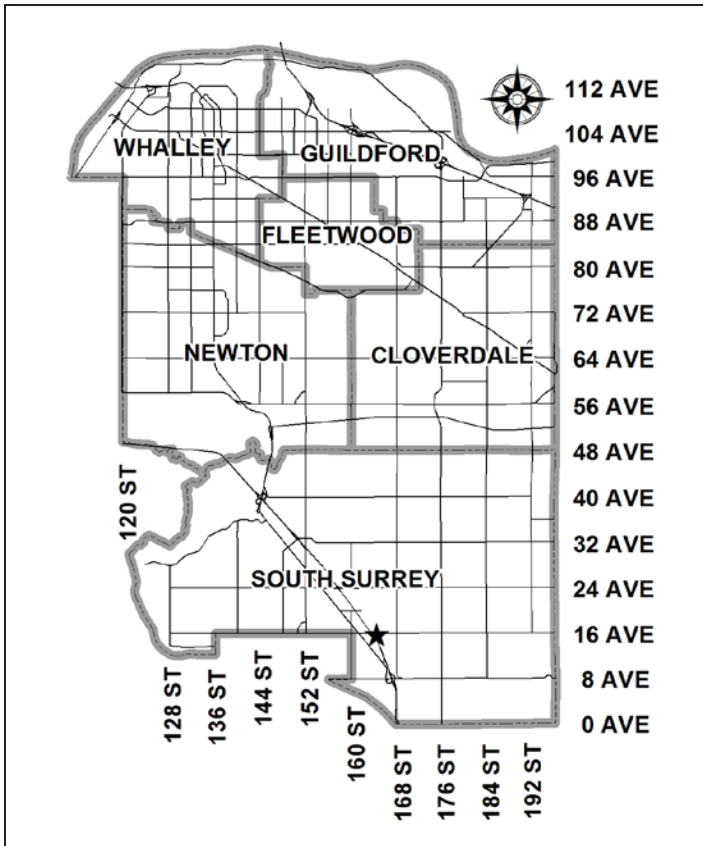


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7915-0194-00

Planning Report Date: September 12, 2016



PROPOSAL:

- **Rezoning** from RA to CD (based on C-8 and IB-3)
- **Development Permit**

to permit a retail and business park development.

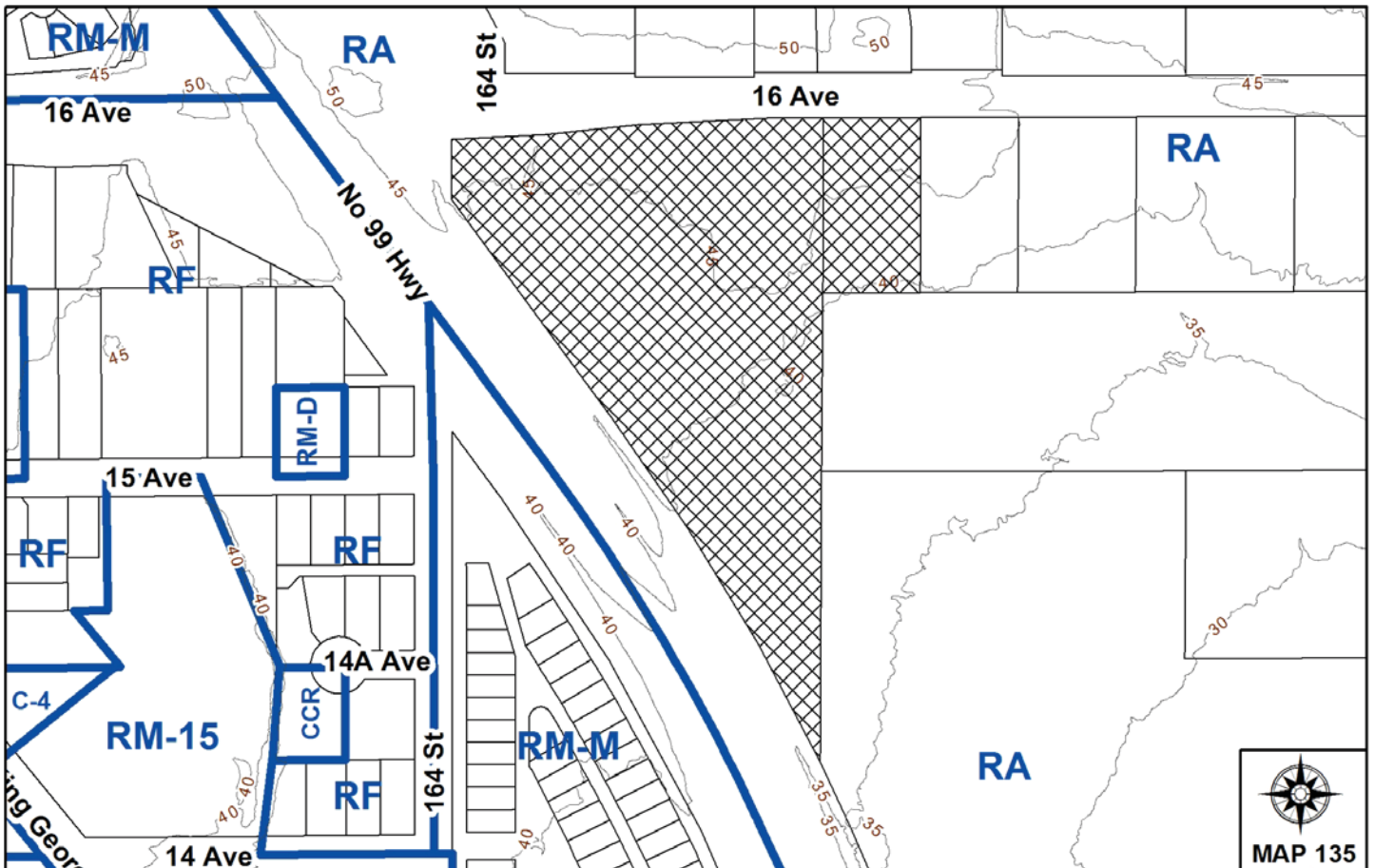
LOCATION: 16450 & 16510 - 16 Avenue

OWNER: South Surrey Business Centre Inc.

ZONING: RA

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: "Commercial/Business Park" and "Habitat Preservation Area"



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for rezoning.
- Approval to vary the Sign By-law through a comprehensive sign design package.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing 3 variances to the Sign By-law.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Official Community Plan Designation.
- The proposal complies with the Highway 99 Corridor Local Area Plan.
- The proposal complies with the objectives of the Biodiversity Conservation Strategy Green Infrastructure Network.
- The proposed building form is appropriate for this area of the Highway 99 Corridor Local Area Plan.
- The proposed signage meets the maximum sign area permitted under the Sign By-law, is of high quality, and is well-coordinated. In accordance with the Sign By-law, no fascia signs are oriented towards Highway No. 99.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "One-Acre Residential Zone" (RA) to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
3. Council authorize staff to draft Development Permit No. 7915-0194-00, including a comprehensive sign design package, generally in accordance with the attached drawings (Appendix III).
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) approval from the Ministry of Forests, Lands and Natural Resource Operations under the Water Act R.S.B.C. 1996, c.483;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
 - (i) registration of a reciprocal access and parking easement between proposed Lots A and B;
 - (j) completion of the acquisition of a portion of the site for park purposes;
 - (k) completion of a P-15 agreement;
 - (l) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department; and
 - (m) submission of an acceptable hydrological report to maintain existing inflow into the Fergus Watershed Biodiversity Preserve.

REFERRALS

- Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix IV.
- Parks, Recreation & Culture: The existing hydrology from the subject site to the adjacent Fergus Watershed Biodiversity Preserve must be maintained. Parks accepts the conveyance of riparian land without compensation and will acquire some land for park purposes.
- Ministry of Transportation & Infrastructure (MOTI): MOTI has granted preliminary approval for one year, with the proviso that some items still need further review and will be resolved prior to final approval.
- Ministry of Forests, Lands and Natural Resource Operations (MFLNRO): The applicant is required to obtain Water Act approval from MFLNRO for the proposed riparian works, as a condition of Final Reading. If Water Act approval is not granted, a major site redesign may be required, and the proposed CD By-law may need to be amended. The applicant has acknowledged this risk.
- Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Single family residential with outbuildings, to be demolished.

Adjacent Area:

Direction	Existing Use	OCP/LAP Designation	Existing Zones
North (Across 16 Avenue):	Single family residential.	Mixed Employment/ Commercial/Business Park and Habitat Preservation Area	RA

Direction	Existing Use	OCP/LAP Designation	Existing Zones
East:	Single family residential lot, vacant lot, Fergus Watershed Biodiversity Preserve	Mixed Employment/ Commercial/Business Park and Habitat Preservation Area	RA
South (Across Highway No. 99):	Mobile home park.	Urban/ Mobile Home Park (King George Highway Corridor LAP)	RM-M
West (Across Highway No. 99):	Mobile home park, single family residential lots, Development Application No. 7915-0392-00 at 3 rd Reading (townhouse proposal).	Urban/ Mobile Home Park and Townhouses (15 upa) (King George Highway Corridor LAP)	RM-M and RF

DEVELOPMENT CONSIDERATIONS

Site Context

- The 4.04-hectare (9.98-acre) subject site consists of 2 parcels located at 16450 and 16510 - 16 Avenue on the south side of 16 Avenue, adjacent to the Highway No. 99 interchange. The parcel is designated Mixed Employment in the Official Community Plan (OCP) and Commercial/Business Park and Habitat Preservation Area in the Highway 99 Corridor Local Area Plan (LAP). The site is designated General Urban in Metro Vancouver's Regional Growth Strategy (RGS). The applicant's proposal conforms to the OCP, the LAP and the RGS designations.
- The site is bordered along the southeast by the Fergus Watershed Biodiversity Preserve. The City is proposing to purchase a portion of the site for habitat preservation purposes, as identified in the Highway 99 Corridor LAP. This area will be added to the Fergus Watershed Biodiversity Preserve.
- The site is bordered to the east by 2 properties at 16530 - 16 Avenue and 16725 - 15 Avenue which have redevelopment potential and share the same LAP designations as the subject site. The applicant has a signed Memorandum of Agreement with the owner (Mytopia Inc.) on the property to the east that will allow for the construction of the new 165 Street and the gravity sewer line that is proposed to be located under 165 Street. In addition, the applicant and the owner to the east have agreed to cooperate on grading their respective sites and to allow fill to "slope out" on their respective properties in the event grading on the sites does not proceed at the same time.

Proposed Development

- The applicant is proposing to rezone the site from “One-Acre Residential Zone” (RA) to “Comprehensive Development Zone” (CD) [based on “Business Park 3 Zone” (IB-3) and “Community Commercial Zone” (C-8)] and a Development Permit to permit the development of 8 commercial (office, retail, light industrial) buildings with a combined floor area of 19,507 square metres (209,970 sq.ft.).
- As part of the development application, the applicant will convey an approximately 17-metre (56 ft.) wide corridor along the western side of the site, along Highway No. 99 for the purposes of riparian protection and also other compensation land in the southern portion of the site. In addition, the City will be purchasing a portion of the southerly portion of the site for the purposes of habitat preservation. The riparian and habitat preservation areas will be added to the adjacent Fergus Watershed Biodiversity Preserve.

Proposed CD By-law

- The applicant is proposing a Comprehensive Development (CD) Zone for the site. The CD Zone will be based on the “Business Park 3 Zone” (IB-3) and “Community Commercial Zone” (C-8) Zones. The table below outlines the differences between the IB-3 and C-8 Zones and the proposed CD Zone:

	IB-3 Zone	C-8 Zone	Proposed CD Zone
Uses	Various - see Zoning By-law No. 12000.	Various - see Zoning By-law No. 12000.	Permits a mixture of the retail/personal service uses associated with the C-8 Zone and also light impact industrial/warehouse uses associated with the IB-3 Zone.
Maximum Floor Area Ratio (FAR)	1.00	0.80	Block A: 0.92 Block B: 0.61 Block C: 0.26
Maximum Lot Coverage	60%	50%	Block A: 27% Block B: 34% Block C: 26%
Setbacks	7.5 m (25 ft.) from all property lines.	7.5 m (25 ft.) from all property lines.	Various – see CD By-law Section F in Appendix VII.
Principal Building Height	14.0 m (46 ft.)	12.0 m (40 ft.)	Block A: 26.0 m (85 ft.) Block B: 8.0 m (26 ft.) Block C: 11.0 m (36 ft.)
Parking	No restrictions on the amount of surface parking permitted.	No restrictions on the amount of surface parking permitted.	The maximum number of surface parking spaces cannot exceed a total of 3 parking spaces per 100 sq.m..
Minimum Parcel Size	2,000 sq.m. (0.5 acres)	2,000 sq.m. (0.5 acres)	4,000 sq.m. (0.99 acres)

- The CD Zone proposes a mixture of the retail/personal service uses associated with the C-8 Zone and also light impact industrial/warehouse uses associated with the IB-3 Zone. These uses reflect the site's "Commercial/Business Park" designation in the Highway 99 Corridor LAP.
- The CD Zone allows a generally lower floor area ratio (FAR) and lot coverage than the FAR and lot coverage permitted in the IB-3 and C-8 Zones.
- The CD Zone proposes an increase in the maximum building height for Block A which will allow for the proposed 5 and 6-storey office buildings.
- The proposed setbacks along 16 Avenue will bring the buildings closer to the public realm. The proposed setbacks adjacent to the riparian and habitat preservation areas reduce the public access to the Fergus Watershed Biodiversity Preserve which a key goal in preserving this watershed area.

DESIGN PROPOSAL AND REVIEW

Building and Site Design

- On proposed Lot A, which is located adjacent to 16 Avenue, the applicant is proposing to construct two one-storey retail buildings and two multi-storey (5 and 6-storey) buildings with ground floor retail and office above. The total floor area for Lot A is 15,580 square metres (167,700 sq.ft.) which is comprised of 1,893 square metres (20,375 sq.ft.) of retail space and 13,687 sq.m. (147,320 sq.ft.) of office space.
- Proposed Lot C along 16 Avenue contains two one-storey commercial buildings (one of which contains a drive-through use) with a total floor area of 838 square metres (9,020 sq.ft.). Proposed Lot B is located south of Lot A and is not visible from 16 Avenue. The applicant is proposing two industrial-style one-storey buildings here with a total floor area of 3,089 square metres (33,250 sq.ft.) on Lot B.
- The site design reflects an effort to locate buildings along the street frontage (as opposed to the interior of the site), to reduce the amount of parking that is visible from the street and to provide an attractive interface with the public realm. The corners of the street-fronting buildings are expressed largely by glazed elements which are oriented to the public realm.
- On Lot A, the applicant is providing 3 plaza areas along 16 Avenue which allows for a pleasant pedestrian entry to the site from 16 Avenue. The applicant is also providing a large outdoor plaza area between the two larger office buildings. The plazas enhance the human-scale of the proposed development and add to the vitality of the main retail portion of the site. The pedestrian environment is further reflected in the attention to the variation of walking surfaces and the provision of outdoor seating.
- The buildings are well designed and provide visual interest through the use of articulation and high quality finishing materials. The proposed finishing materials include porcelain tiles, alucobond metal panels and spandrel panels.
- The two office buildings are proposed to have a recessed top floor with an outdoor deck area and also a wood accent material proposed on the underside of the proposed roof canopy,

similar to the Surrey City Hall building. The main entries for the two office buildings are highlighted with the use of wood material and a large vertical element on the façade. Extensive glazing is also proposed on the two office buildings.

