

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7915-0131-00

Planning Report Date: July 27, 2015

PROPOSAL:

- **Development Permit**
- **Development Variance Permit**

to permit the construction of an industrial warehouse building with accessory office space

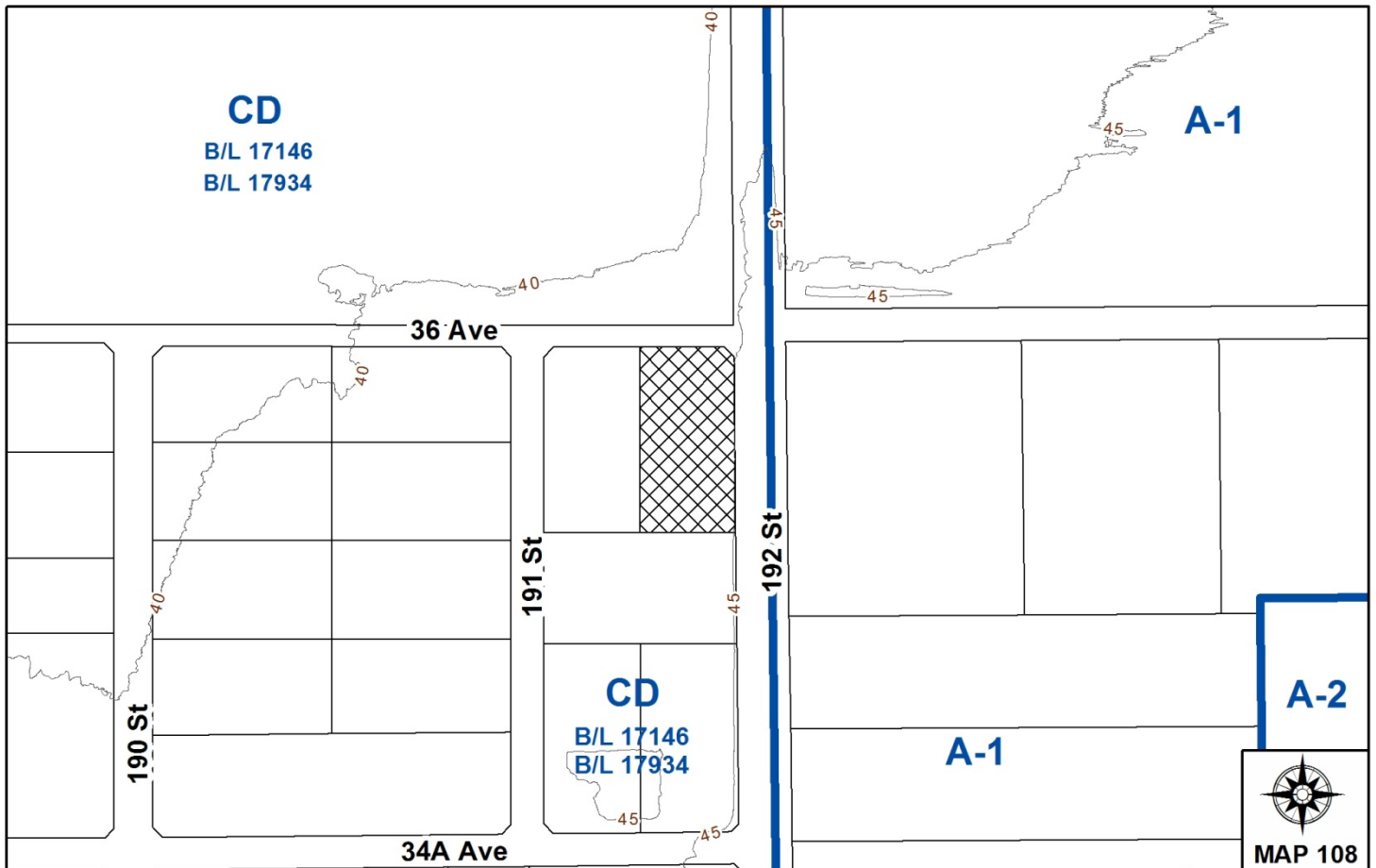
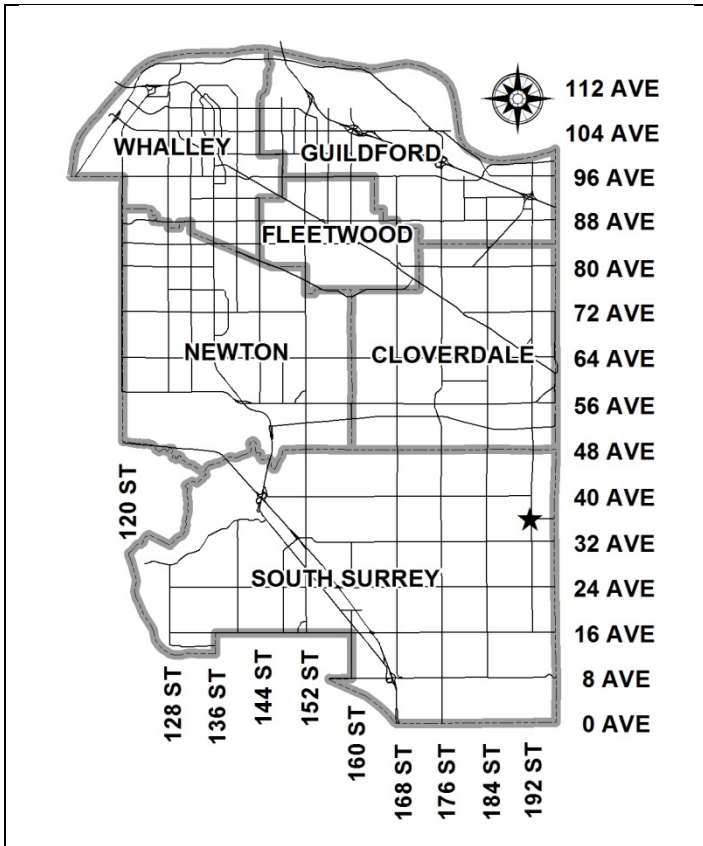
LOCATION: 19180 - 36 Avenue

OWNER: City of Surrey with the Surrey City Development Corporation (SCDC) as the Beneficial Owner

ZONING: CD (By-law Nos. 17146 & 17934)

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Business Park and Landscape Strips



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to the Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Development Variance Permit to allow stairs within the required side yard setback area.

RATIONALE OF RECOMMENDATION

- Complies with OCP Designation and the Campbell Heights Business Park Local Area Plan (LAP).
- The development is consistent with the Campbell Heights North Design Guidelines registered on the site.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7915-0131-00 generally in accordance with the attached drawings (Appendix II).
2. Council approve Development Variance Permit No. 7915-0131-00 (Appendix IV) varying the following, to proceed to Public Notification:
 - (a) to vary the height of stairs encroaching on the required building setback from a maximum of three (3) risers to a maximum of twenty (20) risers.
3. Council instruct staff to resolve the following issues prior to approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) provision of acceptable truck turning movement drawings to the satisfaction of the General Manager of Engineering; and
 - (e) Registration of an access easement with the property to the west (19130 - 36 Avenue) to establish a shared access easement.

REFERRALS

- Engineering: The Engineering Department has no requirements relative to the Development Permit, as stated in Appendix III.
- Surrey Fire Department: The Fire Department has no concerns with the proposal.

SITE CHARACTERISTICS

Existing Land Use: Undeveloped industrial lands located in the Campbell Heights Phase III lands.

Adjacent Area:

Direction	Existing Use	OCP/ LAP Designation	Existing Zone
North (Across 36 Avenue):	Vacant undeveloped industrial land under Application No. 7915-0028-00 to construct a light manufacturing/warehouse facility	Mixed Employment/ Business Park	CD (By-law Nos. 17146 & 17934)
East (Across 192 Street):	Undeveloped industrial land under Application No. 7907-326-00 to create eight future business park lots	Mixed Employment/ Business Park (Office)	A-1
South:	Undeveloped industrial land	Mixed Employment/ Business Park	CD (By-law Nos. 17146 & 17934)
West:	Undeveloped industrial land	Mixed Employment/ Business Park	CD (By-law Nos. 17146 & 17934)

DEVELOPMENT CONSIDERATIONSBackground

- The subject property is located in the Campbell Heights North area, within Phase III of the business park. The site will be bounded by a newly constructed 36 Avenue (local road) to the north and existing 192 Street (arterial road) to the east. The net site area will measure approximately 0.67 hectares (1.66 acres).
- All of the Campbell Heights Phase III lands are designated "Mixed Employment" in the Official Community Plan (OCP), "Business Park" in the Campbell Heights Local Area Plan (LAP) and were zoned for Comprehensive Development (CD) under development application No. 7910-0032-00.
- The CD By-law (No. 17146 and 17936) governing the uses of the site, allows for light impact industry, warehouse uses, distribution centres, limited office and other accessory uses, forming part of a comprehensive design.
- The subject property was originally created under subdivision application No. 7912-0159-00 in October 2014. The property and surrounding properties are currently devoid of trees and vegetation.

Proposal

- The applicant, Hayer Builders Group, is applying for a Development Permit to regulate the form and character of a new industrial building consisting of one unit of warehouse space with accessory office space reserved for the applicant, plus five leasable warehouse units.
- The proposal comprises of a building with a total floor area of 3,346 square metres (36,000 square feet) representing a gross floor area ratio (FAR) of 0.50. In total, the building consists of 2,554 square metres (27,490 square feet) of warehouse space, 473 square metres (5,090 square feet) of accessory office space, and 300 square metres (3,229 square feet) of future mezzanine area. Individually, the six (6) units range in size from 345 square metres (3,714 square feet) to 459 square metres (4,940 square feet).

Site Access and Parking

- Passenger vehicle access to the site will be provided via 36 Avenue. Passenger vehicle circulation within the site will be accommodated with a one-way drive aisle that circulates the perimeter of the building. An access easement is proposed with the property to the west (19130 – 36 Avenue) to provide truck access from future 36 Avenue and future 191 Street.
- Pedestrian access to the site will be available via two stairway connections – an entry plaza at the corner intersection of 36 Avenue and 192 Street, and at the southeast corner of the site from 192 Street. Both pedestrian accesses will connect to the multi-use pathway located along 192 Street.
- The proposal includes a total of 34 parking stalls, including 2 handicap stalls, exceeding the Zoning By-law parking requirement of 31 stalls and to account for potential future mezzanine areas within the warehouse units (units 102 – 106).

Site Layout and Design

- The main entry to the building will be the unit reserved for Hayer Building Group (Unit 101) situated closest to the intersection of 192 Avenue and 36 Avenue. The two-storey office area facing 192 Street will create street presence, anchor the site and provide for easy wayfinding. Each individual unit will have an entry located along 192 Street.
- The proposed truck bays are located in close proximity to the vehicle access on 36 Avenue adjacent to the west property line. The loading areas will be screened to a height of 3.7 metres (12 feet) with an architectural screen consisting of a combination of concrete columns and landscaping in accordance with the requirements of the Zoning By-law.

Design Proposal and Review

- The proposed building is consistent with the design guidelines outlined in the Campbell Heights North Design Guidelines and reflective of the standards within this area. The development concept behind Campbell Heights is a high quality, sustainable industrial business park.

- The proposed concrete tilt-up building will have a modern linear appearance with architectural emphasis placed on the corner unit closest to the intersection of 36 Avenue and 192 Street with a cantilevered office space on the second storey. The face of the office component is distinctively articulated with an emphasis on glazing, metal and wood appearance cladding, and a balcony with glass railing.
- The face of the respective warehouse units will be articulated with use of glazing, vertical aluminum solar fins, and painted concrete in a dark grey colour ("Great Graphite"). Complementary building colours of white ("Mercury") and medium blue ("Wakeby Beach") are used to provide additional detailing.
- The west elevation of the building will facilitate truck loading operations with four dock bays and six grade level bays. In keeping with the Campbell Heights guidelines, the loading area will be fully screened from the side yard view with an architectural screen consisting of concrete columns and landscaping.
- 192 Street has a substantially higher elevation than the finished grade of the site, approximately up to 3.8 metres (12 feet). As a result, the parking lot will be less visible from the street level and the proposed landscaping along the road frontage will provide additional screening.

