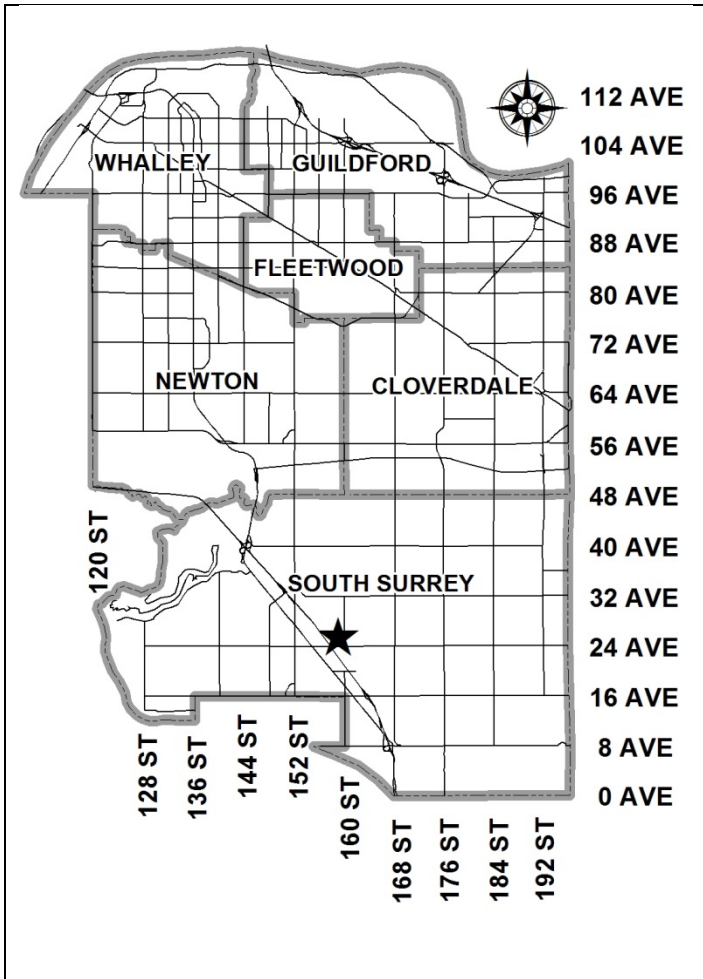


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7915-0130-00

Planning Report Date: November 16, 2015



PROPOSAL:

- Rezoning from RA to RM-30
- Development Permit
- Development Variance Permit

to permit the development of 185 townhouse units.

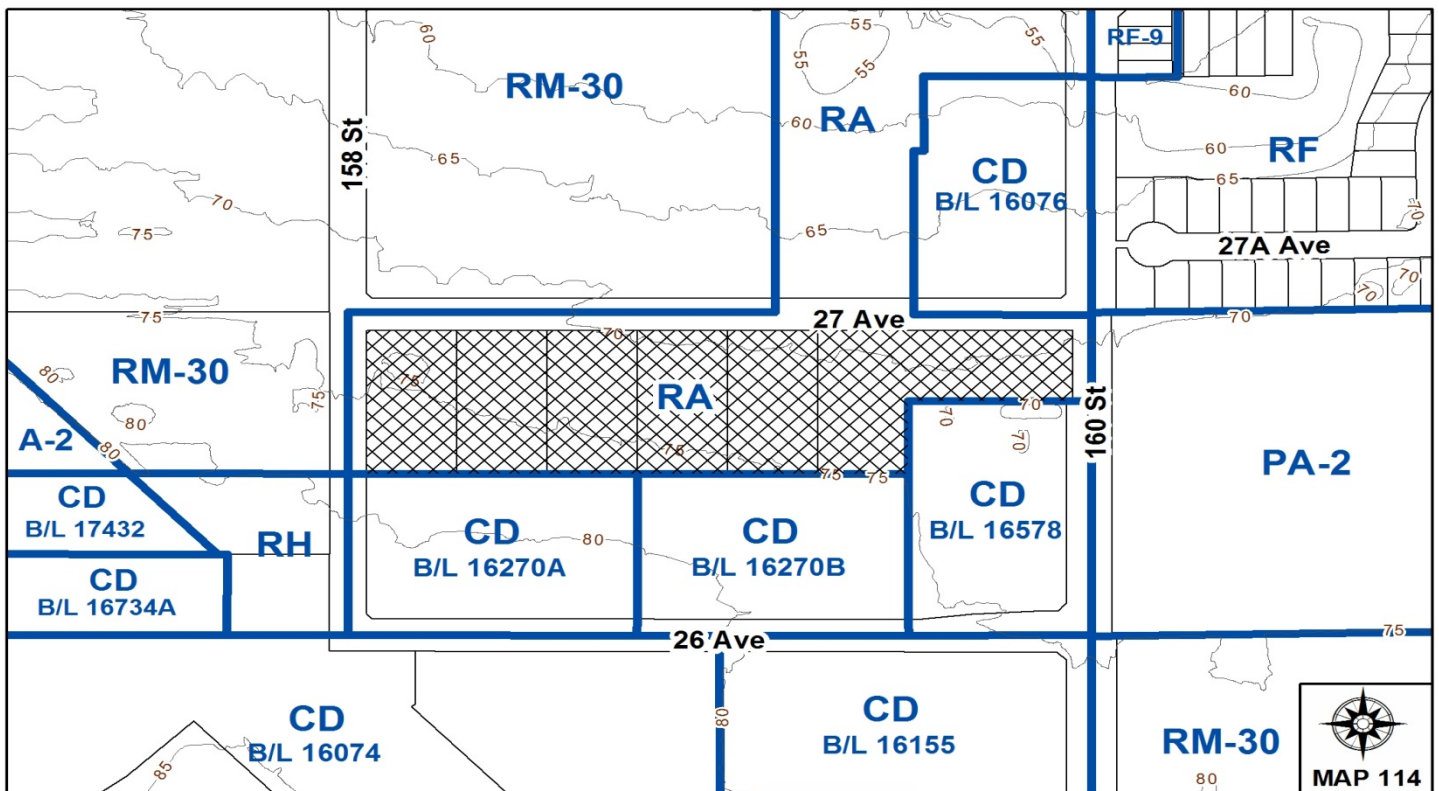
LOCATION: 2685 - 160 Street; 15912, 15888, 15866, 15840 and 15818 - 27 Avenue

OWNER: Perfect Chance Investments Ltd.
 434818 Bc Ltd.
 0801870 Bc Ltd.

ZONING: RA

OCP DESIGNATION: Urban

NCP DESIGNATION: 20-30 upa – Medium High Density and 10-15 upa – Medium Density



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to reduce indoor amenity space.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking variances to the setbacks of the Multiple Residential 30 Zone (RM-30).
- Seeking to reduce and pay cash-in-lieu of a portion of the indoor amenity space.
- Seeking to provide part of the required visitor parking spaces and outdoor amenity space of the Multiple Residential 30 Zone (RM-30) required for Lot 2, on Lot 1.
- Seeking to increase the percentage of small car parking on Lot 1.

RATIONALE OF RECOMMENDATION

- Complies with OCP Designation.
- Complies with the intent of the Morgan Heights NCP Designation.
- The proposed density and building form are appropriate for this part of Morgan Heights.
- Proposed setbacks achieve a more urban, pedestrian streetscape.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "One-Acre Residential Zone" (RA) to "Multiple Residential 30 Zone (RM-30)" and a date be set for Public Hearing.
2. Council approve the applicant's request to reduce the amount of required indoor amenity space for Lot 1 from 303 square metres (3,262 square feet) to 111 square metres (1,195 square feet).
3. Council approve the applicant's request to eliminate the required indoor amenity space for Lot 2.
4. Council authorize staff to draft Development Permit No. 7915-0130-00 generally in accordance with the attached drawings (Appendix II).
5. Council approve Development Variance Permit No. 7915-0130-00 (Appendix VII) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum north setback for Lots 1 and 2 of the RM-30 Zone from 7.5 metres (25 ft.) to 4.3 metres (14 ft.);
 - (b) to reduce the minimum south setback for Lots 1 and 2 of the RM-30 Zone from 7.5 metres (25 ft.) to 6.0 metres (20 ft.), and to 3.9 metres (13 ft.) for Buildings 4 and 5 on Lot 1;
 - (c) to reduce the minimum east setback for Lot 1 of the RM-30 Zone from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) for Buildings 1 and 4, and to 3.0 metres (10 ft.) for Buildings 7 and 9;
 - (d) to reduce the minimum east setback for Lot 2 of the RM-30 Zone from 7.5 metres (25 ft.) to 2.5 metres (8 ft.);
 - (e) to reduce the minimum west setback for Lot 1 of the RM-30 Zone from 7.5 metres (25 ft.) to 2.5 metres (8 ft.);
 - (f) to reduce the minimum west setback for Lot 2 of the RM-30 Zone from 7.5 metres (25 ft.) to 3.9 metres (13 ft.);
 - (g) to allow 4 visitor parking spaces required for Lot 2 to be provided on Lot 1; and
 - (h) to increase the maximum allowable number of small parking spaces for visitor parking from 25% to 34% for Lot 2.
6. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;

- (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
- (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
- (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
- (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
- (f) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
- (g) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
- (h) registration of a reciprocal and shared access agreement for use and maintenance of indoor and outdoor amenity spaces, pathways, internal driveways and visitor parking;
- (i) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department; and
- (j) the applicant adequately address the impact of reduced indoor amenity space.

REFERRALS

- Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
- School District: **Projected number of students from this development:**
 37 Elementary students at Sunnyside Elementary School
 18 Secondary students at Semiahmoo Secondary School
 (Appendix IV)
- The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Summer 2017.
- Parks, Recreation & Culture: No concerns. Parks requirements have been met.
- Surrey Fire Department: No concerns. Man-doors have been provided for units with rear access.

SITE CHARACTERISTICS

Existing Land Use: Vacant, heavily treed, acreage properties.

Adjacent Area:

Direction	Existing Use	OCP / NCP Designation	Existing Zone
North (Across 27 Avenue):	Kaleden townhouse development, Oliver Park and Care Facility (The Residence at Morgan Heights)	Urban / 20-30 upa – Medium High Density, Park and Care and Assisted Living Facility	RM-30, RA and CD (By-law No. 16076)
East (Across 160 Street):	Southridge School	Urban / School	PA-2
South:	2 townhouse developments and one single-family strata development	Urban / 20-30 upa – Medium High Density and 10-15 upa – Medium Density	CD (By-law No. 16270A, By-Law No. 16270B, and By-Law No. 16578)
West (Across 158 Street):	Jacobsen townhouse development	Urban / 20-30 upa – Medium High Density	RM-30

DEVELOPMENT CONSIDERATIONS

- The subject 3.02-hectare (7.47-acre) site is located on the south side of 27 Avenue, between 158 Street and 160 Street. The site is comprised of 6 vacant acreage properties.
- The subject site is zoned One-Acre Residential (RA), designated Urban in the Official Community Plan (OCP), and designated 20-30 upa – Medium High Density and 10-15 upa – Medium Density in the Morgan Heights Neighbourhood Concept Plan (NCP).
- The applicant proposes rezoning from One-Acre Residential (RA) to Multiple Residential 30 Zone (RM-30) and a Development Permit to permit the development of 185 townhouse units. A Development Variance Permit is also proposed as part of this application and is discussed later in this report.
- The proposal includes the development of two separate sites, with a walkway dedication separating them. The eastern lot (Lot 1) is proposed to have 101 units, whereas the western lot (Lot 2) is proposed to have 84 units. The proposed walkway is identified in the Morgan Heights NCP, and has been provided as a Statutory-Right-of-Way on developments to the south. A 6-metre (20 ft.) wide dedication is proposed as part of the subject application to achieve the walkway.
- The subject site is split-designated in the Morgan Heights NCP, with the larger western portion of the site designated 20-30 upa – Medium High Density, and the eastern portion of the site designated 10-15 upa – Medium Density. The blended density proposed is 63 units per hectare (25.6 upa), which complies with overall density permitted in the Morgan Heights NCP.

- The proposal indicates a total floor area of 23,671 square metres (25,480 sq. ft.) representing a net floor area ratio (FAR) of 0.81, which is within the maximum 0.9 FAR permitted in the RM-30 Zone.

PRE-NOTIFICATION

Pre-notification letters were sent on August 07, 2015 to 1202 properties that are located within 100 metres (328 ft.) of the subject site, including the Grandview Heights Stewardship Association. Development proposal signs were also installed on the site on August 19, 2015. In response, staff has received 7 phone calls and 20 emails with concerns. A summary of the main concerns is provided below, with staff comments identified in italics.

- Residents expressed concern about the impact that the proposed development would have on available capacity at local schools.

(The Surrey School District is typically consulted as part of both the NCP preparation process and Rezoning applications. The School District was involved in the Morgan Heights NCP process, including for determining appropriate densities.

The School District has land for a new elementary and a new secondary school in the Grandview Heights area.

The School District has the construction of both schools as a high priority in the District's Capital Plan that is submitted to the province for funding consideration.)

- Residents expressed concerns about the potential for increased traffic volume and on-street parking demand as a result of the development.

(A total of 407 resident and visitor parking spaces are proposed as part of the subject applicant, which meets Zoning By-law requirements for parking on the site. It should be noted that as part of processing of this application, 27 Avenue will be widened, with on-street parking being made available on both sides of the street.)

- Residents also expressed concern with tree removal and an overall decrease in Surrey's tree canopy. Some residents also expressed concern with the increased demand on available parkland.

(The Parks Department is aware of the demand for more parkland in the area, and are actively working on several new parks in the neighbourhood, including an off-leash dog park. Consultation is presently underway for the additional parks.

In terms of tree canopy, staff note that over 30% of non-Alder and Cottonwood trees, including two groups of Douglas Firs are to be retained. In total, 15 of the 43 trees on the site are proposed to be retained.)

- Residents also have expressed general concern with the proposed density and the number of units that are proposed.

(The proposed density is consistent with the intent of the Morgan Heights Neighbourhood Concept Plan, and with other developments in the area.)

DESIGN PROPOSAL AND REVIEW

- The application proposes 185 three-storey townhouse units that will be contained within 31 buildings. The townhouses will be located on two separate lots, which will be separated by a dedicated pedestrian walkway. A mix of two-, three- and four-bedroom unit-types is proposed, with two resident's parking spaces provided for each unit. The proposal also includes shared indoor and outdoor amenity areas.

Lot 1 (eastern)

- The eastern lot (Lot 1) is the larger of the two proposed lots, with a total of 101 units proposed within 17 buildings. Of the 101 units, 51 units are proposed with side-by-side garage parking arrangement. The remaining 50 units are proposed with tandem parking arrangement, which is the maximum percentage (50%) tandem parking that is permitted in the Zoning By-law.
- The number of dwelling units within each individual building ranges from 5 to 9 units.
- Of the 101 units that are proposed, 61 units (60%) are two-bedroom units, and 40 units (40%) are three- or four-bedroom unit-types.
- Two driveways are proposed to 27 Avenue, which will facilitate the retention of a group of trees located in the central portion of the site. The eastern driveway will provide access to 6 buildings (36 units), and the western driveway will provide access to the indoor amenity space and the remaining 11 buildings (65 units). The indoor and outdoor amenity spaces are accessible from both sides of the site by way of pathways and pedestrian connections.
- The total building floor area proposed for Lot 1 is 12,890 square metres (138,751 sq. ft.), representing a net FAR of 0.78. The density proposed for Lot 1 is 61.1 units per hectare (24.7 units per acre). Both the FAR and the unit density comply with the provisions identified in the RM-30 Zone.
- A total of 24 visitor parking spaces are provided on Lot 1, which exceeds the minimum required in the Zoning By-law (20 parking spaces). The visitor parking spaces on Lot 1 are proposed to be shared with Lot 2. A reciprocal access agreement will be registered on both properties for shared parking and pedestrian connections.

Lot 2 (western)

- The western lot (Lot 2) is the smaller of the two proposed lots, with a total of 84 units proposed within 15 buildings. Of these, 42 units are proposed in a side-by-side garage parking arrangement. The remaining 42 units are proposed in a tandem parking arrangement, which is the maximum percentage (50%) of tandem parking that is permitted in the Zoning By-law.
- The number of dwelling units within each individual building ranges from 4 to 8 units.
- From the 84 units proposed, 50 (60%) are two-bedroom units, and 34 (40%) are three- or four-bedroom units.

- Access for Lot 2 is proposed from 27 Avenue, adjacent to the outdoor amenity space. The indoor amenity space is provided on Lot 1, and is accessible through pathways and pedestrian connections.
- The total building floor area proposed for Lot 2 is 10,781 square metres (116,046 sq. ft.), representing a net FAR of 0.84. The density proposed for Lot 1 is 65.7 units per hectare (26.6 units per acre). Both the FAR and the unit density comply with the provisions identified in the RM-30 Zone.
- A total of 13 visitor parking spaces is provided, which does not meet the minimum required in the Zoning By-law (17 parking spaces). A variance is required, and the shortfall of 4 parking spaces are provided on Lot 1, in addition to the required parking spaces for Lot 1.

Lots 1 and 2

- Units along 27 Avenue are proposed to be street-oriented with unit entries oriented towards the street. Unit entries are also provided towards 27 Avenue, as well as 158 Street and 160 Street.
- Pedestrian connections are proposed along 158 Street and 160 Street at the end of the internal driveways (two connections on 158 Street and one connection at 160 Street). Pedestrian connections are also provided across the pedestrian walkway at two locations. Units facing the walkway are proposed with openings facing the walkway to address CPTED concerns and provide surveillance over the walkway.
- Building materials consist of vinyl siding, hardieplank siding and brick veneer. The roof is proposed in laminated black fiberglass shingles. Three colour schemes are proposed, and consist of beige, grey and brown tones.

Amenity Spaces

- The main outdoor amenity space is proposed on Lot 1, in a central location adjacent the indoor amenity space. The area will include 10 mature trees that are to be retained, and a number of benches. A pathway system is provided through the area that will connect to units to the south, to the indoor amenity building to the north, and to 27 Avenue.
- The outdoor amenity area on Lot 2 includes 3 large Douglas Firs that are to be retained. A pathway and a mailbox are proposed in this area.
- A corner plaza is proposed at the intersection of 27 Avenue and 160 Street, with an enhanced pedestrian area including a pathway and seating areas.
- A one-storey, 111-square metre (1,195 sq. ft.) amenity building is proposed adjacent to the large outdoor amenity space area on Lot 1. The building will house a meeting room, a mail room with a lounge, washroom facilities and a large multi-purpose room.
- The applicant is requesting to eliminate the indoor amenity space requirement for Lot 2 (shared with Lot 1), and to reduce the requirement for Lot 1. The Zoning By-law requirement for indoor amenity space is a total of 555 square metres (5,974 sq. ft.), with

252 square metres (2,713 sq. ft.) required for Lot 2, and 303 square metres (3,262 sq. ft.) required for Lot 1.

- In total, the applicant proposes 111 square metres (1,195 sq. ft.) of indoor amenity space, all of which will be on Lot 1. The applicant will be required to pay cash-in-lieu for the deficient indoor amenity space (444 square metres (4,779 sq. ft.)), in accordance with Council policy.

TREES

- Normal Hol, ISA Certified Arborist of ACL Group prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder / Cottonwood	28	28	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Bigleaf Maple	8	7	1
Horsechestnut	2	2	0
Hawthorne	1	1	0
Paper Birch	1	1	0
Flowering Cherry	3	3	0
Coniferous Trees			
Sawara Cypress	1	1	0
Douglas Fir	26	12	14
Western Red Cedar	1	1	0
Total (excluding Alder and Cottonwood Trees)	43	28	15
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		84	
Total Retained and Replacement Trees		99	
Contribution to the Green City Fund		n/a	

- The Arborist Assessment states that there are a total of 43 protected trees on the site, excluding Alder and Cottonwood trees. 28 existing trees, approximately 39% of the total trees on the site, are Alder and Cottonwood trees. It was determined that 15 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- The proposed tree preservation on the site will require supervision by an arborist during construction.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 84 replacement trees on the site. The applicant is proposing 84 replacement trees, which meets City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on 27 Avenue. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Red Maple, Dogwood, Cypress, Magnolia, Blue Spruce, Cherry, Pin Oak and Japanese Stewartia, and several species of shrubs and groundcovers.
- In summary, a total of 99 trees are proposed to be retained or replaced on the site.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on October 30, 2015. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	• The proposal is consistent with the OCP and NCP designations.
2. Density & Diversity (B1-B7)	• 60% of the units are two-bedroom unit-types and 40% of the units are three- or four-bedroom unit-types.
3. Ecology & Stewardship (C1-C4)	• A cluster of high value trees is to be retained. The applicant proposes retention of 35% of the significant trees (non-Alder and Cottonwood trees) on the site.
4. Sustainable Transport & Mobility (D1-D2)	• The proposal will result in the dedication of a north-south pedestrian walkway between the proposed lots, and east-west pedestrian connections provided across the site and the public walkway
5. Accessibility & Safety (E1-E3)	• The proposal has units facing the roads and the walkway, with windows facing public areas.
6. Green Certification (F1)	• n/a
7. Education & Awareness (G1-G4)	• n/a

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- Reduce the minimum north setback of the RM-30 Zone from 7.5 m (25 ft.) to 4.3 m (14 ft.) for Lots 1 and 2.
- Reduce the minimum south setback of the RM-30 Zone from 7.5 m (25 ft.) to 6.0 metres (20 ft.) for Lots 1 and 2, and to 3.9 metres (13 ft.) for Buildings 4 and 5 on Lot 1.
- Reduce the minimum east setback of the RM-30 Zone from 7.5 m (25 ft.) to 6.0 metres (20 ft.) for Buildings 1 and 4 on Lot 1, and to 3.0 metres (10 ft.) for Buildings 7 and 9 on Lot 1.
- Reduce the minimum east setback of the RM-30 Zone from 7.5 m (25 ft.) to 2.5 metres (8 ft.) for Lot 2.
- Reduce the minimum west setback of the RM-30 Zone from 7.5 m (25 ft.) to 2.5 metres (8 ft.) for Lot 1.
- Reduce the minimum west setback of the RM-30 Zone from 7.5 m (25 ft.) to 3.9 metres (13 ft.) for Lot 2.