- Metal and glass weather canopies and green screen vegetation systems on selected walls further enhance the building design on the site. The mechanical units on the roof will be screened by porcelain tile screens.
- The more industrial-style buildings proposed on Lot B are designed to allow for storefront type windows at grade, or roll-up garage doors with glass infill, to allow for flexibility in terms of use.

Signage

- The applicant is proposing three free-standing signs along 16 Avenue and one free-standing sign along 165 Street. Two of the signs along 16 Avenue are proposed to be 6 metres (20 ft.) high and the other sign is proposed to be 2 metres (6 ft.) high. The free-standing sign on 165 Street is proposed to be 4.5 metres (15 ft.) high.
- The proposed two 6.0-metre (20-ft.) free-standing signs on 16 Avenue reflect the highway commercial interchange location and allow for tenant signage that is not permitted on the upper floors of the proposed office buildings. No free-standing signs are proposed within 60 metres (200 ft.) of Highway No. 99, in accordance with the Sign By-law.
- The three taller free-standing signs are proposed to be constructed of blackened steel with wood accent on the sides, and will be illuminated with LED lighting. The shorter free-standing sign is proposed to be constructed of blackened steel as well.
- The applicant is proposing illuminated channel letter fascia signs for the buildings. The fascia signage varies in height, from 0.76 metres (2.5 ft.) to 0.91 metres (3 ft.) with the exception that the unit number signage for Buildings E and F is proposed with height of 1.2 metres (4 ft). There are no box type signs proposed. In accordance with the Sign By-law, no fascia signs are oriented towards Highway No. 99.
- The applicant proposes to vary the Sign By-law through a comprehensive sign package and Development Permit. The applicant is proposing that additional fascia signs be located on Buildings E and F on the same facade to allow for tenant numbering, to permit a second upper floor fascia sign on each office building, and to allow two of the proposed free-standing signs on 16 Avenue to be increased from 4.5 metres (15 ft.) to 6.0 metres (20 ft.), as described in Appendix II. The Sign By-law allows Council to vary the sign bylaw through approval of a Development Permit that contains a comprehensive sign design package.

Access, Site Circulation and Parking

- A total of 5 vehicular access points are proposed to the site, four of which are proposed for the western development site with the remaining access proposed for the eastern development site (Lot C). Access is primarily provided from the new north-south road (165 Street). A traffic circle is proposed on 165 Street which will enable access to Lot C, which is median restricted along 165 Street. The applicant is also proposing a right-in/right-out only access on 16 Avenue on proposed Lot A which is not supported at this time by the Ministry of Transportation and Infrastructure (MOTI). During the detailed design phase this access issue

will be resolved. The applicant is aware that this access may need to be removed, and is currently showing the access on the plans with a dashed line.

- Pedestrian connections are provided throughout the site, with linkages to the surrounding sidewalks, and also to the 4 pedestrian plaza areas on site. Three of the pedestrian plazas are located along 16 Avenue adjacent to Buildings C and D. The fourth pedestrian plaza is a large open space, located centrally on the site, between the two office buildings (Buildings A and B).
- The loading areas for proposed Buildings A, B and F are located far from public view along 16 Avenue and 165 Street. The loading areas for Buildings A and B are located on the south side of the buildings and are incorporated into the parkade structure. The loading area for Building F is located at the western side of Building F.
- A drive-through (Building G) is proposed on Lot C. The drive-through will have queuing storage for up to 12 cars.
- The proposed development provides 584 parking spaces, which exceeds the 516 parking spaces that are required under the Zoning By-law, based on the various uses that are proposed. On its own Lot B does not have the required number of parking spaces (27 space shortfall) whereas adjacent Lot A has a surplus amount of parking spaces (94 space surplus). A reciprocal parking and access easement will be secured as a condition of final adoption to ensure that the parking requirement is met over the site.
- Of the 584 parking spaces that are proposed, 280 are to be provided in the underground parkade. It should be noted that the proposed development meets the requirements of the Highway 99 Corridor LAP that not more than 3 surface parking spaces per 100 square metres (1,075 sq.ft.) of gross floor area be provided.
- The parking count includes 12 disabled spaces and 75 small car spaces, both of which meet the Zoning By-law requirements. The applicant is also providing 30 bike parking spaces.

Landscaping

- The landscaping concept is to provide a safe pedestrian environment, effective storm water management, attractive landscaping features, and a combination of plantings that will provide visual interest throughout the year. The applicant is proposing to plant approximately 172 trees on the site, including maples, spruce, ginkgos, pines and magnolias. The applicant is proposing an inside row of trees along all the street frontages, which, when combined with the street trees, will create a double row of trees along the street frontages.
- Decorative lighting, planters, seating areas, litter receptacles, and special surfacing materials, will enhance the aesthetic experience of the site.
- Vegetated bioswales are proposed in the parking areas in the southern portion of the site, and rain gardens are also proposed on the western side of 165 Street to provide natural storm water drainage and visually interesting landscaping.
- A single garbage enclosure is proposed, on Lot C, and the materials are in keeping with the character of the proposed buildings.

ADVISORY DESIGN PANEL

This application was referred to the Advisory Design Panel (ADP) on August 6, 2015 (Appendix IV). The ADP comments and suggestions have been satisfactorily addressed.

TREES

- Andrew Connell, ISA Certified Arborist of Diamond Head Consulting Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	98	98	0
Cottonwood	47	47	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Bigleaf Maple	9	9	0
Bitter Cherry	2	2	0
Cherry/Plum	5	5	0
Dogwood	1	1	0
Paper Birch	7	7	0
Coniferous Trees			
Coast Redwood	1	1	0
Deodar Cedar	1	1	0
Douglas-fir	4	4	0
Lawson Cypress	1	1	0
Scots Pin	1	1	0
Western Redcedar	128	128	0
Total (excluding Alder and Cottonwood Trees)	160	160	0
Additional Estimated Trees in the proposed Riparian and Open Space Area	316	139	177
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		172	
Total Retained and Replacement Trees		172	
Contribution to the Green City Fund		\$117,200	

- The Arborist Assessment states that there are a total of 160 protected trees on the site, excluding Alder and Cottonwood trees. One hundred forty-five (145) existing trees, approximately 48 % of the total trees on the site, are Alder and Cottonwood trees. It was determined that no trees can be retained as part of this development proposal in the

developed portion of the site. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.

- Table 1 includes an additional 316 protected trees that are located within the proposed riparian and open space area. One hundred seventy-seven (177) trees within the proposed riparian and open space area will be retained, except where removal is required due to hazardous conditions. This will be determined at a later time, in consultation with the Parks, Recreation and Culture Department.
- A detailed planting plan prepared by a Registered Professional Biologist (R.P. Bio.) and an associated P-15 agreement are required for the monitoring and maintenance of the proposed trees to be planted in the conveyed riparian area.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 465 replacement trees on the site. Since only 172 replacement trees can be accommodated on the site, the deficit of 293 replacement trees will require a cash-in-lieu payment of \$117,200, representing \$400 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.
- The new trees on the site will consist of a variety of trees including maples, spruce, gingkos, pines and magnolias.
- In summary, a total of 172 trees are proposed to be retained or replaced on the site with a contribution of \$117,200 to the Green City Fund.

BIODIVERSITY CONSERVATION STRATEGY

- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies Hub F and Corridor #35 within the subject site, in the Redwood BCS management area, with a high ecological value.
- The BCS further identifies the GIN area of the subject site as having a moderate high to very high habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories. The BCS recommends an overall target Corridor width of 100 meters and target area of approximately 14,900 square metres (3.7 acres) on the subject site which is approximately 36% of the subject property. The BCS recommends a target Hub area of 31,000 square meters (7.7 acres) or 77% of the subject property.
- Protecting green infrastructure Hubs (large habitat areas) and Sites (smaller habitat areas) are critical to preserving natural habitat refuges and a diversity of habitat features while maintaining/enhancing Corridors ensures connectivity between fragmented hubs for genetic variation throughout the City. The BCS comments for Hub F are:

- *Large natural area with important aquatic and riparian habitat for species at risk. Pockets of forest and shrub communities fragmented by old fields. Protected areas, including Fergus Park, are located in this proposed Hub. Protect additional land through acquisition to create larger contiguous natural area. Restore forest communities along creeks. Create wetlands in old fields adjacent to forests.*

The BCS comments for Corridor #35 are:

- *Riparian corridor within proposed Hub F. Supports species at risk. Enhance/expand riparian habitat. Traffic calming and signage for crossings at 16 Ave.*
- The development proposal conserves 10,570 square metres (2.6 acres) of the subject site which is 26% of the total gross area of subject site, or 71% of the target Corridor area and 34% of the target Hub area. This conservation will assist in the long term protection of the natural features and allows the City to better achieve biodiversity at this location consistent with the guidelines contained in the BCS.
- In order for the proposal to fully comply with the BCS target recommendations, an additional 4,330 square metres (1.1 acres) would need to be provided for the target Corridor area and an additional 20,430 square metres (5.0 acres) would need to be provided for the target Hub Area, but has not been provided by the development proposal. If the full amount of BCS target Hub and Corridor area was provided, it would only leave a 4,800 square metre (1.2 acres) area of the site available for development, which is only 12% of the gross site area. Through a combination of dedication and acquisition, the City will be acquiring 10,570 square metres (2.6 acres) which is 26% of the gross site area.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on August 31, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	● The subject site is within the Highway 99 Corridor Local Area Plan.
2. Density & Diversity (B1-B7)	● The applicant is proposing commercial and business park uses.
3. Ecology & Stewardship (C1-C4)	● The applicant is proposing to utilize on-site infiltration trenches or sub-surface chambers, cisterns, vegetated swales and rain gardens, dry swales and rain water wetlands/detention areas. The applicant is conveying land to the City for purposes of riparian protection. Recycling pick-up is also proposed.
4. Sustainable Transport & Mobility (D1-D2)	● Pedestrian walkways are provided on site, including for connections with City sidewalks. Covered outdoor waiting areas and bike racks will be provided. Showers and change facilities will also be provided.
5. Accessibility & Safety (E1-E3)	● CPTED principles are incorporated in the landscaping and site design. An outdoor gathering plaza space is proposed.

Sustainability Criteria	Sustainable Development Features Summary
6. Green Certification (F1)	<ul style="list-style-type: none"> The applicant is aiming for LEED Gold certification.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> The typical pre-notification and development proposal signage process was followed, and the applicant also consulted with the environmental groups involved in the Fergus Watershed Biodiversity Preserve. The LEED certification documentation will be provided to tenants.

PRE-NOTIFICATION

Pre-notification letters were sent on October 20, 2015 and staff received one letter from the Little Campbell Watershed Society (LCWS). The LCWS indicates that they “believe that the developer of this project using BMPs [Best Management Practices] should achieve a net zero increase of pollutants entering Fergus Creek”.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Sign By-law Variances Table
Appendix III.	Zoning Block Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix IV.	Engineering Summary
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	ADP Comments and Applicant’s Response
Appendix VII.	Proposed CD By-law

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

KB/dk

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on C-8 and IB-3)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		40,396 sq.m.
Road Widening, Riparian and Park area		14,675.5 sq.m.
Net Total		25,720.5 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures: Block A	27%	25.4%
Buildings & Structures: Block B	34%	32.1%
Buildings & Structures: Block C	26%	23.8%
SETBACKS (in metres)	See CD By-law Section F.	See CD By-law Section F.
BUILDING HEIGHT (in metres/storeys)		
Principal: Block A	25.3m	26.0m
Principal: Block B	7.6m	8.0m
Principal: Block C	10.2m	11.0m
Accessory	4.5m	4.5m
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Commercial		
Retail		2,731 sq.m.
Office		13,687 sqm..
“Flex” (retail, office or light impact industrial)		3,089 sq.m.
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		19,507 sq.m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
FAR (net): Block A	0.92	0.91
FAR (net): Block B	0.61	0.60
FAR (net): Block C	0.26	0.25
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial/Office/Industrial	516	584
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	516	584
Number of disabled stalls	6	12
Number of small cars	204	75
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

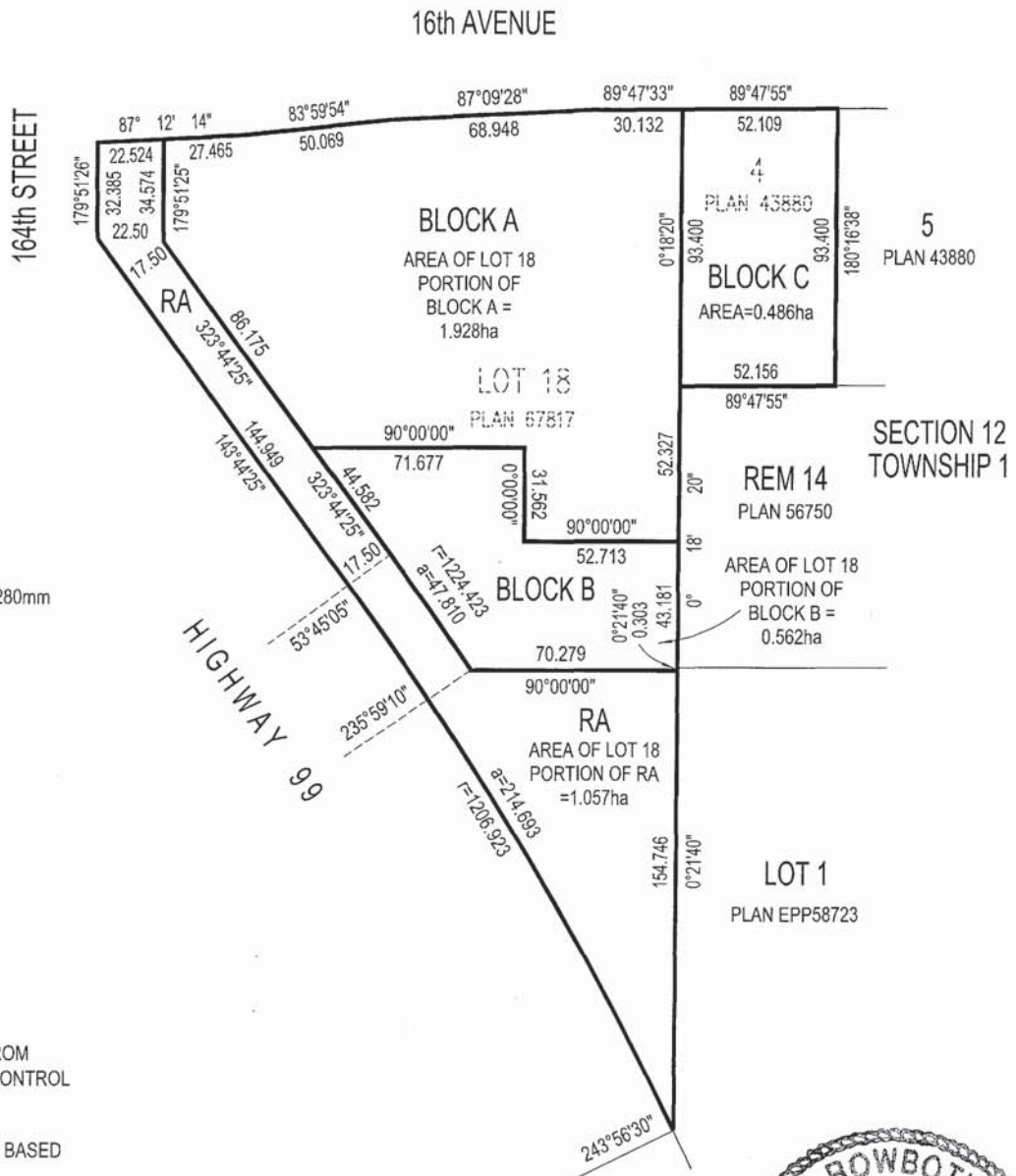
Heritage Site	NO	Tree Survey/Assessment Provided	YES
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Appendix II

PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To allow a free-standing sign height of 6.0 metres (20 ft.) on 16 Avenue.	A maximum free-standing sign height of 4.5 metres (15 ft.) is permitted on 16 Avenue (Part 5, Section 27(1)(k)).	The proposed two 6.0-metre (20-ft.) free-standing signs on 16 Avenue reflect the highway commercial interchange location and allow for tenant signage that is not permitted on the upper floors of the proposed office buildings.
2	To allow two upper floor fascia signs on each of the two office buildings.	A maximum of one upper floor fascia sign is permitted (Part 5, Section 27(2)(a.1)(ii)).	The proposed office buildings are large and will contain a number of tenants who will want identifying signage. By permitting two upper floor fascia signs per building, and larger free-standing signs on 16 Avenue, adequate tenant signage is provided.
3	To permit additional fascia signs on the same facade on Buildings E and F to allow for tenant numbering.	A maximum of one fascia sign is permitted (Part 5, Section 27(2)(a)).	The applicant is permitted to have 2 fascia signs as long as they're on different facades. Given the location of these buildings on the site, the applicant wishes to have both signs on the same façade. One of the signs is simply the unit number, reflecting the more industrial character of these 2 buildings.

