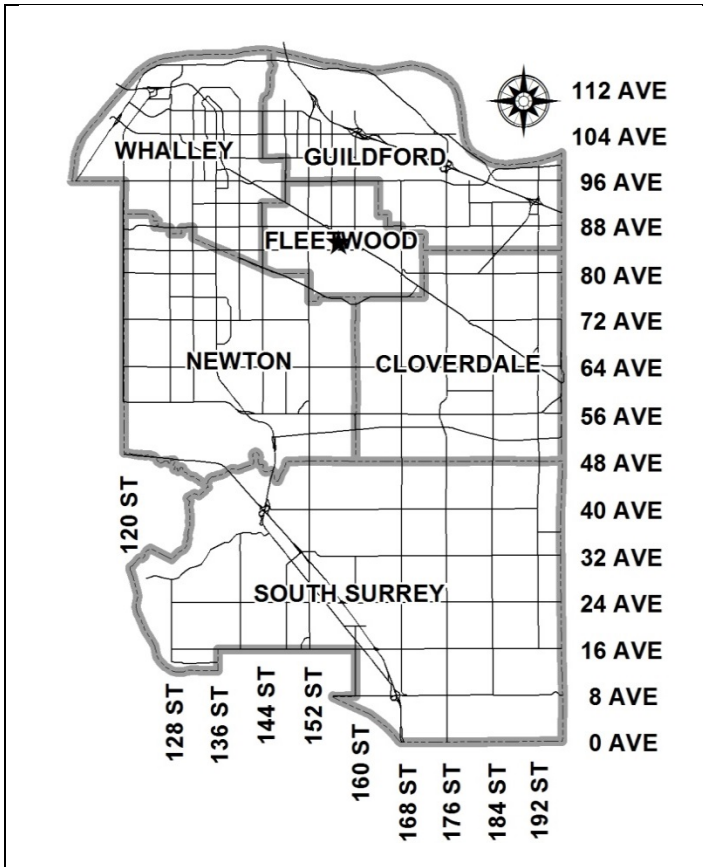


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7915-0125-00

Planning Report Date: December 14, 2015

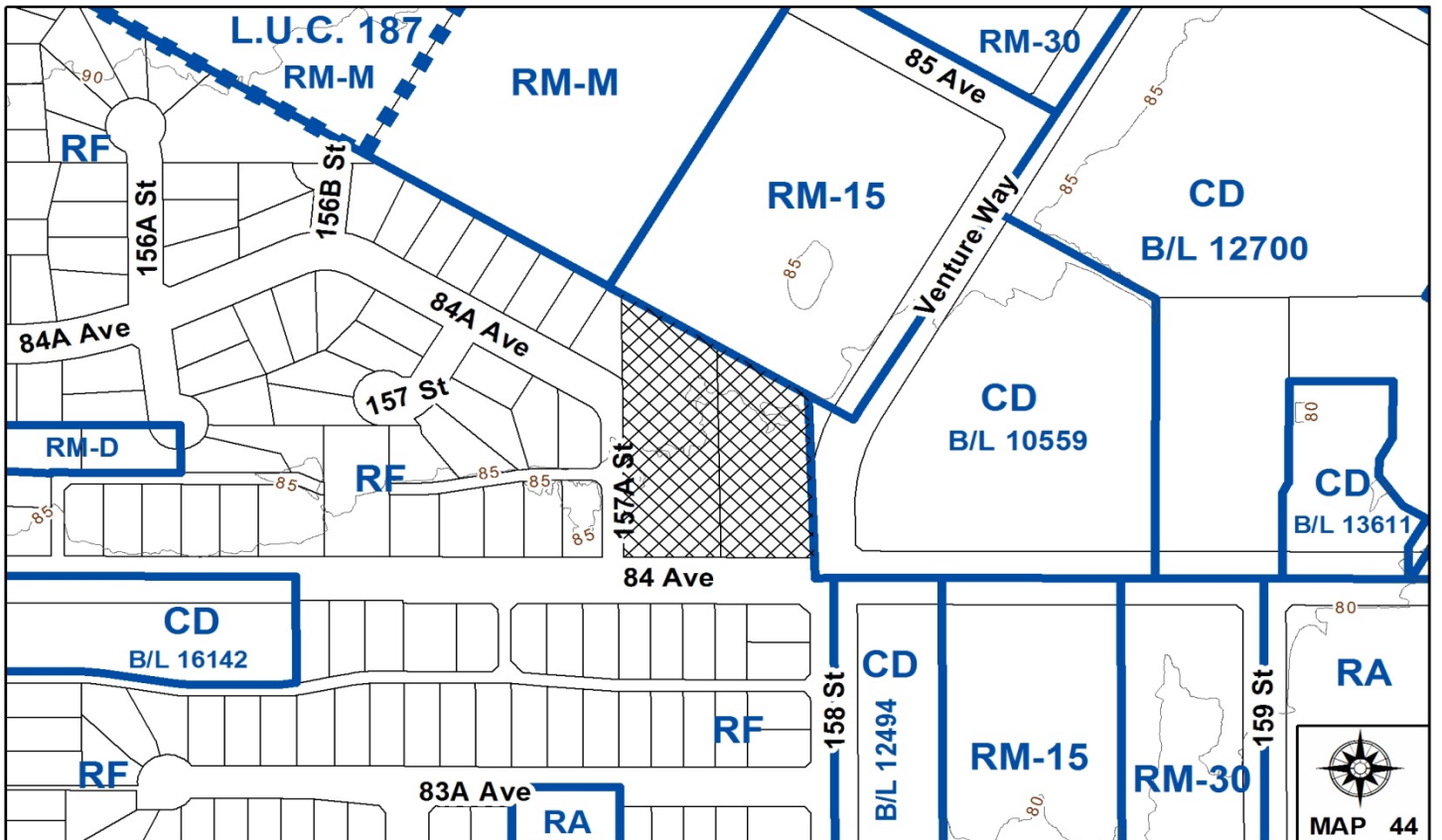


**PROPOSAL:**

- **Rezoning** from RF to RM-15
- **Development Permit**
- **Development Variance Permit**

to permit the development of approximately 30 townhouse units.

**LOCATION:** 15747 and 15791 - 84 Avenue  
**OWNER:** Penmat Mana JV Ltd.  
**ZONING:** RF  
**OCF DESIGNATION:** Urban  
**TCP DESIGNATION:** Low Density Townhouses



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### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to reduce indoor amenity space.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking to reduce the minimum required setbacks along all lot lines of the RM-15 Zone.

### RATIONALE OF RECOMMENDATION

- Complies with the Low Density Townhouse designation in the Fleetwood Town Centre Plan.
- The proposed density and building form are appropriate for this part of Fleetwood.
- The proposed setback relaxations along the west lot line (157A Street), south lot line (84 Avenue), and east lot line (Venture Way) achieve a more urban, pedestrian streetscape in compliance with the Fleetwood Town Centre Plan, and are in keeping with what has been approved for similar townhouse developments in the Fleetwood Town Centre.
- The proposed setback relaxation along the north lot line (rear) is consistent with the approved 6.0-metre (20-ft.) setback for the existing townhouse development (Chestnut Grove) north of the subject site, and will still accommodate appropriate yard space and landscaping treatments.

RECOMMENDATION

The Planning & Development Department recommends that:

1. By-law be introduced to rezone the subject site from "Single Family Residential Zone (RF)" (By-law No. 12000) to "Multiple Residential 15 Zone (RM-15)" (By-law No. 12000), and a date be set for Public Hearing.
2. Council approve the applicant's request to reduce the amount of required indoor amenity space from 90 square metres (970 square feet) to 45 square metres (480 square feet).
3. Council authorize staff to draft Development Permit No. 7915-0125-00 generally in accordance with the attached drawings (Appendix II).
4. Council approve Development Variance Permit No. 7915-0125-00 (Appendix VI) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum west side yard setback of the RM-15 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and to 3.7 metres (12 ft.) to building columns and roof overhangs;
  - (b) to reduce the minimum front yard (south) setback of the RM-15 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and to 3.8 metres (12.5 ft.) to building columns and roof overhangs;
  - (c) to reduce the minimum east side yard setback of the RM-15 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and to 4.3 metres (14 ft.) to building columns and roof overhangs; and
  - (d) to reduce the minimum rear yard (north) setback of the RM-15 Zone from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) to the building face and to 5.3 metres (17 ft.) to building columns and roof overhangs.
5. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (c) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (e) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and

(f) the applicant adequately address the impact of reduced indoor amenity space.

**REFERRALS**

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

6 Elementary students at Walnut Road Elementary School  
 3 Secondary students at Fleetwood Park Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Spring/Summer 2017.

Parks, Recreation & Culture: No concerns.

Surrey Fire Department: No concerns.

**SITE CHARACTERISTICS**

Existing Land Use: The eastern lot is vacant but treed, while an unoccupied single family dwelling is located on the western lot and will be demolished as part of the subject development application.

Adjacent Area:

Direction	Existing Use	TCP Designation	Existing Zone
North:	Low density townhouse development.	Apartment and Medium Density Townhouses	RM-15



Direction	Existing Use	TCP Designation	Existing Zone
East (Across Venture Way):	Low density townhouse development.	Low Density Townhouses	CD (By-law No. 10559)
South (Across 84 Avenue):	Single family dwellings.	Single Family Urban	RF
West (Across 157A Street):	Single family dwellings.	Single Family Urban	RF

## DEVELOPMENT CONSIDERATIONS

### Background

- The subject site, at 15747 and 15791 – 84 Avenue, is located in Fleetwood and is approximately 0.95 hectare (2.3 acres) in size. An unoccupied single family dwelling is located on the western subject property (15747 – 84 Avenue), and will be demolished. The eastern subject lot is vacant, but heavily treed (see Trees section).
- The subject site is designated "Urban" in the Official Community Plan (OCP), "Low Density Townhouses" in the Fleetwood Town Centre Plan (TCP), and is zoned "Single Family Residential Zone (RF)".
- The subject site is the only undeveloped site remaining in this area. Single family dwellings exist to the west across 157A Street and to the south across 84 Avenue, while low density townhouses (similar to the subject proposal) exist to the north and to east across Venture Way.
- The applicant originally proposed a 48-unit townhouse development on the subject site, which in addition to a rezoning, required a Neighbourhood Concept Plan (NCP) Amendment from "Low Density Townhouses" to "Medium Density Townhouses" (see Appendix VII for initial site plan). As a result of comments and concerns expressed by the neighbourhood (see Pre-Notification Section of this report), the applicant revised the proposal to comply with the "Low Density Townhouses" designation in the Fleetwood Town Centre Plan.

### Current Proposal

- The applicant is proposing to rezone the subject site from "Single Family Residential Zone (RF)" to "Multiple Residential 15 Zone (RM-15)" in order to allow the development of thirty (30) townhouse units.
- The applicant also proposes a Development Variance Permit (DVP) to reduce the minimum building setbacks along all lot lines (see By-law Variance section).

- The net density for the proposed 30-unit townhouse development on the subject site is 37 units per hectare (15 units per acre) with a floor area ratio (FAR) of 0.60, which meet the maximum density of 37 units per hectare (15 units per acre) and the maximum FAR of 0.60 permitted in the RM-15 Zone. The proposed density is also consistent with the "Low Density Townhouses" designation in the Fleetwood Town Centre Plan.
- There is a triangular portion of land, approximately 200 square metres (2,150 sq.ft.) in size, abutting the north-east corner of the subject site. This triangular remnant is "hooked" to the townhouse property (8428 Venture Way) to the east.
- The applicant was encouraged to purchase this remnant parcel and to consolidate it with the subject site; however, the applicant advises that no agreement could be made, particularly given the challenge of obtaining signatures from all of the strata owners of the 54 townhouse units to the east at 8428 Venture Way.
- The applicant will continue to negotiate on the acquisition of this land. However, should the parties be unable to reach an agreement, the remnant parcel will remain under the ownership of the strata to the east at 8428 Venture Way (Summerwood) and remain in its current state (grass and trees). The applicant has agreed to construct the sidewalk along the frontage of this triangular portion of land as part of the subject development application, regardless of whether the acquisition is successful.

#### Road Requirements

- The applicant will dedicate approximately 5.0 metres (16 ft.) along the south lot line to facilitate the widening of 84 Avenue, which has an ultimate width of 30 metres (100 ft.).
- The applicant will also dedicate portions along the west and east lot lines in order to achieve a full 20-metre (65-ft.) wide road for 157A Street and a full 22-metre (72-ft.) wide road for Venture Way.
- Vehicle access to the subject site is via a driveway along the east lot line to Venture Way.

#### PRE-NOTIFICATION AND PUBLIC INFORMATION MEETING

Pre-notification letters were sent out to the neighbourhood on June 4, 2015, and staff received eight (8) telephone calls / e-mails from the surrounding neighbourhood regarding the original 48-unit townhouse project on the subject site (see Appendix VII). The original proposal included 48, two-storey townhouse units with a proposed density of 56 units per hectare (23 units per acre) and a floor area ratio (FAR) of 0.68, which exceed the maximum density of 37 units per hectare (15 upa) and the maximum FAR of 0.60 permitted in the RM-15 Zone (low density ground-oriented multiple unit development).

As result of the proposed NCP Amendment from "Low Density Townhouses" to "Medium Density Townhouses" and the negative response from the neighbourhood, the applicant agreed to hold a Public Information Meeting (PIM). Comments and concerns from the eight (8) telephone calls / e-mails were reiterated at the PIM, and have been noted in the following section.

### Public Information Meeting

- The applicant held a Public Information Meeting (PIM) on Thursday, July 23, 2015 at Comfort Inn and Suites. A total of 45 individuals signed-in and attended the PIM, and a total of 38 comment sheets were submitted. A staff representative from the Area Planning Division was in attendance at the PIM.
- Two (2) additional letters of concern and two (2) e-mails were received from area residents following the PIM. The two (2) letters were received prior to any revisions to the site plan, while the two (2) e-mails were received after revisions were made to the site plan.
- All of the 38 comment sheets, including the eleven (11) telephone calls, e-mails and letters, were received / submitted by area residents who expressed concerns and their non-support for the 48-unit townhouse project. Below is a summary of the comments and concerns.

### *Community Concerns to Initial 48-unit Townhouse Proposal*

- The neighbourhood's response at the Public Information Meeting was consistent with comments received in response to the pre-notification letters, and are summarized below.
- Density: The original proposal included 48 townhouse units with a proposed net density of 56 units per hectare (23 units per acre) and a floor area ratio (FAR) of 0.68, which exceed the maximum density of 37 units per hectare (15 upa) and the maximum FAR of 0.60 permitted in the RM-15 Zone. The RM-15 Zone is consistent with the "Low Density Townhouses" designation for the subject site, as shown in the Fleetwood Town Centre Plan.

#### Applicant's response:

- The applicant acknowledged the concern expressed by the neighbourhood, and revised their site plan to reduce the number of proposed townhouse units from 48 to 30. As a result, the net density for the proposed 30-unit townhouse development on the subject site is 37 units per hectare (15 units per acre) with a floor area ratio (FAR) of 0.60, which meet the maximum density of 37 units per hectare (15 units per acre) and the maximum FAR of 0.60 permitted in the RM-15 Zone.

#### Staff comments:

- The current proposal of 30 townhouse units complies with the "Low Density Townhouses" designation for the subject site, as shown in the Fleetwood Town Centre Plan
- Building Height: The site plan for the original 48-unit townhouse project showed three-storey buildings. Area residents expressed concerns that the building height of the proposed townhouse buildings was not compatible with the existing neighbourhood, particularly the existing two-storey townhouse developments directly to the north (Chestnut Grove) and to the east across Venture Way (Summerwood).

## Applicant's response:

- The applicant has reduced the height of the proposed buildings from three (3) storeys to two (2) storeys to ensure the townhouse project is consistent with the existing townhouse developments in the neighbourhood.

## Staff comments:

- The proposed building height for the current 30-unit townhouse project is 7.5 metres (25 ft.), which complies with the maximum permitted building height of the RM-15 Zone of 11 metres (36 ft.).
- The proposed building height (7.5 metres / 25 ft.) of the townhouse buildings is less than the maximum permitted building height of 9.0 metres (30 ft.) for the existing single family (RF-zoned) lots to the west and south of the subject site.
- Driveway Access, Traffic and Sidewalk: The applicant originally proposed a driveway near the south-west corner of the subject site along 157A Street. Residents within the single family subdivision directly west of the subject site expressed concerns regarding this, stating that it would greatly increase the traffic within their block (84A Avenue between 156 Street and 157A Street).

Some residents expressed concerns about increased traffic and asked if the sidewalks along 84 Avenue would be constructed for pedestrians.

## Applicant's response:

- The applicant relocated the proposed driveway from the south-west corner to the east side of the site, along Venture Way, ensuring that it is in compliance with City requirements and road design standards.
- The applicant is providing the required road dedication along 84 Avenue, 157A Street and Venture Way in order to widen the roads and provide sidewalks and boulevards.

## Staff comments:

- An e-mail was received from an area resident (after the PIM and after the site plan was revised) expressing concerns regarding a driveway to Venture Way. The resident was concerned that a driveway along the east side of the site would add to the congestion at the 84 Avenue and Venture Way intersection and create an unsafe situation with ingress and egress to the site.
- Transportation Engineering staff state that a driveway to Venture Way, as shown on the current site plan for the proposed 30-unit townhouse project, is supported. The location of the driveway is approximately 30 metres (100 ft.) north of the intersection, which exceeds the minimum acceptable distance of 25 metres (82 ft.) from an intersection to safely locate a driveway.

- A signal is to be installed at the 84 Avenue and Venture Way intersection, including the introduction of a southbound left-turn lane from Venture Way to 84 Avenue, to further address traffic and safety concerns at this location. The signalized intersection is expected to be completed and fully operational in Spring 2016, subject to coordination with BC Hydro to provide sufficient power at this location.
- The proposed 30-unit townhouse project is not expected to significantly increase the traffic in the neighbourhood.
- Future expansion of rapid transit, like light rail transit, along Fraser Highway from City Centre to Langley will provide future residents with additional transit options in the area, and therefore, may help to alleviate some concerns regarding traffic congestion. A future rapid transit station may be located at Fraser Highway and 160 Street, which is approximately 550 metres (1/3 mile) from the subject site.
- As part of the current development application, the applicant has agreed to construct and extend the sidewalks along 84 Avenue, 157A Street and Venture Way of the subject site and the triangular portion of land that is “hooked” to the townhouse property (8428 Venture Way) to the east, to provide improved pedestrian connectivity.
- Trees: Some area residents expressed concerns about tree removal and if the developer would be required to replant trees that are to be removed.

