<i>Fagus sylvatica 'Dawyck'</i>	Dawyck Upright Beech	6cm CAL. (B&B), min 700mm wide X 650mm depth root ball	18m mature height 4m mature spread
11	<i>Ribes sanguineum</i>	Flowering Currant	#3 container - Min. 600mm ht.	3000mm mature height 1500mm mature spread
8	<i>Pinus mugo 'Slowmound'</i>	Slowmound Mugo Pine	600mm ht., Full light habit Root spread 300mm or #5 container	500mm mature height 1200mm mature spread
39	<i>Hemerocallis x Chicago Apache</i>	Chicago Apache Daylily	#1 pot	
35	<i>Phlox douglasii</i>	Moss Phlox	#1 pot	

PROPERTY LINE

144th STREET

01 SOFT LANDSCAPE PLAN
1:200

PLOT DATE: December 8, 2015 TIME: 10:25 AM FILE PATH AND FILENAME: C:\DT\MSDATA\OCVA\14021\1500\DELIV\LANDSCAPE\CONSTR\140-01-00.DWG. PLOT STYLE TABLE: ...

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2014-12-17	SD - PROGRESS	-
2015-01-21	SD - PROGRESS	-
2015-04-09	DD - PROGRESS	-
2015-04-15	DD - PROGRESS	-
2015-05-23	DD - 100%	-
2015-11-27	SS&C Tech Review - 90%	-
2015-12-09	BUILDING PERMIT	-

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This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

North Arrow Detail Symbol

Consultants: ISL Engineering & Land Services
Landscape: Landscape Firm Name
Architectural: NORR Architects Planners - RATIO
Structural: Fast & Epp Consulting
Mechanical: AME Group Ltd.
Electrical: Applied Engineering Solutions

Seals

RATIO ARCHITECTURE ARCHITECTURE DESIGN PLANNING

NORR ARCHITECTS PLANNERS INC.
An Ingenium Group Company
Suite 710 - 1201 West Pender Street
Vancouver, BC, Canada V6E 2V2
T 604 685 3237 F 604 685 3241
www.ratio.com

Project Manager: G.Burwell
Drawn: D.DUNCAN
Checked: G.Burwell

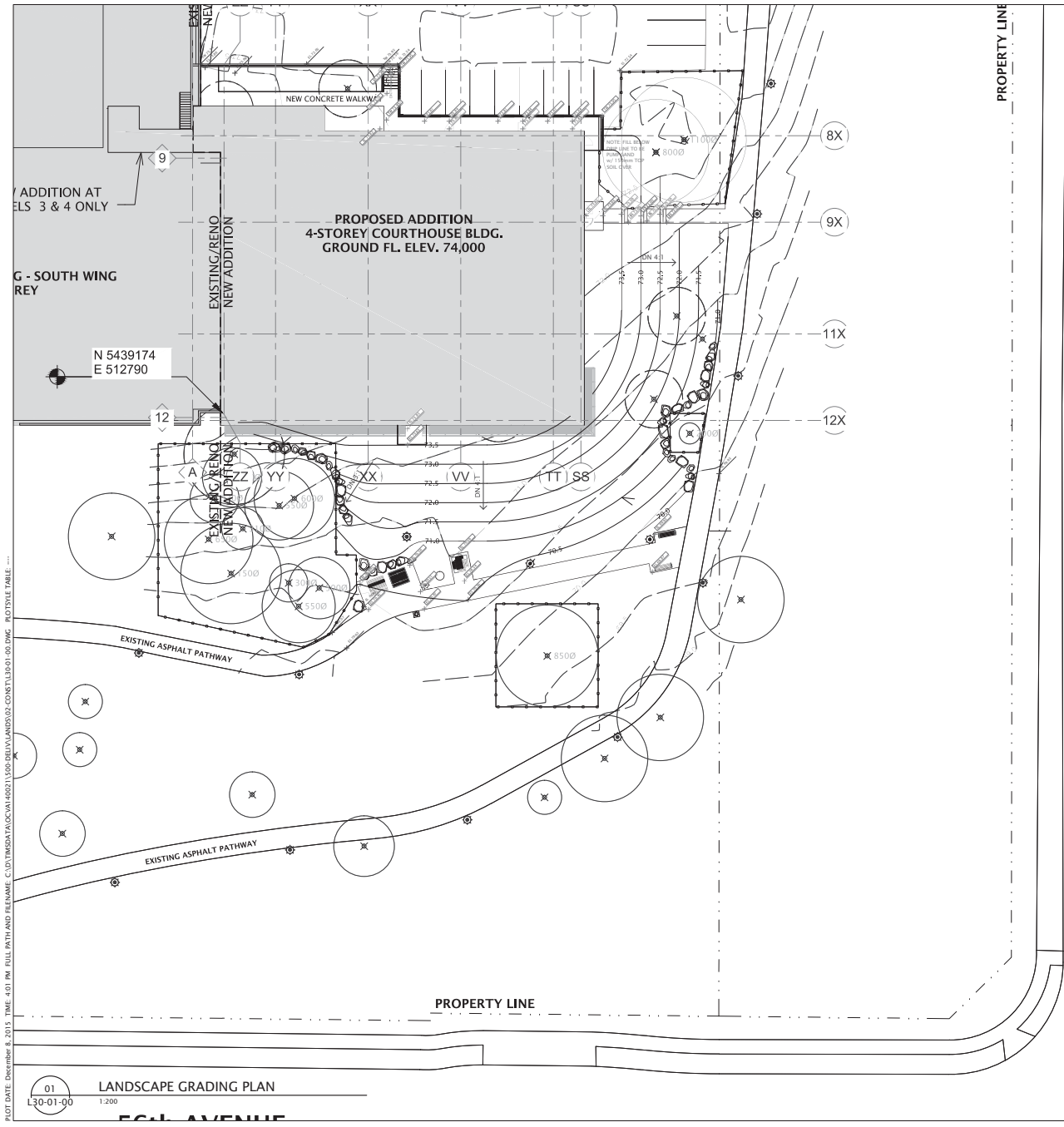
Client: SHARED SERVICES BC
PROVINCIAL COURT OF BC

