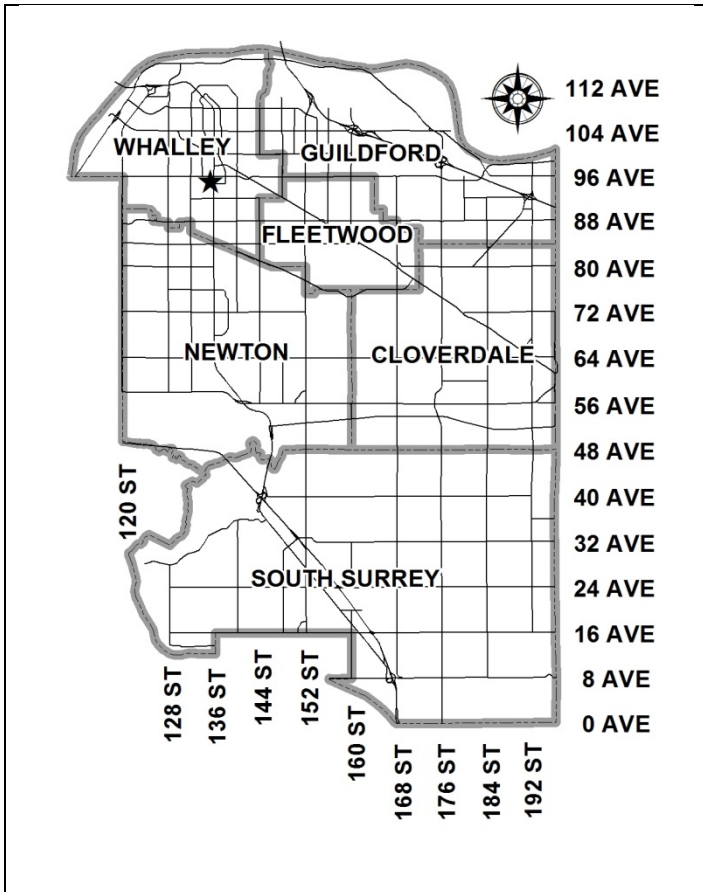


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7915-0114-00

Planning Report Date: June 15, 2015



PROPOSAL:

- **OCP Amendment** for a portion from Multiple Residential to Central Business District
- **Rezoning** from CTA to CD (based upon RM-70, RMS-2 and C-35)
- **Development Permit**

to permit the development of two, 6-storey apartment buildings and a 12-storey mixed-use care facility and office building.

LOCATION:

9525 - King George Boulevard

OWNER:

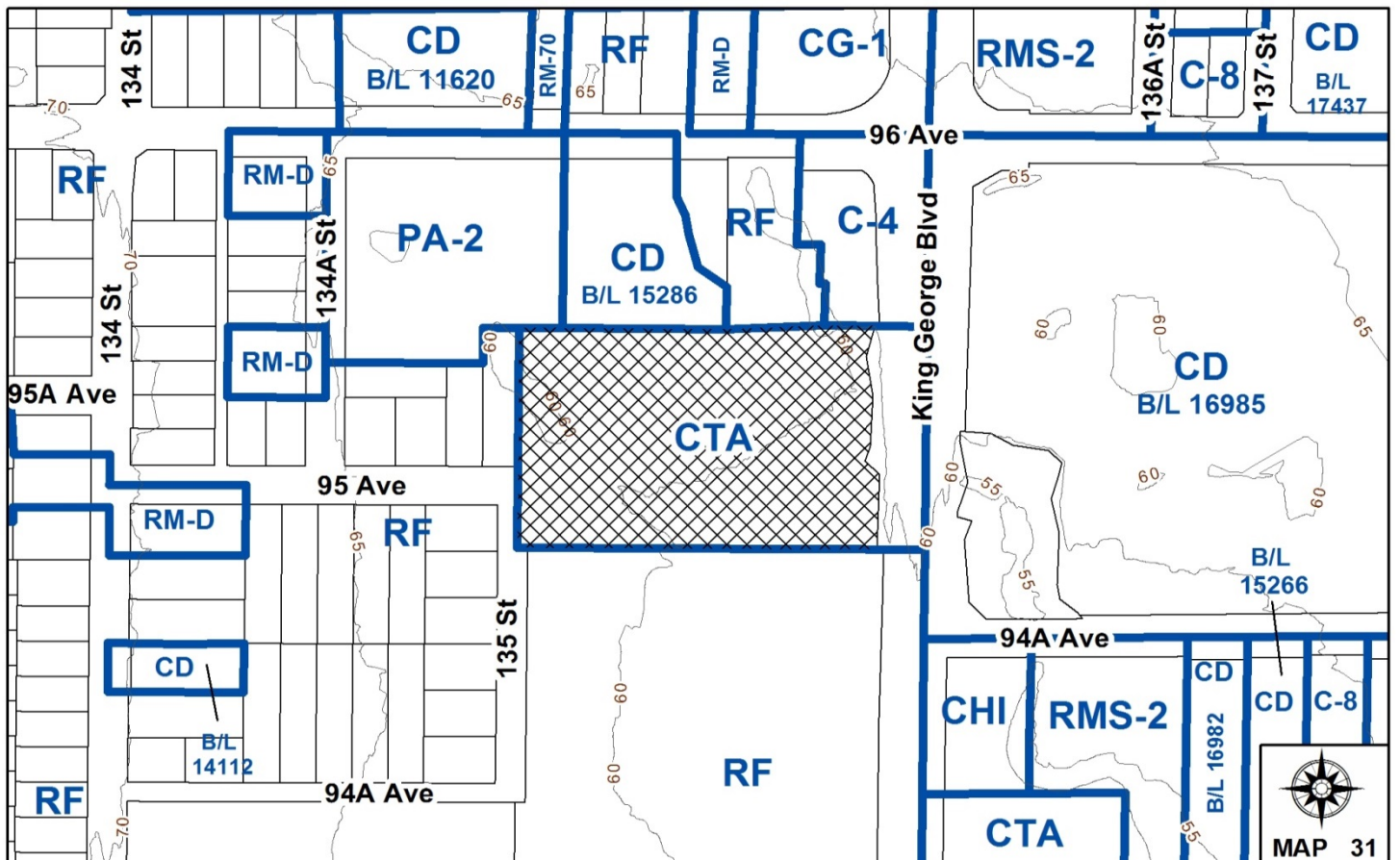
WestStone One King George Developments Ltd., WestStone Two King George Developments Ltd. and WestStone Three King George Developments Ltd.

