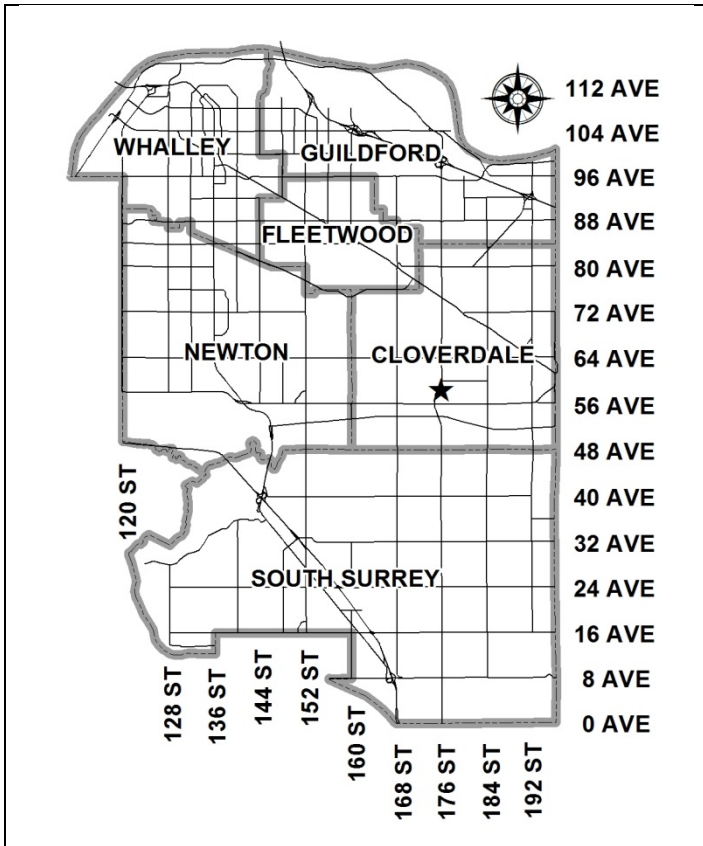


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7915-0146-00

Planning Report Date: October 20, 2015

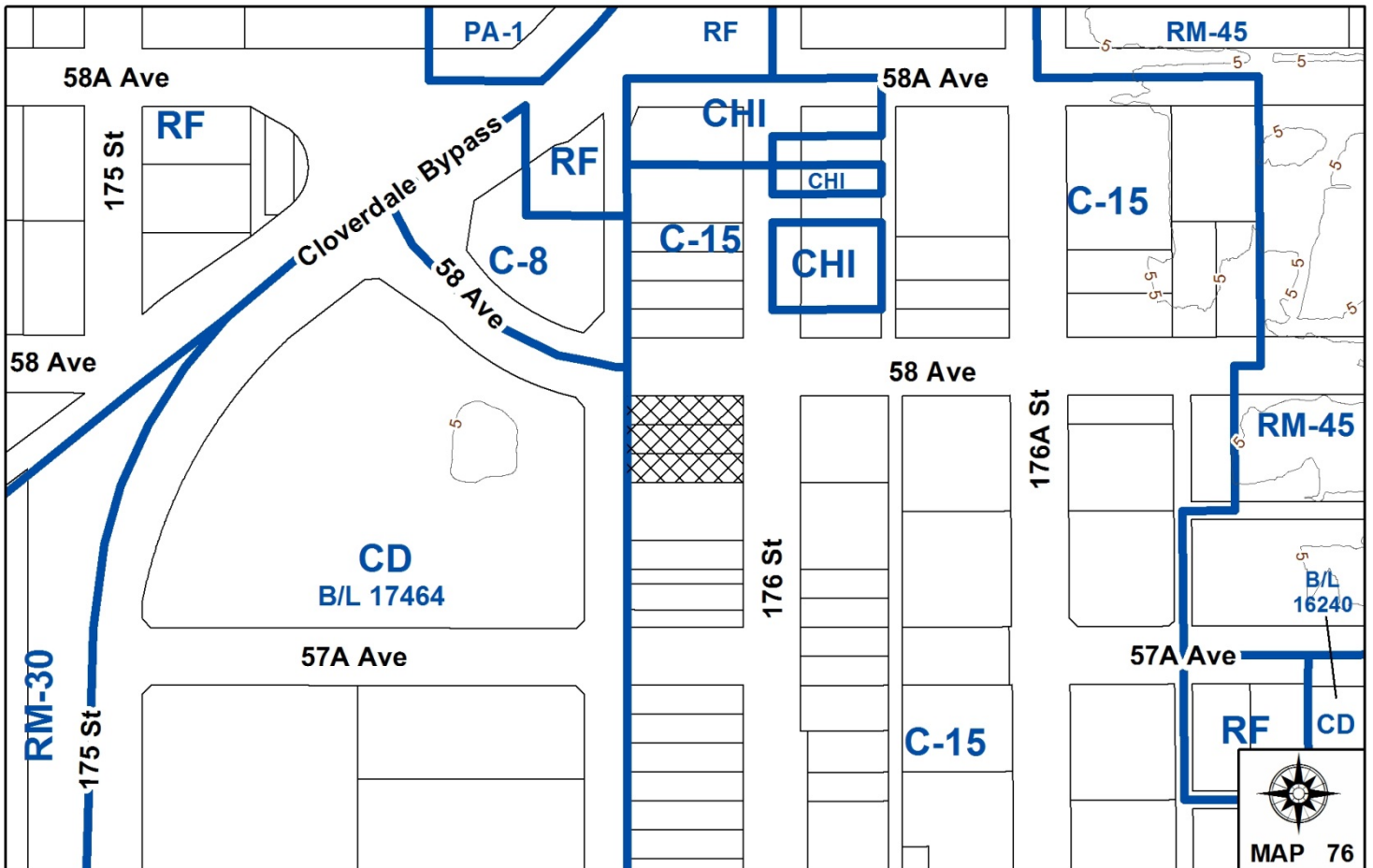


PROPOSAL:

- **Development Permit**
- **Development Variance Permit**

to permit the development of a single-storey multi-tenant commercial building.

LOCATION: 5791 - 176 Street
OWNER: Jky259 Enterprises Ltd.
ZONING: C-15
OCP DESIGNATION: Town Centre
TCP DESIGNATION: Retail Commercial



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is requesting to reduce the north (side yard on flanking), east (front), and west (rear) building setbacks and landscaping requirements of the C-15 Zone.
- Seeking to relax Part 7 Special Building Setbacks of the Surrey Zoning By-law, 1993, No. 12000, to reduce the sum of one-half of the ultimate highway allowance for 176 Street and the front yard setback from 14 metres (46 ft.) to 12 metres (39 ft.) to the principal building face and 10.8 metres (35 ft.) to the attached weather protection canopy.

RATIONALE OF RECOMMENDATION

- Complies with the "Town Centre" designation in the OCP and the "Town Centre Commercial" designation in the Cloverdale Town Centre Plan.
- The reduced setbacks will help create an urban, more pedestrian-oriented streetscape.
- The proposed street-oriented retail space and building form are appropriate for this part of the Cloverdale Town Centre.
- 176 Street will not be constructed to its ultimate width in the foreseeable future and therefore the front yard setback relaxation is supportable.
- The existing parking lot on the north half of the site and single-storey retail building on the south half of the site will be replaced with a multi-tenant building that addresses both streets. Parking will be provided at the rear of the building, accessed from the lane.
- This proposal should play a vital role in helping to encourage further development and stimulate business in the Cloverdale Town Centre area.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7915-0146-00 generally in accordance with the attached drawings (Appendix II).
2. Council approve Development Variance Permit No. 7915-0146-00 (Appendix V) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum side yard on flanking street (north) setback of the C-15 Zone from 2.0 metres (7 ft.) to 1.2 metres (4 ft.) to the principal building face and 0 metre (0 ft.) to the attached weather protection canopy;
 - (b) to reduce the minimum front yard (east) setback of the C-15 Zone from 2.0 metres (7 ft.) to 0.8 metre (3 ft.) to the weather protection canopy only;
 - (c) to reduce the minimum rear yard (west) setback of the C-15 Zone from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) to the principal building face and 1.8 metres (6 ft.) to the attached weather protection canopy;
 - (d) to reduce the minimum landscaping strip of the C-15 Zone from 1.5 metres (5 ft.) to 0 metre along the north and east lot lines; and
 - (e) to relax Part 7 Special Building Setbacks of Surrey Zoning By-law, 1993, No. 12000 to reduce the sum of one-half of the ultimate highway allowance for 176 Street and the front yard setback from 14 metres (46ft.) to 12 metres (39 ft.) to the principal building face and 10.8 metres (35 ft.) to the attached weather protection canopy.
3. Council instruct staff to resolve the following issues prior to approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (e) registration of a right-of-way for public rights-of-passage for the area between the building face and the street edges;
 - (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department; and
 - (g) the applicant adequately address the shortfall of three on-site parking spaces, in accordance with Sub-section A.2(b) of Part 5 of Surrey Zoning By-law No. 12000.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirement as outlined in Appendix III.

