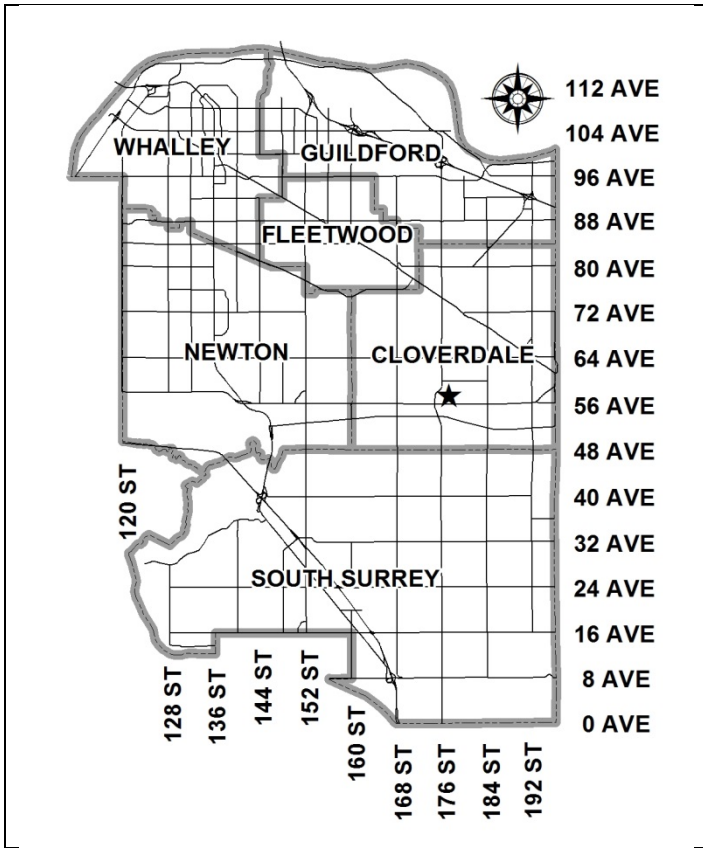


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7915-0182-00

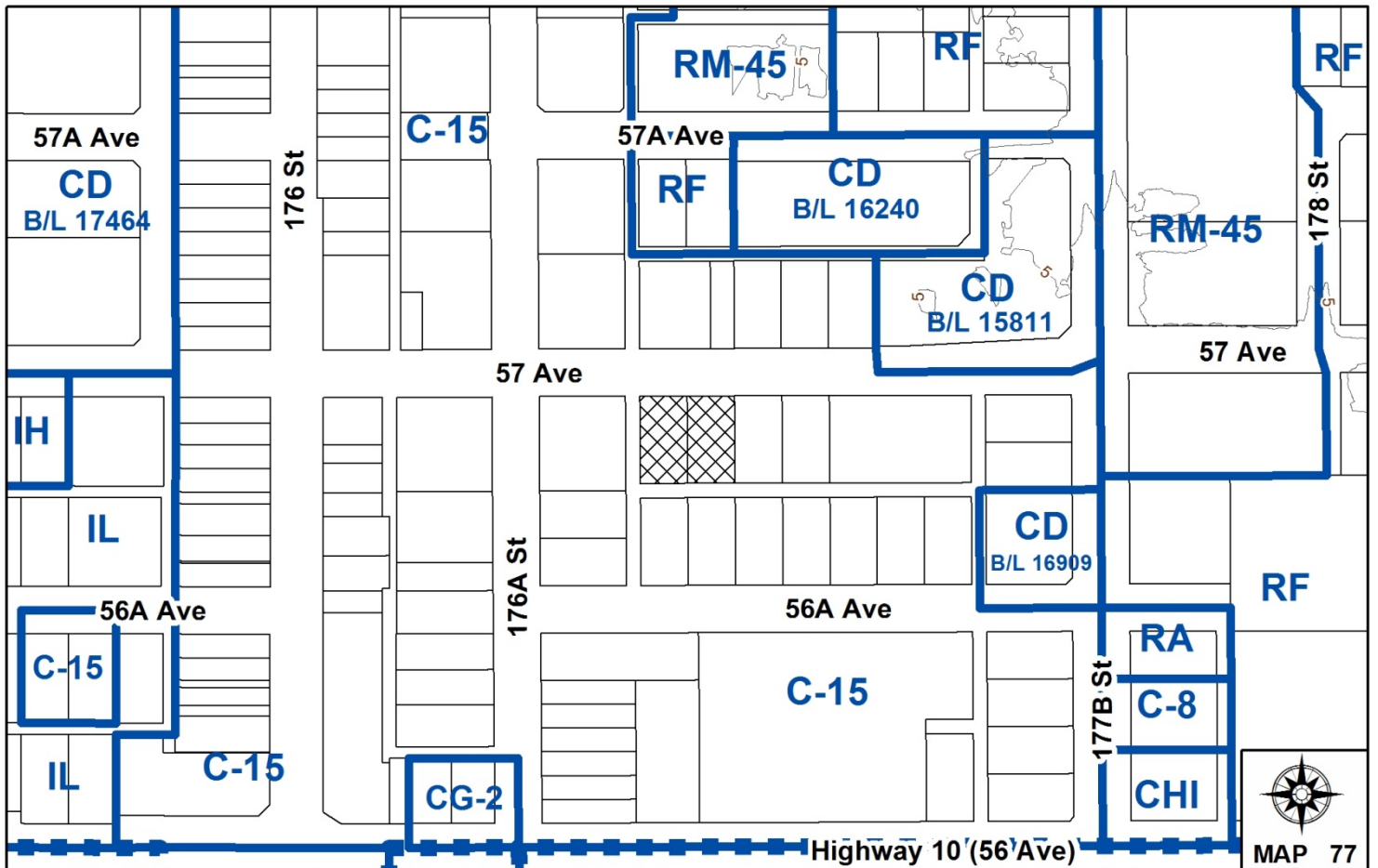
Planning Report Date: July 13, 2015



PROPOSAL:

- **Development Variance Permit**
 to vary open space and play area locational requirements, as well as building and paving requirements for a proposed child care centre.

LOCATION: 17672 - 57 Avenue and 17676 - 57 Avenue
OWNER: Irishman Enterprises Inc.
ZONING: C-15
OCP DESIGNATION: Town Centre
TCP DESIGNATION: Institutional, Parking



RECOMMENDATION SUMMARY

- Council endorse **Option A**, which is approval for the Development Variance Permit to proceed to Public Notification, without the requested relaxation to allow a gravel parking area for the proposed child care centre, and thereby requiring an asphalt, concrete or similar pavement surface for the parking area.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Requesting to vary the C-15 Zone to permit a child care centre to be located on a lot with its associated open space and play area located on the adjacent lot.
- Requesting to vary the Zoning By-law, to permit an open space and play area for a neighbouring commercial child care centre use on a lot without a building.
- Requesting to vary the Zoning By-law, to permit a parking area to be surfaced with gravel, rather than asphalt, concrete or similar pavement.

RATIONALE OF RECOMMENDATION

- Although the subject site is comprised of two separate lots, they have historically (since 1948) functioned as a singular site. The outdoor play area is proposed to be located immediately adjacent to the child care building even though it is on a different lot.
- The historic Danish Community Centre building occupies a large portion of the westerly property. There is insufficient space to provide the necessary outdoor play area and required parking on the westerly property alone.
- The proposed child care centre will revitalize a vacant building on the City's Heritage Inventory and provide needed child care spaces in the City.
- A paved parking area, with properly delineated stalls, would result in more orderly, safe and efficient parking on the site. It would also be more aesthetically pleasing, and would eliminate the impact of dust and debris on the City streets and adjacent properties. The paved parking area would also be graded and drained so as to properly dispose of surface water.
- A paved parking area would have a consistent, flat surface (i.e. no potholes) providing a more safe and comfortable walking environment for staff, parents, and children of the proposed child care centre.
- Child care centres tend to be long term ventures and the proposed child care centre will be a large commercial centre accommodating up to 48 children. As such, it is likely that the gravel parking lot would remain for some time if it is not paved as a condition of this proposal.
- Staff support the requested relaxations regarding the open space and play area location, but do not support the requested relaxation to the surfacing requirement for the associated parking lot.