ZONING:

CTA

OCP DESIGNATION:

Multiple Residential



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment for a portion; and
 - Rezoning.
- Approval to draft General Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Eastern portion of subject site will require an OCP Amendment from "Multiple Residential" to "Central Business District".

RATIONALE OF RECOMMENDATION

- Partially complies with the "Multiple Residential" OCP designation.
- The western portion complies with the "Low to Mid Rise up to 2.5 FAR" designation in the City Centre Plan.
- The proposed density and building form are appropriate for this part of City Centre.
- The proposal is in compliance with OCP policies which encourage employment generation, as well as the City's Employment Lands Strategy and Economic Development Strategy.
- The proposal, in close proximity to Surrey Memorial Hospital, will support the City's "Innovation Boulevard" initiative, which is a partnership of health, business, higher education and government, creating health technologies to improve peoples' lives.
- The applicant is aware of their obligation to provide an acceptable Relocation Plan in accordance with City Policy No. O-34A and is committed to work with the mobile home residents.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend the OCP by redesignating the eastern portion of the subject site, from Multiple Residential to Central Business District and a date for Public Hearing be set (Appendix II).
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 879 of the Local Government Act.
3. a By-law be introduced to rezone the subject site from "Tourist Accommodation Zone (CTA)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. Council authorize staff to draft General Development Permit No. 7915-0114-00, generally in accordance with the attached drawings (Appendix III).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) approval from Fisheries and Oceans Canada (DFO);
 - (d) approval from the Ministry of Environment (MOE);
 - (e) the applicant to adequately compensate and/or relocate existing Mobile Home Park residents on the subject site, in accordance with City Policy No. O-34A, as well as in accordance with the Province's *Manufactured Home Park Tenancy Act*;
 - (f) removal of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (g) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (h) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (i) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (j) the applicant address the concern that the development will place additional pressure on existing park facilities to the satisfaction of the General Manager, Parks, Recreation and Culture;

- (k) the applicant to convey the riparian lot to the City and provide habitat compensation as per City Policy No. P-15 for the riparian relocation and setback relaxation from the watercourse, to the satisfaction of the General Manager, Engineering and the General Manager, Parks, Recreation and Culture;
- (l) the applicant to provide an access easement to allow for City access to maintain the riparian lot;
- (m) the applicant to secure an easement for work on the adjacent property to the west (13493 - 95 Avenue);
- (n) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and
- (o) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering:	The Engineering Department has no objection to the project, subject to the completion of Engineering servicing requirements, as outlined in Appendix IV.
Parks, Recreation & Culture:	Parks will accept the proposed riparian area as a conveyed lot to the City. A P-15 agreement will be required for the monitoring and maintenance of replanting in the conveyed riparian lot. Parks requires fencing adjacent the riparian lot to be 1.2-metre split rail with page wire. The fencing should extend around the entire riparian area. Parks also has concerns with the pressure the residential component of this project will place on existing Parks, Recreation and Culture facilities within the City Centre. The applicant is requested to meet with Parks staff to discuss an appropriate park amenity contribution.
Surrey Fire Department:	The Fire Department has no concerns regarding the proposed development.

SITE CHARACTERISTICS

Existing Land Use: Existing mobile home park, with approximately 41 occupied mobile homes, well treed and a tributary of the West Quibble Creek traversing the subject site.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Existing church, townhouse development, a park area and a Tim Horton's cafe.	Multiple Residential and Central Business District	PA-2, CD By-law No. 15286, RF and C-4
West:	Existing single family homes.	Multiple Residential	RF
South:	Queen Elizabeth Secondary School.	Urban	RF
East (Across King George Blvd):	Surrey Memorial Hospital and park site containing Quibble Creek.	Central Business District	CD By-law No. 16985

DEVELOPMENT CONSIDERATIONS

- The subject site is located at 9525 - King George Boulevard, in the City Centre. The subject site is approximately 2.06 hectares (5.10 acres) in size and is currently a manufactured home park, named "Park Mobile Court".
- The subject site is zoned "Tourist Accommodation Zone (CTA)" and designated "Low to Mid Rise up to 2.5 FAR" in the City Centre Plan and "Multiple Residential" in the Official Community Plan (OCP).
- There are approximately 41 occupied mobile homes on the subject site.
- The applicant, WestStone Group, has submitted an application for an OCP Amendment for the eastern portion of the subject site, a rezoning from CTA to "Comprehensive Development Zone (CD)", a General Development Permit and a subdivision application, in order to allow for the development of a comprehensive multiple unit residential, care facility and office development.
- The proposal will support the City's "Innovation Boulevard" initiative, a partnership of health, business, higher education and government creating new health technologies to improve peoples' lives. The focus is on three technology areas: medical devices, independent living and digital health.
- Detailed Development Permit applications will be required for further design refinement of each of the three buildings.
- The proposed development will consist of three buildings: two, 6-storey apartment buildings and one stepped 12-storey, mixed-use, seniors assisted living, complex care and office building.