Project: SURREY COURTHOUSE RENOVATION AND EXPANSION

Drawing Title: SOFT LANDSCAPE PLAN

Check Scale (may be photo reduced): 1 inch = 0 10mm

Project No.: OCVA-14-0021
Drawing No.: 140-01-00



144th STREET

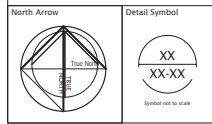
GRADING LEGEND:

- SYMBOLS**
- EXISTING ELEVATION
 - PROPOSED ELEVATION
 - TOP OF WALL / BOTTOM OF WALL
 - TOP OF STAIR
 - BOTTOM OF STAIR
 - EXISTING SLOPE
 - PROPOSED SLOPE

DATE	ISSUED FOR	REV
2014-12-17	SD - PROGRESS	-
2015-01-21	SD - PROGRESS	-
2015-04-09	DD - PROGRESS	-
2015-04-15	DD - PROGRESS	-
2015-05-23	DD - 100%	-
2015-11-27	SSBC Tech Review - 90%	-
2015-12-09	BUILDING PERMIT	-

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Consultants

Civil:	ISL Engineering & Land Services
Landscape:	Landscape Firm Name
Architectural:	NORR Architects Planners - RATIO
Structural:	Fast & Epp Consulting
Mechanical:	AME Group Ltd.
Electrical:	Applied Engineering Solutions

Seals:



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Project Manager C.Sienz	Drawn D.DUNCAN
Project Leader G.Burwell	Checked