SITE CHARACTERISTICS

Existing Land Use: One-storey commercial building to be demolished.

Adjacent Area:

Direction	Existing Use	TCP Designation	Existing Zone
North (Across 58 Avenue):	One-storey commercial building	Town Centre Commercial	C-15
East (Across 176 Street):	Two-storey multi-tenant commercial building.	Town Centre Commercial	C-15
South:	Two-storey mixed-use building.	Town Centre Commercial	C-15
West (Across lane):	Vacant lot (formerly the Cloverdale Mall site).	Residential/Commercial	CD By-law No. 17464

DEVELOPMENT CONSIDERATIONS

- The subject site comprised of 3 lots, located at 5791 – 176 Street, is located on the southwest corner of 58 Avenue and 176 Street in the Cloverdale Town Centre.
- The 0.3-acre (1,120-square metre) site is designated “Town Centre” in the Official Community Plan (OCP) and “Town Centre Commercial” in the Cloverdale Town Centre Plan (TCP) and is currently zoned “Town Centre Commercial Zone (C-15)”.
- The applicant is requesting a Development Permit to allow the development of a one-storey, multi-tenant, commercial building on a consolidated site with 541 square metres (5,823 sq. ft.) of retail space and a floor area ratio (FAR) of 0.48, which complies with the maximum 1.5 FAR permitted under the C-15 Zone.
- The proposed one-storey commercial building complies with all the requirements of the C-15 Zone, except for reduced building setbacks along three property lines and reduced landscaping strips along the 176 Street and 58 Avenue frontages, as illustrated in the following table:

	Permitted in C-15	Proposed	
Density (FAR)	1.5	0.48	
Lot Coverage	80%	48%	
Height (Principal Building)	14 m (45 ft.)	7.0 m (23 ft.)	
Off-Street Parking	16	13**	
Landscaping	1.5 m (5 ft.) wide strip along perimeter of site abutting roads	North* South East* West	0 m 0 m 0 m 1.5 m
Setbacks		Building Face	Canopy
Front (east)	2.0 m (7 ft.)	2.0 m (6.6 ft.)	0.80 m (2.6 ft.)
Rear (west)	7.5 m (25 ft.)	3.0 m (9.8 ft.)	1.8 m (6 ft.)
Side (south)	0 m (0 ft.)	0 m (0 ft.)	n/a
Side flanking (north)	2.0 m (7 ft.)	1.2 m (3.9 ft.)	0 m (0 ft.)

* Variance requested

**Cash-in-lieu to be provided

DESIGN PROPOSAL AND REVIEW

Building Design

- The proposed commercial building will be one-storey in height and consist of approximately 541 square metres (5,823 sq. ft.) of retail space within four (4) proposed commercial retail units (CRUs).
- The building is L-shaped and situated prominently on the northeast corner of the site providing street-oriented retail for pedestrians along both 58 Avenue and 176 Street. An articulated tower element serves to anchor and acknowledge the corner position of the site.
- The proposed building is an urban and contemporary building form with a flat roof and a massing that is in keeping with the scale of the existing buildings along 176 Street and the neighbourhood in general.
- Cladding materials include brick veneer at the base and pre-finished fibre cement panels located above a continuous weather canopy proposed along both street frontages. Expansive aluminum framed storefront glazing along both frontages has been incorporated for each storefront.

Signage

- One fascia sign for each business is proposed to be located under the weather protection canopy.

- The proposed signage is non-illuminated and comprised of channel lettering. As there are no tenants confirmed to date, specific sign details are not available and will be determined once tenants are confirmed.

Site Circulation and Parking

- Vehicular access is proposed from the rear lane to the proposed surface parking lot located behind the building on the southwest portion of the site.
- Based on the requirement of 3 parking spaces per 100 square metres (1,075 sq. ft.) of floor area in the Parking Section of Zoning By-law No. 12000, the proposed 541 square-metre (5,824 sq. ft.) commercial retail space requires a total of 16 parking spaces. The proposed development is providing 13 parking spaces.
- In the case of commercial uses in the Cloverdale Town Centre, as per Sub-section A.2(b) of Part 5 of Surrey Zoning By-law No. 12000, the applicant can provide cash-in-lieu in accordance with the City's Off-Street Parking Facilities By-law (By-law No. 3470), in order to mitigate a shortfall in on-site parking spaces. The applicant will be required to provide cash-in-lieu to address the proposed 3-stall shortfall to the satisfaction of the General Manager, Engineering.

Trees and Landscaping

- There are currently no trees on the site. All existing street trees are retained along with the grass boulevard on 58 Avenue.
- Adjacent to the lane on the west side of the site, a 1.5-metre (5 ft.) to 4.5-metre (15 ft.) wide continuous landscaped strip is proposed with trees and low shrubbery. There are no landscaped strips proposed along 58 Avenue and 176 Street (see By-law Variances section). This is to accommodate reduced building setbacks in order to achieve a more urban and pedestrian streetscape.
- New landscape beds of low, drought tolerant planting including boxwood, laurel, rhododendron and rose bushes as well as three (3) new Columnar Beech trees are proposed to be planted in the landscaped strip along the lane. The proposed landscaping will improve the streetscape along the existing lane and soften this edge.
- Entrances to each commercial retail unit (CRU) are highlighted with contrasting paving that serves as 'welcome mats' to each establishment.
- The pad mounted transformer (PMT) is screened by boxwood and burning bush shrubbery that will provide seasonal planting interest.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on May 8, 2015. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> The subject site is located within the Cloverdale Town Centre Plan. The proposed development complies with the land use designation in the Cloverdale Town Centre Plan.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> The proposed density is 0.48.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> Addition of 22 square metres (237 sq. ft.) of landscaping including three (3) new trees. The proposed development includes plants with low water and low maintenance requirements.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> The proposed development incorporates reduced parking.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> The project incorporates the principles of eyes on the street by placing heavily glazed commercial storefronts along both street frontages at the ground floor to increase surveillance. Spaces are designed to increase the natural surveillance by keeping all doors, entrances and the majority of parking areas visible from surrounding streets.
6. Green Certification (F1)	<ul style="list-style-type: none"> n/a
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> The typical notifications to area residents has occurred (i.e. development proposal sign).

PRE-NOTIFICATION

- According to Council policy, a Development Proposal Sign was installed on the site to inform adjacent property owners about the proposed development. Staff did not receive any comments on this proposal.
- The applicant contacted the Coverdale Community Association, Cloverdale Business Improvement Association (BIA) and Cloverdale Chamber of Commerce directly.
- Representatives of the Cloverdale BIA and Cloverdale Chamber of Commerce provided a combined letter of support and thanked the applicant for their decision to invest in Cloverdale.
- The President of the Coverdale Community Association indicated the proposal was visually appealing and has no objections but requested that additional on-street parking be provided along 58 Avenue.

(Engineering confirmed that there is not adequate width or distance from the intersection to accommodate this request at this location.)

ADVISORY DESIGN PANEL

ADP Date: July 9, 2015

The applicant has resolved all of the outstanding items from the ADP review to the satisfaction of the Planning and Development Department (see Appendix IV).

BY-LAW VARIANCES AND JUSTIFICATION

(a) Requested Variances:

- To reduce the minimum flanking side yard (north) setback of the C-15 Zone from 2.0 metres (7 ft.) to 1.2 metres (4 ft.) to the principal building face and 0 metre (0 ft.) to the attached weather protection canopy; and
- To reduce the minimum front yard (east) setback of the C-15 Zone from 2.0 metres (7 ft.) to 0.8 metre (3 ft.) to the weather protection canopy only; and
- to reduce the minimum rear yard (west) setback of the C-15 Zone from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) to the principal building face and 1.8 metres (6 ft.) to the attached weather protection canopy.

Applicant's Reasons:

- The reduced setbacks achieve a more urban, pedestrian-oriented streetscape along 58 Avenue and 176 Street and are in-keeping with the character of the existing neighbourhood.
- The commercial retail units (CRUs) are closer to the street and will present a friendly face to the street, promoting social interaction, as well as casual surveillance.
- The reduced setbacks accommodate parking at the rear of the building.

Staff Comments:

- The reduced setbacks are in keeping with the urban character encouraged in the Cloverdale Town Centre Plan design guidelines and achieve the desired pedestrian-oriented commercial environment.
- Staff support the proposed setback variances.

(b) Requested Variance:

- To reduce the minimum landscaping strip of the C-15 Zone from 1.5 metres (5 ft.) to 0 metre along the north and east lot lines.

Applicant's Reasons:

- To create a more pedestrian-oriented streetscape, a continuous 1.5-metre (5 ft.) wide landscaped strip cannot be accommodated along 58 Avenue and 176 Street due to reduced building setbacks.

Staff Comments:

- The reduced building setbacks are in keeping with the urban character encouraged in the Cloverdale Town Centre Plan design guidelines and achieve the desired pedestrian-oriented commercial environment. Adding a 1.5-metre (5 ft. wide) landscaping strip along these edges would push the building back from the street and interrupt the desired pedestrian flow.
- A 1.5-metre (5 ft.) wide landscape buffer is proposed adjacent the lane providing an adequate interface to the existing lane and softening the parking area.
- Staff support the proposed setback variances.