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW
No. _____ OF: LOT 18, PLAN 67817 EXCEPT: PART ON PLAN
EPP33199; AND LOT 4, PLAN 43880; BOTH OF SECTION 12, TOWNSHIP
1, NEW WESTMINSTER DISTRICT**



BCGS 92G 007

The intended plot size of this plan is 280mm in width 210mm in height (A Size) when plotted at a scale of 1:2500

**SURREY FILE No.
7915-0194-00**

CIVIC ADDRESSES:

LOT 18 - 16450 16th AVENUE
LOT 4 - 16510 16th AVENUE

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN OLD CONTROL MONUMENTS 5750 AND 5751

DIMENSIONS AND BEARINGS ARE BASED ON GROUND SURVEY.

OLSEN & ASSOCIATES

BRITISH COLUMBIA LAND SURVEYORS

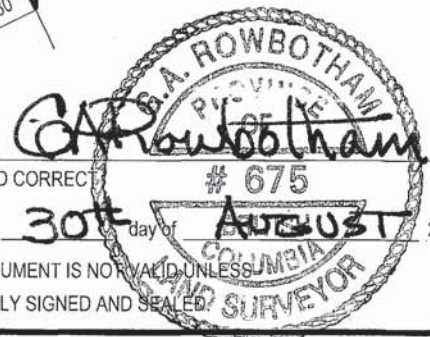
204-15585 24th AVENUE, SURREY, B.C. V4A 2J4

PHONE : 604-531-4067 Fax : 604-531-5811

email: info@olsensurveying.ca

File No 17306-REZONING-BLOCK-PLAN

THIS PLAN LIES WITHIN GREATER VANCOUVER REGIONAL DISTRICT



CERTIFIED CORRECT

Dated this 30th day of AUGUST 2016

THIS DOCUMENT IS NOT VALID UNLESS
ORIGINALLY SIGNED AND SEALED



SITE IMAGE



DRAWING LIST

SHEET	DRAWING DESCRIPTION	SCALE
ARCHITECTURAL		
A001	COVER, DRAWING LIST, PROJECT DATA	N.T.S.
A002	SURVEY	1"=500'
A003.1	CONTEXT PLAN	1"=400'
A003.2	CONTEXT PLAN	1"=100'
A004	STREET ELEVATIONS	1"=100'
A005	SITE SECTIONS	1"=100'
A006	BUILDING SETBACK	1"=400'
A007.1	CONSTRUCTION PHASING PLAN - LOWER LEVEL	1"=400'
A007.2	CONSTRUCTION PHASING PLAN - UPPER LEVEL	1"=400'
A008	FENCING PLAN	1"=400'
A101	LOWER GROUND LEVEL - FLOOR PLAN	1"=400'
A102	GROUND LEVEL - FLOOR PLAN	1"=400'
A103	2ND - 3RD LEVEL - FLOOR PLAN	1"=400'
A104	4TH LEVEL - FLOOR PLAN	1"=400'
A105	5th LEVEL - FLOOR PLAN	1"=400'
A106	ROOF LEVEL - FLOOR PLAN	1"=400'
A301	BUILDING C.B. ELEVATIONS	1/8"=1'-0"
A302	BUILDING D. ELEVATIONS	1/8"=1'-0"
A303	BUILDING E.B. ELEVATIONS	1/8"=1'-0"
A304	BUILDING F.B. ELEVATIONS	1/8"=1'-0"
A305	BUILDING G.B. ELEVATIONS	1/8"=1'-0"
A306	BUILDING H. ELEVATIONS	1/8"=1'-0"
A401	BUILDING A. 1st LEVEL PLAN	1/8"=1'-0"
A402	BUILDING A. 2nd to 3rd LEVEL PLAN	1/8"=1'-0"
A403	BUILDING A. 4th LEVEL PLAN	1/8"=1'-0"
A404	BUILDING A. 5th LEVEL PLAN	1/8"=1'-0"
A405	BUILDING A. ROOF LEVEL PLAN	1/8"=1'-0"
A501	BUILDING B. 1st LEVEL PLAN	1/8"=1'-0"
A502	BUILDING B. GROUND LEVEL PLAN	1/8"=1'-0"
A503	BUILDING B. 2nd to 4th LEVEL PLAN	1/8"=1'-0"
A504	BUILDING B. 5th LEVEL PLAN	1/8"=1'-0"
A505	BUILDING B. ROOF LEVEL PLAN	1/8"=1'-0"
A601	BUILDING C. 1st LEVEL PLAN	1/8"=1'-0"
A602	BUILDING C. GROUND LEVEL PLAN	1/8"=1'-0"
A603	BUILDING C. 2nd to 4th LEVEL PLAN	1/8"=1'-0"
A604	BUILDING C. 5th LEVEL PLAN	1/8"=1'-0"
A605	BUILDING C. ROOF LEVEL PLAN	1/8"=1'-0"
A701	BUILDING D. GROUND LEVEL PLAN	1/8"=1'-0"
A702	BUILDING D. 1st LEVEL PLAN	1/8"=1'-0"
A703	BUILDING D. 2nd to 4th LEVEL PLAN	1/8"=1'-0"
A704	BUILDING D. 5th LEVEL PLAN	1/8"=1'-0"
A705	BUILDING D. ROOF LEVEL PLAN	1/8"=1'-0"
A801	BUILDING E. GROUND LEVEL PLAN	1/8"=1'-0"
A802	BUILDING E. 1st LEVEL PLAN	1/8"=1'-0"
A803	BUILDING E. 2nd to 4th LEVEL PLAN	1/8"=1'-0"
A804	BUILDING E. 5th LEVEL PLAN	1/8"=1'-0"
A805	BUILDING E. ROOF LEVEL PLAN	1/8"=1'-0"
A901	BUILDING F. GROUND LEVEL PLAN	1/8"=1'-0"
A902	BUILDING F. 1st LEVEL PLAN	1/8"=1'-0"
A903	BUILDING F. 2nd to 4th LEVEL PLAN	1/8"=1'-0"
A904	BUILDING F. 5th LEVEL PLAN	1/8"=1'-0"
A905	BUILDING F. ROOF LEVEL PLAN	1/8"=1'-0"
A1001	BUILDING G. GROUND LEVEL PLAN	1/8"=1'-0"
A1002	BUILDING G. 1st LEVEL PLAN	1/8"=1'-0"
A1003	BUILDING G. 2nd to 4th LEVEL PLAN	1/8"=1'-0"
A1004	BUILDING G. 5th LEVEL PLAN	1/8"=1'-0"
A1005	BUILDING G. ROOF LEVEL PLAN	1/8"=1'-0"
A1101	BUILDING H. GROUND LEVEL PLAN	1/8"=1'-0"
A1102	BUILDING H. 1st LEVEL PLAN	1/8"=1'-0"
A1103	BUILDING H. 2nd to 4th LEVEL PLAN	1/8"=1'-0"
A1104	BUILDING H. 5th LEVEL PLAN	1/8"=1'-0"
A1105	BUILDING H. ROOF LEVEL PLAN	1/8"=1'-0"

BUILDING CODE SUMMARY

GOVERNING CODE:	DIV. 8, PART 3 - BC BUILDING CODE 2012
BUILDING AREA:	SEE SITE INFO ABOVE
DESCRIPTION:	MIXED USE OFFICE & RETAIL / COMMERCIAL
MAJOR OCCUPANCIES:	GROUP D, GROUP E
NUMBER OF STOREYS:	6 ABOVE GRADE

DEVELOPMENT DATA SHEET

CIVIC ADDRESS:
16450 18th Ave, 16510 18th Ave, SURREY, BC

LEGAL ADDRESS:
34602 29th Ave
Lot 16, Section 11, Township 1, New Westminster District Plan 67827 Concept Plan 0733339
35233 29th Ave
Lot 4, Section 11, Township 1, New Westminster District Plan 6386

DATE:
2016, JUNE 06

DP NUMBER:

ZONE:
CD based on CS

REQUIRED DEVELOPMENT DATA	MINIMUM REQUIRED OR MAXIMUM ALLOWED	PROPOSED
LOT A (IN SQUARE METERS)		
LOT AREA		CD based on CS (7)
PROPOSED EXISTING ZONING		17,011.6 SQ.M. (413,111.0 SQ.FT.)
NET SITE AREA		4,330.3 SQ.M. (100,303.3 SQ.FT.)
BUILDING FOOTPRINT		28.4 %
TOTAL SITE COVERAGE	30%	28.4 %
BUILDING HEIGHT	12m	29.3 m / 8 stories
FLOOR AREA		
RETAIL (CATEGORY 1)		898.6 SQ.M. (19,329.2 SQ.FT.)
RETAIL (CATEGORY 2)		803.3 SQ.M. (17,486.2 SQ.FT.)
OFFICE		13,866.8 SQ.M. (301,253.9 SQ.FT.)
TOTAL		15,578.7 SQ.M. (337,689.3 SQ.FT.)
FAR (GROSS)	0.8	0.91
LOT B (IN SQUARE METERS)		
LOT AREA		CD based on CS
PROPOSED EXISTING ZONING		5,185.6 SQ.M. (116,817.4 SQ.FT.)
NET SITE AREA		1,896.2 SQ.M. (42,308.0 SQ.FT.)
BUILDING FOOTPRINT		20.1 %
TOTAL SITE COVERAGE	30%	20.1 %
BUILDING HEIGHT	12m	7.8 m / 1 story
FLOOR AREA		
RETAIL (CATEGORY 2)		3,088.3 SQ.M. (67,245.0 SQ.FT.)
OFFICE		3,088.3 SQ.M. (67,245.0 SQ.FT.)
TOTAL		3,088.3 SQ.M. (67,245.0 SQ.FT.)
FAR (GROSS)	0.8	0.80
LOT C (IN SQUARE METERS)		
LOT AREA		CD based on CS
PROPOSED EXISTING ZONING		3,823.3 SQ.M. (87,040.0 SQ.FT.)
NET SITE AREA		837.7 SQ.M. (18,719.0 SQ.FT.)
BUILDING FOOTPRINT		23.4 %
TOTAL SITE COVERAGE	30%	23.4 %
BUILDING HEIGHT	12m	10.2 m / 3 stories
FLOOR AREA		
RETAIL (CATEGORY 2)		837.7 SQ.M. (18,719.0 SQ.FT.)
OFFICE		837.7 SQ.M. (18,719.0 SQ.FT.)
TOTAL		837.7 SQ.M. (18,719.0 SQ.FT.)
FAR (GROSS)	0.8	0.28
TOTAL LOT AREA		
		25,720.3 SQ.M. (576,892 SQ.FT.)
TOTAL BUILDING FLOOR AREA		
		19,308.9 SQ.M. (420,399.9 SQ.FT.)
FAR		
		0.76

SETBACKS	FRONT (N, E, S, W) (M)	REAR (N, E, S, W) (M)	SIDE (N, E, S, W) (M)	SIDE (N, E, S, W) (M)	SIDE (N, E, S, W) (M)
LOT A	7.9m	2.97m (N)	7.9m	18.85m (E)	7.9m
LOT B	7.9m	17.85m (E)	7.9m	2.89m (S)	7.9m
LOT C	7.9m	8.97m (N)	7.9m	12.71m (S)	7.9m

PARKING (NUMBER OF STALLS)	TOTAL PARKING STALLS		REGULAR STALLS		SMALL STALLS		DISABLED STALLS	
	REQUIRED	PROPOSED	REQUIRED	PROPOSED	REQUIRED	PROPOSED	REQUIRED	PROPOSED
LOT A	390	490	429	91.3	93	3.7	9	0
LOT B	30	46	41	14.4	22	0.6	3	0
LOT C	27	28	27	8.8	-	0.3	1	0
TOTAL PARKING	519	564	497	112.5	75	4.6	12	0

BIKE (NUMBER OF STALLS)	TOTAL BIKE STALLS	
	REQUIRED	PROPOSED
LOT A	8.8	-
LOT B	1.5	-
LOT C	0.5	-
TOTAL BIKE	10.8	-

IMAGES



MCM

Musson Cattell Mackey Partnership

Architects Designers Planners
1600 - Two Bentall Centre
555 Burrard Street, Box 264
Vancouver, British Columbia
Canada V7X 1M9
T. 604.682.2990
F. 604.682.1277
MCMFArchitecture.com

- 6 3 AUG, 2016 ISSUED FOR ADP
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- 2 2 JUL, 2015 GENERAL UPDATES
- 1 5 JUN, 2015 ISSUED FOR OP

Revisions: YYYY-MM-DD

South Surrey Centre

Project

COVER

Drawing

Scale

Project 212034

Sheet **A001**

SOUTH SURREY CENTRE

DEVELOPER
ELKAY DEVELOPMENTS LTD.
407 - 2626 CROYDON DRIVE
SURREY
BRITISH COLUMBIA
CANADA V5S 0S8
ELKAYDEVELOPMENTS.COM

ARCHITECT
MUSSON CATTELL MACKAY PARTNERSHIP
ARCHITECTS DESIGNERS PLANNERS
1600 - TWO BENTALL CENTRE
555 BURRARD STREET, BOX 264
VANCOUVER
BRITISH COLUMBIA
CANADA V7X 1M9
MCMFARCHITECTS.COM