Client
SHARED SERVICES BC
 PROVINCIAL COURT OF BC

Project
 SURREY COURTHOUSE
 RENOVATION AND EXPANSION

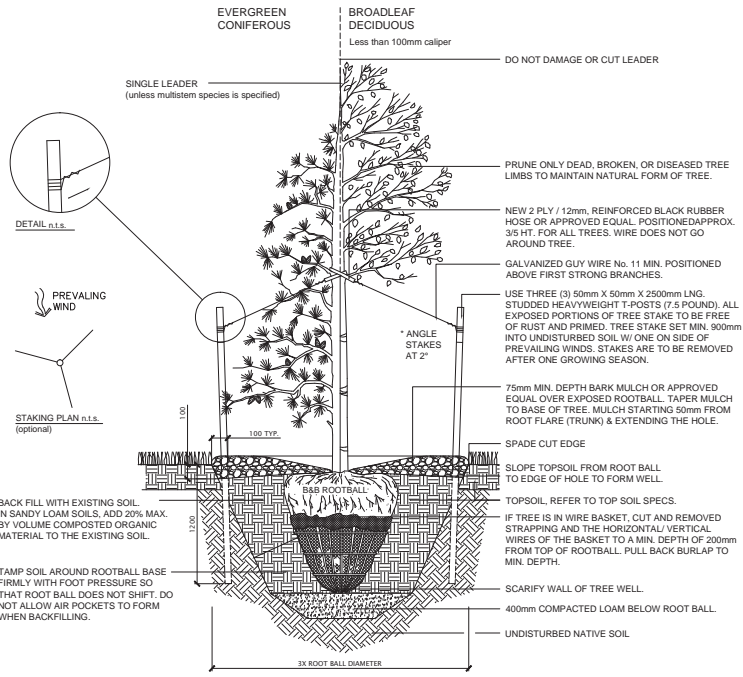
Drawing Title
LANDSCAPE GRADING



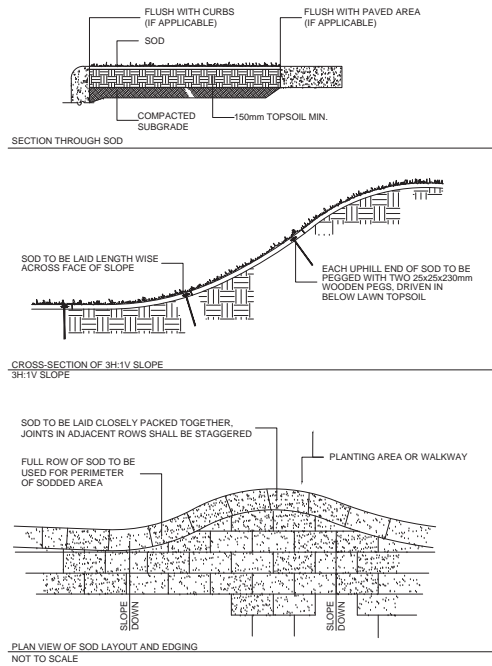
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Drawing No.	L30-01-00

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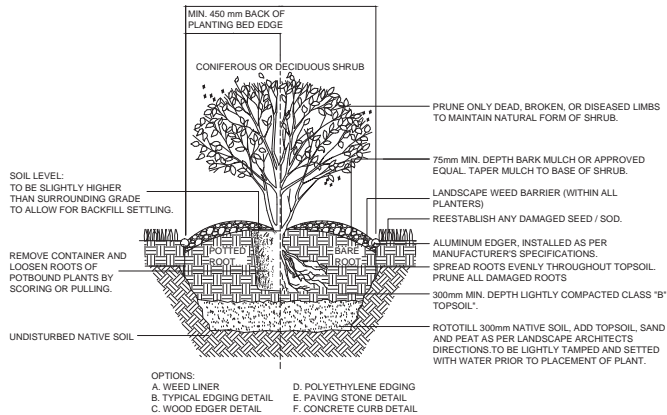
01 LANDSCAPE GRADING PLAN
 L30-01-00 1:200



01 TREE PLANTING DETAIL
DD-L40-21-00 N.T.S.



03 SOD INSTALLATION DETAIL
DD-L40-21-00 N.T.S.



02 SHRUB PLANTING DETAIL
DD-L40-21-00 N.T.S.

LANDSCAPE NOTES

1. ALL LANDSCAPE CONSTRUCTION MATERIALS AND TECHNIQUES SHALL MEET THE MINIMUM REQUIREMENTS OF THE CNLA STANDARDS
 2. NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE PERMITTED BY THE LANDSCAPE CONSULTANT UNLESS APPROVED BY THE LANDSCAPE CONSULTANT IN WRITING PRIOR TO SHIPMENT TO SITE. ALL PLANT MATERIAL SHALL BE INSTALLED AS SHOWN ON THE DRAWINGS. ALL GROUND COVER SHALL BE PLANTED AT THE SPACING INDICATED. ANY PLANT MATERIAL INSTALLED THAT DOES NOT MEET WITH THE REQUIREMENTS OF THESE DRAWINGS AND ASSOCIATED SPECIFICATIONS SHALL BE REMOVED AND REPLACED WITH PLANT MATERIAL THAT MEETS THE aforementioned REQUIREMENTS AT THE CONTRACTOR'S SOLE EXPENSE.
 3. ALL PLANT MATERIAL SHALL BE APPROVED AT THE SOURCE NURSERY PRIOR TO SHIPMENT TO SITE. THE CONTRACTOR BEARS THE SOLE RESPONSIBILITY OF NOTIFYING THE LANDSCAPE CONSULTANT A MINIMUM OF TWO WEEKS PRIOR TO SHIPMENT OF PLANT MATERIAL TO COORDINATE THE REVIEW OF THE PLANT MATERIAL. THE LANDSCAPE CONSULTANT RESERVES THE RIGHT TO WAIVE THIS REQUIREMENT BASED ON THE NURSERY SOURCE PROPOSED FOR USE BY THE CONTRACTOR.
 4. ALL PLANTING BEDS SHALL BE MULCHED WITH AN ALL WOOD MULCH TO A DEPTH OF 75MM
 5. ANY DAMAGE OCCURRING TO THE EXISTING CONSTRUCTION, BUILDINGS, VEGETATION, LANDSCAPING, PATHWAYS AND/OR OTHER SITE AMENITIES ON THE SITE, ADJACENT PRIVATE PROPERTY OR PUBLIC LANDS SHALL BE REHABILITATED, RESTORED AND/OR MADE GOOD, BY THE CONTRACTOR TO THE OWNERS AND/OR THE CITY OR TOWN AUTHORITY'S REQUIREMENTS.
 6. ALL SITE GRADIES SHALL MATCH EXISTING GRADIES OF ADJACENT LANDS, WITH GRADING CONFINED TO THE SITE.
 7. THE CONTRACTOR SHALL OBTAIN, AT THE CONTRACTOR'S SOLE EXPENSE, ALL UTILITY LOCATES PRIOR TO COMMENCING WORK. ANY AND ALL DAMAGES TO UTILITIES, REGARDLESS OF WHETHER LOCATES WERE COMPLETED, SHALL BE REHABILITATED, RESTORED AND/OR MADE GOOD BY THE CONTRACTOR, TO THE OWNERS AND/OR THE CITY OR TOWN AUTHORITY'S REQUIREMENTS
- PLANT MATERIAL WARRANTY:
1. THE CONTRACTOR SHALL WARRANT THAT THE PLANT MATERIAL WILL REMAIN FREE OF DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL PERFORMANCE. THE CONSULTANT ACCOMPANIED BY THE CONTRACTOR WILL UNDERTAKE AN END-OF-WARRANTY INSPECTION TO IDENTIFY PLANT MATERIAL THAT WILL BE REPLACED BY THE CONTRACTOR.
 2. THE CONSULTANT RESERVES THE RIGHT TO EXTEND THE WARRANTY AND RESPONSIBILITY FOR AN ADDITIONAL YEAR, IF, AT THE END OF THE WARRANTY PERIOD, THE LEAF DEVELOPMENT AND GROWTH OF THE PLANT MATERIAL IS NOT SUFFICIENT TO ENSURE FUTURE SURVIVAL.
 3. THE CONTRACTOR SHALL EXTEND THE WARRANTY ON ALL REPLACEMENT PLANT MATERIAL FOR ONE(1) YEAR. REPLACEMENT PLANTS SHALL BE PLANTS OF SAME SIZE AND SPECIES SPECIFIED, PLANTED IN THE NEXT GROWING SEASON, WITH A NEW WARRANTY COMMENCING ON DATE OF REPLACEMENT.
 4. THE CONTRACTOR SHALL CONTINUE SUCH REPLACEMENT AND WARRANTY OF PLANT MATERIAL TO THE SATISFACTION OF THE CONSULTANT.