Applicant’s response:

- The applicant’s arborist noted that there are 105 trees on the site (including 26 alder and cottonwoods), with over three-quarters of the on-site trees in poor to marginal health. As a result, thirteen (13) trees are proposed for retention including four (4) Douglas Firs and nine (9) Western Red Cedars.
- The proposed landscape plan includes the planting of 134 trees, including maples, firs, spruce, oak and beech.

Staff comments:

- Staff worked with the applicant to retain as many healthy, mature trees as possible on the subject site.
- The initial site plan showed eleven (11) trees for retention, whereas the current site plan shows that 13 trees are to be retained. The trees for retention are located along the west lot line as well as in two (2) clusters along the north and east lot lines. The applicant adjusted the location of the townhouse units in proposed Building 10 in order to retain the trees along the north lot line.
- The number of replacement trees required, as a result of the number of on-site trees removed, is 166. The applicant is proposing to plant 134 trees on the subject site, and therefore, will be required to contribute to the Green City Fund, in accordance with the City’s Tree Protection By-law (see the Trees section of this report).

- Parking: Some area residents expressed concerns regarding parking once the townhouse project is built.

Applicant's response:

- The current site plan shows that all 30 townhouse units (100%) have side-by-side double car garages, and the proposed parking complies with the City's parking requirements for ground-oriented multiple unit residential buildings.

Staff comments:

- The applicant proposes 60 residential parking stalls and 9 visitor parking stalls, which exceeds the minimum requirement of 60 residential parking stalls and 6 visitor parking stalls for the 30-unit townhouse project.
  - The applicant proposes extended driveways to Units 1, 9 and 10, which will provide additional on-site parking for these units. The additional parking for Units 1, 9 and 10 are not included in the parking totals of 60 residential and 9 visitor stalls.
- On-site Private and Off-site Public Amenity Spaces: Some area residents expressed concerns about the location of the on-site amenity building, shown at the north-west corner of the site under the original 48-unit townhouse project. The noise from the future residents utilizing the amenity space may negatively impact existing residents in the area.

Concerns were also expressed regarding the initial proposal to create a public amenity space on the triangular remnant parcel, abutting the north-east corner of the subject site. Some residents were concerned that transients would congregate in the space.

Applicant's response:

- The on-site amenity building has been relocated from the north-west corner of the site to a more central location near the site entry driveway along Venture Way.
- The applicant will continue to negotiate with the 8428 Venture Way strata (Summerwood) to assemble the remnant triangle and consolidate it with the subject site.

Staff comments:

- The relocation of the amenity building is supported by staff since it is in a more central location, away from neighbouring properties and also acts as main entry feature to the site.
  - City staff will help facilitate discussions between the applicant and representatives of the 8428 Venture Way strata in hopes that an agreement for acquisition and assembly with the subject site can be reached prior to final approval of the project.
- Water Run-Off: A resident expressed concerns about drainage and water run-off from the proposed townhouse project.

## Applicant's response:

- The applicant noted that proper storm water management will be administered on the subject site to ensure that drainage and run-off does not negatively impact the neighbouring properties.

## Staff comments:

- The subject site gently slopes downward from north to south, and therefore, the only abutting property, which is to the north, will not be negatively impacted by storm water run-off.
- On-site storm water management is required to control and maintain current run-off flows, and will be addressed by Engineering.

Summary of the Revisions to the Initial Proposal

- As a result of the comments and concerns that were expressed at the Public Information Meeting (PIM), the applicant revised their initial proposal (see Appendix VII). The table below summarizes all of the changes that were discussed in the Pre-Notification Section of this report:

	Original Proposal (48 townhouse units)	Current Proposal (30 townhouse units)
Density	56 units per hectare (23 units per acre) and a floor area ratio (FAR) of 0.68	37 units per hectare (15 units per acre) and an FAR of 0.60 (complies with the RM-15 Zone)
Building Height	Three-storeys, up to 13 metres (43 ft.) high	Two-storeys, up to 7.5 metres (25 ft.). The RM-15 Zone allows up to 11 metres (36 ft.)
Driveway Location	Near the south-west corner of the subject site along 157A Street	At the east end of the subject site along Venture Way. A signal will be installed at the 84 Avenue and Venture Way intersection. The signalized intersection is expected to be completed and fully operational in Spring 2016, subject to coordination with BC Hydro to provide sufficient power at this location.
Indoor Amenity Building Location	At the north-west corner of the site	A more central location near the site entry driveway to Venture Way.
Trees	Eleven (11) mature trees proposed for retention	Thirteen (13) mature trees proposed for retention
Unit Garages	23 tandem garages and 25 side-by-side garages	All 30 units have side-by-side garages

### DESIGN PROPOSAL AND REVIEW

- The proposed 30-unit townhouse project consists of seven (7), two-storey buildings with garages accessed internally at grade. All thirty (30) proposed townhouses provide double car, side-by-side garages.
- The proposed building materials include hardie siding and shingles painted beige, brown and dark grey. Wood fascia and trims are painted of lighter brown and gray tones, as well as black, to match the primary colour scheme, while additional building accents will maintain a stained wood finish.
- The proposed unit doors will match the stained wood finish of the building accents. Main front entrance doors and rear doors adjacent to the garages are proposed.
- The applicant proposes black asphalt shingle roofs with gables and hip roofs to provide improved building articulation.
- The proposal will include three (3) electrical rooms adjacent to Units 5, 15 and 21. Three (3) pad-mounted transformer (PMT) boxes are also proposed – west of visitor parking stall #7, east of Unit 15 and south of the indoor amenity building. The PMTs will be screened by landscaping.
- The location of the community mail kiosk has yet to be determined, but will likely be adjacent to the proposed amenity building or near the outdoor amenity space near the east end of the site.

### Vehicle Access and Parking

- A single vehicle access is proposed to the subject site via Venture Way.
- The proposed townhouse development includes a total of 60 parking spaces in 30 double car, side-by-side garages. Nine (9) visitor parking spaces are proposed, which exceeds the parking requirements of the Surrey Zoning By-law. All visitor parking spaces will be delineated by permeable pavers.
- The applicant proposes extended driveways to Units 1, 9 and 10, which will provide additional on-site parking. The additional parking for Units 1, 9 and 10 are not included in the parking totals of 60 residential and 9 visitor stalls.

### On-site Amenity Spaces

- The RM-15 Zone requires that 90 square metres (970 sq. ft.) of indoor amenity space and 90 square metres (970 sq. ft.) of outdoor amenity space be provided (3.0 sq.m. / 32 sq.ft. of each amenity per dwelling unit) for the proposed 30-unit townhouse project.
- The applicant proposes 158 square metres (1,700 sq.ft.) of outdoor amenity space, which exceeds the minimum 90 square metres (970 sq. ft.) required under the RM-15 Zone. There are two (2) outdoor amenity spaces proposed – one (1) near the west end of the site along 157A Street and one (1) near the site entrance along Venture Way.



- The westerly outdoor amenity space includes a checker board pattern paved area for outdoor games and children’s play, as well as benches.
- The easterly outdoor amenity space includes a grassed area, nature play area and benches and decorative boulders and logs. Two (2) mature Douglas Fir trees and two (2) mature Western Red Cedar trees have been incorporated into the design of the easterly outdoor amenity space, and will provide shade and privacy.
- The applicant proposes a single-storey amenity building approximately 45 square metres (480 square feet) in size, directly east of Unit 14 in proposed Building 3. The proposed amenity building will include space for a great room, a small kitchen area, and two (2) restrooms.
- The proposed 45-square metre (480-square feet) amenity building does not meet the minimum 90 square metres (970 sq. ft.) of indoor amenity space required under the RM-15 Zone. The applicant will provide a monetary contribution of \$18,160 (based on \$1,200 per unit of the indoor amenity space required) in accordance with City policy to address this shortfall.
- The applicant has provided the following reasons for the reduction in the indoor amenity building size:
  - The subject site is within close proximity to the Fleetwood Community Centre and Fleetwood Library, which offers quality services and amenity space; and
  - The 45-square metre (480-square feet) proposed indoor amenity building will provide a functional gathering space for the future residents of the 30 townhouse units.

## TREES

- Nick McMahon, ISA Certified Arborist of ACL Group prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Alder	13	13	0
Cottonwood	13	13	0
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Bigleaf maple	13	13	0
Cherry	1	1	0
<b>Coniferous Trees</b>			
Douglas Fir	21	17	4
Western Hemlock	41	32	9
Western Red Cedar	3	3	0

Tree Species	Existing	Remove	Retain
<b>Total</b> (excluding Alder and Cottonwood Trees)	<b>105</b>	<b>92</b>	<b>13</b>
<b>Total Replacement Trees</b>			
<b>Proposed</b> (excluding Boulevard Street Trees)	<b>134</b>		
<b>Total Retained and Replacement Trees</b>	<b>147</b>		
<b>Contribution to the Green City Fund</b>	<b>\$9,600</b>		

- The Arborist Assessment states that there are a total of 79 mature trees on the site, excluding Alder and Cottonwood trees. Twenty-six (26) existing trees, approximately 25% of the total trees on the site, are Alder and Cottonwood trees. It was determined that thirteen (13) trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication, proposed lot grading and tree health.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 166 replacement trees on the site. Since only 134 replacement trees can be accommodated on the site, the deficit of thirty (32) replacement trees will require a cash-in-lieu payment of \$9,600, representing \$300 per tree, to the Green City Fund, in accordance with the City’s Tree Protection By-law.

Landscaping

- The landscape plan shows a total of 134 trees to be planted throughout the subject site including maples, firs, spruce, oak and beech.
- A significant number of shrubs and ground cover species are proposed throughout the subject site, including holly, lavender, bamboo, rhododendrens, yews, laurels, roses and decorative grasses.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on April 28, 2015. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>• The site is located within the Fleetwood Town Centre Plan (TCP) area, and the project is consistent with the TCP.</li> </ul>

Sustainability Criteria	Sustainable Development Features Summary
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>The proposed development will increase the density in the area and promote a more urban, pedestrian-friendly streetscape.</li> <li>The project will diversify the housing stock and provide additional options for future home buyers in this area.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>The proposed development includes absorbent soils and on-site storm water management.</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>Frequent transit service runs along 84 Avenue and Fraser Highway (north of the subject site), with transit stops located within walking distance from the subject site.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>The proposed building incorporates CPTED principles including: well-lit entries/exits, passive surveillance on the street, and good on-site pedestrian linkages and lighting.</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>No green rating or certification is proposed.</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>Pre-notification letters were mailed to area residents and a development proposal sign was installed on subject site. A public information meeting was also held.</li> </ul>

### BY-LAW VARIANCES AND JUSTIFICATION

(a) Requested Variances:

- To reduce the minimum west side yard setback of the RM-15 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and to 3.7 metres (12 ft.) to building columns and roof overhangs;
- To reduce the minimum front yard (south) setback of the RM-15 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and to 3.8 metres (12.5 ft.) to building columns and roof overhangs;
- To reduce the minimum east side yard setback of the RM-15 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and to 4.3 metres (14 ft.) to building columns and roof overhangs; and

- To reduce the minimum rear yard (north) setback of the RM-15 Zone from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) to the building face and to 5.3 metres (17 ft.) to building columns and roof overhangs.

Applicant's Reasons:

- The proposed setbacks along 157A Street, 84 Avenue and Venture Way create an urban pedestrian streetscape and will enhance natural surveillance over public and private spaces.
- The building columns and roof overhangs form an integral part of the overall design and articulation of the buildings.

Staff Comments:

- The RM-15 Zone requires that buildings and structures be sited a minimum of 7.5 metres (25 ft.) from all property lines.
- The reduced setbacks of 4.5 metres (15 ft.) along the front (south) property line for the front yards of the proposed townhouse units will create an appropriate urban, pedestrian-friendly streetscape along 84 Avenue.
- The proposed west side yard setback of 4.5 metres (15 ft.) is a side yard condition to proposed Buildings 2, 3, 4 and 5, but will still provide adequate space for an internal walkway that runs along the west lot line and for the planting of landscaping.
- The reduced setbacks along the east property line of 4.5 metres (15 ft.) are also a side yard condition. The reduced setbacks are to proposed Buildings 1 and 7.
- The reduced setback along the rear (north) property line is 6.0 metres (20 ft.) to proposed Buildings 5 and 7, which is consistent with the 6.0-metre setback along the south property line of the existing townhouse development to the north (Chestnut Grove).
- Proposed Building 6 along the north property line is set back further, at 7.5 metres (25 ft.), in order to retain several mature trees.
- The reduced rear yard (north) setback (6 metres / 20 ft.) to Buildings 5 and 7 is not expected to impact the adjacent townhouse development to the north at 15868 – 85 Avenue (Chestnut Grove), as the two (2) sites are screened by existing trees and landscaping on the Chestnut Grove site. The proposed and existing building heights on both sites are similar, and therefore, the privacy of the existing townhouse residents to the north is not expected to be negatively impacted.
- The further encroaching column and roof overhangs facilitate covered patio areas and porches at the ground floor level, and therefore, do not impact privacy.
- The reduced setbacks along all property lines are in keeping with what have been approved for similar townhouse developments in the Fleetwood Town Centre.

- Staff support the requested variances.

### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	Development Variance Permit No. 7915-0125-00
Appendix VII.	Initial Proposed Site Plan

*original signed by Judith Robertson*

Jean Lamontagne  
General Manager  
Planning and Development

DN/dk

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KD 12/10/15 1:03 PM

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. Agent:

Name:	Colin Hogan Focus Architecture Inc.
Address:	Unit 109, 1528 - McCallum Road Abbotsford, BC V2S 8A3
Tel:	604-853-5222
  
2. Properties involved in the Application
  - (a) Civic Addresses: 15747 – 84 Avenue  
15791 – 84 Avenue
  
  - (b) Civic Address: 15747 84 Ave  
Owner: Penmat Mana JV Ltd.  
PID: 008-510-253  
Lot 63 Section 26 Township 2 New Westminster District Plan 38471
  
  - (c) Civic Address: 15791 84 Ave  
Owner: Penmat Mana JV Ltd.  
PID: 008-510-288  
Lot 64 Section 26 Township 2 New Westminster District Plan 38471
  
3. Summary of Actions for City Clerk's Office
  - (a) Introduce a By-law to rezone the property.
  
  - (b) Proceed with Public Notification for Development Variance Permit No. 7915-0125-00 and bring the Development Variance Permit forward for an indication of support by Council. If supported, the Development Variance Permit will be brought forward for issuance and execution by the Mayor and City Clerk in conjunction with the final adoption of the associated Rezoning By-law.

# DEVELOPMENT DATA SHEET

Proposed Zoning: RM-15

Required Development Data	Min. Required / Max. Allowed	Proposed
<b>LOT AREA</b>		
Gross Total		9,460 square metres
Road Widening area		1,307 square metres
Net Total		8,153 square metres
<b>LOT COVERAGE (in % of net lot area)</b>		
Buildings & Structures	45%	41%
Paved & Hard Surfaced Areas		15%
Total Site Coverage		56%
<b>SETBACKS</b>		
Front (south)	7.5 metres	4.5 metres (15 ft.) to the building face and to 3.8 metres (12.5 ft.) to building columns and roof overhangs*
Rear (north)	7.5 metres	6.0 metres (20 ft.) to the building face and to 5.3 metres (17 ft.) to building columns and roof overhangs*
Side #1 (west)	7.5 metres	4.5 metres (15 ft.) to the building face and to 3.7 metres (12 ft.) to building columns and roof overhangs*
Side #2 (east)	7.5 metres	4.5 metres (15 ft.) to the building face and to 4.3 metres (14 ft.) to building columns and roof overhangs*
<b>BUILDING HEIGHT</b>		
Principal	11 metres	7.5 metres
Accessory	4.5 metres	N/A
Indoor amenity building	11 metres	4.0 metres
<b>NUMBER OF RESIDENTIAL UNITS</b>		
Three Bedroom +		30
Total	30	30
<b>FLOOR AREA: Residential</b>		
<b>FLOOR AREA: Commercial</b>		
Retail		N/A
Total		
<b>FLOOR AREA: Industrial</b>		
<b>FLOOR AREA: Institutional</b>		
Total		N/A
TOTAL BUILDING FLOOR AREA	4,891 square metres	4,870 square metres

\* *Variance requested*

**Development Data Sheet cont'd**

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
DENSITY		
# of units/ha /# units/acre (net)	37 UPH / 15 UPA	37 UPH / 15 UPA
FAR (net)	0.60	0.60
AMENITY SPACE (area in square metres)		
Indoor	90 square metres	45 square metres
Outdoor	90 square metres	158 square metres
PARKING (number of stalls)		
Commercial		N/A
Industrial		N/A
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed	60	60
Residential Visitors	6	9
Institutional		N/A
Total Number of Parking Spaces	66	69
Number of disabled stalls	0	1
Number of small cars		0
Tandem Parking Spaces: Number / % of Total Number of Units		0
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----





## SITE RECONCILIATION

**LEGAL DESCRIPTION:**  
 CURRENT: LOTS 63 & 64 SECTION 28 TOWNSHIP 2 R/WO PLAN 20471  
 NOW: FORDING L.T.D. RESTRICTION

**CIVIC ADDRESS:**  
 1547 & 1551 - 154 AVE, SURREY

### ZONING INFORMATION:

**SCALE:** EXISTING: R/F (BASED ON R/W 18)  
 \*CCP DESIGNATION = TOWNHOUSE (10 UPA)  
**LOT AREAS:** GROSS: 9,480.2 m<sup>2</sup> (2,244 ac)  
 ROAD DEDICATION: 1,508.9 m<sup>2</sup> (3.63 ac)  
 NET TOTAL: 8,181.3 m<sup>2</sup> (2,011 ac)