RECOMMENDATION

The Planning & Development Department recommends that:

- 1.A. Council endorse **Option A**, which is to approve the Development Variance Permit No. 7915-0182-00 that is attached as Appendix III, varying the following, to proceed to Public Notification:
 - (a) to vary the C-15 Zone to permit a child care centre to be located on the westerly lot at 17672 – 57 Avenue, with its associated open space and play area located on a neighbouring lot at 17676 – 57 Avenue; and
 - (b) to vary Section B.3 of Part 4 General Provisions of the Zoning By-law to permit an open space and play area for a commercial child care centre use on the easterly lot at 17676 – 57 Avenue without a building.

OR

- 1.B. Should Council support the applicant's request to retain a gravel surface for the proposed child care centre parking lot, then Council could endorse **Option B**, which is to approve the Development Variance Permit No. 7915-0182-00, that is attached as Appendix IV, varying the following, to proceed to Public Notification:
 - (a) to vary the C-15 Zone to permit a child care centre to be located on the westerly lot at 17672 – 57 Avenue, with its associated open space and play area located on a neighbouring lot at 17676 – 57 Avenue;
 - (b) to vary Section B.3 of Part 4 General Provisions of the Zoning By-law to permit an open space and play area for a commercial child care centre use on the easterly lot at 17676 – 57 Avenue without a building; and
 - (c) to vary Section A.5(a) of Part 5 Off-Street Parking and Loading/Unloading of the Zoning By-law, to permit a parking area for a child care centre to be surfaced with gravel, rather than asphalt, concrete or similar surface.
2. Council instruct staff to resolve the following issues prior to approval:
 - (a) submission of a landscape plan and landscape cost estimate to the specifications and satisfaction of the City Landscape Architect.
 - (b) registration of a covenant / access easement and parking agreement for the outdoor play area and parking areas for the proposed child care centre.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: Existing vacant building (on the Heritage Inventory) on the westerly lot and gravel parking lot on the easterly lot.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across 57 Avenue):	Small commercial complex (including insurance broker, shoe repair, health clinic)	Town Centre	C-15
East:	Small commercial complex (including pet groomer, hair salon, print shop)	Town Centre	C-15
South (Across lane):	Parking lot and 2-storey office building	Town Centre	C-15
West (Across lane):	Single-storey law office building	Town Centre	C-15

DEVELOPMENT CONSIDERATIONSBackground

- The 1,494-square metre (0.37-acre) subject site consists of two neighbouring lots located at 17672 and 17676 – 57 Avenue in Cloverdale. Both properties are currently zoned "Town Centre Commercial Zone (C-15)", are designated "Town Centre" in the Official Community Plan (OCP), and are designated "Institutional" and "Parking", respectively, in the Cloverdale Town Centre Plan.
- The westerly property is occupied by the historic Danish Community Centre building, which was built in 1948 and is on the City's heritage inventory. Its associated gravel parking area is located on the easterly property.
- A previous development application on the subject site (File No. 7908-0165-00), proposing to rezone and consolidate the two lots in order to permit the development of a 4-storey, 22-unit apartment building, was closed in 2010 due to inactivity.

Current Proposal

- The applicant, who owns both of the lots that comprise the subject site, is proposing to locate a "CamRose Early Learning" child care centre in the existing building on the westerly lot.
- The proposed child care centre would accommodate 48 children and employ 9 staff. The centre would operate Monday-Friday, 7:00am – 6:00pm, and would be closed on weekends and statutory holidays.

- The Zoning By-law requires a minimum of 18 parking spaces for the proposed child care centre. This is based on the required 9 full-time employees for 48 children in care. The applicant's architect has demonstrated that 18 delineated parking stalls, with a drive-aisle, can be accommodated on the site.
- A child care centre is a permitted use in the C-15 Zone, which governs the subject site, however, two variances are required to accommodate this proposal and a third variance is requested as follows:
 1. The C-15 Zone requires that a child care centre be located on the lot such that the centre has direct access to an open space and play area within the same lot. The applicant is proposing to locate the child care centre in the existing building on the westerly lot (17672 – 57 Avenue) and the associated open space and play area, as well as the parking lot, on the easterly lot (17676 – 57 Avenue). Although the proposed outdoor play area directly abuts the existing building, they are located on separate lots. Therefore, the applicant is requesting to vary the requirement that the open space and play area associated with a child care centre be located on the same lot as the child care centre.
 2. Under Part 4 General Provisions of Zoning By-law No. 12000, no use on any commercially- or industrially-zoned lot shall take place unless there is a building on the lot and the building must be at least 100 square metres (1,076 sq.ft.) in size and contain washroom facilities. Since the easterly lot is proposed to be used solely for the outdoor play area and parking lot for a child care centre located on an adjacent lot, and will not have a building on it, the applicant is seeking a variance to waive this building requirement for the easterly lot.
 3. Under Part 5 Off-Street Parking and Loading/Unloading of Zoning By-law No. 12000, all commercial parking areas are to be paved with an asphalt, concrete, or similar pavement. The applicant is proposing to retain the existing gravel surface for the child care centre parking lot and is therefore seeking a variance to relax this requirement.
- Each of these requested variances is described in detail below along with the applicant's rationale and staff comments.

BY-LAW VARIANCES AND JUSTIFICATION

(a) Requested Variance:

- To vary the C-15 Zone to permit a child care centre to be located on the westerly lot at 17672 – 57 Avenue, with its associated open space and play area located on a neighbouring lot at 17676 – 57 Avenue.

Applicant's Reasons:

- Both the parking lot and the outdoor play area are required as part of the proposed child care centre.
- The applicant is the sole owner of both lots that comprise the subject site.

- The applicant does not want to consolidate the two lots into one lot.

Staff Comments:

- Although the subject site is comprised of two separate lots, they have historically (since 1948) functioned as a singular site.
- The outdoor play area will be located immediately adjacent to the child care centre building even though it is on a different lot.
- The historic Danish Community Centre building occupies a large portion of the westerly property. There is insufficient space to provide the necessary outdoor play area and required parking on the westerly property alone.
- Staff advised the applicant that the properties could be consolidated through a cancellation of interior lot line application through the Land Title Office as both properties are under the same ownership. However, the owner is not interested in consolidating the lots.
- The proposed child care centre is an appropriate use of this heritage building and will provide needed child care spaces in the City.
- Staff support the requested variance.

(b) Requested Variance:

- To vary Section B.3 of Part 4 General Provisions of Surrey Zoning By-law No. 12000, to permit an open space and play area for a commercial child care centre use on a lot without a building, for the property at 17676 – 57 Avenue.

Applicant's Reasons:

- There is insufficient space for an outdoor play area on the lot containing the existing heritage building in which the proposed child care centre will be located.
- The applicant is the sole owner of both lots that comprise the subject site.

Staff Comments:

- The proposed outdoor play area and parking lot on the easterly lot (17675 -57 Avenue) will serve the child care centre building on the westerly lot (17672 – 57 Avenue). Although the site will remain comprised of 2 separate parcels, once completed, the properties will appear and function as one consolidated site.
- As a condition of final issuance of the Development Variance Permit (DVP), the applicant will be required to register a covenant / access easement and parking agreement for the outdoor play area and parking areas for the proposed child care centre to ensure the child care centre could continue to operate if either property is sold.

- Staff support the requested variance.

(c) Requested Variance:

- To vary Section A.5(a) of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law No. 12000, to permit a parking area to be surfaced with gravel, rather than an asphalt, concrete or similar pavement.

Applicant's Reasons:

- The existing gravel parking lot at 17676 – 57 Avenue has served the heritage building at 17672 – 57 Avenue since its construction in 1948.
- The parking lot will not be a high traffic area that will generate a substantial amount of dust. The site will mainly be accessed by employees and parents of children in the proposed child care centre.
- In accordance with the C-15 Zone, a continuous landscaping strip, 1.5 metres (4.9 ft.) wide, is proposed along the front property line outside of the driveway and pedestrian entryway.

Staff Comments:

- The Zoning By-law requires that all parking areas be surfaced with asphalt, concrete or similar pavement, so as to provide a surface that is dust free and graded and drained as to properly dispose of all surface water. The By-law also requires that the paved parking spaces be properly delineated with painted boundaries. This is a standard requirement of all parking areas within the City, with the exception of single family dwellings and duplexes, playgrounds and recreation areas, and golf courses and driving ranges.
- The Zoning By-law requires a minimum of 18 parking spaces for the proposed child care centre. This is based on the required 9 full-time employees for 48 children in care. The applicant's architect has demonstrated that 18 delineated parking stalls, with a drive-aisle, can be accommodated on the site.
- A paved parking lot, with properly delineated stalls, would result in more orderly, safe and efficient parking on the site and is more suitable for the Cloverdale Town Centre.
- A paved parking lot would also be more aesthetically pleasing, and would eliminate the impact of dust and debris on the City streets and adjacent properties. The paved parking area would also be graded and drained to properly dispose of surface water.
- A paved parking area would have a consistent, flat surface (i.e. no potholes) providing a more safe and comfortable walking environment for staff, parents, and children to and from their vehicles.
- Child care centres tend to be long term ventures and the proposed child care centre will be a large commercial centre accommodating up to 48 children. As such, it is

likely that the gravel parking lot would remain for some time if it is not paved as a condition of this proposal.