Applicant's Reasons:

- The proposed north setback of 4.3 metres (14 ft.) will provide a more urban interface along 27 Avenue.
- The proposed southern setback of 6.0 metres (20 ft.) matches the setback of the development to the south. For the 3.9 metres (13 ft.) portion, this is adjacent to side of units, and is required due to the shallow geometry of the subject site.
- The proposed eastern setback of 6.0 metres (20 ft.) for Buildings 1 and 4 matches the development to the south, and the 3.0 metres (10 ft.) for Buildings 7 and 9 matches the side yard setbacks of the development to the south.
- The proposed western setback of 3.9 metres (13 ft.) matches the existing setback of the development to the south.
- The 2.5 metres (8 ft.) setback to the walkway will allow for surveillance of the proposed walkway. The buildings on each side of the walkway are proposed to be 9 metres (30 ft.) apart from each other.

Staff Comments:

- The reduced setbacks along 27 Avenue, 158 Street and 160 Street will bring the buildings closer to the public realm, and provide a more urban interface.
- The reduced setbacks of 3.0 metres (10 ft.) (east) and 2.5 metres (13 ft.) (walkway) are all for side-of-unit, with no yard and a less active interface proposed. The 3.9 metres (13 ft.) proposed along the south will interface with side-of-unit and riparian area on the adjacent development. These variances should have minimum impact on adjacent users.
- Many of the proposed variances are consistent with variances previously approved for other developments in the immediate neighbourhood.
- Staff support the proposed variances.

(b) Requested Variance:

- To allow 4 visitor parking spaces required for Lot 2 to be provided on Lot 1.

- To increase the maximum allowable number of small parking spaces for visitor parking from 25% to 34% for Lot 2.

Applicant's Reasons:

- Visitor parking and small car parking requirements are being met on the overall site, and access agreements will be provided to allow access between the lots.

Staff Comments:

- Visitor parking requirements are being met on the overall site (Lots 1 and 2). While Lot 2 is deficient by 4 parking stalls, an additional 4 spaces will be provided on Lot 1. These spaces will be available for use by users of Lot 2 located in close proximity to the indoor and outdoor amenity space on Lot 1.
- The Zoning By-law allows for a maximum of 25% small car spaces. This requirement is being met on the overall site (Lots 1 and 2), with no small car parking provided on Lot 2 (13 stalls). However, 8 of the 24 visitor parking spaces that will be provided on Lot 1 are small car, representing 34% of the total parking for Lot 1.
- It should be noted that of the 37 visitor parking spaces provided on Lots 1 and 2, a maximum of 22% are provided as small car spaces, which would comply with the Zoning By-law requirement. As noted, the sites will share visitor parking between the two properties. This arrangement will be secured through a shared/reciprocal access easement between the two sites.
- Staff support the proposed variances.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations and Landscape Plans
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	NCP Plan
Appendix VII.	Development Variance Permit No. 7915-0130-00

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Raymond Letkeman Architects Inc. and Durante Kreuk Ltd., respectively, dated October 26, 2015 and October 30, 2015.

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

LM/dk

\\file-server1\net-data\csdc\generate\areaproduct\save\27512774022.doc
KD 11/12/15 11:18 AM

(c) Civic Address: 15912 - 27 Avenue
Owner: Perfect Chance Investments Ltd

434818 Bc Ltd
Director Information:
Li-Li Chiang

Owner: Officer Information as at October 28, 2014:
Li-Li Chiang (President)
Joseph Chiang (Secretary)

Owner: 0801870 Bc Ltd
Director Information:
Ting Chiu Chu
Mew Ling Chu

Officer Information as at September 6, 2015:
Mew Ling Chu (Secretary)
Ting Chiu Chu (President)
PID: 018-669-204
Lot 2 Section 32 Township 1 New Westminster District Plan Lmp14118

(d) Civic Address: 15888 - 27 Avenue
Owner: Perfect Chance Investments Ltd

Owner: 434818 Bc Ltd
Director Information:
Li-Li Chiang

Officer Information as at October 28, 2014:
Li-Li Chiang (President)
Joseph Chiang (Secretary)

Owner: 0801870 Bc Ltd
Director Information:
Ting Chiu Chu
Mew Ling Chu

Officer Information as at September 6, 2015:
Mew Ling Chu (Secretary)
Ting Chiu Chu (President)
PID: 018-669-212
Lot 3 Section 32 Township 1 New Westminster District Plan Lmp14118

(e) Civic Address: 15866 - 27 Avenue
Owner: Perfect Chance Investments Ltd

Owner: 434818 Bc Ltd
Director Information:
Li-Li Chiang

Officer Information as at October 28, 2014:

Li-Li Chiang (President)
Joseph Chiang (Secretary)

Owner: 0801870 Bc Ltd
Director Information:
Ting Chiu Chu
Mew Ling Chu

Officer Information as at September 6, 2015:

Mew Ling Chu (Secretary)
Ting Chiu Chu (President)

PID: 018-669-239
Lot 4 Section 32 Township 1 New Westminster District Plan Lmp14118

(f) Civic Address: 15840 - 27 Avenue
Owner: Perfect Chance Investments Ltd

Owner: 434818 Bc Ltd
Director Information:
Li-Li Chiang

Officer Information as at October 28, 2014:

Li-Li Chiang (President)
Joseph Chiang (Secretary)

Owner: 0801870 Bc Ltd
Director Information:
Ting Chiu Chu
Mew Ling Chu

Officer Information as at September 6, 2015:

Mew Ling Chu (Secretary)
Ting Chiu Chu (President)

PID: 018-669-247
Lot 5 Section 32 Township 1 New Westminster District Plan Lmp14118

(g) Civic Address: 15818 - 27 Avenue
Owner: Perfect Chance Investments Ltd

Owner: 434818 Bc Ltd
Director Information:
Li-Li Chiang

Officer Information as at October 28, 2014:

Li-Li Chiang (President)
Joseph Chiang (Secretary)

Owner: o801870 Bc Ltd
Director Information:
Ting Chiu Chu
Mew Ling Chu

Officer Information as at September 6, 2015:

Mew Ling Chu (Secretary)
Ting Chiu Chu (President)

PID: 018-669-263
Lot 6 Section 32 Township 1 New Westminster District Plan Lmp14118

3. Summary of Actions for City Clerk's Office

- (a) Introduce a By-law to rezone the property.
- (b) Proceed with Public Notification for Development Variance Permit No. 7915-0130-00 and bring the Development Variance Permit forward for an indication of support by Council. If supported, the Development Variance Permit will be brought forward for issuance and execution by the Mayor and City Clerk in conjunction with the final adoption of the associated Rezoning By-law.

DEVELOPMENT DATA SHEET (Lot 1)

Proposed Zoning: RM-30

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total	-	16,764.8 m ²
Road Widening area	-	225.3 m ²
Undevelopable area		-
Net Total	-	16,539.3 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	39%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front (N) - Lot 1	7.5 m	4.3 m
Rear (S) - Lot 1 (Bldg 9, 10,11)	7.5 m	6 m
Rear (S) - Lot 1 (Bldg 4 and 5)	7.5 m	3.9 m
Side #1 (E) - Lot 1 (Bldg 1 and 4)	7.5 m	6 m
Side #1 (E) - Lot 1 (Bldg 7 and 9)	7.5 m	3 m
Side #2 (W) - Lot 1	7.5 m	2.5 m
BUILDING HEIGHT (in metres/storeys)		
Principal	13 m	11.5 m
Accessory	11 m	7 m
NUMBER OF RESIDENTIAL UNITS		
Bachelor		0
One Bed		0
Two Bedroom		61
Three Bedroom +		40
Total		101
FLOOR AREA: Residential	14,885 m ² (0.90 FAR)	12,890 m ² (0.78 FAR)
FLOOR AREA: Commercial	-	-
FLOOR AREA: Industrial	-	-
FLOOR AREA: Institutional	-	-
TOTAL BUILDING FLOOR AREA		12,890 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)	74 uph / 30 upa	60 uph / 24.4 upa
# of units/ha /# units/acre (net)	74 uph / 30 upa	61 uph / 24.7 upa
FAR (gross)	0.9 FAR	0.77 FAR
FAR (net)	0.9 FAR	0.78 FAR
AMENITY SPACE (area in square metres)		
Indoor	303 m ²	111 m ²
Outdoor	303 m ²	1,160 m ²
PARKING (number of stalls)		
Commercial	-	-
Industrial	-	-
Residential Bachelor + 1 Bedroom	-	-
2-Bed	122	122
3-Bed	80	80
Residential Visitors	20	24
Institutional	-	-
Total Number of Parking Spaces	222	226
Number of disabled stalls	-	-
Number of small cars	25% (6 out of 24)	34% (8 out of 24)
Tandem Parking Spaces: Number / % of Total Number of Units	101 / 50%	100 / 49.5%
Size of Tandem Parking Spaces width/length	6.09 m	6.09 m

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----

DEVELOPMENT DATA SHEET (Lot 2)

Proposed Zoning: RM-30

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total	-	13,315.8 m ²
Road Widening area	-	249 m ²
Undevelopable area		-
Net Total	-	12,766.8 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	41%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front (N) – Lot 2	7.5 m	4.3 m
Rear (S) – Lot 2	7.5 m	6 m
Side #3 (E) – Lot 2	7.5 m	2.5 m
Side #4 (W) – Lot 2	7.5 m	3.9 m
BUILDING HEIGHT (in metres/storeys)		
Principal	13 m	11.5 m
Accessory	11 m	n/a
NUMBER OF RESIDENTIAL UNITS		
Bachelor		0
One Bed		0
Two Bedroom		50
Three Bedroom +		34
Total		84
FLOOR AREA: Residential	11,490 m ² (0.90 FAR)	10,780.7 m ² (0.84 FAR)
FLOOR AREA: Commercial	-	-
FLOOR AREA: Industrial	-	-
FLOOR AREA: Institutional	-	-
TOTAL BUILDING FLOOR AREA	11,490 m ²	10,780.7 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)	74 uph / 30 upa	63 uph / 25.5 upa
# of units/ha /# units/acre (net)	74 uph / 30 upa	65 uph / 26.6 upa
FAR (gross)	0.9 FAR	0.81 FAR
FAR (net)	0.9 FAR	0.84 FAR
AMENITY SPACE (area in square metres)		
Indoor	252 m ²	-
Outdoor	252 m ²	254 m ²
PARKING (number of stalls)		
Commercial	-	-
Industrial	-	-
Residential Bachelor + 1 Bedroom	-	0
2-Bed	100	100
3-Bed	68	68
Residential Visitors	17	13
Institutional	-	-
Total Number of Parking Spaces	185	181
Number of disabled stalls	-	-
Number of small cars	25%	0
Tandem Parking Spaces: Number / % of Total Number of Units	84 / 50%	84 / 50%
Size of Tandem Parking Spaces width/length	6.09 m	6.09 m

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----



Revised
 Issued for Pre Development Permit
 March 26, 2015
 Issued for Development Permit
 April 7, 2015
 Re-issued for Development Permit
 July 31, 2015
 Re-issued for Development Permit
 September 28, 2015
 Re-issued for Development Permit
 October 19, 2015
 Re-issued for Development Permit
 October 22, 2015
 Re-issued for Development Permit
 October 26, 2015

MOSAIC

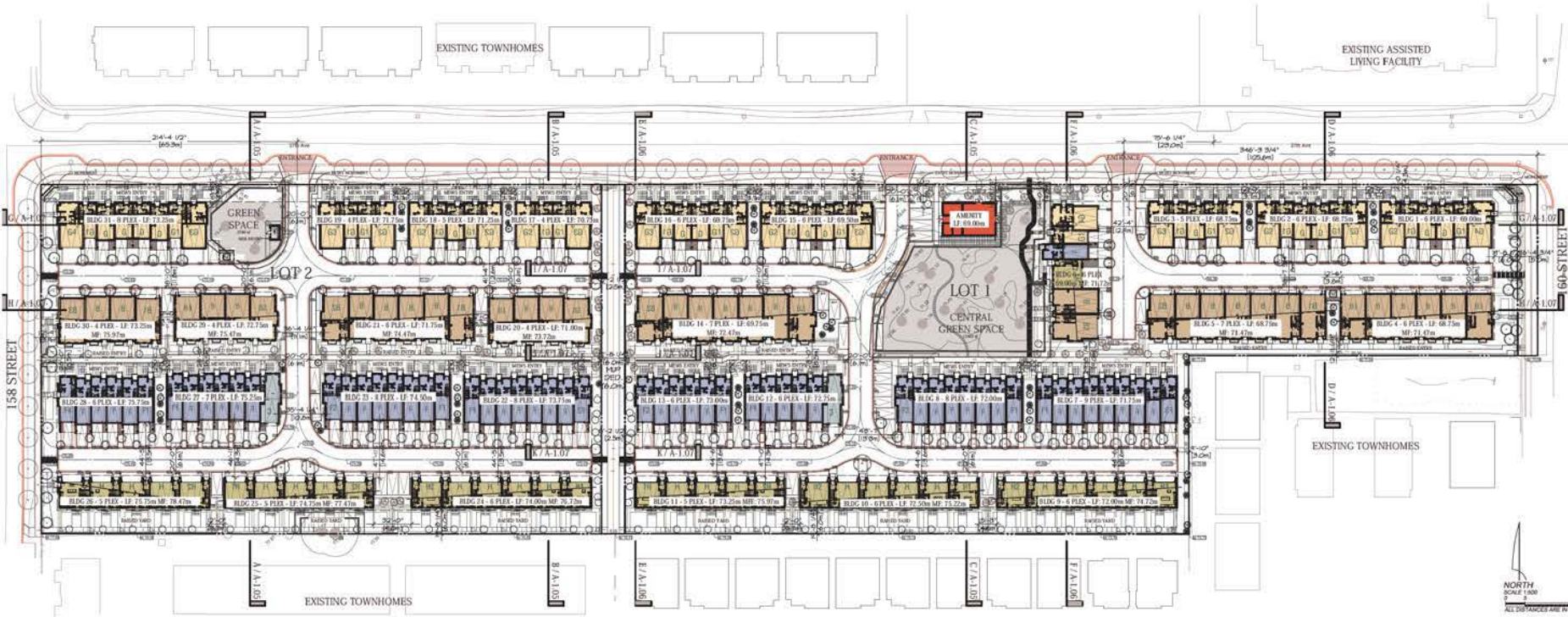
**27th
 Townhomes**
 27th Avenue and 160th Street
 Surrey, B.C.

Context Plan
 N.T.S.
 October 26, 2015



SK-1.02

- Revised
- Issued for Development Permit March 28, 2015
- Issued for Development Permit April 7, 2015
- Re-issued for Development Permit July 31, 2015
- Re-issued for Development Permit September 28, 2015
- Re-issued for Development Permit October 19, 2015
- Re-issued for Development Permit October 22, 2015
- Re-issued for Development Permit October 26, 2015



MOSAIC

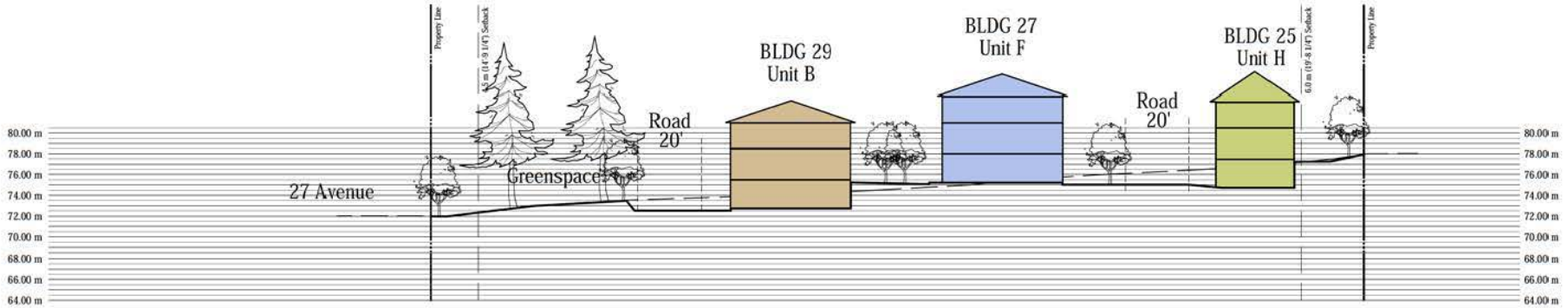
27th Townhomes
 27th Avenue and 160th Street
 Surrey, B.C.

Colour Schemes
 Colour Scheme A Buildings: 1, 6, 9, 14, 17, 22, 25, 30
 Colour Scheme B Buildings: 2, 5, 8, 10, 13, 16, 19, 20, 23, 24, 28, 29
 Colour Scheme C Buildings: 3, 4, 7, 11, 12, 15, 18, 21, 26, 27, 31

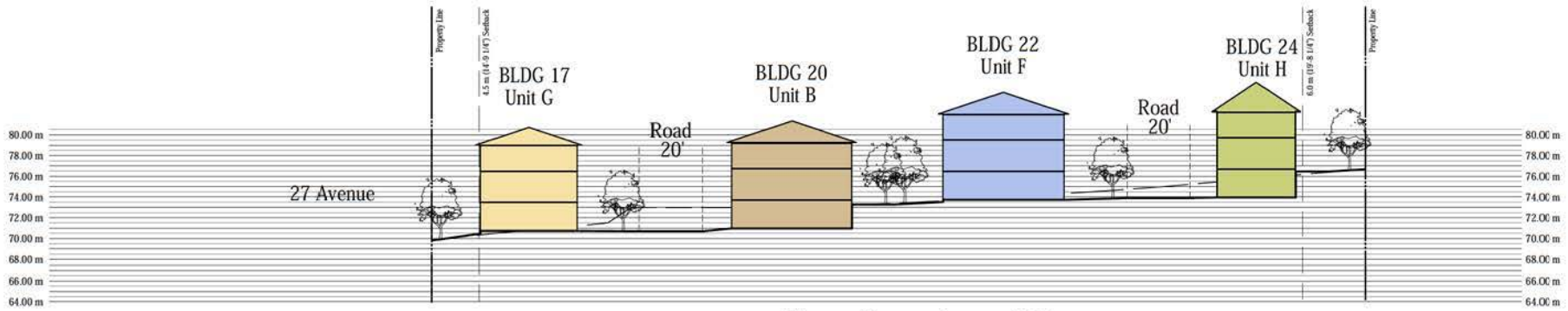
Site Plan
 1:500 metric
 October 26, 2015