Landscaping

- The landscaping plan for the site proposes 41 new trees (including serviceberry, mountain ash and flowering ash), along with shrubs, groundcovers, and grasses to be planted on-site in the parking lot and in the landscaping strips surrounding the site. The intent of the proposed landscaping is to introduce a variety of layered plantings to visually break up the scale of the building, partially screen parking, and enhance the presence of the site.
- The proposal will provide the full 6 metre (20 feet) wide landscaping strips along all road frontages of 36 Avenue and 192 Street as per the Zoning By-law requirements. The landscaping strip along 36 Avenue will incorporate a planted bioswale – complete with rain gardens, cobbles and other vegetation, to treat storm water runoff and allow for bio-filtration as required within Campbell Heights.
- The vehicular access to the site will be finished with saw cut and broom finished concrete. Additional finished on-site pathways and stairways will provide direct pedestrian connections between the street and the building where grades allow. Bench seating will be provided at the northeast entry plaza and main entry of the building for staff and visitors.
- Bike racks will be provided at both the north and south ends of the building in proximity to pedestrian access points.
- The site's garbage area and pad-mounted transformer (PMT) are located at the rear of the building and will be screened in keeping with Campbell Heights design guidelines.

PRE-NOTIFICATION

- A Development Proposal sign was posted on the site May 27, 2015 and the proposal was referred to the Little Campbell Watershed Society (LCWS) for review and comment. To date, staff have received no comments from surrounding property owners regarding the proposal.
- The LCWS has provided comments indicating that there are no objections to the proposal and no apparent short-term impact perceived on the Little Campbell River.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on May 5, 2015. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The proposed development is consistent with the OCP and Campbell Heights Land Use Plan.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed density is consistent with the existing zoning.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Rain water management design features including a bioswale, natural landscaping and sediment control devices will be incorporated. • Composting, recycling, and organic waste pickup will be made available.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • Pedestrian oriented infrastructure will be accommodated through available bicycle racks, lighting, and entrance canopies.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • The site will utilize Crime Prevention through Environmental Design (CPTED) principles.
6. Green Certification (F1)	<ul style="list-style-type: none"> • The building will be designed to implement the requirements of ASHRAE 90.1 standards as required by the current BC Building Code.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • Principles of thermal mass are utilized in tilt-up concrete panels. The concrete panels will be manufactured with fly-ash concrete/recycled material. • Daylighting through the use of skylights will permit natural light.

BY-LAW VARIANCES AND JUSTIFICATION

(a) Requested Variance:

- To vary the heights of stairs encroaching on a required building setback from a maximum of three (3) risers to a maximum of twenty (20) risers for two stairway connections located within the required east side yard setback at the northeast and southeast corners of the site.

Applicant's Reasons:

- Given that 192 Street is substantially higher in elevation than the finished grade of the site, the two stairway connections will provide pedestrian access to the site and connect to the multi-use pathway located along 192 Street.
- The stairway located at the northeast corner of the site will be incorporated into the entry plaza.

Staff Comments:

- The finished grade of the site is significantly lower than 192 Street (up to 3.8 metres [12 feet]). Two stairways are proposed with up to twenty (20) risers to ensure pedestrian connection to 192 Street is available, including the multi-use pathway at street level.
- Staff are supportive of the variance to accommodate pedestrian connections to the subject site.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

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|---------------|-----------------------------------------------------------------|
| Appendix I. | Lot Owners, Action Summary and Project Data Sheets |
| Appendix II. | Site Plan, Building Elevations, Landscape Plans and Perspective |
| Appendix III. | Engineering Summary |
| Appendix IV. | Development Variance Permit No. 7915-0131-00 |

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Taylor Kurtz Architecture & Design Inc. and van de Zalm & Associates Inc., respectively, dated April 23, 2015 and March, 2015.

original signed by Nicholas Lai

Jean Lamontagne
General Manager
Planning and Development

DH/da

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Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Craig Taylor
 Taylor Kurtz Architecture & Design Inc.
 Address: 1183 - Odlum Drive
 Vancouver, BC V5L 2P6

 Tel: 604-569-3499

2. Properties involved in the Application
 - (a) Civic Address: 19180 - 36 Avenue

 - (b) Civic Address: 19180 - 36 Avenue
 Owner: City of Surrey with the Surrey City Development Corporation (SCDC) as
 the Beneficial Owner
 PID: 029-430-291
 Lot 11 Section 28 Township 7 New Westminster District Plan EPP41342

3. Summary of Actions for City Clerk's Office
 - (a) Proceed with Public Notification for Development Variance Permit No. 7915-0131-00 and bring the Development Variance Permit forward for an indication of support by Council. If supported, the Development Variance Permit will be brought forward for issuance and execution by the Mayor and City Clerk in conjunction with the final adoption of the associated Development Permit.

DEVELOPMENT DATA SHEET

Existing Zoning: CD (By-law No. 17146 & 17934)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		6,710 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	60%	38.7%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front - 36 Avenue	7.5 m	10.97 m
Rear	7.5 m	7.5 m
Side #1 (E) – 192 Street	9.0 m	13.67 m
Side #2 (W)	0.0 m	2.19 m
BUILDING HEIGHT (in metres/storeys)		
Principal	14 m	10.5 m
Accessory		
FLOOR AREA: Industrial	4,026 m ²	3,346 m ²
TOTAL BUILDING FLOOR AREA		3,346 m ²
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	1.00	0.50
PARKING (number of stalls)		
Commercial		
Industrial		34 stalls
Total Number of Parking Spaces		34 stalls
Number of disabled stalls		2 stalls
Number of small cars		

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

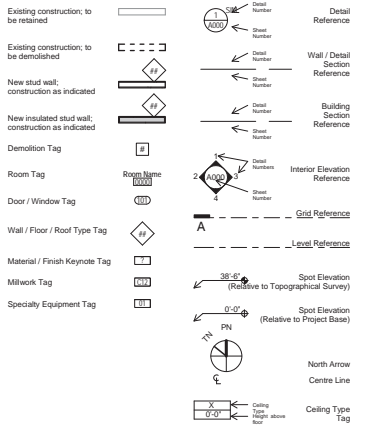
BUILDING CODE SUMMARY:

Item	Level	Area	Area/Height	Occupancy
Building Area (Level 1)	1	11,200	11.2m	Office
Net Floor Area				
Level 1	1	11,200	11.2m	Office
Level 2	2	11,200	11.2m	Office
Level 3	3	11,200	11.2m	Office
Level 4	4	11,200	11.2m	Office
Level 5	5	11,200	11.2m	Office

3.2.1 LIGHTING AND EMERGENCY POWER SYSTEMS
 3.2.1.1 MINIMUM LIGHTING REQUIREMENTS ALL EXTERIOR TERRACES ARE TO BE ILLUMINATED.
 3.2.1.2 MINIMUM LIGHTING REQUIREMENTS ALL EXTERIOR TERRACES ARE TO BE ILLUMINATED.
 3.2.1.3 MINIMUM LIGHTING REQUIREMENTS ALL EXTERIOR TERRACES ARE TO BE ILLUMINATED.
 3.2.1.4 MINIMUM LIGHTING REQUIREMENTS ALL EXTERIOR TERRACES ARE TO BE ILLUMINATED.
 3.2.2 MEZZANINES AND OPENINGS THROUGH FLOOR ASSEMBLIES
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 3.2.2.2 ALL MEZZANINES AND OPENINGS THROUGH FLOOR ASSEMBLIES SHALL BE ILLUMINATED.
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 3.2.2.4 ALL MEZZANINES AND OPENINGS THROUGH FLOOR ASSEMBLIES SHALL BE ILLUMINATED.
 3.2.3 SAFETY WITHIN FLOOR AREAS
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 3.2.3.2 SAFETY WITHIN FLOOR AREAS SHALL BE ILLUMINATED.
 3.2.3.3 SAFETY WITHIN FLOOR AREAS SHALL BE ILLUMINATED.
 3.2.3.4 SAFETY WITHIN FLOOR AREAS SHALL BE ILLUMINATED.
 3.2.3.5 SAFETY WITHIN FLOOR AREAS SHALL BE ILLUMINATED.

Item	Level	Area	Area/Height	Occupancy
Level 1	1	11,200	11.2m	Office
Level 2	2	11,200	11.2m	Office
Level 3	3	11,200	11.2m	Office
Level 4	4	11,200	11.2m	Office
Level 5	5	11,200	11.2m	Office

GRAPHIC & SYMBOL LEGEND



DRAWING INDEX:

Reference	Description
ARCHITECTURAL	
A000	Project Data
A001	Context Plan
A100	Site Plan
A101	Floor Plan - Level 1
A102	Floor Plan - Mezzanine Level
A103	Floor Plan
A300	Building Elevations
A301	Building Elevations
A303	3D Views
A400	Building Sections
A401	Signage

ZONING SUMMARY:

PROJECT NAME: Hayer Business Park
 PROJECT ADDRESS: 19180 36th Ave., Surrey
 LEGAL DESCRIPTION: Lot 11, Sec 28 TWP 7 M0P EPR4142 P.D. 029-430-201

SETBACKS: Proposed Front Yard 10.97m (36')
 Required Front Yard 7.5m (25')

EASEMENTS: Proposed Access Easement as shown on A100 - Site Plan
 AUTHORITY: City of Surrey

ZONE: Comprehensive development (C3)
 USES: Light Industrial and Accessory Offices

Gross Floor Area: 3,027 sqm (32,580 sf)
 Site Area: 6,706 sqm (72,180 sf)
 Site Coverage: 38.1%
 Height: 110.5m (34' - 6")
 Permitted: 13.7m (45')

Parking: 34 stalls
 Required: Light Industrial/1700sm - 30

Loading: 4 Dock Bays, 6 Cradle Bays

AREA & PARKING SUMMARY				
Level	Name	Area (SF)	Parking Req'd	
			Factor (1/Weeb)	Spaces
LEVEL 1	101	4,210	1,075.0	3.9
LEVEL 1	102	4,850	1,075.0	4.5
LEVEL 1	103	4,500	1,075.0	4.8
LEVEL 1	104	4,850	1,075.0	4.5
LEVEL 1	105	4,940	1,075.0	4.6
LEVEL 1	106	3,720	1,075.0	3.5
LEVEL 2	Mezz 1	5,000	1,075.0	4.7
LEVEL 2	Mezzanine (Future)	0	1,075.0	0.0
Grand total		32,580	30.3	30.3
		32,580		30.3

PROJECT TEAM:

OWNER
 Hayer Builders Group
 16317 - 36 Avenue, Surrey
 P. 604.535.8587 F. 604.535.8588
 Ray Hayer

ARCHITECTS
 Taylor Kurtz Architecture + Design Inc.
 102-1183 Oudem Drive, Vancouver, BC
 P. 604.569.3499 F. 604.569.1394
 Craig Taylor, Architect, ABC | Craig Mitchell

STRUCTURAL ENGINEER
 Weiler Smith Bowers Consulting
 118-3825 Hurlingham Drive, Burnaby, BC
 P. 604.294.3753 F. 604.294.3754
 Joshua Peters

MECHANICAL ENGINEER
 SRC Engineering Consultants Ltd.
 205-4180 Loughheed Hwy, Burnaby, BC
 P. 604.268.9091 F. 604.268.9492
 Bill Khouraya

ELECTRICAL ENGINEER
 SRC Engineering Consultants Ltd.
 205-4180 Loughheed Hwy, Burnaby, BC
 P. 604.268.9091 F. 604.268.9492
 Ramon Allinas

CIVIL ENGINEER
 Aplin & Martin Consultants Ltd.
 201-1248-82nd Avenue, Surrey, BC
 P. 604.597.9058 F. -
 Jassem Boucher

BUILDING ENVELOPE CONSULTANT
 CSA Building Sciences Western Ltd.
 12-62 Fawcett Road, Coquitlam, BC
 P. 604.523.1366 F. 604.385.6246
 Ralph Jack

LANDSCAPE ARCHITECT
 van der Zalm + Associates
 Suite 1, 20777 - 97 Avenue, Langley, BC
 P. 604.882.0024
 Stephen Heller