- The subject site is proposed to be subdivided into four lots, one lot for each of the buildings and a riparian lot that is to be conveyed to the City, plus a new east-west road (95 Avenue extension).
- The applicant has indicated that the two, 6-storey apartment buildings will be rental for seniors' independent living. However, as no Housing Agreement is proposed, there is no certainty on the rental component or on the residents being only seniors.
- The development will also be facilitating the relocation of a tributary of the West Quibble Creek at the southern portion of the subject site to the northern portion of the site, as well as a new 20-metre (66 ft.) wide east-west road along the southern property line, which will connect 95 Avenue to King George Boulevard.
- The proposed gross density of the development is 2.5 floor area ratio (FAR) based upon the original site area, before road dedication and dedication of the riparian lot. Once the riparian and road dedication areas have been subtracted, the net density is 2.5 FAR for the 2 western lots (Block B) and 6.19 FAR for the eastern lot (Block A). The overall net density of the net developable area is 4.6 FAR.

Proposed Land Use Configuration

- The proposed development includes two, 6-storey apartment buildings which the applicant states are intended for seniors to live independently and are intended to be rental. Proposed Building B will accommodate 119 dwelling units and proposed Building C will accommodate 83 dwelling units for a total of 202 dwelling units. Of these 202 dwelling units, 184 are proposed as 1-bedroom units and 18 are to be two-bedroom units.
- As per Zoning By-law No. 12000, Building B will be required to provide 357 square metres (3,843 sq.ft.) of indoor amenity space and 357 square metres (3,843 sq.ft.) of outdoor amenity space. For Building C, 249 square metres (2,680 sq.ft.) of indoor amenity space and 249 square metres (2,680 sq.ft.) of outdoor amenity space will be required. At this time, the applicant proposes to provide the required indoor and outdoor amenity space areas for each of the proposed buildings. The amenity space requirement will be finalized with the subsequent detailed Development Permits.
- The applicant has indicated the possibility of one or both of the 6-storey buildings being constructed as a care facility. The proposed CD by-law has been drafted to enable either apartments or care facility for the western portion of the subject site.
- A maximum 12-storey mixed-use building consisting of assisted living, complex care and office uses is proposed at the eastern end of the subject site adjacent King George Boulevard. The building steps down from 12 storeys to 8 storeys at the northwest corner, to provide for a more appropriate interface with the 3-storey townhouse units at the north of the subject site. At the 9th floor, a roof garden is proposed, which will allow residents and staff an area for sitting, walking and visiting.
- The first eight floors of the 12-storey building are proposed for medical office use. It is assumed that the ground floor will also include ancillary commercial uses such as a coffee shop and convenience store. Approximately 29,555 square metres (318,127 sq.ft.) of office floor area is proposed.

- The top four floors of the mixed-use building are proposed for seniors who require long term care (care facility use). One hundred and forty (140) 1-bedroom units with ensuite bathrooms are proposed. Communal eating and lounge areas are proposed, along with office space for support services for the residents.
- If the two 6-storey apartment buildings are converted to care facility uses, the programming may be similar to what is proposed within the mixed-use building.

Vehicular Access and Parking

- A new 20-metre (66 ft.) wide east-west road will be dedicated and constructed along the southern portion of the subject site, to facilitate internal vehicular access to three (3) proposed buildings and a finer grained road network.
- One large four-level underground parkade is proposed for the development. Based upon the proposed land uses, 1,092 parking spaces are required for the entire development. The development is proposing 1,128 parking spaces, which exceeds the minimum amount of required parking. Of these 1,128 parking spaces, 187 are designated as "small car", which is at 17%, less than the maximum 25% permitted in the Zoning By-law.
- Based upon the proposed land uses, 451 bicycle parking spaces are required. The development will be providing 455 bicycle parking spaces, which exceeds the required amount of bicycle parking.

Riparian Area

- A 22-metre (72 ft.) wide riparian area is proposed to be relocated and dedicated along the north of the subject site. The riparian area will be conveyed to the City for stewardship. Fisheries and Oceans Canada (DFO), as well as the Ministry of Environment (MOE) will be required to provide approval of the watercourse relocation prior to the project advancing for Final Adoption.
- As part of this watercourse relocation along the north of the site, a detention pond is proposed to be located on the adjacent single family property to the west of the subject site (addressed as 13493 - 95 Avenue). The property owner has provided approval in principle to permit this work to occur on their property.
- This area will be fenced off to prohibit unauthorized access.
- An access easement will be required on private property, to allow City staff to enter and maintain the riparian area.
- In accordance with City Policy No. P-15, an agreement will be required between the applicant and the City for the monitoring and maintenance of replanting in the conveyed riparian lot.

Proposed Relocation Strategy (Appendix V)

- The current land use on the subject site is an existing mobile home park, which contains approximately 41 occupied mobile homes. Some of the residents own their units, but others rent their units. As per City Policy No. O-34A, the applicant is responsible for relocating the existing residents in an appropriate manner acceptable to the residents and Council, as well as complying with the Province's *Manufactured Home Park Tenancy Act* regulations.
- As such, to date, the applicant has proposed the following as part of their relocation strategy (as documented in Appendix V):

- Assisting the tenant to relocate to an alternative mobile home park, which has reportedly been identified as the "Town and Country Motel and Trailer Park" located at 8293 - King George Boulevard (however this alternative site has not been confirmed).

The developer will work to establish vacant pads in other manufactured home parks and each tenant will be provided a choice of pads in order to enable the tenant to be relocated on an "equal or better" basis. The developer will cover the costs of moving the mobile home and its contents in addition to the one year equivalent rent (to be paid upon completion of the move).

- The tenant chooses a location other than another mobile home park.

The tenant may sell their home and have it moved off the property or may find an alternative pad elsewhere or they may choose to "walk away" from their mobile home. In all cases, the tenant will be granted the equivalent of twelve months rent.

- Buy-out option.

The tenant may have a manufactured home that is not viable to move (i.e., it is either in such poor condition that it will collapse or the cost of moving is more than the assessed value of the home). In such cases, the tenant may choose an equal value unit in an alternative manufactured home park if available or a cash settlement equal to an assessed value of the manufactured home plus 10% and the developer will cover moving expenses.

