

City of Surrey PLANNING & DEVELOPMENT REPORT File: 7915-0125-00

Planning Report Date: December 14, 2015

PROPOSAL:

- Rezoning from RF to RM-15
- Development Permit
- Development Variance Permit

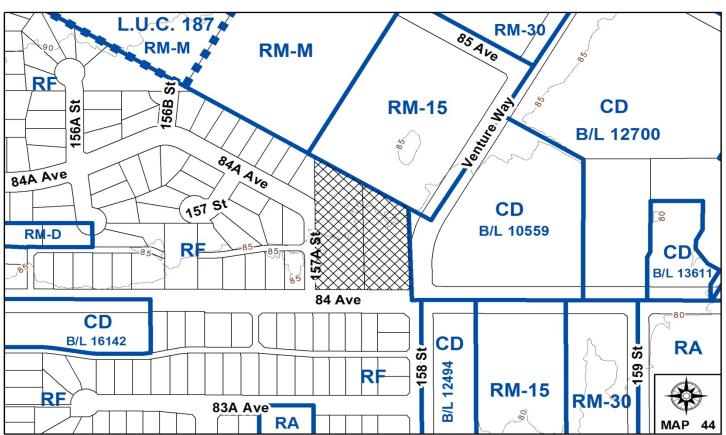
to permit the development of approximately 30 townhouse units.

LOCATION: 15747 and 15791 - 84 Avenue

OWNER: Penmat Mana JV Ltd.

ZONING: RF
OCP DESIGNATION: Urban

TCP DESIGNATION: Low Density Townhouses



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to reduce indoor amenity space.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

• Seeking to reduce the minimum required setbacks along all lot lines of the RM-15 Zone.

RATIONALE OF RECOMMENDATION

- Complies with the Low Density Townhouse designation in the Fleetwood Town Centre Plan.
- The proposed density and building form are appropriate for this part of Fleetwood.
- The proposed setback relaxations along the west lot line (157A Street), south lot line (84 Avenue), and east lot line (Venture Way) achieve a more urban, pedestrian streetscape in compliance with the Fleetwood Town Centre Plan, and are in keeping with what has been approved for similar townhouse developments in the Fleetwood Town Centre.
- The proposed setback relaxation along the north lot line (rear) is consistent with the approved 6.o-metre (20-ft.) setback for the existing townhouse development (Chestnut Grove) north of the subject site, and will still accommodate appropriate yard space and landscaping treatments.

RECOMMENDATION

The Planning & Development Department recommends that:

- 1. By-law be introduced to rezone the subject site from "Single Family Residential Zone (RF)" (By-law No. 12000) to "Multiple Residential 15 Zone (RM-15)" (By-law No. 12000), and a date be set for Public Hearing.
- 2. Council approve the applicant's request to reduce the amount of required indoor amenity space from 90 square metres (970 square feet) to 45 square metres (480 square feet).
- 3. Council authorize staff to draft Development Permit No. 7915-0125-00 generally in accordance with the attached drawings (Appendix II).
- 4. Council approve Development Variance Permit No. 7915-0125-00 (Appendix VI) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum west side yard setback of the RM-15 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and to 3.7 metres (12 ft.) to building columns and roof overhangs;
 - (b) to reduce the minimum front yard (south) setback of the RM-15 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and to 3.8 metres (12.5 ft.) to building columns and roof overhangs;
 - (c) to reduce the minimum east side yard setback of the RM-15 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and to 4.3 metres (14 ft.) to building columns and roof overhangs; and
 - (d) to reduce the minimum rear yard (north) setback of the RM-15 Zone from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) to the building face and to 5.3 metres (17 ft.) to building columns and roof overhangs.
- 5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (c) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (e) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and

(f) the applicant adequately address the impact of reduced indoor amenity space.

REFERRALS

Engineering: The Engineering Department has no objection to the

project subject to the completion of Engineering servicing

requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

6 Elementary students at Walnut Road Elementary School 3 Secondary students at Fleetwood Park Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for

occupancy by Spring/Summer 2017.

Parks, Recreation &

Culture:

No concerns.

Surrey Fire

Department:

No concerns.

SITE CHARACTERISTICS

<u>Existing Land Use:</u> The eastern lot is vacant but treed, while an unoccupied single family

dwelling is located on the western lot and will be demolished as part of the

subject development application.

Adjacent Area:

Direction	Existing Use	TCP Designation	Existing Zone
North:	Low density townhouse	Apartment and Medium	RM-15
	development.	Density Townhouses	

Direction	Existing Use	TCP Designation	Existing Zone
East (Across Venture	Low density	Low Density	CD (By-
Way):	townhouse	Townhouses	law No.
	development.		10559)
South (Across 84	Single family	Single	RF
Avenue):	dwellings.	Family	
		Urban	
West (Across 157A	Single family	Single	RF
Street):	dwellings.	Family	
		Urban	

DEVELOPMENT CONSIDERATIONS

Background

- The subject site, at 15747 and 15791 84 Avenue, is located in Fleetwood and is approximately 0.95 hectare (2.3 acres) in size. An unoccupied single family dwelling is located on the western subject property (15747 84 Avenue), and will be demolished. The eastern subject lot is vacant, but heavily treed (see Trees section).
- The subject site is designated "Urban" in the Official Community Plan (OCP), "Low Density Townhouses" in the Fleetwood Town Centre Plan (TCP), and is zoned "Single Family Residential Zone (RF)".
- The subject site is the only undeveloped site remaining in this area. Single family dwellings exist to the west across 157A Street and to the south across 84 Avenue, while low density townhouses (similar to the subject proposal) exist to the north and to east across Venture Way.
- The applicant originally proposed a 48-unit townhouse development on the subject site, which in addition to a rezoning, required a Neighbourhood Concept Plan (NCP) Amendment from "Low Density Townhouses" to "Medium Density Townhouses" (see Appendix VII for initial site plan). As a result of comments and concerns expressed by the neighbourhood (see Pre-Notification Section of this report), the applicant revised the proposal to comply with the "Low Density Townhouses" designation in the Fleetwood Town Centre Plan.

Current Proposal

- The applicant is proposing to rezone the subject site from "Single Family Residential Zone (RF)" to "Multiple Residential 15 Zone (RM-15)" in order to allow the development of thirty (30) townhouse units.
- The applicant also proposes a Development Variance Permit (DVP) to reduce the minimum building setbacks along all lot lines (see By-law Variance section).

• The net density for the proposed 30-unit townhouse development on the subject site is 37 units per hectare (15 units per acre) with a floor area ratio (FAR) of 0.60, which meet the maximum density of 37 units per hectare (15 units per acre) and the maximum FAR of 0.60 permitted in the RM-15 Zone. The proposed density is also consistent with the "Low Density Townhouses" designation in the Fleetwood Town Centre Plan.

- There is a triangular portion of land, approximately 200 square metres (2,150 sq.ft.) in size, abutting the north-east corner of the subject site. This triangular remnant is "hooked" to the townhouse property (8428 Venture Way) to the east.
- The applicant was encouraged to purchase this remnant parcel and to consolidate it with the subject site; however, the applicant advises that no agreement could be made, particularly given the challenge of obtaining signatures from all of the strata owners of the 54 townhouse units to the east at 8428 Venture Way.
- The applicant will continue to negotiate on the acquisition of this land. However, should the parties be unable to reach an agreement, the remnant parcel will remain under the ownership of the strata to the east at 8428 Venture Way (Summerwood) and remain in its current state (grass and trees). The applicant has agreed to construct the sidewalk along the frontage of this triangular portion of land as part of the subject development application, regardless of whether the acquisition is successful.

Road Requirements

- The applicant will dedicate approximately 5.0 metres (16 ft.) along the south lot line to facilitate the widening of 84 Avenue, which has an ultimate width of 30 metres (100 ft.).
- The applicant will also dedicate portions along the west and east lot lines in order to achieve a full 20-metre (65-ft.) wide road for 157A Street and a full 22-metre (72-ft.) wide road for Venture Way.
- Vehicle access to the subject site is via a driveway along the east lot line to Venture Way.

PRE-NOTIFICATION AND PUBLIC INFORMATION MEETING

Pre-notification letters were sent out to the neighbourhood on June 4, 2015, and staff received eight (8) telephone calls / e-mails from the surrounding neighbourhood regarding the original 48-unit townhouse project on the subject site (see Appendix VII). The original proposal included 48, two-storey townhouse units with a proposed density of 56 units per hectare (23 units per acre) and a floor area ratio (FAR) of 0.68, which exceed the maximum density of 37 units per hectare (15 upa) and the maximum FAR of 0.60 permitted in the RM-15 Zone (low density ground-oriented multiple unit development).

As result of the proposed NCP Amendment from "Low Density Townhouses" to "Medium Density Townhouses" and the negative response from the neighbourhood, the applicant agreed to hold a Public Information Meeting (PIM). Comments and concerns from the eight (8) telephone calls / e-mails were reiterated at the PIM, and have been noted in the following section.

Public Information Meeting

- The applicant held a Public Information Meeting (PIM) on Thursday, July 23, 2015 at Comfort Inn and Suites. A total of 45 individuals signed-in and attended the PIM, and a total of 38 comment sheets were submitted. A staff representative from the Area Planning Division was in attendance at the PIM.
- Two (2) additional letters of concern and two (2) e-mails were received from area residents following the PIM. The two (2) letters were received prior to any revisions to the site plan, while the two (2) e-mails were received after revisions were made to the site plan.
- All of the 38 comment sheets, including the eleven (11) telephone calls, e-mails and letters, were received / submitted by area residents who expressed concerns and their non-support for the 48-unit townhouse project. Below is a summary of the comments and concerns.

Community Concerns to Initial 48-unit Townhouse Proposal

- The neighbourhood's response at the Public Information Meeting was consistent with comments received in response to the pre-notification letters, and are summarized below.
- <u>Density</u>: The original proposal included 48 townhouse units with a proposed net density of 56 units per hectare (23 units per acre) and a floor area ratio (FAR) of 0.68, which exceed the maximum density of 37 units per hectare (15 upa) and the maximum FAR of 0.60 permitted in the RM-15 Zone. The RM-15 Zone is consistent with the "Low Density Townhouses" designation for the subject site, as shown in the Fleetwood Town Centre Plan.

Applicant's response:

The applicant acknowledged the concern expressed by the neigbourhood, and revised their site plan to reduce the number of proposed townhouse units from 48 to 30. As a result, the net density for the proposed 30-unit townhouse development on the subject site is 37 units per hectare (15 units per acre) with a floor area ratio (FAR) of 0.60, which meet the maximum density of 37 units per hectare (15 units per acre) and the maximum FAR of 0.60 permitted in the RM-15 Zone.

- The current proposal of 30 townhouse units complies with the "Low Density Townhouses" designation for the subject site, as shown in the Fleetwood Town Centre Plan
- <u>Building Height</u>: The site plan for the original 48-unit townhouse project showed three-storey buildings. Area residents expressed concerns that the building height of the proposed townhouse buildings was not compatible with the existing neighbourhood, particularly the existing two-storey townhouse developments directly to the north (Chestnut Grove) and to the east across Venture Way (Summerwood).

Applicant's response:

o The applicant has reduced the height of the proposed buildings from three (3) storeys to two (2) storeys to ensure the townhouse project is consistent with the existing townhouse developments in the neighbourhood.

Staff comments:

- The proposed building height for the current 30-unit townhouse project is 7.5 metres (25 ft.), which complies with the maximum permitted building height of the RM-15 Zone of 11 metres (36 ft.).
- o The proposed building height (7.5 metres / 25 ft.) of the townhouse buildings is less than the maximum permitted building height of 9.0 metres (30 ft.) for the existing single family (RF-zoned) lots to the west and south of the subject site.
- <u>Driveway Access, Traffic and Sidewalk</u>: The applicant originally proposed a driveway near the south-west corner of the subject site along 157A Street. Residents within the single family subdivision directly west of the subject site expressed concerns regarding this, stating that it would greatly increase the traffic within their block (84A Avenue between 156 Street and 157A Street).

Some residents expressed concerns about increased traffic and asked if the sidewalks along 84 Avenue would be constructed for pedestrians.