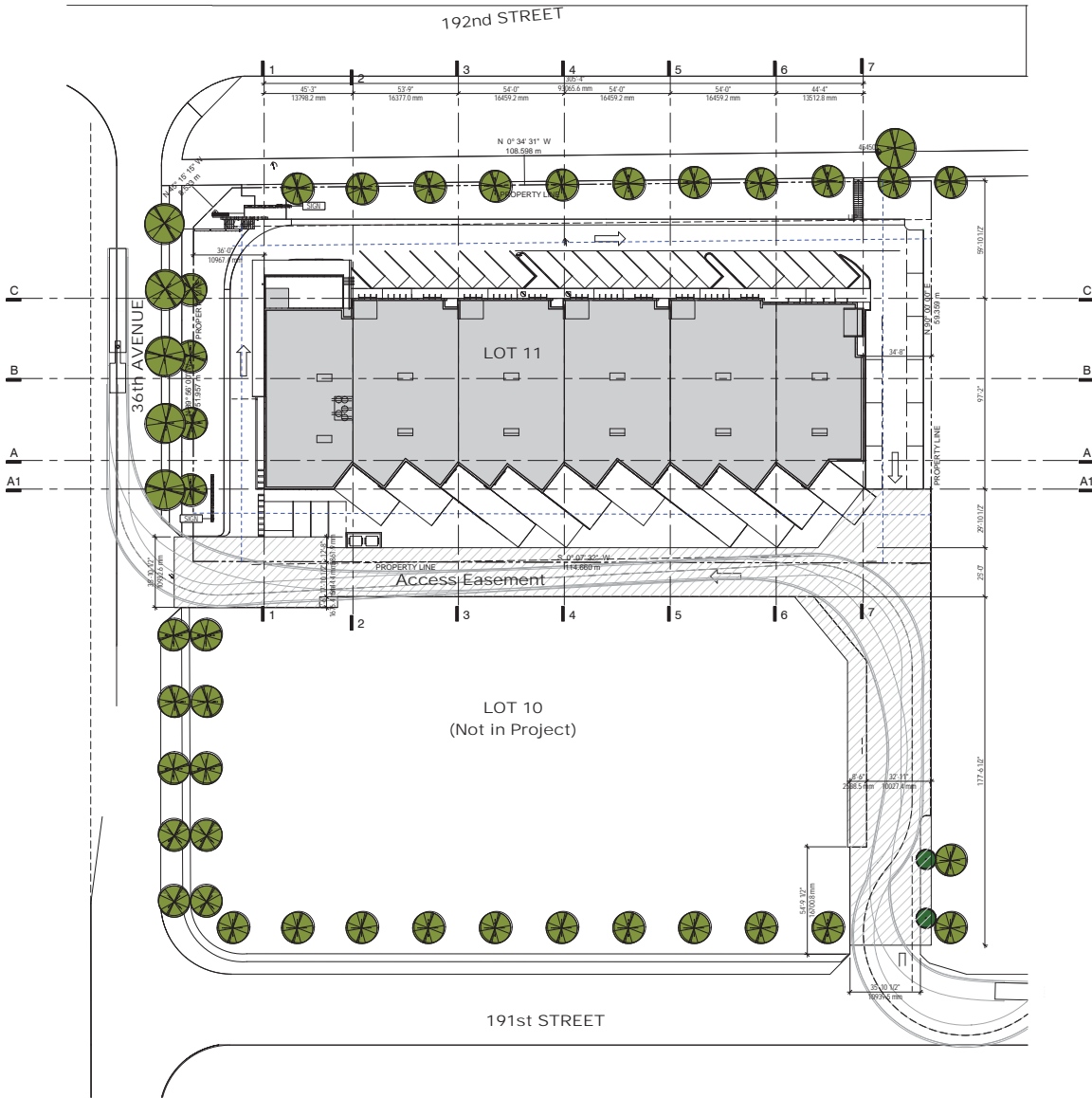
GENERAL CONTRACTOR
 TBD
 P. -

GEOTECHNICAL
 Western Geotechnical Consultants Ltd.
 103-19140 22nd Avenue, Surrey, BC
 P. 604.385.4244 Ext 103 F. 604.385.4242
 Chander Khosla



TAYLOR KURTZ ARCHITECTURE + DESIGN INC.
 Hayer Business Centre
 19180 36th Ave., Surrey, BC

Project Data
 A000



1 Context Plan
1" = 30'-0"



TKA+D
Hayer
BUILDERS
GROUP

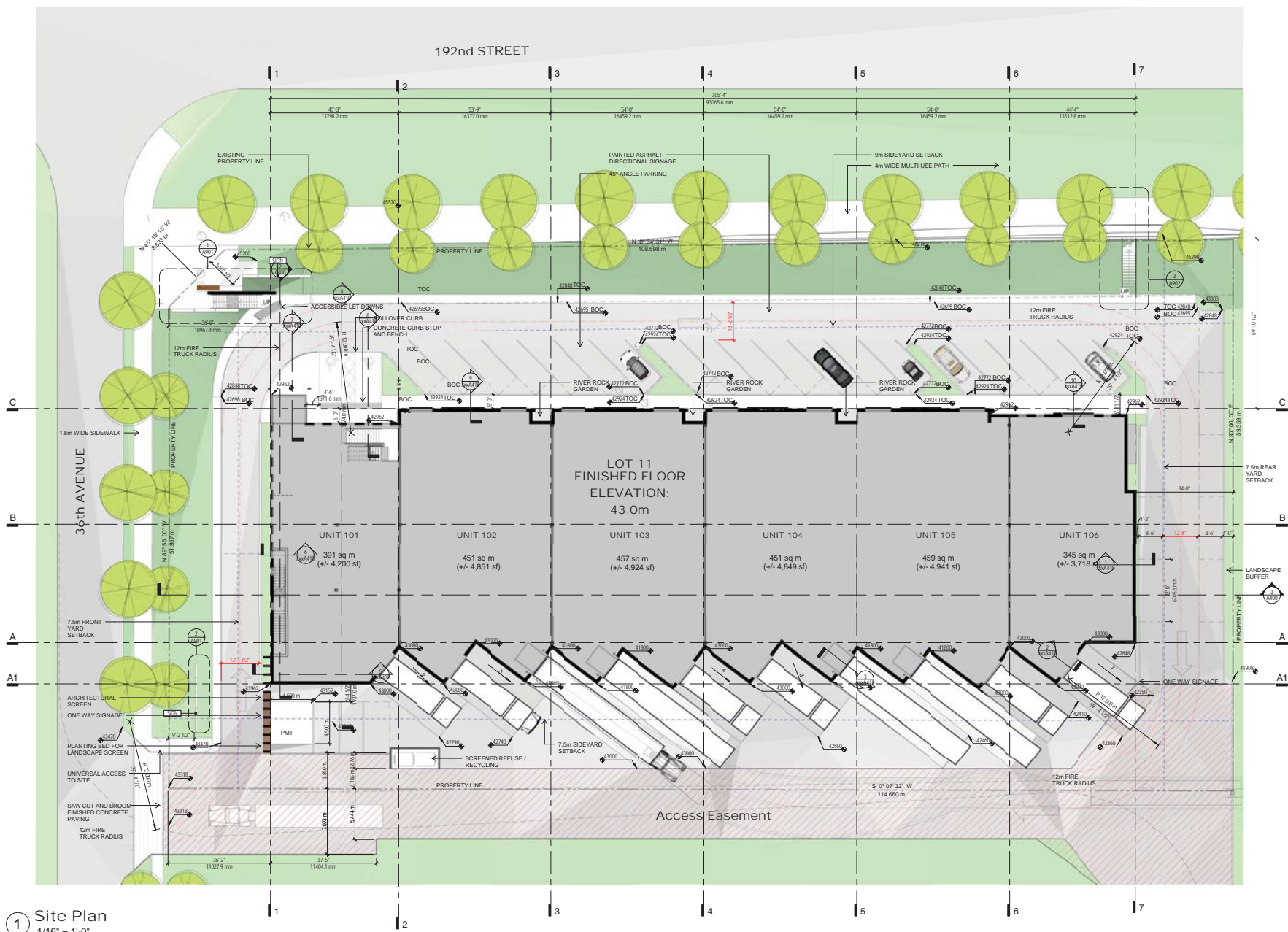
KEYNOTE LEGEND
TAG DESCRIPTION
SIGN SIGNAGE BY OWNER

1 15.04.23 Issued for DP

TAYLOR KURTZ
ARCHITECTURE + DESIGN INC.
Hayer Business Centre
19180 36th Ave, Surrey, BC

Context Plan

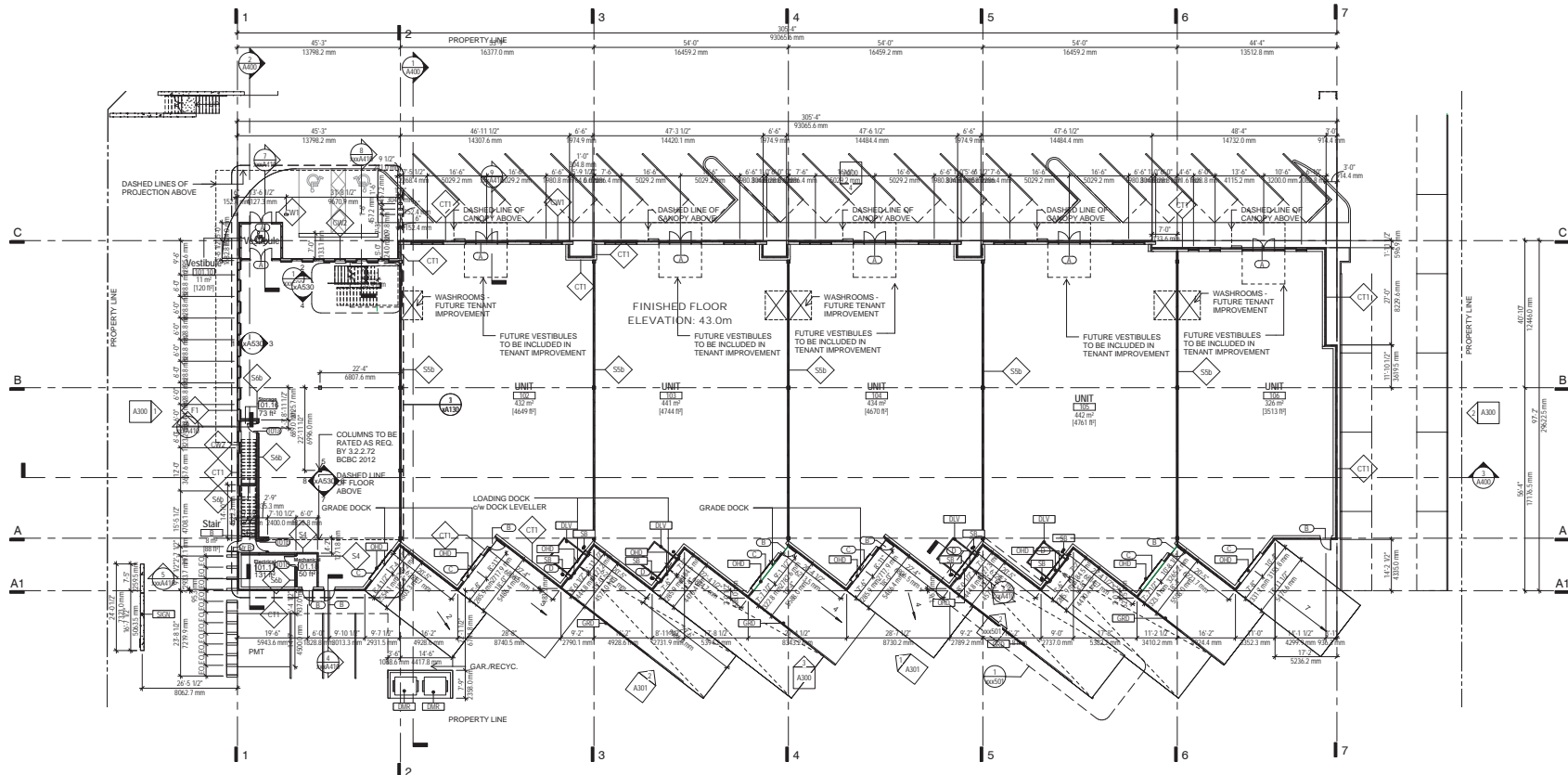
A001



① Site Plan
 1/16" = 1'-0"