(c) Requested Variance:

- To relax Part 7 Special Building Setbacks of Surrey Zoning By-law, 1993, No. 12000 to reduce the sum of one-half of the ultimate highway allowance for 176 Street and the front yard (east) setback from 14 metres (46ft.) to 12 metres (39 ft.) to the principal building face and 10.8 metres (35 ft.) to the attached weather protection canopy.

Applicant's Reasons:

- The revised collector road standard of 24-metre (79 ft.) width requires the principal building on the existing lot to be set back 14 metres (46 ft.) from the centerline of 176 Street.
- The applicant wishes to maintain a consistent streetscape with the neighbouring commercial buildings along 176 Street and provide weather protection.

Staff Comments:

- Part 7 Special Building Setbacks of the Zoning By-law No. 12000 is intended to protect for future widening of major roads by requiring the building setbacks to be the sum of one-half of the ultimate road right-of-way and the setback as specified in the zone. The ultimate road allowance for 176 Street, a collector road in this location, is 24 metres (79 ft.). Although the City's Engineering Department is not seeking road dedication along 176 Street as part of the subject application, and has no intentions of widening 176 Street to its ultimate standard in the foreseeable future, the setback is still applicable.

- To achieve a consistent streetscape within this block of 176 Street, a variance to the Special Building Setback from 14 metres (46 ft.) to 12 metres (39 ft.) for the principal building, measured from the centerline of the ultimate highway allowance for 176 Street is supportable.
- Staff support the requested variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	ADP Comments
Appendix V.	Development Variance Permit No. 7915-0146-00

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

JM/dk

\\file-server1\net-data\csdc\generate\areaproduct\save\25440761013.doc
KD 10/15/15 8:39 AM

DEVELOPMENT DATA SHEET

Existing Zoning: C-15

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA (in square metres)		
Gross Total		1,218 m ²
Road Widening area		98 m ²
Undevelopable area		
Net Total		1,120 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	80%	48%
Paved & Hard Surfaced Areas		50%
Total Site Coverage		98%
SETBACKS (in metres)		
Front (east)	2.0 m	0.8 m*
Rear (west)	7.5 m	1.8 m*
Flanking Side (north)	2.0 m	0 m*
Side (south)	0 m	0 m
BUILDING HEIGHT (in metres/storeys)		
Principal	14.0 m	7.0 m
Accessory	4.5 m	
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
FLOOR AREA: Commercial		
Retail		
Office		
Total	1,680 m ²	541 m ²
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA	1,680 m ²	541 m ²

*Variance requested

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	1.5	0.48
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial	16	13*
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	16	13
Number of disabled stalls	0	1
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

*Permitted if cash-in-lieu addressed for on-site deficiency

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----

PROPOSED RETAIL DEVELOPMENT

5791 – 176 STREET, SURREY, BC

Re-Submission to ADP

File No.: 15-0146

Date: Oct 7, 2015



SITE PLAN STATISTICS

SITE STATISTICS:		
1.1 LAND/STRUCTURE USE:	EXISTING: RETAIL	PROPOSED: RETAIL
1.2 LOT AREA: (EXCLUDES ROAD AND CORNER CUT SETBACK)	1120 m ² [12,055 ft ²]	
1.3 LOT FRONTAGE:	30.18 m [99 ft]	

ZONING BY-LAW SUMMARY	PERMITTED	PROPOSED	BY-LAW REFERENCE
2.1 ZONING CLASSIFICATION:	C-15 - TOWN CENTRE COMMERCIAL ZONE		
2.2 DENSITY	1.5 x LOT AREA =1680 m ² [16,063ft ²]	541m ² [5,823ft ²]	PART 37 - D.2
2.3 LOT COVERAGE	80%	48%	PART 37 - E
2.4 YARDS AND SETBACKS			PART 37 - F SEE NOTE 1 & 3
FRONT (176 th ST)	SETBACK = 2.0m [7 ft]	SETBACK = 2.0m [7ft]	
REAR (LANE)	SETBACK = 7.5m [25 ft]	SETBACK = 3.0m [9.8 ft]	
SIDE (ADJACENT LOT)	SETBACK = 0.0m [0 ft]	0	
SIDE (FLANKING STREET 68 th AVENUE)	SETBACK = 2.0m [7 ft]	SETBACK = 1.2m [3.94ft]	
2.5 BUILDING HEIGHT	14.0m [46ft]	T/O CORNER = 7.0m [23.1ft] T/O PARAPET = 6.9m [19.4ft]	PART 37 - G
2.6 OFF-STREET PARKING AND LOADING/UNLOADING			PART 37 - H
NUMBER OF PARKING SPACES	3 PER 100m ² RETAIL = 18 RETAIL	13	PART 5 - TABLE C.2 SEE NOTE 4
BARRIER FREE PARKING	NOT REQUIRED	1	PART 5 - D.1(b)
LOADING/UNLOADING	NOT REQUIRED	0	PART 5 - D.3
2.7 LANDSCAPING	MINIMUM 1.5m LANDSCAPING STRIP ALONG DEVELOPED SIDES OF LOT ABUTTING A HIGHWAY	176 STREET (EAST) = 0m 68TH STREET (NORTH) = 1.2m LANEWAY (WEST) = 1.0m	PART 37 - I

ABBREVIATIONS:	F.A. FLOOR AREA	GFA GROSS FLOOR AREA	N/A NOT APPLICABLE
----------------	-----------------	----------------------	--------------------

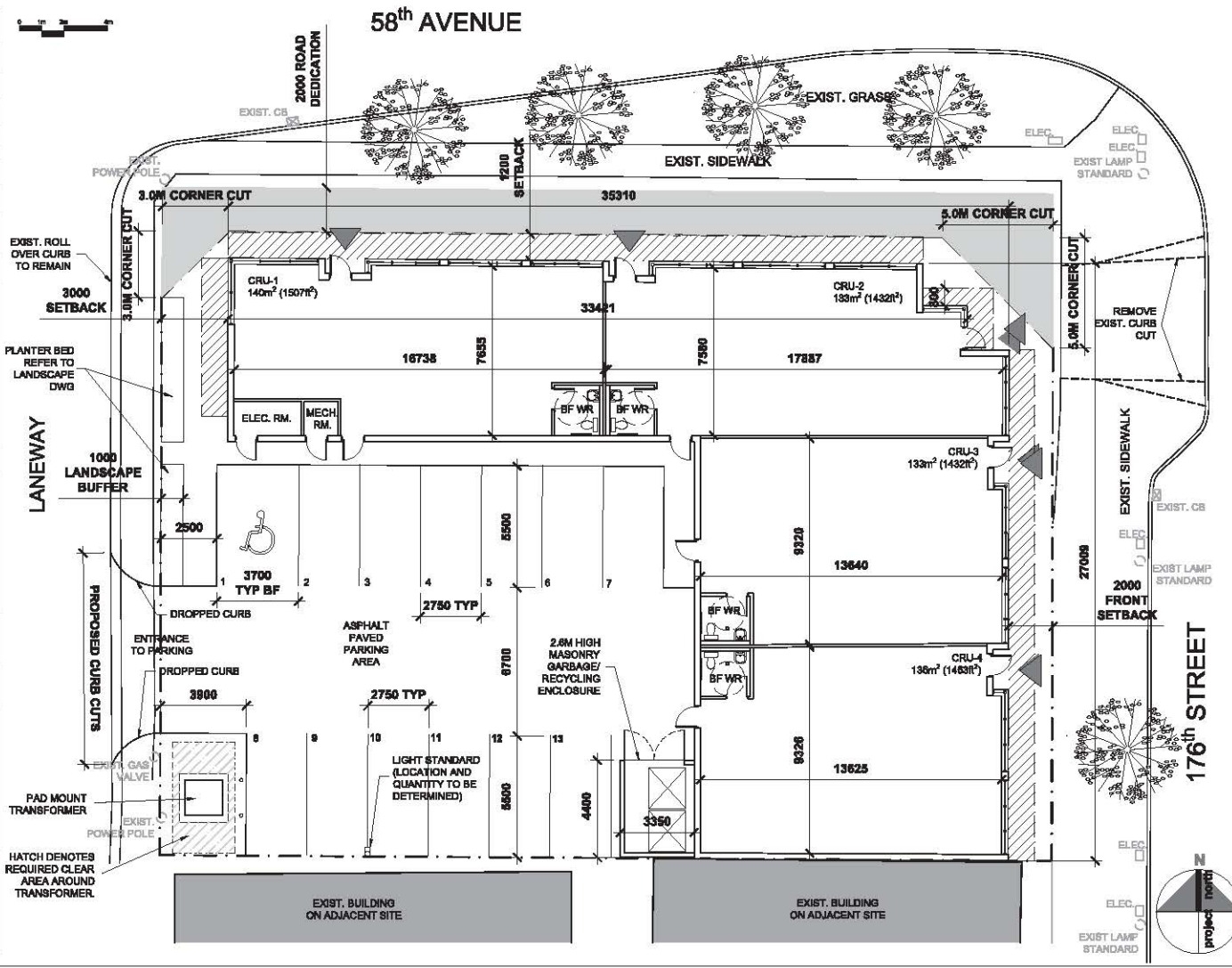
NOTE 1: PART 4 - E.4 - WHERE 40% OR MORE OF ADJACENT LOTS IN THE SAME BLOCK AND FRONTING ON THE SAME HIGHWAY, ARE OCCUPIED BY BUILDINGS AND THE AVERAGE SETBACK DOES NOT EXCEED THE MINIMUM SETBACK REQUIRED IN THAT ZONE, THE MINIMUM FRONT SETBACK REQUIRED IN THAT ZONE MAY BE RELAXED.