- Assistance with alternative housing.

In the case of tenants who may qualify for some other housing assistance, the developer will assist with the moving, purchase or sale of their manufactured home as well as the one year rent equivalent. The developer will also use their best efforts to provide assistance in facilitation and securing options for assisted or independent housing wherever possible.

- In accordance with the Province's *Manufactured Home Park Tenancy Act*, each tenant is entitled to twelve (12) months' notice from the owner to end the tenancy, as the manufactured home park is intended to be redeveloped to a non-residential use or a residential use other than a manufactured home park. All necessary permits and approvals must be in place at the time of notification.

- In terms of compensation, a landlord must give the tenant a payment of twelve (12) month's rent under the terms of the existing tenancy agreement in compensation for displacement. This payment must be made on or before the effective date of the notice to end the tenancy.
- The applicant is aware of their obligation and has committed to work with the mobile home park residents.
- Residents from "Park Mobile Court" have submitted a petition in opposition to the proposed redevelopment, representing 64 signatures from 36 mobile homes (with 1 additional signature from outside of the mobile home park), which indicate that they do not wish the mobile home park to be redeveloped (see PRE-NOTIFICATION section).

PROPOSED CD BY-LAW (Appendix VI)

- The proposed CD By-law will be based upon the RM-70, RMS-2 and C-35 Zones in terms of permitted uses and density.
- The proposed CD By-law will allow for land uses such as multiple unit residential buildings, care facilities, office uses and ancillary commercial uses.
- The density of 2.5 FAR is proposed based upon the gross site area of the subject site, including the riparian area to be dedicated to the City and the new east-west road.
- Separately, the two buildings on the western portion of the subject site (Block B) will have a 2.5 FAR and the building on the eastern portion will have a 6.2 FAR (Block A).
- Building setbacks of 4.5 metres (15 ft.) are proposed, except at the rear, where the setbacks will be maintained at 7.5 metres (25 ft.).
- The CD By-law will permit air space subdivision, for the eastern lot to accommodate the proposed mixed-use commercial and residential development.

TREES

- Trevor Cox and Amelia Needoba, ISA Certified Arborists of Diamond Head Consulting Ltd., prepared a preliminary Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Red Alder	45	30	15
Cottonwood	5	5	0
Total	50	35	15

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Big Leaf Maple	11	10	1
Bitter Cherry	1	1	0
Cherry/Plum	1	1	0
Empress Tree	1	1	0
Lombardy Poplar	5	5	0
Coniferous Trees			
Douglas Fir	6	6	0
Nootka Cypress	2	0	2
Sitka Spruce	2	2	0
Western Hemlock	1	0	1
Western Red Cedar	21	20	1
Total (excluding Alder and Cottonwood Trees)	51	46	5
Additional Trees in the proposed Riparian Area	46	28	18
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		To be determined with detailed landscape plan.	
Total Retained and Replacement Trees		38 trees retained, total replacement trees to be determined.	
Contribution to the Green City Fund		To be determined.	

- The Arborist Assessment states that there are a total of 51 mature trees on the site, excluding Alder and Cottonwood trees. 50 existing trees, approximately 34 % of the total trees on the site, are Alder and Cottonwood trees. It was determined that 38 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- Table 1 includes an additional 46 protected trees that are located within the riparian area. 18 trees within the proposed riparian area will be retained.
- A detailed planting plan prepared by a Registered Professional Biologist (R.P. Bio.) and an associated P-15 agreement are required for the monitoring and maintenance of the proposed trees to be planted in the conveyed riparian area.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. For those trees which cannot be physically planted on-site, the applicant will be required to provide cash-in-lieu for the deficit in replacement trees. The deficit will require a cash-in-lieu payment representing \$300 per tree, to the Green City Fund, in accordance with the City’s Tree Protection By-law.

- The number of replacement trees and cash-in-lieu payment required will be confirmed as the project design is refined and detailed landscape plans are submitted for staff review.
- In addition to the replacement trees, boulevard street trees will be planted on King George Boulevard and the new 95 Avenue. This will be determined at the servicing agreement stage by the Engineering Department.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on May 21, 2015. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The subject site is located on King George Blvd, to the immediate west (across King George Blvd) of the Surrey Memorial Hospital, in the Hospital Precinct of the City Centre Plan. • The site is located along a future Light Rapid Transit (LRT) line along King George Boulevard, which will connect City Centre to Newton. • The proposed development complies with the City Centre Plan's "Low to Mid Rise up to 2.5 FAR" designation and partially complies with the "Multiple Residential" OCP designation. An OCP amendment is required from "Multiple Residential" to "Central Business District" for the eastern portion of the subject site.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed development complies with the maximum permitted gross density of 2.5 FAR, permitted under the City Centre Plan. • The proposed development includes a mix of land uses, including multiple residential, care facility and office. • The proposed development includes a mix of housing types including independent living and assisted living dwelling units. • The proposed development will contain a range of unit sizes, including assisted living units, 1-bedroom independent living units and 2-bedroom independent living units. • The proposed development will incorporate an area for a community garden.

Sustainability Criteria	Sustainable Development Features Summary
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The proposed development will be incorporating Low Impact Development Standards (LIDS), such as: <ul style="list-style-type: none"> ○ Absorbent soils > 300 mm in depth; ○ Roof downspout disconnection; ○ Dry swales; ○ Green roofs; ○ Permeable pavement/surfaces; and ○ Rain water wetlands/detention areas. • The proposed development will incorporate the restoration of riparian habitat at the northern end of the subject site. It will be enhanced at a 2:1 ratio. • The subject site contains a red-coded creek (West Quibble Creek). • The subject is not within an ecological hub or corridor. • The proposed development will allow for garbage facilities, recycling and organic waste to Metro Vancouver standards.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The proposed parking complies with the 20% reduction in the City Centre, permitted in the Zoning By-law. • Electric vehicle plug-ins and secure all-weather bicycle parking will be provided. • The proposed development is also within walking distance of the SkyTrain (King George Station) and will be located along a future LRT line.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • Buildings have been located to maintain clear sight lines across the site to create a strong visual connection between 95 Avenue and the creek and riparian area. All main building entrances have been located in close proximity to 95 Avenue. Canopy elements project beyond the main face of each building, extending shelter closer to the public sidewalk, while also allowing good visibility and access control. • The design of the development will allow for adaptable or accessible units.
6. Green Certification (F1)	<ul style="list-style-type: none"> • LEED building standards will be applied to the project, but not certification.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • Not applicable.