- Staff do not support the requested variance.

TWO OPTIONS FOR CONSIDERATION

- Two of the three requested variances are required to allow the proposed child care centre to operate from the subject site. The third variance, to allow a gravel parking lot, is not required for the child care centre to proceed, but is requested by the applicant and not supported by staff.
- To enable the applicant to proceed with their Building Permit application before the summer break, staff have provided 2 options for Council's consideration.
- Staff recommend that Council endorse **Option A**, which is approval for Development Variance Permit No. 7915-0182-00 that is attached as Appendix III, to proceed to Public Notification. This variance excludes the requested relaxation to allow the parking area for the proposed child care centre to be surfaced in gravel rather than asphalt, concrete or similar pavement.
- Under **Option A**, the applicant can proceed with the proposed child care centre, subject to approval of the other 2 variances, provided that they pave the parking lot in accordance with Zoning By-law No. 12000.
- However, should Council support the applicant's request to retain a gravel surface for the proposed child care centre parking lot, then Council could endorse **Option B**, which is to approve Development Variance Permit No. 7915-0182-00 that is attached as Appendix IV, which includes the requested paving relaxation, to proceed to Public Notification.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary
Appendix II.	Site Plan, Building Plans and Building Elevations
Appendix III.	Option A Development Variance Permit No. 7915-0182-00 (without paving variance)
Appendix IV.	Option B Development Variance Permit No. 7915-0182-00 (with paving variance)

original signed by Judith Robertson
 Jean Lamontagne
 General Manager
 Planning and Development

RC/da

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Appendix II

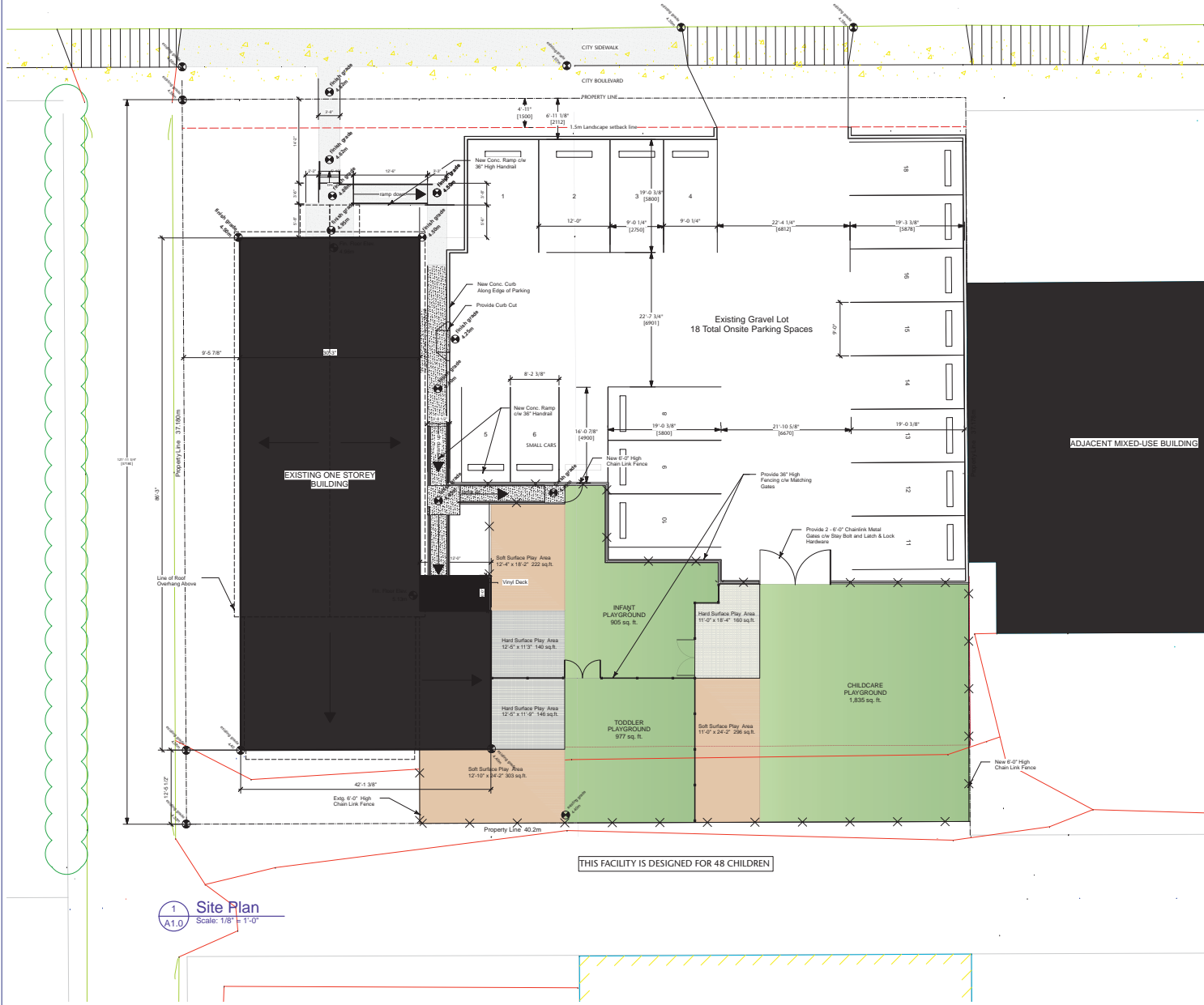


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57th Avenue



CamRose Early Learning "Little Red School House"
17672 -57th Avenue, Cloverdale, Surrey, B.C.

BCBC 2012 Code Analysis + Project Data

Building Area: 268.6 s.m.
Construction: One storey combustible on crawl space
Unsprinklered: No fire alarm
Classification: 3.2.2.28 Group A Div.2, One Storey
Faces 1 street - 400 s.m. maximum
No requirement for FRR on floor, walls or ceiling/roof

Gross Floor Area: 268.6 s.m. (2,891.2 sq.ft.)

Gross Area for Infants: 54.44 s.m. (586 sq.ft.)
Net area for Infants: 50.30 s.m. (541.4 sq.ft.)
Required area for infants: 12 x 40 sq.ft. = 480 sq.ft.
Maximum O.L. 50.34/1.2 = 41 people

Gross Area for Toddlers: 56.58 s.m. (1,117.3 sq.ft.)
Net area for Toddlers: 51.79 s.m. (557.5 sq.ft.)
Required area for Toddlers: 12 x 40 sq.ft. = 480 sq.ft.
Maximum O.L. 51.79/1.2 = 43 people

Gross Area for Child Care: 103.8 s.m. (1,117.3 sq.ft.)
Net area for Child Care: 98.43 s.m. (1,059.5 sq.ft.)
Required area for Child Care: 24 x 40 sq.ft. = 960 sq.ft.
Maximum O.L. 98.43/1.2 = 82 people

Total O.L. for Building 41+ 43+ 82 = 166 people
Posted maximum O.L. 99 children, parents and staff
Previous approved O.L. 100 people

Exits: each space is interconnected with no fire separations between spaces. There are 3 exits each @900mm each. Maximum travel distance- as shown on drawings. Exit signs are required

Limiting Distance:
North: unlimited faces street
East: unlimited faces field and parking lot
South: no openings faces 20'-0" lane
West: wall area 98.5 s.m. Ratio 7 to 1, LD to C/L Lane 5.94m
 Allowable openings: 16.76% = 16.5 s.m.
 Provided openings: 9.9 s.m.

Washroom requirements: based upon Fraser Health Requirements
 48 children require 5 stalls, including 1 enclosed accessible stall for both adult & children use. Washroom is unisex.

Outdoor Areas:

Gross Area for Infants:	905 sq.ft
Lawn for Infants:	547 sq.ft.
Soft surface for Infants:	140 sq.ft.
Gross Area for Toddlers:	977 sq.ft
Lawn for Toddlers:	528 sq.ft.
Hard surface for Toddlers:	146 sq.ft.
Soft surface for Toddlers:	303 sq.ft.
Gross Area for Child Care:	1,835 sq.ft.
Lawn for Child Care:	1,411 sq.ft.
Hard surface for Child Care:	160 sq.ft.
Soft surface for Child Care:	264 sq.ft.