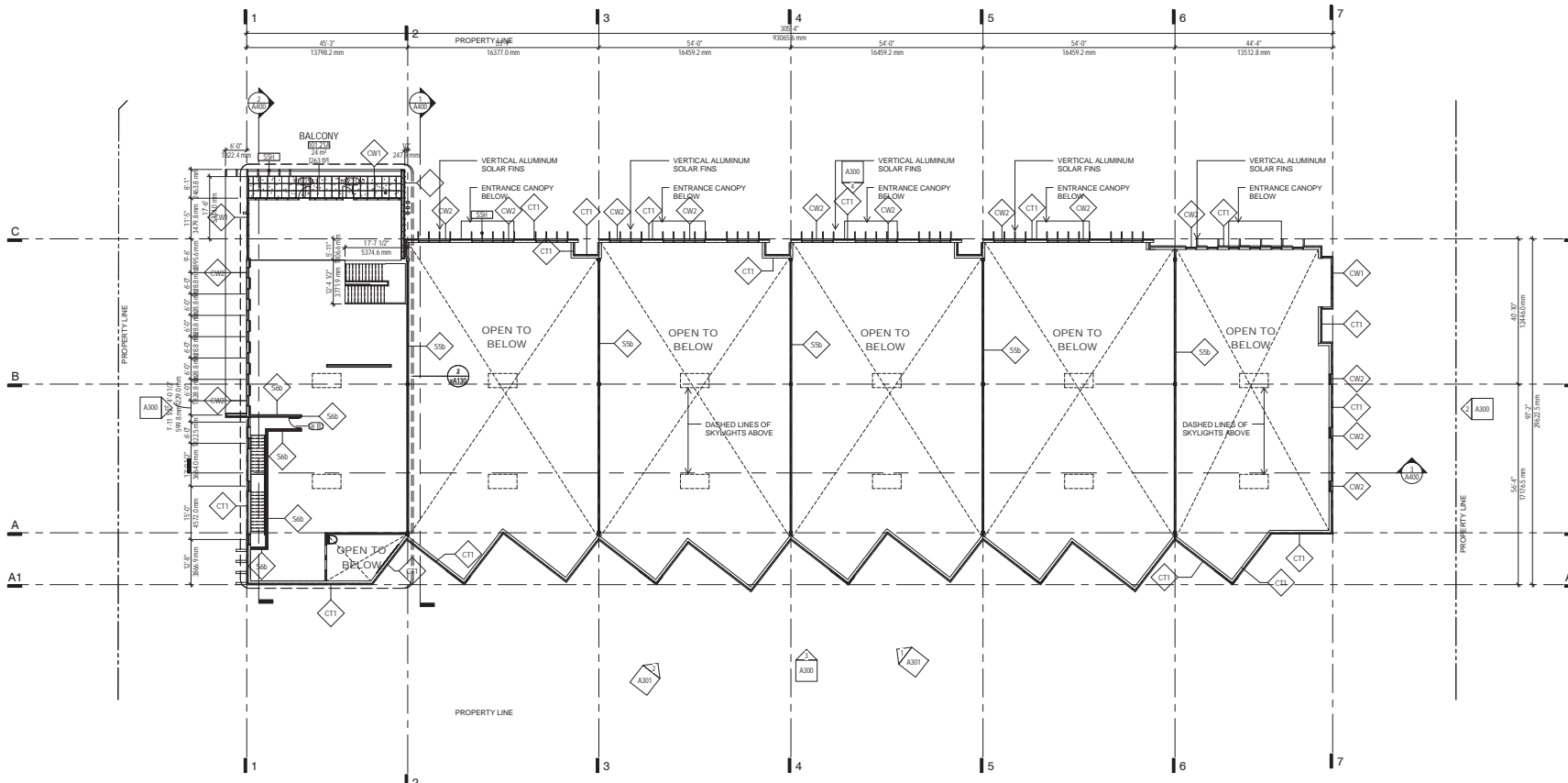
KEYNOTE LEGEND

TAG	DESCRIPTION
DLV	DOCK LEVELLER
SMR	SUMMER
GRD	GRADE DOCK
DB	DOCK BAY
SDR	SHED DOOR
SDR	SHED DOOR
SDR	SHED DOOR



① LEVEL 1
 1/16" = 1'-0"

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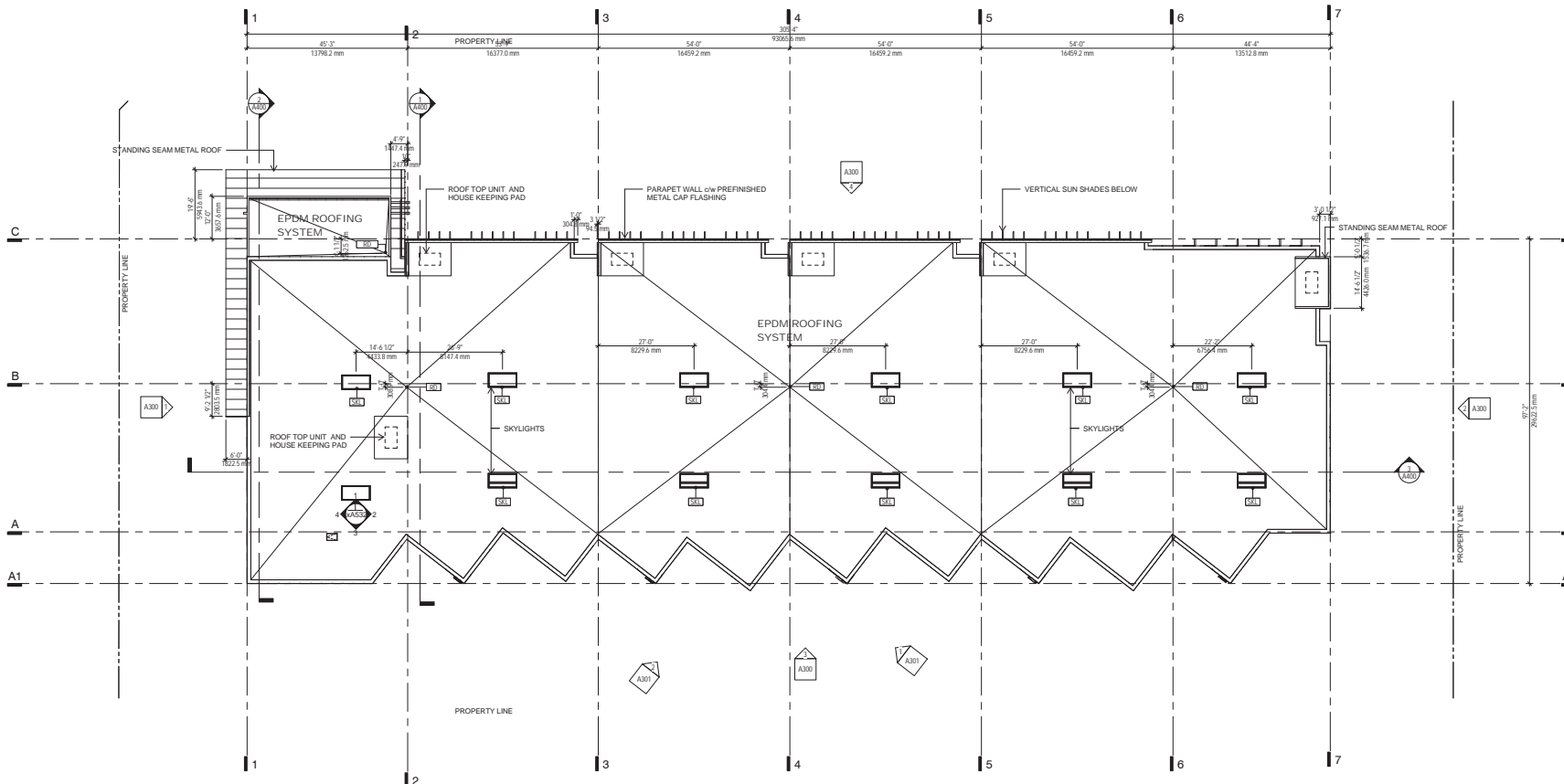


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① LEVEL 2
 1/16" = 1'-0"

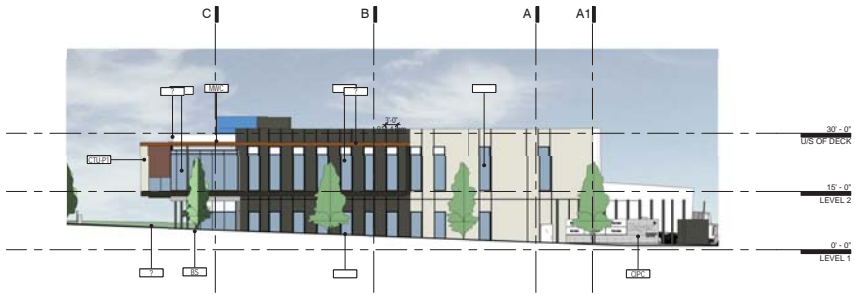
KEYNOTE LEGEND

TAG	DESCRIPTION
RD	ROOF DRAIN
SKL	SKYLIGHT

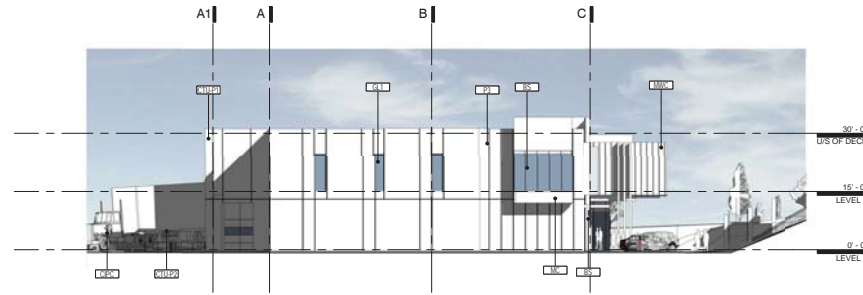


1 ROOF PLAN
 1/16" = 1'-0"

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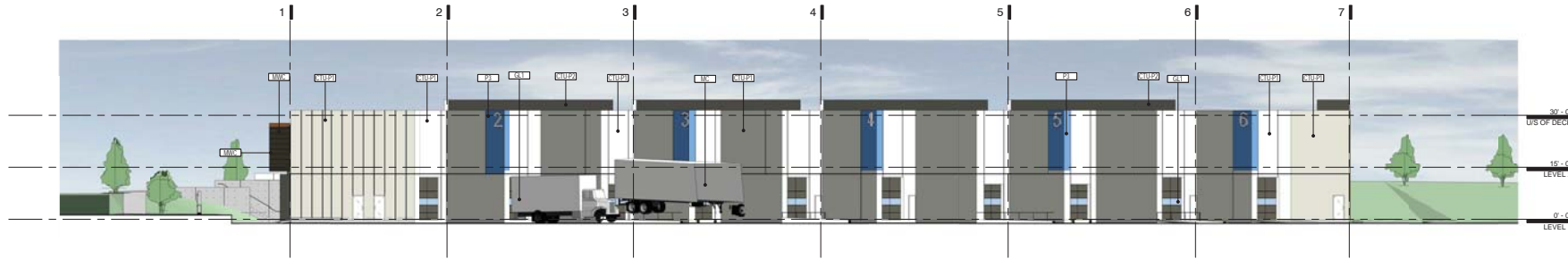
① North - 36th Ave
1/16" = 1'-0"



② South
1/16" = 1'-0"

KEYNOTE LEGEND

TAG	DESCRIPTION
BS	CAST IN PLACE CONCRETE
SPC	CONCRETE - TILT UP - PAINTED P1
CHU-P1	CONCRETE - TILT UP - PAINTED P1
CLDWS	GLAZING - TYPE 1
GLT	METAL GLAZING
MC	METAL WALL GLAZING
MWC	PAINT - COLOUR 3
P1	PAINT - COLOUR 1
SGN	SIGNAGE - BY TENANT



③ West - 191st Street
1/16" = 1'-0"



④ East - 192nd Street
1/16" = 1'-0"

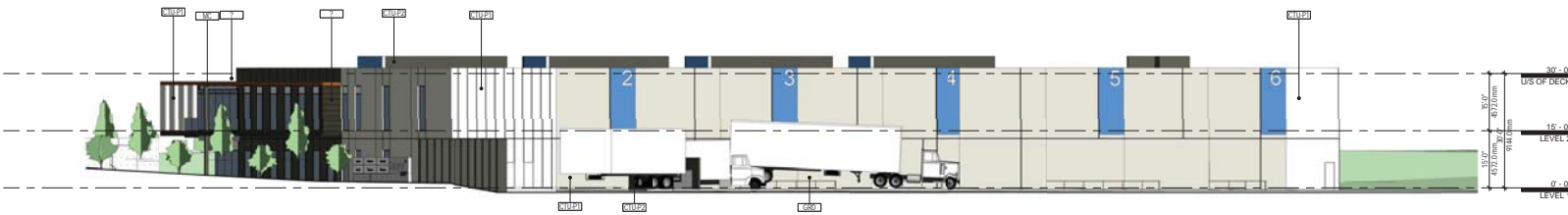
1 15.04.23 Issued for DP

KEYNOTE LEGEND

TAG	DESCRIPTION
CTD/P1	CONCRETE - TILT UP - PAINTED P1
CTD/P2	CONCRETE - TILT UP - PAINTED P2
SL	SLABING - TYPE 1
GB	GUARD RAIL
MC	METAL CLADDING - PAINT - COLOUR 3
P3	PAINT - COLOUR 3