SETBACKS:	REQUIRED:	PROPOSED: (TO BUILDING FACE)	PROPOSED: (TO COLUMN)
SOUTH (FRONT)	7.50m	4.50m	3.20m
NORTH (REAR)	7.50m	8.00m	5.20m
EAST (SIDE #1)	7.50m	4.00m	4.30m
WEST (SIDE #2) (VARIANCES REQUIRED)	7.50m	4.00m	3.70m

**LOT DENSITY:** PERMITTED: 16 UPA x 1.01 ac = 30 units  
 PROPOSED: 30 units

**FLOOR AREA RATIO:** PERMITTED: 0.80  
 PROPOSED: 0.897  
 (4,955.6 m<sup>2</sup> / 5,181.0 m<sup>2</sup> = 0.897)

**LOT COVERAGE:** PERMITTED: 43.75%  
 PROPOSED: 41.27%  
 (3,344.3 m<sup>2</sup> / 8,181.0 m<sup>2</sup> = 0.410)

**BUILDING HEIGHT:** PERMITTED: 11.0 m  
 PROPOSED: 7.24 m (BUILDING G)

**AMENITY:** PERMITTED: 30 UNITS x 2m<sup>2</sup> per unit = 60 m<sup>2</sup>  
 PROPOSED: 168 m<sup>2</sup>

**OUTDOOR:** PERMITTED: 30 UNITS x 2m<sup>2</sup> per unit = 60 m<sup>2</sup>  
 PROPOSED: 168 m<sup>2</sup>

**INDOOR:** PERMITTED: 30 UNITS x 2m<sup>2</sup> per unit = 60 m<sup>2</sup>  
 PROPOSED: 480 S.F. (44.6m<sup>2</sup>) - GAIN IN LEI FOR BALANCE

**PARKING:** PERMITTED: 30 UNITS x 2 CARAVANIT = 60 CARAVANS  
 VISITOR: 80 UNITS x 2.2 CARAVANIT = 176 CARAVANS  
 PROPOSED: RESIDENT: 80 CARAVANS (SIDE BY SIDE GARAGES)  
 VISITOR: 8 CARAVANS (INCLUDING 1 HD)

BUILDING	# OF UNITS	LOT COVERAGE SUMMARY	
		AREA (m <sup>2</sup> )	PERCENT (%)
1	4	488 m <sup>2</sup>	48.7%
2	4	474 m <sup>2</sup>	44.8%
3	6	781 m <sup>2</sup>	71.2%
4	8	762 m <sup>2</sup>	87.2%
5	8	748 m <sup>2</sup>	89.4%
6	4	473 m <sup>2</sup>	43.1%
7	4	488 m <sup>2</sup>	48.7%
TOTAL	36	3,344.3 m <sup>2</sup>	41.27%

UNIT TYPE	COUNT	GARAGE	BARR	UPPER	UNIT TOTALS	SITE TOTALS (NOT INCL. GARAGES)	
						AREA (m <sup>2</sup> )	VOLUME (m <sup>3</sup> )
A-3 BED	12	408 m <sup>2</sup>	560 m <sup>3</sup>	1,375 m <sup>3</sup>	1,734 m <sup>2</sup>	191.00 m <sup>3</sup>	20,265 m <sup>2</sup>
A1-3 BED	8	408 m <sup>2</sup>	560 m <sup>3</sup>	1,375 m <sup>3</sup>	1,740 m <sup>2</sup>	192.00 m <sup>3</sup>	19,438 m <sup>2</sup>
A2-3 BED	8	408 m <sup>2</sup>	560 m <sup>3</sup>	1,375 m <sup>3</sup>	1,740 m <sup>2</sup>	192.00 m <sup>3</sup>	19,438 m <sup>2</sup>
A3-3 BED	2	408 m <sup>2</sup>	560 m <sup>3</sup>	1,375 m <sup>3</sup>	1,740 m <sup>2</sup>	192.00 m <sup>3</sup>	3,498 m <sup>2</sup>
B-3 BED	1	408 m <sup>2</sup>	560 m <sup>3</sup>	1,375 m <sup>3</sup>	1,787 m <sup>2</sup>	194.18 m <sup>3</sup>	1,267 m <sup>2</sup>
B1-3 BED	1	408 m <sup>2</sup>	560 m <sup>3</sup>	1,375 m <sup>3</sup>	1,776 m <sup>2</sup>	194.50 m <sup>3</sup>	1,776 m <sup>2</sup>
B2-3 BED	2	408 m <sup>2</sup>	560 m <sup>3</sup>	1,375 m <sup>3</sup>	1,794 m <sup>2</sup>	195.00 m <sup>3</sup>	3,528 m <sup>2</sup>
TOTAL	36				82,416 m <sup>2</sup>	4,444.00 m <sup>3</sup>	

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CITY OF SURREY FILE NUMBER  
 19161025-00

- 2019-04-04 REVIEWED FOR CH. REVISIONS
- 2019-05-28 OWNER REVISIONS
- 2019-07-13 PLANNING REVISIONS
- 2019-08-23 PLANNING REVISIONS
- 2019-04-04 REVIEWED FOR CH. & DP

REVISIONS  
 CONSULTANT

CLIENT  
**PEIMAT CONTRACTING & PROJECT MANAGEMENT LTD.**

PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**  
 1547 & 1551 84th AVE.  
 SURREY, B.C.

DRAWING TITLE  
**SITE PLAN**

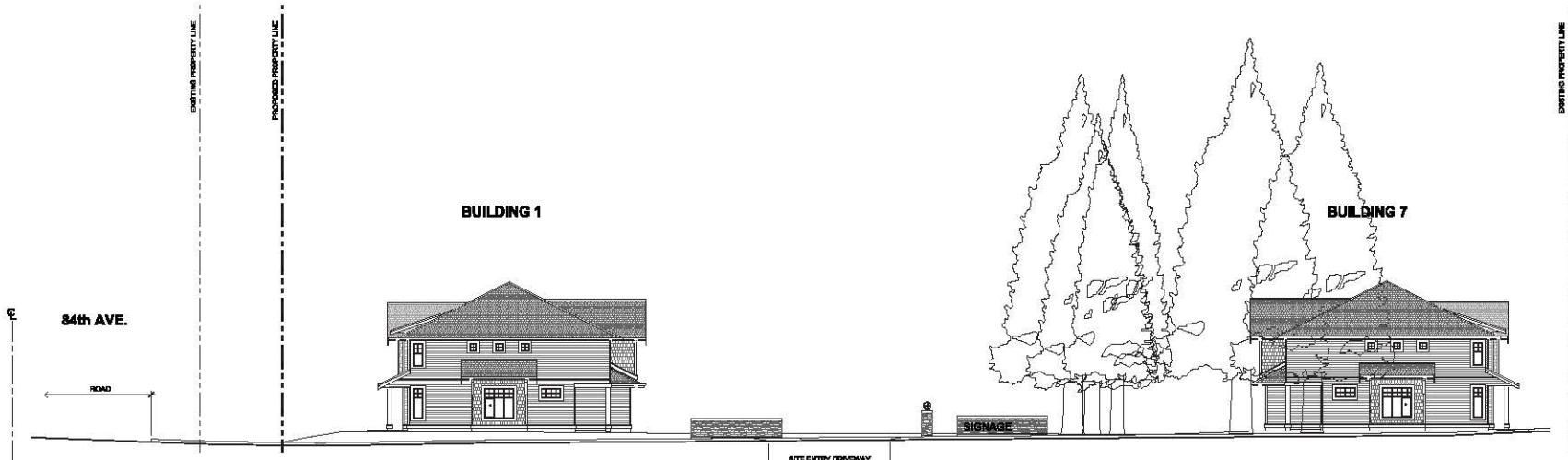
DATE: 2024-04-09 FILE NO.:  
 DWN. BY: J.A.  
 CHK. BY: 1504

SCALE: 1"=20'-0"

SEAL  
 SHEET NO.  
**DP-0.01**



**STREETSCAPE - SOUTH (84th AVE)**  
SCALE: 3/32" = 1'-0"



**STREETSCAPE - EAST (VENTURE WAY)**  
SCALE: 3/32" = 1'-0"

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Abbotsford, British Columbia V2T 9V3  
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o info@focus.ca

CITY OF SURREY FILE NUMBER  
7815-0125-00

- 2014-08-20 REVIEW FOR PERMITS SUBMISSION
- 2014-08-20 OWNER REVIEWING
- 2014-07-13 PLANNING REVIEWING
- 2014-06-27 PLANNING REVIEWING
- 2014-04-08 REVIEW FOR PERMITS & DP

REVISIONS  
CONSULTANT

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**PENNAT CONTRACTING & PROJECT MANAGEMENT LTD.**

PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**  
1847 & 1879 148th AVE.  
SURREY, B.C.

DRAWING TITLE  
**STREETSCAPE**

DATE: 2014-04-10 FILE NO.  
DWN. BY: **JL**  
CHK. BY: **1504**

SEAL NO.  
SHEET NO.  
**DP-0.03**



DATE: 08/04/2016 10:43:00 AM

DRAWN BY: J. BROWN



**STREETSCAPE - SOUTH (84th AVE)**  
SCALE: 1/32" = 1'-0"



**STREETSCAPE - EAST (VENTURE WAY)**  
SCALE: N.T.S.

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 info@focusinc.com

CITY OF GILBERT FILE NUMBER  
 7816-0720-00

- 100-00-00 UNLAWFUL PERCUSSION
- 100-00-01 PERMITTED PERCUSSION
- 100-00-02 PLANNED PERCUSSION
- 100-00-03 PLANNED PERCUSSION
- 100-00-04 PLANNED PERCUSSION
- 100-00-05 PLANNED PERCUSSION

NEWBORO  
 CONSTRUCTION

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PROJECT  
**PROPOSED TOWNHOUSE  
 DEVELOPMENT**  
 1047 & 1051 10th AVE.  
 GILBERT, AZ

DIVISION TITLE  
**COLOURED  
 STREETSCAPES**

DATE: 08/04/16 FILE NO.  
 DRAWN BY: J. BROWN  
 CHECKED BY: J. BROWN  
**1504**

SCALE  
 SHEET NO.  
**DP-0.0b**

### COLOUR SCHEME 1

### COLOUR SCHEME 2

### COLOUR SCHEME 3



HARDIE SIDING & SHINGLES  
JAMES HARDIE  
IRON GRAY



WINDOW TRIMS & COLUMNS  
JAMES HARDIE COLOUR  
MONTEREY TAUPE



WINDOW FRAME, TYP.  
BLACK



TRIMS & FASCIA BONDS, TYP.  
BENJAMIN MOORE  
2120-10 MET BLACK



HARDIE SIDING & SHINGLES  
JAMES HARDIE  
COSMILE ATONE



WINDOW TRIMS & COLUMNS  
BENJAMIN MOORE  
2120-10 MET BLACK



ASPHALT SHINGLE ROOFING  
PARDO PREMIER  
ANTIQUE BLACK



HARDIE SIDING & SHINGLES  
JAMES HARDIE  
TIMBER BARK



PATIO DOOR & WOOD BRACKET  
STAINED WOOD COLOUR



△	20180401 REVISED PER DP REVISIONS
△	20180401 OWNER REVISIONS
△	20180401 PLANNING REVISIONS
△	20180401 PLANNING REVISIONS
△	20180401 REVISED PER DP

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CONSULTANT

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PROJECT MANAGEMENT  
LTD.

PROJECT  
PROPOSED TOWNHOUSE  
DEVELOPMENT  
SENT & WITH DP# 000  
BARRIE, O.C.

DRAWING TITLE  
**COLOUR  
SCHEMES**

DATE: 2018-04-10  
DRAWN BY: AL  
CHECKED BY: 1504

REVISIONS  
DRAWING NO.  
**DP-0.0c**

2015-08-26	BOARD FOR CP & SUBMITTAL
2015-08-26	OWNER REVIEW
2015-09-13	PLANNING REVIEW
2015-08-26	PLANNING REVIEW
2015-08-26	BOARD FOR ICA & DP
REVISIONS	
CONSULTANT	

CLIENT  
**PERINAT CONTRACTING & PROJECT MANAGEMENT LTD.**

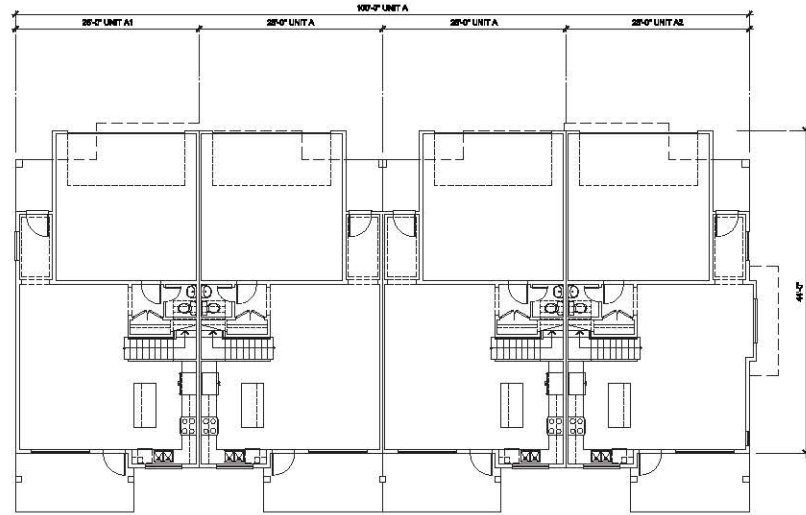
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**PROPOSED TOWNHOUSE DEVELOPMENT**  
1847 & 18791 160th AVE.  
SURREY, B.C.

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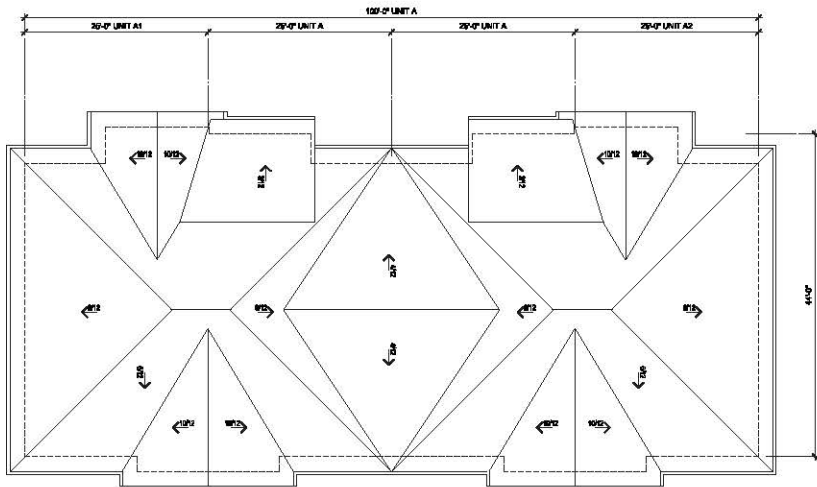
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DWN. AL  
CHK. **1504**

SEAL  
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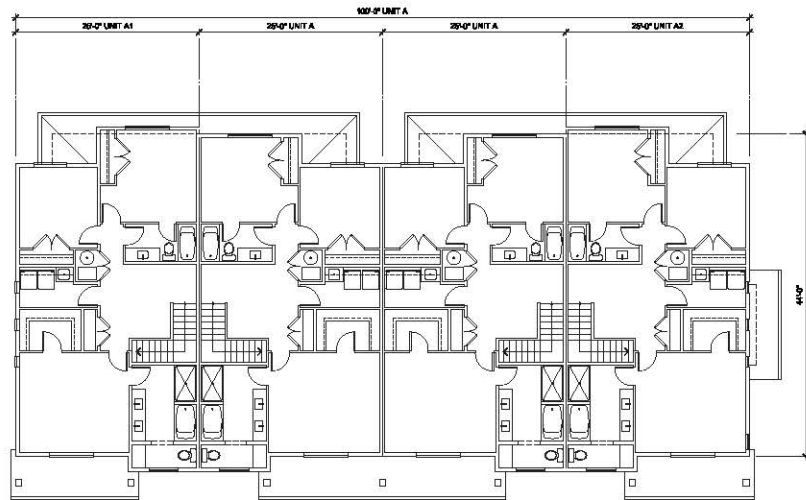
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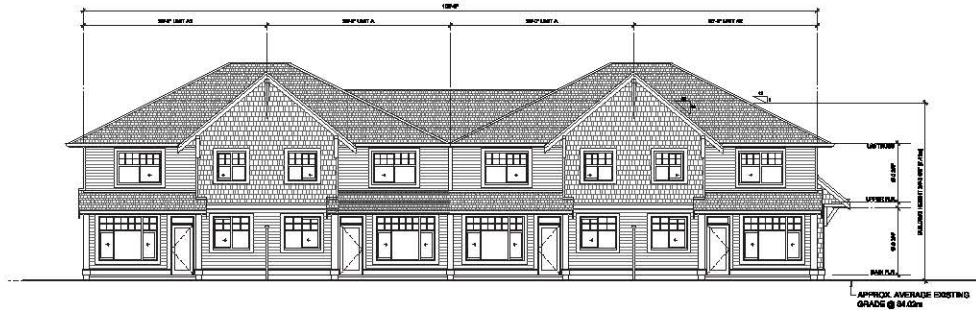
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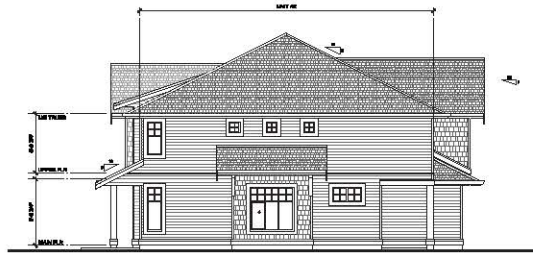
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SCALE: 1/8"=1'-0"



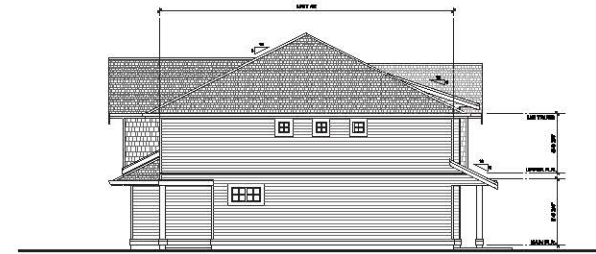
**SECOND FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

**ELEVATION MATERIALS LEGEND**

- ① ASPHALT SHINGLE ROOFING
- ② FINISHED ALUMINUM GUTTER
- ③ PAINTED WOOD FASCIA AND TRIMS
- ④ HORIZONTAL CEMENT BOARD SIDING
- ⑤ CEMENT BOARD SHINGLE SIDING
- ⑥ PAINTED 1/2" X 3/4" MARBLE PANEL SIDING
- ⑦ VINYL FRAME WINDOW
- ⑧ VINYL FRAME SLIDING PATIO DOOR
- ⑨ PAINTED GARAGE DOOR
- ⑩ EXTERIOR DOOR
- ⑪ PRIVACY SCREEN (SEE LANDSCAPE DRWG.)
- ⑫ EXPOSED CONCRETE WALL

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1.416.293.2222    1.416.293.2442  
info@focus.ca

CITY OF BUREY FILE NUMBER  
7816-0125-00

2018-08-20	BOARD FOR OF SUBMISSION
2018-08-20	OWNER REVIEWING
2018-07-13	PLANNING REVIEWING
2018-06-20	PLANNING REVIEWING
2018-04-28	WORK FOR PER & DP
REVISIONS	
CONSULTANT	

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**PENNAT CONTRACTING & PROJECT MANAGEMENT LTD.**

PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**  
1847 & 1879 148<sup>th</sup> AVE.  
SURREY, B.C.