Applicant's response:

- The applicant relocated the proposed driveway from the south-west corner to the east side of the site, along Venture Way, ensuring that it is in compliance with City requirements and road design standards.
- The applicant is providing the required road dedication along 84 Avenue, 157A Street and Venture Way in order to widen the roads and provide sidewalks and boulevards.

- O An e-mail was received from an area resident (after the PIM and after the site plan was revised) expressing concerns regarding a driveway to Venture Way. The resident was concerned that a driveway along the east side of the site would add to the congestion at the 84 Avenue and Venture Way intersection and create an unsafe situation with ingress and egress to the site.
- O Transportation Engineering staff state that a driveway to Venture Way, as shown on the current site plan for the proposed 30-unit townhouse project, is supported. The location of the driveway is approximately 30 metres (100 ft.) north of the intersection, which exceeds the minimum acceptable distance of 25 metres (82 ft.) from an intersection to safely locate a driveway.

O A signal is to be installed at the 84 Avenue and Venture Way intersection, including the introduction of a southbound left-turn lane from Venture Way to 84 Avenue, to further address traffic and safety concerns at this location. The signalized intersection is expected to be completed and fully operational in Spring 2016, subject to coordination with BC Hydro to provide sufficient power at this location.

- The proposed 30-unit townhouse project is not expected to significantly increase the traffic in the neighbourhood.
- o Future expansion of rapid transit, like light rail transit, along Fraser Highway from City Centre to Langley will provide future residents with additional transit options in the area, and therefore, may help to alleviate some concerns regarding traffic congestion. A future rapid transit station may be located at Fraser Highway and 160 Street, which is approximately 550 metres (1/3 mile) from the subject site.
- As part of the current development application, the applicant has agreed to construct and extend the sidewalks along 84 Avenue, 157A Street and Venture Way of the subject site and the triangular portion of land that is "hooked" to the townhouse property (8428 Venture Way) to the east, to provide improved pedestrian connectivity.
- <u>Trees</u>: Some area residents expressed concerns about tree removal and if the developer would be required to replant trees that are to be removed.

Applicant's response:

- o The applicant's arborist noted that there are 105 trees on the site (including 26 alder and cottonwoods), with over three-quarters of the on-site trees in poor to marginal health. As a result, thirteen (13) trees are proposed for retention including four (4) Douglas Firs and nine (9) Western Red Cedars.
- o The proposed landscape plan includes the planting of 134 trees, including maples, firs, spruce, oak and beech.

- o Staff worked with the applicant to retain as many healthy, mature trees as possible on the subject site.
- O The initial site plan showed eleven (11) trees for retention, whereas the current site plan shows that 13 trees are to be retained. The trees for retention are located along the west lot line as well as in two (2) clusters along the north and east lot lines. The applicant adjusted the location of the townhouse units in proposed Building 10 in order to retain the trees along the north lot line.
- The number of replacement trees required, as a result of the number of on-site trees removed, is 166. The applicant is proposing to plant 134 trees on the subject site, and therefore, will be required to contribute to the Green City Fund, in accordance with the City's Tree Protection By-law (see the Trees section of this report).

• <u>Parking</u>: Some area residents expressed concerns regarding parking once the townhouse project is built.

Applicant's response:

The current site plan shows that all 30 townhouse units (100%) have side-by-side double car garages, and the proposed parking complies with the City's parking requirements for ground-oriented multiple unit residential buildings.

Staff comments:

- o The applicant proposes 60 residential parking stalls and 9 visitor parking stalls, which exceeds the minimum requirement of 60 residential parking stalls and 6 visitor parking stalls for the 30-unit townhouse project.
- The applicant proposes extended driveways to Units 1, 9 and 10, which will provide additional on-site parking for these units. The additional parking for Units 1, 9 and 10 are not included in the parking totals of 60 residential and 9 visitor stalls.
- On-site Private and Off-site Public Amenity Spaces: Some area residents expressed concerns about the location of the on-site amenity building, shown at the north-west corner of the site under the original 48-unit townhouse project. The noise from the future residents utilizing the amenity space may negatively impact existing residents in the area.

Concerns were also expressed regarding the initial proposal to create a public amenity space on the triangular remnant parcel, abutting the north-east corner of the subject site. Some residents were concerned that transients would congregate in the space.

Applicant's response:

- The on-site amenity building has been relocated from the north-west corner of the site to a more central location near the site entry driveway along Venture Way.
- The applicant will continue to negotiate with the 8428 Venture Way strata (Summerwood) to assemble the remnant triangle and consolidate it with the subject site.

- The relocation of the amenity building is supported by staff since it is in a more central location, away from neighbouring properties and also acts as main entry feature to the site.
- City staff will help facilitate discussions between the applicant and representatives of the 8428 Venture Way strata in hopes that an agreement for acquisition and assembly with the subject site can be reached prior to final approval of the project.
- <u>Water Run-Off</u>: A resident expressed concerns about drainage and water run-off from the proposed townhouse project.

Applicant's response:

The applicant noted that proper storm water management will be administered on the subject site to ensure that drainage and run-off does not negatively impact the neighbouring properties.

Staff comments:

- The subject site gently slopes downward from north to south, and therefore, the only abutting property, which is to the north, will not be negatively impacted by storm water run-off.
- On-site storm water management is required to control and maintain current run-off flows, and will be addressed by Engineering.

Summary of the Revisions to the Initial Proposal

 As a result of the comments and concerns that were expressed at the Public Information Meeting (PIM), the applicant revised their initial proposal (see Appendix VII). The table below summarizes all of the changes that were discussed in the Pre-Notification Section of this report:

	Original Proposal (48 townhouse units)	Current Proposal (30 townhouse units)
Density	56 units per hectare (23 units per acre) and a floor area ratio (FAR) of 0.68	37 units per hectare (15 units per acre) and an FAR of 0.60 (complies with the RM-15 Zone)
Building	Three-storeys, up to 13	Two-storeys, up to 7.5 metres (25
Height	metres (43 ft.) high	ft.). The RM-15 Zone allows up to 11 metres (36 ft.)
Driveway Location	Near the south-west corner of the subject site along 157A Street	At the east end of the subject site along Venture Way. A signal will be installed at the 84 Avenue and Venture Way intersection. The signalized intersection is expected to be completed and fully operational in Spring 2016, subject to coordination with BC Hydro to provide sufficient power at this location.
Indoor Amenity Building	At the north-west corner of the site	A more central location near the site entry driveway to Venture Way.
Location	Floren (12) mature trees	Thirtoon (12) mature trees proposed
Trees	Eleven (11) mature trees proposed for retention	Thirteen (13) mature trees proposed for retention
Unit	23 tandem garages and 25	All 30 units have side-by-side
Garages	side-by-side garages	garages

DESIGN PROPOSAL AND REVIEW

• The proposed 30-unit townhouse project consists of seven (7), two-storey buildings with garages accessed internally at grade. All thirty (30) proposed townhouses provide double car, side-by-side garages.

- The proposed building materials include hardie siding and shingles painted beige, brown and dark grey. Wood fascia and trims are painted of lighter brown and gray tones, as well as black, to match the primary colour scheme, while additional building accents will maintain a stained wood finish.
- The proposed unit doors will match the stained wood finish of the building accents. Main front entrance doors and rear doors adjacent to the garages are proposed.
- The applicant proposes black asphalt shingle roofs with gables and hip roofs to provide improved building articulation.
- The proposal will include three (3) electrical rooms adjacent to Units 5, 15 and 21. Three (3) pad-mounted transformer (PMT) boxes are also proposed west of visitor parking stall #7, east of Unit 15 and south of the indoor amenity building. The PMTs will be screened by landscaping.
- The location of the community mail kiosk has yet to be determined, but will likely be adjacent to the proposed amenity building or near the outdoor amenity space near the east end of the site.

Vehicle Access and Parking

- A single vehicle access is proposed to the subject site via Venture Way.
- The proposed townhouse development includes a total of 60 parking spaces in 30 double car, side-by-side garages. Nine (9) visitor parking spaces are proposed, which exceeds the parking requirements of the Surrey Zoning By-law. All visitor parking spaces will be delineated by permeable pavers.
- The applicant proposes extended driveways to Units 1, 9 and 10, which will provide additional on-site parking. The additional parking for Units 1, 9 and 10 are not included in the parking totals of 60 residential and 9 visitor stalls.

On-site Amenity Spaces

- The RM-15 Zone requires that 90 square metres (970 sq. ft.) of indoor amenity space and 90 square metres (970 sq. ft.) of outdoor amenity space be provided (3.0 sq.m. / 32 sq.ft. of each amenity per dwelling unit) for the proposed 30-unit townhouse project.
- The applicant proposes 158 square metres (1,700 sq.ft.) of outdoor amenity space, which exceeds the minimum 90 square metres (970 sq. ft.) required under the RM-15 Zone. There are two (2) outdoor amenity spaces proposed one (1) near the west end of the site along 157A Street and one (1) near the site entrance along Venture Way.

• The westerly outdoor amenity space includes a checker board pattern paved area for outdoor games and children's play, as well as benches.

- The easterly outdoor amenity space includes a grassed area, nature play area and benches and decorative boulders and logs. Two (2) mature Douglas Fir trees and two (2) mature Western Red Cedar trees have been incorporated into the design of the easterly outdoor amenity space, and will provide shade and privacy.
- The applicant proposes a single-storey amenity building approximately 45 square metres (480 square feet) in size, directly east of Unit 14 in proposed Building 3. The proposed amenity building will include space for a great room, a small kitchen area, and two (2) restrooms.
- The proposed 45-square metre (480-square feet) amenity building does not meet the minimum 90 square metres (970 sq. ft.) of indoor amenity space required under the RM-15 Zone. The applicant will provide a monetary contribution of \$18,160 (based on \$1,200 per unit of the indoor amenity space required) in accordance with City policy to address this shortfall.
- The applicant has provided the following reasons for the reduction in the indoor amenity building size:
 - o The subject site is within close proximity to the Fleetwood Community Centre and Fleetwood Library, which offers quality services and amenity space; and
 - o The 45-square metre (480-square feet) proposed indoor amenity building will provide a functional gathering space for the future residents of the 30 townhouse units.

TREES

 Nick McMahon, ISA Certified Arborist of ACL Group prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain	
Alder and Cottonwood Trees				
Alder	13	13	0	
Cottonwood	13	13	0	
Deciduous Trees (excluding Alder and Cottonwood Trees)				
Bigleaf maple	13	13	0	
Cherry	1	1	0	
Coniferous Trees				
Douglas Fir	21	17	4	
Western Hemlock	41	32	9	
Western Red Cedar	3	3	0	

Tree Species	Existing	5	Remove	Retain
Total (excluding Alder and Cottonwood Trees)	105		92	13
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		134		
Total Retained and Replacement Trees			147	
Contribution to the Green City Fund			\$9,600	

- The Arborist Assessment states that there are a total of 79 mature trees on the site, excluding Alder and Cottonwood trees. Twenty-six (26) existing trees, approximately 25% of the total trees on the site, are Alder and Cottonwood trees. It was determined that thirteen (13) trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication, proposed lot grading and tree health.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 166 replacement trees on the site. Since only 134 replacement trees can be accommodated on the site, the deficit of thirty (32) replacement trees will require a cash-in-lieu payment of \$9,600, representing \$300 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.

Landscaping

- The landscape plan shows a total of 134 trees to be planted throughout the subject site including maples, firs, spruce, oak and beech.
- A significant number of shrubs and ground cover species are proposed throughout the subject site, including holly, lavender, bamboo, rhododendrens, yews, laurels, roses and decorative grasses.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on April 28, 2015. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	• The site is located within the Fleetwood Town Centre Plan (TCP) area, and the project is consistent with the TCP.

Sustainability Criteria	Sustainable Development Features Summary
2. Density & Diversity (B1-B7)	 The proposed development will increase the density in the area and promote a more urban, pedestrian-friendly streetscape. The project will diversify the housing stock and provide additional options for future home buyers in this area.
3. Ecology & Stewardshi p (C1-C4)	The proposed development includes absorbent soils and on- site storm water management.
4. Sustainable Transport & Mobility (D1-D2)	• Frequent transit service runs along 84 Avenue and Fraser Highway (north of the subject site), with transit stops located within walking distance from the subject site.
5. Accessi bility & Safety (E1-E3)	• The proposed building incorporates CPTED principles including: well-lit entries/exits, passive surveillance on the street, and good on-site pedestrian linkages and lighting.
6. Green Certificatio n (F1)	No green rating or certification is proposed.
7. Education & Awareness (G1-G4)	Pre-notification letters were mailed to area residents and a development proposal sign was installed on subject site. A public information meeting was also held.