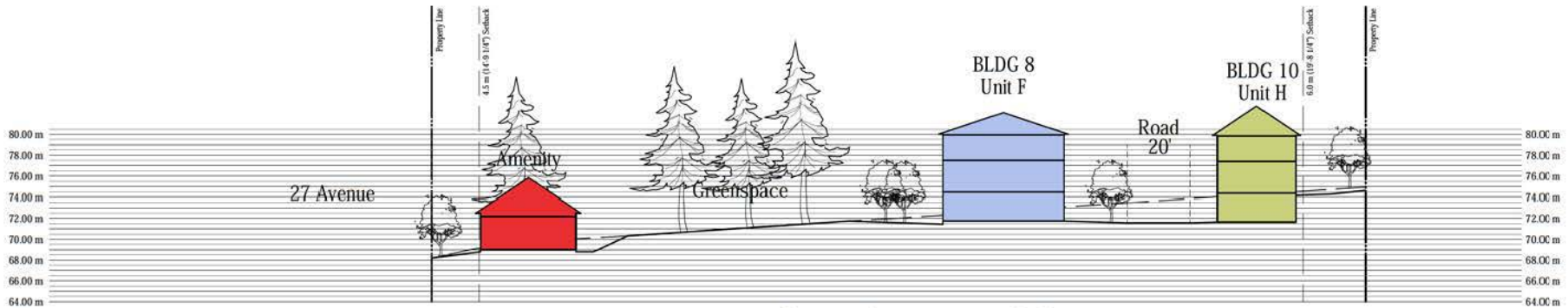
SK-1.04



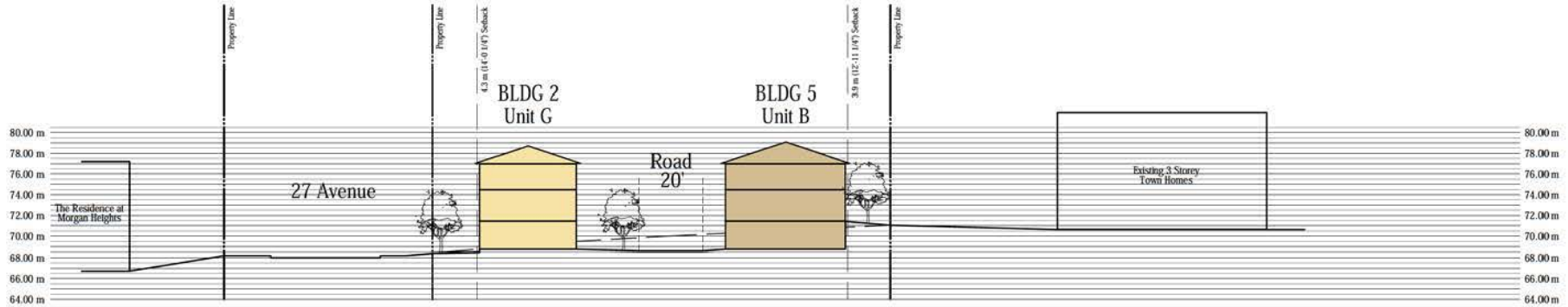
Site Section A-A



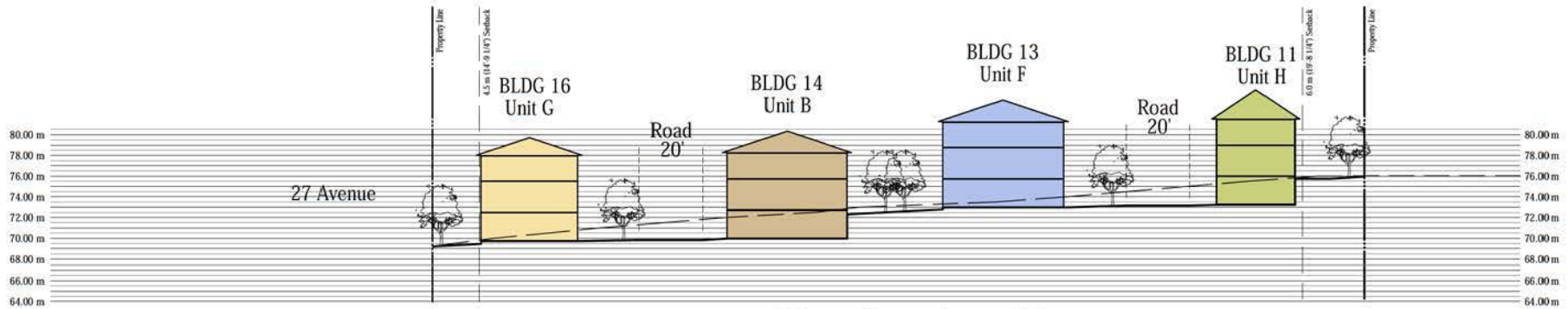
Site Section B-B



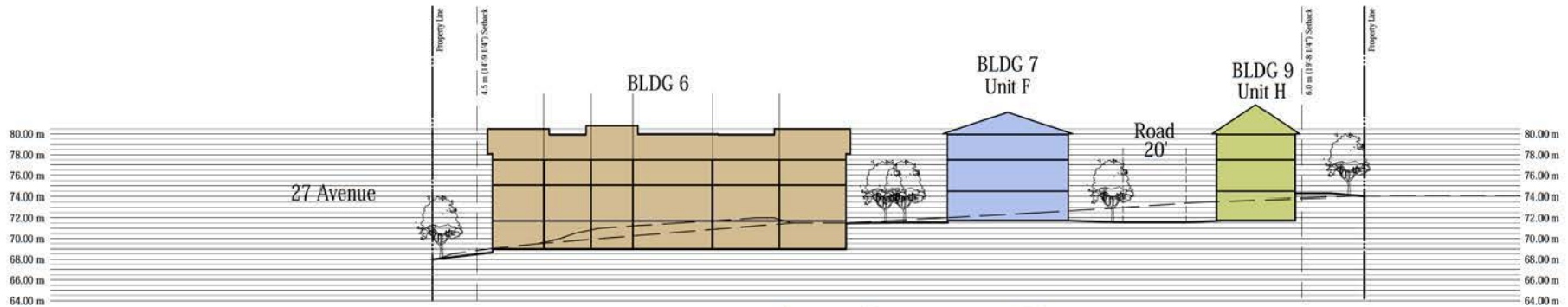
Site Section C-C



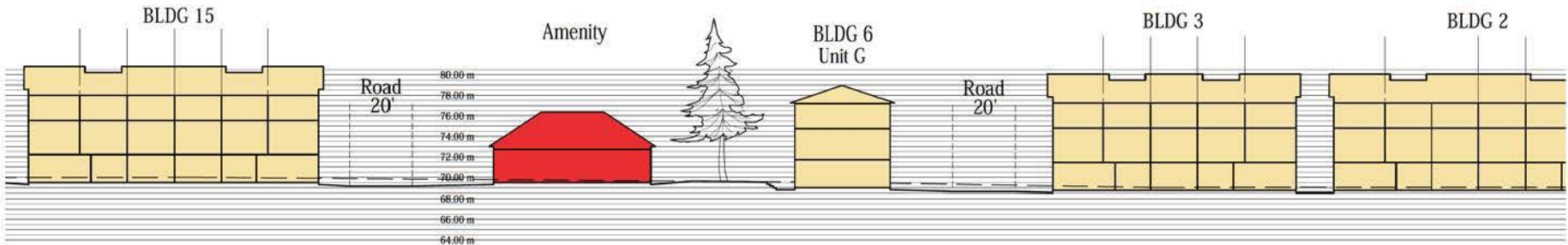
Site Section D-D



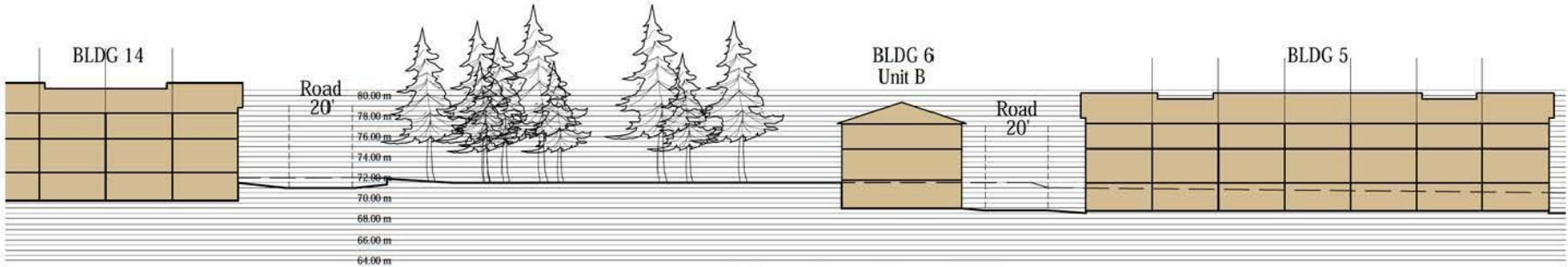
Site Section E-E



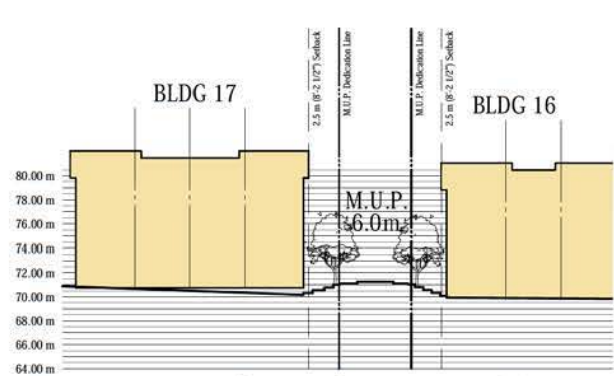
Site Section F-F



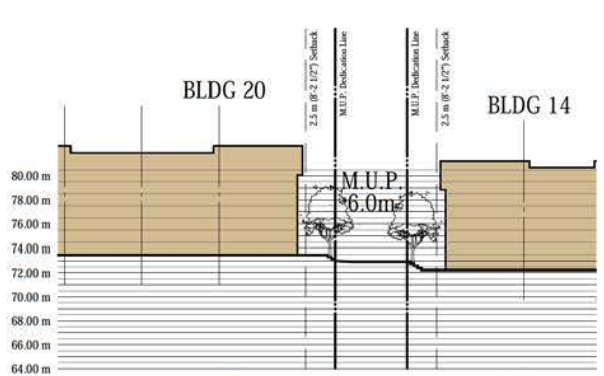
Site Section G-G



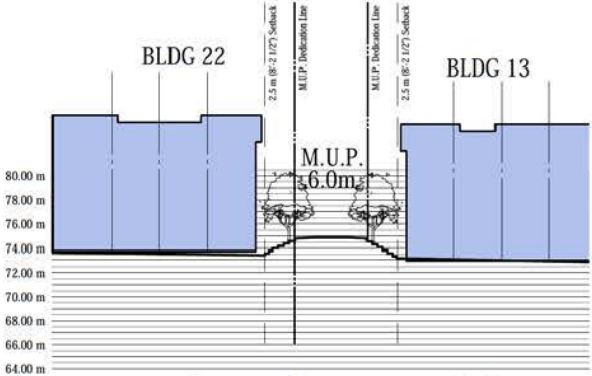
Site Section H-H



Site Section I-I



Site Section J-J



Site Section K-K



27th
Townhomes
27th Avenue and 160th Street
Surrey, B.C.

Site Sections
1/16" = 1'-0"
October 26, 2015

SK-1.07



160 STREET STREETSCAPE



158 STREET STREETSCAPE



MUP STREETSCAPE

- Revision
- Issued for Pre Development Permit
March 26, 2015
- Issued for Development Permit
April 7, 2015
- Re-issued for Development Permit
July 31, 2015
- Re-issued for Development Permit
September 28, 2015
- Re-issued for Development Permit
October 19, 2015
- Re-issued for Development Permit
October 22, 2015
- Re-issued for Development Permit
October 26, 2015



27 AVENUE STREETScape



APE

27 AVENUE STREETScape

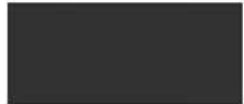
MOSAIC

**27th
Townhomes**
 27th Avenue and 160th Street
 Surrey, B.C.

Streetscape

1/32" = 1'-0"
 October 26, 2015

SK-1.09



Aluminum Railings, RWL & Gutters
Colour: Gentek, Black



Vinyl Window Frame & Metal Panel Doors
Colour: White



Vinyl Window Frame & Metal Panel Doors
Colour: Black



Wood Trim
Colour: Benjamin Moore, Collingwood OC-28



Wood Trim
Colour: Benjamin Moore, Kendall Charcoal HC-166



Vinyl Siding
Colour: Gentek, Linen



Vinyl Siding
Colour: Gentek, Iron Ore



HardiePlank Lap Siding 5" Exposure
Colour: Benjamin Moore, Collingwood OC-28



Brick Veneer
Colour: Mutual Materials, Ebony Mission



Laminated Fibreglass Shingles
Colour: Pabco Antique Black



Garage Door
Colour: Benjamin Moore, White Heron OC-57



- Soffit**
Vinyl Perforated soffit, White
- Wood Trim**
Benjamin Moore, Collingwood OC-28
- Brick Veneer**
Running Bond, Norman Brick Size
Mutual Materials, Ebony Mission
- Laminated Fibreglass Shingles**
Pabco Premier, Antique Black
- Gutter & RWL**
Pre-finished Aluminum
Gentek, Black
- Wood Trim**
Benjamin Moore, Kendall Charcoal HC-166
- Vinyl Window**
White
- Wood Window Trim**
2x head, 2x jamb/sill
Benjamin Moore, Collingwood OC-28
- Vinyl Window**
Black
- HardiePlank Lap Siding (Street Facing Elevations)**
5" Exposure
Benjamin Moore, Collingwood OC-28
- Vinyl Siding (Internal Facing Elevations)**
4.5" Exposure
Gentek, Linen
- Metal Entry Roof**
Benjamin Moore, Kendall Charcoal HC-166
- Wood Trim**
Benjamin Moore, Collingwood OC-28
- Wood Door Trim**
2x head, 2x jamb/sill
Benjamin Moore, Collingwood OC-28
- Metal Panel Door**
Colour: White
- Guard Rail**
Pre-finished Aluminum
Gentek, Black
- Vinyl Siding**
4.5" Exposure
Gentek, Iron Ore

Colour Scheme A Buildings: 1, 6, 9, 14, 17, 22, 25, 30

Revised

Issued for Pre Development Permit
March 28, 2015

Issued for Development Permit
April 7, 2015

Re-issued for Development Permit
July 31, 2015

Re-issued for Development Permit
September 28, 2015

Re-issued for Development Permit
October 19, 2015

Re-issued for Development Permit
October 22, 2015

Re-issued for Development Permit
October 26, 2015

MOSAIC

27th Townhomes
 27th Avenue and 160th Street
 Surrey, B.C.

Colour Scheme B
 1/8" = 1'-0"
 October 26, 2015

SK-1.11



Aluminum Railings, RWL & Gutters
 Colour: Gentek, Black



Vinyl Window Frame & Aluminum Doors
 Colour: White



Wood Trim
 Colour: Benjamin Moore, Collingwood OC-28



Wood Trim
 Colour: Benjamin Moore, Kendall Charcoal HC-166



Vinyl Siding
 Colour: Gentek, Linen



Vinyl Siding
 Colour: Gentek, Iron Ore



HardiePlank Lap Siding 5" Exposure
 Colour: Benjamin Moore, Kendall Charcoal HC-166



Brick Veneer
 Colour: Mutual Materials, Ebony Mission



Laminated Fibreglass Shingles
 Colour: Pabco Antique Black



Garage Door
 Colour: Benjamin Moore, White Heron OC-57



Colour Scheme B Buildings: 2, 5, 8, 10, 13, 16, 19, 20, 23, 24, 28, 29

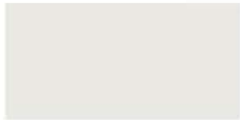
- Soffit**
Vinyl Perforated soffit, Black
- Brick Veneer**
Running Bond, Norman Brick Size
Mutual Materials, Ebony Mission
- Metal Entry Roof**
Benjamin Moore, Kendall Charcoal HC-166
- Laminated Fibreglass Shingles**
Pabco Premier, Antique Black
- Gutter & RWL**
Pre-finished Aluminum
Gentek, Black
- Wood Trim**
Benjamin Moore, Kendall Charcoal HC-166
- Vinyl Window**
White
- Wood Window Trim**
2x head, 2x jamb/sill
Benjamin Moore, Collingwood OC-28
- Wood Trim**
2x4 wood
Benjamin Moore, Kendall Charcoal HC-166
- Vinyl Siding**
4.5" Exposure
Gentek, Iron Ore
- Wood Door Trim**
2x head, 2x jamb
Benjamin Moore, Collingwood OC-28
- Metal Panel Door**
White
- Wood Trim**
Benjamin Moore, Collingwood OC-28
- Wood Belly Band**
2x10 Painted Wood
Benjamin Moore, Kendall Charcoal HC-166
- HardiePlank Lap Siding (Street Facing Elevations)**
5" Exposure
Benjamin Moore, Kendall Charcoal HC-166
- Guard Rail**
Pre-finished Aluminum
Gentek Black



Aluminum Railings, RWL & Gutters
 Colour: Gentek, Black



Vinyl Window Frame & Aluminum Doors
 Colour: White



Wood Trim
 Colour: Benjamin Moore, Collingwood OC-28



Wood Trim
 Colour: Benjamin Moore, Escarpment CC-518



Wood Trim
 Colour: Benjamin Moore, Kendall Charcoal HC-166



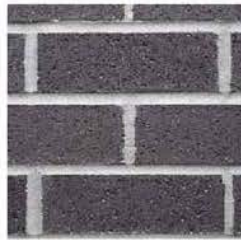
Vinyl Siding
 Colour: Gentek, Storm



Vinyl Siding
 Colour: Gentek, Iron Ore



HardiePlank Lap Siding 5" Exposure
 Colour: Benjamin Moore, Escarpment CC-518



Brick Veneer
 Colour: Mutual Materials, Ebony Mission



Laminated Fibreglass Shingles
 Colour: Pabco Antique Black



Garage Door
 Colour: Benjamin Moore, White Heron OC-57

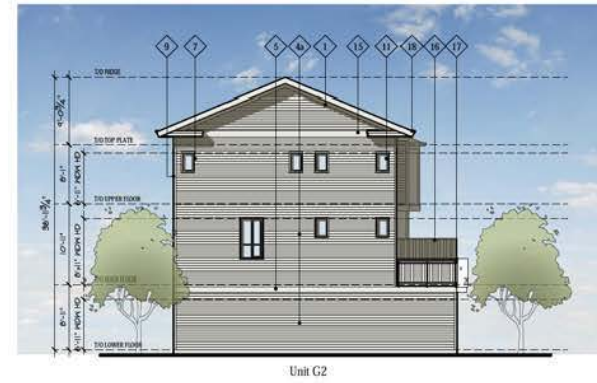


Colour Scheme C Buildings: 3, 4, 7, 11, 12, 15, 18, 21, 26, 27, 31

- Soffit**
Vinyl Perforated soffit, White
- Brick Veneer**
Running Bond, Norman Brick Size
Mutual Materials, Ebony Mission
- Metal Entry Roof**
Benjamin Moore, Kendall Charcoal HC-166
- Laminated Fibreglass Shingles**
Pabco Premier, Antique Black
- Gutter & RWL**
Pre-finished Aluminum
Gentek, Black
- Wood Trim**
Benjamin Moore, Escarpment OC-28
- Vinyl Window**
White
- Wood Window Trim**
2x head, 2x jamb/sill
Benjamin Moore, Collingwood OC-28
- Wood Trim**
2x4 wood
Benjamin Moore, Escarpment OC-28
- Vinyl Siding**
4.5" Exposure
Gentek, Storm
- Wood Door Trim**
2x head, 2x jamb/sill
Benjamin Moore, Collingwood OC-28
- Metal Panel Door**
White
- Wood Trim**
Benjamin Moore, Collingwood OC-28
- Wood Belly Band**
2x10 Painted Wood
Benjamin Moore, Escarpment CC-518
- Vinyl Siding**
4.5" Exposure
Gentek, Iron Ore
- HardiePlank Lap Siding (Street Facing Elevations)**
5" Exposure
Benjamin Moore, Escarpment CC-518
- Guard Rail**
Pre-finished Aluminum
Gentek Black



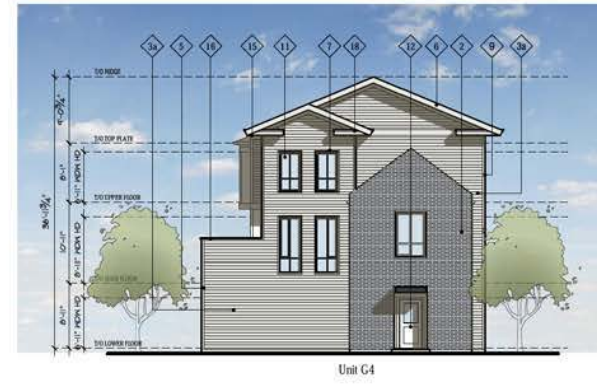
Front Elevation



Internal Elevation



Rear Elevation



True End Elevation



Copyright © All rights reserved. Reproduction in whole or in part is prohibited. This drawing is an instrument of service in the province of the architect and may not be used in any way without the written permission of the office.

Revised:
 Issued for Pre Development Permit
 March 28, 2015
 Issued for Development Permit
 April 7, 2015
 Re-issued for Development Permit
 July 31, 2015
 Re-issued for Development Permit
 September 28, 2015
 Re-issued for Development Permit
 October 19, 2015
 Re-issued for Development Permit
 October 22, 2015
 Re-issued for Development Permit
 October 28, 2015



27th
 Townhomes
 27th Avenue and 160th Street
 Surrey, B.C.