DRAWING TITLE  
**BUILDING 1 ELEVATIONS**

DATE: 2018-04-19 FILE NO.  
DWN: AL  
CWB: **1504**

SEAL  
SHEET NO.

**DP-1.02**



2015-08-20	REVISION FOR CP 18 NUMBERING
2015-08-20	OWNER REVISIONS
2015-07-13	PLANNING REVISIONS
2015-06-25	PLANNING REVISIONS
2015-04-09	REVISIONS FOR IFC & DP

REVISIONS

CONSULTANT

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**PENNAT CONTRACTING & PROJECT MANAGEMENT LTD.**

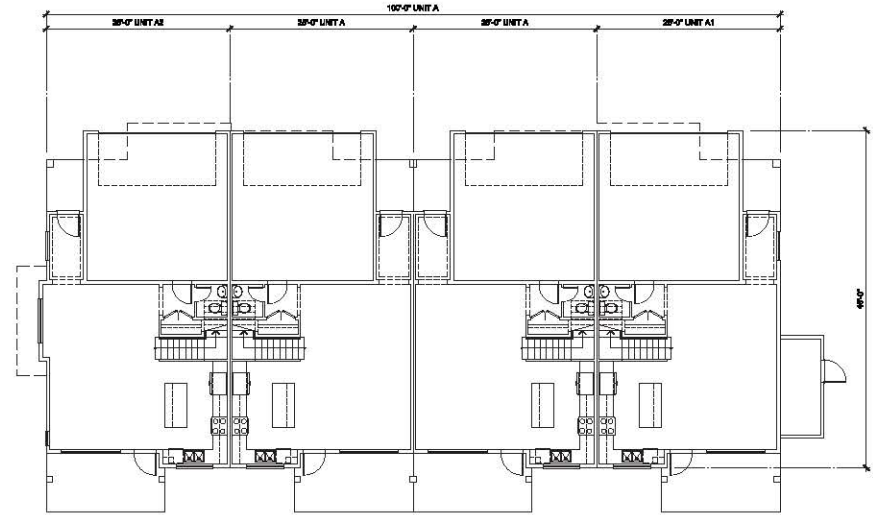
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**PROPOSED TOWNHOUSE DEVELOPMENT**  
1847 & 1879I PARK AVE.  
BURNLEY, B.C.

DRAWING TITLE  
**BUILDING 2 PLANS**

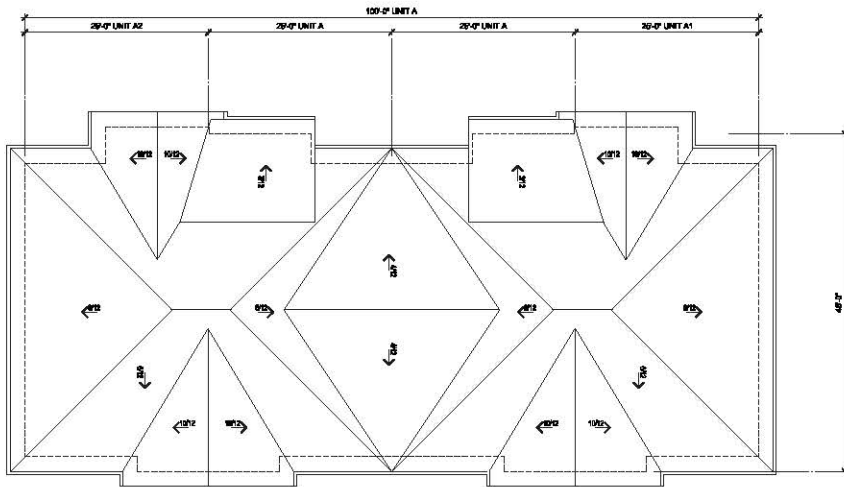
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DWN: AL  
CHK: **1504**

SEAL  
SHEET NO.

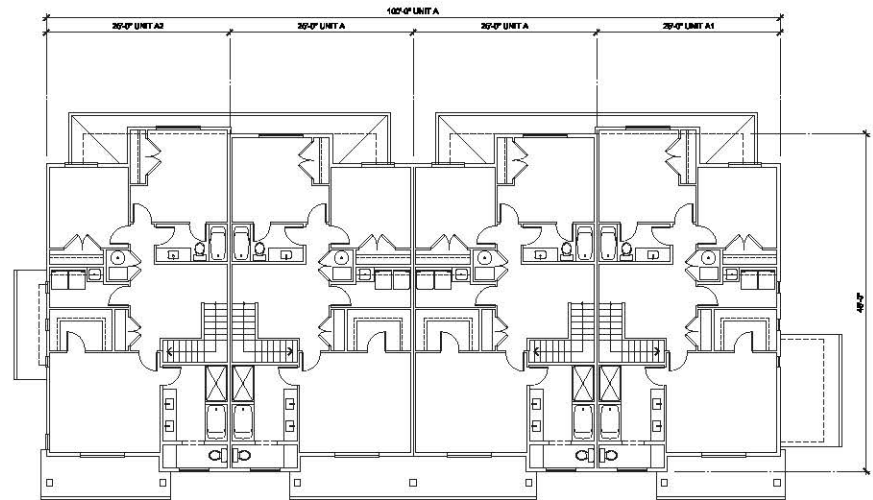
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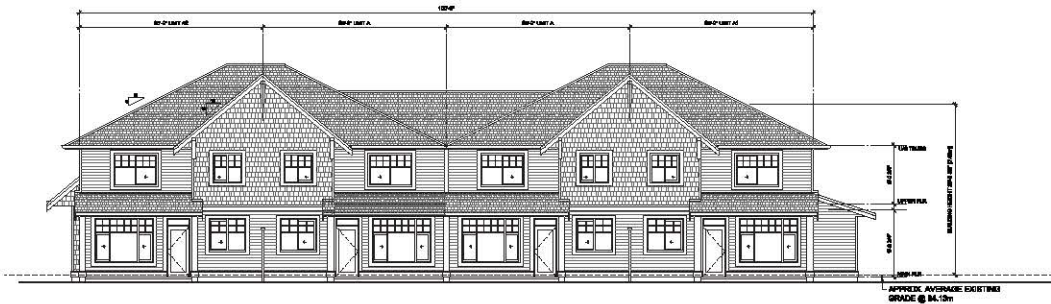
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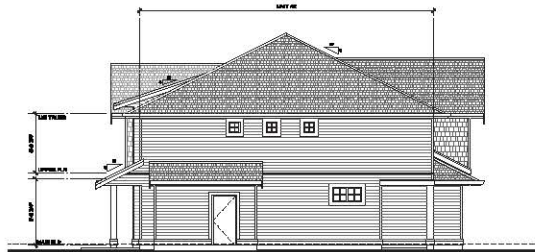
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**SECOND FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

**ELEVATION MATERIALS LEGEND**

- ① ASPHALT SHINGLE ROOFING
- ② FINISHED ALUMINUM GUTTER
- ③ PAINTED WOOD FASCIA AND TRIMS
- ④ HORIZONTAL CEMENT BOARD SIDING
- ⑤ CEMENT BOARD SHINGLE SIDING
- ⑥ PAINTED 1/2" X 3/4" MARBLE PANEL SIDING
- ⑦ W/ TRIMS
- ⑧ COLUMNS

- ⑦ VINYL FRAME WINDOW
- ⑧ VINYL FRAME SLIDING PATIO DOOR
- ⑨ PAINTED GARAGE DOOR
- ⑩ EXTERIOR DOOR
- ⑪ PRIVACY SCREEN (SEE LANDSCAPE DRNGS.)
- ⑫ EXPOSED CONCRETE WALL

2016-06-20	BOARD FOR OF SUBMISSION
2016-06-20	CORRECT REVISIONS
2016-07-13	PLANNING REVISIONS
2016-08-01	PLANNING REVISIONS
2016-08-08	REVISIONS FOR REC & DP
REVISIONS	
CONSULTANT	

**CLIENT**  
PENNAT CONTRACTING & PROJECT MANAGEMENT LTD.

**PROJECT**  
PROPOSED TOWNHOUSE DEVELOPMENT  
1847 & 1879 94th AVE.  
BURNIEY, B.C.

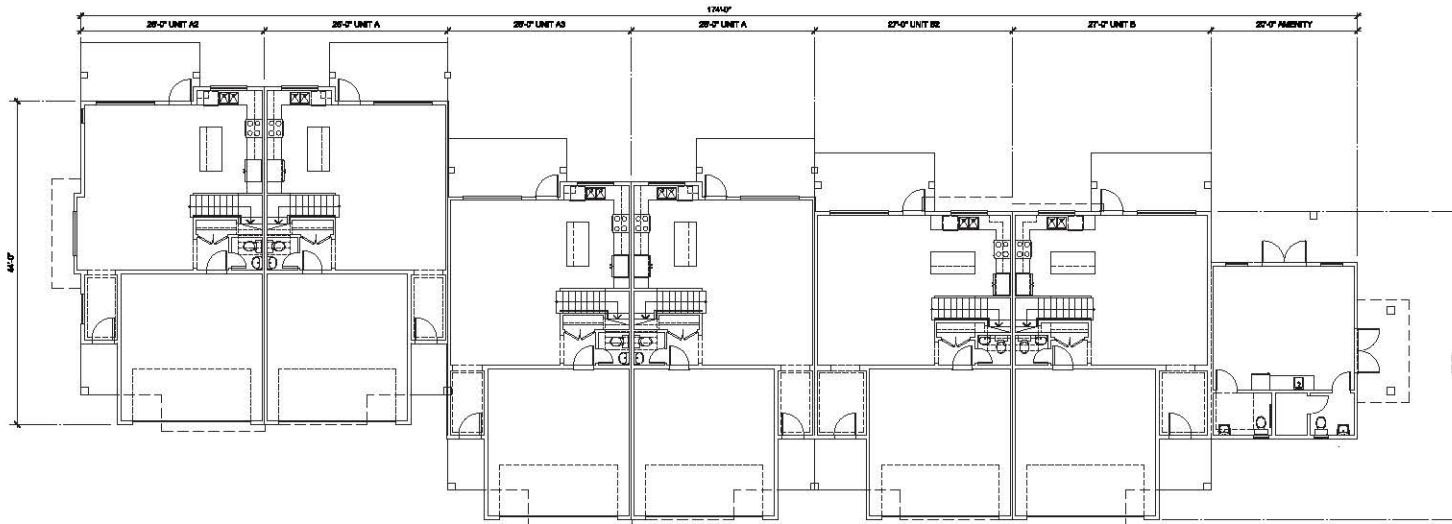
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**BUILDING 2 ELEVATIONS**

**DATE** 2016-04-18 **FILE NO.**  
**DWN.** AL  
**CHK.** 1504

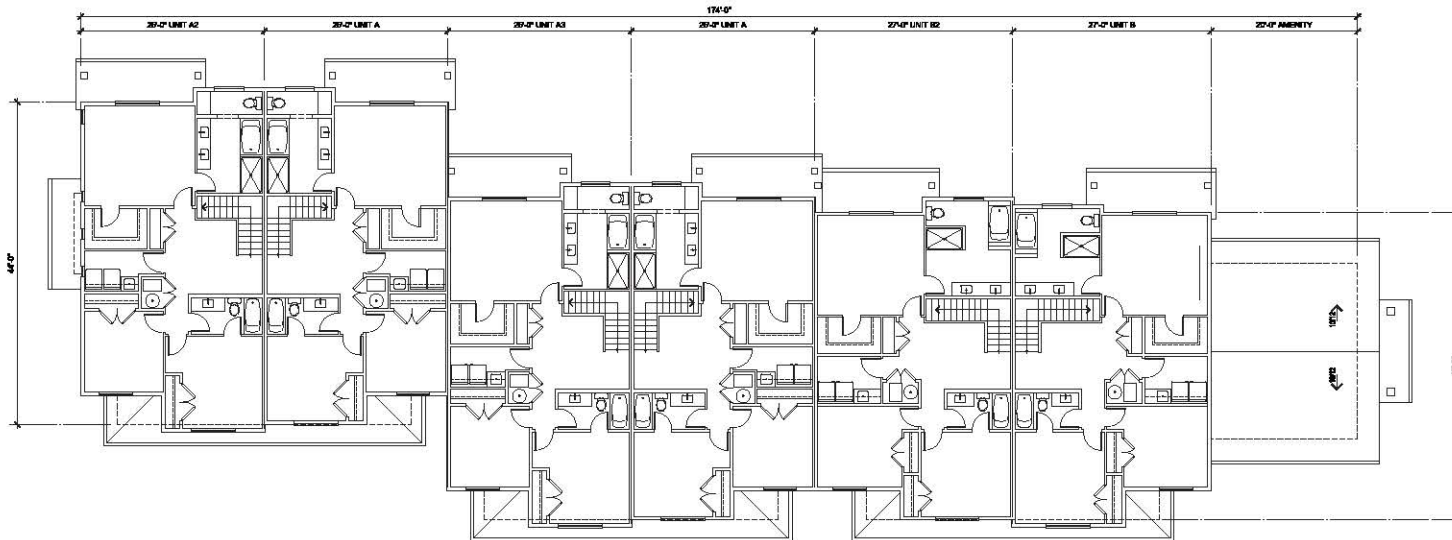
**SEAL**  
**SHEET NO.**

**DP-2.02**





**MAIN FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**SECOND FLOOR PLAN**  
SCALE: 1/8"=1'-0"

2014-08-26	ISSUED FOR PERMITS SUBMISSION
2014-08-26	OWNER REVISIONS
2014-07-13	PLANNING REVISIONS
2014-06-27	PLANNING REVISIONS
2014-04-08	REVISED FOR PERMITS

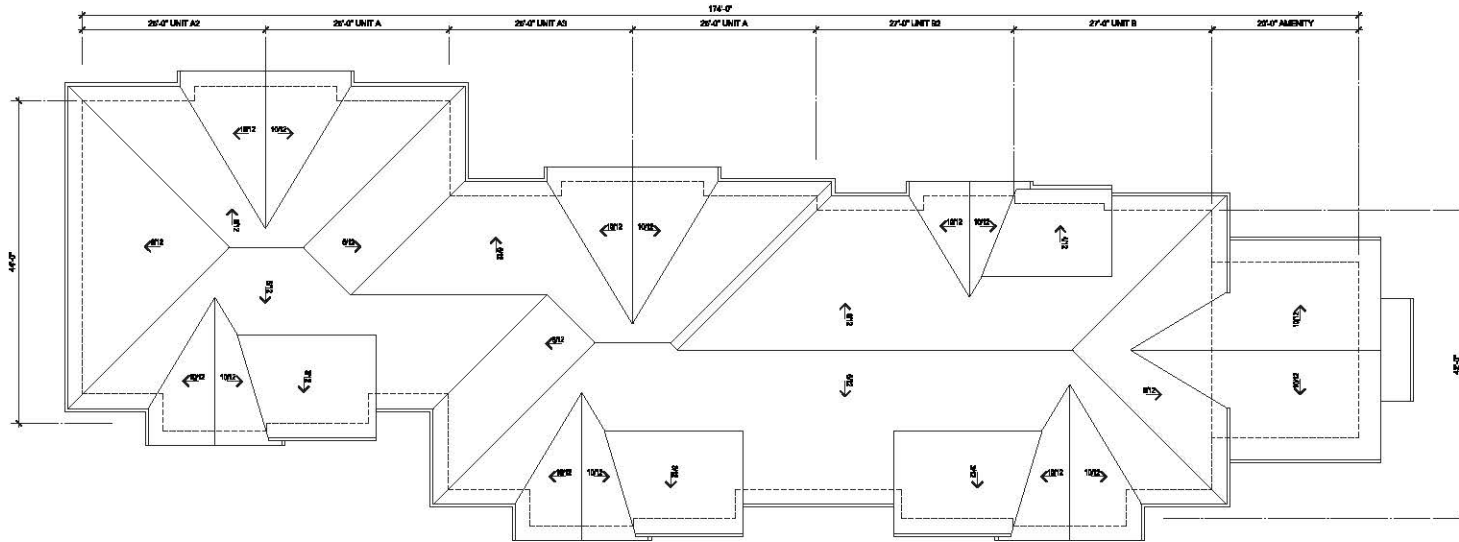
CLIENT  
**PENNAT CONTRACTING & PROJECT MANAGEMENT LTD.**

PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**  
1847 & 1879 94th AVE.  
BURNLEY, B.C.