LANDSCAPE ARCHITECT
VAN DER ZALM + ASSOCIATES
SUITE 1, 20177 - 97 AVENUE,
LANGLEY
BRITISH COLUMBIA
V3M 4B9
PHONE: 604-882-0024
FAX: 604-882-0042
info@vdz.ca

CIVIL ENGINEER
WSP Canada Inc.
300 - 65 RICHMOND STREET
NEW WESTMINSTER
BRITISH COLUMBIA
V3L 5P5
PHONE: 604-525-4651

TRAFFIC CONSULTANT
BUNT & ASSOCIATES LTD.
SUITE 1550,
1050 WEST PENDER STREET,
VANCOUVER, BC V6E 3S7
PHONE: 604-685-6427
FAX: 604-685-6579

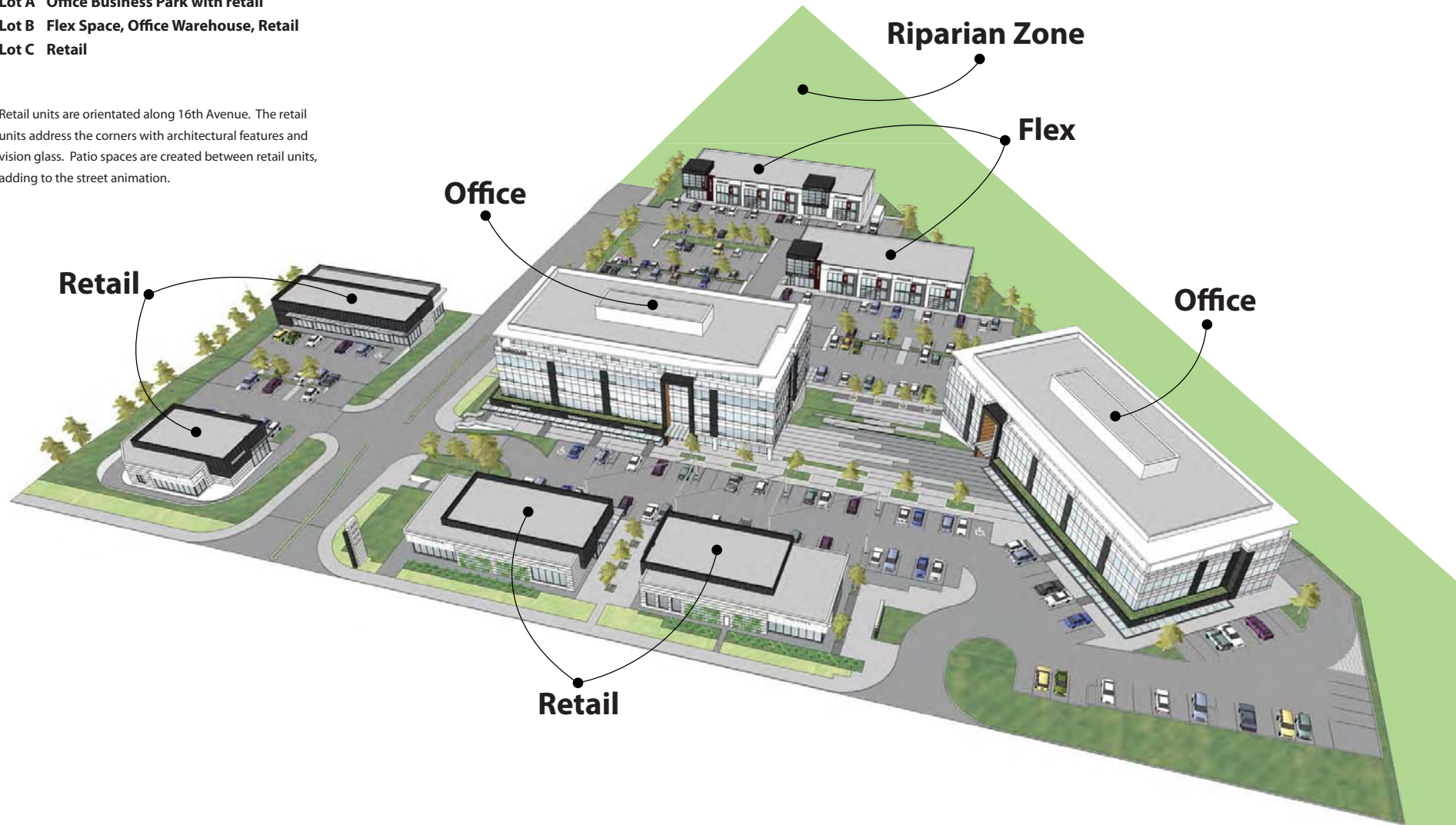
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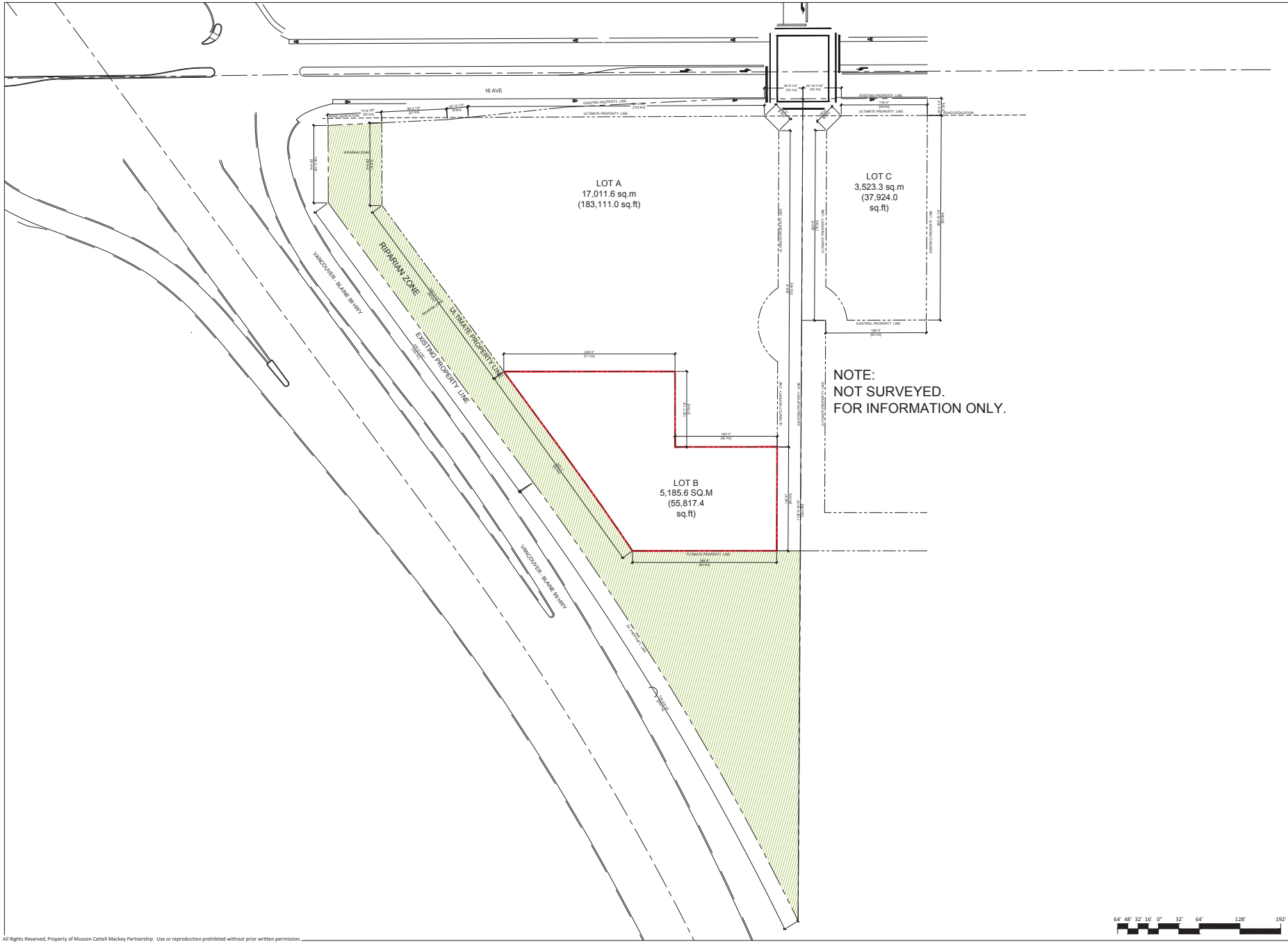
Lot A Office Business Park with retail

Lot B Flex Space, Office Warehouse, Retail

Lot C Retail

Retail units are orientated along 16th Avenue. The retail units address the corners with architectural features and vision glass. Patio spaces are created between retail units, adding to the street animation.





NOTE:
NOT SURVEYED.
FOR INFORMATION ONLY.

6	13 AUG. 2016	ISSUED FOR ADP
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2	7 JUL, 2015	GENERAL UPDATES
1	5 JUN, 2015	ISSUED FOR ADP
Revisions		YYYY-MM-DD

Seal
South Surrey Centre

Project
CONTEXT PLAN

Drawing
Scale 1/64" = 1'-0"
Project 212034

Sheet A003.1



6	3 AUG. 2016	SUBMITTED FOR ASP
5	22 JULY, 2015	GENERAL UPDATES
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2	2 JUL, 2015	GENERAL UPDATES
1	5 JUN, 2015	SUBMITTED FOR ASP
Revisions		11111 A004-01

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South Surrey Centre

Project

STREET
ELEVATIONS

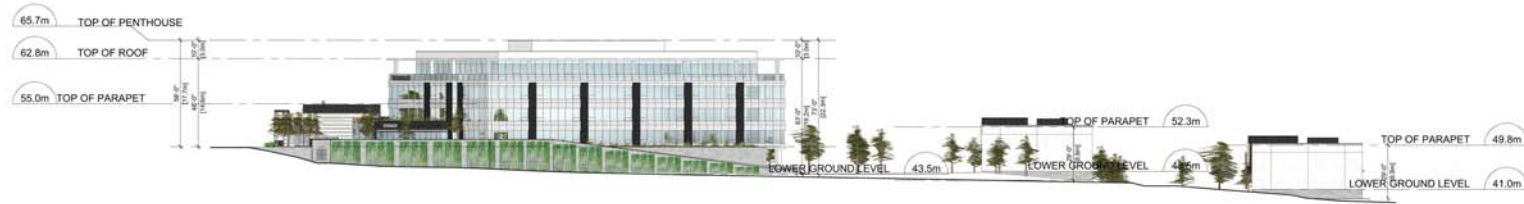
Drawing
Scale 1/32" = 1'-0"

Project 212034

Sheet A004



4 NORTH ELEVATION
A004 1/32" = 1'-0"



3 WEST ELEVATION
A004 1/32" = 1'-0"

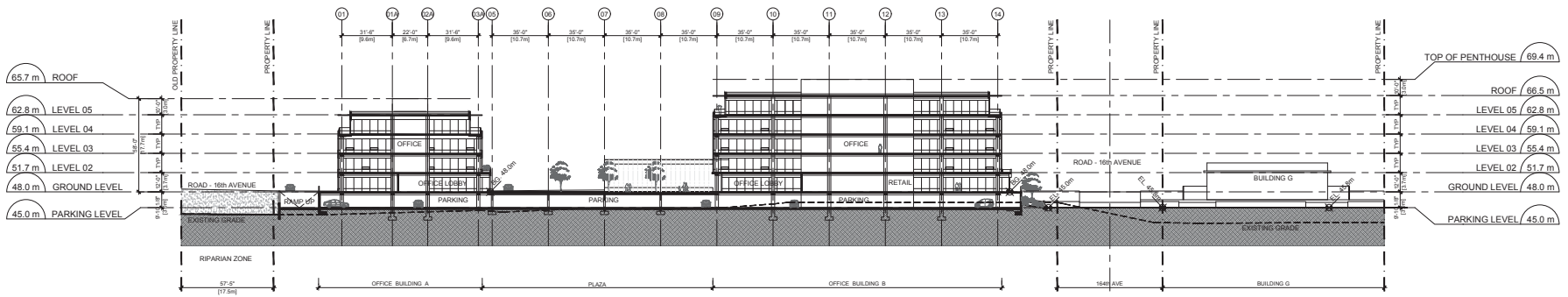


2 SOUTH ELEVATION
A004 1/32" = 1'-0"

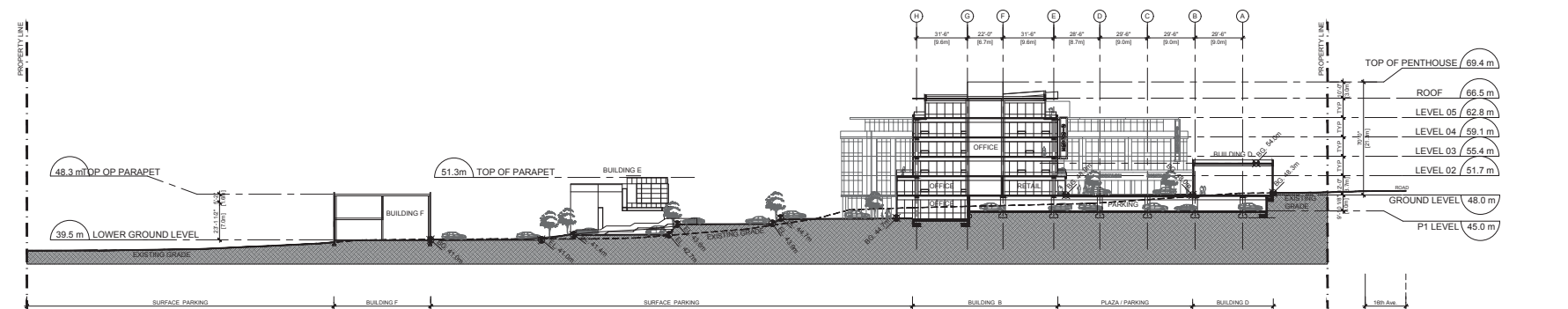


1 EAST ELEVATION
A004 1/32" = 1'-0"

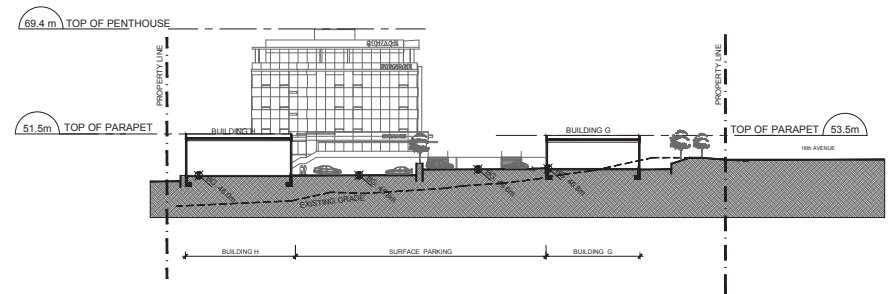




1 SITE SECTION A-A
1/32"=1'-0"



2 SITE SECTION B-B
1/32"=1'-0"



3 SITE SECTION C-C
1/32"=1'-0"

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1	15 JUN, 2015	ISSUED FOR OP