1 Site Plan
Scale: 1/8" = 1'-0"



No.	Date	Record Of Revisions
1	2015.03.05	ISSUED FOR
2	2015.03.05	ISSUED FOR
3	2015.03.05	ISSUED FOR
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Project: CAMROSE EARLY LEARNING 17672 -57th Avenue Cloverdale, Surrey B.C.

Sheet Title: SITE PLAN

Job Number: 150201
 Date: 2015/03/05
 Scale: 1/8" = 1'-0"
 Revision Number: 0
 Drawing Number: A1.0



VIEW TO SOUTH WEST FROM 57TH AVENUE



VIEW TO SOUTH EAST FROM 57TH AVENUE



VIEW FROM LANEVILLE CORNER TO NORTH EAST



VIEW TO BALCONY FACING NORTH (57th AVE.)



VIEW FROM 57th AVENUE ENTRY TO SOUTH MAIN HALL



VIEW FROM SOUTH TO NORTH OF MAIN HALL



VIEW OF WEST LANE FACING NORTH (57th AVENUE)



VIEW OF MEZZANINE TOWARDS STAIRS



VIEW FROM MEZZANINE TOWARDS MAIN HALL



**DAVID EATON
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Site

No change in original plans
for the proposed project
will occur as a result of the
proposed site plan.

No development will impact
existing or proposed
neighbourhood character or
the surrounding area.

Scale:

1. Approved

2. Approved

3. Approved

4. Approved

5. Approved

6. Approved

7. Approved

8. Approved

No. Date Revised Hours

Project

CAMBROSE

EARLY LEARNING

17672 - 57th Avenue

Cherrydale, Surrey B.C.

Sheet Title

SITE PHOTOS

Job Number 130901

Date 2015/03/03

Scale 1/8" = 1'-0"

Revision Number 0

Drawing Number

A1.1



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The Architect shall be responsible for the design of the building and shall be responsible for the design of the building and shall be responsible for the design of the building.

10/1/2015

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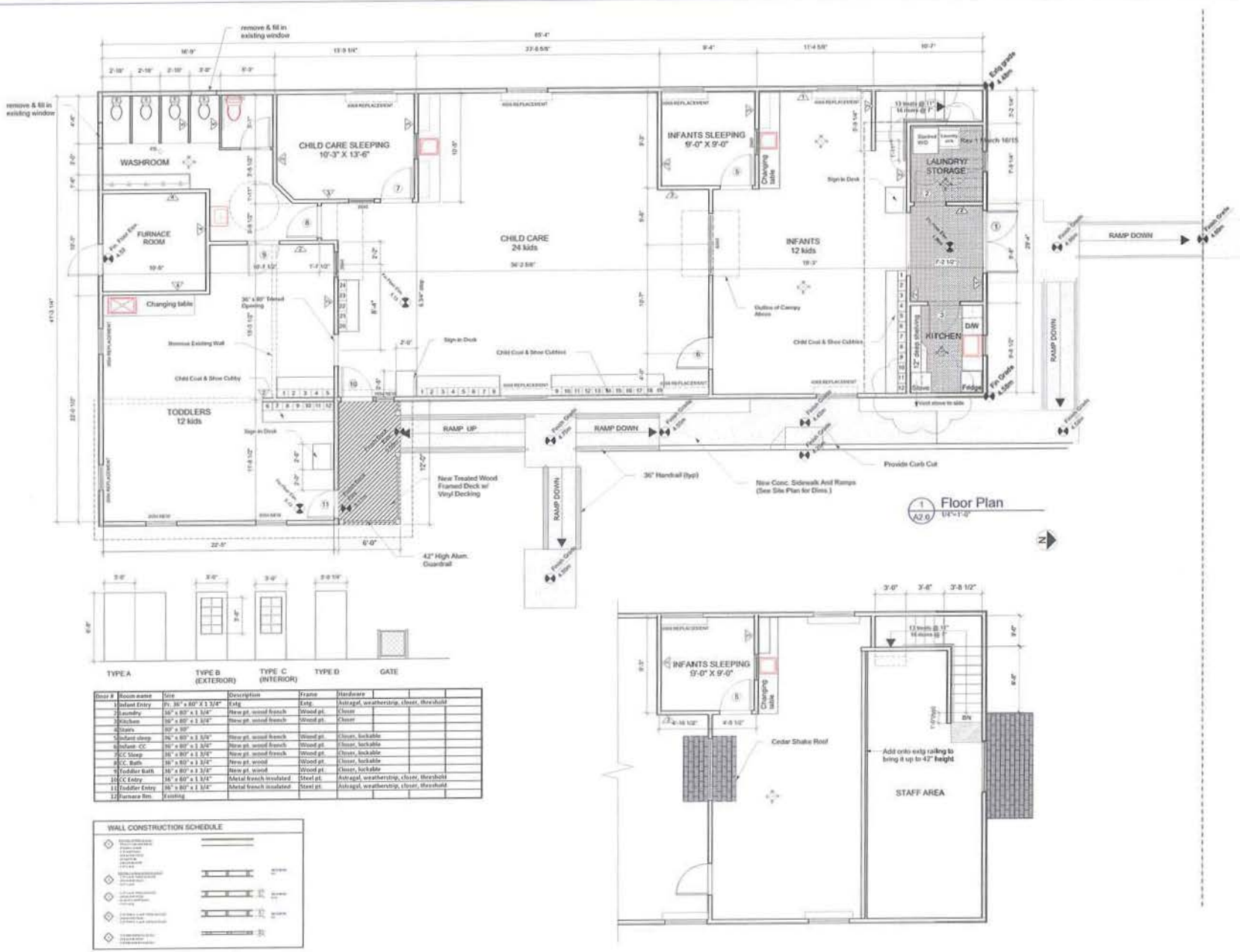
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38	10/1/2015	10/1/2015	10/1/2015
39	10/1/2015	10/1/2015	10/1/2015
40	10/1/2015	10/1/2015	10/1/2015
41	10/1/2015	10/1/2015	10/1/2015
42	10/1/2015	10/1/2015	10/1/2015
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45	10/1/2015	10/1/2015	10/1/2015
46	10/1/2015	10/1/2015	10/1/2015
47	10/1/2015	10/1/2015	10/1/2015
48	10/1/2015	10/1/2015	10/1/2015
49	10/1/2015	10/1/2015	10/1/2015
50	10/1/2015	10/1/2015	10/1/2015

PROJECT
CAMROSE
EARLY LEARNING
17822-57th Avenue
Chouhstake, Surrey B.C.

Sheet Title
FLOOR PLANS

Job Number: 150201
Date: 2015/01/05
Scale: 3/16" = 1'-0"
Revision Number: 0
Drawing Number:

A2.0



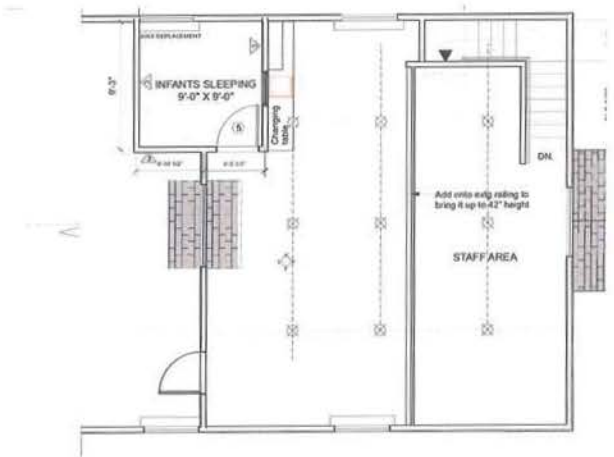
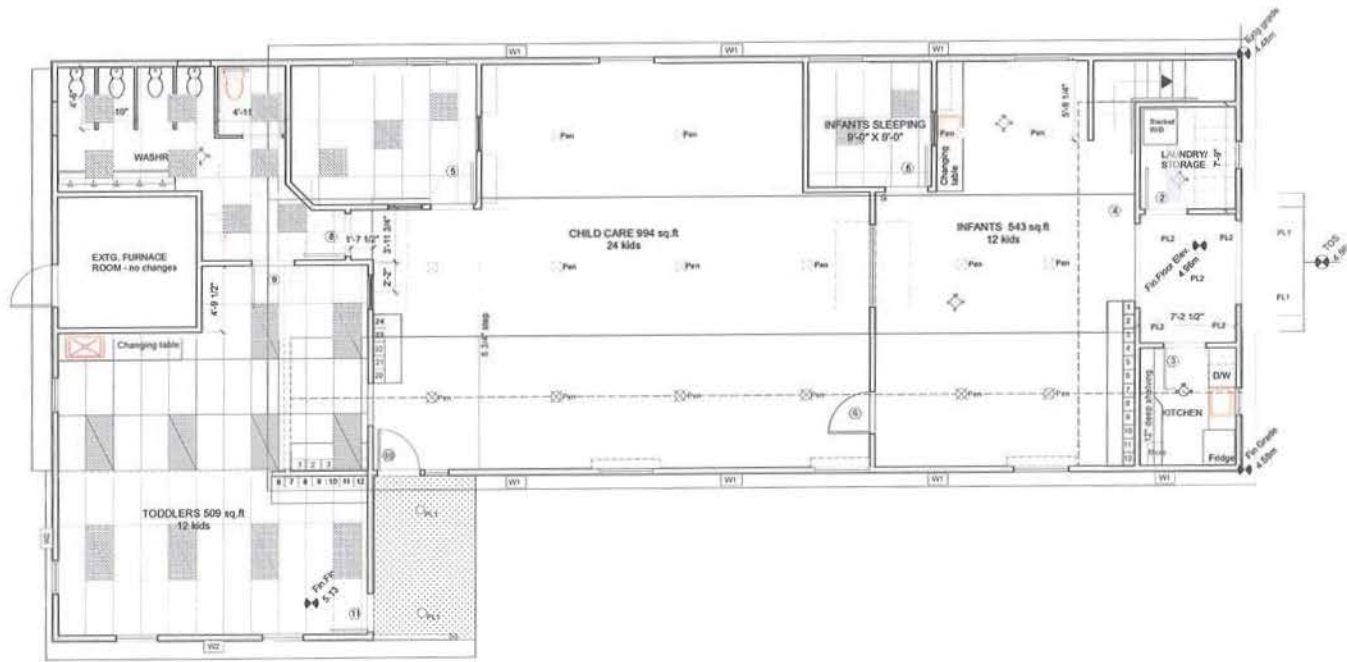
Door #	Room name	Size	Description	Frame	Hardware
1	Infant Entry	36" x 60" x 1 3/4"	Exit	Alu/gal.	weatherstrip, closer, threshold
2	Sanitary	36" x 60" x 1 3/4"	Wtr pt. wood finish	Wood pt.	Close
3	Washroom	18" x 60" x 1 3/4"	Wtr pt. wood finish	Wood pt.	Close
4	Stairs	30" x 30"			
5	Infant sleep	36" x 60" x 1 3/4"	Wtr pt. wood finish	Wood pt.	Close, lockable
6	Infant CC	36" x 60" x 1 3/4"	Wtr pt. wood finish	Wood pt.	Close, lockable
7	CC Sleep	36" x 60" x 1 3/4"	Wtr pt. wood finish	Wood pt.	Close, lockable
8	M.C. Bath	36" x 60" x 1 3/4"	Wtr pt. wood	Wood pt.	Close, lockable
9	Toddler Bath	36" x 60" x 1 3/4"	Wtr pt. wood	Wood pt.	Close, lockable
10	Toddler Entry	36" x 60" x 1 3/4"	Metal finish insulated	Steel pt.	Alu/gal, weatherstrip, closer, threshold
11	Furnace Rm	36" x 60" x 1 3/4"	Metal finish insulated	Steel pt.	Alu/gal, weatherstrip, closer, threshold
12	Furnace Rm	36" x 60" x 1 3/4"	Metal finish insulated	Steel pt.	Alu/gal, weatherstrip, closer, threshold

WALL CONSTRUCTION SCHEDULE	DESCRIPTION	NOTES
1	Exterior Wall	1/2" Gypsum Board, 1/2" Insulation, 2" CMU, 1/2" Gypsum Board, 1/2" Insulation, 1/2" Gypsum Board
2	Interior Wall	1/2" Gypsum Board, 1/2" Insulation, 1/2" Gypsum Board
3	Partition Wall	1/2" Gypsum Board, 1/2" Insulation, 1/2" Gypsum Board
4	Glazed Wall	1/2" Gypsum Board, 1/2" Insulation, 1/2" Gypsum Board, 1/2" Insulation, 1/2" Gypsum Board
5	Roof	2" CMU, 1/2" Gypsum Board, 1/2" Insulation, 1/2" Gypsum Board
6	Floor	1/2" Gypsum Board, 1/2" Insulation, 1/2" Gypsum Board
7	Stair	1/2" Gypsum Board, 1/2" Insulation, 1/2" Gypsum Board
8	Basement	1/2" Gypsum Board, 1/2" Insulation, 1/2" Gypsum Board
9	Foundation	1/2" Gypsum Board, 1/2" Insulation, 1/2" Gypsum Board
10	Foundation	1/2" Gypsum Board, 1/2" Insulation, 1/2" Gypsum Board
11	Foundation	1/2" Gypsum Board, 1/2" Insulation, 1/2" Gypsum Board
12	Foundation	1/2" Gypsum Board, 1/2" Insulation, 1/2" Gypsum Board
13	Foundation	1/2" Gypsum Board, 1/2" Insulation, 1/2" Gypsum Board
14	Foundation	1/2" Gypsum Board, 1/2" Insulation, 1/2" Gypsum Board
15	Foundation	1/2" Gypsum Board, 1/2" Insulation, 1/2" Gypsum Board
16	Foundation	1/2" Gypsum Board, 1/2" Insulation, 1/2" Gypsum Board
17	Foundation	1/2" Gypsum Board, 1/2" Insulation, 1/2" Gypsum Board
18	Foundation	1/2" Gypsum Board, 1/2" Insulation, 1/2" Gypsum Board
19	Foundation	1/2" Gypsum Board, 1/2" Insulation, 1/2" Gypsum Board
20	Foundation	1/2" Gypsum Board, 1/2" Insulation, 1/2" Gypsum Board



**DAVID EATON
ARCHITECT INC.**

449 West and Avenue
Stouffville, ON M4S 1W5
P: 416-882-4491
F: 416-882-1425



101

The design is based on the information provided by the client and is subject to change without notice. The client is responsible for providing accurate information and for obtaining all necessary permits and approvals. The architect is not responsible for the construction of the project.

102

- 103
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- 120

No.	Date	Revised/By
1	2/15/2018	DAVID EATON
2	2/15/2018	DAVID EATON
3	2/15/2018	DAVID EATON
4	2/15/2018	DAVID EATON
5	2/15/2018	DAVID EATON

Project:

**CAMROSE
EARLY LEARNING**
17672 - 57th Avenue
Clonsdale, Sunny B.C.

Sheet Title:

**REFLECTED
CEILING PLANS**

Job Number: 150901

Date: 2018/03/05

Scale: 1/8" = 1'-0"

Revision Number: 0

Drawing Number:



DAVID EATON
ARCHITECT INC

5495 West 12nd Avenue
Vancouver, BC V6S 1G3
P: 604.438.1910
F: 604.483.1429

1/11

This drawing is a contract of services and the contractor is responsible for obtaining all necessary permits and approvals. The contractor shall be advised that the architect is not responsible for the contractor's compliance with all applicable laws, codes and regulations. The contractor shall be responsible for the architect's design.

1/11

2015.03.05

2015.03.05

2015.03.05

2015.03.05

2015.03.05

2015.03.05

2015.03.05

2015.03.05

2015.03.05

No. Date Record Of Revisions

5 2015.03.05 ISSUED FOR

4 2015.03.05 ISSUED FOR

3 2015.03.05 ISSUED FOR

2 2015.03.05 ISSUED FOR

1 2015.03.05 ISSUED FOR

No. Date Record Of Issues

Project

CAMROSE

EARLY LEARNING

17672 - 57th Avenue

Cloveldale, Surrey B.C.