BY-LAW VARIANCES AND JUSTIFICATION

(a) Requested Variances:

- To reduce the minimum west side yard setback of the RM-15 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and to 3.7 metres (12 ft.) to building columns and roof overhangs;
- To reduce the minimum front yard (south) setback of the RM-15 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and to 3.8 metres (12.5 ft.) to building columns and roof overhangs;
- To reduce the minimum east side yard setback of the RM-15 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and to 4.3 metres (14 ft.) to building columns and roof overhangs; and

To reduce the minimum rear yard (north) setback of the RM-15 Zone from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) to the building face and to 5.3 metres (17 ft.) to building columns and roof overhangs.

Applicant's Reasons:

- The proposed setbacks along 157A Street, 84 Avenue and Venture Way create an urban pedestrian streetscape and will enhance natural surveillance over public and private spaces.
- The building columns and roof overhangs form an integral part of the overall design and articulation of the buildings.

- The RM-15 Zone requires that buildings and structures be sited a minimum of 7.5 metres (25 ft.) from all property lines.
- The reduced setbacks of 4.5 metres (15 ft.) along the front (south) property line for the front yards of the proposed townhouse units will create an appropriate urban, pedestrian-friendly streetscape along 84 Avenue.
- The proposed west side yard setback of 4.5 metres (15 ft.) is a side yard condition to proposed Buildings 2, 3, 4 and 5, but will still provide adequate space for an internal walkway that runs along the west lot line and for the planting of landscaping.
- The reduced setbacks along the east property line of 4.5 metres (15 ft.) are also a side yard condition. The reduced setbacks are to proposed Buildings 1 and 7.
- The reduced setback along the rear (north) property line is 6.0 metres (20 ft.) to proposed Buildings 5 and 7, which is consistent with the 6.0-metre setback along the south property line of the existing townhouse development to the north (Chestnut Grove).
- Proposed Building 6 along the north property line is set back further, at 7.5 metres (25 ft.), in order to retain several mature trees.
- The reduced rear yard (north) setback (6 metres / 20 ft.) to Buildings 5 and 7 is not expected to impact the adjacent townhouse development to the north at 15868 85 Avenue (Chestnut Grove), as the two (2) sites are screened by existing trees and landscaping on the Chestnut Grove site. The proposed and existing building heights on both sites are similar, and therefore, the privacy of the existing townhouse residents to the north is not expected to be negatively impacted.
- The further encroaching column and rood overhangs facilitate covered patio areas and porches at the ground floor level, and therefore, do not impact privacy.
- The reduced setbacks along all property lines are in keeping with what have been approved for similar townhouse developments in the Fleetwood Town Centre.

• Staff support the requested variances.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Lot Owners, Action Summary and Project Data Sheets

Appendix II. Site Plan, Building Elevations, Landscape Plans and Perspective

Appendix III. Engineering Summary
Appendix IV. School District Comments

Appendix V. Summary of Tree Survey and Tree Preservation Appendix VI. Development Variance Permit No. 7915-0125-00

Appendix VII. Initial Proposed Site Plan

original signed by Judith Robertson

Jean Lamontagne General Manager Planning and Development

DN/dk

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Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. Agent: Name: Colin Hogan

Focus Architecture Inc.

Address: Unit 109, 1528 - McCallum Road

Abbotsford, BC V2S 8A3

Tel: 604-853-5222

2. Properties involved in the Application

(a) Civic Addresses: 15747 – 84 Avenue

15791 - 84 Avenue

(b) Civic Address: 15747 84 Ave

Owner: Penmat Mana JV Ltd.

PID: 008-510-253

Lot 63 Section 26 Township 2 New Westminster District Plan 38471

(c) Civic Address: 15791 84 Ave

Owner: Penmat Mana JV Ltd.

PID: 008-510-288

Lot 64 Section 26 Township 2 New Westminster District Plan 38471

- 3. Summary of Actions for City Clerk's Office
 - (a) Introduce a By-law to rezone the property.
 - (b) Proceed with Public Notification for Development Variance Permit No. 7915-0125-00 and bring the Development Variance Permit forward for an indication of support by Council. If supported, the Development Variance Permit will be brought forward for issuance and execution by the Mayor and City Clerk in conjunction with the final adoption of the associated Rezoning By-law.

DEVELOPMENT DATA SHEET

Proposed Zoning: RM-15

Required Development Data	Min. Required / Max. Allowed	Proposed
LOT AREA		
Gross Total		9,460 square metres
Road Widening area		1,307 square metres
Net Total		8,153 square metres
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	41%
Paved & Hard Surfaced Areas		15%
Total Site Coverage		56%
SETBACKS		
Front (south)	7.5 metres	4.5 metres (15 ft.) to the building face and to 3.8 metres (12.5 ft.) to building columns and roof overhangs*
Rear (north)	7.5 metres	6.0 metres (20 ft.) to the building face and to 5.3 metres (17 ft.) to building columns and roof overhangs*
Side #1 (west)	7.5 metres	4.5 metres (15 ft.) to the building face and to 3.7 metres (12 ft.) to building columns and roof overhangs*
Side #2 (east)	7.5 metres	4.5 metres (15 ft.) to the building face and to 4.3 metres (14 ft.) to building columns and roof overhangs*
BUILDING HEIGHT		
Principal	11 metres	7.5 metres
Accessory	4.5 metres	N/A
Indoor amenity building	11 metres	4.0 metres
NUMBER OF RESIDENTIAL UNITS		
Three Bedroom +		30
Total	30	30
FLOOR AREA: Residential		
FLOOR AREA: Commercial		N/A
Retail Total		
FLOOR AREA: Industrial		N/A
FLOOR AREA: Institutional		N/A
TOTAL BUILDING FLOOR AREA	4,891 square metres	4,870 square metres

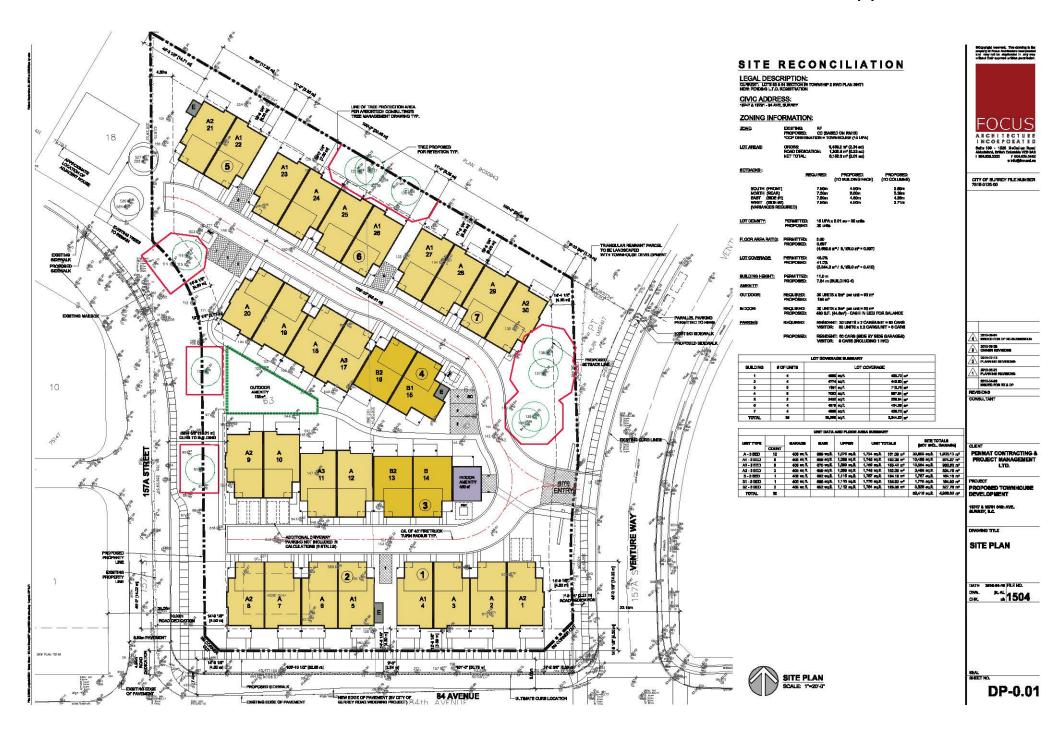
^{*} Variance requested

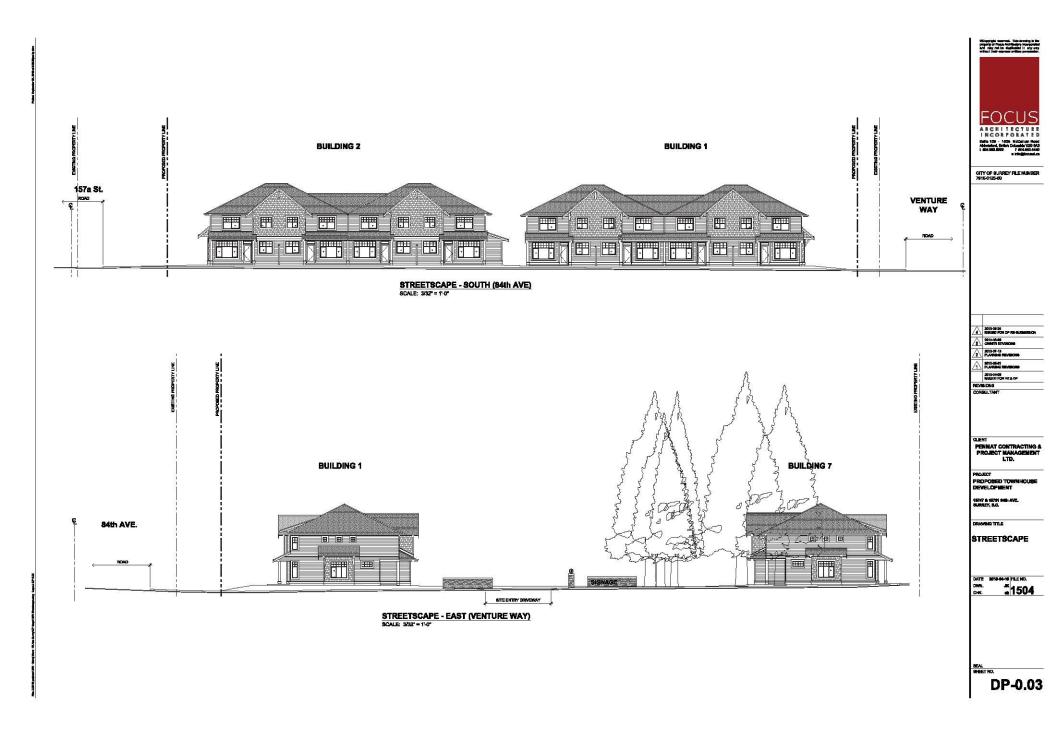
Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (net)	37 UPH / 15 UPA	37 UPH / 15 UPA
FAR (net)	0.60	0.60
AMENITY SPACE (area in square metres)		
Indoor	90 square metres	45 square metres
Outdoor	90 square metres	158 square metres
PARKING (number of stalls)		
Commercial		N/A
Industrial		N/A
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed	60	60
Residential Visitors	6	9
Institutional		N/A
Total Number of Parking Spaces	66	69
Number of disabled stalls	0	1
Number of small cars		0
Tandem Parking Spaces: Number / % of Total Number of Units		0
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	NO	Tree Survey/Assessment Provided	YES

Appendix II







STREETSCAPE - SOUTH (84th AVE)



STREETSCAPE - EAST (VENTURE WAY) SCALE N.T.S.