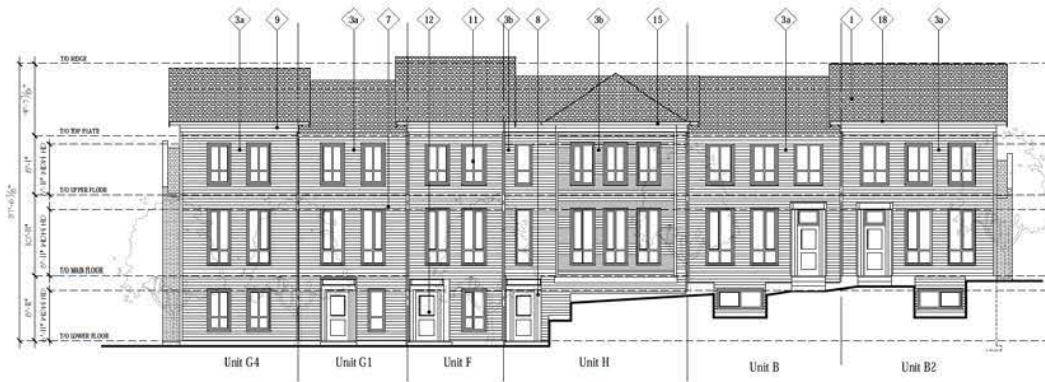
Building 1, 2, 3, 15,
 16 & 18 Elevations

1/8" = 1'-0"
 October 26, 2015

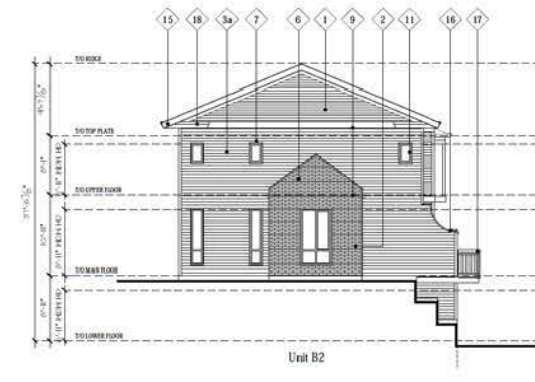
Exterior Finish Legend			
◇ Pitch Roof	Laminated Fibreglass Shingles Pabco, Antique Black	◇ Vinyl Siding	Genek, Linen
◇ Brick Siding	Mutual Materials	◇ Vinyl Siding	Genek, Iron Ore
◇ Horizontal Siding	HardiePlank Lap Siding 5' Exposure Benjamin Moore, Collegewood	◇ Vinyl Siding	Genek, Storm
◇ Horizontal Siding	HardiePlank Lap Siding 5' Exposure Benjamin Moore, Kendall Charcoal	◇ Belly Board	2 x 10 wood, painted
◇ Horizontal Siding	HardiePlank Lap Siding 5' Exposure Benjamin Moore, Escarpment	◇ Fascia	1 x 4 wood trim on 2 x 10 wood trim
◇ Window Trim	2x head, 2x jamb/sill wood trim	◇ Window Trim	2x head, 2x jamb/sill wood trim
◇ Door Trim	2x head, 2x jamb wood trim	◇ Door Trim	2x head, 2x jamb wood trim
◇ Wood Trim	Painted wood trim	◇ Wood Trim	Painted wood trim
◇ Windows	Vinyl Frames White	◇ Windows	Vinyl Frames White
◇ Entry Door	Metal Panel Door	◇ Entry Door	Metal Panel Door
◇ Garage Door	White	◇ Garage Door	White
◇ Sliding Door	Vinyl Frames White	◇ Sliding Door	Vinyl Frames White
◇ Soffit	Perforated Vinyl White	◇ Soffit	Perforated Vinyl White
◇ Privacy Screen	Painted Wood	◇ Privacy Screen	Painted Wood
◇ Aluminum Railing	Pre-finished Aluminum Genek, Black	◇ Aluminum Railing	Pre-finished Aluminum Genek, Black
◇ Gutter & R/WL	Pre-finished Aluminum Genek, Black	◇ Gutter & R/WL	Pre-finished Aluminum Genek, Black

Buildings 1, 2 (Similar), 3 (Similar), 15, 16 (Mirrored) & 18 (Similar)

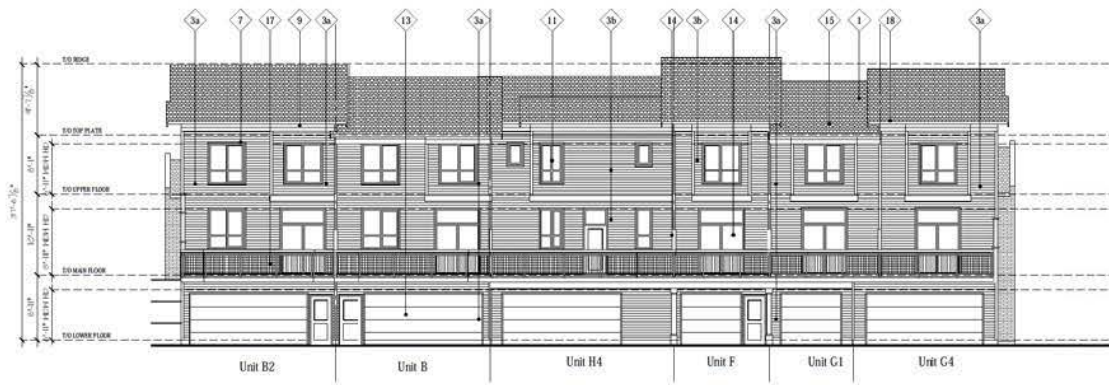
SK-2.01



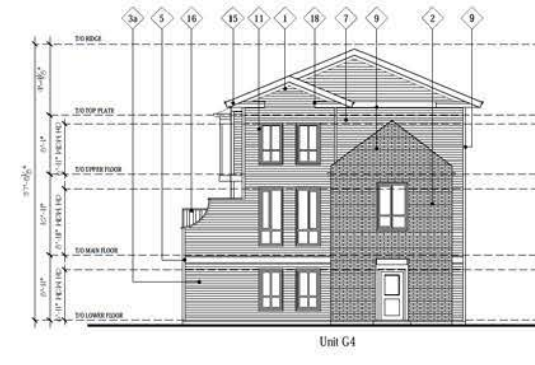
Front Elevation



True End Elevation



Rear Elevation



True End Elevation

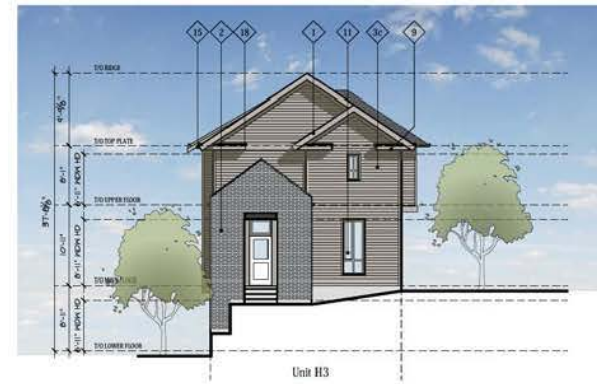
Exterior Finish Legend

① Pitch Roof	Laminated Fibreglass Shingles Palco, Antique Black	⑩ Vinyl Siding	Genek, Linen	① Window Trim	2x bead, 2x jamb/sill wood trim	⑪ Garage Door	White	⑬ Gutter & RVL	Pre-finished Aluminum Genek, Black
② Brick Siding	Mutual Materials Ebony Mission	⑪ Vinyl Siding	Genek, Iron Ore	② Door Trim	2x bead, 2x jamb wood trim	⑫ Sliding Door	Vinyl Frames White		
③ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Collingwood	⑫ Vinyl Siding	Genek, Storm	③ Wood Trim	Painted wood trim	⑬ Soffit	Perforated Vinyl White		
④ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Kendall Charcoal	⑬ Belly Board	2 x 10 wood, painted	④ Windows	Vinyl Frames White	⑭ Privacy Screen	Painted Wood		
⑤ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Escarpment	⑭ Fascia	1 x 4 wood trim on 2 x 10 wood trim	⑤ Entry Door	Metal Panel Door	⑮ Aluminum Railing	Pre-finished Aluminum Genek, Black		





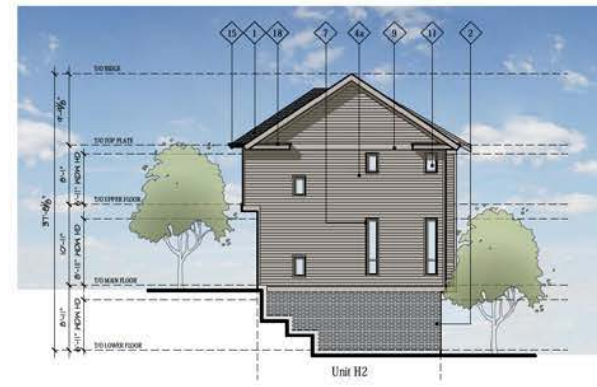
Front Elevation



True End Elevation



Rear Elevation



Internal Elevation

Exterior Finish Legend

◇ Pitch Roof	Laminated Fibreglass Shingles Palco, Antique Black	◇ Vinyl Siding	Genek, Linen	◇ Window Trim	2x head, 2x jamb/sill wood trim	◇ Garage Door	White	◇ Gutter & R/WL	Pre-finished Aluminum Genek, Black
◇ Brick Siding	Mutual Materials Ebony Mission	◇ Vinyl Siding	Genek, Iron Ore	◇ Door Trim	2x head, 2x jamb wood trim	◇ Sliding Door	Vinyl Frames White		
◇ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Collegewood	◇ Vinyl Siding	Genek, Storm	◇ Wood Trim	Painted wood trim	◇ Soffit	Perforated Vinyl White		
◇ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Kendall Charcoal	◇ Belly Board	2 x 10 wood, painted	◇ Windows	Vinyl Frames White	◇ Privacy Screen	Painted Wood		
◇ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Escarpment	◇ Fascia	1 x 4 wood trim on 2 x 10 wood trim	◇ Entry Door	Metal Panel Door	◇ Aluminum Railing	Pre-finished Aluminum Genek, Black		

Buildings 11 (Similar), 25 (Similar) & 26



Copyright © All rights reserved. Reproduction in whole or in part is prohibited. This drawing is an instrument of service in the property of the architect and may not be used in any way without the written permission of the office.

Revision
 Issued for Pre Development Permit
 March 26, 2015
 Issued for Development Permit
 April 7, 2015
 Re-issued for Development Permit
 July 31, 2015
 Re-issued for Development Permit
 September 28, 2015
 Re-issued for Development Permit
 October 19, 2015
 Re-issued for Development Permit
 October 22, 2015
 Re-issued for Development Permit
 October 26, 2015



27th
 Townhomes
 27th Avenue and 160th Street
 Surrey, B.C.

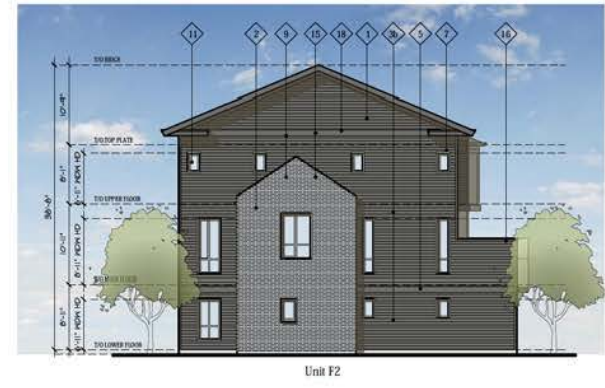
Building 11, 25 & 26
 Elevations

1/8" = 1'-0"
 October 26, 2015

SK-2.07



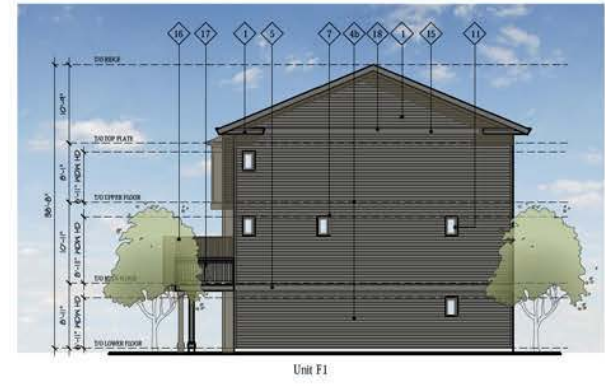
Front Elevation



True End Elevation



Rear Elevation



Internal Elevation

Exterior Finish Legend

◇ Pitch Roof	Laminated Fibreglass Shingles Pabco, Antique Black	◇ Vinyl Siding	Genek, Linen	◇ Window Trim	2x head, 2x jamb/sill wood trim	◇ Garage Door	White	◇ Gutter & RWL	Pre-finished Aluminum Genek, Black
◇ Brick Siding	Mutual Materials Ebony Mission	◇ Vinyl Siding	Genek, Iron Ore	◇ Door Trim	2x head, 2x jamb wood trim	◇ Sliding Door	Vinyl Frames White		
◇ Horizontal Siding	HardiePlank Lap Siding 5' Exposure Benjamin Moore, Collegewood	◇ Vinyl Siding	Genek, Storm	◇ Wood Trim	Painted wood trim	◇ Soffit	Perforated Vinyl White		
◇ Horizontal Siding	HardiePlank Lap Siding 5' Exposure Benjamin Moore, Kendall Charcoal	◇ Belly Board	2 x 10 wood, painted	◇ Windows	Vinyl Frames White	◇ Privacy Screen	Painted Wood		
◇ Horizontal Siding	HardiePlank Lap Siding 5' Exposure Benjamin Moore, Escarpment	◇ Fascia	1 x 4 wood trim on 2 x 10 wood trim	◇ Entry Door	Metal Panel Door	◇ Aluminum Railing	Pre-finished Aluminum Genek, Black		

Buildings 13



Copyright © Right reserved. Reproduction in whole or in part is prohibited. This drawing is an instrument of service in the property of the architect and may not be used in any way without the written permission of the office.

Revised:
Issued for Pre Development Permit
March 26, 2015
Issued for Development Permit
April 7, 2015
Re-issued for Development Permit
July 31, 2015
Re-issued for Development Permit
September 28, 2015
Re-issued for Development Permit
October 19, 2015
Re-issued for Development Permit
October 22, 2015
Re-issued for Development Permit
October 26, 2015



27th
Townhomes
27th Avenue and 160th Street
Surrey, B.C.

Building 13
Elevations

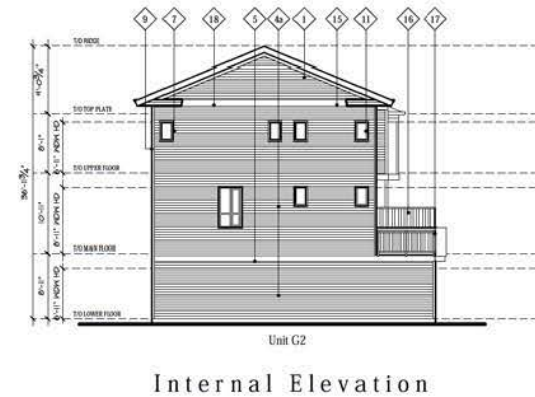
1/8" = 1'-0"
October 26, 2015

SK-2.09

Revised:
 Issued for Pre Development Permit
 March 26, 2015
 Issued for Development Permit
 April 7, 2015
 Re-issued for Development Permit
 July 31, 2015
 Re-issued for Development Permit
 September 28, 2015
 Re-issued for Development Permit
 October 19, 2015
 Re-issued for Development Permit
 October 22, 2015
 Re-issued for Development Permit
 October 26, 2015



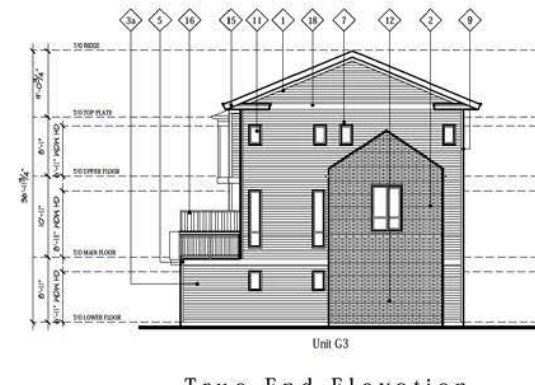
Front Elevation



Internal Elevation



Rear Elevation



True End Elevation



Exterior Finish Legend

◇ Pitch Roof	Laminated Fibreglass Shingles Pabco, Antique Black	◇ Vinyl Siding	Genek, Linen	◇ Window Trim	2x head, 2x jamb/sill wood trim	◇ Garage Door	White	◇ Gutter & R/WL	Pre-finished Aluminum Genek, Black
◇ Brick Siding	Mutual Materials Ebony Mission	◇ Vinyl Siding	Genek, Iron Ore	◇ Door Trim	2x head, 2x jamb wood trim	◇ Sliding Door	Vinyl Frames White		
◇ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Collingwood	◇ Vinyl Siding	Genek, Storm	◇ Wood Trim	Painted wood trim	◇ Soffit	Perforated Vinyl White		
◇ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Kendall Charcoal	◇ Belly Board	2 x 10 wood, painted	◇ Windows	Vinyl Frames White	◇ Privacy Screen	Painted Wood		
◇ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Escarpment	◇ Fascia	1 x 4 wood trim on 2 x 10 wood trim	◇ Entry Door	Metal Panel Door	◇ Aluminum Railing	Pre-finished Aluminum Genek, Black		

27th
Townhomes
27th Avenue and 160th Street
Surrey, B.C.

Building 17 & 19
Elevations

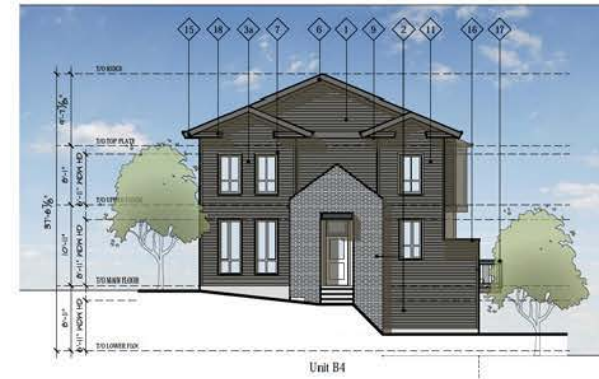
1/8" = 1'-0"
October 26, 2015

Buildings 17 & 19 (Mirrored)

SK-2.11



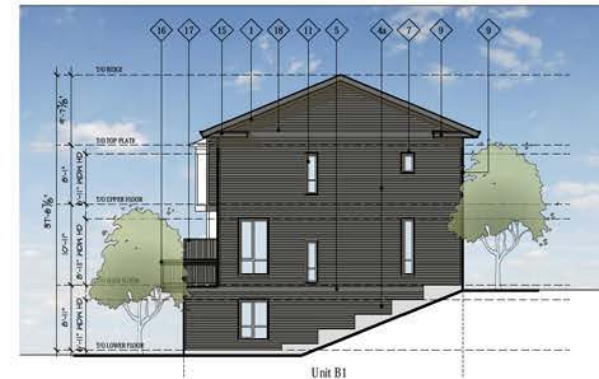
Front Elevation



True End Elevation



Rear Elevation



Internal Elevation



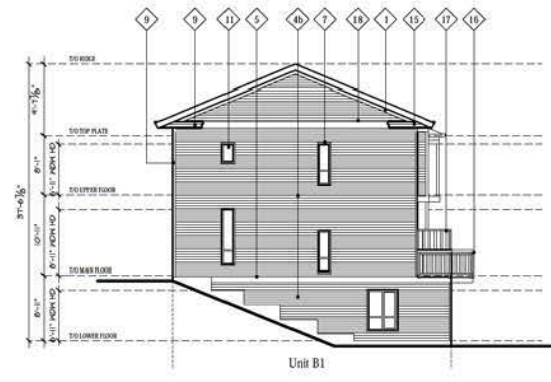
Exterior Finish Legend

◇ Pitch Roof	Laminated Fibreglass Shingles Pabco, Antique Black	◇ Vinyl Siding	Genek, Linen	◇ Window Trim	2x head, 2x jamb/sill wood trim	◇ Garage Door	White	◇ Gutter & R/WL	Pre-finished Aluminum Genek, Black
◇ Brick Siding	Mutual Materials Ebony Mission	◇ Vinyl Siding	Genek, Iron Ore	◇ Door Trim	2x head, 2x jamb wood trim	◇ Sliding Door	Vinyl Frames White		
◇ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Collegewood	◇ Vinyl Siding	Genek, Storm	◇ Wood Trim	Painted wood trim	◇ Soffit	Perforated Vinyl White		
◇ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Kendall Charcoal	◇ Belly Board	2 x 10 wood, painted	◇ Windows	Vinyl Frames White	◇ Privacy Screen	Painted Wood		
◇ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Escarpment	◇ Fascia	1 x 4 wood trim on 2 x 10 wood trim	◇ Entry Door	Metal Panel Door	◇ Aluminum Railing	Pre-finished Aluminum Genek, Black		

Buildings 20, 29 & 30 (Mirrored)