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Seal
South Surrey Centre

Project
SITE SECTIONS

Drawing
Scale 1/32" = 1'-0"
Project 212034
Sheet A005



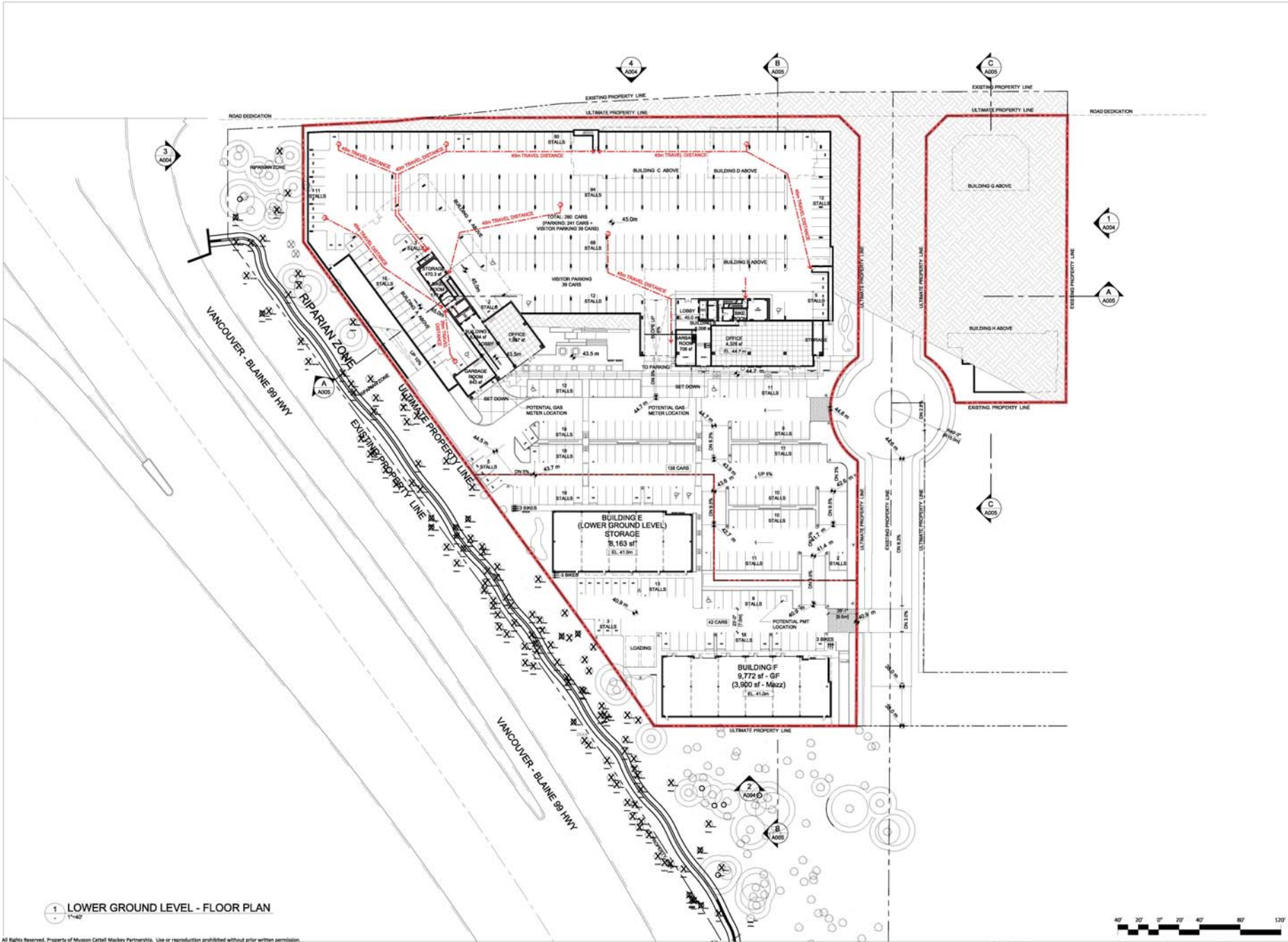


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1	5 JUN, 2015	ISSUED FOR DP
Revisions		YYYY-MM-DD

Seal
South Surrey Centre

Project
LOWER GROUND LEVEL FLOOR PLAN

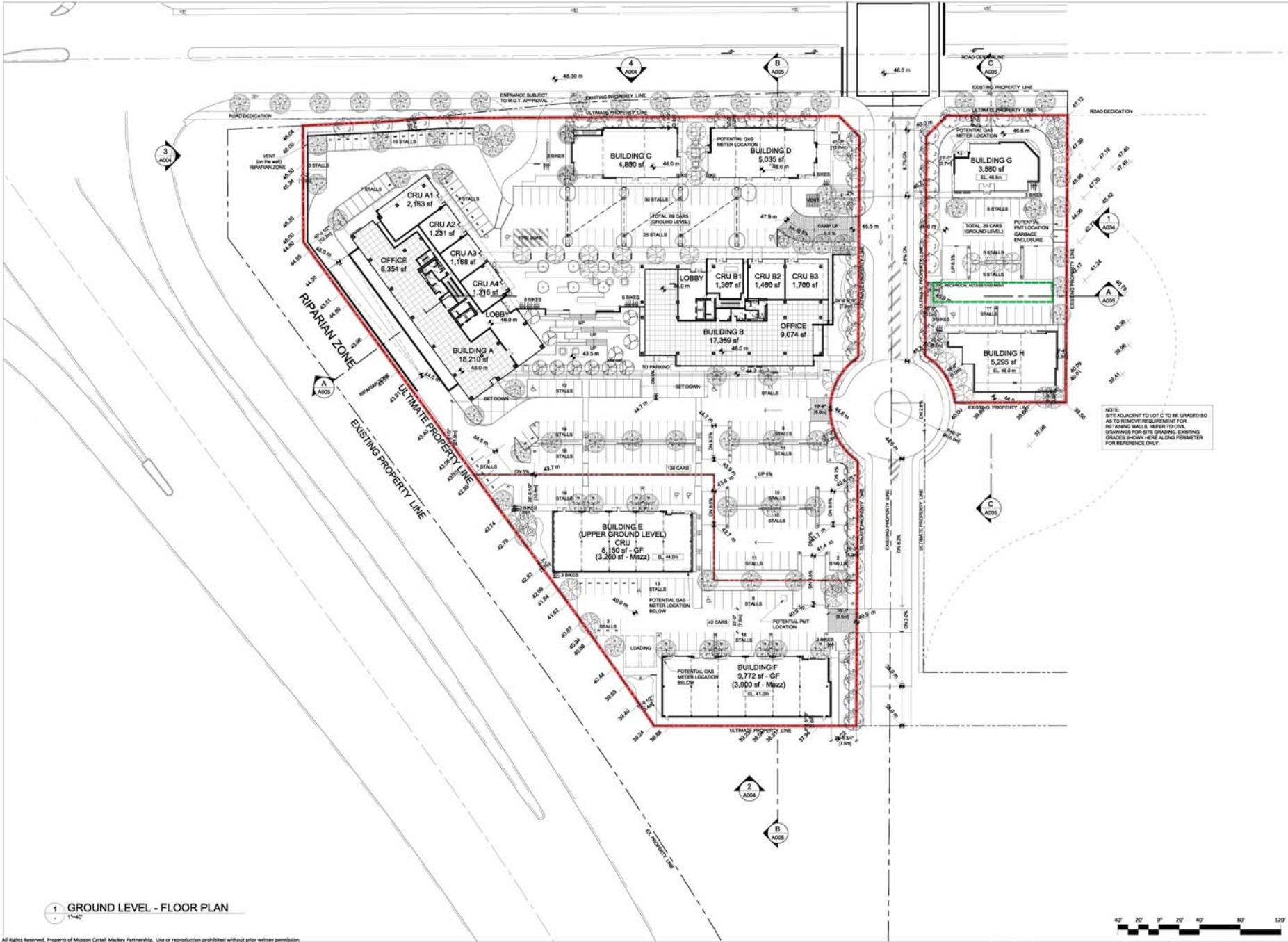
Drawing
Scale 1" = 40'
Project 211034
Sheet **A101**



1 LOWER GROUND LEVEL - FLOOR PLAN
1"=40'



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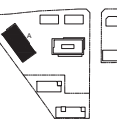
- 6 | 8 AUG. 2016 ISSUED FOR ASP
 - 5 | 22 JULY, 2016 GENERAL UPDATES
 - 4 | 8 JUNE, 2015 GENERAL UPDATES
 - 3 | 2 SEPT, 2015 GENERAL UPDATES
 - 2 | 7 JUL, 2015 GENERAL UPDATES
 - 1 | 5 JUN, 2015 ISSUED FOR DP
- Revisions: 11111 MM 00

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South Surrey Centre

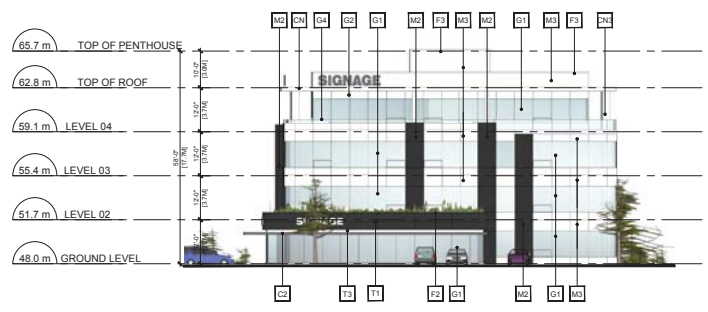
Project
GROUND LEVEL FLOOR PLAN

Drawing
Scale: 1" = 40'
Project: 2110354
Sheet: **A102**

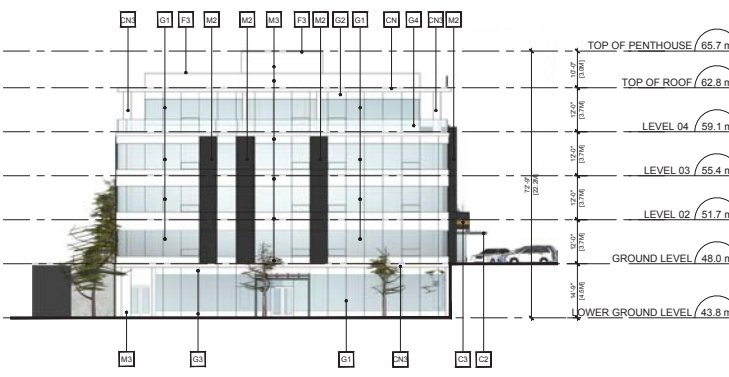




KEYPLAN



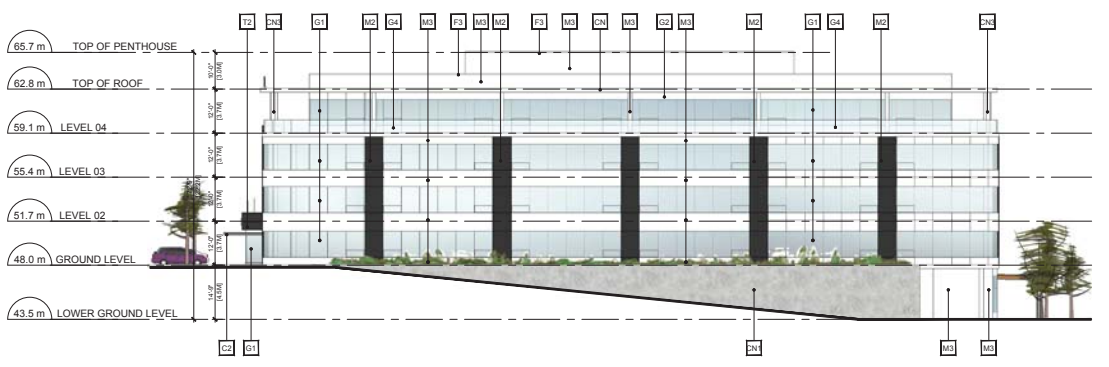
4 BUILDING A - NORTH ELEVATION
 A301 1/16" = 1'-0"



3 BUILDING A - SOUTH ELEVATION
 A301 1/16" = 1'-0"



2 BUILDING A - EAST ELEVATION
 A301 1/32" = 1'-0"



1 BUILDING A - WEST ELEVATION
 A301 1/16" = 1'-0"

MATERIAL LEGEND

- A1 - ALUMINUM LOUVER
- A2 - PARKING METAL OVERHEAD GATE
- C1 - STEEL AND SOLID ROOF CANOPY
- C2 - STEEL AND GLASS CANOPY
- C3 - STEEL W/ NON-COMBUSTIBLE WOOD FINISH AND GLASS CANOPY
- CN1 - CONCRETE FINISH
- CN2 - CONCRETE FINISH (PAINTED LIGHT GRAY)
- CN3 - CONCRETE FINISH (PAINTED WHITE)
- F1 - METAL FLASHING (30% BLACK)
- F2 - METAL FLASHING (50% BLACK)
- F3 - METAL FLASHING (WHITE)
- G1 - CLEAR GLAZING
- G2 - GLAZING - INSULATED SPANDREL PANEL (RED)
- G3 - GLAZING - INSULATED SPANDREL PANEL (50% BLACK)
- G4 - GLASS GUARDRAIL - LAMINATED CLEAR GLASS IN ANODIZED ALUMINUM FRAME
- GW - GREEN WALL
- M1 - METAL PANEL (50% BLACK)
- M2 - METAL PANEL (50% BLACK)
- M3 - METAL PANEL (WHITE)
- M4 - METAL PANEL (RED)
- T1 - PORCELAIN TILE (50% BLACK)
- T2 - PORCELAIN TILE (50% BLACK)
- T3 - PORCELAIN TILE (WHITE)
- TV - TV SCREEN
- W1 - NON-COMBUSTIBLE WOOD PANEL

Revisions

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1	5 JUN, 2015	ISSUED FOR ADP

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Seal
South Surrey Centre

Project

**BUILDING A
 ELEVATIONS**

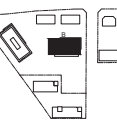
Drawing

Scale 1/32" = 1'-0"