NOTE 2: LAND USE AND URBAN DESIGN CONCEPT PLAN - APPENDIX C - 3(a)

NOTE 3: PART 7 - SPECIAL BUILDING SETBACKS - A.1(a) [ROAD DEDICATION]

NOTE 4: PART 5.6(b) - IN THE CASE OF COMMERCIAL USES IN THE CLOVERDALE TOWN CENTRE, ON A CITY OWNED PARKING FACILITY WHEN CASH-IN-LIEU IS PROVIDED IN ACCORDANCE WITH OFF-STREET PARKING FACILITIES BY-LAW, 1971, NO. 3470; OR

SYMBOL LEGEND		
	RETAIL ENTRANCE	
	PROPERTY LINE	
	NEW INT PARTITION	
	NEW EXTERIOR WALL	





HANSON ARCHITECT

SITEPLAN

PROPOSED RETAIL DEVELOPMENT - RE-SUBMISSION TO ADP

5791 - 176 STREET, SURREY, BC

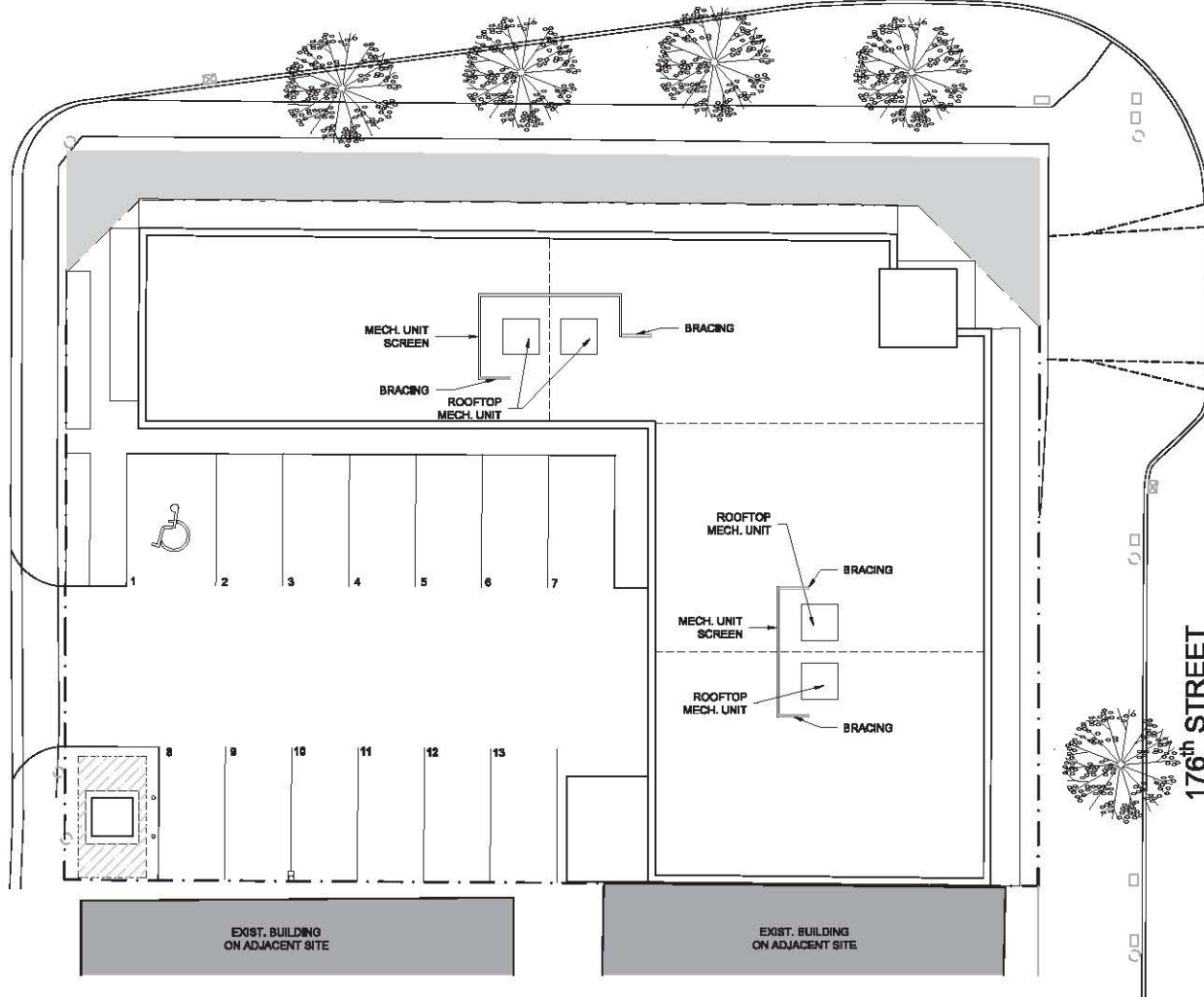
2

File Number: 15-0148
Date: OCT 7, 2015 Scale: 1:200



58th AVENUE

LANEWAY

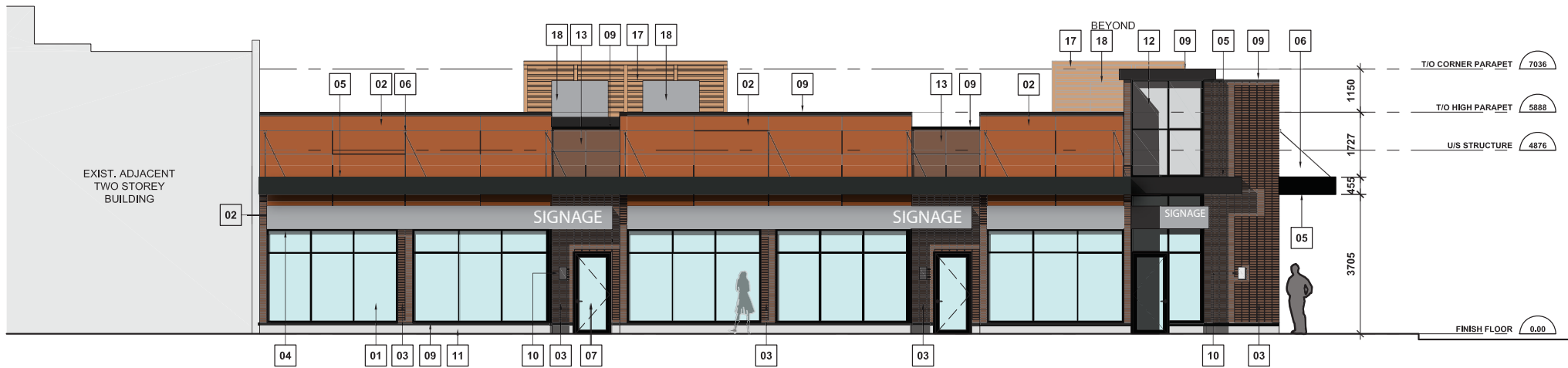


176th STREET





View from East Side of 176 Street



East Elevation - 1:100

KEY NOTE LEGEND

01 ALUMINUM STOREFRONT GLAZING - BLACK ANODIZED FINISH	05 CANOPY WITH PRE-FINISHED METAL FASCIA - BLACK	09 PRE-FINISHED METAL FLASHING - BLACK FINISH	13 PRE-FINISHED FIBRE CEMENT PANEL	17 CEDAR FRAMED RTU SCREEN WITH ANGLED CEDAR LOUVRE INFIL SLATS
02 PRE-FINISHED FIBRE CEMENT PANELS - BROWN FINISH	06 DECORATIVE SUPPORT RODS - PAINTED BLACK	10 EXTERIOR WALL SCNCE	14 STONE LEDGE	18 ROOFTOP HVAC UNIT (RTU)
03 BRICK VENEER - STACKBOND - HANSON "THUYA"	07 ALUMINUM DOOR AND FRAME - FULL GLAZED PANEL	11 CONCRETE BASE	15 EXTERIOR FLOOD LIGHTS	
04 NON INTERNALLY ILLUMINATED SIGNAGE PANEL - COLOURED BACKGROUND WITH RAISED LETTERING	08 HOLLOW METAL DOOR AND FRAME	12 BACK PAINTED GLASS - LIGHT GREY	16 2.6 m HIGH GARBAGE ENCLOSURE	



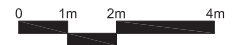
East Elevation - Proposed Retail Development
 5791-176 Street, Surrey, BC
 OCT 7 2015