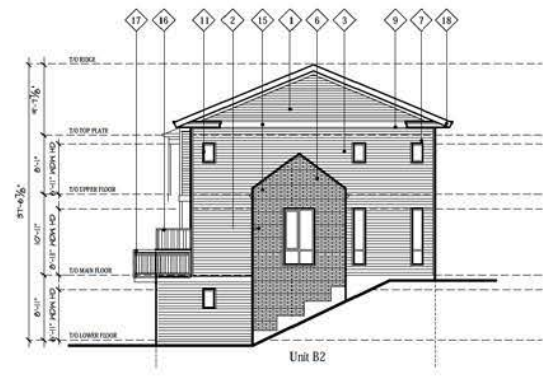
Front Elevation



Internal Elevation



Rear Elevation



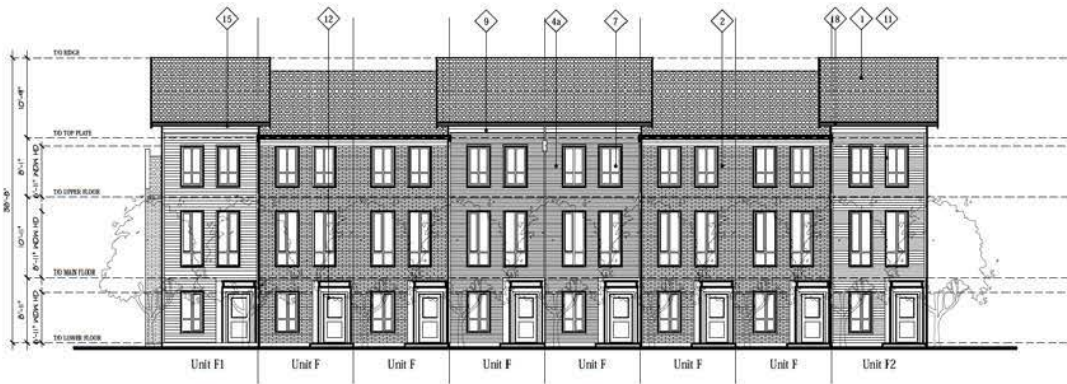
True End Elevation

Exterior Finish Legend

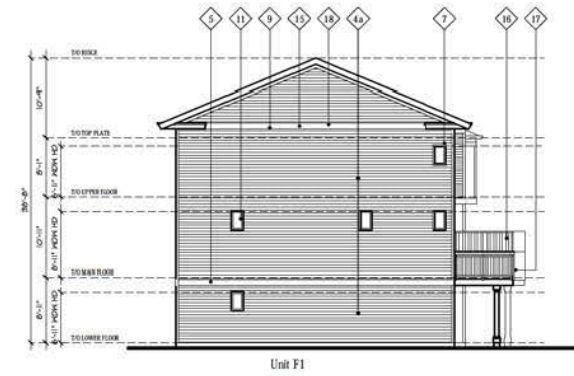
◇ Pitch Roof	Laminated Fibreglass Shingles Pabco, Antique Black	◇ Vinyl Siding	Genek, Linen	◇ Window Trim	2x head, 2x jamb/sill wood trim	◇ Garage Door	White	◇ Gutter & R/WL	Pre-finished Aluminum Genek, Black
◇ Brick Siding	Mutual Materials Ebony Mission	◇ Vinyl Siding	Genek, Iron Ore	◇ Door Trim	2x head, 2x jamb wood trim	◇ Sliding Door	Vinyl Frames White		
◇ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Collingwood	◇ Vinyl Siding	Genek, Storm	◇ Wood Trim	Painted wood trim	◇ Soffit	Perforated Vinyl White		
◇ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Kendall Charcoal	◇ Belly Board	2 x 10 wood, painted	◇ Windows	Vinyl Frames White	◇ Privacy Screen	Painted Wood		
◇ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Escarpment	◇ Fascia	1 x 4 wood trim on 2 x 10 wood trim	◇ Entry Door	Metal Panel Door	◇ Aluminum Railing	Pre-finished Aluminum Genek, Black		

Buildings 21, 4 (Similar), 5 (Similar), 14 (Similar)

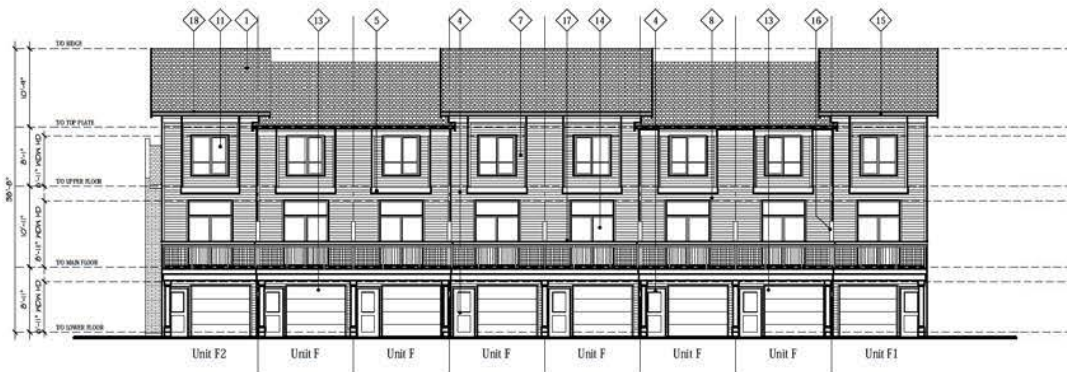




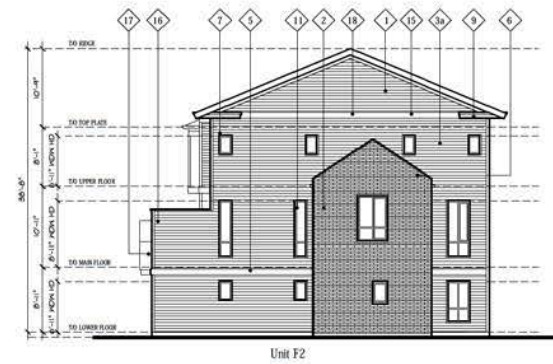
Front Elevation



Internal Elevation



Rear Elevation



True End Elevation

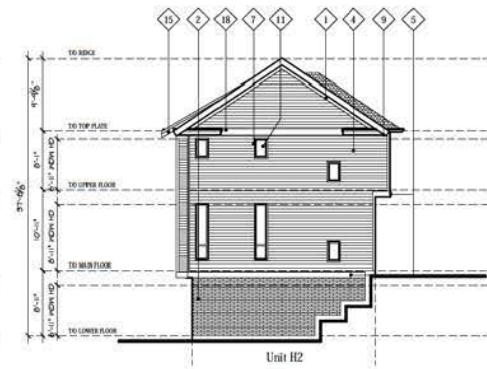
Exterior Finish Legend

◆ Pitch Roof	Laminated Fibreglass Shingles Pabco, Antique Black	◆ Vinyl Siding	Geniek, Linen	◆ Window Trim	2x bead, 2x jamb/sill wood trim	◆ Garage Door	White	◆ Gutter & R/WL	Pre-finished Aluminum Geniek, Black
◆ Brick Siding	Mutual Materials Ebony Mission	◆ Vinyl Siding	Geniek, Iron Ore	◆ Door Trim	2x bead, 2x jamb wood trim	◆ Sliding Door	Vinyl Frames White		
◆ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Collingwood	◆ Vinyl Siding	Geniek, Storm	◆ Wood Trim	Painted wood trim	◆ Soffit	Perforated Vinyl White		
◆ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Kendall Charcoal	◆ Belly Board	2 x 10 wood, painted	◆ Windows	Vinyl Frames White	◆ Privacy Screen	Painted Wood		
◆ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Escarpment	◆ Fascia	1 x 4 wood trim on 2 x 10 wood trim	◆ Entry Door	Metal Panel Door	◆ Aluminum Railing	Pre-finished Aluminum Geniek, Black		

Buildings 22, 7 (Similar), 8 (Mirrored) & 23 (Mirrored)



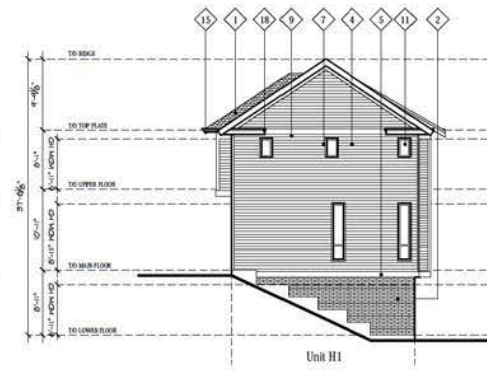
Front Elevation



Internal Elevation



Rear Elevation



Internal Elevation

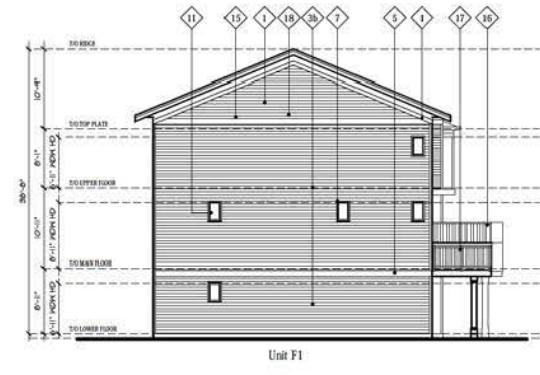
Exterior Finish Legend

◇ Pitch Roof	Laminated Fibreglass Shingles Palco, Antique Black	◇ Vinyl Siding	Genek, Linen	◇ Window Trim	2x bead, 2x jamb/sill wood trim	◇ Garage Door	White	◇ Gutter & R/WL	Pre-finished Aluminum Genek, Black
◇ Brick Siding	Mutual Materials Ebony Mission	◇ Vinyl Siding	Genek, Iron Ore	◇ Door Trim	2x bead, 2x jamb wood trim	◇ Sliding Door	Vinyl Frames White		
◇ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Collingwood	◇ Vinyl Siding	Genek, Storm	◇ Wood Trim	Painted wood trim	◇ Soffit	Perforated Vinyl White		
◇ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Kendall Charcoal	◇ Belly Board	2 x 10 wood, painted	◇ Windows	Vinyl Frames White	◇ Privacy Screen	Painted Wood		
◇ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Escarpment	◇ Fascia	1 x 4 wood trim on 2 x 10 wood trim	◇ Entry Door	Metal Panel Door	◇ Aluminum Railing	Pre-finished Aluminum Genek, Black		

Buildings 24, 9 & 10 (Similar)



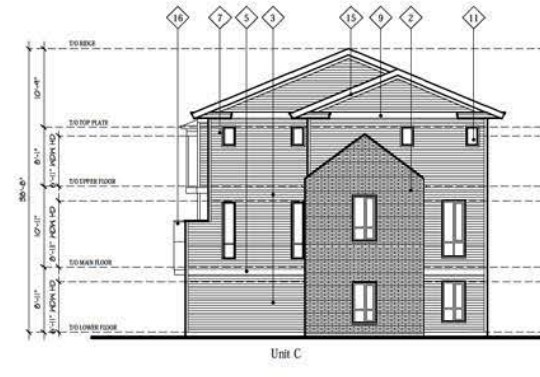
Front Elevation



Internal Elevation



Rear Elevation



True End Elevation

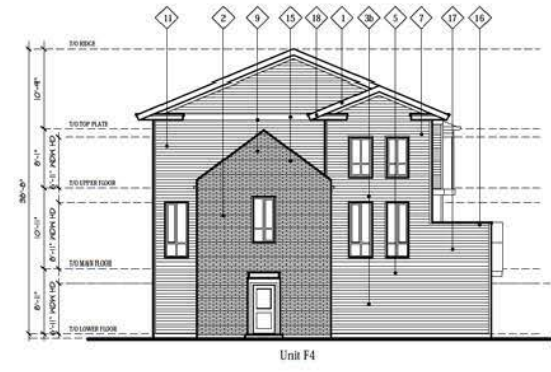
Exterior Finish Legend

◇ Pitch Roof	Laminated Fibreglass Shingles Palco, Antique Black	◇ Vinyl Siding	Genek, Linen	◇ Window Trim	2x bead, 2x jamb/sill wood trim	◇ Garage Door	White	◇ Gutter & RVL	Pre-finished Aluminum Genek, Black
◇ Brick Siding	Mutual Materials Ebony Mission	◇ Vinyl Siding	Genek, Iron Ore	◇ Door Trim	2x bead, 2x jamb wood trim	◇ Sliding Door	Vinyl Frames White		
◇ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Collingwood	◇ Vinyl Siding	Genek, Storm	◇ Wood Trim	Painted wood trim	◇ Soffit	Perforated Vinyl White		
◇ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Kendall Charcoal	◇ Belly Board	2 x 10 wood, painted	◇ Windows	Vinyl Frames White	◇ Privacy Screen	Painted Wood		
◇ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Escarpment	◇ Fascia	1 x 4 wood trim on 2 x 10 wood trim	◇ Entry Door	Metal Panel Door	◇ Aluminum Railing	Pre-finished Aluminum Genek, Black		

Buildings 27 & 12



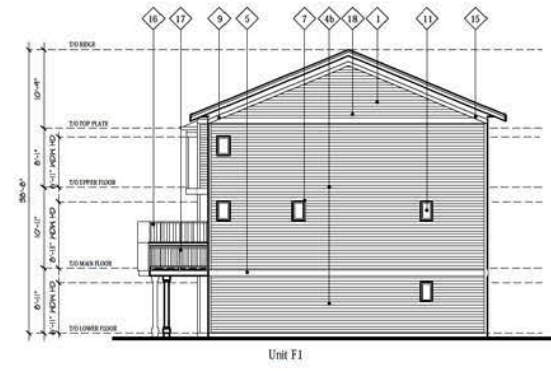
Front Elevation



True End Elevation



Rear Elevation



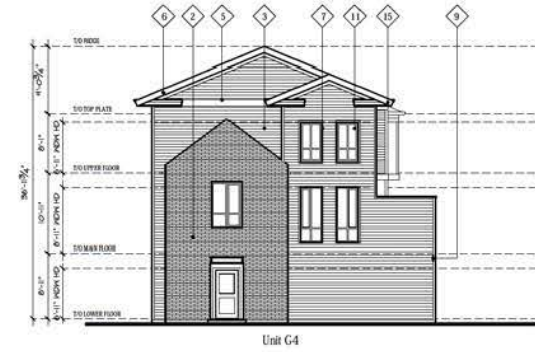
Internal Elevation

Exterior Finish Legend

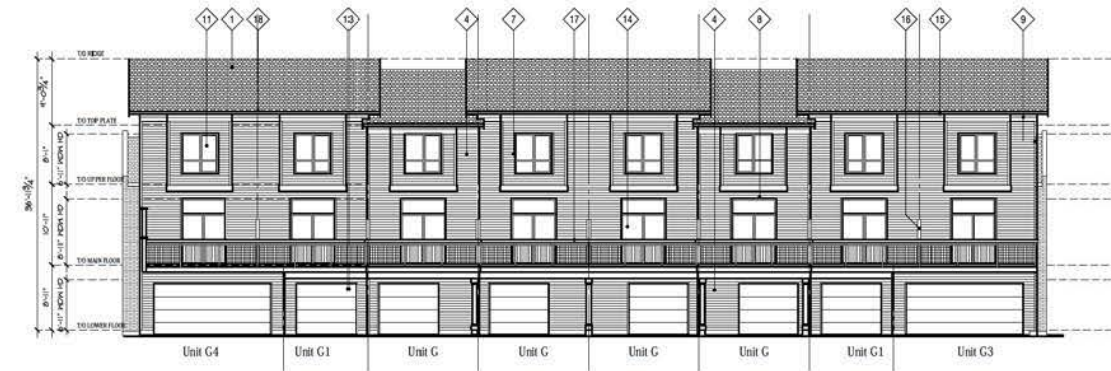
◇ Pitch Roof	Laminated Fibreglass Shingles Palco, Antique Black	◇ Vinyl Siding	Genek, Linen	◇ Window Trim	2x bead, 2x jamb/sill wood trim	◇ Garage Door	White	◇ Gutter & RVL	Pre-finished Aluminum Genek, Black
◇ Brick Siding	Mutual Materials Ebony Mission	◇ Vinyl Siding	Genek, Iron Ore	◇ Door Trim	2x bead, 2x jamb wood trim	◇ Sliding Door	Vinyl Frames White		
◇ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Collingwood	◇ Vinyl Siding	Genek, Storm	◇ Wood Trim	Painted wood trim	◇ Soffit	Perforated Vinyl White		
◇ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Kendall Charcoal	◇ Belly Board	2 x 10 wood, painted	◇ Windows	Vinyl Frames White	◇ Privacy Screen	Painted Wood		
◇ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Escarpment	◇ Fascia	1 x 4 wood trim on 2 x 10 wood trim	◇ Entry Door	Metal Panel Door	◇ Aluminum Railing	Pre-finished Aluminum Genek, Black		



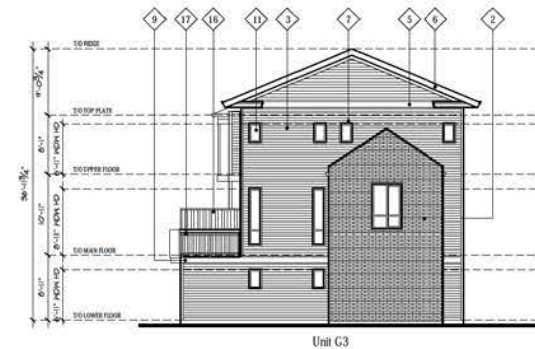
Front Elevation



True End Elevation



Rear Elevation

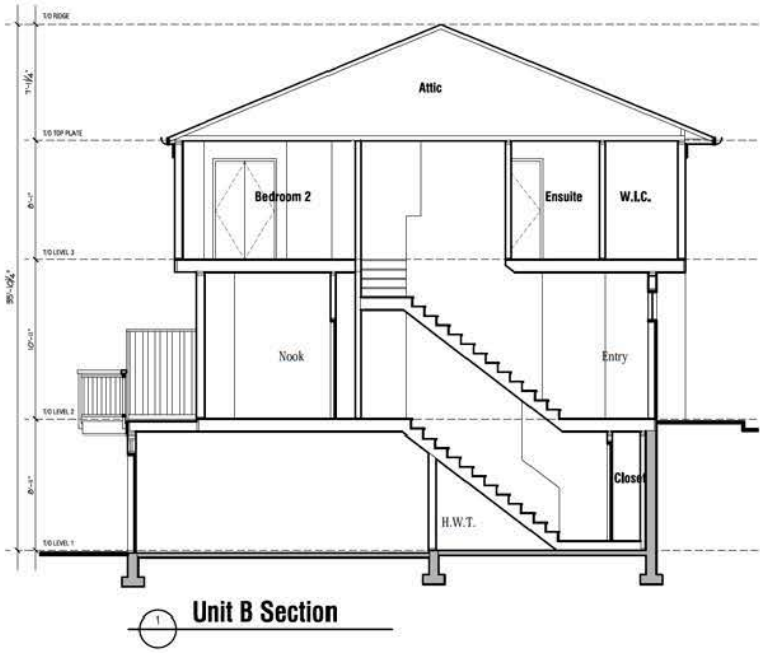


True End Elevation

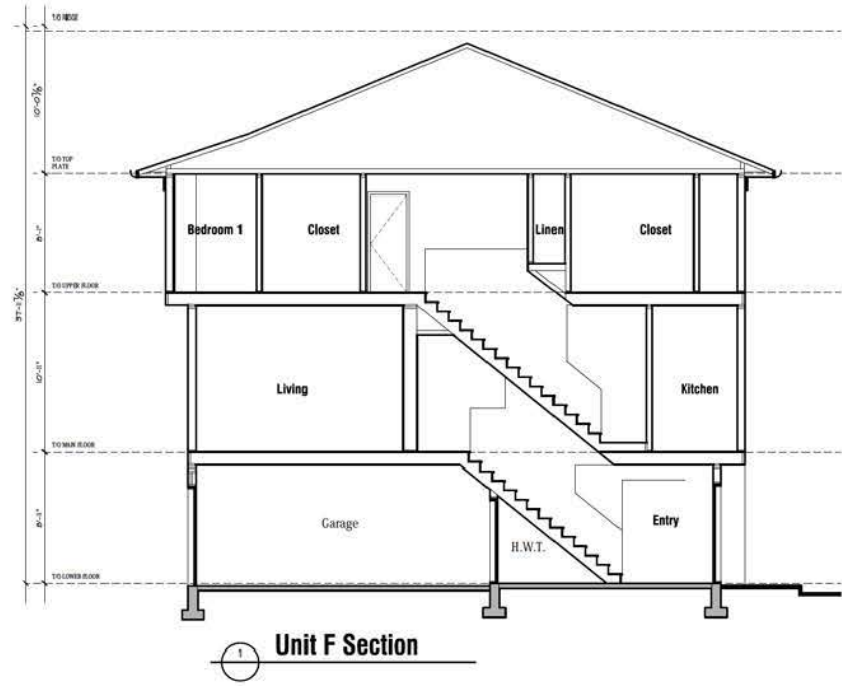
Exterior Finish Legend

◇ Pitch Roof	Laminated Fibreglass Shingles Pabco, Antique Black	◇ Vinyl Siding	Genek, Linen	◇ Window Trim	2x bead, 2x jamb/sill wood trim	◇ Garage Door	White	◇ Gutter & RVL	Pre-finished Aluminum Genek, Black
◇ Brick Siding	Mutual Materials Ebony Mission	◇ Vinyl Siding	Genek, Iron Ore	◇ Door Trim	2x bead, 2x jamb wood trim	◇ Sliding Door	Vinyl Frames White		
◇ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Collingwood	◇ Vinyl Siding	Genek, Storm	◇ Wood Trim	Painted wood trim	◇ Soffit	Perforated Vinyl White		
◇ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Kendall Charcoal	◇ Belly Board	2 x 10 wood, painted	◇ Windows	Vinyl Frames White	◇ Privacy Screen	Painted Wood		
◇ Horizontal Siding	HardiePlank Lap Siding 5" Exposure Benjamin Moore, Escarpment	◇ Fascia	1 x 4 wood trim on 2 x 10 wood trim	◇ Entry Door	Metal Panel Door	◇ Aluminum Railing	Pre-finished Aluminum Genek, Black		

Revised
 Issued for Pre-Development Permit
 March 26, 2015
 Issued for Development Permit
 April 7, 2015
 Re-issued for Development Permit
 July 31, 2015
 Re-issued for Development Permit
 September 28, 2015
 Re-issued for Development Permit
 October 19, 2015
 Re-issued for Development Permit
 October 22, 2015
 Re-issued for Development Permit
 October 26, 2015