① Elevation 1 - a
 1/16" = 1'-0"



② Elevation 2 - a
 1/16" = 1'-0"



View from North East



Rendering - View from North West

TKA+D
Hayer
 BUILDERS
 GROUP



View from South East



View from South East- Close Up

1 15.04.23 Issued for DP

TAYLOR KURTZ
 ARCHITECTURE + DESIGN INC
 Hayer Business Centre
 19180 36th Ave, Surrey, BC

3D Views

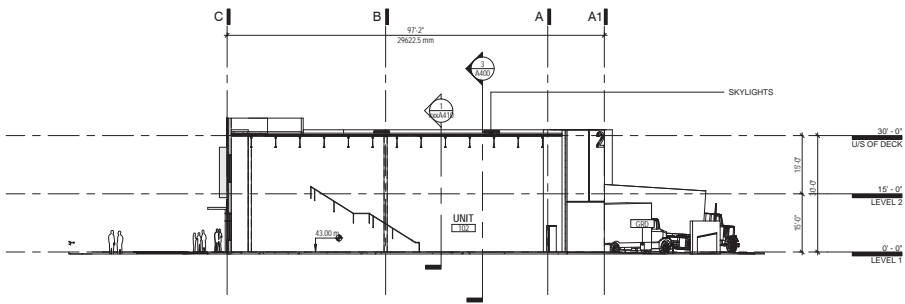
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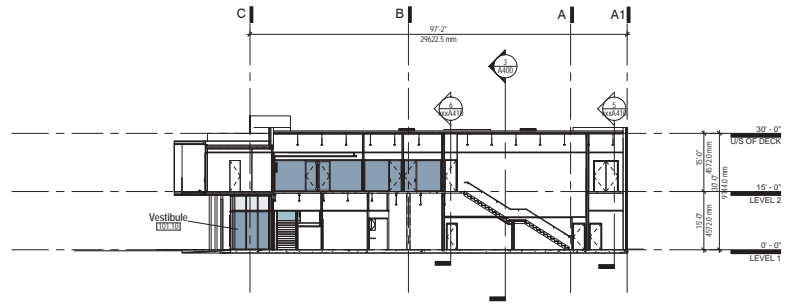
View from North East



View from North West



1 Section A
1/16" = 1'-0"



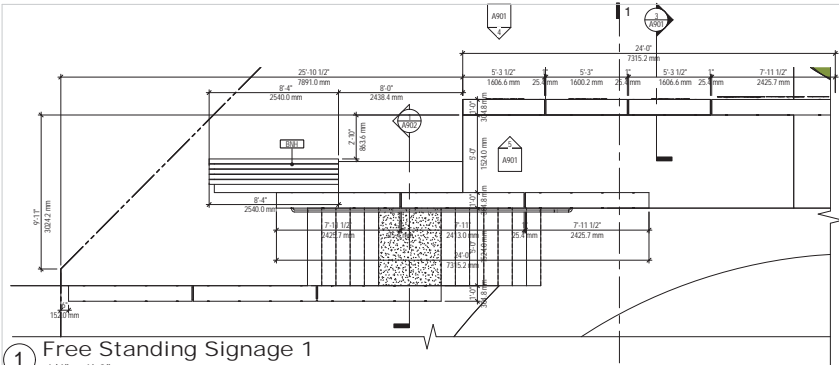
2 Section C
1/16" = 1'-0"



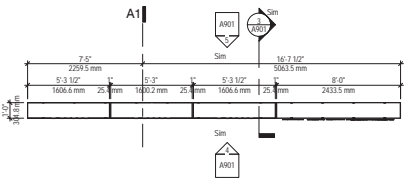
3 Section B
1/16" = 1'-0"

KEYNOTE LEGEND

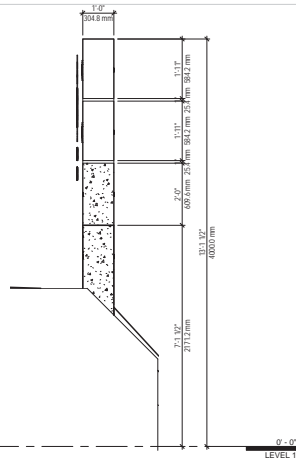
TAG	DESCRIPTION
CTU-P2	CONCRETE, TILT UP, PAINTED P2
GL1	GLAZING, TYPE 1
GR	GRADE FINISH
SKL	SKYLIGHT



1 Free Standing Signage 1
1/4" = 1'-0"



2 Free Standing Signage 2
1/4" = 1'-0"



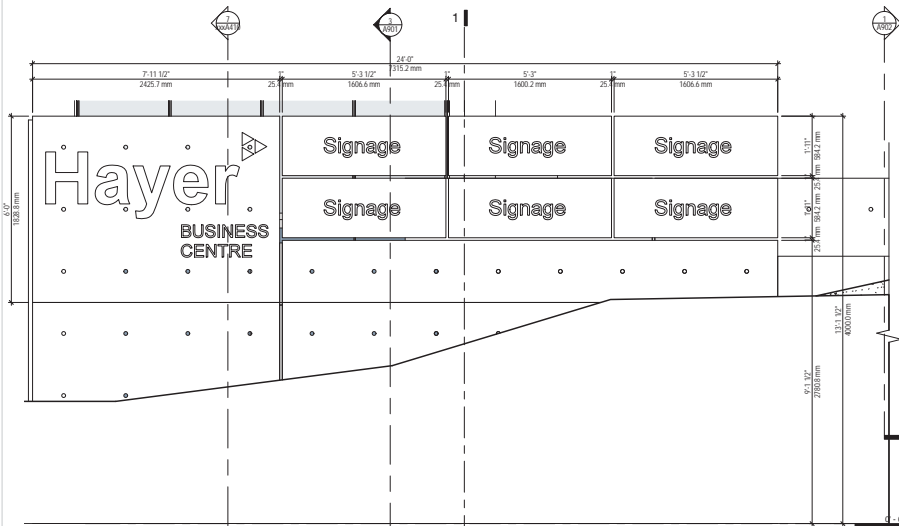
3 Signage Section
1/2" = 1'-0"



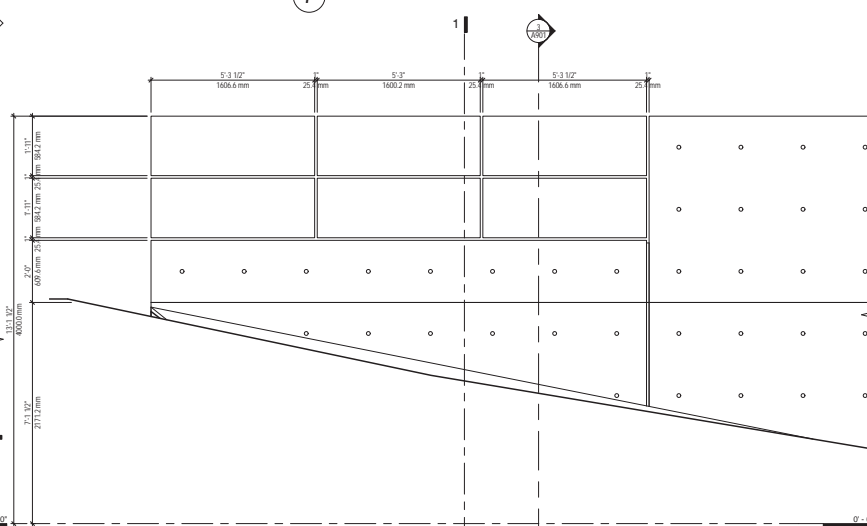
6 3D View - Signage 1



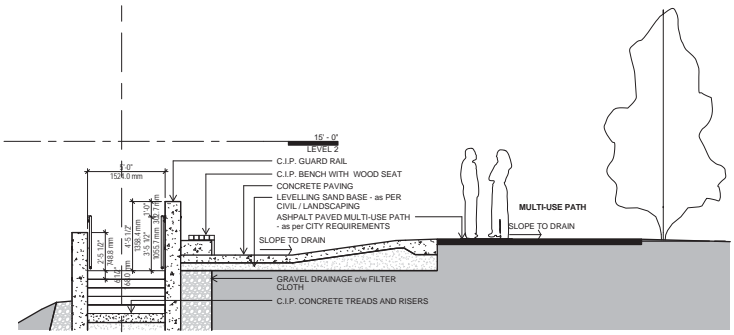
7 3D View - Signage 2



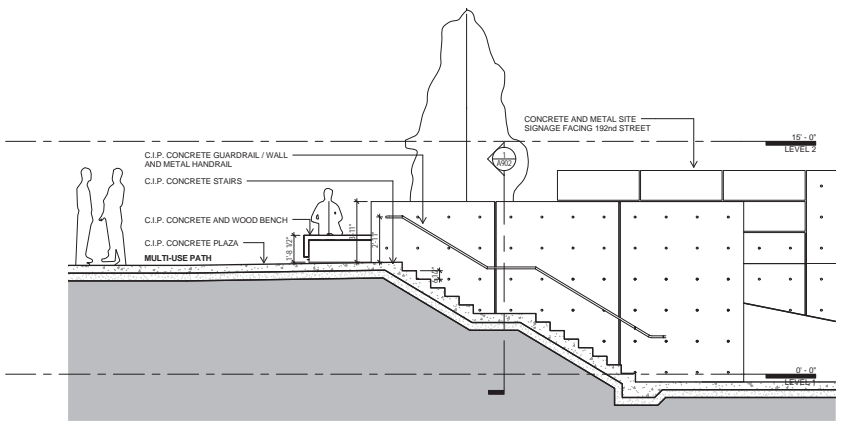
4 Signage - Elevation
1/2" = 1'-0"



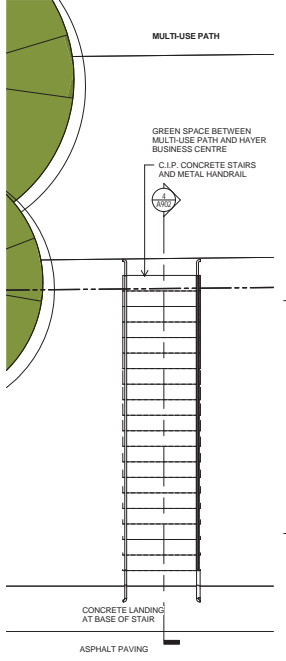
5 Signage - Elevation
1/2" = 1'-0"



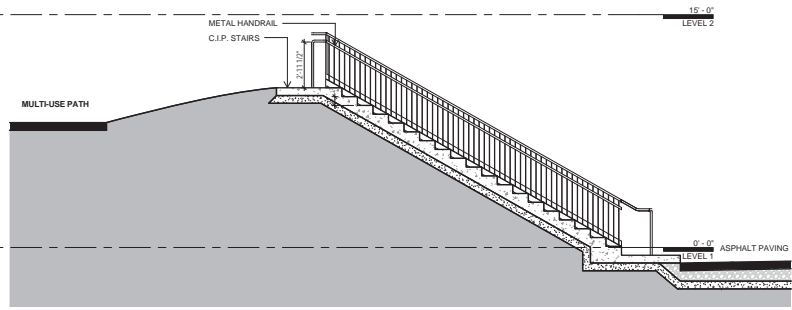
① Stair and Multi-Use Path Connection
 1/4" = 1'-0"



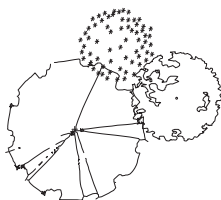
② Long Section through Stair at Multi-Use Path
 1/4" = 1'-0"



③ Stairs from Multi-Use Path
 1/4" = 1'-0"



④ Stairs from Multi-Use Path
 1/4" = 1'-0"



SCHEDULE

QUANTITY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	SPACING
TREES				
10	Amelanchier x grandiflora 'Autumn Brilliance'	Serviceberry	6 cm Cal	as per plan
16	Sorbus aucuparia	Mountain Ash	6 cm Cal	as per plan
15	Fraxinus ornus 'Arie Peters'	Flowering Ash	6 cm Cal	as per plan

NOTES:

- PLANT COUNTS ARE SITE TOTALS AND MEANT FOR CONVENIENCE ONLY.
- PLANTS IN THIS PLANT LIST ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12. CONTAINER GROWN PLANTS OF THE BC LANDSCAPE STANDARD, CURRENT EDITION.
- ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCLNA OR BCCLA GUIDELINES.
- TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
- AMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTORS EXPENSE.
- TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
 - SHRUBS: 450MM
 - SOD: 150MM
 - TREE PITS: 1000MM WITH 300MM (BELOW ROOT BALL)
- 1" MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.