Re-Submission to ADP
 File No.: 15-0146

5



North Elevation - 1:100



KEY NOTE LEGEND

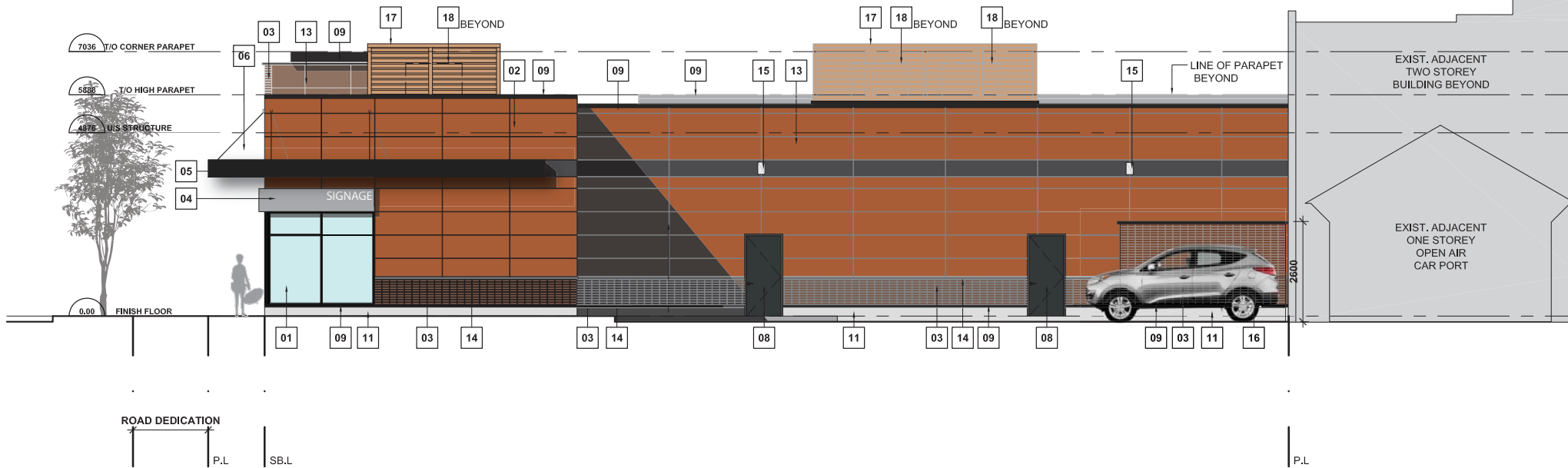
01 ALUMINUM STOREFRONT GLAZING - BLACK ANODIZED FINISH	05 CANOPY WITH PRE-FINISHED METAL FASCIA - BLACK	09 PRE-FINISHED METAL FLASHING - BLACK FINISH	13 PRE-FINISHED FIBRE CEMENT PANEL	17 CEDAR FRAMED RTU SCREEN WITH ANGLED CEDAR LOUVRE INFIL SLATS
02 PRE-FINISHED FIBRE CEMENT PANELS - BROWN FINISH	06 DECORATIVE SUPPORT RODS - PAINTED BLACK	10 EXTERIOR WALL SCONCE	14 STONE LEDGE	18 ROOFTOP HVAC UNIT (RTU)
03 BRICK VENEER - STACKBOND - HANSON "THUYA"	07 ALUMINUM DOOR AND FRAME - FULL GLAZED PANEL	11 CONCRETE BASE	15 EXTERIOR FLOOD LIGHTS	
04 NON INTERNALLY ILLUMINATED SIGNAGE BOX - COLOURED PANEL WITH RAISED LETTERING	08 HOLLOW METAL DOOR AND FRAME	12 BACK PAINTED GLASS - LIGHT GREY	16 2.6 m HIGH GARBAGE ENCLOSURE	



North Elevation - Proposed Retail Development
 5791-176 Street, Surrey, BC
 OCT 7 2015

Re-Submission to ADP
 File No.: 15-0146

6



West Elevation - 1:100

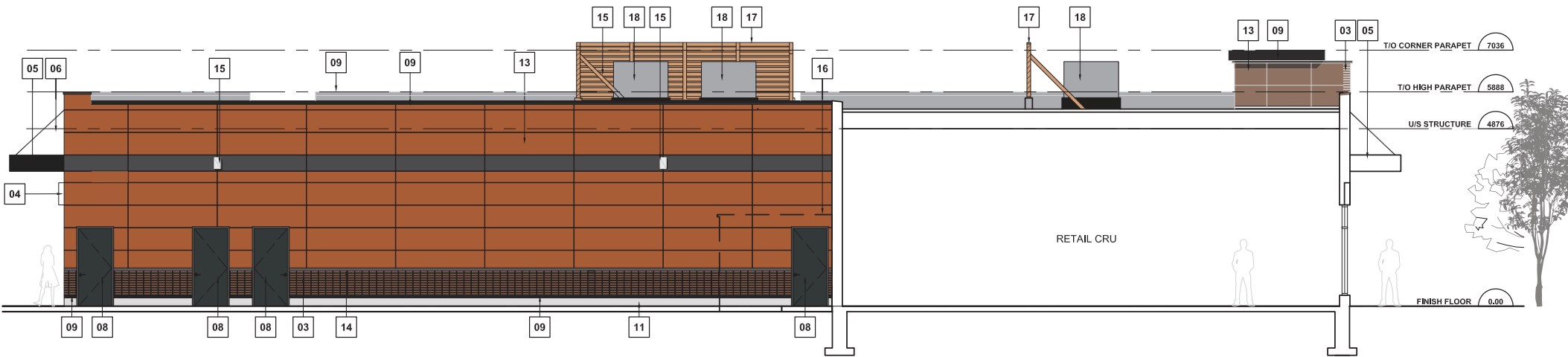
KEY NOTE LEGEND			
01 ALUMINUM STOREFRONT GLAZING - BLACK ANODIZED FINISH	05 CANOPY WITH PRE-FINISHED METAL FASCIA - BLACK	09 PRE-FINISHED METAL FLASHING - BLACK FINISH	13 PRE-FINISHED FIBRE CEMENT PANEL
02 PRE-FINISHED FIBRE CEMENT PANELS - BROWN FINISH	06 DECORATIVE SUPPORT RODS - PAINTED BLACK	10 EXTERIOR WALL SCNCE	14 STONE LEDGE
03 BRICK VENEER - STACKBOND - HANSON "THUYA"	07 ALUMINUM DOOR AND FRAME - FULL GLAZED PANEL	11 CONCRETE BASE	15 EXTERIOR FLOOD LIGHTS
04 NON INTERNALLY ILLUMINATED SIGNAGE BOX - COLOURED PANEL WITH RAISED LETTERING	08 HOLLOW METAL DOOR AND FRAME	12 BACK PAINTED GLASS - LIGHT GREY	16 2.6 m HIGH GARBAGE ENCLOSURE
			17 CEDAR FRAMED RTU SCREEN WITH ANGLED CEDAR LOUVRE INFIL SLATS
			18 ROOFTOP HVAC UNIT (RTU)



West Elevation - Proposed Retail Development
 5791-176 Street, Surrey, BC
 OCT 7 2015