Unit B Section



Unit F Section

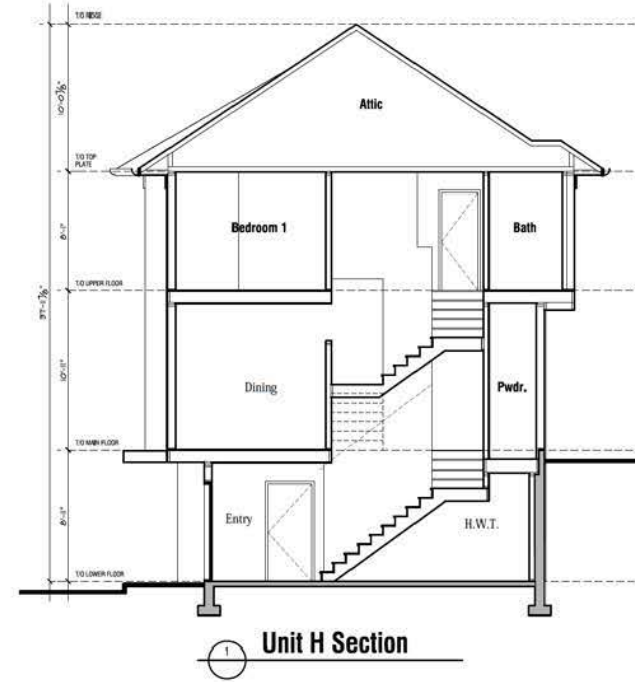
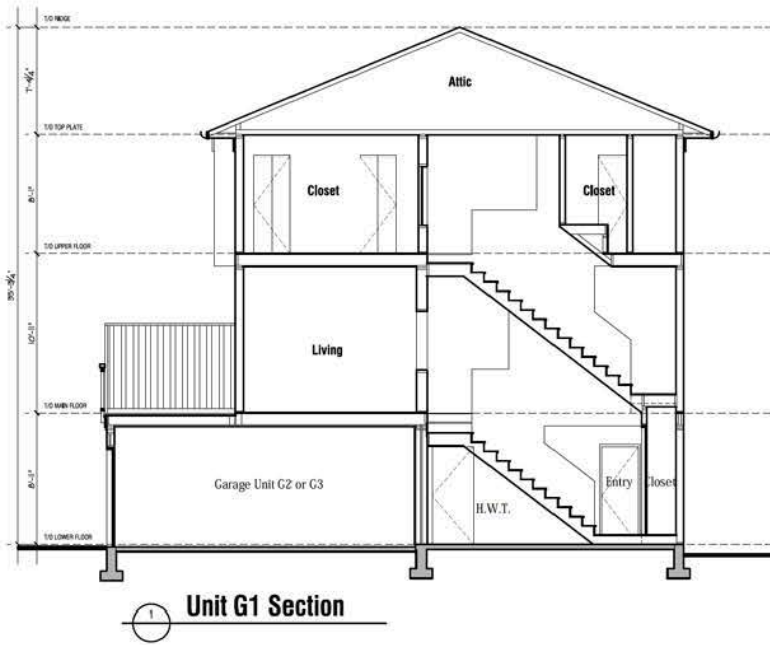
MOSAIC

**27th
 Townhomes**
 27th Avenue and 160th Street
 Surrey, B.C.

Unit Sections
 1/4" = 1'-0"
 October 26, 2015

SK-4.00

- Revisions
- Issued for Pre-Development Permit
March 26, 2015
 - Issued for Development Permit
April 7, 2015
 - Re-issued for Development Permit
July 31, 2015
 - Re-issued for Development Permit
September 28, 2015
 - Re-issued for Development Permit
October 19, 2015
 - Re-issued for Development Permit
October 22, 2015
 - Re-issued for Development Permit
October 26, 2015



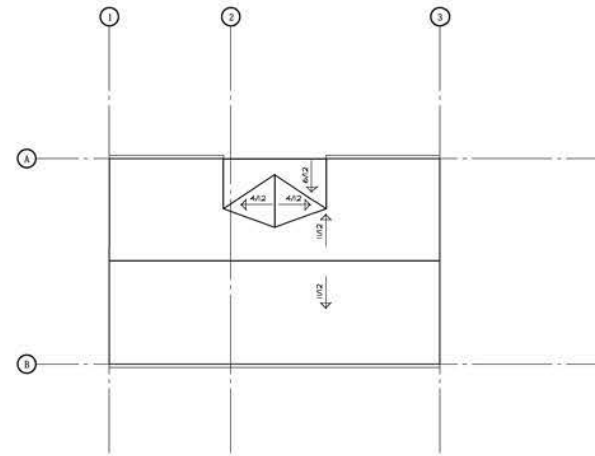
27th
 Townhomes
 27th Avenue and 160th Street
 Surrey, B.C.

Unit Sections

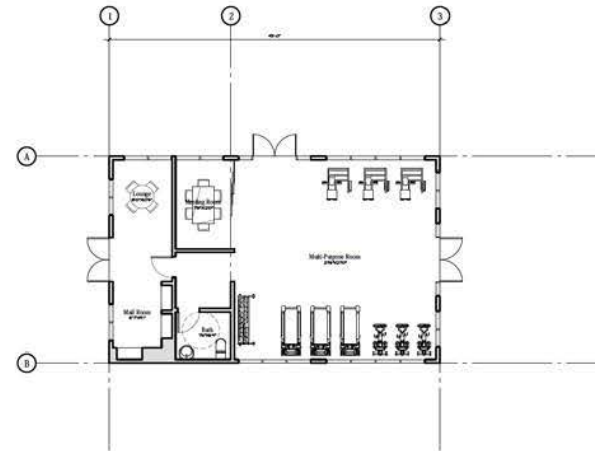
1/4" = 1'-0"
 October 26, 2015

SK-4.01

- Revisions
 Issued for Pre-Development Permit
 March 26, 2015
 Issued for Development Permit
 April 7, 2015
 Re-issued for Development Permit
 July 31, 2015
 Re-issued for Development Permit
 September 28, 2015
 Re-issued for Development Permit
 October 19, 2015
 Re-issued for Development Permit
 October 22, 2015
 Re-issued for Development Permit
 October 26, 2015



Roof Plan



Lower Floor Plan

MOSAIC

27th
 Townhomes
 27th Avenue and 160th Street
 Surrey, B.C.

Amenity Building
 Plans

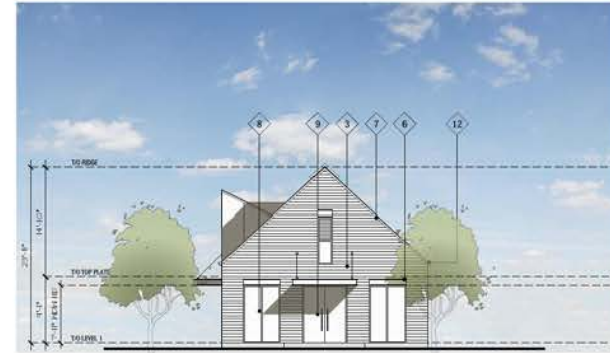
1/8" = 1'-0"
 October 26, 2015

SKAB-1.00

Revised:
 Issued for Pre Development Permit
 March 28, 2015
 Issued for Development Permit
 April 7, 2015
 Re-issued for Development Permit
 July 31, 2015
 Re-issued for Development Permit
 September 28, 2015
 Re-issued for Development Permit
 October 19, 2015
 Re-issued for Development Permit
 October 22, 2015
 Re-issued for Development Permit
 October 26, 2015



North Elevation



West Elevation



South Elevation



East Elevation

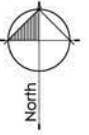
MOSAIC

27th
 Townhomes
 27th Avenue and 160th Street
 Surrey, B.C.

Amenity Building
 Elevations
 1/8" = 1'-0"
 October 26, 2015

Exterior Finish Legend

◇ Pitch Roof	Standing Seam Metal Centek, Black	◇ Window Trim	2x6 head, 2x4 jamb/sill wood trim BM, Kendall Charcoal HC-166	◇ Entry Door	Storefront Door Black
◇ Back Siding	Mutual Materials Ebony Mission	◇ Window Header	Metal C Channel BM, Kendall Charcoal HC-166	◇ Soffit	Perforated Vinyl Black
◇ Horizontal Siding	HardiePlank Lap Siding 5' Exposure BM, Kendall Charcoal HC-166	◇ Wood Trim	Painted wood trim BM, Kendall Charcoal HC-166	◇ Aluminum Railing	Pre-finished Aluminum Centek, Black
◇ Panel Siding	HardiePanel BM, Kendall Charcoal HC-166	◇ Windows	Storefront Window Black	◇ Gutter & RWL	Pre-finished Aluminum Centek, Black



2 OCT 16-18 ISSUED FOR DP
 1 SEPT 16-15 ISSUED FOR DP
 no. | date | item:

Revisions:
 1. Durante Kwik, Ltd.
 102 - 1637 West 8th Avenue
 Vancouver BC V6J 1M5
 T: 604 684 4611
 F: 604 684 0577
 www.dkbc.ca

MOSAIC
 500-2019 Granville Street
 Vancouver, BC
 V6H 3P6

PROPOSED PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE	BOTANICAL NAME	COMMON NAME	SIZE	BOTANICAL NAME	COMMON NAME	SIZE
TREES			SHRUBS / FERNS			PERENNIALS / GROUNDCOVERS / GRASSES		
<i>Acer Rubrum 'Sensitiv'</i>	Sensitiv Red Maple	7cm B&B	<i>Azalea 'Hino White'</i>	Azalea Hino White	#2 pot, 18" o.c.	<i>Alga repens 'Anopuspura'</i>	Carpet Bugleweed	#1 pot, 12" o.c.
<i>Acer Rubrum 'Autumn Blaze'</i>	Autumn Blaze Red Maple	7cm B&B	<i>Buxus microphylla 'Winter Gem'</i>	Winter Gem Boxwood	#2 pot, 18" o.c.	<i>Calluna vulgaris</i>	Feather Reed Grass	#3 pot, 18" o.c.
<i>Cornus 'Eddie's White Wonder'</i>	White Flowering Dogwood	6cm B&B	<i>Camelia sasanqua 'Setougeki' or 'Fairy B'</i>	Setougeki White or L. Pink Camellia	#3 pot, 30" o.c.	<i>Colinus vulgaris</i>	Heather	#1 pot, 12" o.c.
<i>Cornus kousa 'Satanii'</i>	Satanii Chinese Dogwood	6cm cal. B&B	<i>Chrysantha 'Asteric Pearl'</i>	Mexican Mook Orange	#3 pot, 24" o.c.	<i>Colostephus damieri</i>	Beantree Cobnesteer	#1 pot, 12" o.c.
<i>Chamaecyparis nootkanensis</i>	Weeping Nootka Cypress	3m H. B&B	<i>Hamamelis x intermedia</i>	Witchhazel	#3 pot, 30" o.c.	<i>Deutzia gracilis</i>	Deutzia	#1 pot, 14" o.c.
<i>Magnolia sieboldii</i>	Siebold's Magnolia	6cm B&B	<i>Hydrangea quercifolia 'Snow Queen'</i>	Snow Queen Oakleaf Hydrangea	#3 pot, 30" o.c.	<i>Erica carnea</i>	Heath	#1 pot, 12" o.c.
<i>Picea pungens 'Glauca'</i>	Colorado Blue Spruce	3m H. B&B	<i>Lonicera pileata</i>	Privet Honeysuckle	#2 pot, 24" o.c.	<i>Festuca glauca 'Elijah Blue'</i>	Blue Fescue	#1 pot, 12" o.c.
<i>Prunus sargentii 'Rancho'</i>	Rancho Cherry	6cm cal. B&B	<i>Laurocystis forsteri</i>	Fattenbush	#3 pot, 24" o.c.	<i>Helictotrichon sempiternum</i>	Blue Oat Grass	#1 pot, 14" o.c.
<i>Prunus 'Accoladi'</i>	Accolade Flowering Cherry	7cm B&B	<i>Mahonia aquilum</i>	Oregon Grape Holly	#3 pot, 24" o.c.	<i>Heuchera 'Green Spice'</i>	Green Spice Heuchera	#1 pot, 12" o.c.
<i>Quercus palustris</i>	Pin Oak	7cm B&B	<i>Nandina domestica 'Gulf Stream'</i>	Heavenly Bamboo	#3 pot, 24" o.c.	<i>Heuchera 'Tranquill'</i>	Tranquil Coral Bells	#1 pot, 12" o.c.
<i>Stewartia pseudocamellia</i>	Japanese Stewartia	6cm B&B	<i>Podocarpus neriifolius</i>	Fraser's Podocarpus	#3 pot, 18" o.c.	<i>Hosta 'Elegans'</i>	Elegant Hosta	#1 pot, 12" o.c.
			<i>Polystichum munium</i>	Creeping Oregon Grape	#1 pot, 14" o.c.	<i>Hosta 'Sabbidiana'</i>	Sabbidiana Hosta	#1 pot, 12" o.c.
			<i>Prunus laurocerasus 'Otto Lyken'</i>	Laurel Hedge	#3 pot, 24" o.c.	<i>Hosta 'Sabbidiana'</i>	Sabbidiana Hosta	#1 pot, 12" o.c.
			<i>Rhododendron 'Asia Princess'</i>	Yaku Princess Rhododendron	#3 pot, 24" o.c.	<i>Hosta 'Sabbidiana'</i>	Sabbidiana Hosta	#1 pot, 12" o.c.
			<i>Rhododendron 'September Song'</i>	September Song Rhododendron	#3 pot, 24" o.c.	<i>Hosta 'Sabbidiana'</i>	Sabbidiana Hosta	#1 pot, 12" o.c.
			<i>Rosa multiflora</i>	Nootka Rose	#3 pot, 30" o.c.	<i>Hosta 'Sabbidiana'</i>	Sabbidiana Hosta	#1 pot, 12" o.c.
			<i>Rubus parviflorus</i>	Thornberrry	#3 pot, 30" o.c.	<i>Hosta 'Sabbidiana'</i>	Sabbidiana Hosta	#1 pot, 12" o.c.
			<i>Sarcococca hookeriana humilis</i>	Dwarf Sweet Box	#2 pot, 18" o.c.	<i>Hosta 'Sabbidiana'</i>	Sabbidiana Hosta	#1 pot, 12" o.c.
			<i>Sarcococca nandifolia</i>	Sweet Box	#3 pot, 30" o.c.	<i>Hosta 'Sabbidiana'</i>	Sabbidiana Hosta	#1 pot, 12" o.c.
			<i>Silene japonica</i>	Japanese Silene	#3 pot, 24" o.c.	<i>Hosta 'Sabbidiana'</i>	Sabbidiana Hosta	#1 pot, 12" o.c.
			<i>Symphoricarpos albus</i>	Snowberry	#3 pot, 30" o.c.	<i>Hosta 'Sabbidiana'</i>	Sabbidiana Hosta	#1 pot, 12" o.c.
			<i>Taxus x media 'Hicksii'</i>	Hick's Yew	4 H., 18" o.c., B&B	<i>Hosta 'Sabbidiana'</i>	Sabbidiana Hosta	#1 pot, 12" o.c.
			<i>Vaccinium ovatum 'Thunderbird'</i>	Evergreen Huckleberry	#2 pot, 30" o.c.	<i>Hosta 'Sabbidiana'</i>	Sabbidiana Hosta	#1 pot, 12" o.c.
			<i>Viburnum davidii</i>	David's Viburnum	#3 pot, 24" o.c.	<i>Hosta 'Sabbidiana'</i>	Sabbidiana Hosta	#1 pot, 12" o.c.

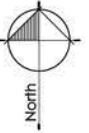
Project:
**27TH AVE
 SURREY, BC**

Drawn by: AG
 Checked by: PK
 Date: 9 June 2015
 Scale: NTS

Drawing Title:
COVERSHEET

Project No:
15010
 Sheet No.:

L0.0



2 Oct 30-15 ISSUED FOR DP
1 SEPT 16-15 ISSUED FOR DP
no. | date: | item:

Revisions:


 Duranta Kinok Ltd.
 102 - 1637 West 5th Avenue
 Vancouver BC V6J 1N5
 T: 604 694 4611
 F: 604 694 0577
 www.dk.bc.ca


 500-2009 Granville Street
 Vancouver, BC
 V6H 3P6

Project:
**27TH AVE
SURREY, BC**

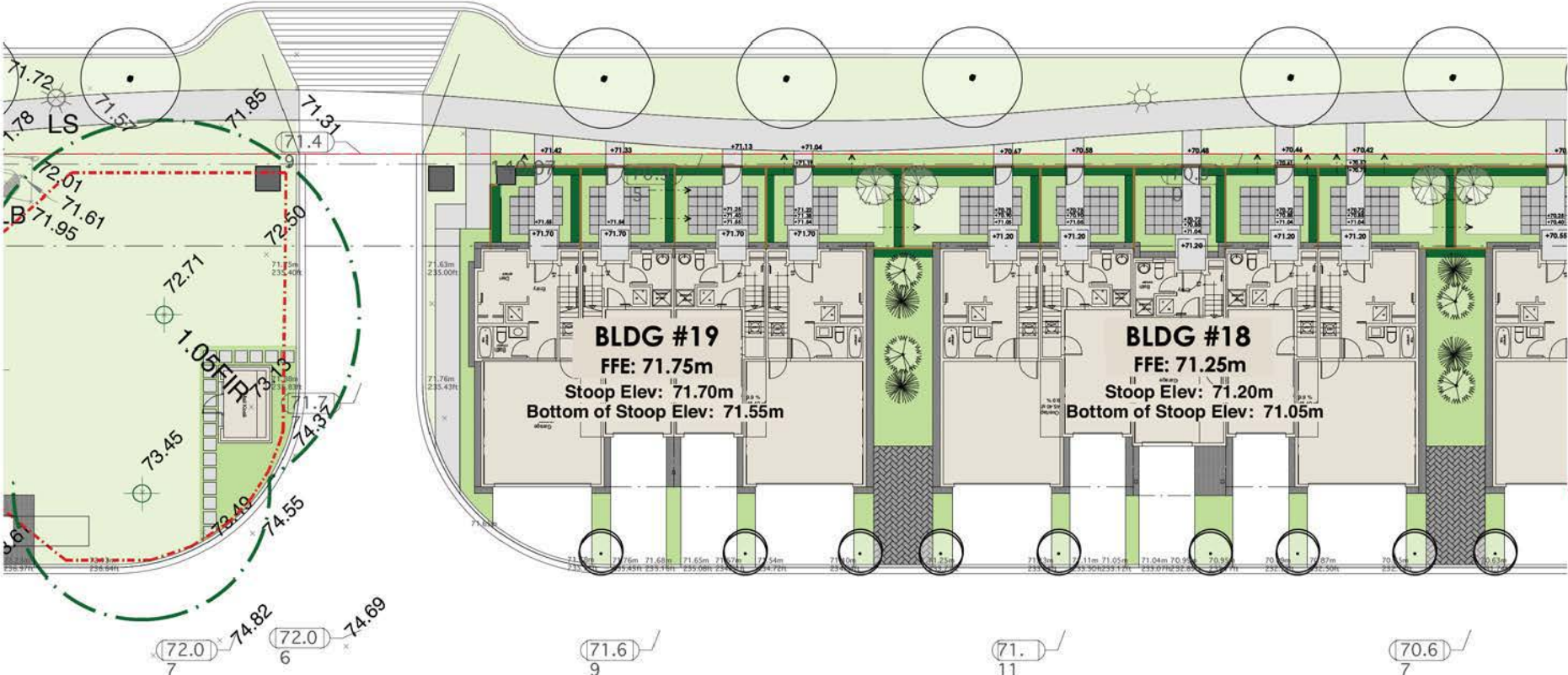
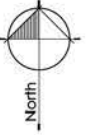
Drawn by: AG
 Checked by: PK
 Date: 9 June 2015
 Scale: 1/8" = 1'-0"

Drawing Title:
LANDSCAPE PLAN

Project No.:
 15010
 Sheet No.:

L1.01

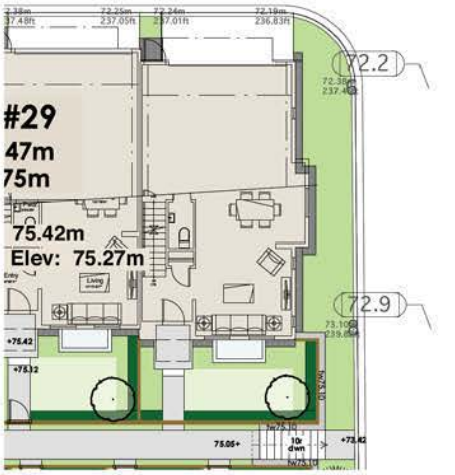
27th Ave



2	OCT 30-15	ISSUED FOR DP
1	SEPT 18-15	ISSUED FOR DP
no.	date:	item:
Revisions:		

Duratec Kwik Ltd.
 102 - 1637 West 5th Avenue
 Vancouver BC V6J 1H6
 T: 604 684 4611
 F: 604 684 0577
 www.dk.bc.ca