Project 212034

Sheet **A301**

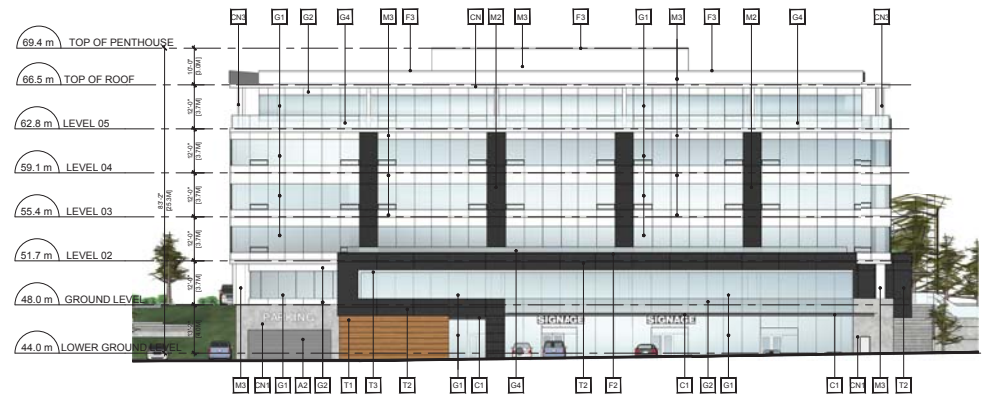




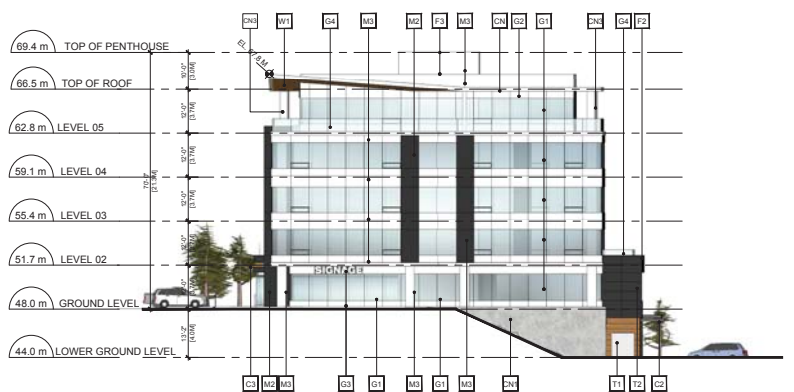
KEYPLAN



4 BUILDING B - EAST ELEVATION
 A302 1/16" = 1'-0"



3 BUILDING B - SOUTH ELEVATION
 A302 1/16" = 1'-0"



2 BUILDING B - WEST ELEVATION
 A302 1/16" = 1'-0"



1 BUILDING B - NORTH ELEVATION
 A302 1/16" = 1'-0"

MATERIAL LEGEND

- A1 - ALUMINUM CLINGER
- A2 - PARKING METAL OVERHEAD GATE
- C1 - STEEL AND SOLID ROOF CANOPY
- C2 - STEEL AND GLASS CANOPY
- C3 - STEEL w/ NON-COMBUSTIBLE WOOD FINISH AND GLASS CANOPY
- CN1 - CONCRETE FINISH (PAINTED LIGHT GRAY)
- CN2 - CONCRETE FINISH (PAINTED WHITE)
- CN3 - CONCRETE FINISH (PAINTED WHITE)
- F1 - METAL FLASHING (50% BLACK)
- F2 - METAL FLASHING (50% BLACK)
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- G3 - GLAZING - INSULATED SPANDREL PANEL (50% BLACK)
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- M1 - METAL PANEL (50% BLACK)
- M2 - METAL PANEL (50% BLACK)
- M3 - METAL PANEL (WHITE)
- M4 - METAL PANEL (RED)
- T1 - PORCELAIN TILE (50% BLACK)
- T2 - PORCELAIN TILE (50% BLACK)
- T3 - PORCELAIN TILE (WHITE)
- TV - TV SCREEN
- W1 - NON-COMBUSTIBLE WOOD PANEL

6 | 3 AUG. 2016
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 GENERAL UPDATES

4 | 8 JUNE, 2016
 GENERAL UPDATES

3 | 2 SEPT, 2015
 GENERAL UPDATES

2 | 2 JUL, 2015
 GENERAL UPDATES

1 | 15 JUN, 2015
 ISSUED FOR GP

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Seal

South Surrey Centre

Project

**BUILDING B
 ELEVATIONS**

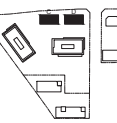
Drawing

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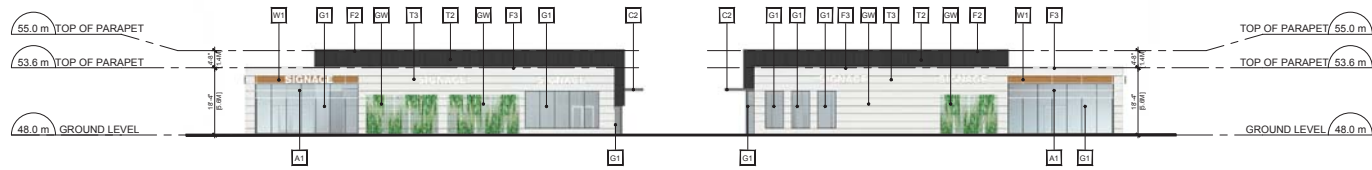
Project 212034

Sheet **A302**





KEY PLAN



8 BUILDING D - NORTH ELEVATION
A303 1/16" = 1'-0"

7 BUILDING C - NORTH ELEVATION
A303 1/16" = 1'-0"



6 BUILDING D - WEST ELEVATION
A303 1/16" = 1'-0"

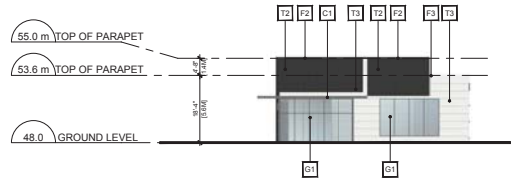


5 BUILDING D - EAST ELEVATION
A303 1/16" = 1'-0"

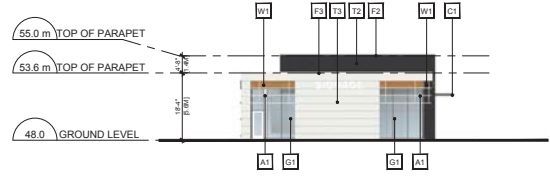


4 BUILDING C - SOUTH ELEVATION
A303 1/16" = 1'-0"

3 BUILDING D - SOUTH ELEVATION
A303 1/16" = 1'-0"



2 BUILDING C - EAST ELEVATION
A303 1/32" = 1'-0"



1 BUILDING C - WEST ELEVATION
A303 1/16" = 1'-0"

MATERIAL LEGEND

- A1 - ALUMINUM LOUVER
- A2 - PARKING METAL OVERHEAD GATE
- C1 - STEEL AND SOLID ROOF CANOPY
- C2 - STEEL AND GLASS CANOPY
- C3 - STEEL W/ NON-COMBUSTIBLE WOOD FINISH AND GLASS CANOPY
- CN1 - CONCRETE FINISH
- CN2 - CONCRETE FINISH (PAINTED LIGHT GRAY)
- CN3 - CONCRETE FINISH (PAINTED WHITE)
- F1 - METAL FLASHING (50% BLACK)
- F2 - METAL FLASHING (50% BLACK)
- F3 - METAL FLASHING (WHITE)
- G1 - CLEAR GLAZING
- G2 - GLAZING - INSULATED SPANDREL PANEL (RED)
- G3 - GLAZING - INSULATED SPANDREL PANEL (50% BLACK)
- G4 - GLASS QUADRANT - LAMINATED CLEAR GLASS IN ANODIZED ALUM. FRAME
- GW - GREEN WALL
- M1 - METAL PANEL (50% BLACK)
- M2 - METAL PANEL (50% BLACK)
- M3 - METAL PANEL (WHITE)
- M4 - METAL PANEL (RED)
- T1 - PORCELAIN TILE (50% BLACK)
- T2 - PORCELAIN TILE (50% BLACK)
- T3 - PORCELAIN TILE (WHITE)
- TV - TV SCREEN
- W1 - NON-COMBUSTIBLE WOOD PANEL

Revisions

6	13 AUG. 2016	ISSUED FOR ASP
5	22 JULY, 2016	GENERAL UPDATES
4	8 JUNE, 2016	GENERAL UPDATES
3	2 SEPT, 2015	GENERAL UPDATES
2	2 JUL, 2015	GENERAL UPDATES
1	5 JUN, 2015	ISSUED FOR ASP

Seal
South Surrey Centre

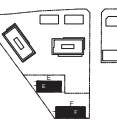
Project

BUILDING C & D ELEVATIONS

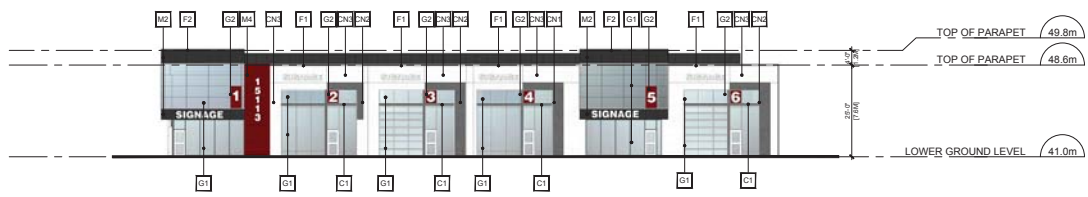
Drawing
Scale 1/32" = 1'-0"
Project 212034

Sheet **A303**

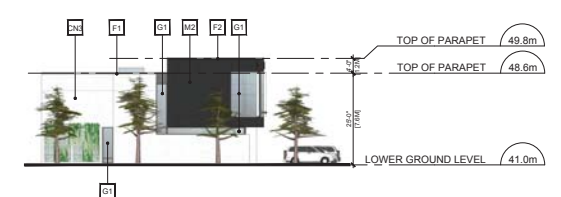




KEYPLAN



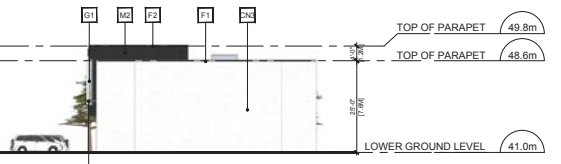
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A304 1/16" = 1'-0"



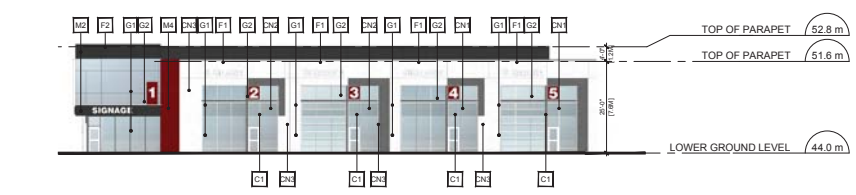
7 BUILDING F - EAST ELEVATION
A304 1/16" = 1'-0"



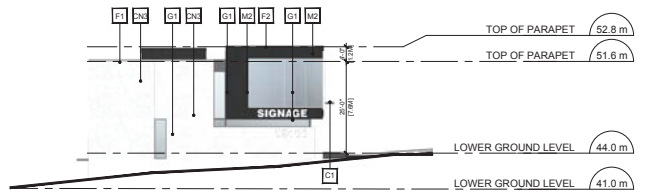
6 BUILDING F - SOUTH ELEVATION
A304 1/16" = 1'-0"



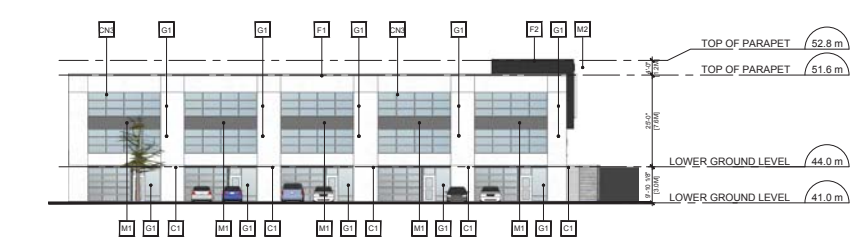
5 BUILDING F - WEST ELEVATION
A304 1/16" = 1'-0"



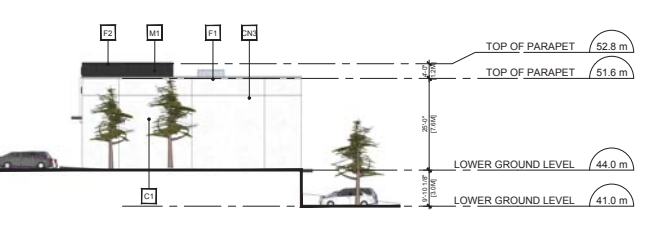
4 BUILDING E - NORTH ELEVATION
A304 1/32" = 1'-0"



3 BUILDING E - EAST ELEVATION
A304 1/32" = 1'-0"



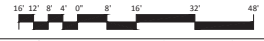
2 BUILDING E - SOUTH ELEVATION
A304 1/32" = 1'-0"



1 BUILDING E - WEST ELEVATION
A304 1/32" = 1'-0"

MATERIAL LEGEND

- A1 - ALUMINUM LOUVER
- A2 - PARKING METAL OVERHEAD GATE
- C1 - STEEL AND SOLID ROOF CANOPY
- C2 - STEEL AND GLASS CANOPY
- C3 - STEEL W/ NON-COMBUSTIBLE WOOD FINISH AND GLASS CANOPY
- CM1 - CONCRETE FINISH
- CM2 - CONCRETE FINISH (PAINTED LIGHT GRAY)
- CM3 - CONCRETE FINISH (PAINTED WHITE)
- F1 - METAL FLASHING (50% BLACK)
- F2 - METAL FLASHING (100% BLACK)
- F3 - METAL FLASHING (WHITE)
- G1 - CLEAR GLAZING
- G2 - GLAZING - INSULATED SPANDREL PANEL (RED)
- G3 - GLAZING - INSULATED SPANDREL PANEL (DIN BLACK)
- G4 - GLASS QUADRIL - LAMINATED CLEAR GLASS IN ANODIZED ALUMINUM FRAME
- GW - GREEN WALL
- M1 - METAL PANEL (50% BLACK)
- M2 - METAL PANEL (100% BLACK)
- M3 - METAL PANEL (WHITE)
- M4 - METAL PANEL (RED)
- TY - PORCELAIN TILE (50% BLACK)
- T2 - PORCELAIN TILE (50% BLACK)
- T3 - PORCELAIN TILE (WHITE)
- TV - TV SCREEN
- W1 - NON-COMBUSTIBLE WOOD PANEL



Revisions

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1	15 JUN, 2015	ISSUED FOR ADP

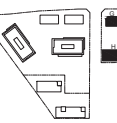
Revisions YYYV AMM-GD

Seal
South Surrey Centre

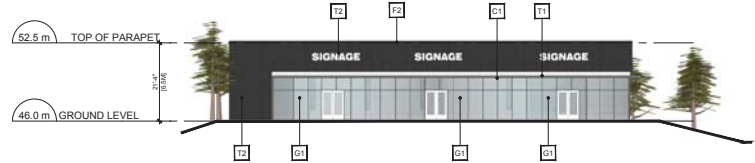
Project
BUILDING E & F ELEVATIONS

Drawing
Scale 1/32" = 1'-0"
Project 212034

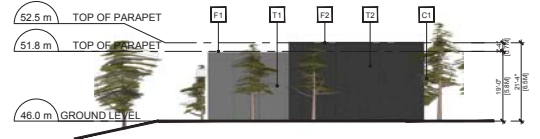
Sheet
A304



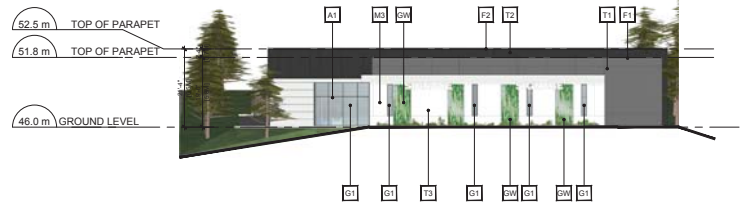
KEYPLAN



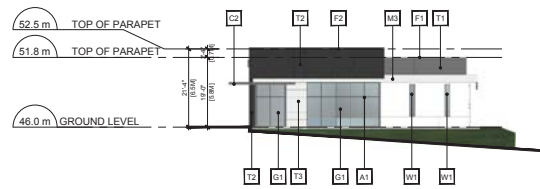
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A305 / 1/16" = 1'-0"