DRAWING TITLE  
**BUILDING 3 PLANS**

DATE: 2014-04-18 FILE NO.  
DWN: AL  
CHK: **1504**

SEAL  
SHEET NO.  
**DP-3.01**



**ROOF PLAN**  
SCALE: 1/8"=1'-0"

2019-08-28	REVISION	BOARD FOR CPD SUBMISSION
2019-08-28	OWNER REVIEW	OWNER REVIEW
2019-08-13	PLANNING REVIEW	PLANNING REVIEW
2019-08-07	PLANNING REVIEW	PLANNING REVIEW
2019-07-09	REVISION	REVISION FOR IFC & DP

REVISIONS

CONSULTANT

CLIENT  
**PENNAT CONTRACTING & PROJECT MANAGEMENT LTD.**

PROJECT  
PROPOSED TOWNHOUSE DEVELOPMENT  
18247 & 18791 94th AVE.  
SURREY, B.C.

DRAWING TITLE  
**BUILDING 3 PLANS**

DATE: 2019-04-18 FILE NO.  
DWN: AL  
CHK: **1504**

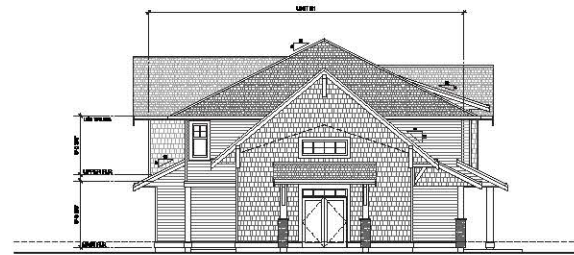
SEAL  
SHEET NO.

**DP-3.02**



APPROX. AVERAGE EXISTING GRADE @ 04.55m

**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

**ELEVATION MATERIALS LEGEND**

- |   |  |
|---|--|
| ① ASPHALT SHINGLE ROOFING                               | ⑦ VINYL FRAME WINDOW                   |
| ② FINISHED ALUMINUM GUTTER                              | ⑧ VINYL FRAME SLIDING PATIO DOOR       |
| ③ PAINTED WOOD FASCIA AND TRIMS                         | ⑨ PAINTED GARAGE DOOR                  |
| ④ HORIZONTAL CEMENT BOARD SIDING                        | ⑩ EXTERIOR DOOR                        |
| ⑤ CEMENT BOARD SHINGLE SIDING                           | ⑪ PRIVACY SCREEN (SEE LANDSCAPE DRWG.) |
| ⑥ PAINTED HDX MARBLE PANEL SIDING<br>W/ TRIMS & COLUMNS | ⑫ EXPOSED CONCRETE WALL                |

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CITY OF BUREY FILE NUMBER  
7816-0125-00

- 2015-02-26 BOARD FOR CP OF SUBMISSION
- 2015-03-04 OWNER REVIEWING
- 2015-07-13 PLANNING REVIEWING
- 2015-08-07 PLANNING REVIEWING
- 2015-08-08 REVISED FOR ICA & DP

REVISIONS  
CONSULTANT

CLIENT  
**PENNAT CONTRACTING & PROJECT MANAGEMENT LTD.**

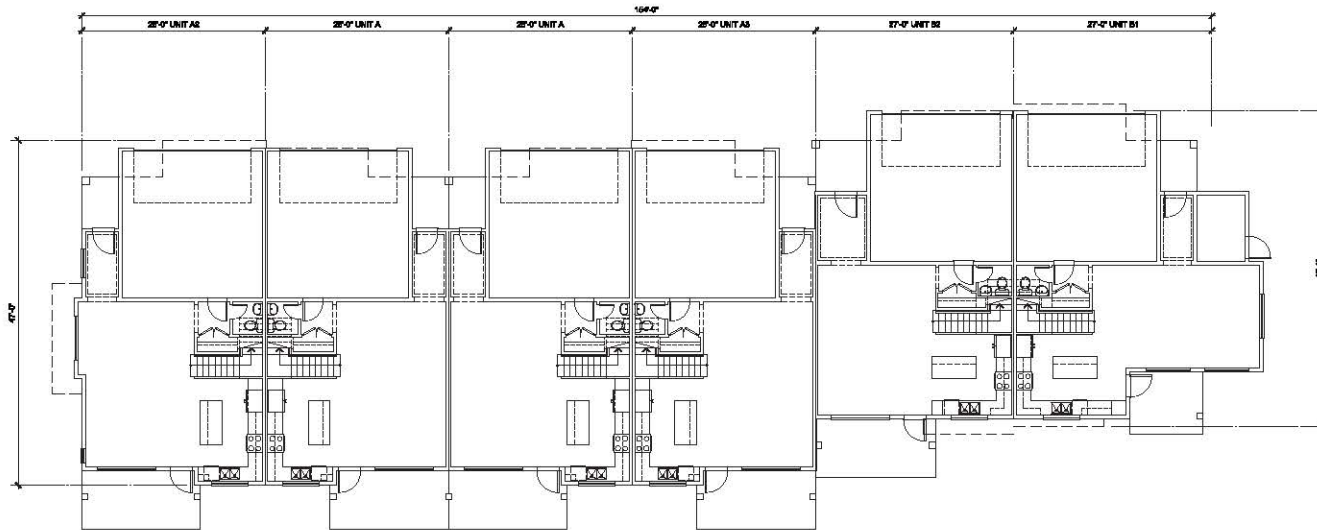
PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**  
1847 & 1879 94th AVE.  
BURLY, B.C.

DRAWING TITLE  
**BUILDING 3 ELEVATIONS**

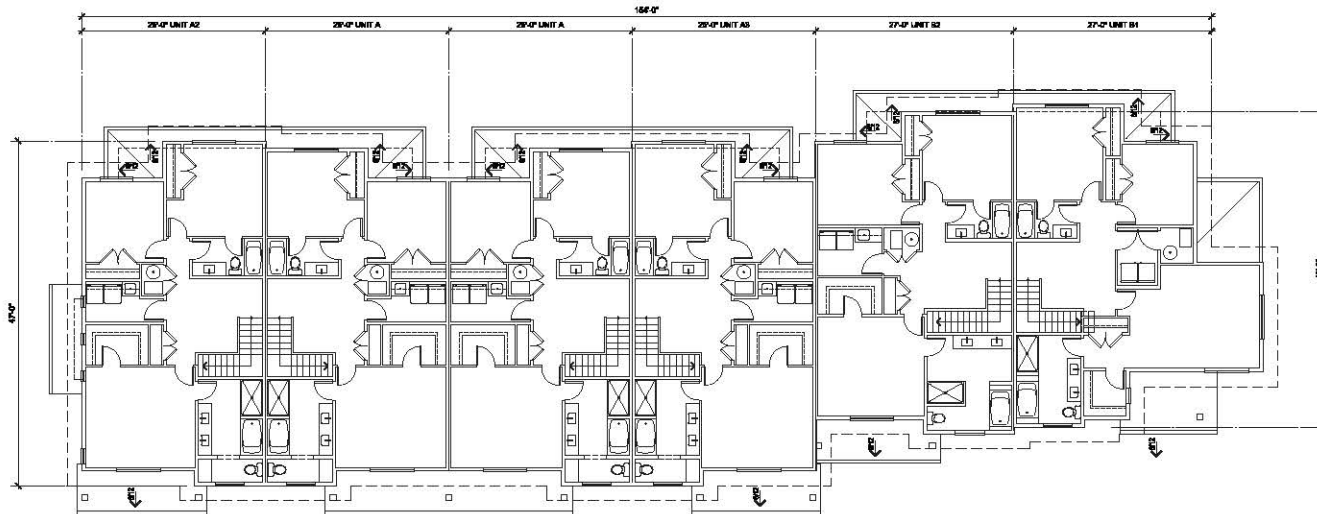
DATE 2015-04-18 FILE NO.  
DWN. AL  
CHK. **1504**

SEAL  
SHEET NO.

**DP-3.03**



**MAIN FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**SECOND FLOOR PLAN**  
SCALE: 1/8"=1'-0"

2019-08-28	BOARD FOR CP OF SUBMISSION
2019-08-28	OWNER REVISIONS
2019-07-13	PLANNING REVISIONS
2019-06-27	PLANNING REVISIONS
2019-04-28	BOARD FOR REC & DP

REVISIONS

CONSULTANT

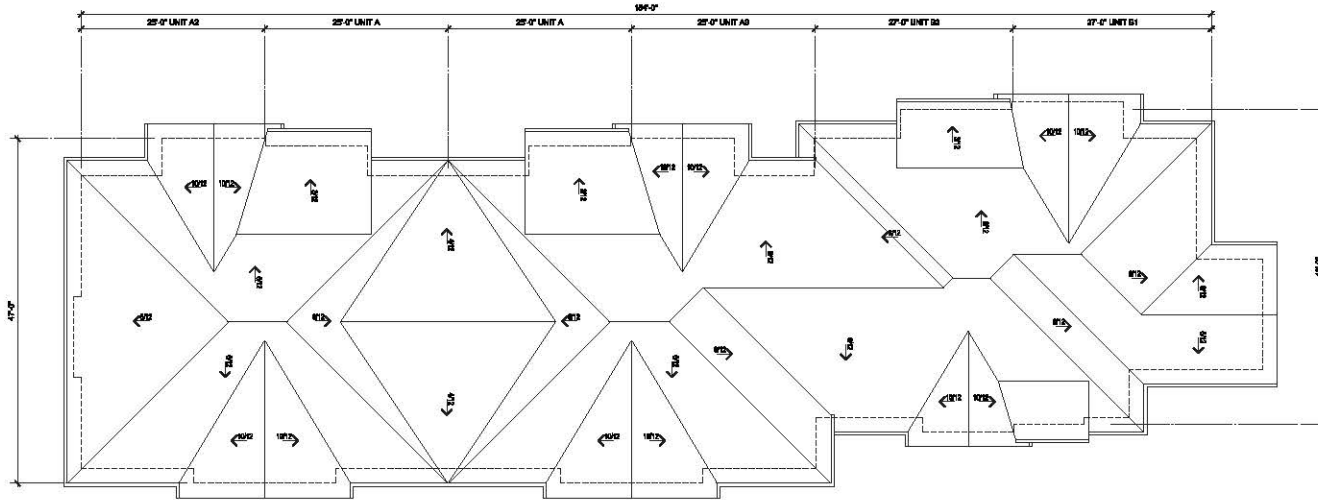
CLIENT  
**PENNAT CONTRACTING & PROJECT MANAGEMENT LTD.**

PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**  
1847 & 1879 94th AVE.  
BUREY, B.C.

DRAWING TITLE  
**BUILDING 4 PLANS**

DATE: 2019-04-18 FILE NO.  
DWN. AL  
CHK. **1504**

SEAL  
SHEET NO.  
**DP-4.01**



**ROOF PLAN**  
SCALE: 1/8"=1'-0"

2018-08-01	ISSUED FOR PERMITS SUBMISSION
2018-08-01	OWNER REVIEW
2018-07-13	PLANNING REVIEW
2018-06-21	PLANNING REVIEW
2018-04-09	REVISED FOR PERMITS

REVISIONS

CONSULTANT

CLIENT  
**PENNAT CONTRACTING & PROJECT MANAGEMENT LTD.**

PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**  
18247 & 18791 94th AVE.  
SURREY, B.C.

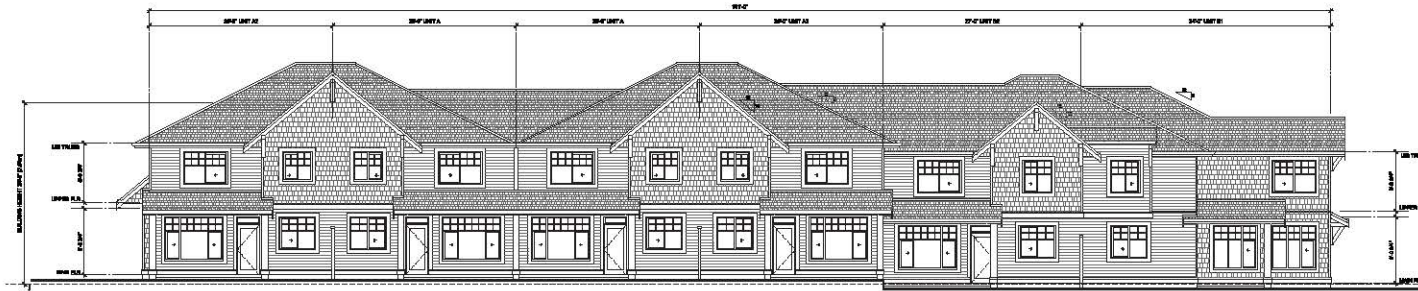
DRAWING TITLE  
**BUILDING 4 PLANS**

DATE: 2018-04-19 FILE NO.  
DWN: AL  
CHK: **1504**

SEAL  
SHEET NO.

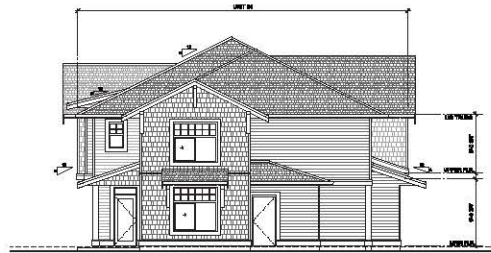
**DP-4.02**





APPROX. AVERAGE EXISTING GRADE @ 04.000'

**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

**ELEVATION MATERIALS LEGEND**

- ① ASPHALT SHINGLE ROOFING
- ② FINISHED WOOD FASCIA AND TRIMS
- ③ HORIZONTAL CEMENT BOARD SIDING
- ④ CEMENT BOARD SHINGLE SIDING
- ⑤ PAINTED 1/2" X 3/4" MARBLE PANEL SIDING
- ⑥ PAINTED 1/2" X 3/4" MARBLE PANEL SIDING
- ⑦ VINYL FRAME WINDOW
- ⑧ VINYL FRAME SLIDING PATIO DOOR
- ⑨ PAINTED GARAGE DOOR
- ⑩ EXTERIOR DOOR
- ⑪ PRIVACY SCREEN (SEE LANDSCAPE DRAWING)
- ⑫ EXPOSED CONCRETE WALL

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CITY OF BURNLEY FILE NUMBER  
7815-0125-00

2015-02-26	ISSUED FOR PERMITS SUBMISSION
2015-03-04	OWNER REVIEWING
2015-07-13	PLANNING REVIEWING
2015-08-05	PLANNING REVIEWING
2015-08-08	REWORK FOR PERMITS
REVISIONS	
CONSULTANT	

CLIENT  
**PENNAT CONTRACTING & PROJECT MANAGEMENT LTD.**

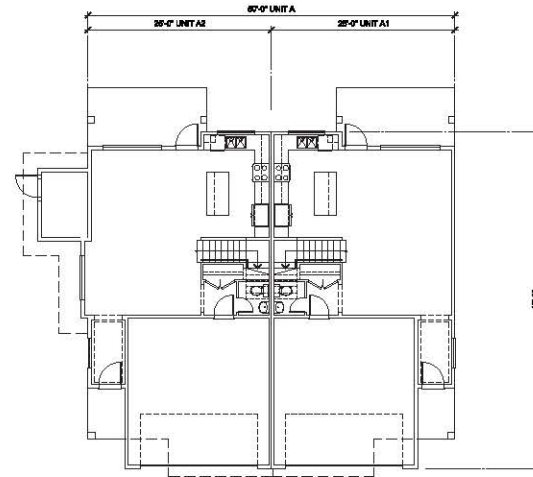
PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**  
1847 & 1879 148<sup>th</sup> AVE.  
BURNLEY, B.C.

DRAWING TITLE  
**BUILDING 4 ELEVATIONS**

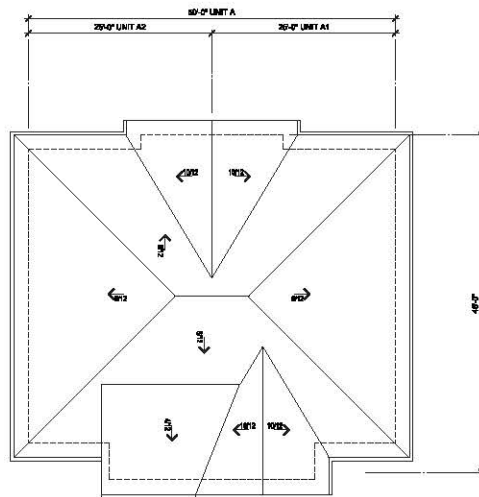
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DWN: AL  
CHK: **1504**

SEAL  
SHEET NO.

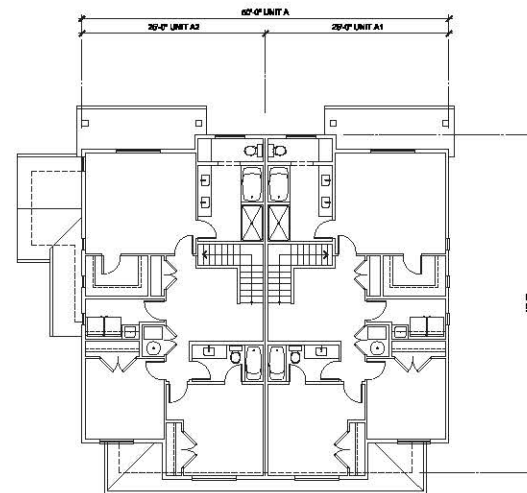
**DP-4.03**



**MAIN FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 1/8"=1'-0"



**SECOND FLOOR PLAN**  
SCALE: 1/8"=1'-0"

2015-08-26	ISSUED FOR PERMITS SUBMISSION
2015-08-26	OWNER REVIEWING
2015-09-13	PLANNING REVIEWING
2015-08-26	PLANNING REVIEWING
2015-08-26	ISSUED FOR PERMITS & DP

REVISIONS

CONSULTANT

CLIENT  
**PENNAT CONTRACTING & PROJECT MANAGEMENT LTD.**

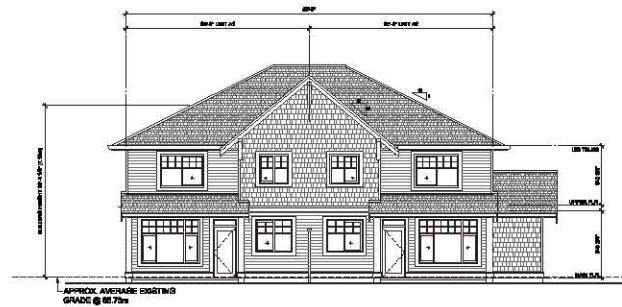
PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**  
18247 & 18791 148th AVE.  
SURREY, B.C.