DISTRICT ENERGY

- The subject site is located within Service Area A, as defined in the "City Centre District Energy System By-law" (see Appendix VII for location). The District Energy System consists of three primary components:
 - Community energy centres, City-operated facilities that generate thermal energy for distribution through a piped hot water network;

- Distribution piping that links the community energy centres with buildings connected to the system; and
 - City-owned energy transfer stations (ETS) located within the building connected to the system. The ETS transfers heat energy from the distribution system to the building's mechanical system, and is used to meter the amount of energy used.
- All new developments within Service Area A with a build-out density equal to or greater than a floor area ratio (FAR) of 1.0 will be required to provide hydronic thermal energy systems in support of the City's District Energy (DE) system including domestic hot water, make-up air units and in-suite hydronic space heating. The City is committed to having the DE system operational within the timeframe of this project. Therefore, the subject application will be required to connect to the City's DE system prior to occupancy.
 - In order to avoid conflicts between the District Energy system and other utilities, the location of the ETS and related service connections are confirmed by Engineering and the applicant at the servicing agreement stage. The Engineering Department also requires the applicant to register a statutory right-of-way and Section 219 Restrictive Covenant over the subject site for the following purposes:
 - City access to, and maintenance and operation of, the ETS within the buildings and any infrastructure between the buildings and the property line; and
 - to prevent conflicts with other utilities.
 - Prior to the issuance of each building permit, the Engineering Department will confirm that the applicant has met the requirements of the "City Centre District Energy System By-law".

DESIGN PROPOSAL AND REVIEW

- The site plan shows three proposed buildings. Two buildings are 6 storeys in height along the west portion of the site and a stepped 12- to 8-storey building flanking King George Boulevard.

Proposed Office/Complex Care Building

- The 12-storey building is similar in building height and form to the Surrey Memorial Hospital to the east of King George Boulevard.
- The base of the proposed 12-storey building is set back from the upper storeys and articulated with a colonnade to provide a lighter expression of the building at grade and to increase the amount of open space at this level. A solid wall with windows is used on the next 6 floors which are proposed for medical offices and research facilities. The central atrium space is glazed at both ends and is provided with horizontal louvers on the south side for solar shading. Daylight from above and at both ends of the atrium provides a strong sense of orientation within the building.

- The upper four floors contain the assisted living portion of the building and are glazed to provide expansive views for residents. A variety of horizontal and vertical solar shading devices articulate the lighter expression of the upper floors. A roof garden at the 9th floor level will be a key focal point for the residents. The other focal point will be the common dining area, located at the east side of the building.
- The blue, green and clear glass in the dining area creates a cascading water effect that defines the location where the new creek connects to the old.
- At the office levels, the glass waterfall becomes a staircase/garden element. A series of garden spaces will be created every two floors to serve as an amenity and to encourage people to use the stairs. The intent is to animate this element of the building, to mark the entrance to the site and to serve as a memory point along King George Boulevard.
- The mixed-use building is proposed to be constructed at a LEED Gold standard.

Multiple-Unit Residential Buildings

- The proposed 6-storey buildings have been designed to complement the 12-storey building. The main entrance and indoor amenity are located at the south end of each building and are expressed as vertical planar and mass elements. Large roof overhangs and corner balcony planes offer a sense of shelter and provide solar shading. The length of the buildings is articulated by a balcony screen element. The screen element creates a solid wall expression and produces the effect of a recessed building base and upper floor level.
- The 6-storey buildings are proposed to be constructed to a minimum of a LEED for Homes – Midrise – Gold standard.
- The building entry areas have large paved areas to facilitate access into the building with benches for street watching and waiting for pick-up. The eastern building entry has a pergola structure with vine plantings to provide shade for residents waiting for pick-up or people watching.
- The private patios on the ground floor of the two low-rise buildings include private gates, fences, hedgerow planting and patio pavers to provide a quaint and private space for each unit.
- The ground level garden court located between the two low-rise buildings provides a gardenlike walking experience for residents.
- A series of circuitous pathways will wind around beds of ornamental bermed planting that will provide seasonal interest. A series of raised planters have been placed in the southern-most area near the street to provide residents the opportunity to plant and tend vegetables, herbs or additional ornamental plant materials. Benches and an outdoor dining area will be included to enhance the usability of this area for small groups.

ADVISORY DESIGN PANEL (Appendix VIII)

ADP Date: May 28, 2015

The development proposal proceeded to the ADP on May 28, 2015. The applicant has provided written confirmation that they endeavor to resolve the design items prior to consideration of Final Adoption of the OCP Amendment and Rezoning By-laws and General Development Permit approval. The responses were reviewed by staff and found acceptable to proceed. Furthermore, Council approval of detailed Development Permits will be required prior to building permit issuance.

PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

Pursuant to Section 879 of the Local Government Act, it was determined that it was not necessary to consult with an persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

PRE-NOTIFICATION

Two notification signs were installed by the applicant on the road frontages (King George Boulevard and 95 Avenue/135 Street). Pre-notification letters were mailed out on May 13 and May 29, 2015 to all property owners within a 100-metre (300 ft.) radius of the subject site, along with the residents of the subject mobile home park.