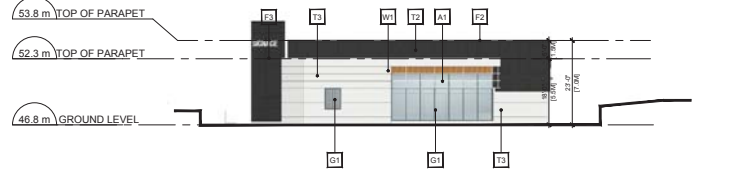
7 BUILDING H - EAST ELEVATION
A305 / 1/16" = 1'-0"



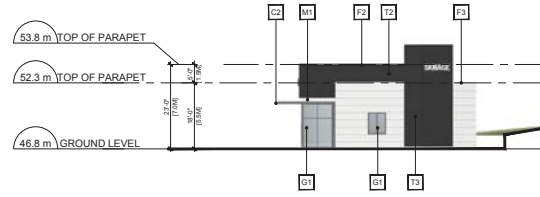
6 BUILDING H - SOUTH ELEVATION
A305 / 1/16" = 1'-0"



5 BUILDING H - WEST ELEVATION
A305 / 1/16" = 1'-0"



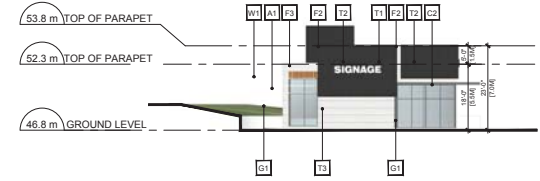
4 BUILDING G - NORTH ELEVATION
A305 / 1/16" = 1'-0"



3 BUILDING G - EAST ELEVATION
A305 / 1/16" = 1'-0"



2 BUILDING G - SOUTH ELEVATION
A305 / 1/16" = 1'-0"



1 BUILDING G - WEST ELEVATION
A305 / 1/16" = 1'-0"

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Revisions YYYV-AMM-00

Seal
South Surrey Centre

Project
BUILDING G & H ELEVATIONS

Drawing
Scale 1/16" = 1'-0"
Project 212034

Sheet A305

LANDSCAPE KEY

HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	D 7/8	CONCRETE SLAB 150mm thick in vehicular areas and 100mm thick in pedestrian areas (typ)
	D 7/8	INTEGRAL COLOURED CONCRETE REPEL, integrally coloured concrete SOLIDUM colour 'stone' or approved equal
	D 9/10	UNIT PAVERS FOR WALKWAYS- PROMENADE SERIES 'natural' coloured 3" x 12" unit pavers by ARBOL/STONE CONCRETE approved equal
	D 11/12	DARK GRANITE PAVERS FOR CENTER PLAZA- 12" x 24" granite pavers with flamed finish or approved equal for feature plaza
	D 12	LIGHT GRANITE PAVERS FOR CENTER PLAZA- 12" x 24" granite pavers with flamed finish or approved equal for feature plaza
	D 9	UNIT PAVERS FOR PARKING STALLS- 12" x 24" granite pavers with flamed finish or approved equal for feature plaza

SITE PROPERTIES

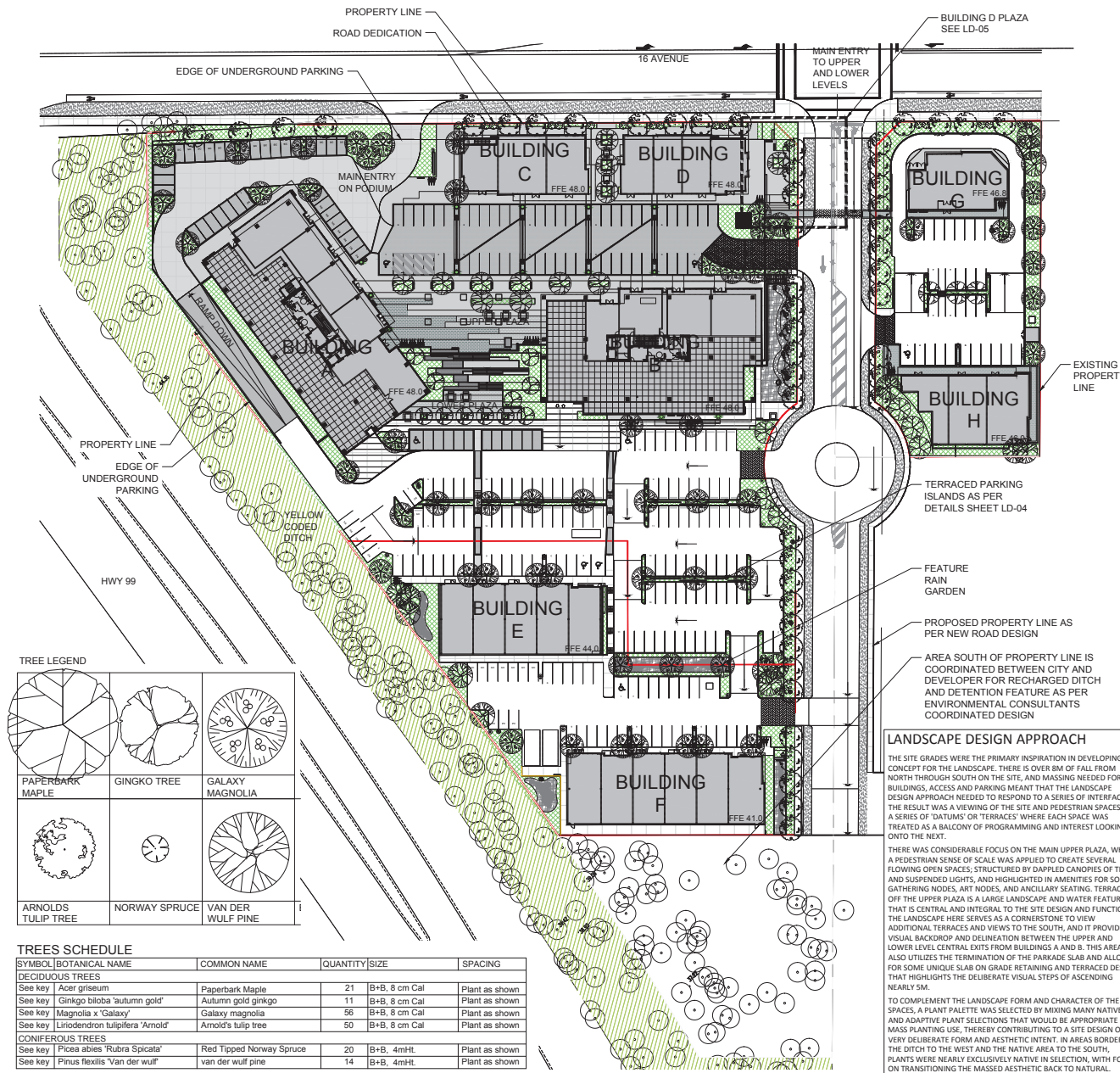
KEY	REF.	DESCRIPTION
		EXISTING PROPERTY LINE
		PROPOSED PROPERTY LINE
		SETBACK LINE
		EXTENT OF UNDERGROUND PARKING
		MATCHLINE TO SHEETS
		ROOF OVERHANG

SOFT LANDSCAPE

KEY	REF.	DESCRIPTION
	D 4	EXISTING TREE TO REMAIN. REFER TO SHEET L-003 FOR PROTECTION FENCING REQUIREMENTS
	D 1-5	PLANTING 450mm green roof, for shrubs multi-trunk, 3" all as per to landscape std.
		SOD medium growing medium substrate mix for root all as per to landscape std.
		BIO-SWALE / RAINGARDEN Refer to details for profiles of landscape, growing media, as per to landscape std.
	D 13	DRIP STRIP To be 450mm wide and provided on all apartment basins, parking buildings. Edge with a 2" x 2" 'True Edge' or approved equal, spaced at 10' o.c. (typ)

SITE FURNITURE

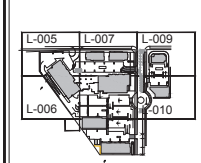
KEY	REF.	DESCRIPTION
	D 15	BIKE RACK Model #1616 Colour: unpainted Manufacturer: GYRO Supplier: Duro Mount: wall/ceiling
	D 19	BENCH Model # 35 591 Backed Size: 20" x 74" x 32" Colour: silver Manufacturer: Landscape Forms Mount: surface
	D 18	POST LIGHT Model # 6006 or approved eq. Colour: silver Manufacturer: sterneberg lighting Supplier: cooper industries Mount: vertical
	D 21	PLANTER/POT Light weight 1m high x 1m and plastic, compatible with growing medium and seasonal annuals at time of contract.
	D 22	TREE GRATE Model # 1616 Colour: stainless steel Manufacturer: dogman.com Supplier: as above
	D 20	PICNIC TABLE Model # 35 591 or approved eq. Supplier: landscape forms Mount: bolt / surface



van der Zalm + associates inc.
Urban Design + Landscape Architecture
Suite 1, 2017 97th Avenue
Langley, British Columbia
V1M 4B3
P 604 882 0204
F 604 882 0242
info@vaz.ca



SHEET KEY MAP



No.	By	Description	Date
6	AD	Re-issue for DP	July 22, 2016
5	DC	Re-issue for DP	June 29, 2016
4	AD	Re-issue for DP	Oct 20, 2015
3	MS	Re-issue for DP	Oct 9, 2015
2	JL	Issue for DP	April 21, 2015
1	JL	Issue for Review	Sept 3rd, 2014

REVISIONS TABLE FOR DRAWINGS
Copyright © 2014. This drawing and design is the property of van der Zalm + associates inc. and may not be reproduced or used for other projects without permission.

Project: Mixed Use Commercial Development
By Ekay Developments

Location: 16450 & 16510 16th Avenue
Surrey, BC

Drawn: J.L.
Stamp: J.L.

Checked: DJ

Approved: MV/DZ
Original Start Date

Scale: 1:500
CONTRACTOR SHALL CHECK ALL... ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING WITH THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.

Drawing Title: TREE PLAN AND GENERAL SITE OVERVIEW
Drawing #: L-004
VOZ Project #: DP2014-12

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **August 31, 2016** PROJECT FILE: **7815-0194-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 16450 16 Ave**

REZONING & SUBDIVISION

Property and Right-of-Way Requirements

- dedicate 6.308 m (tapering to 0.00 m) along 16 Avenue for the ultimate 37.0 m arterial road;
- dedicate 20.0 m along 165 Street for ultimate 20.0 m local road;
- dedicate 10.0-metre x 10.0-metre corner cut to accommodate traffic circle on 165 Street;
- dedicate without compensation the gazette road along 16 Avenue (southerly 10.058 meters of 16 Avenue);
- register 0.5 m statutory right-of-ways along road frontages for inspection chambers and sidewalk maintenance; and
- dedicate corner cuts at all road intersections, as required.

Works and Services

- construct south side of 16 Avenue to interim arterial standard (additional widening may be required);
- install signal infrastructure at new 165 Street intersection (interim poles may be required);
- construct 165 Street to local road standard;
- construct traffic circle on 165 Street at south end of 16510 16 Avenue to Surrey standards;
- construct temporary turnaround at south end of 165 Street;
- construct access to site, as required. Proposed access to 165 Street is acceptable, but must be restricted to right-in/right-out only. Proposal for direct access to 16 Avenue is subject to approval by MOTI;
- provide service connections and extensions in accordance with the HWY 99 Corridor LAP;
- provide on-site stormwater management features in accordance with the LAP and Fergus Creek Integrated Stormwater Management Plan (ISMP) to mitigate potential downstream impacts.
- As one of frontenders of the Fergus Sanitary Pump station and forcemain this project is not dependent on completion and acceptance of the pump station and forcemain for 4th reading.

A Servicing Agreement is required prior to Rezoning & Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Rémi Dubé, P.Eng.
Development Services Manager
M51

Table 5. Tree Preservation summary.

TREE PRESERVATION SUMMARY	
Surrey Project No:	
Address:	16450 & 16510 16 th Avenue, BC
Registered Arborist:	Andrew Connell B.Sc. ISA Certified Arborist (PN6991A) ISA Certified Tree Risk Assessor (797) Certified Landscape Technician
On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	305
Protected Trees to be Removed	305
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\frac{145}{145} \times \text{one (1)} = 145$	465
- All other Trees Requiring 2 to 1 Replacement Ratio $160 \times \text{two (2)} = 320$	
Replacement Trees Proposed	172
Replacement Trees in Deficit	293
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	177
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	8
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\frac{5}{5} \times \text{one (1)} = 5$	11
- All other Trees Requiring 2 to 1 Replacement Ratio $3 \times \text{two (2)} = 6$	
Replacement Trees Proposed	0
Replacement Trees in Deficit	11

Summary prepared and submitted by:



Arborist

September 1, 2016

Date

Present:

L. Mickelson – Chair
M. Ehman
M. Higgs
M. MacCaull
E. Mashig
D. Staples
D. Tyacke
M. Younger
M. Vance

Guests:

J. Uppal, Golden Bay Trading
P. Goodwin, GBL Architects
A. Kudic, GBL Architects
M. Chan, PMG Landscape Architects Ltd
L. Sully, Elkay Developments
V. Fernandez, Musson Cattel Mackey
Partnership
M. Van der Zalm, van der Zalm + associates Inc.

Staff Present:

M. Rondeau, Acting City Architect
C. Eagles, Administrative Assistant

B. NEW SUBMISSIONS

2. 5:45 PM

File No.:	7915-0194-00
New or Resubmit:	New
Last Submission Date:	N/A
Description:	Rezoning and DP commercial/office/industrial business park development on 2 sites with 8 buildings: <ul style="list-style-type: none">• 2 – 4-5 storey office buildings• 3 – 1 storey commercial buildings• 1 – 1 storey drive-thru restaurant• 2 – 1-2 storey office industrial buildings with 1 level of underground parking
Address:	16450/16510 – 16 Avenue; Highway 99 Corridor Local Area Plan, South Surrey
Developer:	Leigh Sully, Elkay Developments
Architect:	Vince Fernandez, Musson Cattel Mackey Partnership
Landscape Architect:	Mark Van der Zalm, van der Zalm + associates Inc.
Planner:	Keith Broersma
Urban Design Planner:	Mary Beth Rondeau/Nathan Chow

The Urban Designer presented a brief overview of the project and highlighted the following:

- The 16th Avenue area is developing similar to the 24th Avenue Grandview Corners. These are generally auto oriented commercial and business park.
- The crossing over Highway 99 was recently constructed and opens the area up.
- The subject site fits the intent of the area and address significant slope issues. Staff has worked with the development team and have no specific issues on

proposal.