DRAWING TITLE  
**BUILDING 5 PLANS**

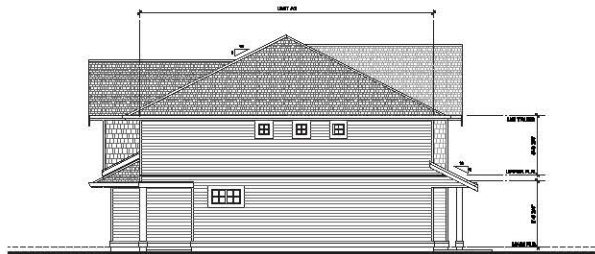
DATE: 2015-04-10 FILE NO.  
DWN: **1504**  
CHK:

SEAL  
SHEET NO.

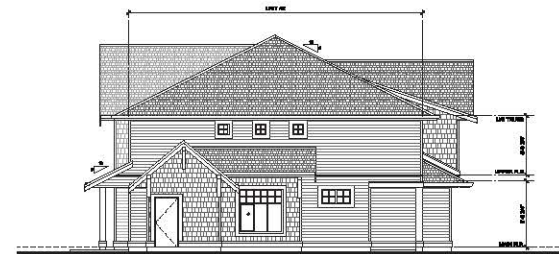
**DP-5.01**



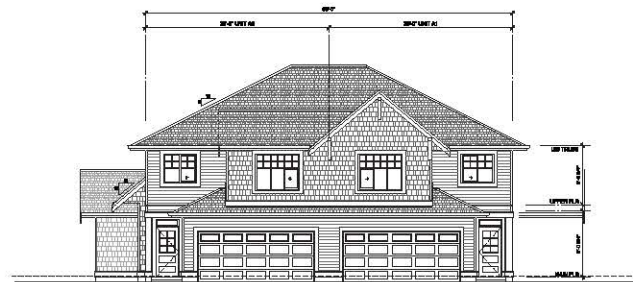
**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

**ELEVATION MATERIALS LEGEND**

- ① ASPHALT SHINGLE ROOFING
- ② FINISHED ALUMINUM GUTTER
- ③ PAINTED WOOD FASCIA AND TRIMS
- ④ HORIZONTAL CEMENT BOARD SIDING
- ⑤ CEMENT BOARD SHINGLE SIDING
- ⑥ PAINTED 1/2" X 3/4" MARBLE PANEL SIDING
- ⑦ VINYL FRAME WINDOW
- ⑧ VINYL FRAME SLIDING PATIO DOOR
- ⑨ PAINTED GARAGE DOOR
- ⑩ EXTERIOR DOOR
- ⑪ PRIVACY SCREEN (SEE LANDSCAPE DRWG.)
- ⑫ EXPOSED CONCRETE WALL

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info@focus.ca

CITY OF SURREY FILE NUMBER  
7816-0125-00

2018-08-28	ISSUED FOR PERMITS
2018-08-28	ISSUED FOR PERMITS
2018-07-13	PLANNING REVISIONS
2018-06-21	PLANNING REVISIONS
2018-04-09	REVISED FOR PERMITS
REVISIONS	
CONSULTANT	

CLIENT  
**PENNAT CONTRACTING & PROJECT MANAGEMENT LTD.**

PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**  
1847 & 1879 148<sup>th</sup> AVE.  
SURREY, B.C.

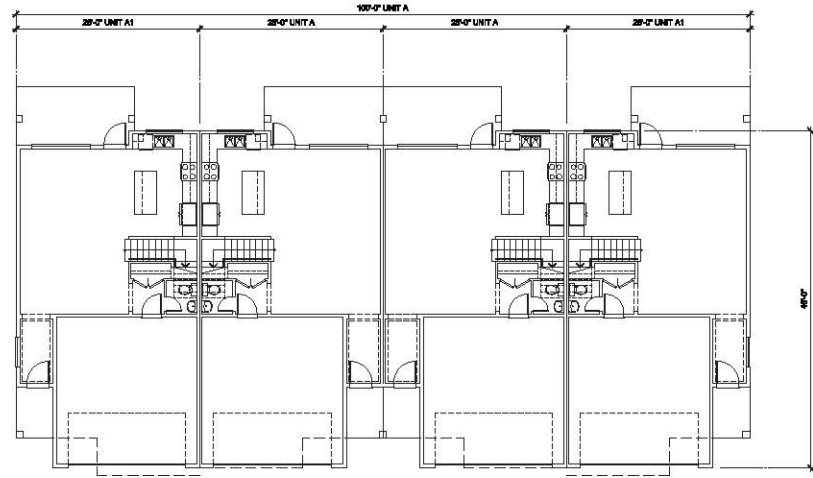
DRAWING TITLE  
**BUILDING 5 ELEVATIONS**

DATE: 2018-04-19 FILE NO.  
DWN: AL  
CHK: **1504**

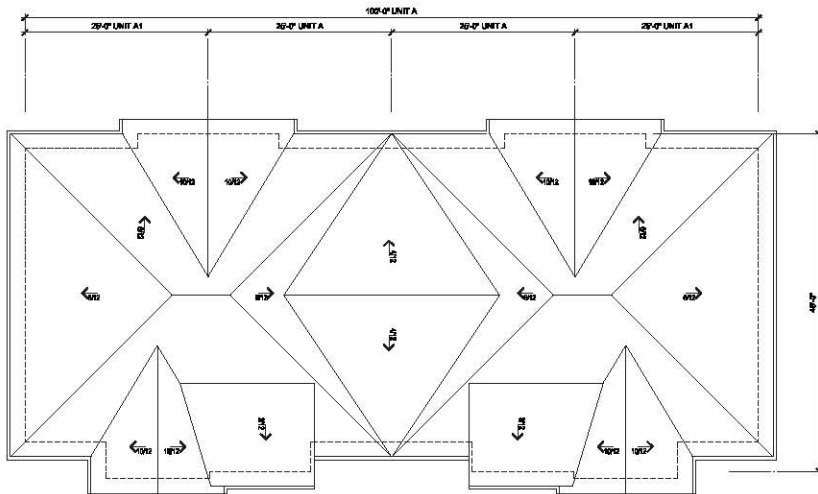
SEAL  
SHEET NO.

**DP-5.02**

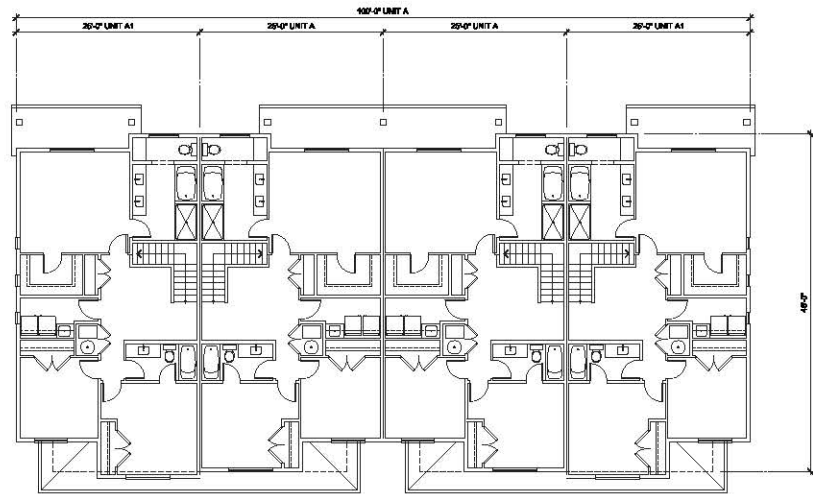




**MAIN FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**SECOND FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**SECOND FLOOR PLAN**  
SCALE: 1/8"=1'-0"

2019-08-20	REVISION FOR PS SUBMISSION
2019-08-20	OWNER REVISIONS
2019-07-13	PLANNING REVISIONS
2019-06-20	PLANNING REVISIONS
2019-04-18	REVISION FOR ICA & DP

REVISIONS

CONSULTANT

CLIENT  
**PENNAT CONTRACTING & PROJECT MANAGEMENT LTD.**

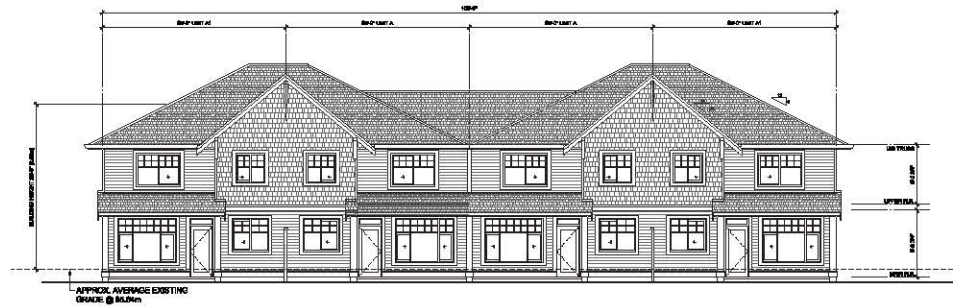
PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**  
18247 & 18791 94th AVE.  
SURREY, B.C.

DRAWING TITLE  
**BUILDING 6 PLANS**

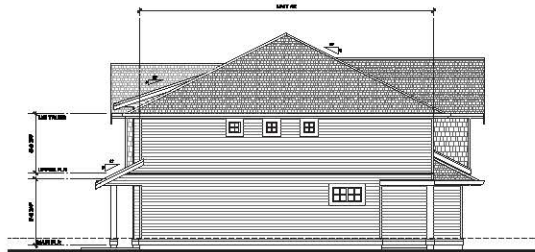
DATE: 2019-04-18 FILE NO.  
DWN: **1504**  
CHK:

SEAL  
SHEET NO.

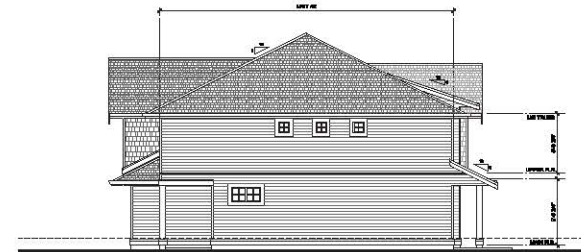
**DP-6.01**



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

**ELEVATION MATERIALS LEGEND**

- |   |  |
|---|--|
| ① ASPHALT SHINGLE ROOFING                                       | ⑦ VINYL FRAME WINDOW                   |
| ② PREFINISHED ALUMINUM GUTTER                                   | ⑧ VINYL FRAME SLIDING PATIO DOOR       |
| ③ PAINTED WOOD FASCIA AND TRIMS                                 | ⑨ PAINTED GARAGE DOOR                  |
| ④ HORIZONTAL CEMENT BOARD SIDING                                | ⑩ EXTERIOR DOOR                        |
| ⑤ CEMENT BOARD SHINGLE SIDING                                   | ⑪ PRIVACY SCREEN (SEE LANDSCAPE DRWG.) |
| ⑥ PAINTED 1/2" X 3/4" MARBLE PANEL SIDING<br>W/ TRIMS & COLUMNS | ⑫ EXPOSED CONCRETE WALL                |

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CITY OF BUREY FILE NUMBER  
7816-0125-00

2018-08-20	BOARD FOR CP OF SUBMISSION
2018-08-20	OWNER REVIEWING
2018-07-13	PLANNING REVIEWING
2018-06-21	PLANNING REVIEWING
2018-04-09	BOARD FOR ICA & DP
REVISIONS	
CONSULTANT	

CLIENT  
**PENNY CONTRACTING & PROJECT MANAGEMENT LTD.**

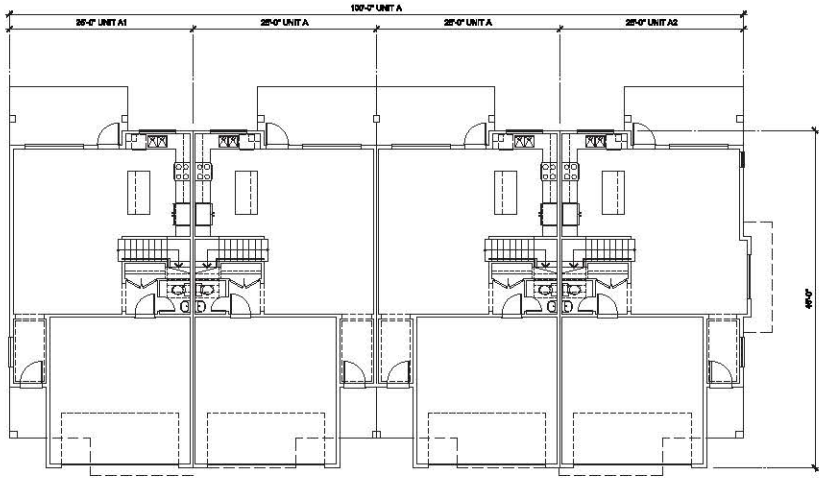
PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**  
1847 & 1879 94th AVE.  
SURREY, B.C.

DRAWING TITLE  
**BUILDING 6 ELEVATIONS**

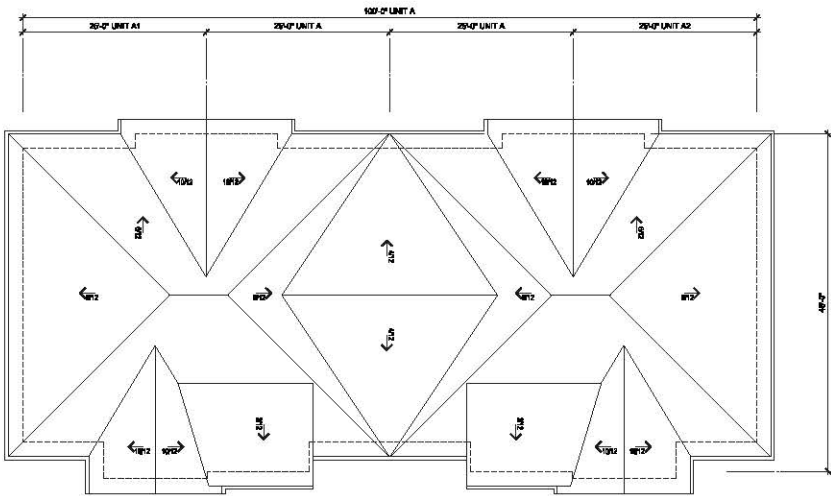
DATE: 2018-04-19 FILE NO.  
DWN: AL  
CWN: **1504**

SEAL  
SHEET NO.

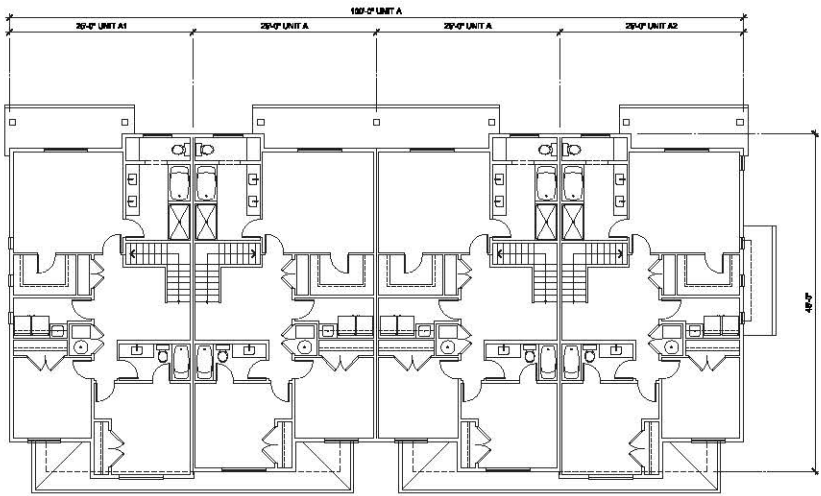
**DP-6.02**



**MAIN FLOOR PLAN**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 1/8"=1'-0"



**SECOND FLOOR PLAN**  
SCALE: 1/8"=1'-0"

2015-08-26	REVISION FOR SUBMISSION
2015-08-26	OWNER REVISIONS
2015-09-13	PLANNING REVISIONS
2015-08-26	PLANNING REVISIONS
2015-08-26	REVISIONS FOR ICA & DP

REVISIONS  
CONSULTANT

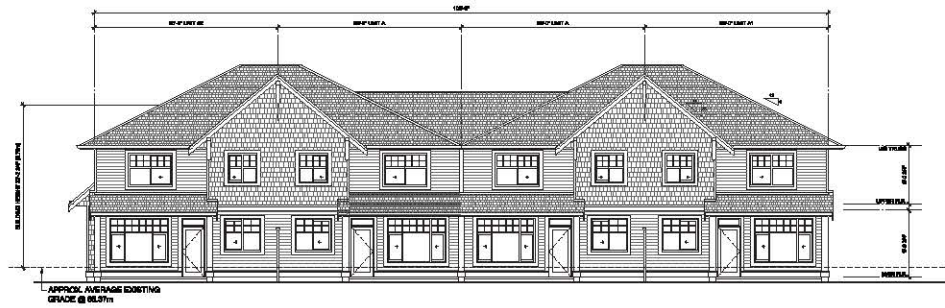
CLIENT  
**PENNAT CONTRACTING & PROJECT MANAGEMENT LTD.**

PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**  
18247 & 18791 94th AVE.  
SURREY, B.C.