Staff received 1 phone call, 2 e-mails and met with one property owner (residing outside of the mobile home park), in response to the first pre-notification letter. Concerns raised included an increase in traffic, loss of wildlife habitat, removal of trees and flooding and drainage issues of the mobile home park.

On Wednesday, May 27, 2015, the applicant held an informal information session at the subject site to advise the residents of the development proposal and to provide information regarding their proposed relocation plan. Planning and Development Department staff were in attendance as observers. Staff met personally with some of the residents of the mobile home park, who indicated their concern regarding the proposed redevelopment of the site, the proposed displacement of the residents and the lack of communication between the developer and the residents, given a recent accidental partial demolition of a vacant mobile home on the site. One resident provided staff a tour of his mobile home, identifying previous flooding levels, damage sustained to his home caused by the flooding and mitigation to deal with future flooding.

On May 29, 2015, staff met with representatives of the BC Manufactured Home Association, along with one resident of the mobile home park, to discuss concerns regarding the drainage issues on-site, the reported negligence of the previous park owner, the lack of communication by the current owner (WestStone) with the residents regarding their development intentions, as well as express frustration with on-site drainage and flooding issues.

Staff have received 28 letters from the residents of the "Park Mobile Court" manufactured home park (the subject site). Generally, all of the residents who submitted comments are opposed to the mobile home park site being redeveloped. The concerns are summarized as follows, with staff comments in italics as applicable:

- Many of the residents are disabled or are seniors who are required to live in close proximity to the Surrey Memorial Hospital and associated services for medical care.
- Access to transit is paramount for the many seniors and low income residents.
- As many residents receive low incomes or are pensioners, living at the subject mobile home park provides an affordable housing option, which will be difficult to find elsewhere.
- Many residents have invested and have existing mortgages which exceed the amount of 1-year's rent, which is what the developer is reportedly currently offering as compensation.
- Many feel that the previous owner's lack of maintenance of the subject site has caused the depreciation of the units, especially as floods have caused damage and mold in the units. This is a concern as the current owner is looking at compensating the tenants at fair market value.
- Residents would like to be given assessed value for their homes. Concern about how "fair market value" is to be determined.
- The majority of the existing homes cannot be moved to another mobile home park, as they are too old. This leaves little option for tenants.
- Request that the City of Surrey implement a by-law or policy which protects tenants of mobile home parks, much like that of the City Coquitlam.

An affordable housing strategy is in the 2015 work plan for the Planning and Development Department. Such a strategy would review all forms of affordable housing within the City including manufactured homes.

- Residents feel that the City of Surrey has been negligent in assisting the residents of the "Park", when the City has been repeatedly contacted over the years, regarding the flooding and drainage issues within the "Park".

Any maintenance work within the subject site is the responsibility of the owner. The City does not complete work on privately owned sites, nor is there an easement in place to allow City staff to access the site.

Residents from "Park Mobile Court" also submitted a petition on June 10, 2015, which identifies 64 signatures representing 36 of the 41 occupied units and one additional signature from a resident outside of the subject site. The concerns are identified as follows:

- The residents do not wish to see the mobile home park redeveloped and are concerned about where the residents will go.
- There is a concern regarding the loss of equity given that some residents still hold mortgages on the homes.
- Concern regarding the loss of affordable housing in the City.

- Request that the City of Surrey consider a policy similar to the City of Coquitlam's, to assist in helping the mobile home owners at risk of having the site redeveloped. However, if the site has to be redeveloped, there should be policy to ensure that the mobile home owners receive adequate compensation once the 12 months' notice is issued.
- Concern over the loss of wildlife habitat.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	OCP Amendment Map
Appendix III.	Proposed Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix IV.	Engineering Summary
Appendix V.	WestStone Group's Proposed Relocation Plan
Appendix VI.	Proposed CD By-law
Appendix VII.	District Energy Service Area Map
Appendix VIII.	ADP Comments and Applicant's Responses

INFORMATION AVAILABLE ON FILE

- Environmental Report Prepared by Libor Michalak, R.P.Bio. of Pinchin West dated May 5, 2015.
- Complete Set of Architectural and Landscape Plans prepared by Integra Architecture Inc. and PWL Partnership, respectively, dated June 9, 2015

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

PL/da

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DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based upon RM-70, RMS-2 and C-35)