IRRIGATION SYSTEMS:

1. THE CONTRACTOR SHALL INSTALL A FULLY FUNCTIONAL UNDERGROUND IRRIGATION SYSTEM CAPABLE OF PROVIDING ADEQUATE WATER TO ALL PLANT MATERIAL INCLUDING SODDED LAWNS, SEEDED LAWNS, SHRUBS, TREES, GROUND COVER AND OTHER PLANT MATERIAL, WHETHER EXISTING OR NEW.
2. ALL TREES AND SHRUB BEDS ARE TO BE EQUIPPED WITH A DRIP IRRIGATION SYSTEM.
3. LARGE LAWN AREAS SHALL BE IRRIGATED USING A LARGE IMPACT SPRINKLER ASSEMBLY.
4. SMALL LAWN AREAS SHALL BE IRRIGATED USING A SMALL IMPACT SPRINKLER ASSEMBLY.
5. IRRIGATION PLANS SHALL BE PREPARED BY A QUALIFIED IRRIGATION CONSULTANT AND INSTALLED BY A PROFESSIONALLY CERTIFIED IRRIGATION INSTALLER. IRRIGATION SHALL BE "RAIN BIRD", "HUNTER" OR APPROVED EQUIVALENT. CONTRACTOR SHALL PROVIDE ALL MANUALS AND TOOLS REQUIRED FOR OPERATION OF THE SYSTEM TO THE OWNER UPON COMPLETION OF THE SYSTEM. THE CONTRACTOR SHALL DEMONSTRATE THE SYSTEM TO THE CONSULTANT OR THE OWNER ONCE COMPLETE AND FULLY OPERATIONAL.
6. ALL UNDERGROUND IRRIGATION SYSTEMS ARE TO BE EQUIPPED WITH A HIGH FLOW SHUTOFF VALVE AND RAINFALL SENSOR.
7. ALL DOWN SPOUTS ARE TO BE DIRECTED AWAY FROM FOUNDATIONS AND INTO SHRUB BEDS OR TREE WELLS (WHERE PRACTICAL.)

DATE	ISSUED FOR	REV
2014-12-17	SD - PROGRESS	-
2015-01-21	SD - PROGRESS	-
2015-04-08	DD - PROGRESS	-
2015-04-15	DD - PROGRESS	-
2015-05-22	DD - 100%	-

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Detail Symbol

Consultants

- Civil: ISL Engineering & Land Services
- Landscape: Landscape Firm Name
- Architectural: NORR Architects Planners - RATIO
- Structural: Fast & Epp Consulting
- Mechanical: AME Group Ltd.
- Electrical: Applied Engineering Solutions

Scale(s)

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Head Office: Vancouver, BC, Canada
Branch Office: Seattle, WA, USA
Branch Office: Portland, OR, USA
Branch Office: Phoenix, AZ, USA
Branch Office: Los Angeles, CA, USA
Branch Office: San Francisco, CA, USA

NORR

Project Manager: C. Sienz
Project Leader: InitialLast Name
Client: SHARED SERVICES BC
PROVINCIAL COURT OF BC