The **Project Architect** presented an overview of the site plan, building plans, elevations, cross sections, and streetscapes and highlighted the following:

- The subject site is very well located and involves road dedication along 16 Avenue. The subject site has significant grading which will allow for underground parking on the northern portion of the site.
- A significant portion of the site was dedicated parkland for the Fergus Creek watershed.
- A central plaza was created between the buildings and connects to the upper and lower areas given the slope on the site.

The **Landscape Architect** presented an overview of the landscape plans and highlighted the following:

- To be sustainable, drain water will be collected and native species and natural plants that use a lower water usage will be planted. To be energy efficient, LED lighting will be used in the plaza and within the landscaping.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

Rezoning and DP commercial/office/industrial business park development on 2 sites with 8 buildings:

- **2 - 4-5 storey office buildings**
- **3 - 1 storey commercial buildings**
- **1 - 1 storey drive-thru restaurant**
- **2 - 1-2 storey office industrial buildings with 1 level of underground parking**

File No. 7915-0194-00

It was

Moved by M. Higgs

Seconded by M. Ehman

That the Advisory Design Panel (ADP)

recommends A - that the applicant address the following issues to the satisfaction of the Planning & Development Department.

Carried

STATEMENT OF REVIEW COMMENTS

In general, the Panel supported the proposal and the clean, modern approach.

Site

- Commend the resolution of the significant slope on the site.

Building Form and Character

- Building F could be more architecturally treated rather than the more

graphic approach proposed.

Our intent was to make the buildings E and F more graphic and visual given the location on the lower part of our site, and the distance from the intersection at 16th Avenue and 165 Street. We want the buildings to be graphic, so that they can be seen. The graphic nature of the elevations also provides some diversity in the building aesthetics which we feel is valuable given the number of buildings on the site.

- Consider passive solar shading etc as variation on facades.
A building envelope strategy will be developed technically to ensure a high efficiency building envelope.
- Consider the proposed location of the garbage if a restaurant will be located near the plaza area.

In past retail developments, with underground parking, when a food tenant leases a space we have provided a trash enclosure under their store within the parking garage accessed by a trash chute. Our intention would be this approach should a restaurant be located at the base of either office building, or in retail Buildings C and D.

Landscaping

- Recommend adding more trees or vegetation to add emphasis, creating the notion of a village square and buffer from the parking.
Our intent is the plaza to be visually permeable and not obscure site lines to buildings E and F, in the lower part of our site.
- Commend the quality of landscape and materials used and support the use of the extra greening on the wall fronting the highway.

CPTED

No comments specific to CPTED.

Accessibility

- It would be ideal if there were universal access from the upper plaza to the lower plaza but appreciate that the ramp would be overly long.
- Members are pleased to hear that parking for disabled stalls is increased.
- Suggest that the power doors are placed at all entrances where applicable, that the elevator button be placed horizontal, and that the restrooms be wheelchair assessable.
We will comply with this request.

Sustainability

- The Sustainability factors were brought up in the presentation and were supported.

CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)
 TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Portions of Parcel Identifier: 001-031-457
 Lot 18 Section 12 Township 1 New Westminster District Plan 67817
 Except: Plan EPP33199, as shown as Block A and Block B on Schedule A, certified correct by Gary Rowbotham, B.C.L.S. on the 30th day of August, 2016, containing 1.928 hectares and 0.562 hectare, respectively.

Portions of 16450 - 16 Avenue

Parcel Identifier: 002-149-699
 Lot 4 Section 12 Township 1 New Westminster District Plan 43880
 16510 - 16 Avenue

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of an industrial business park consisting of offices, service uses, *light impact industry*, and also the development of retail and service uses, where *density bonus* is provided. These uses shall be carried out such that no nuisance is apparent outside an enclosed *building*.

The *Lands* are divided into Blocks A, B and C as shown on the Survey Plan attached hereto and forming part of this Bylaw as Schedule A.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. Blocks A and C
 - (a) Office uses excluding *social escort services* and *methadone clinics*;
 - (b) *Accessory uses* including the following:
 - i. *Retail stores* excluding *adult entertainment stores*, *secondhand stores* and *pawnshops*;
 - ii. *Personal service uses* excluding *body rub parlours*;
 - iii. *General service uses* excluding *funeral parlours*;
 - iv. *Eating establishments*;
 - v. *Neighbourhood pubs*;
 - vi. *Liquor stores*;
 - vii. *Parking facilities*;
 - viii. *Indoor recreational facilities*;
 - ix. *Entertainment uses* excluding *arcades* and *adult entertainment stores*;
 - x. *Assembly halls* limited to *churches*, provided that:
 - a. The *church* does not exceed a *gross floor area* of 700 square metres [7,500 sq. ft.];
 - b. The *church* accommodates a maximum of 300 seats; and
 - c. There is not more than one *church* on a *lot* and where a *lot* has been subdivided by a strata plan, there shall be only one *church* within the strata plan;
 - xi. *Community services*; and
 - xii. *Child care centres*.

2. Block B

- (a) Office uses excluding *social escort services* and *methadone clinics*;
- (b) *Light impact industry*;
- (c) *Warehouse uses*;
- (d) *Distribution centres*;
- (e) *Retail stores* excluding *adult entertainment stores*, *secondhand stores* and *pawnshops*;
- (f) *Personal service uses* excluding *body rub parlours*;
- (g) *General service uses* excluding funeral parlours;
- (h) *Eating establishments*;
- (i) *Parking facilities*;
- (j) *Indoor recreational facilities*;
- (k) *Entertainment uses* excluding *arcades* and *adult entertainment stores*;
- (l) *Assembly halls* limited to *churches*, provided that:
 - a. The *church* does not exceed a *gross floor area* of 700 square metres [7,500 sq. ft.];
 - b. The *church* accommodates a maximum of 300 seats; and
 - c. There is not more than one *church* on a *lot* and where a *lot* has been subdivided by a strata plan, there shall be only one *church* within the strata plan;
- (m) *Community services*; and
- (n) *Child care centres*.

C. Lot Area

Not applicable to this Zone.

D. Density

- 1. Block A: The *floor area ratio* shall not exceed 0.92.
- 2. Block B: The *floor area ratio* shall not exceed 0.61.

3. Block C: The *floor area ratio* shall not exceed 0.26.

E. Lot Coverage

1. Block A: The *lot coverage* shall not exceed 27%.
2. Block B: The *lot coverage* shall not exceed 34%.
3. Block C: The *lot coverage* shall not exceed 26%.

F. Yards and Setbacks

Buildings and structures shall be sited in accordance with the following minimum *setbacks*, and measurements are determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended:

1. Block A
 - (a) *Front Yard* (24 Avenue): 2.9 metres [10 ft.];
 - (b) *Side Yard on Flanking Street* (165 Street): 8.5 metres [28 ft.];
 - (c) *Side Yard* (West): 12.0 metres [39 ft.]; and
 - (d) *Rear Yard* (South): 20.0 metres [66 ft.].
2. Block B
 - (a) *Side Yard* (North): 10.0 metres [33 ft.];
 - (b) *Front Yard* (165 Street): 7.0 metres [23 ft.];
 - (c) *Rear Yard* (Highway No. 99): 1.7 metres [6 ft.]; and
 - (d) *Side Yard* (South): 2.6 metres [9 ft.].
3. Block C
 - (a) *Front Yard* (24 Avenue): 7.5 metres [25 ft.];
 - (b) *Side Yard* (East): 2.6 metres [9 ft.];
 - (c) *Side Yard on Flanking Street* (165 Street): 6.0 metres [20 ft.]; and
 - (d) *Rear Yard* (South): 2.9 metres [10 ft.].

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. Principal buildings:
 - (a) Block A: The *building height* shall not exceed 26.0 metres [85 ft.];
 - (b) Block B: The *building height* shall not exceed 8.0 metres [26 ft.]; and
 - (c) Block C: The *building height* shall not exceed 11.0 metres [36 ft.].
2. Accessory buildings and structures:

The *building height* shall not exceed 4.5 metres [15 ft.].

H. Off-Street Parking

1. *Parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. *Tandem parking* may be permitted for company fleet vehicles.
3. Surface parking shall be limited to a maximum of 3.0 *parking spaces* for every 100 square metres of *gross floor area* excluding the *gross floor area* used or intended to be used for *parking facilities* on the *lot*. Any *parking spaces* over this limit may be provided below *buildings*, in *parking structures*, or on roof tops.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings*, *structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping* screen, a solid decorative fence, or a combination thereof.

J. Special Regulations

1. *Child care centres* shall be located on the *lot* such that these centres have direct access to an *open space* and play area within the *lot*.

2. Land and *structures* shall be used for the purposes permitted in this Zone only if such uses:
 - (a) Constitute no unusual fire, explosion or safety hazard;
 - (b) Do not emit noise in excess of 70 dB measured at any point on any boundary of the *lot* on which the use is located, provided that where a *lot* abuts a *lot* other than an *industrial lot* the noise level shall not exceed 60 dB; and
 - (c) Do not produce heat or glare perceptible from any boundary of the *lot* on which the use is located.
3. Outdoor storage of any goods, materials or supplies is specifically prohibited.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
4,000 sq. m. [1 acre]	30 metres [100 ft.]	30 metres [100 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the C-8 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2016, No. 18664, as may be amended or replaced from time to time, and the development cost charges shall be based on All Commercial Zones and Land Uses located within the Highway 99 Corridor.
9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.
11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002, c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.
12. Provincial licensing of *neighbourhood pubs* is regulated by the Liquor Control and Licensing Act, R.S.B.C. 1996, c. 267, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20 .

PASSED SECOND READING on the _____ th day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20 .

PASSED THIRD READING on the _____ th day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

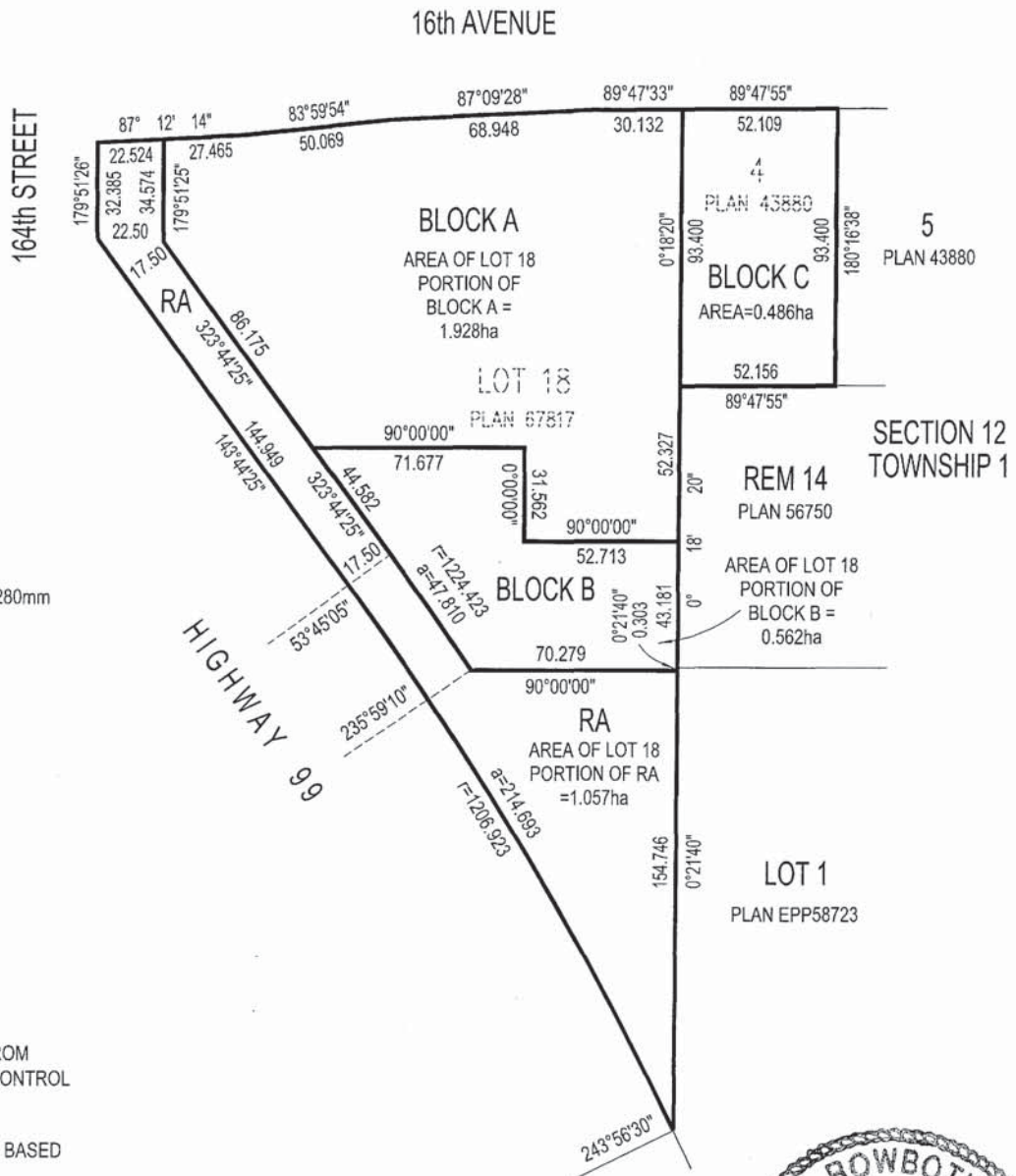
_____ MAYOR

_____ CLERK

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**SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW
No. _____ OF: LOT 18, PLAN 67817 EXCEPT: PART ON PLAN
EPP33199; AND LOT 4, PLAN 43880; BOTH OF SECTION 12, TOWNSHIP
1, NEW WESTMINSTER DISTRICT**



BCGS 92G 007

The intended plot size of this plan is 280mm
in width 210mm in height (A Size)
when plotted at a scale of 1:2500

SURREY FILE No.
7915-0194-00

CIVIC ADDRESSES:

- LOT 18 - 16450 16th AVENUE
- LOT 4 - 16510 16th AVENUE

GRID BEARINGS ARE DERIVED FROM
OBSERVATIONS BETWEEN OLD CONTROL
MONUMENTS 5750 AND 5751

DIMENSIONS AND BEARINGS ARE BASED
ON GROUND SURVEY.

OLSEN & ASSOCIATES

BRITISH COLUMBIA LAND SURVEYORS

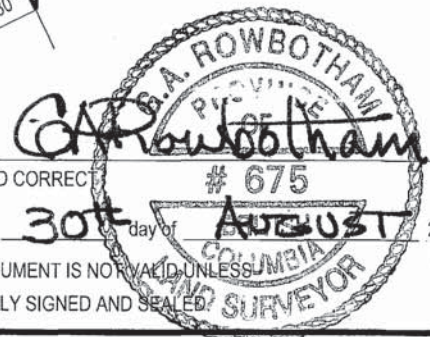
204-15585 24th AVENUE, SURREY, B.C. V4A 2J4

PHONE : 604-531-4067 Fax : 604-531-5811

email: info@olsensurveying.ca

File No 17306-REZONING-BLOCK-PLAN

THIS PLAN LIES WITHIN GREATER
VANCOUVER REGIONAL DISTRICT



CERTIFIED CORRECT

Dated this 30th day of August 2016

THIS DOCUMENT IS NOT VALID UNLESS
ORIGINALLY SIGNED AND SEALED