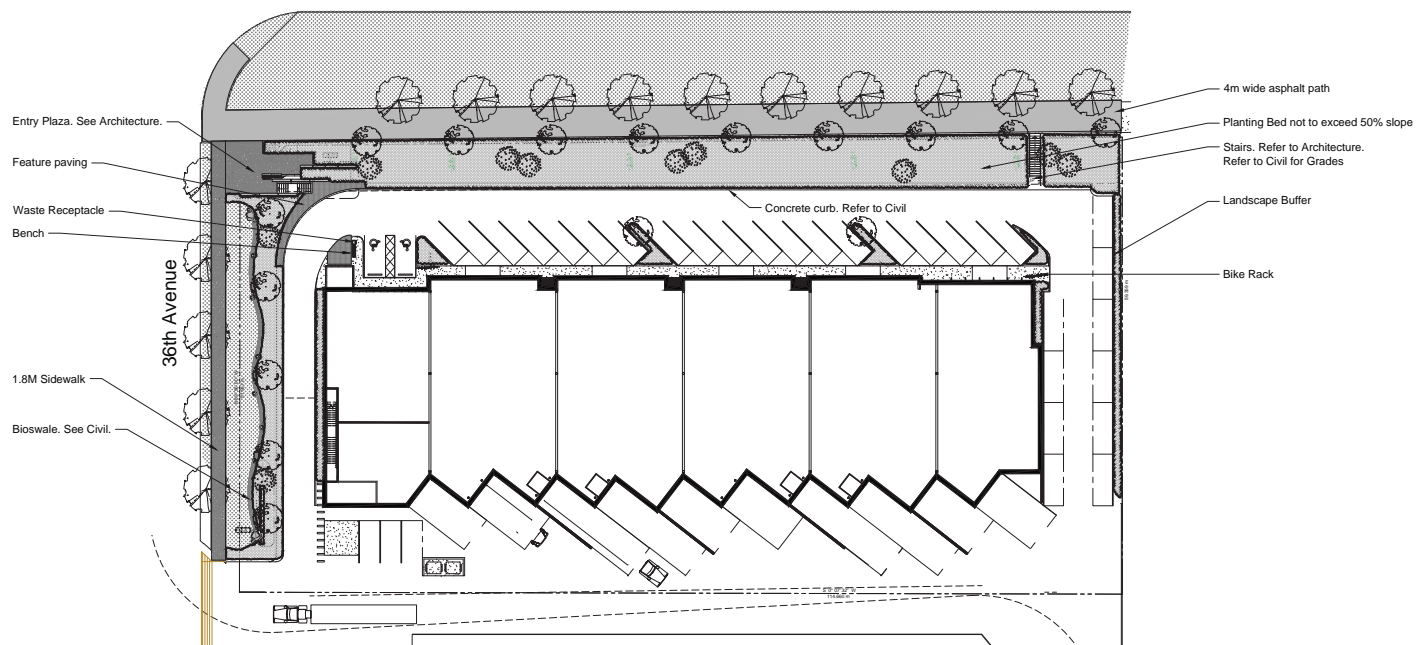
LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
[Pattern]		CONCRETE WALKWAY
[Pattern]	4 L-08	CLASSIC STANDARD PAVERS in charcoal Manufacturer: Northwest Landscape Supply
[Pattern]		ROCK GARDEN
[Symbol]	1 L-08	BENCH
[Symbol]	2 L-08	WASTE RECEPTACLE
[Symbol]		BOULDERS
[Symbol]		SHRUB PLANTING
[Symbol]		12" COBBLE CHANNEL AT BOTTOM OF SWALE

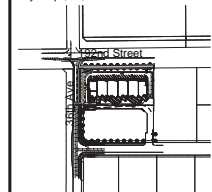
van der Zalm + associates inc.
 Parks & Recreation + Environmental Consulting
 Urban Design + Landscape Architecture
 Suite 1, 2017 57th Avenue
 Langley, British Columbia
 V1M 4B5
 P: 604.882.0024
 F: 604.882.0042
 info@vanzalm.com



192nd Street



Key Map (NTS)



No.	By	Description	Date
1	JT	Issued for Development Permit	April 23, 2015

REVISIONS TABLE FOR DRAWINGS
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Project:
HAYER BUSINESS PARK

Location:
19180 36TH AVE
SURREY, BC

Drawn: JT	Stamp:
Checked: SH	
Approved: MVDZ	Original Start Date: MARCH 2015
Scale: 1:300	<small>CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND PROFILES ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.</small>

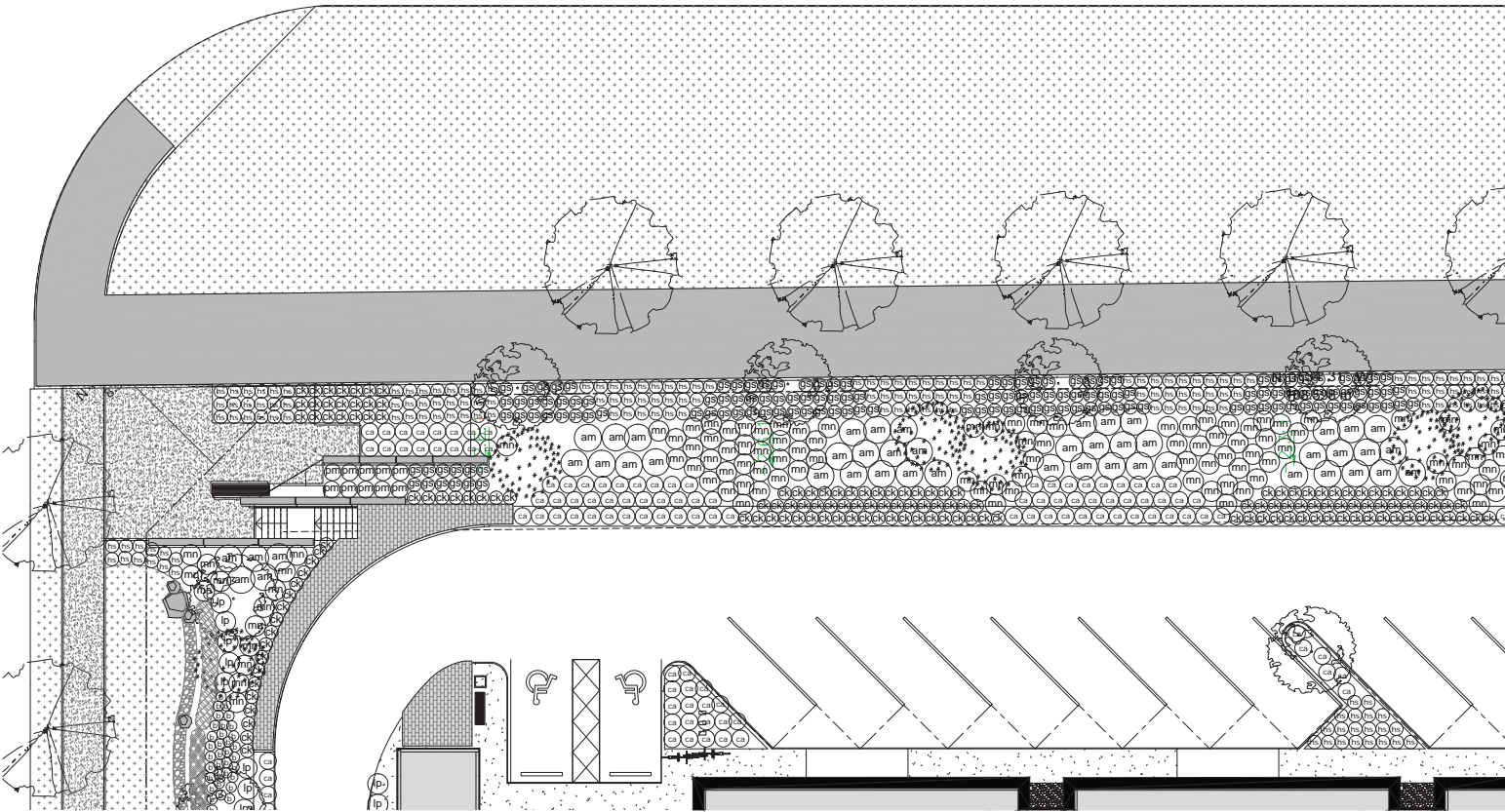
Drawing Title: **SITE AND TREE PLANTING PLAN**
 V02 Project #: **DP2015-09**
 Drawing #: **L-03**

\WORK\BIRMINGHAM\PROJECTS\15\DP2015-09\150315\150315-03-SITE AND TREE PLANTING.DWG

SHRUB SCHEDULE

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	SPACING
SHRUBS					
am	104	Amelanchier alnifolia	Saskatoon	#5 Pot	1200mm
ck	268	Cornus sericea 'Kelsery'	Kelsey Dwarf Dogwood	#2 Pot	500mm
gs	295	Gauchaeria shallon	Salal	#2 Pot	900mm
pm	10	Polystichum munium	Sword Fern	#2 Pot	750mm
mn	237	Mahonia Nervosa	Oregon Grape	#2 Pot	750mm
lp	102	Lonicera pileata	Boxleaf Honeysuckle	#2 Pot	1000mm
pl	44	Prunus lusitana	Portugal Laurel	#3 Pot	900mm
GRASSES					
ca	267	Carex morrowii 'Ice Dance'	Sedge	#2 Pot	750mm
hs	313	Helictotrichon sempervirens	Blue Oat Grass	#1 Pot	600mm
PERENNIALS					
st	57	Fragaria chiloensis	Beach Strawberry	#1 Pot	450mm
jr	73	Juncus effusus	Common Rush	#1 Pot	450mm
bs	57	Blechnum spicant	Deer Fern	#1 Pot	450mm
wt	17	Waldsteinia ternata	Barren Strawberry	#1 Pot	600mm

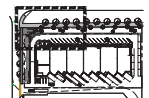
- NOTES:**
1. PLANT COUNTS ARE SITE TOTALS AND MEANT FOR CONVENIENCE ONLY.
 2. PLANTS IN THIS PLANT LIST ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12. CONTAINER GROWN PLANTS OF THE BC LANDSCAPE STANDARD, CURRENT EDITION.
 3. ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BC LNA OR BC SLA GUIDELINES.
 4. TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
 5. AMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTORS EXPENSE.
 6. TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
 A. SHRUBS: 450MM
 B. SOD: 150MM
 C. TREE PITS: 1000MM WITH 300MM (BELOW ROOT BALL)
 7. 1" MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.



van der Zalm + associates inc.
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 Suite 1, 2017 9th Avenue • P 604.882.0204
 Langley, British Columbia • F 604.882.0242
 V3M 4B9 • info@vzai.com



Key Map (NTS)



No.	By	Description	Date
1	JT	Issued for Development Permit	April 23, 2015

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Project:
 HAYER BUSINESS PARK
Location:
 19180 36TH AVE
 SURREY, BC

Drawn: JT
Checked: SH
Approved: MV/DZ
Stamp:
Original Start Date: MISC.

Scale:
 1:100
CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND PROJECTIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.