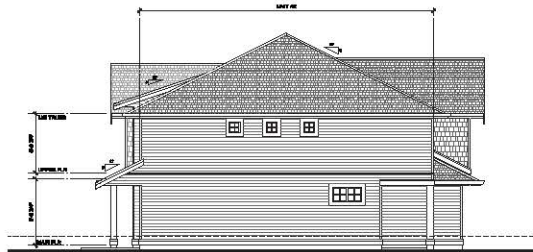
DRAWING TITLE  
**BUILDING 7 PLANS**

DATE: 2015-04-18 FILE NO.  
DWN: **1504**  
CHK:

SEAL  
SHEET NO.  
**DP-7.01**



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

- ELEVATION MATERIALS LEGEND**
- ① ASPHALT SHINGLE ROOFING
  - ② PREFINISHED ALUMINUM GUTTER
  - ③ PAINTED WOOD FASCIA AND TRIMS
  - ④ HORIZONTAL CEMENT BOARD SIDING
  - ⑤ CEMENT BOARD SHINGLE SIDING
  - ⑥ PAINTED 1/2" X 3/4" MARBLE PANEL SIDING
  - ⑦ VINYL FRAME WINDOW
  - ⑧ VINYL FRAME SLIDING PATIO DOOR
  - ⑨ PAINTED GARAGE DOOR
  - ⑩ EXTERIOR DOOR
  - ⑪ PRIVACY SCREEN (SEE LANDSCAPE DRWG.)
  - ⑫ EXPOSED CONCRETE WALL

- ⑬ VINYL FRAME WINDOW
- ⑭ VINYL FRAME SLIDING PATIO DOOR
- ⑮ PAINTED GARAGE DOOR
- ⑯ EXTERIOR DOOR
- ⑰ PRIVACY SCREEN (SEE LANDSCAPE DRWG.)
- ⑱ EXPOSED CONCRETE WALL

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CITY OF BUREY FILE NUMBER  
7816-0125-00

2019-08-26	BOARD FOR CP OF SUBMISSION
2019-08-26	CORNER REVISIONS
2019-07-13	PLANNING REVISIONS
2019-06-21	PLANNING REVISIONS
2019-04-09	BOARD FOR ICA & DP
REVISIONS	
CONSULTANT	

CLIENT  
**PENNY CONTRACTING & PROJECT MANAGEMENT LTD.**

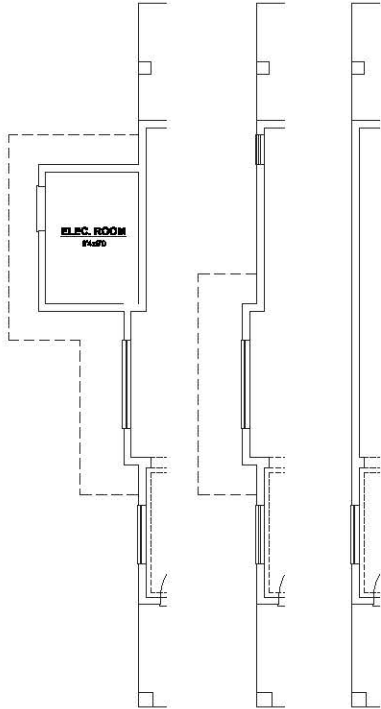
PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**  
1847 & 1879 94th AVE.  
SURREY, B.C.

DRAWING TITLE  
**BUILDING 7 ELEVATIONS**

DATE: 2019-04-19 FILE NO.  
DWN: AL  
CHK: **1504**

SEAL  
SHEET NO.

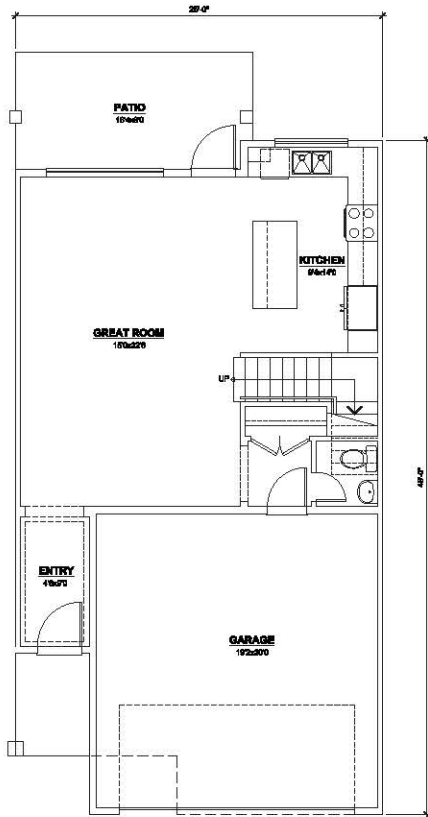
**DP-7.02**



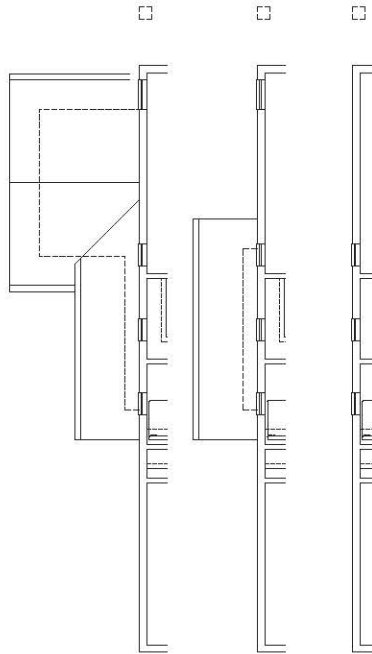
**UNIT 'A2' @ 21**  
FLOOR AREA: 670 sq.ft.

**UNIT A2**  
FLOOR AREA: 670 sq.ft.

**UNIT A1**



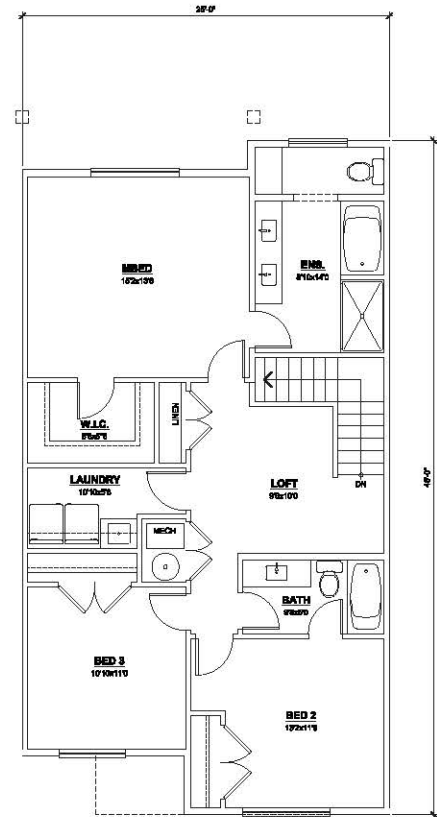
**MAIN FLOOR PLAN - UNIT 'B' TYP.**  
SCALE: 1/4"=1'-0"  
FLOOR AREA: 859 sq.ft.



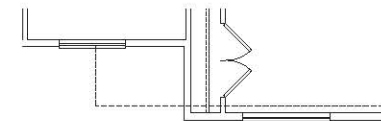
**UNIT 'A2' @ 21**

**UNIT A2**

**UNIT A1**



**UPPER FLOOR PLAN - UNIT 'A' TYP.**  
SCALE: 1/4"=1'-0"  
FLOOR AREA: 1,075 sq.ft.



**UNIT 'A1', 'A2', & 'A3'**  
FLOOR AREA: 1,089 sq.ft.

2019-08-26	REVISION	FOR OF PS SUBMISSION
2019-08-26	OWNER REVISIONS	
2019-07-13	PLANNING REVISIONS	
2019-06-21	PLANNING REVISIONS	
2019-04-09	REVISED FOR PER & DP	

REVISIONS  
CONSULTANT

CLIENT  
**PENNAT CONTRACTING & PROJECT MANAGEMENT LTD.**

PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**  
18247 & 18791 94th AVE.  
SURREY, B.C.

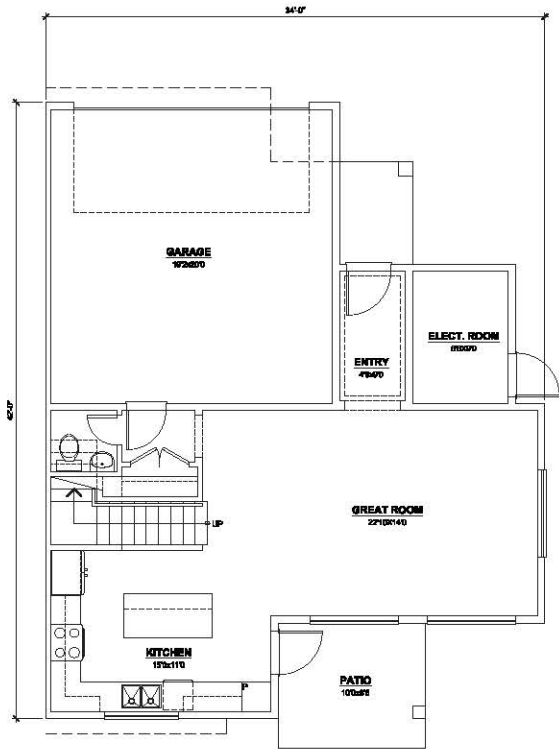
DRAWING TITLE  
**UNIT PLANS 'A', 'A1', & 'A2'**

DATE: 2019-04-18 FILE NO.  
DWN. AL  
CHK. **1504**

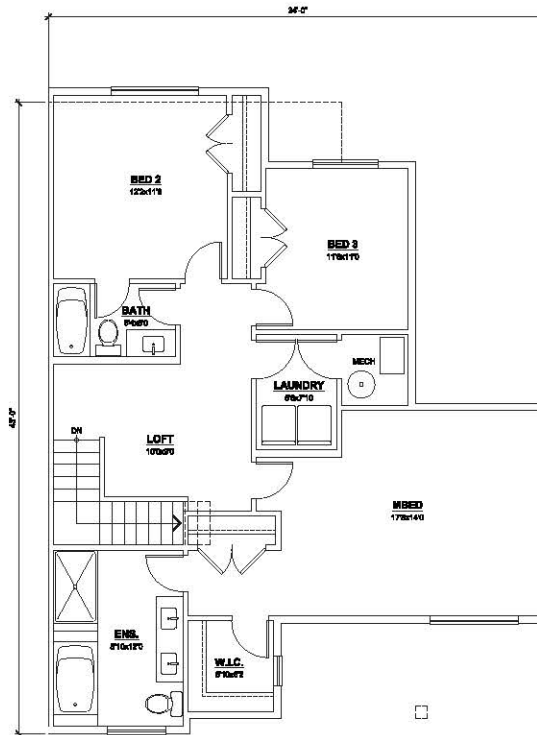
SEAL  
SHEET NO.



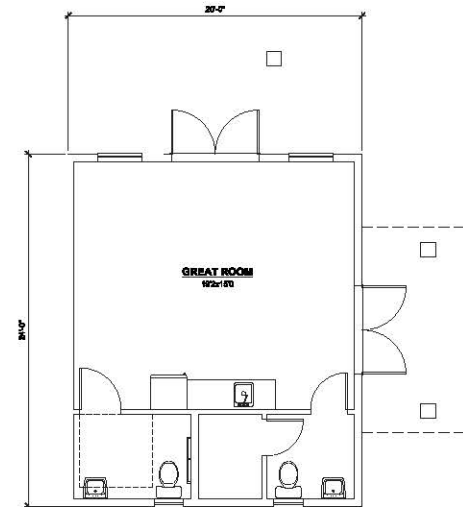




**MAIN FLOOR PLAN - UNIT 'B1'**  
SCALE: 1/4"=1'-0"  
FLOOR AREA: 665 sq.ft.



**UPPER FLOOR PLAN - UNIT 'B1'**  
SCALE: 1/4"=1'-0"  
FLOOR AREA: 1,110 sq.ft.



**MAIN FLOOR PLAN - AMENITY**  
SCALE: 1/4"=1'-0"  
FLOOR AREA: 480 sq.ft.

- 2016-08-24 BOARD FOR CP OF PS SUBMISSION
- 2016-08-24 OWNER REVIEW
- 2016-07-13 PLANNING REVIEW
- 2016-06-21 PLANNING REVIEW
- 2016-04-28 BOARD FOR PS & DP

REVISIONS  
CONSULTANT

CLIENT  
PENNY CONTRACTING & PROJECT MANAGEMENT LTD.

PROJECT  
PROPOSED TOWNHOUSE DEVELOPMENT  
1847 & 1879 94th AVE.  
BURNLEY, B.C.

DRAWING TITLE

**UNIT PLANS  
'B1' & 'AMENITY'**

DATE: 2016-04-18 FILE NO.  
DWN. AL 1504  
CHK.

SEAL  
SHEET NO.

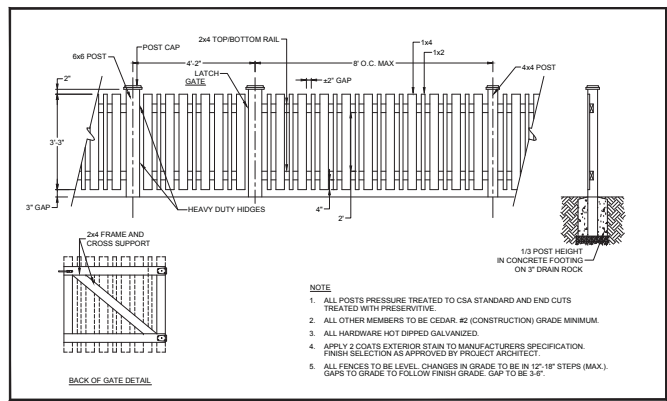




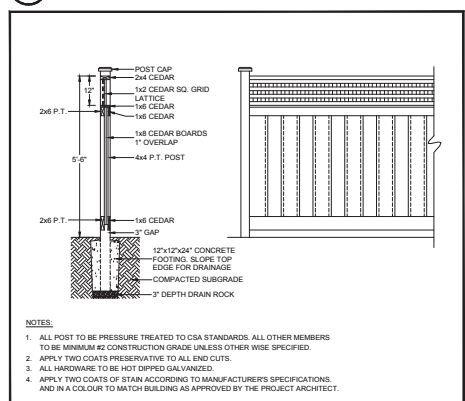




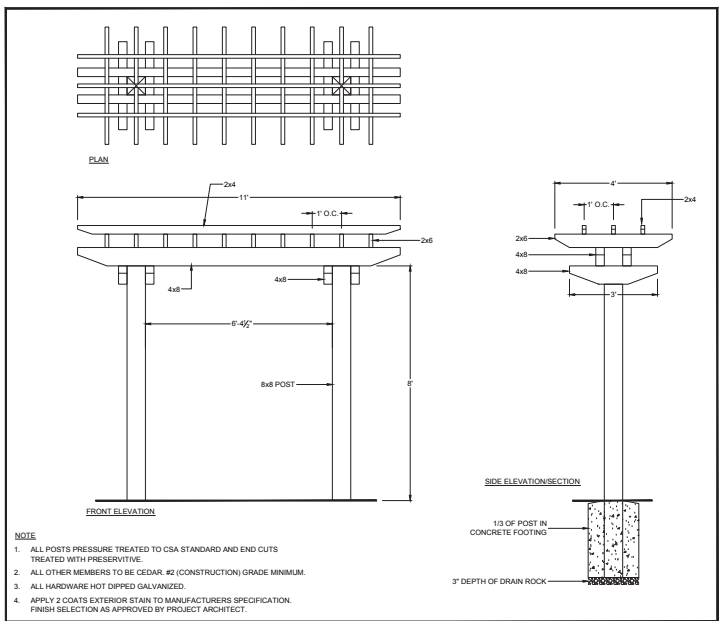
SEAL:



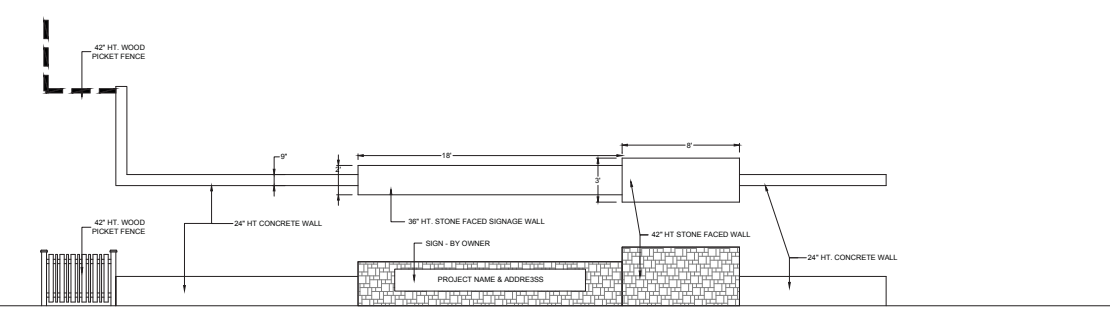
**1 PICKET FENCE AND GATE**  
1/2"=1'-0"



**2 6' HEIGHT PERIMTER / SCREEN FENCE**  
1/2"=1'-0"



**3 WOOD TRELLIS DETAIL**  
1/2"=1'-0"



**4 SIGNAGE WALL**  
1/4"=1'-0"

NO.	DATE	REVISION DESCRIPTION	DR.
1	15.NOV.04	RI SUBMISSION	MM
2	15.OCT.19	NEW SITE PLAN	DO
3	15.JUL.13	NEW SITE PLAN	CLD

PROJECT:

**RESIDENTIAL DEV.**

15747-84TH AVE.  
SURREY

DRAWING TITLE:  
**LANDSCAPE DETAILS**

DATE: 15.OCT.19 DRAWING NUMBER:  
SCALE: AS SHOWN  
DRAWN: DO  
DESIGN: PMG  
CHKD: MCY

**L4**  
OF 4



## INTER-OFFICE MEMO

---

TO: **Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **Revised December 10, 2015**  
**December 4, 2015**

PROJECT FILE: **7815-0125-00**

---

RE: **Engineering Requirements  
Location: 15747 and 15791 84 Avenue**

**REZONE/SUBDIVISION*****Property and Right-of-Way Requirements***

- Dedicate 4.942 m along 84 Avenue for the 30.0 m Arterial Road Standard.
- Dedicate varying widths along Venture Way from 2.230 m for the ultimate 22.0 m Collector Road Standard.
- Dedicate varying widths along 157A Street from 9.942 m for the ultimate 20.0 m Through Local Road Standard.
- Dedicate 5.0 x 5.0 m corner cut at the intersection of 84 Avenue and Venture Way.
- Dedicate 3.0 x 3.0 m corner cut at the intersection of 84 Avenue 157A Street.
- Provide a 0.5 m Statutory Right-of-Way along the frontages.