Sheet Title

NORTH & EAST

ELEVATIONS

Job Number 130901

Date 2015/03/05

Scale: 1/4" = 1'-0"

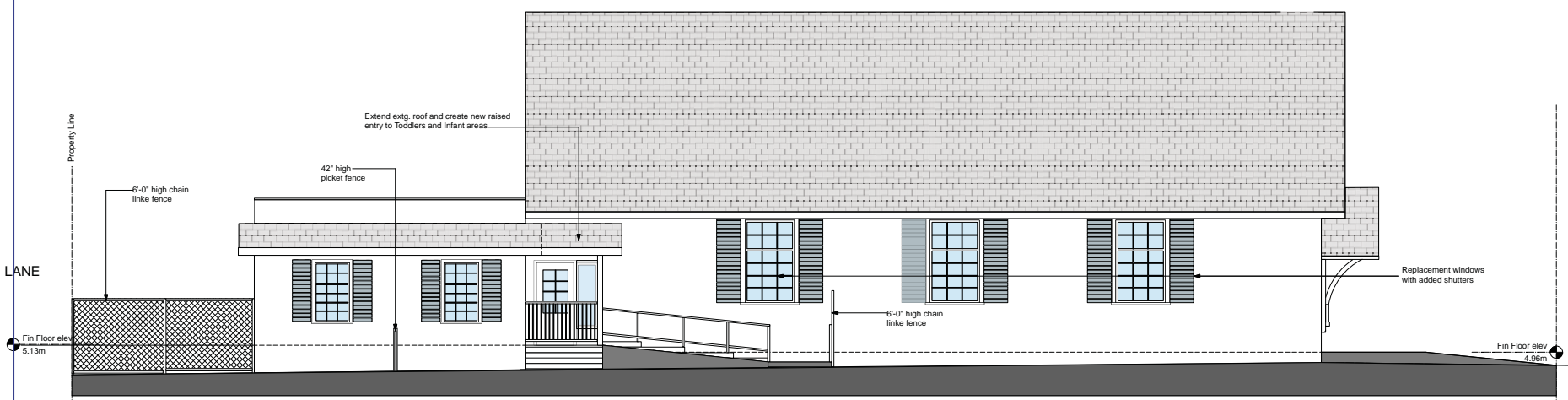
Revision Number 0

Drawing Number

A3.0



1 NORTH ELEVATION
A3.0 1/4"=1'-0"



2 EAST ELEVATION
A3.0 1/4"=1'-0"



DAVID EATON
ARCHITECT INC.

1000 West and Avenue
Weston, ON M5S 1K2
P: 416 461-1111
F: 416 461-1112

REV.

These drawings represent the design of the building as shown on the drawings and are not to be used for construction without the approval of the architect.

The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

- 1. [] Approved
- 2. [] Approved
- 3. [] Approved
- 4. [] Approved
- 5. [] Approved
- 6. [] Approved
- 7. [] Approved
- 8. [] Approved

No.	Date	Revised/By
1.	2015/03/05	DAVID EATON
2.	2015/03/05	DAVID EATON
3.	2015/03/05	DAVID EATON
4.	2015/03/05	DAVID EATON
5.	2015/03/05	DAVID EATON

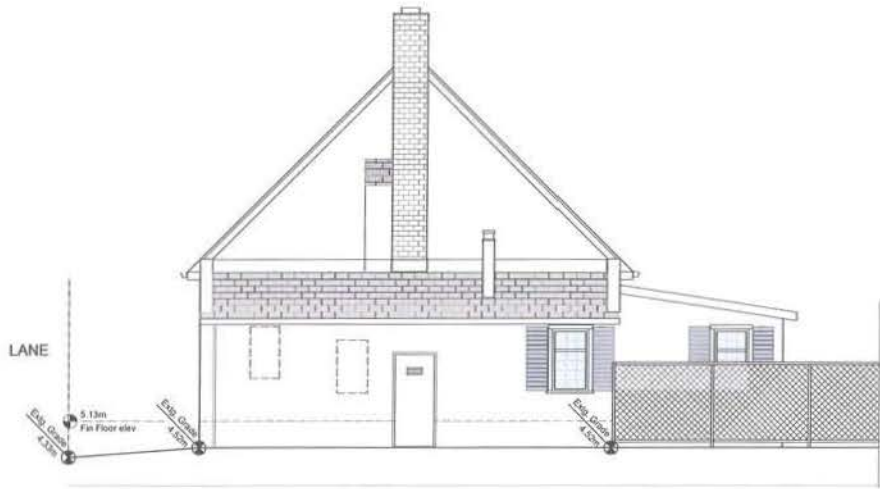
No.	Date	Revised/By
1.	2015/03/05	DAVID EATON

Project
CAMROSE
EARLY LEARNING,
17672-57th Avenue,
Clowdick, Surrey B.C.

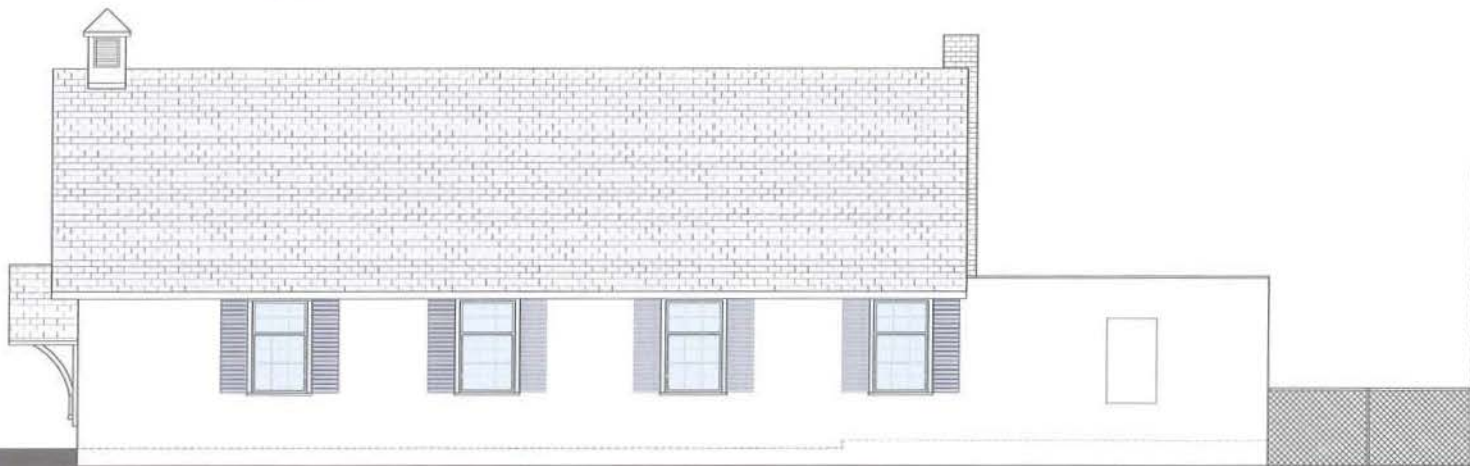
Sheet Title
SOUTH & WEST
ELEVATIONS

1/11 Number: E10001
Date: 2015/03/05
Scale: 1/4" = 1'-0"
Revision Number: 0
Drawing Number:

A3.1



1 SOUTH ELEVATION
18' x 11' 0"



2 WEST ELEVATION
18' x 11' 0"

57th AVENUE

LANE



**DAVID EATON
ARCHITECT INC.**

4140 West and Avenue
Woodmont, AT W66 1W1
P: 403 628 6611
F: 403 623 1499

101

The design and construction of this project is subject to the approval of the relevant authorities. The architect is not responsible for the accuracy of the information provided by the client or other third parties.

Scale:

1	Approved
2	Approved
3	Approved
4	Approved
5	Approved
6	Approved
7	Approved
8	Approved
9	Approved
10	Approved

No.	Date	Revised/By
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2	2013/03/03	CE
3	2013/03/03	CE
4	2013/03/03	CE
5	2013/03/03	CE

No.	Date	Revised/By
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2	2013/03/03	CE
3	2013/03/03	CE
4	2013/03/03	CE
5	2013/03/03	CE

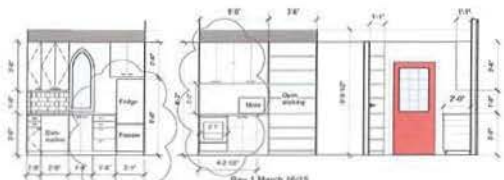
Project
**CAMROSE
EARLY LEARNING**
17672-57th Avenue
Camrose, Alberta, R4C 1K1