Drawing Title: **PLANTING PLAN**



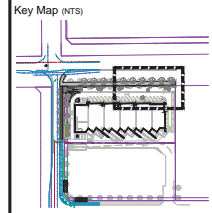
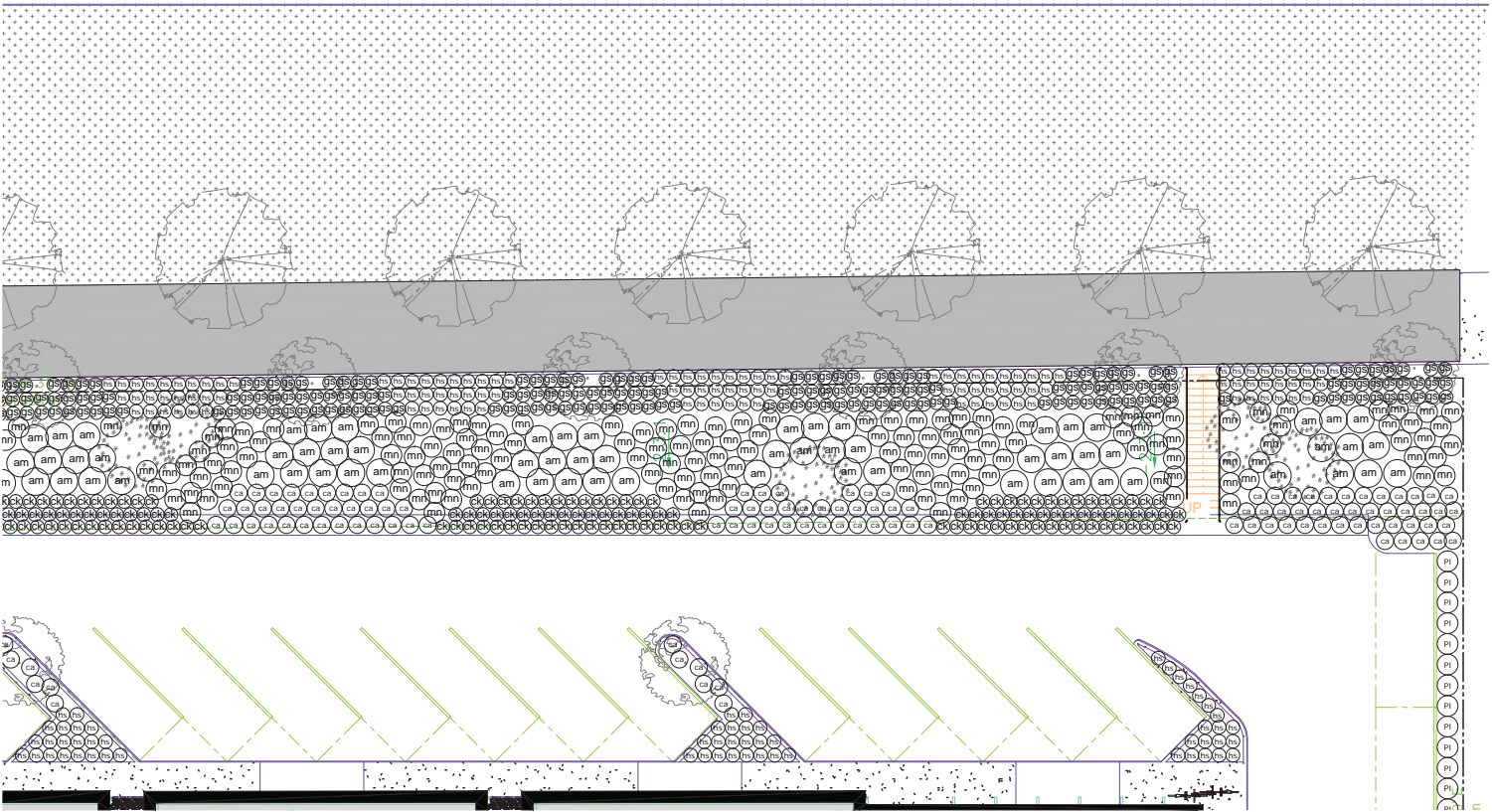
Project #: **DP2015-09**

Drawing #: **L-04**

SHRUB SCHEDULE

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	SPACING
SHRUBS					
am	104	Amelanchier alnifolia	Saskatoon	#5 Pot	1200mm
ck	268	Cornus sericea 'Kelseyii'	Kelsey Dwarf Dogwood	#2 Pot	500mm
gs	295	Gauchaeria shallon	Salal	#2 Pot	900mm
pm	10	Polystichum maritimum	Sword Fern	#2 Pot	750mm
mn	237	Mahonia Nervosa	Oregon Grape	#2 Pot	750mm
lp	102	Lonicera pileata	Boxleaf Honeysuckle	#2 Pot	1000mm
pl	44	Prunus lusciana	Portugal Laurel	#3 Pot	900mm
GRASSES					
ca	267	Carex morrowii 'Ice Dance'	Sedge	#2 Pot	750mm
hs	313	Helictotrichon sempervirens	Blue Oat Grass	#1 Pot	600mm
PERENNIALS					
fs	57	Fragaria chiloensis	Beach Strawberry	#1 Pot	450mm
jr	73	Juncus effusus	Common Rush	#1 Pot	450mm
bs	57	Blechnum spicant	Deer Fern	#1 Pot	450mm
wt	17	Waldsteinia ternata	Barren Strawberry	#1 Pot	600mm

- NOTES:
1. PLANT COUNTS ARE SITE TOTALS AND MEANT FOR CONVENIENCE ONLY.
 2. PLANTS IN THIS PLANT LIST ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS OF THE BC LANDSCAPE STANDARD, CURRENT EDITION.
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 - B. SOD: 150MM
 - C. TREE PITS: 1000MM WITH 300MM (BELOW ROOT BALL)
 7. 1" MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.



No.	By	Description	Date
1	JT	Issued for Development Permit	April 23, 2015

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Project:
HAYER BUSINESS PARK

Location:
 19180 36TH AVE
 SURREY, BC

Drawn: JT
 Checked: SH
 Approved: MVOZ
 Scale: 1:100

Stamp: [Stamp]
 Original Start Date: MARCH 2015

CONTRACTOR SHALL OBTAIN ALL PERMITS AND REPORTS FROM THE LOCAL GOVERNMENT BEFORE PROCEEDING. ALL DRAWINGS AND PROFILES ARE THE SOLE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.

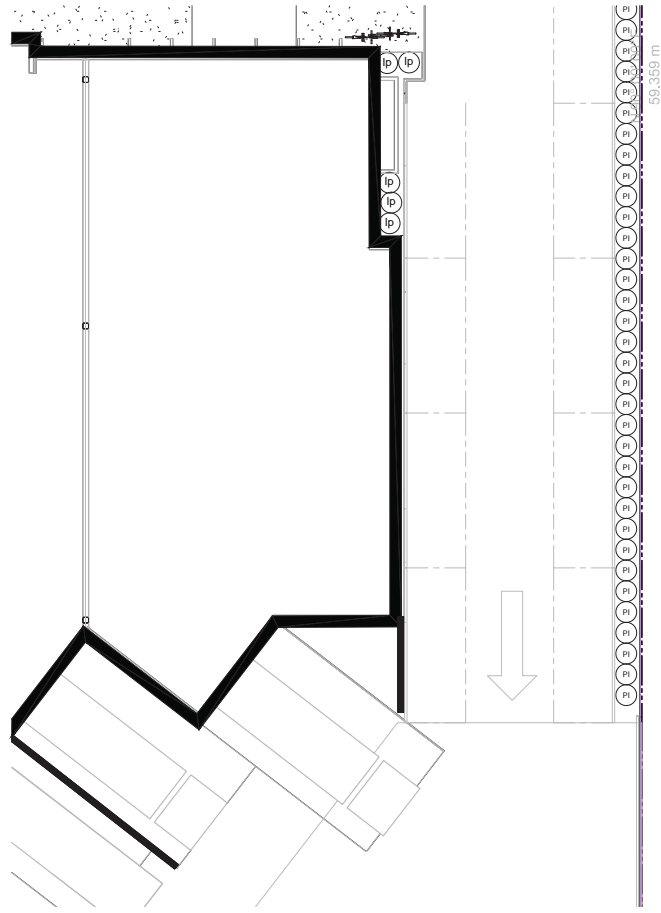
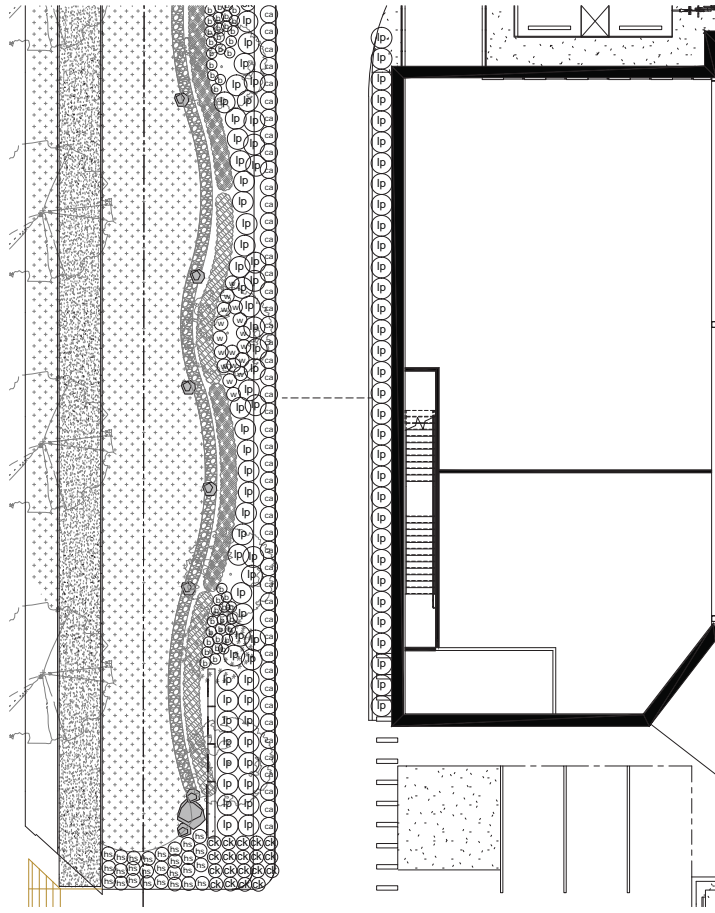


SHRUB SCHEDULE

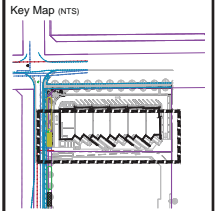
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	SPACING
SHRUBS					
am	104	Amelanchier alnifolia	Saskatoon	#5 Pot	1200mm
ck	268	Cornus sericea 'Kelsey'	Kelsey Dwarf Dogwood	#2 Pot	500mm
gs	295	Gaoutheria shallon	Salal	#2 Pot	900mm
pm	10	Polystichum murinum	Sword Fern	#2 Pot	750mm
mn	237	Mahonia Nervosa	Oregon Grape	#2 Pot	750mm
lp	102	Lonicera pileata	Boxleaf Honeysuckle	#2 Pot	1000mm
pl	44	Prunus lusciana	Portugal Laurel	#3 Pot	900mm
GRASSES					
ca	267	Carex morrowii 'Ice Dance'	Sedge	#2 Pot	750mm
hs	313	Helictotrichon sempervirens	Blue Oat Grass	#1 Pot	600mm
PERENNIALS					
57		Fragaria chiloensis	Beach Strawberry	#1 Pot	450mm
73		Juncus effusus	Common Rush	#1 Pot	450mm
bs	57	Blechnum spicant	Deer Fern	#1 Pot	450mm
wt	17	Waldsteinia ternata	Barren Strawberry	#1 Pot	600mm

NOTES:

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 Langley, British Columbia F 604.882.0042
 V1W 4B9 info@vanzalm.com



No.	By:	Description	Date
1	JT	Issued for Development Permit	April 23, 2015

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Project:
 HAYER BUSINESS PARK

Location:
 19180 36TH AVE
 SURREY, BC

Drawn:	JT	Stamp:	
Checked:	SH		
Approved:	MVDZ	Original Start Date:	MARCH 2015
Scale:	1:100		

Drawing Title: **PLANTING PLAN**



VDZ Project #: **DP2015-09**

Drawing #: **L-06**



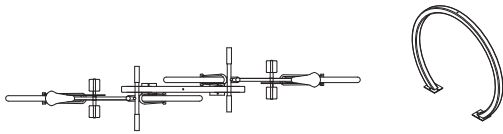
Model: Prima Marina Bench
 Manufacturer: Landscape Forms
 1 800 430 6209
 www.landscapeforms.com