Re-Submission to ADP
 File No.: 15-0146

7



South Elevation - 1:100



KEY NOTE LEGEND

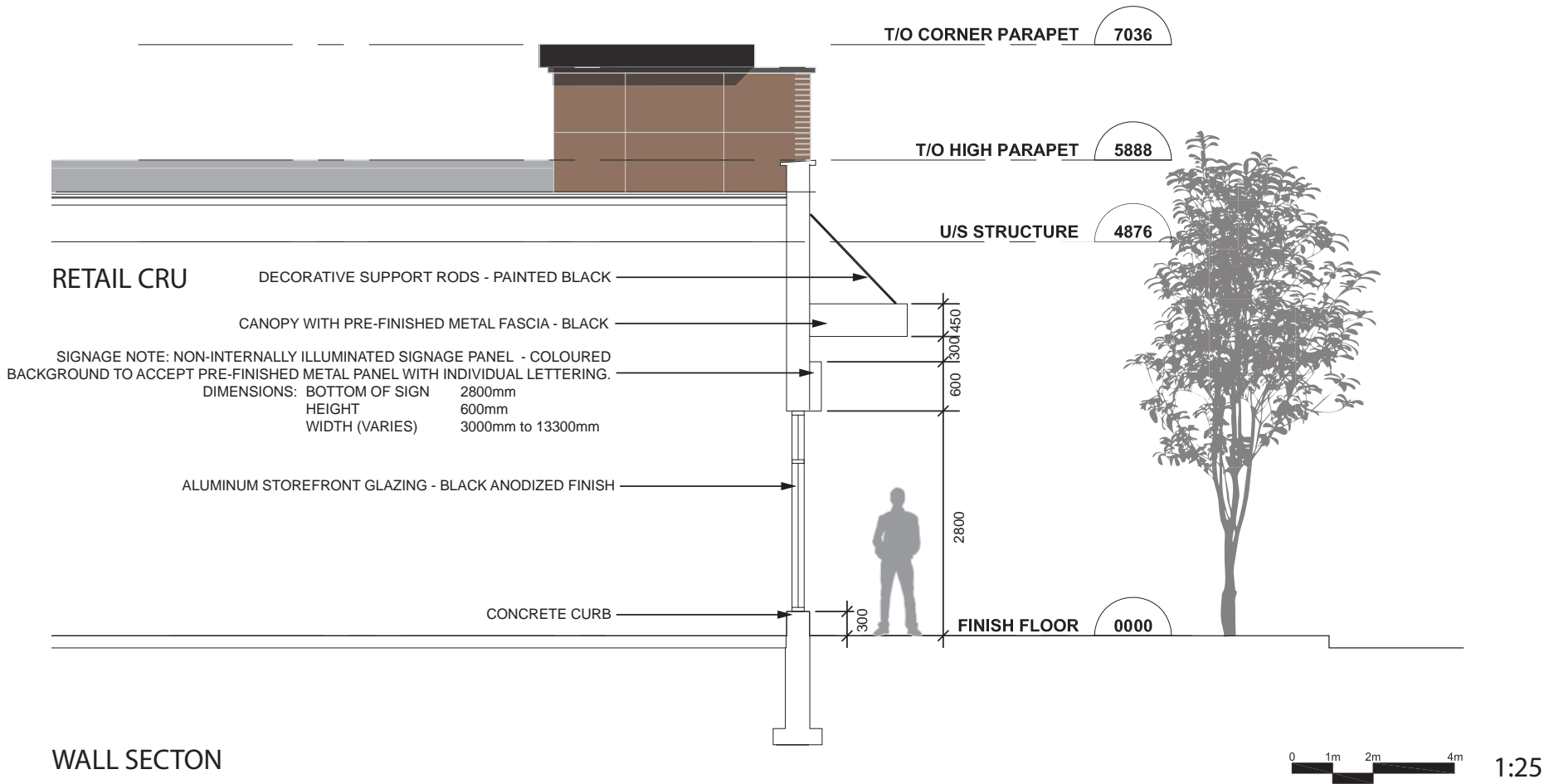
01 ALUMINUM STOREFRONT GLAZING - BLACK ANODIZED FINISH	05 CANOPY WITH PRE-FINISHED METAL FASCIA - BLACK	09 PRE-FINISHED METAL FLASHING - BLACK FINISH	13 PRE-FINISHED FIBRE CEMENT PANEL	17 CEDAR FRAMED RTU SCREEN WITH ANGLED CEDAR LOUVRE INFIL SLATS
02 PRE-FINISHED FIBRE CEMENT PANELS - BROWN FINISH	06 DECORATIVE SUPPORT RODS - PAINTED BLACK	10 EXTERIOR WALL SCONCE	14 STONE LEDGE	18 ROOFTOP HVAC UNIT (RTU)
03 BRICK VENEER - STACKBOND - HANSON "THUYA"	07 ALUMINUM DOOR AND FRAME - FULL GLAZED PANEL	11 CONCRETE BASE	15 EXTERIOR FLOOD LIGHTS	
04 NON INTERNALLY ILLUMINATED SIGNAGE PANEL - COLOURED BACKGROUND WITH RAISED LETTERING	08 HOLLOW METAL DOOR AND FRAME	12 BACK PAINTED GLASS - LIGHT GREY	16 2.6 m HIGH GARBAGE ENCLOSURE	



South Elevation - Proposed Retail Development
 5791-176 Street, Surrey, BC
 OCT 7 2015

Re-Submission to ADP
 File No.: 15-0146

8





View from North East (176 St & 58 Ave)



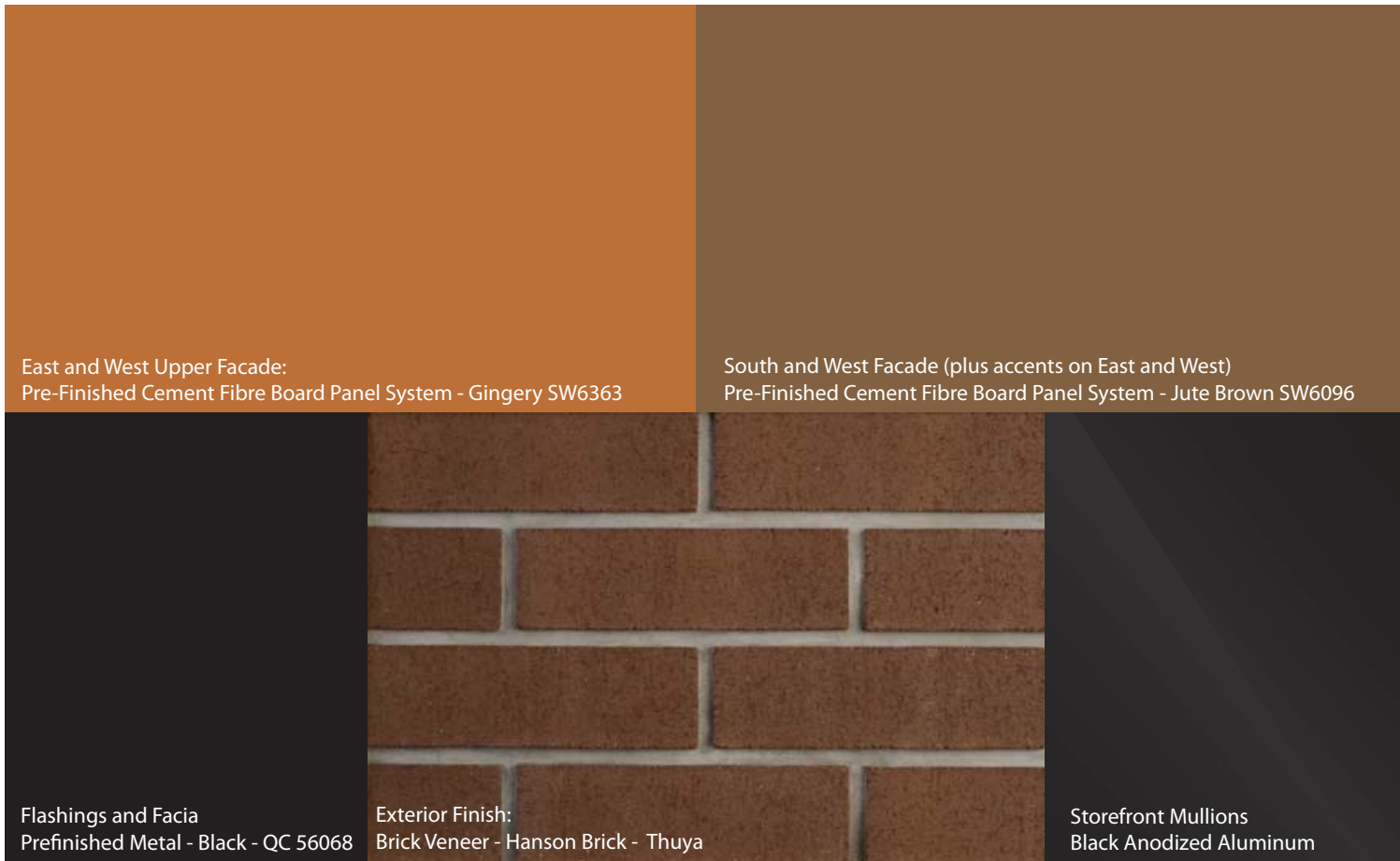
PERSPECTIVE VIEWS
PROPOSED RETAIL DEVELOPMENT – RE-SUBMISSION TO ADP
5791 – 176 STREET, SURREY, BC