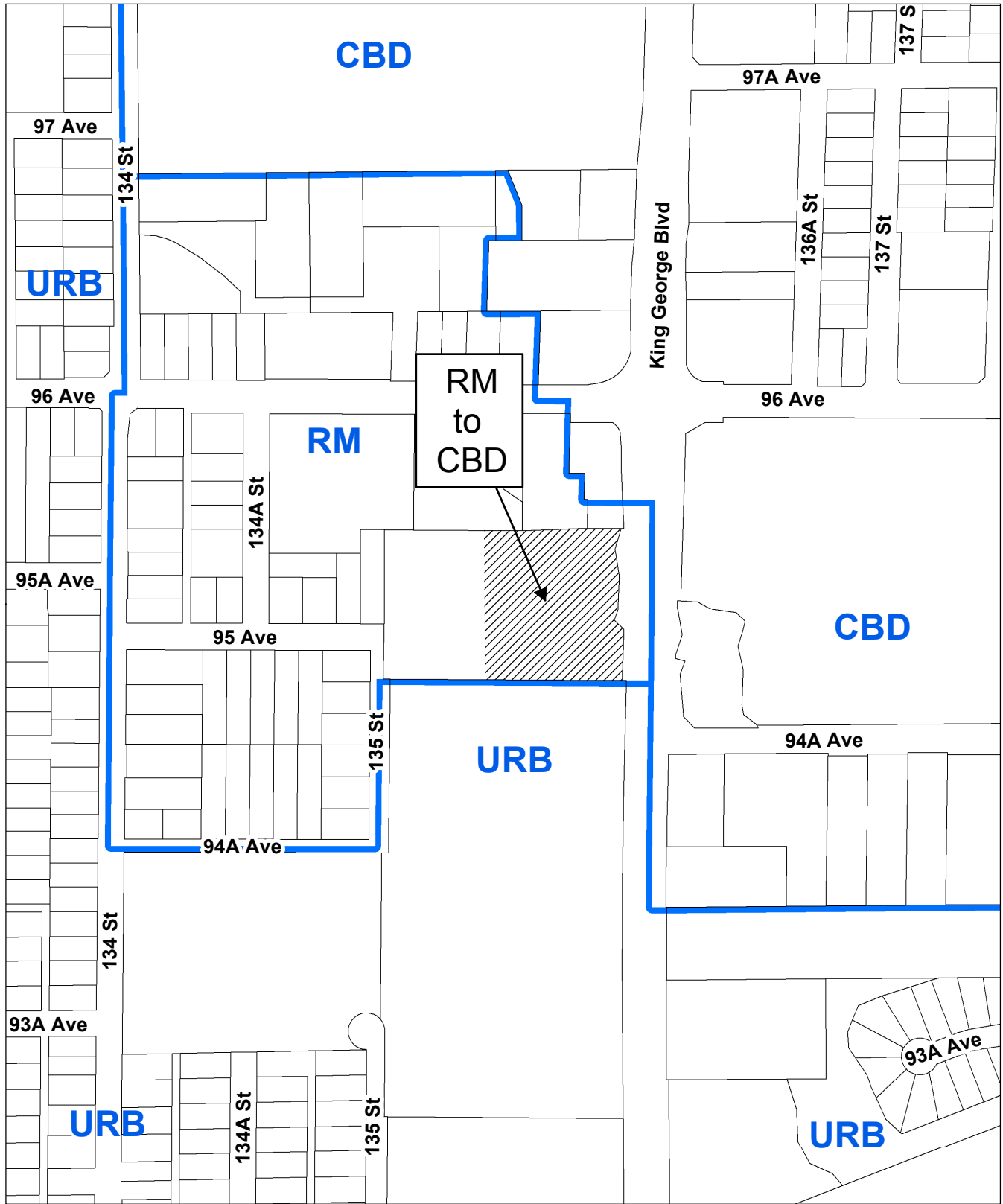
Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		20,627 sq.m.
Road Widening area		
Undevelopable area		
Net Total (including road dedication areas)		Block A: 8,469 sq.m. Block B: 7,159 sq.m. Block C: 4,999 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage		Block A: 76% Block B: 48%
SETBACKS (in metres)		
Front		4.5 m
Rear		7.5 m
Side		4.5 m
BUILDING HEIGHT (in metres/storeys)		
Principal		Block A: 52 metres Block B: 22 metres
Accessory		4.5 metres
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		184
Two Bedroom		18
Three Bedroom +		
Total		202
FLOOR AREA: Residential		12,394 sq.m.
FLOOR AREA: Commercial		29,555 sq.m.
Retail		
Office		
Total		
FLOOR AREA: Industrial		N/A
FLOOR AREA: Institutional		140 units / 9,600 sq.m.
TOTAL BUILDING FLOOR AREA		51,549 sq.m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		N/A
# of units/ha /# units/acre (net)		N/A
FAR (gross)		2.5
FAR (net) Western portion (Block B)		2.5
FAR (net) Eastern portion (Block A)		6.2
TOTAL FAR (net)		4.6
AMENITY SPACE (area in square metres)		
Indoor	606 sq.m.	606 sq.m.
Outdoor	606 sq.m.	606 sq.m.
PARKING (number of stalls)		
Commercial	761	883
Industrial		N/A
Residential Bachelor + 1 Bedroom	191	191
2-Bed	22	22
3-Bed		
Residential Visitors	32	32
Institutional	86	
Total Number of Parking Spaces	1,092	1,128
Number of disabled stalls	11	11
Number of small cars	273	187
Tandem Parking Spaces: Number / % of Total Number of Units		n/a
Size of Tandem Parking Spaces width/length		n/a

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----



OCP Amendment 7915-0114-00
Proposed amendment from Multiple Residential
to Central Business District





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416 WEST PENDER STREET
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 T 604.688.4220 F 604.688.4270
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 ADP DATE: MAY 28, 2015

PERSPECTIVE

14341 [PROJECT]

NTS [SCALE]

JUNE 9, 2015 [DATE]

3 - RESPONSE TO ADP [DRAWN]

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PERSPECTIVE

 [PROJECT]