Sheet Title
SECTIONS

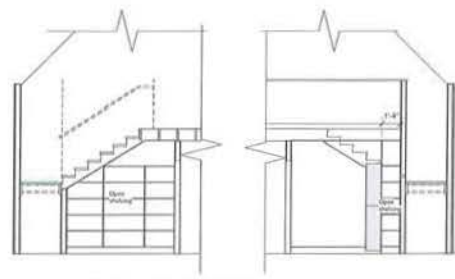
INTERIOR ELEVATIONS

101 Number: 131093
Date: 2013/03/03
Scale: 1/4" = 1'-0"
Revision Number: 0
Drawing Number:

A4.0



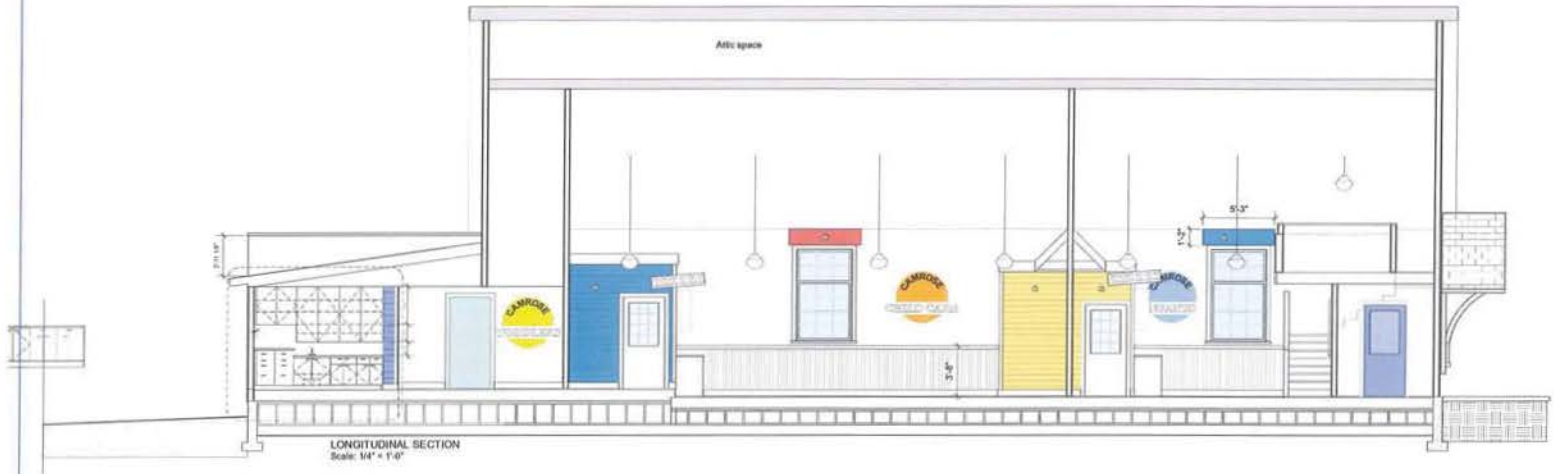
KITCHEN WALL ELEVATIONS
Scale: 1/4" = 1'-0"
Rev 1 March 16/15



LAUNDRY/STORAGE WALL ELEVATIONS
Scale: 1/4" = 1'-0"



BATHROOM WALL ELEVATIONS
Scale: 1/4" = 1'-0"



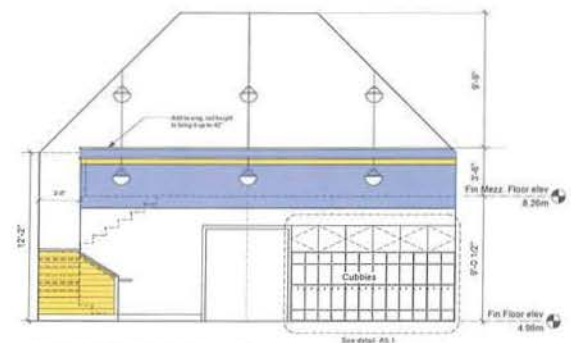
LONGITUDINAL SECTION
Scale: 1/4" = 1'-0"



SOUTH ELEVATION INFANTS ROOM
Scale: 1/4" = 1'-0"



SOUTH ELEVATION CHILD CARE ROOM
Scale: 1/4" = 1'-0"



NORTH ELEVATION INFANTS ROOM
Scale: 1/4" = 1'-0"



**DAVID EATON
ARCHITECT INC**

100 West 2nd Avenue
Vancouver, BC V6B 1G1
• 604 681 1000
• 604 681 1001

01

The above schedule of items
is for information only and does
not constitute a contract. It is
subject to the terms and conditions
of the contract documents.
No part of this schedule of items
shall be construed as a warranty
of any kind.

02

- 1. Cabinet
- 2. Cabinet
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- 50. Cabinet

No.	Desc.	Brand/Options
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50	Cabinet	Standard

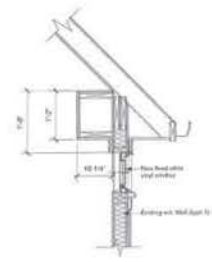
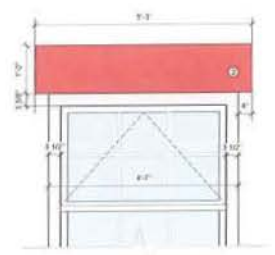
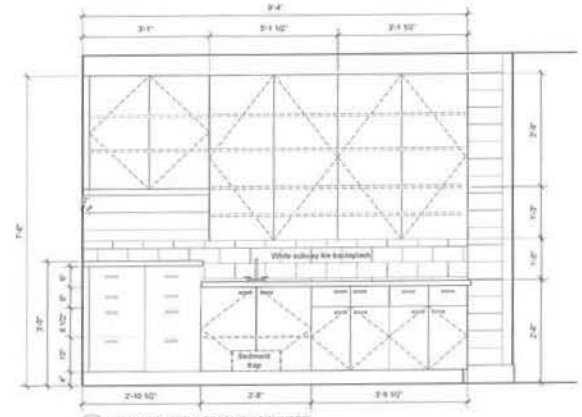
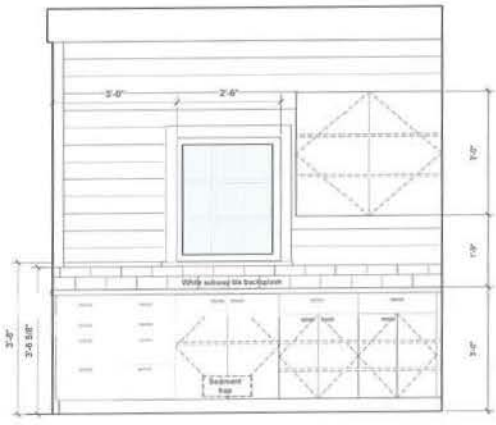
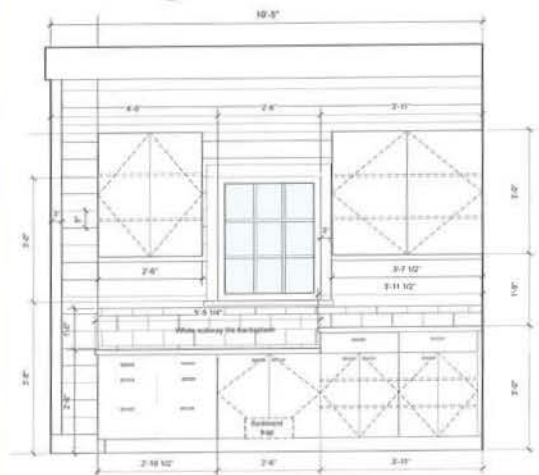
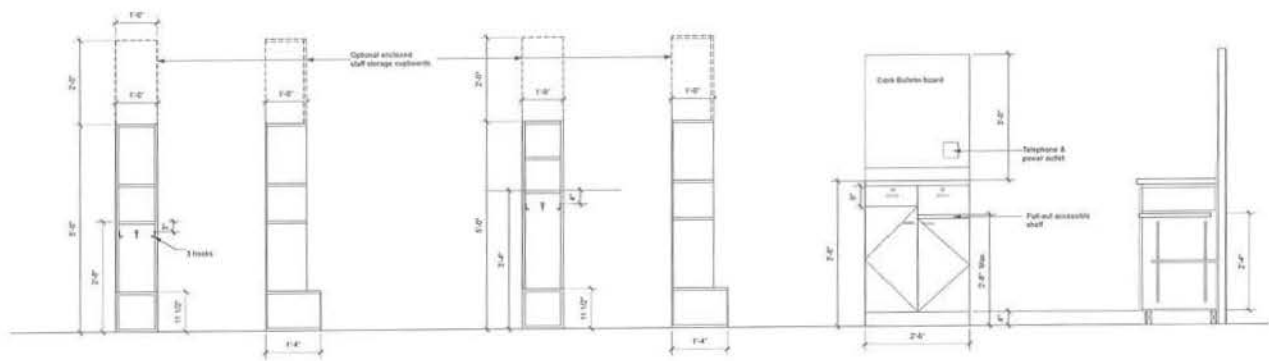
**CAMBOSE
EARLY LEARNING**
17672-57th Avenue
Cloweville, Surrey B.C.