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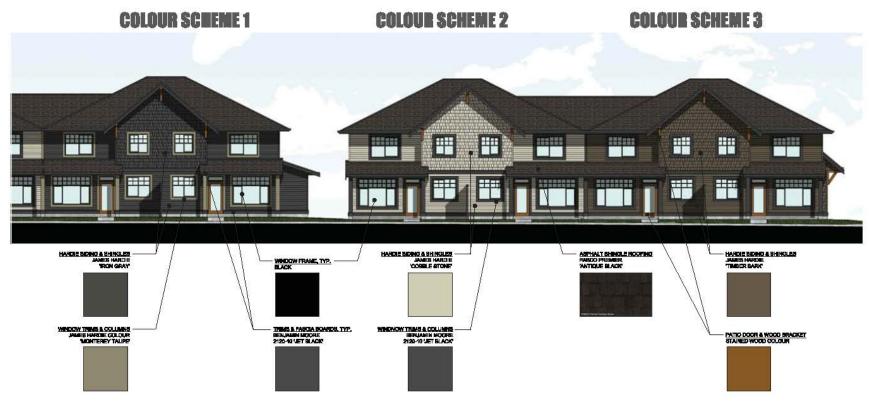
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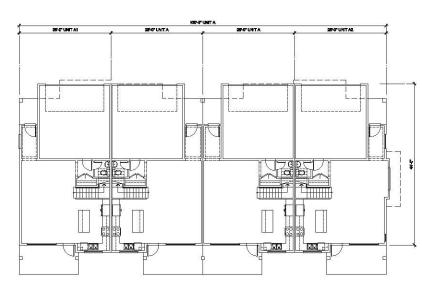
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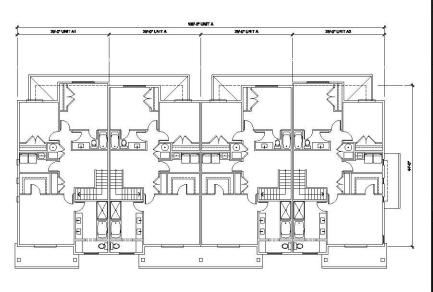
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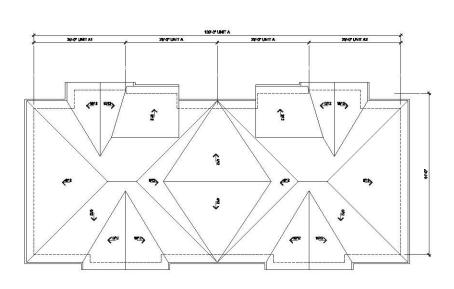
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MAIN FLOOR PLAN SCALE: 1/8"=1"-0"



SECOND FLOOR PLAN SCALE: 1/6"=1"40"



ROOF PLAN BCALE: 1/8"=1'-0" FOCUS
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IN CORPORATE

CITY OF BURREY FILE NUMBER 7916-0125-00

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NORTH ELEVATION SCALE: 1/8"=1"-0"

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(2) PREFINISHED ALUMNUM GUTER

(1) PAINTED WOOD FASCIA AND TRIME

(E) CEMENT BOARD SHINGLE BIDING PANTED HZE HARDIE PANEL SIDING (7) VMYL FRAME WINDOW (5) VMYL FRAME SLIDING PATIO DOOR PAINTED GARAGE DOOR

(II) (BEE LANDSCAPE DWGS.)

(1) EXPOSED CONCRETE WALL

Observable reserved. This drowing is the property of Posses included in the property of the dephasis of in any extra without that expenses without their expenses are the presentation. FOCUS ARCHITECTURE INCORPORATED

CITY OF BURREY FILE NUMBER 7816-0125-00

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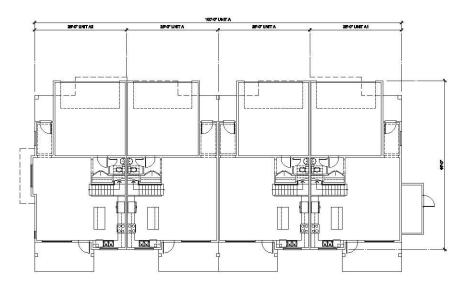
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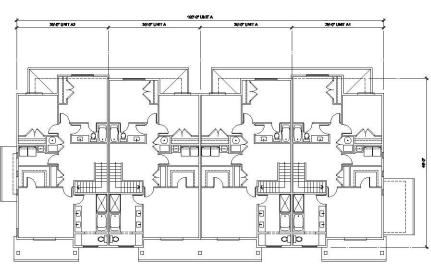
BUILDING 1 ELEVATIONS

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SECOND FLOOR PLAN SCALE: 1/8"=1'-0"

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PROPOSED TOWNHOUSE DEVELOPMENT

18747 & 16791 84th AVE. BURGLEY, B.C.

BUILDING 2 PLANS

DATE MIN-MAN PLEND. 1504

DP-2.01

ROOF PLAN 8CALE: 1/8"-1'-0"

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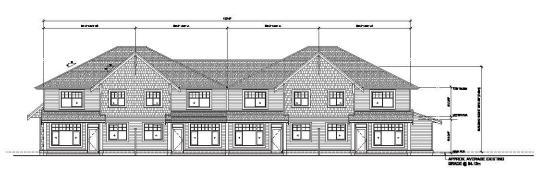
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29-0" UNIT A2

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SOUTH ELEVATION SCALE: 1/8"=1'-0"





NORTH ELEVATION SCALE: 1/87=1'-0"

ELEVATION WATERWALS LEGIEND

- ASPHALT SHINGLE ROOFING (2) PREFINISHED ALUMINUM GUTER
- (1) PAINTED WOOD FASCIA AND TRIME
- (E) CEMENT BOARD SHINGLE BIDING PANTED HZE HARDIE PANEL SIDING
- (7) VMYL FRAME WINDOW (5) VMYL FRAME SLIDING PATIO DOOR
- PAINTED GARAGE DOOR
- (II) (BEE LANDSCAPE DWGS.)
- (1) EXPOSED CONCRETE WALL

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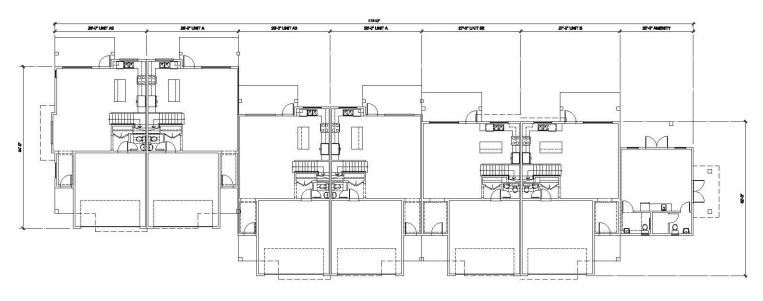
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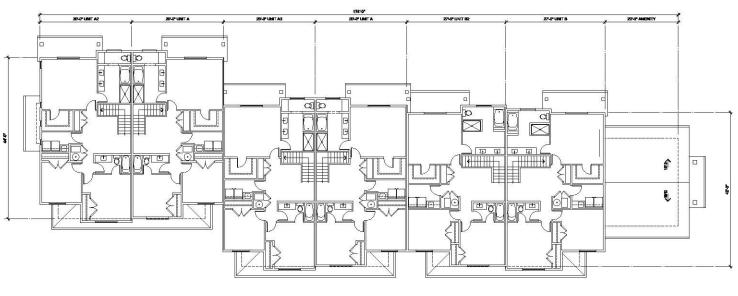
BUILDING 2 ELEVATIONS

DATE 2818-04-16 PLE NO. 1504

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MAIN FLOOR PLAN SCALE: 1/87=1'-0"



SECOND FLOOR PLAN 8CALE: 1/8"-1"-0"



CITY OF BURREY FILE NUMBER 7816-0125-00

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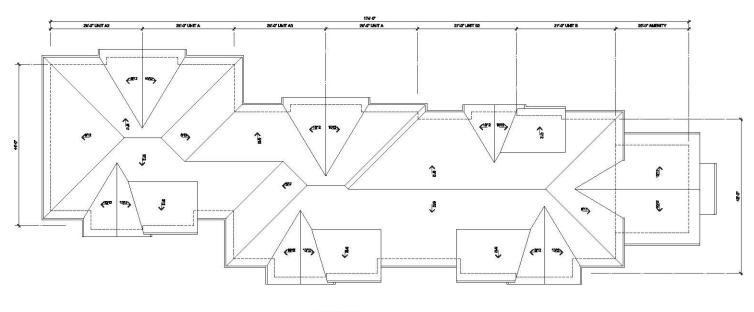
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BUILDING 3 PLANS

DATE #10-04-10 PLE NO.

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ROOF PLAN



CITY OF BURREY FILE NUMBER 7916-0125-00

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PROJECT PROPOSED TOWNHOUSE DEVELOPMENT

18747 & 16791 SASH AVE. BURRIEY, B.C.

DRAWING TITLE

BUILDING 3 PLANS

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NORTH ELEVATION SCALE: 1/8"=1'40"

ELEVATION MATERIALS LEGEND

ASPHALT SHINGLE ROOFING
 PREFINISHED ALUMINUM GUTER

(2) PREFINISHED ALUMINUM GUTER (3) PAINTED WOOD FASCIA AND TRIME

(*) HORIZONTAL CEMENT BOARD BIDING (*) CEMENT BOARD SHINGLE BIDING (*) PAINTED HZE HARIZIE PANEL BIDING W TRING (*) COLLIANS

FIND (7) VINYY, FRAME WINDOW

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AND TRIMS (9) PAINTED GARAGE DOOR
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CITY OF BURREY FILE NUMBER 7816-0125-00

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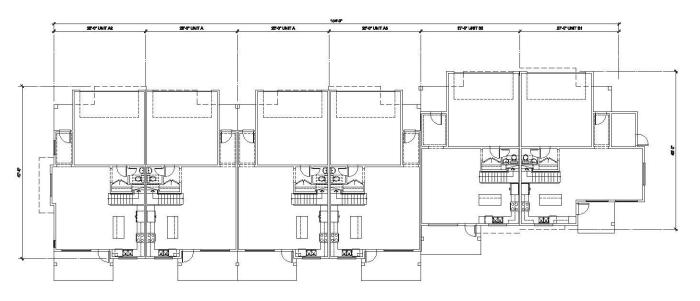
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PROPOSED TOWNHOUSE DEVELOPMENT

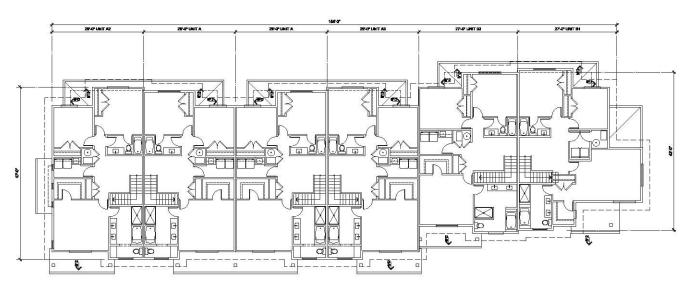
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BUILDING 3 ELEVATIONS

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MAIN FLOOR PLAN



SECOND FLOOR PLAN BCALE: 1/8'=1'-0"

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CITY OF BURREY FILE NUMBER 7816-0125-00

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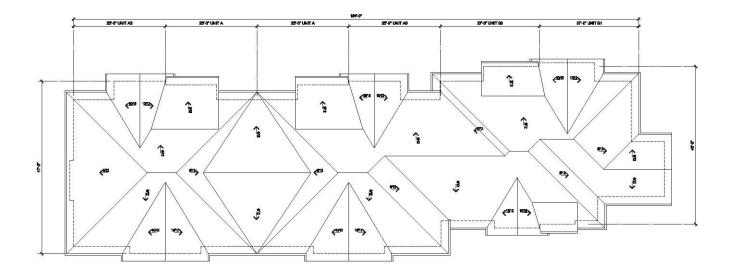
PROPOSED TOWNHOUSE DEVELOPMENT

18747 & 16791 84th AVE. BURGLEY, B.C.