Project: SURREY COURTHOUSE
14340-57th avenue
SURREY, BC. V3X 1B2

Drawing Title: SOFT LANDSCAPE DETAILS

Check Scale (may be photo reduced)
1 inch = 0 10mm

Project No.: OCVA-14-0021
Drawing No.: DD-L40-21-00

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **December 8, 2015** PROJECT FILE: **7815-0212-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 14340 57 Avenue**

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

The following issues are to be addressed as a condition of the Development Permit/Development Variance Permit through the Building Permit process:

- Provide 12 parking stalls on neighbouring properties within the Justice Precinct to address anticipated parking needs associated with the expansion;
- Construct, or provide funding for, Panorama Greenway from the intersection of 144 Street/Hwy 10 through the site;
- Review drainage system, and complete necessary improvements, if required; and
- Review domestic and fire flow requirements and complete improvements to the water supply system as required.



Rémi Dubé, P.Eng.
Development Services Manager

MS

3.0 Summary

The site inventory identified twenty-seven (27) trees on the subject site that are protected under the bylaw. Fourteen of the trees are to be removed for the development. None of the trees were found to be at high risk of failing to warrant removal. **There are a number of offsite trees located within parking lot and park to the south and west that were not inventoried as they were outside the scope of this report (discussed below). These trees will require protection if any construction is taken place within the areas.** The location of protected trees, their root protection zones as well as those trees to be removed have been illustrated on the accompanying map.

3.1 Summary of Tree Preservation by Tree Species

Table 2. Summary of Onsite Tree Preservation by Tree Species

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Red Alder			
Cottonwood	1	1	
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Maple (Red)	4	4	0
Sweetgum	3	2	1
Coniferous Trees			
Western Redcedar	5	4	1
Douglas-fir	12	3	9
Grand Fir	3	0	3
Total (excluding Alder and Cottonwood Trees)	27	13	14
Additional Trees in the proposed Open Space/Riparian Area			
Total Replacement Trees Proposed (Excluding Boulevard Street Trees)			
Total Retained and Replacement Trees (Total + Total Replacement trees proposed)			



Advisory Design Panel Minutes

2E - Community Room B
City Hall
13450 - 104 Avenue
Surrey, B.C.
THURSDAY, NOVEMBER 26, 2015
Time: 4:00 pm

Present:

Chair - L Mickelson
M. Ehman
S. Forrest
M. Higgs
D. Newby
M. Younger
M. Vance
S. Vincent

Guests:

G. Burwell, NORR Architects Planners Inc.
A. Moolin, NORR Architects Planners Inc.
G. Gongos, SSBC
T. Wolf, Studio One
S. Attal, Studio One
H. Abarca, Studio One
N. Niamir, Studio One
P. Campbell, PMG
C. Griffiths, PMG

Staff Present:

M. Rondeau, Acting City Architect
L. Luaifoa, Administrative Assistant

A. RECEIPT OF MINUTES

It was Moved by S. Vincent
Seconded by M. Ehman
That the minutes of the Advisory Design
Panel meeting of November 12, 2015, be received.
Carried

M. Younger declared a conflict of interest and excused himself from the discussion of the first agenda item.

B. NEW SUBMISSIONS

1. 4:00PM

File No.:	7915-0212-00
New or Resubmit:	New
Description:	DP and DVP for addition to Surrey Courthouse
Address:	14340 - 57 Avenue Newton, City of Surrey land
Developer:	Ken Woodward, City of Surrey
Architect:	Glenn Burwell, NORR Architects Planners Inc.
Landscape Architect:	Andrew Moolin, NORR Architects Planners Inc.
Planner:	Taryn Hayes
Urban Design Planner:	Mary Beth Rondeau

The Project Architect presented an overview of the site plan, building plans and streetscapes and highlighted the following:

- The addition to the existing courthouse includes courtrooms, judicial chambers, judicial hearing rooms and a holding area. The location is set up to ensure that the two systems (public and judicial) do not intertwine.
- The objective is to produce a facility that gives a dignified expression to the provision of justice and secondly, tie into an existing building.

The Landscape Architect reviewed the landscape plans and highlighted the following:

- Some existing trees will not be retained and replacement trees will be planted that will actually increase the trees. The new trees in the area will provide shade and planting will provide a sense of enclosure to the picnic nodes without obscuring sight lines.
- The re-routing of the path will complete the circulation patterns and accommodate relocated site furnishing. The new amenity area will have picnic benches and bench seating.

**ADVISORY DESIGN PANEL STATEMENT OF REVIEW
DP and DVP for addition to Surrey Courthouse
File No. 7915-0212-00**

It was Moved by M. Ehman
Seconded by S. Vincent
That the Advisory Design Panel (ADP)
recommends A - that the applicant address the following issues to the satisfaction
of the Planning & Development Department.

Carried with D. Newby opposed.