Sheet Title
CABINET DETAILS

DETAILS

Proj Number	130801
Drawn	2013/01/01
Scale	1/4" = 1'-0"
Revision Number	0
Drawn By	130801

A5.1



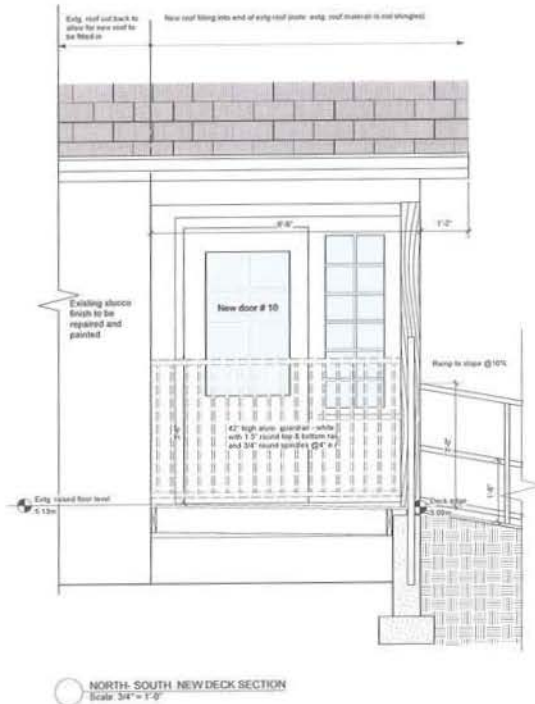
INTERIOR COLOUR SCHEME

Paint colour	Code	Color Name	Application
1	P&L 33-1	Designer white	Typ. walls & ceilings
2	SW 6607	Tomato red	Various
3	SW 6683	Bee	Various
4	SW 6942	Splishy	Various
5	SW 6795	Major blue	Various
6	SW 6753	Caribbean jade	N/C doors
7	SW 6200	Snowfall	Window trim

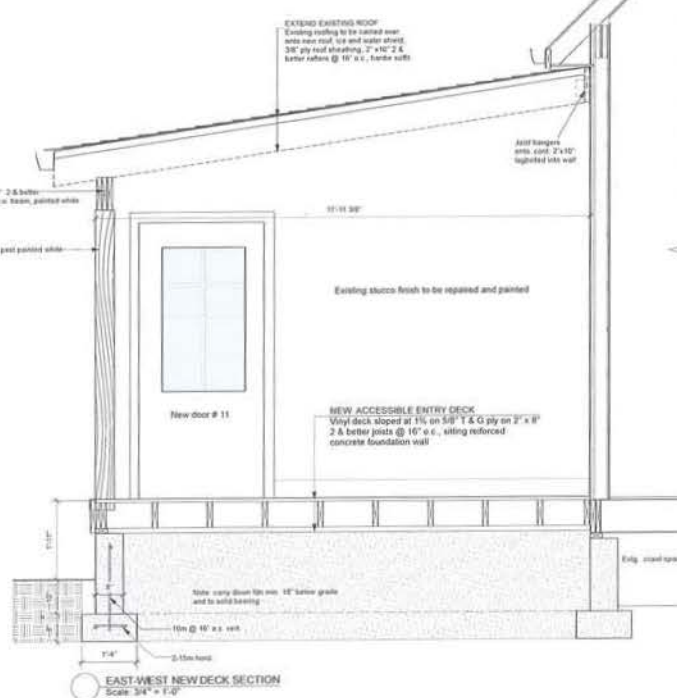
INTERIOR FLOORING

FLOOR	Material
Resilient Flooring Type 1	Infant entry
	Sanitary
	Kitchen
Resilient Flooring Type 2	Workroom
Resilient Flooring Type 2	Teachers room
Carpet Type 1	Massaging staff area
	Stairs
Carpet Type 2	Infants sleeping
	Children sleeping
Resilient Floor	Balance of space not carpeted
	or without resilient
Porcelain Tile	Bathroom 1

Rev-1 March 16/15



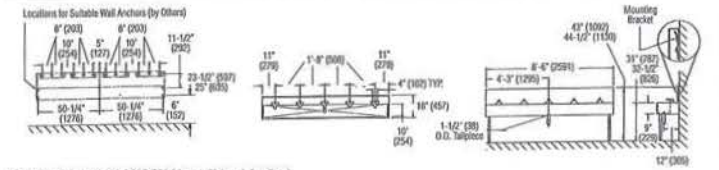
NORTH-SOUTH NEW DECK SECTION
Scale: 3/4" = 1'-0"



EAST-WEST NEW DECK SECTION
Scale: 3/4" = 1'-0"



Wall Multi-Station Sink Rough-In Dimensions



5-Station Wall Sink Model S96-851 (shown with facets by others)

Multi-Station Sinks
Island and Wall Sinks (mm)

Two Piece Toilets EVERCLEAN



Cadet PRO - 12" Rough-In
Combination bowl and tank, less seat. 12" rough. EverClean® Surface, featuring the Cadet PRO Racking System, concealed 2" bulk valve with chemical resistant flange, includes EZ-hold tank, less a flip tank lid for superior storage. 3 year warranty.

EverClean®
21SCA004 - 1.28gpf/4.0lpf
21SCA004 - Same as above with load tank
21SCA104 - 1.07gpf/4.0lpf
21SCA104 - Same as above with load tank
21SCA154 - 1.28gpf/4.0lpf
21SCA154 - Same as above with load tank
20.5/14.1 x 17.5/4.1" W x 29.7/8" H [718 x 438 x 732mm]

Round Front
21SDA004 - 1.28gpf/4.0lpf
21SDA004 - Same as above with load tank
21SDA104 - 1.07gpf/4.0lpf
21SDA104 - Same as above with load tank
20.5/14.1 x 17.5/4.1" W x 29.7/8" H [718 x 438 x 732mm]

Rev.	Date	Revised By/Description
1	07/20/13	AS/DAW
2	07/20/13	AS/DAW
3	07/20/13	AS/DAW
4	07/20/13	AS/DAW
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99	07/20/13	AS/DAW
100	07/20/13	AS/DAW

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7915-0182-00

Issued To: Irishman Enterprises Inc.

("the Owner")

Address of Owner: 17685 – 57 Avenue
Surrey, BC V3S 1H1

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal descriptions and civic addresses as follows:

Parcel Identifier: 012-520-411

Lot 5 Block 14 Section 8 Township 8 New Westminster District Plan 2107

17672 – 57 Avenue

Parcel Identifier: 012-520-420

Lot 6 Block 14 Section 8 Township 8 New Westminster District Plan 2107

17676 – 57 Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section J.3 of Part 37 Town Centre Commercial Zone (C-15), the regulation is varied to permit a child care centre to be located on the lot at 17672 – 57 Avenue with its associated open space and play area located on the neighbouring lot at 17676 – 57 Avenue; and

(b) In Section B.3 of Part 4 General Provisions, the building requirement is varied to permit an open space and play area for a commercial child care centre use on a lot without a building, for the property at 17676 – 57 Avenue.

4. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
5. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
6. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
7. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7915-0182-00

Issued To: Irishman Enterprises Inc.

("the Owner")

Address of Owner: 17685 – 57 Avenue
Surrey, BC V3S 1H1

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal descriptions and civic addresses as follows:

Parcel Identifier: 012-520-411
Lot 5 Block 14 Section 8 Township 8 New Westminster District Plan 2107

17672 – 57 Avenue

Parcel Identifier: 012-520-420
Lot 6 Block 14 Section 8 Township 8 New Westminster District Plan 2107

17676 – 57 Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section J.3 of Part 37 Town Centre Commercial Zone (C-15), the regulation is varied to permit a child care centre to be located on the lot at 17672 – 57 Avenue with its associated open space and play area located on the neighbouring lot at 17676 – 57 Avenue;

- (b) In Section B.3 of Part 4 General Provisions, the building requirement is varied to permit an open space and play area for a commercial child care centre use on a lot without a building, for the property at 17676 – 57 Avenue; and
 - (c) In Section A.5(a) of Part 5 Off-Street Parking and Loading/Unloading, the requirement that all parking areas be surfaced with an asphalt, concrete or similar pavement, is varied to permit a gravel parking surface for parking associated with a child care centre use only.
- 4. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
 - 5. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
 - 6. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
 - 7. This development variance permit is not a building permit.

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