BUILDING 4 PLANS

DATE 2818-04-16 PLE NO. 1504

DP-4.01



ROOF PLAN SCALE: 1/8"=1"-0"



CITY OF BURREY FILE NUMBER 7916-0125-00

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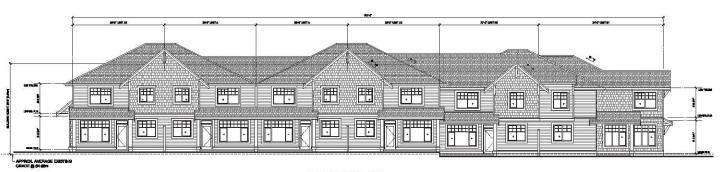
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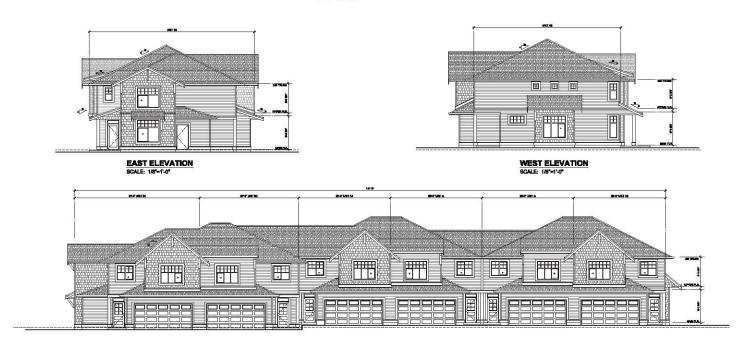
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SOUTH ELEVATION SCALE: 1/8"=1'-0"



NORTH ELEVATION SCALE: 1/8"=1'40"

ELEVATION MATERIALS LEGEND

 ASPHALT SHINGLE ROOFING (2) PREFINISHED ALUMINUM GUTER

(1) PAINTED WOOD FASCIA AND TRIME

(E) CEMENT BOARD SHINGLE BIDING PANTED HZE HARDIE PANEL SIDING (7) VINYL FRAME WINDOW (6) VINYL FRAME SLIDING PATIO DOOR PAINTED GARAGE DOOR

(II) (BEE LANDSCAPE DWGS.) (U) EXPOSED CONCRETE WAL

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CITY OF BURREY FILE NUMBER 7816-0125-00

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PROPOSED TOWNHOUSE DEVELOPMENT

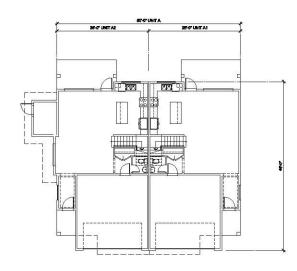
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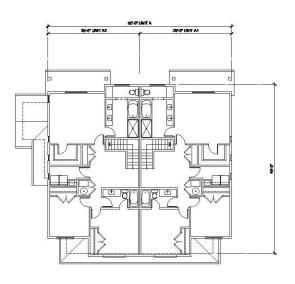
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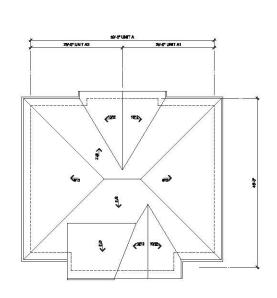
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MAIN FLOOR PLAN SCALE: 1/87-11-07





ROOF PLAN 8CALE: 1/8"-1'-0"

SECOND FLOOR PLAN SCALE: 1/8"=1'-0"



CITY OF BURREY FILE NUMBER 7915-0125-00

SOIS-GARI PLANNING REVENCES 2015-04-08 RESUED FOR FEE & DP

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PROPOSED TOWNHOUSE DEVELOPMENT

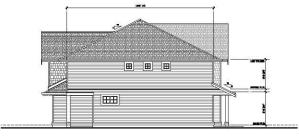
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BUILDING 5 PLANS

DATE MIN-M-HI PILEND. 1504

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NORTH ELEVATION SCALE: 1/8'=1'-0"



EAST ELEVATION SCALE: 1/8"=1'-0"



WEST ELEVATION SCALE: 1/8"=1'-0"



SOUTH ELEVATION SCALE: 1/8"=1"40"

ELEVATION WATERIALS LEGEND

- ASPHALT SHINGLE ROOFING
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- (1) PAINTED WOOD FASCIA AND TRIME
- (E) CEMENT BOARD SHINGLE MONG
- PAINTED HZE HARDIE PANEL SIDING

7) VMYL FRAME WINDOW 5) VMYL FRAME SLEENIG PATIO DOOR PAINTED GARAGE DOOR

(II) (BEE LANDSCAPE DWGS.) (1) EXPOSED CONCRETE WALL DP-5.02

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CITY OF BURREY FILE NUMBER 7816-0125-00

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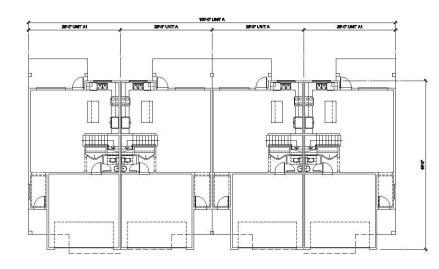
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PROPOSED TOWNHOUSE DEVELOPMENT

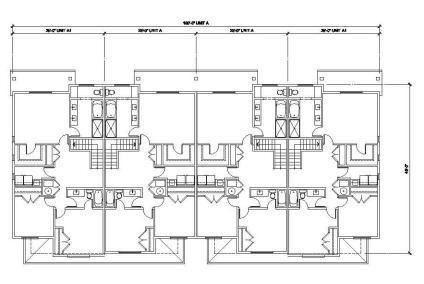
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BUILDING 5 ELEVATIONS

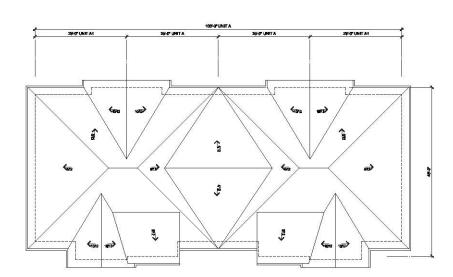
DATE 2818-04-16 PLE NO. 1504



MAIN FLOOR PLAN SCALE 1/8"-1"4"



SECOND FLOOR PLAN SCALE 189-1140*



SECOND FLOOR PLAN SCALE: 1/8"=1'-0" Charged morns. The desire is the profit of roles and the desire of the profit of the desire of the d

CITY OF BURREY FILE NUMBER 7916-0125-00

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LTD.

PROJECT PROPOSED TOWNHOUSE DEVELOPMENT

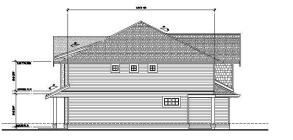
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BUILDING 6 PLANS

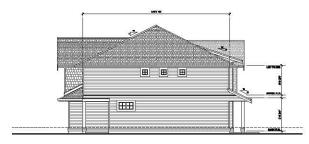
EAL HEET NO.

DP-6.01

NORTH ELEVATION SCALE: 1/8"=1"-0"







EAST ELEVATION SCALE: 1/8"=1'-0"



SOUTH ELEVATION SCALE: 1/8"=1"0"

ELEVATION MATERIALS LEGEND

ASPHALT SHINGLE ROOFING
 PREFINISHED ALLMINUM GUTER.

PREFINISHED ALUMINUM GUTER

PAINTED WOOD FASCIA AND TRIME

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(E) CEMENT BOARD SHINGLE BIDING (E) PAINTED HZE HANDLE PANEL BIDING WYTRIMS (E) COLLINGE VINYL FRAME WINDOW
 NINYL FRAME SLEDING PATIO DOOR
 PAINTED GARAGE DOOR

(W) EXTERIOR DOOR (II) (REE LANDSCAPE DWGS.)

(8 EDPOSED CONCRETE WALL

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CITY OF BURREY FILE NUMBER 7816-0125-00

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PROJECT MANAGEMENT
LTD.

PROJECT PROPOSED TOWNHOUSE DEVELOPMENT

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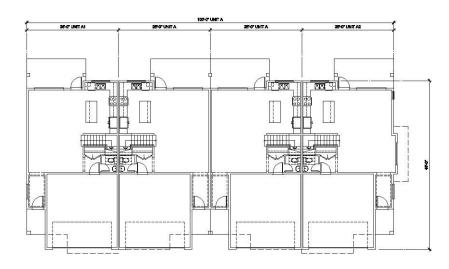
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BUILDING 6 ELEVATIONS

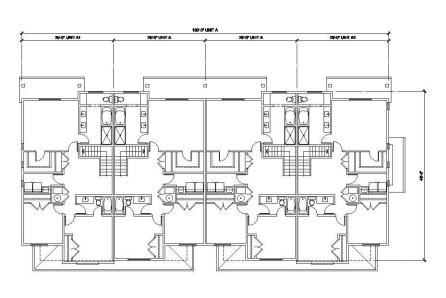
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DP-6.02



MAIN FLOOR PLAN SCALE: 1/8"=1'-0"



ROOF PLAN SCALE: 1/6"-1'-0"

100'-0" UNIT A

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ZP40" UNIT A2

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SECOND FLOOR PLAN SCALE: 1/8"=1"-0" FOCUS
ARCHITECTURE
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CITY OF BURREY FILE NUMBER 7816-0125-00

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2 COMPONENT PERSONS

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2015-04-01 PLANDAGE REVISIONS 2015-04-02 RESULED FOR REVA DP

PREVISIONS CONSULTANT

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PENNAT CONTRACTING &
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LTD.

PROJECT
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1877 & 18791 645 AVE.
SURLEY, S.C.

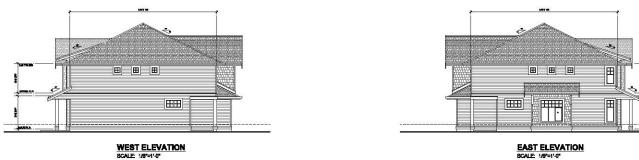
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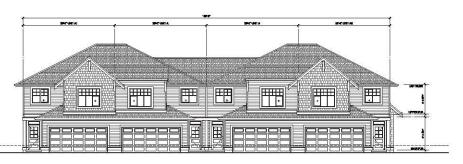
BUILDING 7 PLANS

SEAL SHEET NO.

DP-7.01

NORTH ELEVATION SCALE: 1/8'=1'-0"





SOUTH ELEVATION SCALE: 1/8"=1"40"

ELEVATION MATERIALS LEGEND

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(1) PAINTED WOOD FASCIA AND TRIME

(E) CEMENT BOARD SHINGLE BIDING PANTED HZE HARDIE PANEL SIDING

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CITY OF BURREY FILE NUMBER 7816-0125-00

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PROPOSED TOWNHOUSE DEVELOPMENT

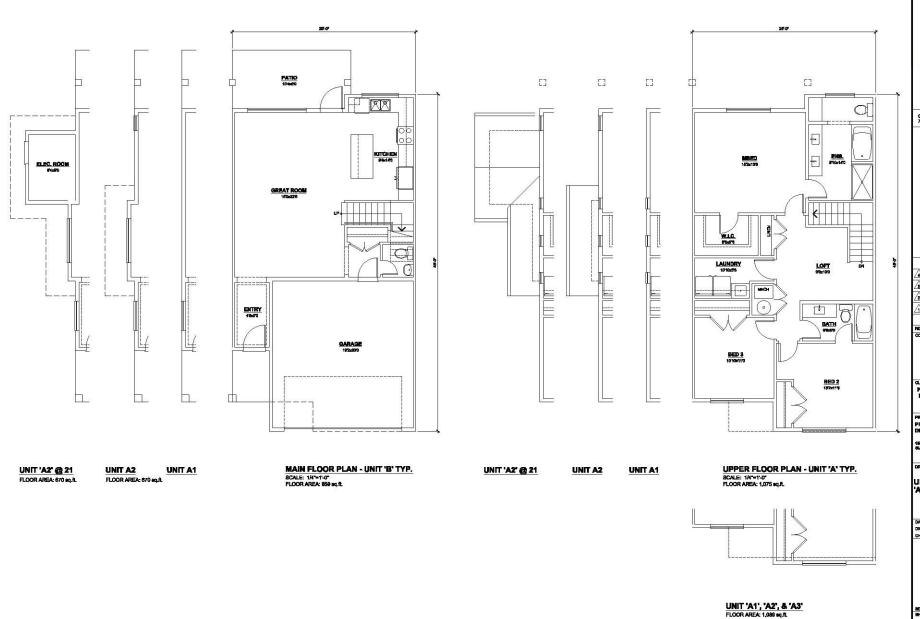
REVISIONS CONSULTANT

19747 & 16791 848: AVE. SURREY, B.C.