STATEMENT OF REVIEW COMMENTS

In general, the Panel supported the application overall and felt that the north façade needs improvement. The visual material is well prepared and valuable to the comprehension of the scheme.

The north elevation was developed further in the design development phase, beyond what was submitted in the Development Permit package. Windows were added to the lower floors in order to bring natural light into secure corridors as well as fenestrate and add texture to the north façade, enriching both composition and scale. The railing along the east end of the façade has been changed into an elegant

glass and metal railing profile; and there will be vegetation in a new planter (including new trees) that will soften and add texture to the façade without causing CPTED issues. On the north façade, the addition's vertical circulation is expressed as a separate tower element through the use of ochre coloured porcelain cladding. This change in cladding helps these element act as a pivot separating the new addition from the existing courthouse's east façade.

Site

- Appropriate, given the existing circumstances and requirements of the project.

Building Form and Character

- It's a challenge adding onto an existing building but has achieved that challenge in general. The clean architectural expression is commendable.
- The separation between the existing and new building is not expressed in the massing and elevation.

The consultant team feels that the expression of the brise-soleil up to the area of the 1200 mm deep plan indent of the existing corner gives a sufficiently adequate definition of new to old. Lining up the public circulation paths along the south facade is programmatically required and critical to the efficient working of this area of the Courthouse.

- The north motor court façade is somewhat monolithic and could be treated at the pedestrian level.

The north elevation was developed further in the design development phase, beyond what was submitted in the Development Permit package. Windows were added to the lower floors in order to bring natural light into secure corridors as well as fenestrate and add texture to the north façade, enriching both composition and scale. The railing along the east end of the façade has been changed into an elegant glass and metal railing profile; and there will be vegetation in a new planter (including new trees) that will soften and add texture to the façade without causing CPTED issues. On the north façade, the addition's vertical circulation is expressed as a separate tower element through the use of ochre coloured porcelain cladding. This change in cladding helps these element act as a pivot separating the new addition from the existing courthouse's east façade.

- The exterior appearance at the south east corner related to the grades could be stronger.

By the addition of the wrapping of the brise-soleil and curtain wall around the corner to the east facade, our team feels that the corner achieves a certain strength in keeping with the restrained and dignified appearance of the new addition. The base to the curtain wall will be finished in pre-cast panels with a defined joint expression to give a masonry like appearance (not monolithic).

Landscaping

- It appears that the existing landscape approach is being maintained which is positive and appropriate.

- The design is simple and elegant. Consider adding trees in the staff parking lot which will provide some relief to the north façade.

There is a planter along the north façade near the western edge of the addition that has new trees and adjacent lawn. This was not apparent on the older North rendering that was on display.

- Consider providing a logical path for employees to get to the sitting area and connecting around the southeast corner.

We have considered this request and are adding a connecting pathway from the northeast corner (where some staff exits are located) that will connect east into the existing path system.

CPTED

- No comments pertaining to CPTED.

Accessibility

- Recommend elevator button panel be placed horizontal.

Comment is noted and the button panel will be installed per the latest standards and building codes.

- Ensure there are adequate disabled parking spaces.

Disabled parking will be supplied according to City of Surrey parking standards both for the public, staff, and the judiciary.

Sustainability

- No comments pertaining to sustainability.

C. OTHER COMPETENT BUSINESS

D. NEXT MEETING

The next Advisory Design Panel is scheduled for Thursday, December 10, 2015.

E. ADJOURNMENT

The Advisory Design Panel meeting adjourned at 6:45 p.m.

Jane Sullivan, City Clerk

Leroy Mickelson, Chairman
Advisory Design Panel

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7915-0212-00

Issued To: CITY OF SURREY
BC BUILDINGS CORP

("the Owner")

Address of Owner: 13450 - 104 Avenue
Surrey, BC V3T 1V8

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 017-234-719

Lot 5 Except: Part Dedicated Road On Plan Bcp19075 Section 9 Township 2 New Westminster District Plan Lmp21

14340 - 57 Avenue

(the "Land")