MOSAIC
 500-2009 Granville Street
 Vancouver, BC
 V6H 3P6



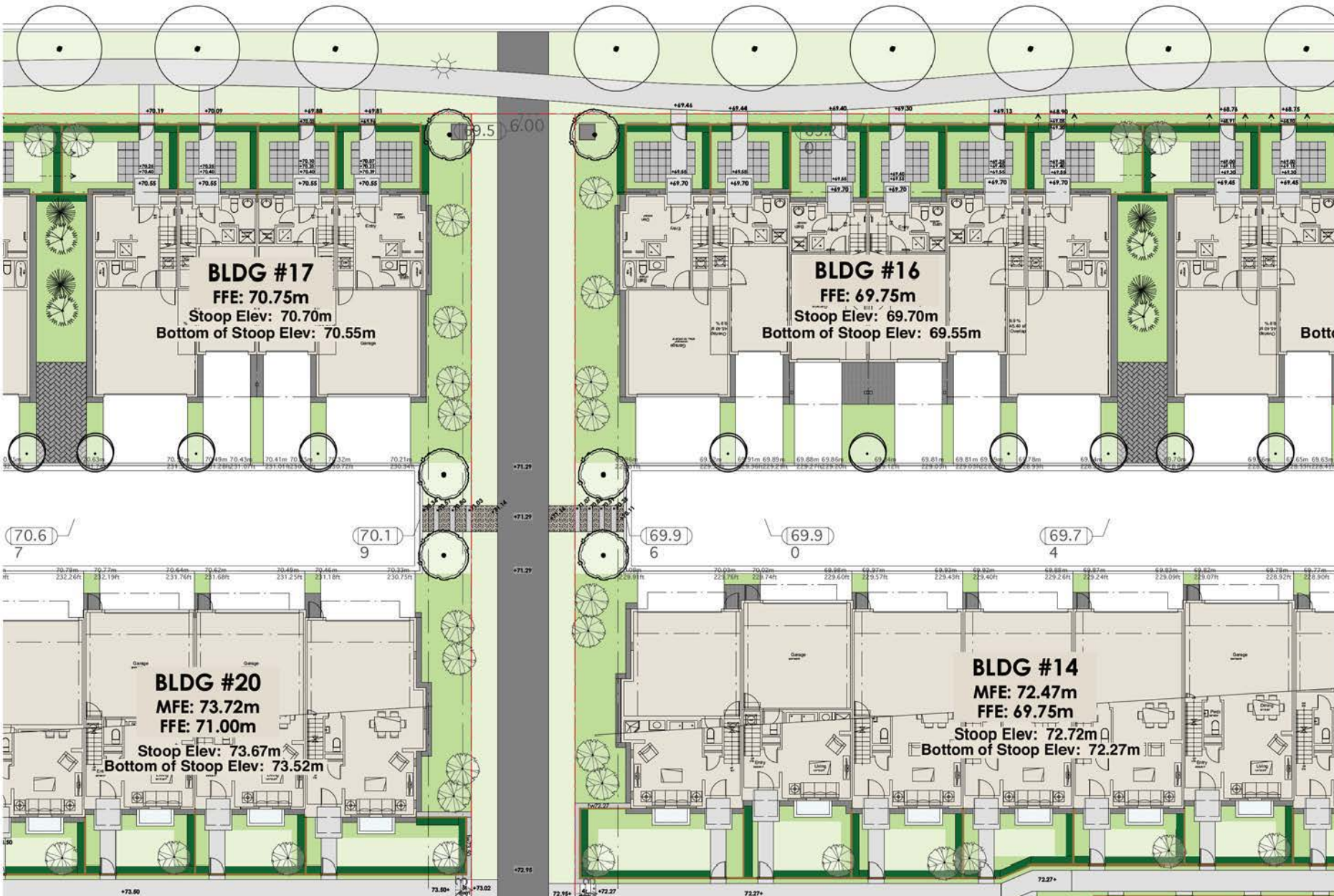
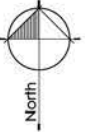
Project:
**27TH AVE
SURREY, BC**

Drawn by: AG
 Checked by: PK
 Date: 9 June 2015
 Scale: 1/8" = 1'-0"

Drawing Title:
LANDSCAPE PLAN

Project No.:
 15010
 Sheet No.:

L1.02



2 OCT 30-15 ISSUED FOR DP
1 SEPT 16-15 ISSUED FOR DP
no. | date: | item:
Revisions:

dk Durante Koskik Ltd.
102 - 1637 West 5th Avenue
Vancouver BC V6J 1H6
T: 604 684 4611
F: 604 684 0677
www.dk.bc.ca

MOSAIC
500-2009 Granville Street
Vancouver, BC
V6H 3H3

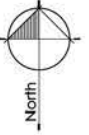
Project:
**27TH AVE
SURREY, BC**

Drawn by: AG
Checked by: PK
Date: 9 June 2015
Scale: 1/8" = 1'-0"


Drawing Title:
LANDSCAPE PLAN

Project No.:
15010
Sheet No.:

L1.03



2 OCT 30-15 ISSUED FOR DP
1 SEPT 16-15 ISSUED FOR DP
no. | date | item |
Revisions:


Dunrite Kosak Ltd.
102 - 1637 West 6th Avenue
Vancouver, BC V6J 1H6
T: 604 684 4611
F: 604 684 0577
www.dk.bc.ca

MOSAIC
300-2009 Granville Street
Vancouver, BC
V6H 3P6

Project:
**27TH AVE
SURREY, BC**

Drawn by: AG
Checked by: PK
Date: 9 June 2015
Scale: 1/8" = 1'-0"

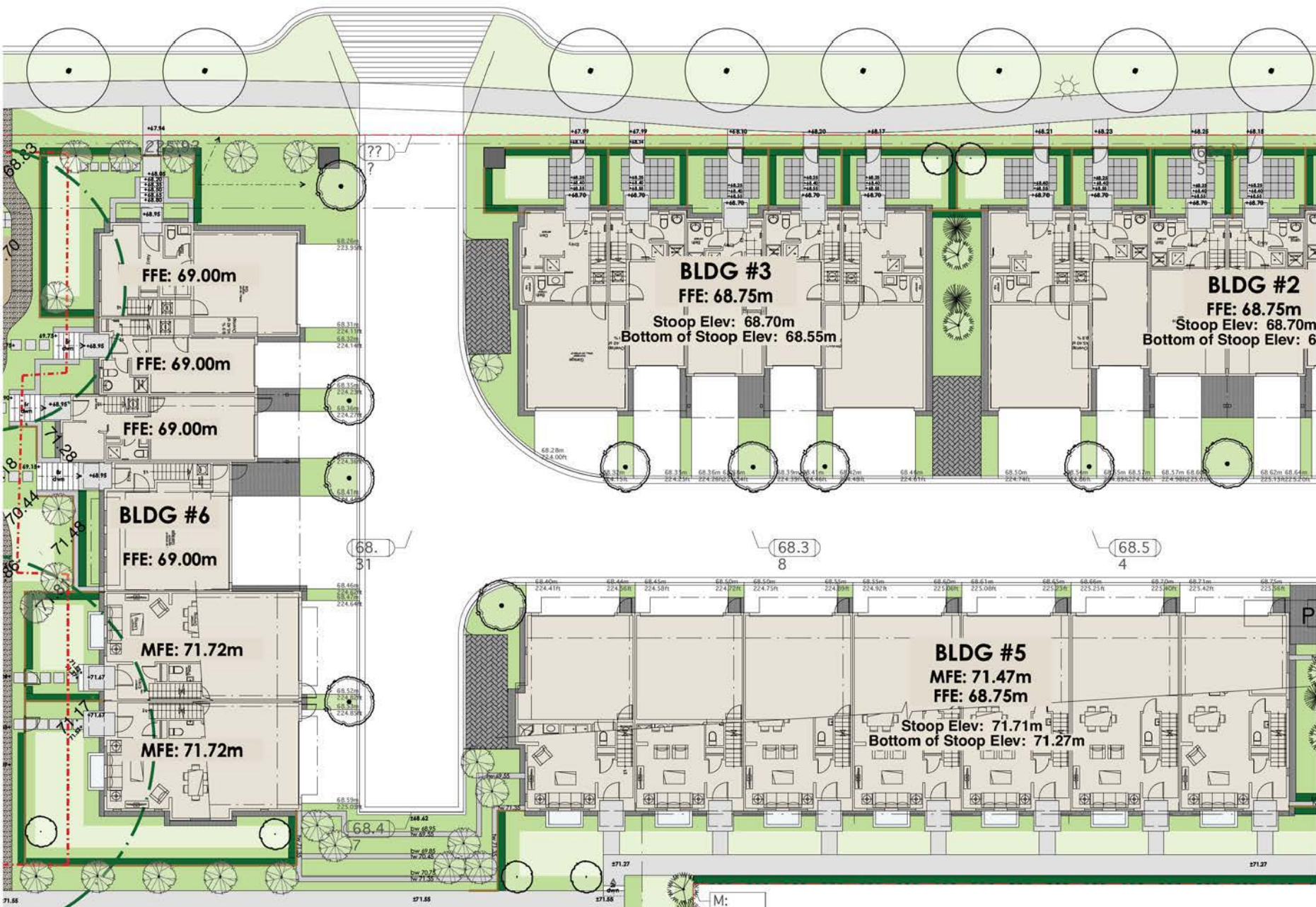
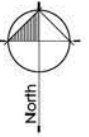
Drawing Title:
LANDSCAPE PLAN

Project No.:
15010

Sheet No.:

L1.04

27th Ave



2 OCT 30-15 ISSUED FOR DP
 1 SEPT 16-15 ISSUED FOR DP
 no. | date | item |
 Revisions:

dk Durante Koski Ltd.
 102 - 1637 West 6th Avenue
 Vancouver BC V6J 1H6
 T: 604 684 4611
 F: 604 684 0577
 www.dk.ca

MOSAIC
 500-2009 Granville Street
 Vancouver, BC
 V6H 3P6

Project:
**27TH AVE
 SURREY, BC**

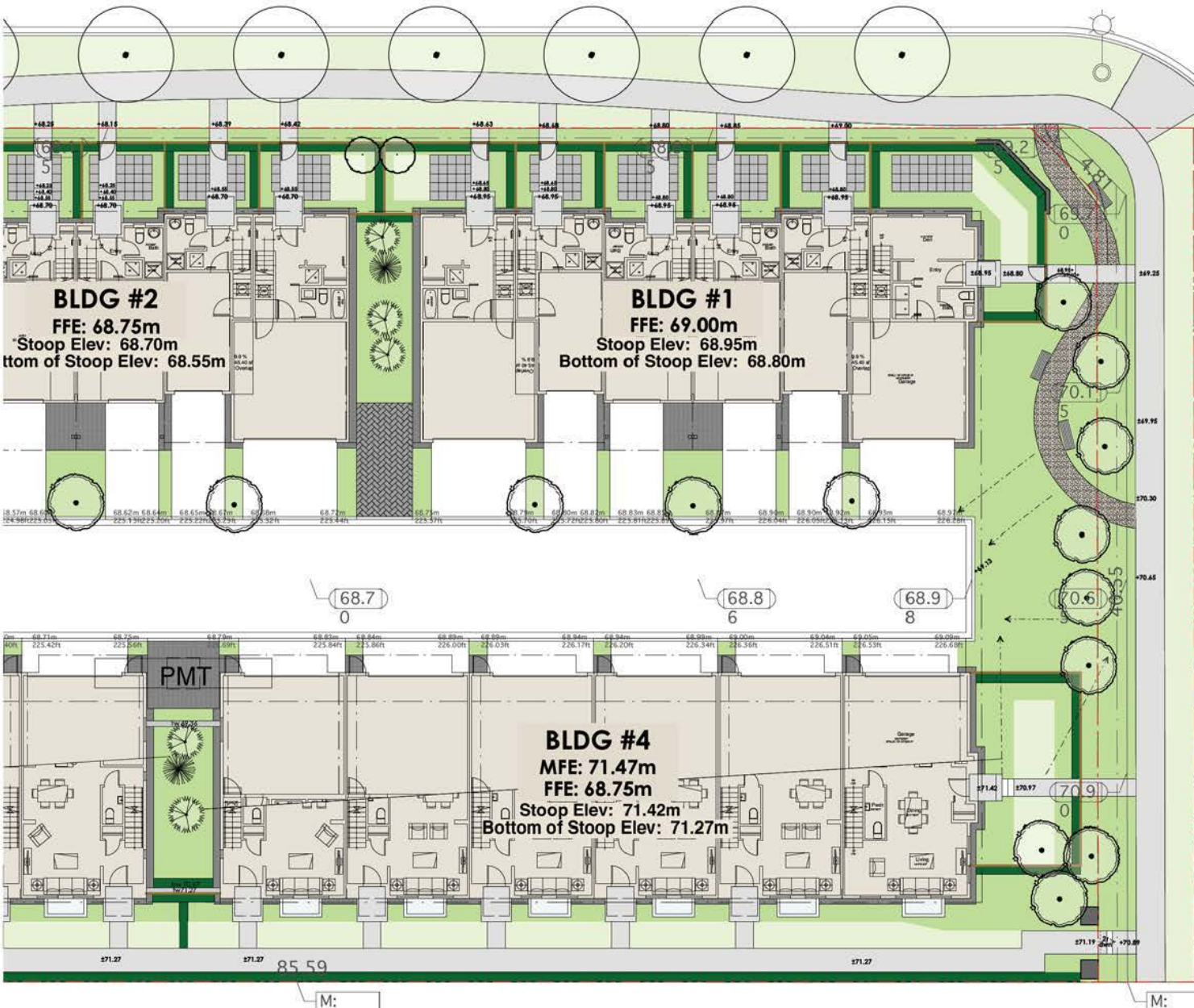
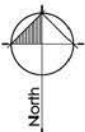
Drawn by: AG
 Checked by: PK
 Date: 9 June 2015
 Scale: 1/8" = 1'-0"

Drawing Title:
LANDSCAPE PLAN

Project No.:
15010
 Sheet No.:

L1.05

th Ave



2	OCT 30-15	ISSUED FOR DP
1	JUL 29-15	ISSUED FOR DP
no.	date:	item:
Revisions:		

dk Durante Kosak Ltd.
 102 - 1637 West 6th Avenue
 Vancouver, BC V6J 1H6
 T: 604 684 4611
 F: 604 684 0677
 www.dk.bc.ca

MOSAIC
 500-2009 Granville Street
 Vancouver, BC
 V6H 3K6

Project:
**27TH AVE
 SURREY, BC**

Drawn by: AG
 Checked by: PK
 Date: 9 June 2015
 Scale: 1/8" = 1'-0"

Drawing Title:
LANDSCAPE PLAN

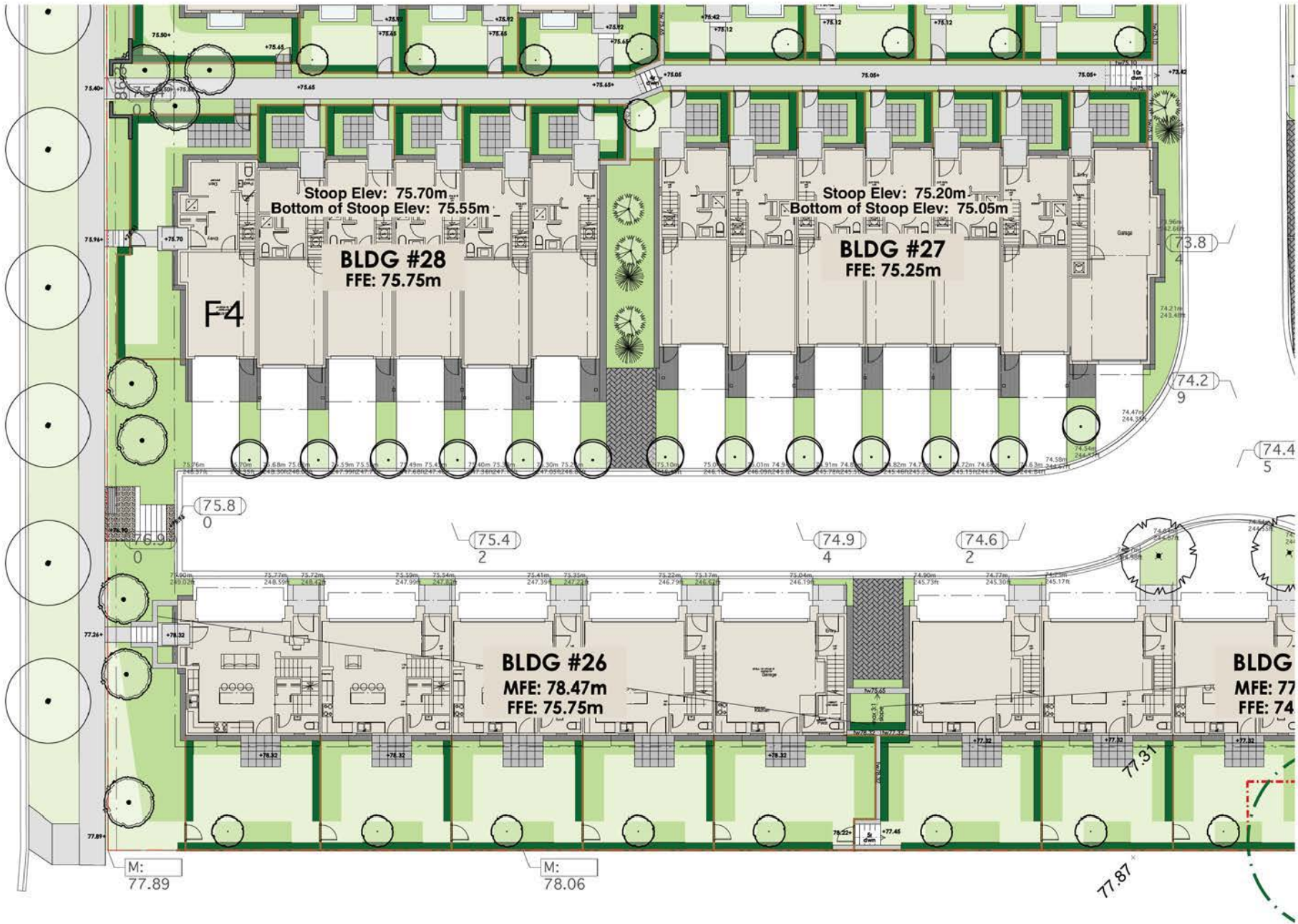
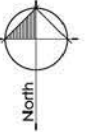
Project No.:
15010
 Sheet No.:

L1.06

160 Street

M:

M:



2 OCT 30-15 ISSUED FOR DP
 1 SEPT 16-15 ISSUED FOR DP
 no. | date: | item:
 Revisions:

dk Durante Kosak Ltd.
 102 - 1637 West 6th Avenue
 Vancouver BC V6J 1H6
 T: 604 684 4611
 F: 604 684 0577
 www.dk.bc.ca

MOSAIC
 500-2009 Granville Street
 Vancouver, BC
 V6H 3P6

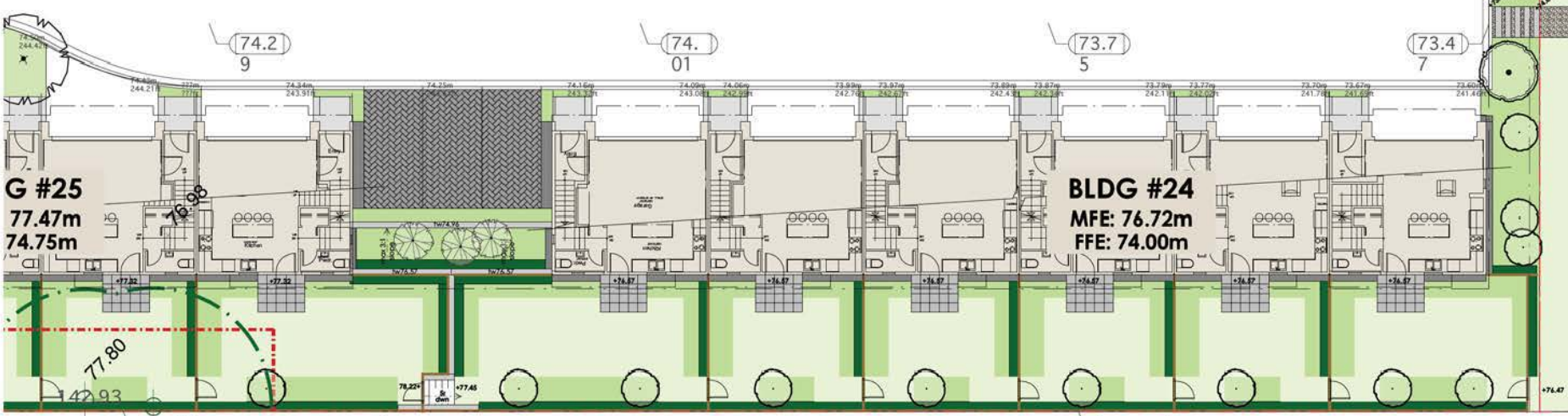
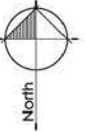
Project:
**27TH AVE
 SURREY, BC**

Drawn by: AG
 Checked by: PK
 Date: 9 June 2015
 Scale: 1/8" = 1'-0"

Drawing Title:
LANDSCAPE PLAN

Project No.:
15010
 Sheet No.:

L1.07



2 OCT 30-18 ISSUED FOR DP
1 SEPT 18-15 ISSUED FOR DP
no. | date: | item:
Revisions:

dk Durante Kosik Ltd.
102 - 1637 West 5th Avenue
Vancouver BC V6J 1H6
T: 604 684 4611
F: 604 684 0577
www.dk.bc.ca

MOSAIC
500-2009 Granville Street
Vancouver, BC
V6H 3P6

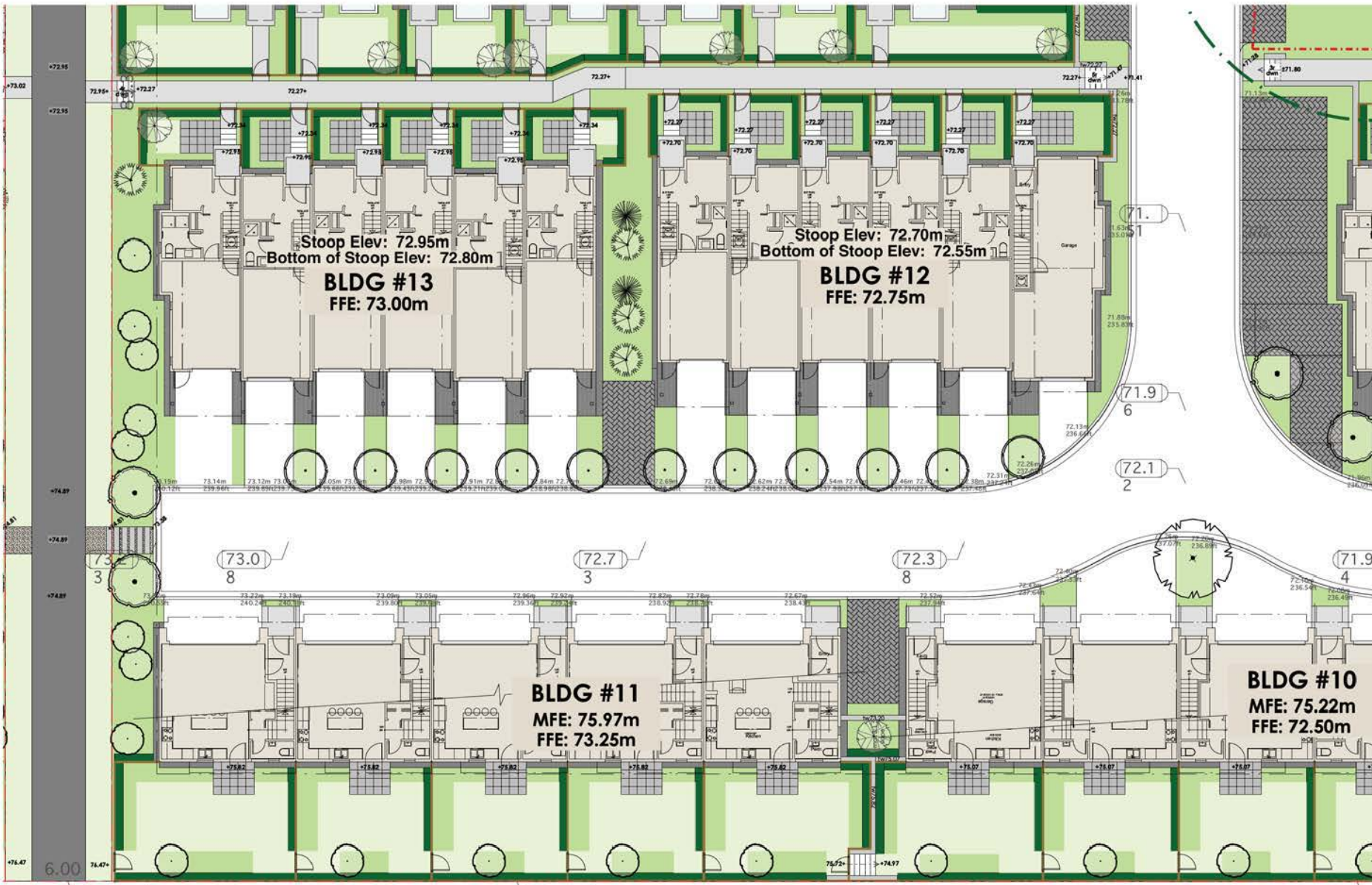
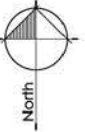
Project:
**27TH AVE
SURREY, BC**

Drawn by: AG
Checked by: PK
Date: 9 June 2015
Scale: 1/8" = 1'-0"

Drawing Title:
LANDSCAPE PLAN

Project No.:
15010
Sheet No.:

L1.08



Stoop Elev: 72.95m
Bottom of Stoop Elev: 72.80m
BLDG #13
FFE: 73.00m

Stoop Elev: 72.70m
Bottom of Stoop Elev: 72.55m
BLDG #12
FFE: 72.75m

BLDG #11
MFE: 75.97m
FFE: 73.25m

BLDG #10
MFE: 75.22m
FFE: 72.50m

2 OCT 30-15 ISSUED FOR DP
1 SEPT 16-15 ISSUED FOR DP
no. | date: | item:
Revisions:

Durente Kosik Ltd.
102 - 1637 West 6th Avenue
Vancouver BC V6J 1H6
T: 604 684 4611
F: 604 684 0577
www.dk.bc.ca

MOSAIC
500-2009 Granville Street
Vancouver, BC
V6H 3H3

Project:
**27TH AVE
SURREY, BC**

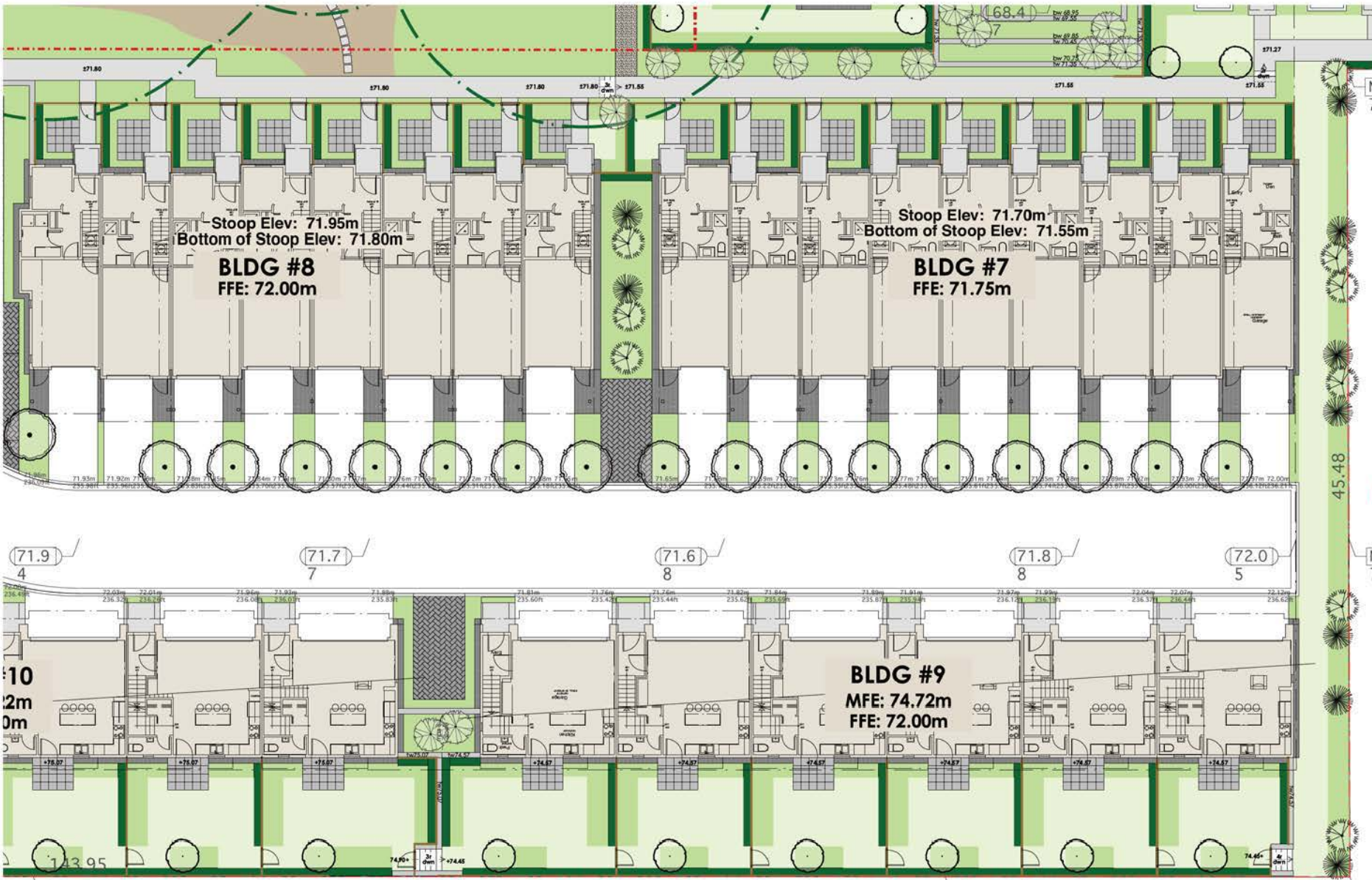
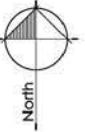
Drawn by: AG
Checked by: PK
Date: 9 June 2015
Scale: 1/8" = 1'-0"
Drawing Title:
LANDSCAPE PLAN

Project No.:
15010
Sheet No.:

L1.09

M:
76.47

M:
75.96



Stoop Elev: 71.95m
Bottom of Stoop Elev: 71.80m
BLDG #8
FFE: 72.00m

Stoop Elev: 71.70m
Bottom of Stoop Elev: 71.55m
BLDG #7
FFE: 71.75m

BLDG #9
MFE: 74.72m
FFE: 72.00m

45.48

2 OCT 30-15 ISSUED FOR DP
1 SEPT 16-15 ISSUED FOR DP
no. | date: | item:
Revisions:

dk Durante Kosak Ltd.
102 - 1637 West 6th Avenue
Vancouver BC V6J 1H6
T: 604 684 4611
F: 604 684 0677
www.dk.bc.ca

MOSAIC
500-2009 Granville Street
Vancouver, BC
V6H 3P6

Project:
**27TH AVE
SURREY, BC**

Drawn by: AG
Checked by: PK
Date: 9 June 2015
Scale: 1/8" = 1'-0"

Drawing Title:
LANDSCAPE PLAN

Project No.:
15010
Sheet No.:

L1.10

M:
75.13

M:
73.70



INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **November 9, 2015**

PROJECT FILE: **7815-0130-00**

RE: **Engineering Requirements**

Location: 2685 160 St, 15818 27 Ave, 15840 27 Ave, 15866 27 Ave, 15888 27 Ave, 15912 27 Ave

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- dedicate 4.965 m for ultimate 30.0 m road allowance along 160 Street (arterial);
- dedicate 3.0 m x 3.0 m corner cuts at intersections;
- dedicate 6.0 m for walkway, connecting to existing north-south walkway between 15833 & 15885 26 Avenue; and
- register a 0.50 m statutory right-of-way for inspection chambers and sidewalk maintenance along 160 Street, 27 Avenue, and 158 Street frontages.

Works and Services

- construct Development Coordinated Works of 1.8 m concrete sidewalk on 160 Street adjacent to the property line;
- construct south side of 27 Avenue to local road standard;
- construct east side of 158 Street to local road standard;
- construct 4.0 m wide concrete walkway; and
- construct storm, sanitary, and water service connections to the site.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/ Development Variance Permit.

Rémi Dubé, P.Eng.
Development Services Manager

MS

NOTE: Detailed Land Development Engineering Review available on file



Thursday, October 08, 2015
 Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 15 0130 00

SUMMARY

The proposed 183 townhouse units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	37
Secondary Students:	18

September 2014 Enrolment/School Capacity

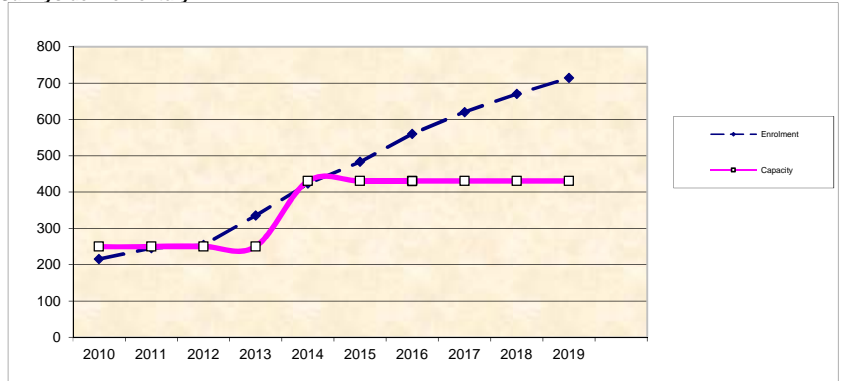
Sunnyside Elementary	
Enrolment (K/1-7):	74 K + 349
Capacity (K/1-7):	80 K + 350
Semiahmoo Secondary	
Enrolment (8-12):	1521
Nominal Capacity (8-12):	1300
Functional Capacity*(8-12):	1404

School Enrolment Projections and Planning Update:

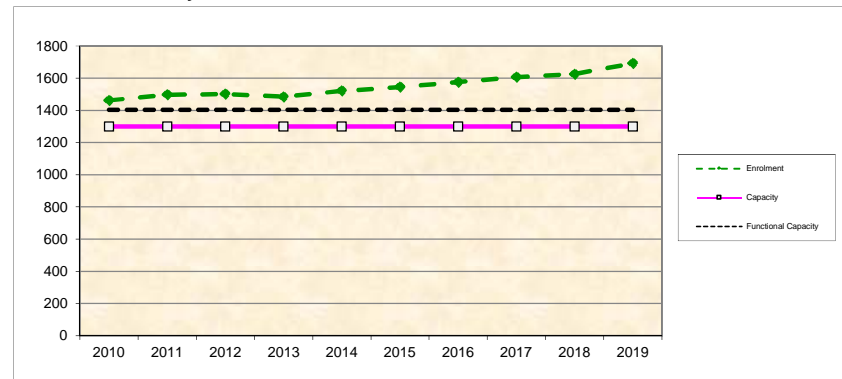
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Sunnyside Elementary was replaced on a new site and opened in September 2013, the school is now full as are area secondary schools. The school district has land for a new elementary school and secondary school in the Grandview Heights area. The District has the construction of both schools as a high priority in the district's Capital Plan that is submitted to the province for funding consideration. Until new elementary and secondary school capacity is available, the school district does not support development occurring at a higher density than outlined in approved NCPs.

Sunnyside Elementary



Semiahmoo Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7915-0130-00

Issued To: PERFECT CHANCE INVESTMENTS LTD
434818 Bc Ltd

Address of Owner: 7188 - Marguerite Street
Vancouver, BC V6P 5G3

Issued To: o801870 Bc Ltd

Address of Owner: 14949 - Marine Drive
White Rock, BC V4B 1C3

("collectively referred to as the Owner")

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 018-669-191

Lot 1 Section 32 Township 1 New Westminster District Plan Lmp14118
2685 - 160 Street

Parcel Identifier: 018-669-204

Lot 2 Section 32 Township 1 New Westminster District Plan Lmp14118
15912 - 27 Avenue

Parcel Identifier: 018-669-212

Lot 3 Section 32 Township 1 New Westminster District Plan Lmp14118
15888 - 27 Avenue

Parcel Identifier: 018-669-239

Lot 4 Section 32 Township 1 New Westminster District Plan Lmp14118
15866 - 27 Avenue

Parcel Identifier: 018-669-247

Lot 5 Section 32 Township 1 New Westminster District Plan Lmp14118
15840 - 27 Avenue

Parcel Identifier: 018-669-263
Lot 6 Section 32 Township 1 New Westminster District Plan Lmp14118
15818 27 Ave

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once titles have been issued, as follows:

Parcel Identifier:

- (b) If the civic addresses change, the City Clerk is directed to insert the new civic addresses for the Land, as follows:
-

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Subsection F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone, the minimum north setback is reduced from 7.5 metres (25 ft.) to 4.3 metres (14 ft.) for Lots 1 and 2;
- (b) In Subsection F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone, the minimum south setback is reduced from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) for Lots 1 and 2, and to 3.9 metres (13 ft.) for Buildings 4 and 5 on Lot 1;
- (c) In Subsection F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone, the minimum east setback for Lot 1 is reduced from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) for Buildings 1 and 4, and to 3.0 metres (10 ft.) for Buildings 7 and 9;
- (d) In Subsection F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone, the minimum east setback for Lot 2 is reduced from 7.5 metres (25 ft.) to 2.5 metres (8 ft.);
- (e) In Subsection F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone, the minimum west setback for Lot 1 is reduced from 7.5 metres (25 ft.) to 2.5 metres (8 ft.);
- (f) In Subsection F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone, the minimum west setback for Lot 2 is reduced from 7.5 metres (25 ft.) to 3.9 metres (13 ft.);
- (g) Subsection A.2(a) General Requirements of Part 5 Off-Street Parking and Loading/Unloading is varied to allow 4 visitor parking spaces that are required for Lot 2 to be provided on Lot 1; and

- (h) Section B. Parking Dimensions and Standards of Part 5 Off-Street Parking and Loading/Unloading is varied to increase the allowable number of small car visitor parking spaces from 25% to 34%.
5. This development variance permit applies to only the portion of the Land OR that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
 6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
 7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
 8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
 9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

Revised

Issued for The Development Permit
March 28, 2015

Issued for Development Permit
April 7, 2015

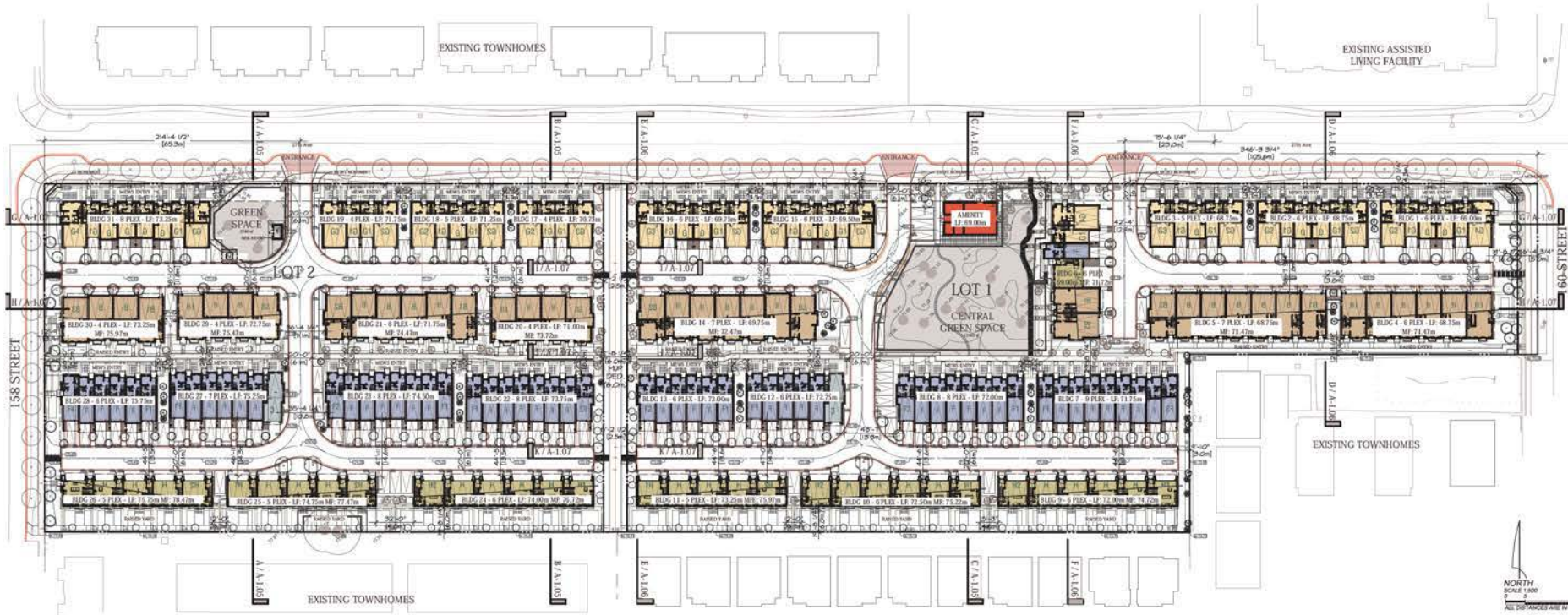
Re-issued for Development Permit
July 31, 2015

Re-issued for Development Permit
September 28, 2015

Re-issued for Development Permit
October 19, 2015

Re-issued for Development Permit
October 22, 2015

Re-issued for Development Permit
October 26, 2015



MOSAIC

**27th
Townhomes**
27th Avenue and 160th Street
Surrey, B.C.

Colour Schemes

- Colour Scheme A Buildings: 1, 6, 9, 14, 17, 22, 25, 30
- Colour Scheme B Buildings: 2, 5, 8, 10, 13, 16, 19, 20, 23, 24, 28, 29
- Colour Scheme C Buildings: 3, 4, 7, 11, 12, 15, 18, 21, 26, 27, 31

Site Plan
1:500 metric
October 26, 2015



SK-1.04