BUILDING 7 ELEVATIONS

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CITY OF BURREY FILE NUMBER 7816-0125-00

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2 2015-07-13 PLANDON REVISIONS PLANDON REVISIONS PLANDON REVISIONS

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PROJECT PROPOSIED TOWNHOUSE DEVELOPMENT

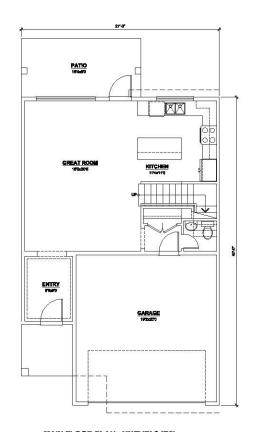
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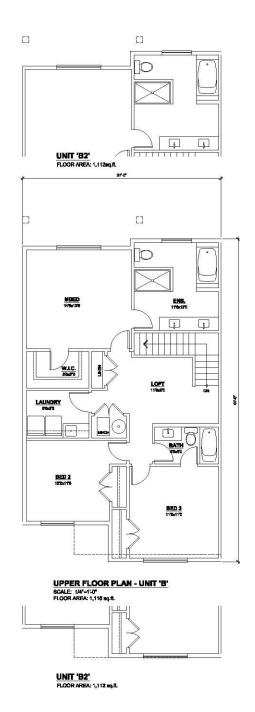
UNIT PLANS 'A', 'A1', & 'A2'

DATE #14-44-FLE NO.

DP-8.01



MAIN FLOOR PLAN - UNIT 'B' & 'B2' 8CALE: 14"="1-0" FLOOR AREA: 682 aq.ft.





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PROJECT
PROPOSED TOWNHOUSE
DEVELOPMENT

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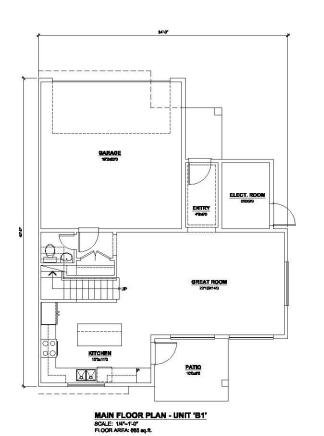
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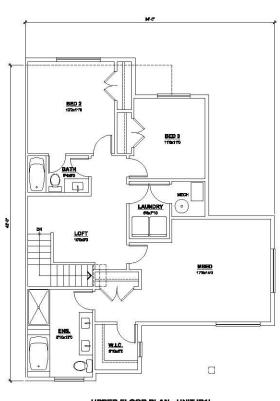
UNIT PLANS 'B' & 'B2'

DATE MINISTERNO.

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DP-8.02







UPPER FLOOR PLAN - UNIT 'B1' SCALE: 14'-1'0" FLOOR AREA: 1,110 sq.fl. MAIN FLOOR PLAN - AMENITY 8CALE: 14"-1"-0" FLOOR AREA: 480 sq.ft. FOCUS
ARGIITECTURE
INCOME

CITY OF BURREY FILE NUMBER 7916-0125-00

2015-06-34.

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PROPOSED TOWNHOUSE
DEVICLOPMENT

19747 & 96791 04th AVE. SURREY, S.C.

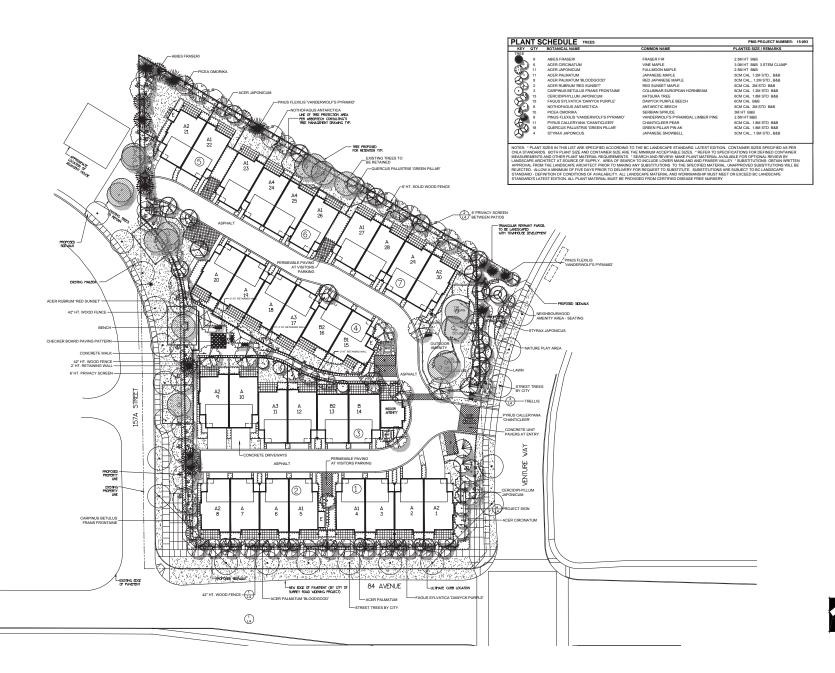
IRAUMNO TITLE

UNIT PLANS 'B1' & 'AMENITY'

DATE MINISTER PLEND.

SEAL PARTY NO

DP-8.03



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SEAL:

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15.JUL.13	NEW SITE PLAN	CL
DATE	REVISION DESCRIPTION	DI

CHENT

PROJECT:

RESIDENTIAL DEV.

15747-84TH AVE. SURREY

DRAWING TITLE:

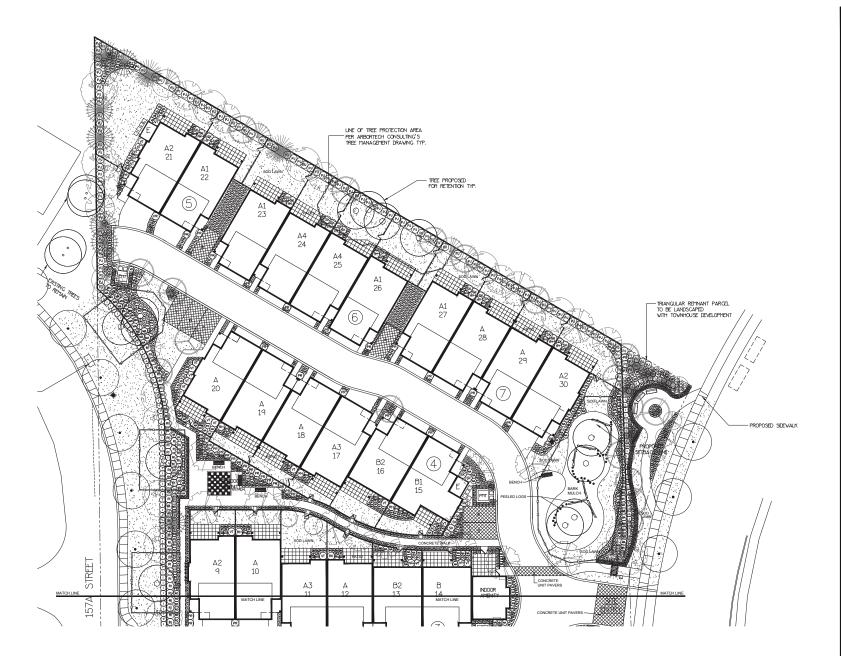
LANDSCAPE PLAN

3 1	

DATE: 15.JUL.13 SCALE: DRAWN: CLG DESIGN: CLG CHKD: MCY

15-093

15093-4.ZIP PMG PROJECT NUMBER:



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LANDSCAPE ARCHITECTS
SUID CAUGE AND A 188 SNIII CAUGE PRIME

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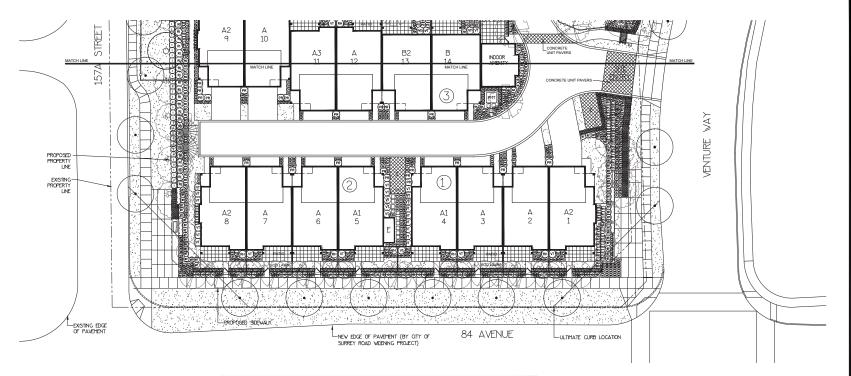
RESIDENTIAL DEV.

15747-84TH AVE. SURREY

DRAWING TITL

LANDSCAPE SHRUB PLAN

DATE: 15.JUL13 DRAWING NUMBER:
SCALE: 1/16"=1".0"
DRAWN: CIG
DRSWGN: MM
CHKC): MCY OF 4



PLANT SCHEDULE PMG PROJECT NUMBER: 15-093								
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS				
SHRUB								
∠BT)	47	BERBERIS THUNBERGII 'MONOMB' PBRAF	CHERRY BOMB BARBERRY	#3 POT 40CM				
60	82	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#2 POT 25CM				
(CA)	10	HYDRANGEA SERRATA 'BLUEBIRD'	MOUNTAIN HYDRANGEA LACECAP BLUE	#3 POT 40CM				
(4)	126	ILEX CRENATA 'GREEN THUMB'	HOLLY COMPACT	#2 POT 30CM				
CAN.	46	MAHONIA AQUIFOLIUM	OREGON GRAPE HOLLY	#3 POT 50CM				
	114	NANDINA DOMESTICA 'MOONBAY'	MOONBAY HEAVENLY BAMBOO	#2 POT 40CM				
900	130	PIERIS JAPONICA 'VALLEY VALENTINE'	PIERIS RED BLOOMS	#3 POT 50CM				
682	60	PRUNUS LUSITANICA	PORTUGESE LAUREL	#3 POT 60CM				
Bug	62	RHODODENDRON 'BOW BELLS'	RHODODENDRON PINK	#2 POT 20CM				
645	12	RHODODENDRON 'KEN JANECK'	RHODODENDRON LIGHT PURPLE MAY	#2 POT 20CM				
TRH)	10	RHODODENDRON 'P.J.M.'	RHODODENDRON LIGHT PURPLE E. MAY	#3 POT 50CM				
(B)	66	RIBES ALPINUM	ALPINE CURRANT	#2 POT 60CM				
980	39	ROSA RUGOSA	RUGOSA ROSE PINK	#2 POT 40CM				
GRE	28	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA	#3 POT 50CM				
SP)	164	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA PINK	#2 POT 40CM				
CTATE	197	TAXUS X MEDIA 'HILLII'	HILL'S YEW	1.0M HT B&B				
900	26	VACCINIUM CORYMBOSUM 'CHANDLER'	BLUEBERRY	#2 POT 50CM				
(WE)	126	VIBURNUM DAVIDII	DAVID'S VIBURNUM	#2 POT 30CM				
FEFFE	52	VIBURNUM TINUS 'SPRING BOUQUET'	DWARF VIBURNUM	#3: POT 50CM				
GNARS	608	CAREX ELACA	BLUE SEDGE	#1 POT				
(HE LA)	130	HELICTOTRICHON SEMPERVIRENS	BLUE DAT GRASS	#1POT				
Sm.	112	IMPERATA CYLINDRICA 'RED BARON'	BLOOD GRASS	#1 POT				
aw.	196	MISCANTHUS SINENSIS YAKU JIMA'	YAKU JIMA JAP SILVER GRASS	#3 POT				
M(PE)	123	PENNISETUM AL OPECUROIDES 'HAMELIN'	DWARE FOLINTAIN GRASS	#1 POT				
PERRIN								
60	12	CIMICIFUGA RACEMOSA BRUNETTE'	BRUNETTE BUGBANE	15CM POT				
area.	36	HEMEROCALLIS STELLA D'ORO'	DAYLILY YELLOW	#2 POT 2-3 FAN				
CHO!	53	HOSTA 'BLUE MAMMOTH'	HOSTA LARGE BLUE	#1 POT 1 EYE				
0 P	14	KNIPHOFIA UVARIA	RED HOT POKER	15CM POT				
S.	21	LAVENDULA ANGUSTIFOLIA 'HIDCOTE BLUE'	ENGLISH LAVENDER COMPACT DEEP PURPLE	#1 POT				
R	23	RUDBECKIA FULGIDA VAR SULLIVANTII GOLDST	URMRUDBECKIA YELLOW	15CM POT				
(FR)	35	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	9CM POT				
	143	GAULTHERIA SHALLON	SALAL	#1 POT 20CM				
4	200	PACHYSANDRA TERMINALIS	JAPANESE SPURGE	#1 POT 15CM				
(PO)	19	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT 25CM				

NOTES: "PLANT GEZES IN THIS LIST ARE SPECEPED ACCORDING TO THE ICLANDSCOPE STRANDING, LISTES EDITION. CONTAINER SIZES SPECIFIES AS PER MINISTERS AND ADMINISTRATION OF THE PLANT METHOD AND ADMINISTRATION OF THE PLANT METHOD. ADMINISTRATION OF CONTINUOUS WILL BE STANDARD. GERMANICO OF CONTINUOUS OF AULABILITY. ALL LANDSCOPE METHOD. AND OFFICE THE PLANT METHOD ADMINISTRATION OF CONTINUOUS OF AULABILITY. ALL LANDSCOPE METHOD. AND OFFICE THE PLANT METHOD.