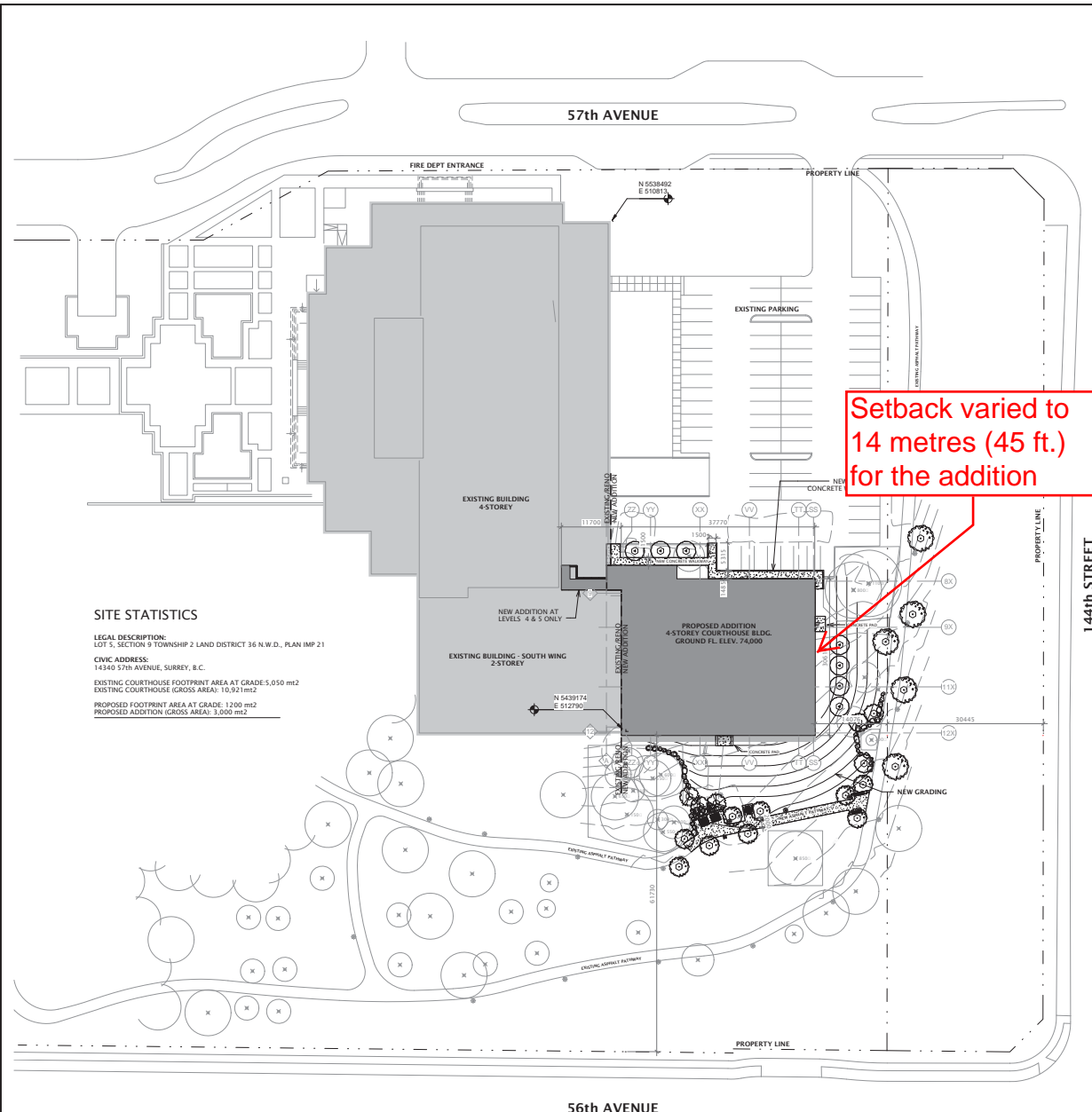
3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section F. Yards and Setbacks, of Part 14 of Surrey Zoning By-law 12000, as amended, the minimum side yard (east) setback is reduced from 15 metres (49 ft.) to 14 metres (45 ft.) for the addition to the existing building.
4. This development variance permit applies to only that portion of the addition to the existing building shown on Schedule A which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan



SITE STATISTICS

LEGAL DESCRIPTION:
LOT 5, SECTION 9 TOWNSHIP 2 LAND DISTRICT 36 N.W.D., PLAN IMP 21

CIVIC ADDRESS:
14340 57th AVENUE, SURREY, B.C.

EXISTING COURTHOUSE FOOTPRINT AREA AT GRADE: 0.50 m²
EXISTING COURTHOUSE (GROSS AREA): 10.92 m²
PROPOSED FOOTPRINT AREA AT GRADE: 12.00 m²
PROPOSED ADDITION (GROSS AREA): 3,000 m²