***Works and Services***

- Construct west side of Venture Way to the Collector Road Standard.
- Construct east side of 157A Street to the Through Local Road Standard.
- Construct a 7.3 m concrete driveway letdown to Venture Way.
- The City is requesting a DCW for sidewalk construction along 84 Avenue and Venture Way.
- Provide on-site infiltration features to meet the requirements of the draft Fleetwood Greenway ISMP.
- Provide a water, storm, and sanitary service connection to service the development.

A Servicing Agreement is required prior to Rezoning and Subdivision.

**DEVELOPMENT PERMIT**

There are no engineering requirements relative to issuance of the Development Permit.

**DEVELOPMENT VARIANCE PERMIT**

There are no engineering requirements relative to issuance of the Development Variance Permit.

  
Rémi Dubé, P.Eng.  
Development Services Manager

CE

NOTE: Detailed Land Development Engineering Review available on file



Wednesday, October 07, 2015  
 Planning

**THE IMPACT ON SCHOOLS**

APPLICATION #: 15-125-00

**School Enrolment Projections and Planning Update:**

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

There are no new capital projects proposed at Walnut Road Elementary or Fleetwood Park Secondary. Walnut Road Elementary has five portables on site and Fleetwood Park Secondary has three. The school district is currently investigating enrolment management strategies in this area.

**SUMMARY**

The proposed 30 townhouse units are estimated to have the following impact on the following schools:

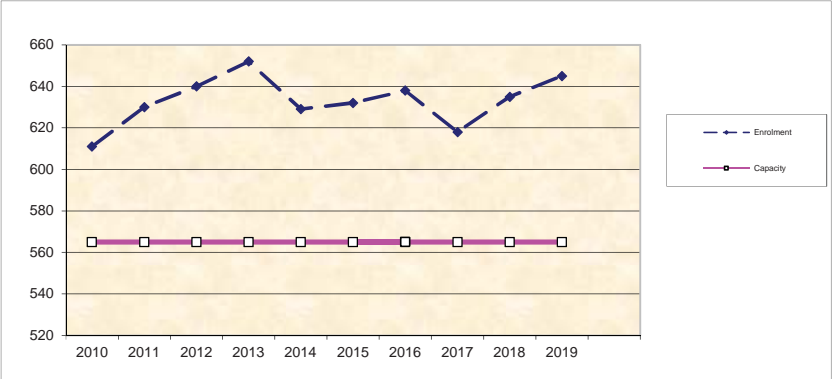
**Projected # of students for this development:**

Elementary Students:	6
Secondary Students:	3

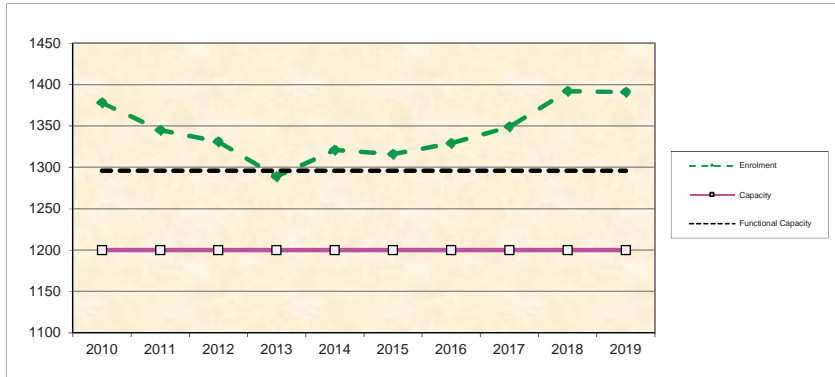
September 2014 Enrolment/School Capacity

<b>Walnut Road Elementary</b>	
Enrolment (K/1-7):	79 K + 550
Capacity (K/1-7):	40 K + 525
<b>Fleetwood Park Secondary</b>	
Enrolment (8-12):	1321
Nominal Capacity (8-12):	1200
Functional Capacity*(8-12):	1296

**Walnut Road Elementary**



**Fleetwood Park Secondary**



\*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.







CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7915-0125-00

Issued To: Penmat Mana Jv Ltd.

("the Owner")

Address of Owner: 15740 - 84A Avenue  
Surrey, BC V4N 0Y8

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 008-510-253

Lot 63 Section 26 Township 2 New Westminster District Plan 38471  
15747 - 84 Avenue

Parcel Identifier: 008-510-288

Lot 64 Section 26 Township 2 New Westminster District Plan 38471  
15791 - 84 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

\_\_\_\_\_

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

\_\_\_\_\_



4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) to reduce the minimum west side yard setback of the RM-15 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and to 3.7 metres (12 ft.) to building columns and roof overhangs;
  - (b) to reduce the minimum front yard (south) setback of the RM-15 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and to 3.8 metres (12.5 ft.) to building columns and roof overhangs;
  - (c) to reduce the minimum east side yard setback of the RM-15 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and to 4.3 metres (14 ft.) to building columns and roof overhangs; and
  - (d) to reduce the minimum rear yard (north) setback of the RM-15 Zone from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) to the building face and to 5.3 metres (17 ft.) to building columns and roof overhangs.
5. This development variance permit applies to only the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

---

Mayor – Linda Hepner

---

City Clerk – Jane Sullivan



## SITE RECONCILIATION

**LEGAL DESCRIPTION:**  
 CURRENT: LOTS 63 & 64 SECTION 28 TOWNSHIP 2 R/W PLAN 38471  
 NON-FIDUCIARY L.T.D. RESTRICTION

**CIVIC ADDRESS:**  
 1547 & 1574 - 16 AVE, SURREY

**ZONING INFORMATION:**  
 SCALE: EXISTING: R1 (BASED ON R418)  
 PROPOSED: CO (BASED ON R418)  
 \*COZ DESIGNATION = TOWNHOUSE (10 UPA)

**LOT AREAS:**  
 GROSS: 9,480.0 m<sup>2</sup> (2,340 ac)  
 ROAD DEDICATION: 1,500.0 m<sup>2</sup> (3.63 ac)  
 NET TOTAL: 8,180.0 m<sup>2</sup> (2,011 ac)

SETBACKS:	REQUIRED:	PROPOSED: (TO BUILDING FACE)	PROPOSED: (TO COLLAR)
SOUTH (FRONT)	7.50m	4.50m	3.00m
NORTH (REAR)	7.50m	8.00m	5.25m
EAST (SIDE #1)	7.50m	4.00m	4.00m
WEST (SIDE #2)	7.50m	4.00m	3.75m
(VARIANCES REQUIRED)			

<b>LOT DENSITY:</b>	PERMITTED:	16 UPA x 2.01 ac = 32 units
	PROPOSED:	30 units
<b>FLOOR AREA RATIO:</b>	PERMITTED:	0.80
	PROPOSED:	0.897 (4,955.6 m <sup>2</sup> / 5,180.0 m <sup>2</sup> = 0.897)
<b>LOT COVERAGE:</b>	PERMITTED:	48.0%
	PROPOSED:	41.2% (3,344.2 m <sup>2</sup> / 5,180.0 m <sup>2</sup> = 0.616)
<b>BUILDING HEIGHT:</b>	PERMITTED:	11.0 m
	PROPOSED:	7.24 m (BUILDING)
<b>AMENITY:</b>	PERMITTED:	11.0 m
	PROPOSED:	7.24 m (BUILDING)
<b>OUTDOOR:</b>	REQUIRED:	30 UNITS x 2m <sup>2</sup> per unit = 60 m <sup>2</sup>
	PROPOSED:	168 m <sup>2</sup>
<b>INDOOR:</b>	REQUIRED:	30 UNITS x 2m <sup>2</sup> per unit = 60 m <sup>2</sup>
	PROPOSED:	480 S.F. (44.6m <sup>2</sup> ) - 0.8M IN LED FOR BALANCE
<b>PARKING:</b>	REQUIRED:	RESIDENT: 30 UNITS x 2 CAR/UNIT = 60 CARS VISITOR: 80 CARS x 2.5 CAR/UNIT = 200 CARS
	PROPOSED:	RESIDENT: 80 CARS (SIDE BY SIDE GARAGES) VISITOR: 8 CARS (INCLUDING 1 HD)

BUILDING	# OF UNITS	LOT COVERAGE SUMMARY	
		AREA (m <sup>2</sup> )	%
1	4	488 m <sup>2</sup>	48.7%
2	4	474 m <sup>2</sup>	44.8%
3	6	781 m <sup>2</sup>	71.2%
4	8	762 m <sup>2</sup>	67.2%
5	8	748 m <sup>2</sup>	66.4%
6	4	473 m <sup>2</sup>	43.1%
7	4	488 m <sup>2</sup>	48.7%
TOTAL	36	3,344.2 m <sup>2</sup>	33.4%

UNIT TYPE	COUNT	GARAGE	BATH	LIVING	UNIT TOTALS	SITE TOTALS (NOT INCL. GARAGES)	
						AREA (m <sup>2</sup> )	AREA (m <sup>2</sup> )
A-3 BED	12	408 m <sup>2</sup>	560 m <sup>2</sup>	1,375 m <sup>2</sup>	1,744 m <sup>2</sup>	191.00 m <sup>2</sup>	20,855 m <sup>2</sup>
A1-3 BED	8	408 m <sup>2</sup>	560 m <sup>2</sup>	1,375 m <sup>2</sup>	1,744 m <sup>2</sup>	183.28 m <sup>2</sup>	19,438 m <sup>2</sup>
A2-3 BED	8	408 m <sup>2</sup>	560 m <sup>2</sup>	1,375 m <sup>2</sup>	1,744 m <sup>2</sup>	183.42 m <sup>2</sup>	19,454 m <sup>2</sup>
A3-3 BED	3	408 m <sup>2</sup>	560 m <sup>2</sup>	1,375 m <sup>2</sup>	1,744 m <sup>2</sup>	103.20 m <sup>2</sup>	3,498 m <sup>2</sup>
B-3 BED	1	408 m <sup>2</sup>	560 m <sup>2</sup>	1,375 m <sup>2</sup>	1,744 m <sup>2</sup>	1,267 m <sup>2</sup>	984.18 m <sup>2</sup>
B1-3 BED	1	408 m <sup>2</sup>	560 m <sup>2</sup>	1,375 m <sup>2</sup>	1,744 m <sup>2</sup>	1,267 m <sup>2</sup>	984.18 m <sup>2</sup>
B2-3 BED	2	408 m <sup>2</sup>	560 m <sup>2</sup>	1,375 m <sup>2</sup>	1,744 m <sup>2</sup>	1,267 m <sup>2</sup>	984.18 m <sup>2</sup>
TOTAL	36					183.42 m <sup>2</sup>	4,484.80 m <sup>2</sup>

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CITY OF SURREY FILE NUMBER  
 17161215-00

- 2019-04-04 REVIEWED FOR CHG REVISIONS
- 2019-05-28 OWNER REVISIONS
- 2019-07-13 PLANNING REVISIONS
- 2019-08-23 PLANNING REVISIONS
- 2019-04-04 REVIEWED FOR CHG REVISIONS
- 2019-05-28 OWNER REVISIONS
- 2019-07-13 PLANNING REVISIONS
- 2019-08-23 PLANNING REVISIONS

REVISIONS  
 CONSULTANT

CLIENT  
**PEIMAT CONTRACTING & PROJECT MANAGEMENT LTD.**

PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**

1547 & 1574 16th AVE.  
 SURREY, B.C.

DRAWING TITLE  
**SITE PLAN**

DATE: 2024-04-09 FILE NO.  
 DWG. NO. 1504  
 CHK. 1504

SCALE: 1"=20'-0"

SEAL SHEET NO.  
**DP-0.01**

## SITE RECONCILIATION

**LEGAL DESCRIPTION:**  
CURRENT: LOTS 63 & 64 SECTION 26 TOWNSHIP 2 NVD PLAN 38471  
NEW: PENDING L.T.O. REGISTRATION

**CIVIC ADDRESS:**  
15747 & 15791 - 84 AVE

### ZONING INFORMATION:

<b>ZONE:</b>	EXISTING: RM-30	PROPOSED: RM-30
<b>LOT AREAS:</b>	GROSS: 9,468.7 m <sup>2</sup> (2.34 ac)	ROAD DEDICATION: 1,310.3 m <sup>2</sup> (0.32 ac)
		NET TOTAL: 8,158.0 m <sup>2</sup> (2.02 ac)

### SETBACKS:

	REQUIRED:	PROPOSED: (TO BUILDING FACE)	PROPOSED: (TO PROJECTIONS)
NORTH	7.50m	7.50m	5.50m
SOUTH	7.50m	4.50m	N/A
EAST	7.50m	4.50m	3.90m
WEST (VARIANCES REQUIRED)	7.50m	4.50m	3.92m

**LOT DENSITY:** PERMITTED: 30 UPA x 2.02 ac = 60.06 units  
PROPOSED: 46 units

**FLOOR AREA RATIO:** PERMITTED: 0.9  
PROPOSED: 0.88  
(5,563.5 m<sup>2</sup> / 8,158.0 m<sup>2</sup> = 0.68)

**LOT COVERAGE:** PERMITTED: 45%  
PROPOSED: 37.5%  
(3,065.5 m<sup>2</sup> / 8,158.0 m<sup>2</sup> = 0.376)

**BUILDING HEIGHT:** PERMITTED: 13.0 m  
PROPOSED: 18.0

**AMENITY:**

**OUTDOOR:** REQUIRED: 46 UNITS x 3m<sup>2</sup> per unit = 138 m<sup>2</sup>  
PROPOSED: 150 m<sup>2</sup>

**INDOOR:** REQUIRED: 46 UNITS x 3m<sup>2</sup> per unit = 138 m<sup>2</sup>  
PROPOSED: 42 m<sup>2</sup>

**PARKING:** REQUIRED: RESIDENT: 46 UNITS x 2 CARS/UNIT = 92 CARS  
VISITOR: 16 UNITS x 0.2 CARS/UNIT = 3.2 (9 CARS)  
PROPOSED: RESIDENT: 92 CARS (69 IN GARAGES, 23 IN DRIVEWAYS)  
VISITOR: 9 CARS INCLUDING 1 HC

BUILDING	# OF UNITS	LOT COVERAGE
1	8	4797 sq.ft. / 445.61 m <sup>2</sup>
2	6	4361 sq.ft. / 403.58 m <sup>2</sup>
3	2	2080 sq.ft. / 193.23 m <sup>2</sup>
4	2	2080 sq.ft. / 193.23 m <sup>2</sup>
5	6	4308 sq.ft. / 398.41 m <sup>2</sup>
6	5	3175 sq.ft. / 295.00 m <sup>2</sup>
7	5	3627 sq.ft. / 336.96 m <sup>2</sup>
8	3	2229 sq.ft. / 207.09 m <sup>2</sup>
9	2	2066 sq.ft. / 191.89 m <sup>2</sup>
10	5	4047 sq.ft. / 375.01 m <sup>2</sup>
<b>TOTAL</b>	<b>46</b>	<b>32,998 sq.ft. / 3,065.53 m<sup>2</sup></b>

UNIT TYPE	COUNT	GARAGE	LOWER*	MAIN	UPPER	UNIT TOTALS	SITE TOTALS (NOT INCL. GARAGE)
A - 2 BED	19	266 sq.ft.	221 sq.ft.	466 sq.ft.	1,183 sq.ft.	1,099 sq.m <sup>2</sup>	22,477 sq.ft. / 2,088.18 m <sup>2</sup>
A1 - 2 BED	2	270 sq.ft.	258 sq.ft.	594 sq.ft.	1,159 sq.ft.	1,185 sq.m <sup>2</sup>	2,455 sq.ft. / 226.73 m <sup>2</sup>
A2 - 2 BED	2	270 sq.ft.	258 sq.ft.	574 sq.ft.	1,289 sq.ft.	1,205 sq.m <sup>2</sup>	2,588 sq.ft. / 241.36 m <sup>2</sup>
A3 - 2 BED	2	415 sq.ft.	260 sq.ft.	595 sq.ft.	1,294 sq.ft.	1,229 sq.m <sup>2</sup>	2,589 sq.ft. / 241.36 m <sup>2</sup>
B - 3 BED	2	415 sq.ft.	260 sq.ft.	595 sq.ft.	1,222 sq.ft.	1,414 sq.m <sup>2</sup>	3,044 sq.ft. / 282.80 m <sup>2</sup>
C - 3 BED	6	598 sq.ft.	351 sq.ft.	631 sq.ft.	1,342 sq.ft.	1,248 sq.m <sup>2</sup>	10,796 sq.ft. / 997.41 m <sup>2</sup>
D - 3 BED	4	410 sq.ft.	252 sq.ft.	587 sq.ft.	1,318 sq.ft.	1,215 sq.m <sup>2</sup>	6,072 sq.ft. / 563.45 m <sup>2</sup>
D1 - 3 BED	2	410 sq.ft.	252 sq.ft.	587 sq.ft.	1,318 sq.ft.	1,413 sq.m <sup>2</sup>	3,026 sq.ft. / 281.02 m <sup>2</sup>
<b>TOTAL</b>	<b>46</b>	<b>3,451 sq.ft.</b>					<b>59,885 sq.ft. / 5,563.50 m<sup>2</sup></b>

\*LOWER FLOOR AREAS GIVEN ARE TOTAL LOWER FLOOR EXCLUDING GARAGE (ACCESSORY USE FOR PARKING WITHIN THE BUILDING ENVELOPE) PER CITY OF SURREY ZONING BYLAW 1200

Initial Proposed Site Plan  
(48 Units)

REVISIONS	CONSULTANT

CLIENT  
**PENMAT CONTRACTING & PROJECT MANAGEMENT LTD.**

PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**  
15774 & 15791 84th AVE.  
SURREY, B.C.

DRAWING TITLE  
**SITE PLAN**

DATE: 2015-04-16 FILE NO.  
DWN: ph  
CHK: ch **1504**

SEAL  
SHEET NO.  
**DP-0.01**



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e info@focus.ca