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15.OCT.19	NEW SITE PLAN	DO
15.JUL.13	NEW SITE PLAN	CLG
DATE	REVISION DESCRIPTION	DR.
	15.JUL.13	15.OCT.19 NEW SITE PLAN 15.JUL.13 NEW SITE PLAN

CLIENT

PROJECT:

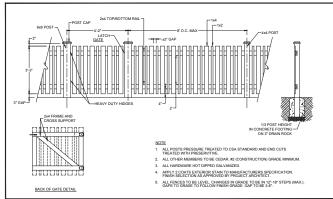
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15747-84TH AVE. SURREY

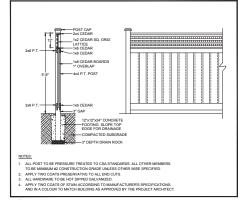
LANDSCAPE SHRUB PLAN

DATE:	15.JUL.13	DRAWING NUMBER
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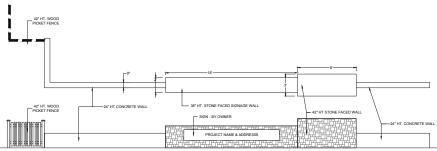
15-093



PICKET FENCE AND GATE

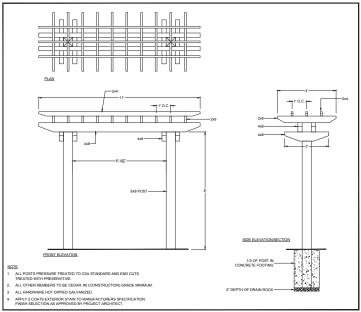


2 6' HEIGHT PERIMTER / SCREEN FENCE



SIGNAGE WALL

1/4"=1'.0"



WOOD TRELLIS DETAIL
1/2"=1'-0"

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LANDSCAPE ARCHITECTS Suite C100 - 4185 Still Cree Drive Burnaby, British Columbia, VSC 669 p: 604 294-0022

SEAL:

_	15.NOV.04	RE-SUBMISSION	MM
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PROJECT:

RESIDENTIAL DEV.

15747-84TH AVE. SURREY

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LANDSCAPE DETAILS

DATE:	15.0CT.19	DRAWING NUMBER:
SCALE:	AS SHOWN	
DRAWN:	DO	14
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CHKD:	MCY	OF 4

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15093-4.ZIP PMG PROJECT NUMBER:



INTER-OFFICE MEMO

TO:

Manager, Area Planning & Development

- North Surrey Division

Planning and Development Department

FROM:

Development Services Manager, Engineering Department

DATE:

Revised December 10, 2015

PROJECT FILE:

7815-0125-00

December 4, 2015

RE:

Engineering Requirements

Location: 15747 and 15791 84 Avenue

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 4.942 m along 84 Avenue for the 30.0 m Arterial Road Standard.
- Dedicate varying widths along Venture Way from 2.230 m for the ultimate 22.0 m Collector Road Standard.
- Dedicate varying widths along 157A Street from 9.942 m for the ultimate 20.0 m Through Local Road Standard.
- Dedicate 5.0 x 5.0 m corner cut at the intersection of 84 Avenue and Venture Way.
- Dedicate 3.0 x 3.0 m corner cut at the intersection of 84 Avenue 157A Street.
- Provide a 0.5 m Statutory Right-of-Way along the frontages.

Works and Services

- Construct west side of Venture Way to the Collector Road Standard.
- Construct east side of 157A Street to the Through Local Road Standard.
- Construct a 7.3 m concrete driveway letdown to Venture Way.
- The City is requesting a DCW for sidewalk construction along 84 Avenue and Venture Way.
- Provide on-site infiltration features to meet the requirements of the draft Fleetwood Greenway ISMP.
- Provide a water, storm, and sanitary service connection to service the development.

A Servicing Agreement is required prior to Rezoning and Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.

DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Variance Permit.

Rémi Dubé, P.Eng.

Development Services Manager

CE

NOTE: Detailed Land Development Engineering Review available on file



Wednesday, October 07, 2015 Planning

THE IMPACT ON SCHOOLS APPLICATION #:

15-125-00

79 K + 550

School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

There are no new capital projects proposed at Walnut Road Elementary or Fleetwood Park Secondary. Walnut Road Elementary has five portables on site and Fleetwood Park Secondary has three. The school district is currently investigating enrolment management strategies in this area.

SUMMARY

30 townhouse units The proposed are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	6
Secondary Students:	3

September 2014 Enrolment/School Capacity

Walnut Road Elementary

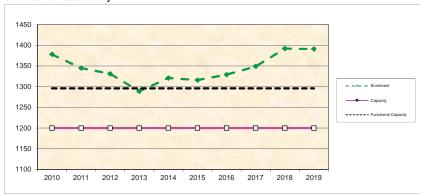
Enrolment (K/1-7):

Capacity (K/1-7):	40 K + 525
Fleetwood Park Secondary	
Enrolment (8-12):	1321
Nominal Capacity (8-12):	1200
Functional Capacity*(8-12);	1296

Walnut Road Elementary



Fleetwood Park Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

ARBORTECH CONSULTING a division of:



Appendix _____

TREE PRESERVATION SUMMARY

Surrey Project No.: 7915-00125-00

Project Address: 15791/15747 Surrey, BC

Consulting Arborist: Nick McMahon

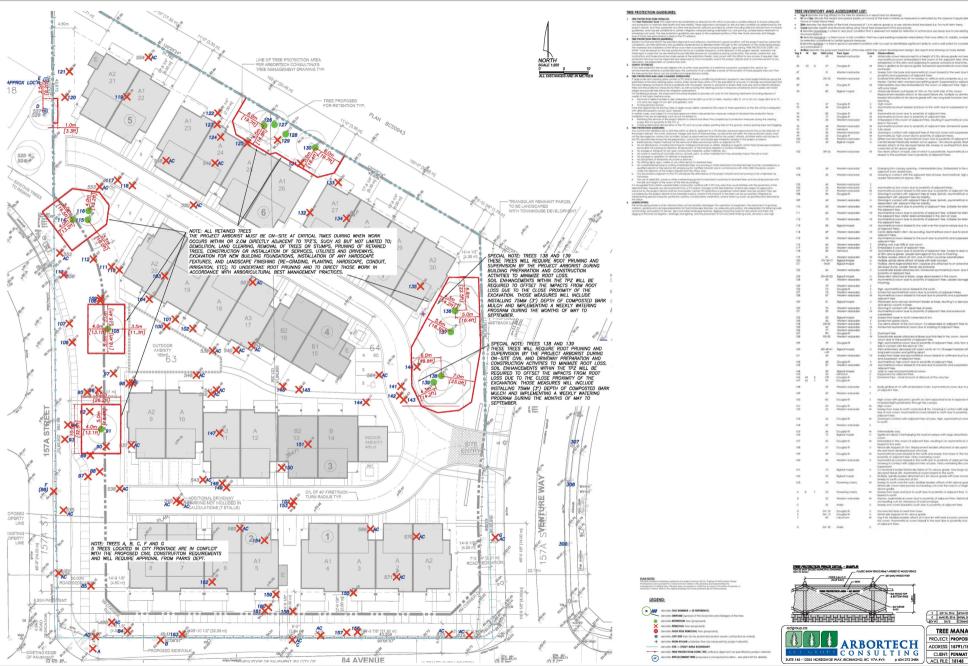
ON-SITE TREES:	QUANTITY OF TREES		
Total Bylaw Protected Trees Identified (on-site and shared trees, including trees within boul streets and lanes, excluding Park and ESA dedicatio	105		
Bylaw Protected Trees to be Removed			92
Bylaw Protected Trees to be Retained (excludes trees in Park dedication areas and ESA's)	13		
Replacement Trees Required:			
Alder and Cottonwood at 1:1 ratio:	28 times 1 =	28	
All Other Bylaw Protected Trees at 2:1 ratio:			
TOTAL:	166		
Replacement Trees Proposed (subject to review of final landscape design)			134
Replacement Trees in Deficit			0
Protected Trees Retained in Proposed Open Space/		NA	

OFF-SITE PRIVATE TREES:	QUANTITY OF TREES	
Bylaw Protected Off-Site Trees to be Removed	0	
Replacement Trees Required:		
Alder and Cottonwood at 1:1 ratio:		
All Other Bylaw Protected Trees at 2:1 ratio:		
TOTAL:		0
Replacement Trees Proposed	0	
Replacement Trees in Deficit	0	

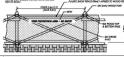
This summary and the referenced documents are prepared and submitted by:

Nick McMahon, Consulting Arborist Dated: Sept 24, 2015 Direct: 604 812 2986 Email: nick@aclgroup.ca