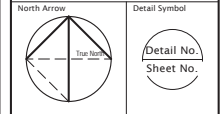
1 Roof
CD-A10-00-01 1:400

Name of Practice: NORR Limited 1201 West Pender St., Suite 710 Vancouver, BC, Canada V6E 2V2	
Name of Project: Shared Services BC, Provincial Courthouse of BC	
Location: 14340-57th Avenue, Surrey, BC V3X 1B2	
British Columbia Building Code 2012	
Data Matrix Part 3	
1 Project Description: Surrey Provincial Courthouse	<input type="checkbox"/> New <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Alteration Part 3 1.1.2. [A]
2 Major Occupancy(ies) Group B, Division 1 (Contained Use) Group A, Division 2 (Courtsrooms) Group D, (Offices) Group F, Division 3 (Parkade)	3.1.2.1(1)
3 Building Area (m ²) Existing: 6,599 sq.m. New: 1,200 sq.m. Total: 6,259 sq.m.	
4 Gross Floor Area Existing: 6,529 sq.m. New: 3,000 sq.m. Total: 13,521 sq.m.	
5 Number of Storeys Above Grade: 4 Below Grade: 1	
6 Height of Building (m) 15m	
7 Number of Streets / Fire Fighter Access 1 street, 1 access	3.2.2.10 & 3.2.5
8 Building Classification 3.2.2.36. Group B, Division 1 (Contained Use) 3.2.2.34. Group A, Division 2 (Courtsrooms) 3.2.2.4. Group D (Offices) 3.2.2.88. Group F, Division 3 (Parkade)	3.2.2.20 - 53
9 Sprinkler System Proposed <input checked="" type="checkbox"/> Entire Building <input type="checkbox"/> Selected Compartments <input type="checkbox"/> Selected Floor Areas <input type="checkbox"/> Riserless <input type="checkbox"/> In Lieu of Roof Rating <input type="checkbox"/> Not Required	3.2.2.20 - 83
10 Standpipe required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.9
11 Fire Alarm required <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.4
12 Water Retention / Empty in Adequate <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.5.7
13 High Building <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6
14 Construction Restrictions <input type="checkbox"/> Combustible permitted <input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible Required <input type="checkbox"/> Both	3.2.2.20 - 83
15 Miscellaneous Area m ² <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible <input type="checkbox"/> Both	3.2.1.1. (3), (8)
16 Occupant load based on <input type="checkbox"/> m ² / person <input checked="" type="checkbox"/> Design of Building	3.1.17
Total: 419 Staff: 419	
17 Barrier Free Design <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)	3.8
18 Hazardous Substances <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)	3.3.1.2 & 3.1.9
18 Request Fire Resistance Rating (FRR) Horizontal Assemblies: FRR (Hours) Listed Design No. or Description (SB-2) Floors: 2 HR N/A Roof: N/A N/A Mezzanine: 1 HR N/A FRR of Supporting Members: Listed Design No. or Description (SB-2) Floors: 2 HR N/A Roof: N/A N/A Mezzanine: 1 HR N/A	3.2.2.20 - 83 & 3.2.1.4
19 Spatial Separation - Concentration of Exterior Walls Wall Area of EBF (m ²) L/D (m) L/R or H/L Permitted Max % of Openings Proposed % of Openings FRR (Hours) Listed Design or Description Comb. Cladding Comb. Corner Cladding Non-comb. Corner	3.2.3
North >150 3m N/A 100% <100% 0 N/A East >150 3m N/A 100% <100% 0 N/A South >150 3m N/A 100% <100% 0 N/A West >150 3m N/A 100% <100% 0 N/A	Yes Yes Yes Yes
20 Purification Fixture Requirements	Building Code Reference
Design Data	Required: Water closets Lavatories Provided: Water closets Lavatories
Staff: Male: 5 Female: 9	3.7.4 3.7.4
Barrier Free	Required: Water closets Lavatories Provided: Water closets Lavatories
Ground Floor Level 2	Water closets 1 per barrier free WC 1 1 3.8.2.3
Second Floor Level 3	1 SF WC located within 45m on a non-barrier free WC 1 per barrier free WC 1 1 3.8.2.3
Third Floor Level 4	1 SF WC located within 45m on a non-barrier free WC 1 per barrier free WC 1 1 3.8.2.3
21 Other Requirements Travel Distance: 45 mts Exit Sign Rating: 2-hour with minimum width of 100mm Service Route: 2-hour (emergency equipment), 1-hour (non-emergency equipment) Emergency Lighting: Required for a period of 30 min. Emergency Generator: Required for a period of 30 min. Panic Hardware: Required Access for Disabled: Required Group B1 Floor Areas: 2-hour separation from remainder of floor areas Service Shaft: 2-hour (emergency equipment), 1-hour (non-emergency equipment) Elevator Shaft: 2-hour	

DATE	ISSUED FOR	REV
2014-12-17	SD PROGRESS	
2015-01-21	SD PROGRESS	
2015-04-29	SD PROGRESS	
2015-04-13	SD PROGRESS	
2015-06-16	DESIGN DEVELOPMENT	
2015-06-26	DEVELOPMENT PERMIT	
2015-08-07	SSBC Tech Review - 30% Stage	
2015-09-23	SSBC Tech Review - 60% Stage	

This drawing has been prepared solely for the use of CLIENT NAME and there are no representations of any kind made by LEGAL COMPANY NAME to any party with whom LEGAL COMPANY NAME has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.



RATIO
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Project Manager: Drawn Author
Project Leader: Checked Checker

Client: SHARED SERVICES BC, PROVINCIAL COURT OF BC.

Project: SURREY COURTHOUSE RENOVATION AND EXPANSION

Drawing Title: SITE PLAN

Check Scale (may be photo reduced)
0 1 inch 30mm

Project No.: OCVA-14-0021

Drawing No.: CD-A10-00-01