hanson architect 457 richmond street w, toronto ontario m5v 1x9 t. 416 340 7373

File No.: 15-0146
Date: OCT 7, 2015



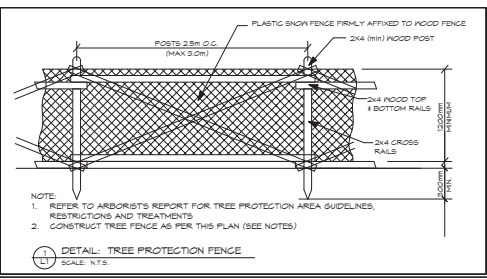
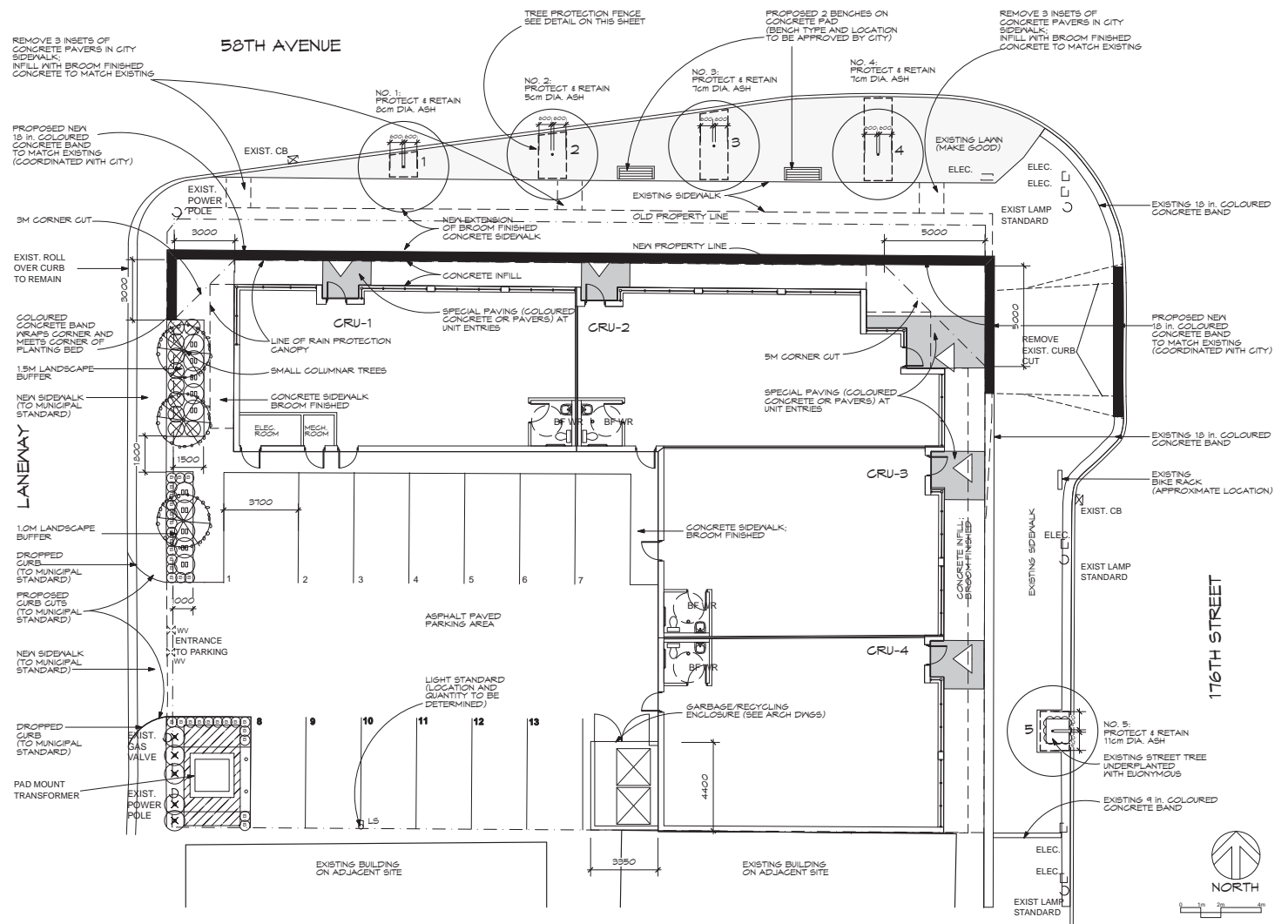
View from North West (58 Ave & Laneway)



Material Samples - Proposed Retail Development
5791-176 Street, Surrey, BC
Oct 7 2015

Re-Submission to ADP
File No.: 15-0146

12



PLANT LIST:

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE & SPACING
(C)	3	<i>Fagus sylvatica</i>	Columnar Beech	3.5m, 6 cm caliper, 1.5m std.
(E)	24	<i>Buxus microcarpa</i> 'Winter Beauty'	Miniature Boxwood	NO. 2 PIP, 45cm o.c.
(S)	5	<i>Scorobolus aspis</i> 'complanata'	Quart Burning Bush	NO. 2 PIP, 45cm o.c.
(L)	10	<i>Prunus laurocerasus</i> 'Otto Luyken'	Otto Luyken Laurel	NO. 2 PIP, 75cm o.c.
(R)	10	<i>Rosa rugosa</i> 'Rose'	Polka Rosa Rose	NO. 2 PIP, 100cm o.c.

NOTE: All soil depths (relating to most BC Landscape Standards, Latest Edition) Drawings to be read in conjunction with project Landscape Specifications.
 Contractor to verify pipe depths.
 All trees shall be properly mulched and staked in accordance with the detail: see Landscape Specs.

5 OCT 15 RE-BASED FOR D.P.
 24 SEP 15 REVIEW / COORDINATION WITH ARCHITECT
 9 MAY 15 ISSUED FOR DEVELOPMENT PERMIT

VIEWPOINT
 LANDSCAPE ARCHITECTS

5344 Pitts Street S.
 Vancouver, BC V5W 2X5

tel: 604-669-3201
 fax: 604-669-3278

project:
PROPOSED RETAIL DEVELOPMENT
 5741 - 176TH STREET,
 SURREY, B.C.

for:

drawing title:
LANDSCAPE PLAN

project no:	2015-15	drawn by:	LGH/JKK
date:	APRIL 2015	scale:	1:100
date revised:	5 OCT 2015	sheet no:	L1 OF 1

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **Revised October 14, 2015** PROJECT FILE: **7815-0146-00**
October 14, 2015

RE: **Engineering Requirements (Commercial/Industrial)
Location: 5791 176 Street**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 1.942 metres along 58 Avenue for the ultimate 24.0 metre Collector Road Standard.
- Dedicate a 5.0 x 5.0 metre corner cut at the intersection of 58 Avenue and 176 Street.
- Dedicate a 3.0 x 3.0 metre corner cut at the intersection of 58 Avenue and north/south lane.
- Provide a 0.50 metre Statutory Right-of-Way (SRW) along the 58 Avenue and 176 Street frontages.

Works and Services

- Construct the south half of 58 Avenue to the Collector standard including the relocation of the existing sidewalk.
- Construct a topsoil and sod boulevard between the curb and property line along the north/south lane.
- Construct a 7.30 metre concrete letdown to the north/south lane.
- Remove existing driveway letdown along 176 Street, and reinstate curb, gutter and boulevard to Cloverdale Town Centre Plan Standards
- Provide on-lot source controls to meet the requirements of the Cloverdale-McLellan ISMP.
- Abandon the existing 250 mm CP main along the east side of the north/south lane.
- Abandon all existing service connections no longer required or are greater than 30 years old.
- Provide water, storm and sanitary service connections to service the proposed development.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.

DEVELOPMENT VARIANCE PERMIT

The applicant is to address the monetary contribution required to support the parking relaxation proposed (Bylaw 3470).



Rémi Dubé, P.Eng.
Development Services Manager

CE

NOTE: Detailed Land Development Engineering Review available on file



Advisory Design Panel Minutes

2E - Community Room B
City Hall
13450 - 104 Avenue
Surrey, B.C.
THURSDAY, JULY 9, 2015
Time: 4:00 pm

Present:

Chair – L. Mickelson
S. Forrest
G. McGarva
C. Taylor
M. Vance
Cpl. M. Searle
S. Vincent

Guests:

D. Johnson, Doug Johnson Architect
C. Kavolinas, CJK
W. Jung, Hanson Architect

Staff Present:

M. Rondeau, Senior Planner
L. Luaifoa, Administrative Assistant

B. NEW SUBMISSIONS

2. 4:45 PM

File No.:	7915-0146-00
New or Resubmit:	New
Last Submission Date:	N/A
Description:	DP for one-storey commercial building on the main street of Cloverdale village
Address:	5791-176 Street
Developer:	Alex Lee, JKY259 Enterprises Ltd.
Architect:	Wilson Jung, Hanson Architect
Landscape Architect:	Viewpoint Landscape Architect
Planner:	Jennifer McLean
Urban Design Planner:	Mary Beth Rondeau

The Urban Design Planner presented an overview of the proposed project and highlighted the following:

- The project is a new building located on 176 Street which is the main street of historic Cloverdale.
- Generally, staff has no specific issues.

The Project Architect presented an overview of the site plan, building plans, elevations, cross sections, and streetscapes and highlighted the following:

- One challenge faced when designing this building was the ability to reinforce the urban design direction that the City wished to see. Viable units and the architectural challenge was how to respond to the character and heritage precedence.
- The building is at the edge of the street to respect certain roadway allowances, primarily on 58 Street.
- The desire to incorporate material used in the area was achieved by the use of brick and the horizontal band which is the weather protection element.

Emphasis was made on the storefront glazing for retail purposes. The use of brick metal fascia, weather protection and cement fibre panels with brown finish.

The Landscape Architect reviewed the landscape plans and highlighted the following:

- All existing trees are retained and grass boulevard along 58 Avenue. There is nothing on site or vegetation of site which will be retained.
- Paving at entry to retail store will be a contrasting material to the public sidewalk treatments.
- Strip of vegetation along the lane to provide a green edge, flowering shrubs, paving materials will be asphalt and concrete walkways. Colour accents at store entries.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

File No. 7915-0146-00

It was

Moved by G. McGarva

Seconded by M. Vance

That the Advisory Design Panel (ADP) recommends that the applicant address the following recommendations and revise and resubmit to *Planning Department*.

Carried

STATEMENT OF REVIEW COMMENTS

Site

- Appropriate form of development and site arrangement with the building at the streets and parking behind.

(Noted.)