1 BENCH
 Scale NTS

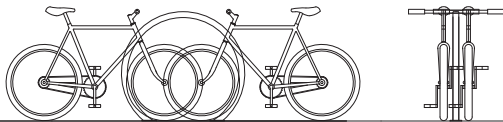


Model: Universal Litter and Recycling Receptacle
 Finish: Stainless Steel
 Manufacturer: Forms and Surfaces
 1 800 451 0410
 www.forms-surfaces.com

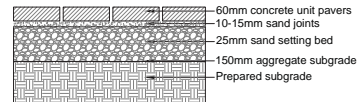
2 RECEPTACLE
 Scale NTS



Model: Arc Rack
 Finish: Stainless Steel
 Manufacturer: Dero
 1 888 337 6729
 www.dero.com



3 BIKE RACK
 Scale NTS



4 UNIT PAVER DETAIL
 Scale NTS

No.	By	Description	Date
1	JT	Issued for Development Permit	April 23, 2015

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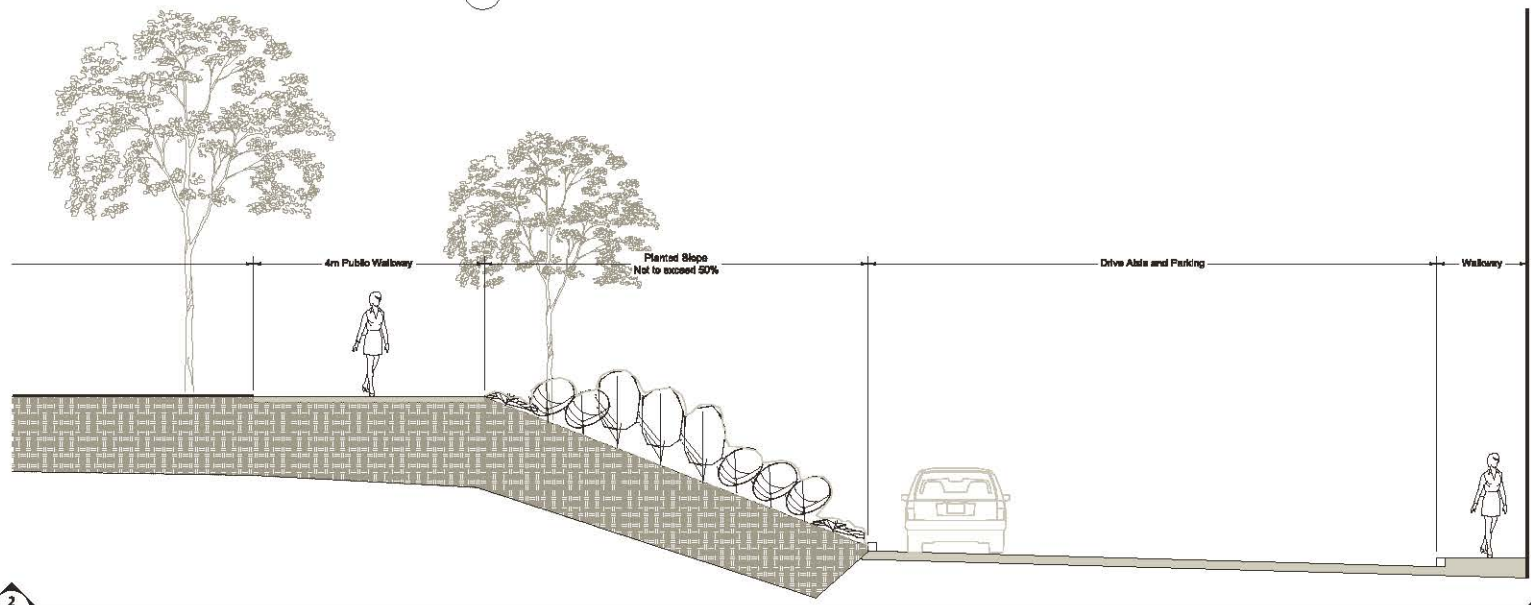
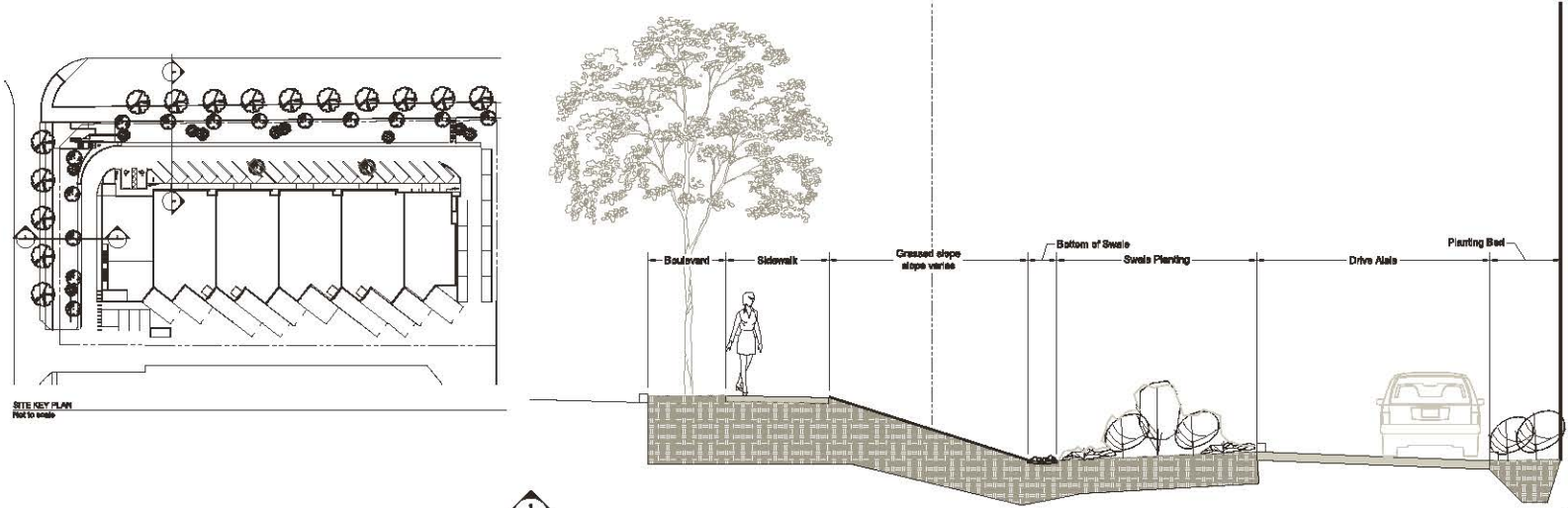
Project:
 HAYER BUSINESS PARK
 Location:
 19180 36TH AVE
 SURREY, BC

Drawn: JT	Stamp:
Checked: SH	
Approved: MVDZ	Original Start Date: MARCH 2015
Scale: 1:46	CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND PROFILES ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.

Drawing Title:
DETAILS

VDZ Project #:
DP2015-09

Drawing #:
L-08



SITE KEY PLAN
 Not to scale

No.	By	Description	Date
2	JT	D/PB Comment Response	June 11, 2016
1	JT	Issued for Development Permit	April 23, 2016

REVISIONS TABLE FOR DRAWINGS
 • Changes are noted in this drawing and apply to the drawing as of the date of completion, and may not be reflected in other project-related documents.

Project:
 HAYER BUSINESS PARK

Location:
 19180 38TH AVE
 SURREY, BC

Drawn: JT	Stamp:
Checked: SH	
Approved: MVDZ	

Original Stamp Date:

Scale:
 1:40

CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES BEFORE COMMENCING ANY CONSTRUCTION. ALL DIMENSIONS AND INFORMATION ARE THE SOLE PROPERTY OF VAN DER ZALM + ASSOCIATES INC. AND SHALL BE KEPT CONFIDENTIAL BY THE CONTRACTOR AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK.

Drawing Title:
SECTIONS

VDZ Project #:
DP2015-09

Drawing #:
L-09

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7915-0131-00

Issued To: SURREY CITY DEVELOPMENT CORPORATION (SCDC)

Address of Owner: 13450 - 102 Avenue, Unit 1870
Surrey, BC V3T 5X3

Issued To: CITY OF SURREY

Address of Owner: 13450 - 104 Avenue
Surrey, BC V3T 1V8

(collectively referred to as "the Owner")

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 029-430-291
Lot 11 Section 28 Township 7 New Westminster District Plan EPP41342

19180 - 36 Avenue

(the "Land")

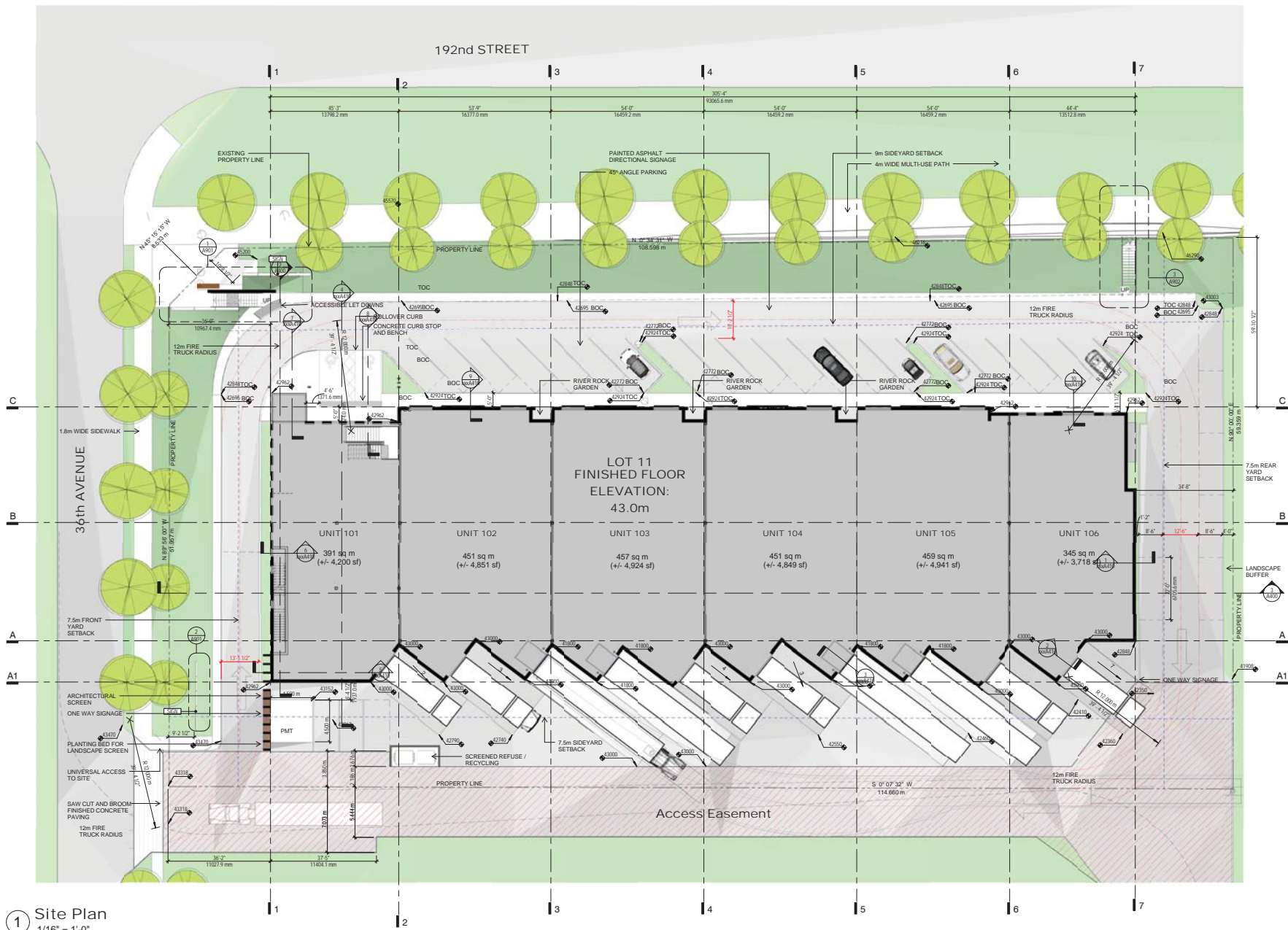
3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) Section 17(b) of Part 4 "General Provisions" to permit stairs consisting of up to twenty (20) risers to encroach into the building setback area.

4. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan



1 Site Plan
 1/16" = 1'-0"