aclgroup.ca



**				Present House St.	-	Assembled over embedded in the open of the adjacent tree, three extends on the object of the second or the countries of the object of the second or three extends on the object of the second or three extends on the object of th	Principle of route
41	32		67	Douglas Ir	98	Stars is global at the stocking grade. Somewhat ary meetings cover board to the confeasal.	Remove for rocal
47			.36	Western residence		Sweep from the bose and opportunited power blood to the west due to	Remove due to condition
*			29+29	Weeken redoxdor		Supfloid into officines of im aways to reflicat and compress on a co-dominant leader. Certail stars conclusi and withing word Suppressed to religious hear.	Remove the to consiston.
*			34	Couglas Ir	44	intermediate class tree embanded in the crown of adjacent tree, high crown with prior toper.	Remove formed
Ħ			80	Bigled regist	и	Approximate of comment of the commen	Remove the hoppedition
11			40	Douglas & Douglas &	1.	High crown. Approximational around based and beautiful for north due to suppression of outsider?	Retion-out Protect Remove duty to consider
					44	Next. Approved in a control of the second seco	femore to rest
**			40 77 30	Direction In Direction In Western residencies	M.	tion. Assemblical cover due to powerfy of adjacent time. Approvation (cover due to powerfy of adjacent time. Coloridad in the cover of adjacent time, mouting in payments of account time.	Remove for most Remove for most demove for most
			84 97	Western redicador inembols	14	Cass to the west. Assirtant and the sense of the control of adjacent free Somewhall sparse foliage. Assirtant and the sense of the se	Remove for road Remove due to condition Remove for building Betwee due to condition Remove due to condition
2222				Western residence: Dissiplier III	1		Remove for building
190			42 93	Western residents States regale	- 1	Columbia in Columbia in a man collapside and of the doct protection trappeared. Approved to Columbia columbia in presently of adjacement here. Stitled count shoutches Augmentation columbia to presently of adjacement here. Contract leader instanciosity trainers out of approve. (Shir observe greate, flaspiccement leaders adjaced of the decolipse trainer shir, beverall to substract from the part of the decolipse trainer shir, beverall to substract from the part of the decolipse trainers.	Retroise due to condition
150			43	piloria surfare		contributed in father and property of the contributed from the contributed of the distret grade.	Remove July to consiston
192			36+26	Western redication	86	has dearn phace of time, are of which is subordinate. Asymmetrical covers based to the positive of an positive of adjacent trees.	Retrove due to condition
105			**	Western residence			Revove for building
tie.			.0	Washin makestor	- 0	collected from dead) frees.	Harrison for building
110			-80			Emerging Into carroxy specing – informaciate state. Embedded in the cosen of calcium? From dough tious. Coloring is calcium? with the calcium? they of time Asymmetrical, high provin- Looder bifurcation or occurs. Silvin.	
125			40	Western restorator	- 5		Retain and fretech
156 156 167 168			45 47 34	Western redication Western redication Western redication Designation	-	Appropriate of access below to be well than to promite at adjacent tree.	Retain and frotect Remove for road Remove for road Remove due to condition
_			40	Teder micedia		Approximation law count due to proximity of adjacent trees. Approximation acres to be at the event due to provide of applicant trees. Overlag is reminded of the adjacent tree for least. Solidad, assummentable of event, so experience with adjacent tree to statistics. Decoraging a random development the statistics. Decoraging a random development the extra blanks, assummentable or count, so covering the country of the extra statistics. Applications are also as the proximity of adjacent fixes, but takes for referring with the adjacent fixes.	family the to constitut
110				States according		dependent with subscent hee for visiting	femore for building
111			41	Trader recorder		Assumembra amon due to promisely of organized his children for selection of the organized his control of the organized his children for the ch	ferrors to subdry
112			29.	Tradem reducator		the originary has trially depth embedded in the stem of boxe.	Remove for building
118				Report mapon	let.	the odplient fee	Ferrage british
114				Harter lack miles		Of a Special Steel.	Rabiti and Potasi
116			20	Terren redicado		Advisored hear. Advisored by the court state to province and appreciate of	Better and Parket
						migrantificate Challenge and come TW of continuous	
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110						of Zim ollows grade. Leader durings of the due to finding.	
120			21 19+19+17 5440	Vactor indicates hiped respin liquid respin	¥	Multiple gamply share should all base with both inclusion.	Remove due to condition Remove due to condition Remove due to condition
102			44	Name against	- 1	decayed fump, yearst follow are proteine	Review for building
			20-0-22			property of adjacent hea.	
123 124			- 10	Right Propint Theoret industrial	No.	Autometrical cream due to proximity of enjocent trees Leigher dismaged due to	Service due to condition femore forbuilding
125			29.	Wastern reduce from Drugston W Wastern reduceston Wastern reduceston Wastern reduceston	3	The second secon	Names for including Nation and Parkert Retain and Parkert Retain and Parkert
135 136 137 138			77.77	Planters reducible	1	Somewhat assmire that crown due to ansalmly of orderest fees.	Relationed Profess
1204			21	Topic Constant		indicated here. Makingsky serror and sub-distributed another of boxes, woulding in a decouped ship.	Ferrore due la condition
						High, deprimerability count biseast in the study. Somewhat our mentions count due to reporting of additional threes, because the study of the study of the study of the study of subjected their subjected their following a server as and sub-desirational enables of those, resulting in a decayed displication and placing subject to those. Somewhat is considered with death for the study of subjected to subject to the study of subject of places.	
130			200	Western reducedur Western reducedur	1	Authoritical craws also to producity of place or their and community	Retain and Parket Reviews for building
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134			49-12	freden reduedlar		has stems affects of the most count. Co-department on subjection their for shouldy.	Review for building
136			40 77 90 90-38	Staden records	1	Constant has	Retain value Promport Retain variet Promport
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139			24	Douglanik	- 3	Mgh, assumptions proved due to provide to adjacent free. Unto four adjacent free is constant with the state of 1 lies.	Retain conditions of
140			Medical -	Right maps	¥	Dem extendery decayed with open county of tim Divergent leaden offson with	Remove that to pomption
141			20 	Training rections	44	Diversify them become and assumentables allowed be transferred by assuming and automation of additional flows.	Above to building
142			27	Dougras N Healers reducible	1	Approved the age of the first to providing of adjacent tree.	forward for building fermion for building
			14			adjacent has.	Samuel Strationers
143 143 146 147	44	8 7	32	Algorithmen Hereick Douglas 9 Douglas 9	1	adjoined fee. Lead its veel and pyremetrical prove. Tuggeresed by ordocent less. Turning the - boot arrowst of district of the very hig-	Remove for diseasely Remove shar is consider. Permove for building Services for luniformy diseasely Bernicos (see N. Colubbian
	66 62	7	***				Service for Indiding and diversity
148			36	Bester-educity	¥	Study grided of the wife embedded chaps, hymmetrical cover size to proximity of adjacent lines.	Permane store to coloradition
149			98	Stanfact-militaries	5		Remove he linking one districts Remove he (whiting
150			80	Douglas N	1	High crown with epicomic growth or stem expected to be in response to Accepted light penalticion frough the content.	
1018			H	Douglas III Western Williams	-	Accessed GyPF generations from If the contings (Agi-Chien Design John State Sin modifications of Disk, County In context with collarated being both State John State (Sin State	Remove for building or diversing
153			46	Douglash		indiposed here. Conserve in content with reducered has of being block programming conservational.	Remove for building or phinasons
154			**	Western mit make	- 1	No strain.	American Services
135			**			Photographic days	
135 136			77	Douglas III. Bigleof rogre	-	Signiffy and should Cherhonging the road envelope with large small limits in the crossin.	
157			40	Douges 4	100	Dritted Bild in the colors of polycord has resulting in an operate his or colors.	Names of the registre
158			5.0	tought in		Interest is the way. Interest to the way. Interest to the property of the Representative of the third of decreased topping, also and have developed poor vitualize.	Remove due to condition
158			45	Douglas W	84	Approvable of crown bloaded to the north and owings from bose to the north due to provints of algocant less. When overtaking crown.	Remove to building
160			40	triality actually	v	intoxicity separate from exponential readous procured in access traping and and have desepted point shocked. As the mathematical crown board in the math data assumed colored board in the sught and expenditure or math data provided or disposal from the contribute crown provided and colored board in the colored with property of ordinant has shown and colored with ordinant field of these three provided by the contribution provided in the colored board of the color	Namina star to condition
141			71	Righted Progrits	w	Suggrenard. Co-dimension's scolar Polishicols Island of 7m observe globals. View longer and decimend fishing who Appropriate cover branch for the south Adultius, souther who seads and scolar of 2.5 an observe grants with load location. Jessey to south committee of 27m.	Remove that is condition
142			30	Signed respin	w	Multiples, spikerally leaders selectived of 3, by obcive greate with look inclusion.	Personal doe to condition.
163			54	Noveleg chary	345		Remove to soul
À.	*	7	20	Howeville charty	14	dense grafe. Sweep how took profitow is out to due to promitly of pilipoint hos. Crown stated to both.	Ramping Day to could
			12	Perlamination by	100		Raymona (but to coad) complexition. Posts Dept Referral Remotes diet for coad construction, Forks Dept Referral
c			36	Anne		signateding scale for Opcommon of coold envelope. Sweep and crown blood to such size to prodictly of subscard hea	construction, Posts Dogst Referred Earterne due to local construction, Posts Degst Balance
							constructors Ports Dept Robust Florest
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						We cover, Asymmetrical cover-braned to the west size to provide only deciding of adjacent bear.	
0			Dec. 36	Aider .			Element due to cost construction, Posts Dept Referred



2 SF 24, 2016 (FDATE) SITE LANGUT AND CMIL DESIGNS
0 MAR 30, 2015 INTIAL SUSWESSION
SET # DATE COMMENTS TREE MANAGEMENT DRAWING

PROJECT: PROPOSED MULTI-FAMILY DEVELOPME ADDRESS: 15791/15747 84 AVE, SURREY CLIENT: PENMAT - FOCUS SHEET: 1 OF 1

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7915-0125-00

Issued To: Penmat Mana Jv Ltd.

("the Owner")

Address of Owner: 15740 - 84A Avenue

Surrey, BC V₄N oY8

- 1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
- 2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 008-510-253 Lot 63 Section 26 Township 2 New Westminster District Plan 38471 15747 - 84 Avenue

Parcel Identifier: 008-510-288 Lot 64 Section 26 Township 2 New Westminster District Plan 38471 15791 - 84 Avenue

(the "Land")

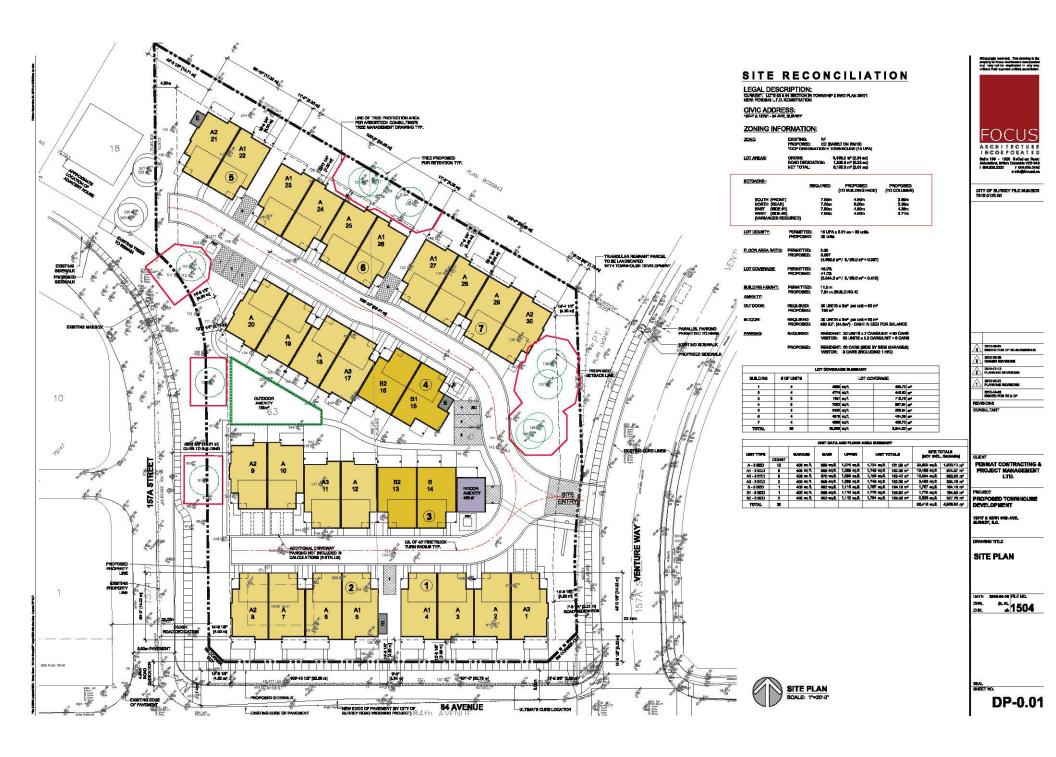
3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:	

(b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

- 4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) to reduce the minimum west side yard setback of the RM-15 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and to 3.7 metres (12 ft.) to building columns and roof overhangs;
 - (b) to reduce the minimum front yard (south) setback of the RM-15 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and to 3.8 metres (12.5 ft.) to building columns and roof overhangs;
 - (c) to reduce the minimum east side yard setback of the RM-15 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) to the building face and to 4.3 metres (14 ft.) to building columns and roof overhangs; and
 - (d) to reduce the minimum rear yard (north) setback of the RM-15 Zone from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) to the building face and to 5.3 metres (17 ft.) to building columns and roof overhangs.
- 5. This development variance permit applies to only the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
- 6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
- 7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
- 8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
- 9. This development variance permit is not a building permit.

AUTHORIZING ISSUED THIS	G RESOLUTION DAY OF	N PASSED BY TH	IE COUNCIL, THE	DAY OF	, 20 .	
			Mayor – Lind	a Hepner		
			City Clerk – Ja	City Clerk - Jane Sullivan		



Appendix VII