Building Form and Character

- Very good balance between contemporary expression while maintaining a positive relationship with the existing historical setting.

(Noted.)

- Consider deeper canopy to provide greater rain protection.

(Weather protection canopy has been changed from 1.0m deep to 1.2m deep.)

- Consider carrying brick column through to roof parapet.

(The comment has been considered, however we feel that by bringing the columns up to the underside of the roof parapet it would reduce the definition of each storefront. We do not propose any changes to the height of the brick columns.)

- Encourage the weather protection canopy to out an extra foot to enable two people to walk past each other.

(Weather protection canopy has been changed from 1.0m deep to 1.2m deep.)

- Retain consistent background on signage.

(Proposed signage will be non-internally illuminated, have consistent grey-coloured background with raised individual lettering. See building elevations.)

- Consider hardi panel system, nice crisp reveal, more refined, chunky trim.

(Cement fiber reinforced panels (HardiBoard) is proposed with inset reveal between each panel joint. See building elevations.)

- The garbage could be relocated to open up views into the parking but keeping landscape screening of the cars.

(Through discussion with staff it has been agreed that the garbage enclosure will be located adjacent to the south side of the building. See site plan. The relocation will open up the view from the laneway into the parking lot. The planting strip along the parking provides screening of the cars.)

Landscaping

- Well done and simple.

(Noted.)

- Consider more interest along the street front with the introduction of street furniture; benches, bike racks.

(Two new benches are proposed along 58 Avenue. Benches to be provided will be to City standards.)

- Consider trellis with vines on parking lot wall to break large expanses of Hardie panel.

(Due to the relocation of the garbage enclosure, there is now insufficient room to introduce planting and associated trellis on the west elevation of the building at the east end of the parking lot. In lieu of this, we have created more interest to the façade by introducing an accent colour band in the cement fiber reinforced panels. See building elevations.)

CPTED

- Recommend re-location of the garbage. The whole lot should be visible before a person walks into it. Also vulnerable to graffiti.

(Through discussion with staff it has been agreed that the garbage enclosure will be located adjacent to the south side of the building. See site plan. The relocation will open up the view from the laneway into the parking lot. The planting strip along the parking provides screening of the cars.)

- Recommend installation of lights over rear access doors.

(Wall mounted light fixtures are proposed over rear access doorways.)

- Introduction of planting to soften the edge. Planting helps define space and semi-private space.

(Planting is shown along the pedestrian path and to screen the parking.)

- Consider some pole mounted fixtures.

(Pole mounted light fixture is proposed. Final location to be determined through photometric studies during detail design.)

Accessibility

- Recommend power doors at the entrance.

(We have reviewed with our client, and there is insufficient budget at this time to provide these devices. The entry doors into each CRU will be designed in accordance with the barrier free requirements of the building code.)

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7915-0146-00

Issued To: JKY259 ENTERPRISES LTD.

("the Owner")

Address of Owner: 908 - 133 East Esplanade Avenue
North Vancouver, BC V7L 1A1

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier:

001-597-035

001-597-043

001-597-051

Lot 1, 2 & 3 Block 5 Section 7 Township 8 New Westminster District Plan 628

5791 - 176 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

(b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) to reduce the minimum side yard on flanking street (north) setback of the C-15 Zone from 2.0 metres (7 ft.) to 1.2 metres (4 ft.) to the principal building face; and 0 metre (0 ft.) to the attached weather protection canopy;
 - (b) to reduce the minimum front yard (east) setback of the C-15 Zone from 2.0 metres (7 ft.) to 0.8 metre (3 ft.) to the weather protection canopy only;
 - (c) to reduce the minimum rear yard (west) setback of the C-15 Zone from 7.5 metres (25 ft.) to 3.0 metres (10 ft.) to the principal building face and 1.8 metres (6 ft.) to the attached weather protection canopy;
 - (d) to reduce the minimum landscaping strip of the C-15 Zone from 1.5 metres (5 ft.) to 0 metre along the north and east lot lines; and
 - (e) to relax Part 7 Special Building Setbacks of Surrey Zoning By-law, 1993, No. 12000 to reduce the sum of one-half of the ultimate highway allowance for 176 Street and the front yard setback from 14 metres (46ft.) to 12 metres (39 ft.) to the principal building face and 10.8 metres (35 ft.) to the attached weather protection canopy.

5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

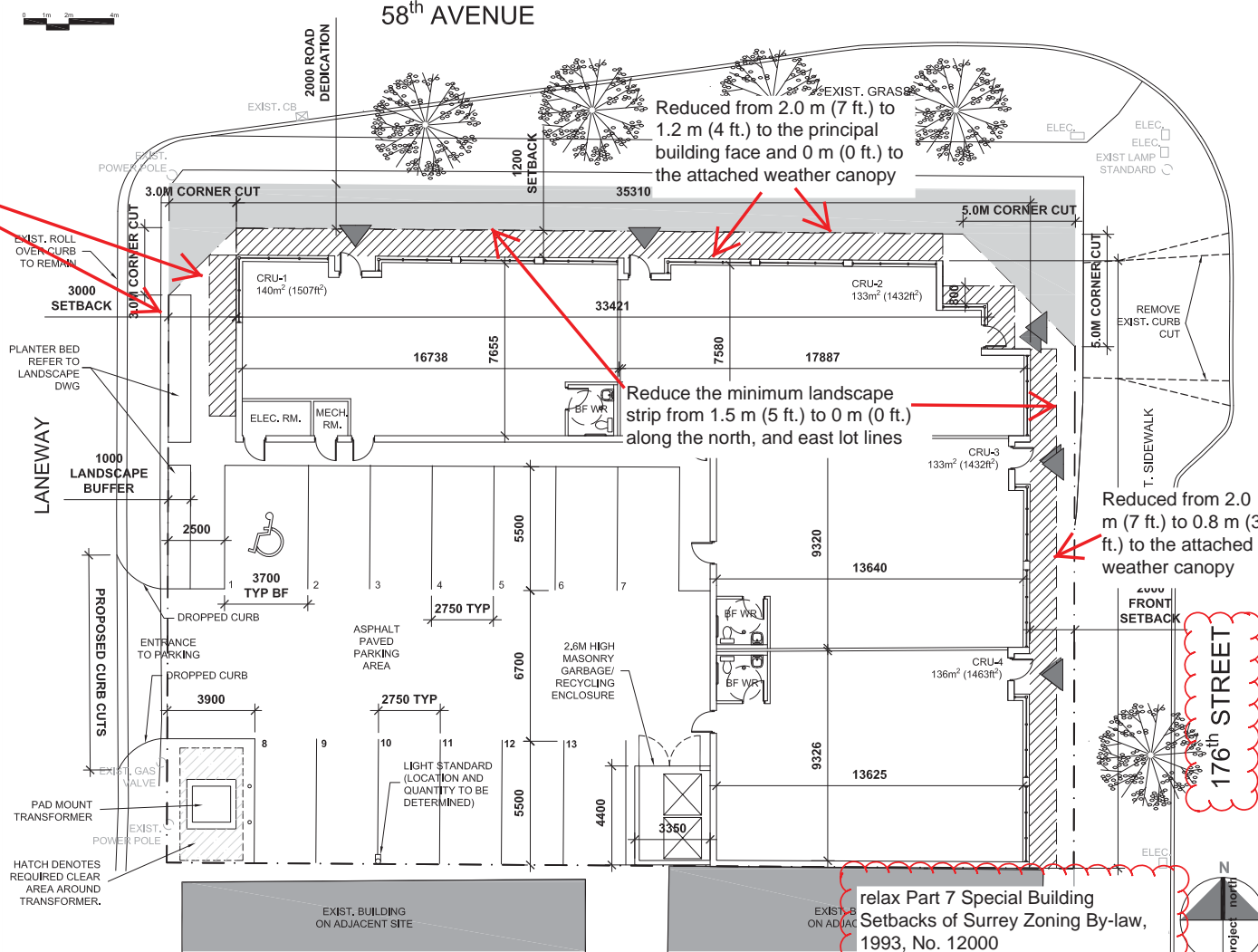
City Clerk – Jane Sullivan

Reduced from 7.5 m (25 ft.) to 3.0 m (10 ft.) to the principal building face and 1.8 m (6 ft.) to the attached weather canopy

Reduced from 2.0 m (7 ft.) to 1.2 m (4 ft.) to the principal building face and 0 m (0 ft.) to the attached weather canopy

Reduce the minimum landscape strip from 1.5 m (5 ft.) to 0 m (0 ft.) along the north, and east lot lines

Reduced from 2.0 m (7 ft.) to 0.8 m (3 ft.) to the attached weather canopy



relax Part 7 Special Building Setbacks of Surrey Zoning By-law, 1993, No. 12000 to reduce the sum of one-half of the ultimate highway allowance for 176 Street and the front yard setback from 14 metres (46ft.) to 12 metres (39 ft.) to the principal building face and 10.8 metres (35 ft.) to the attached weather protection canopy.



SITEPLAN
PROPOSED RETAIL DEVELOPMENT - RE-SUBMISSION TO ADP
 5791 - 176 STREET, SURREY, BC