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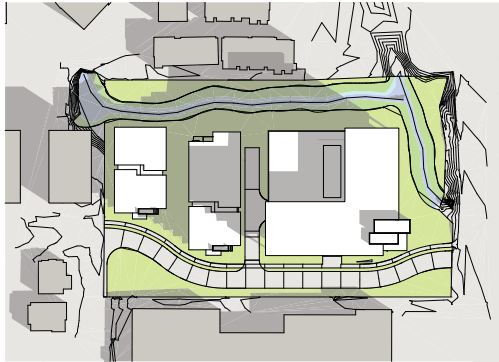
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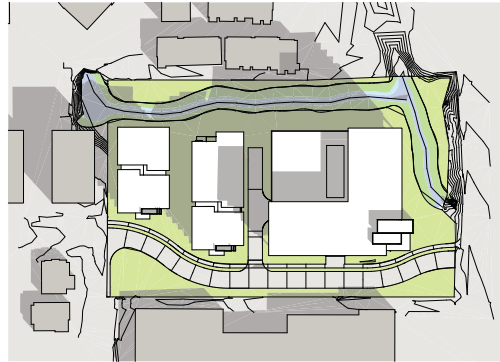
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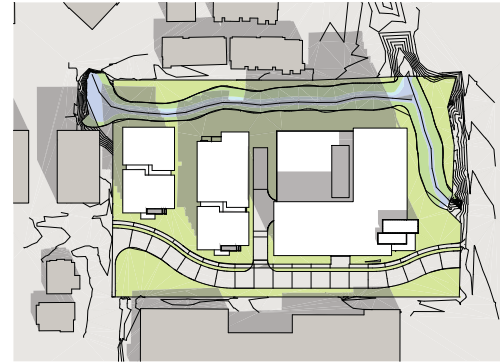
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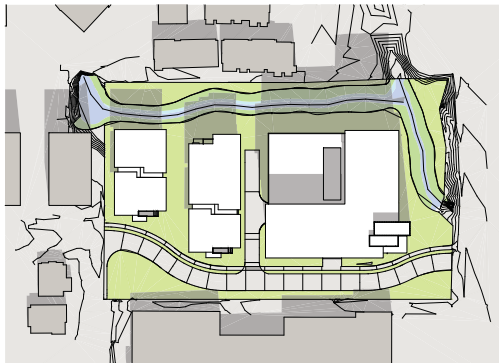
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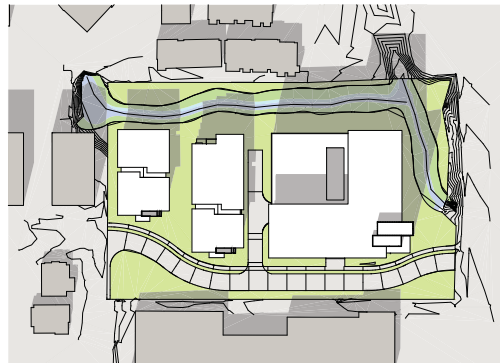
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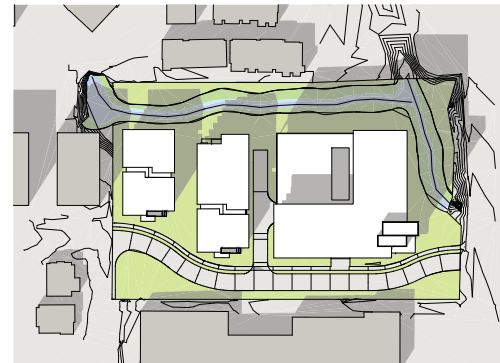
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MARCH 21 - 2:00 PM PDT (GMT-7)



MARCH 21 - 3:00 PM PDT (GMT-7)



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STUDIES -
MARCH 21**

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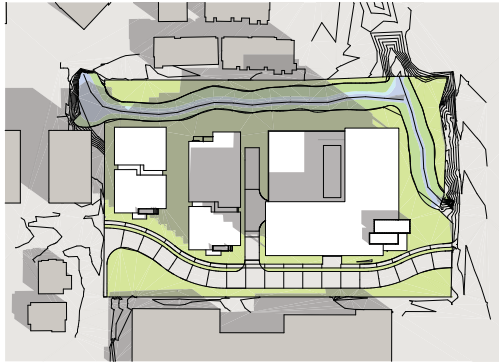
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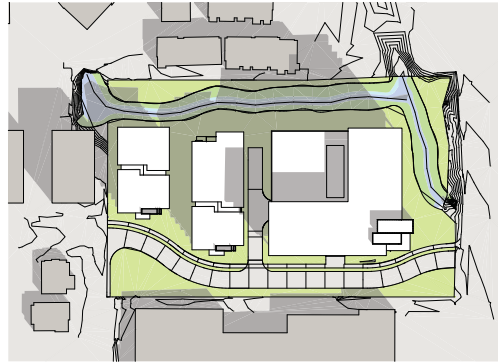
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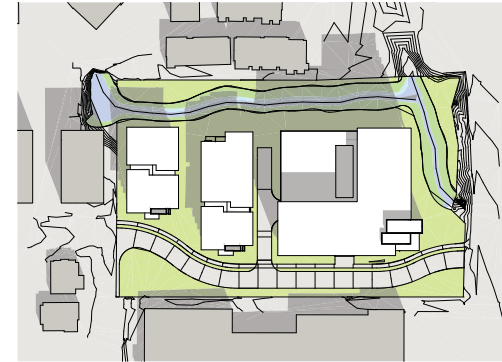
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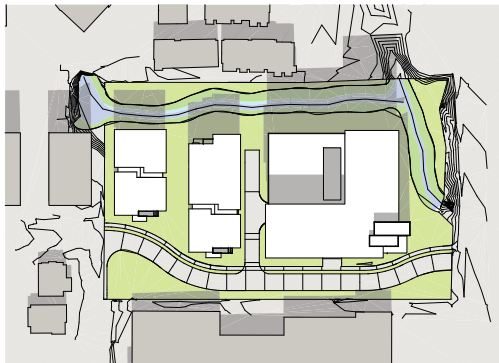
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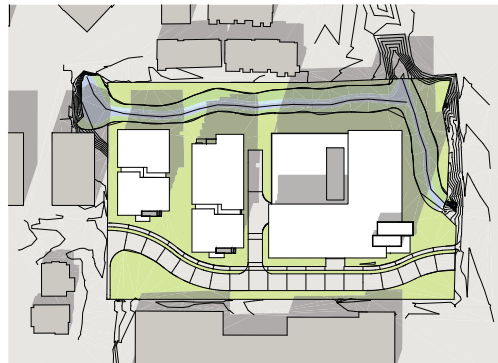
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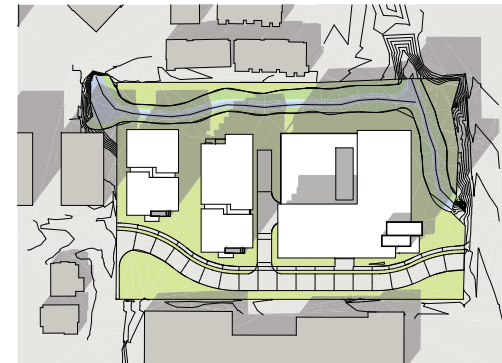
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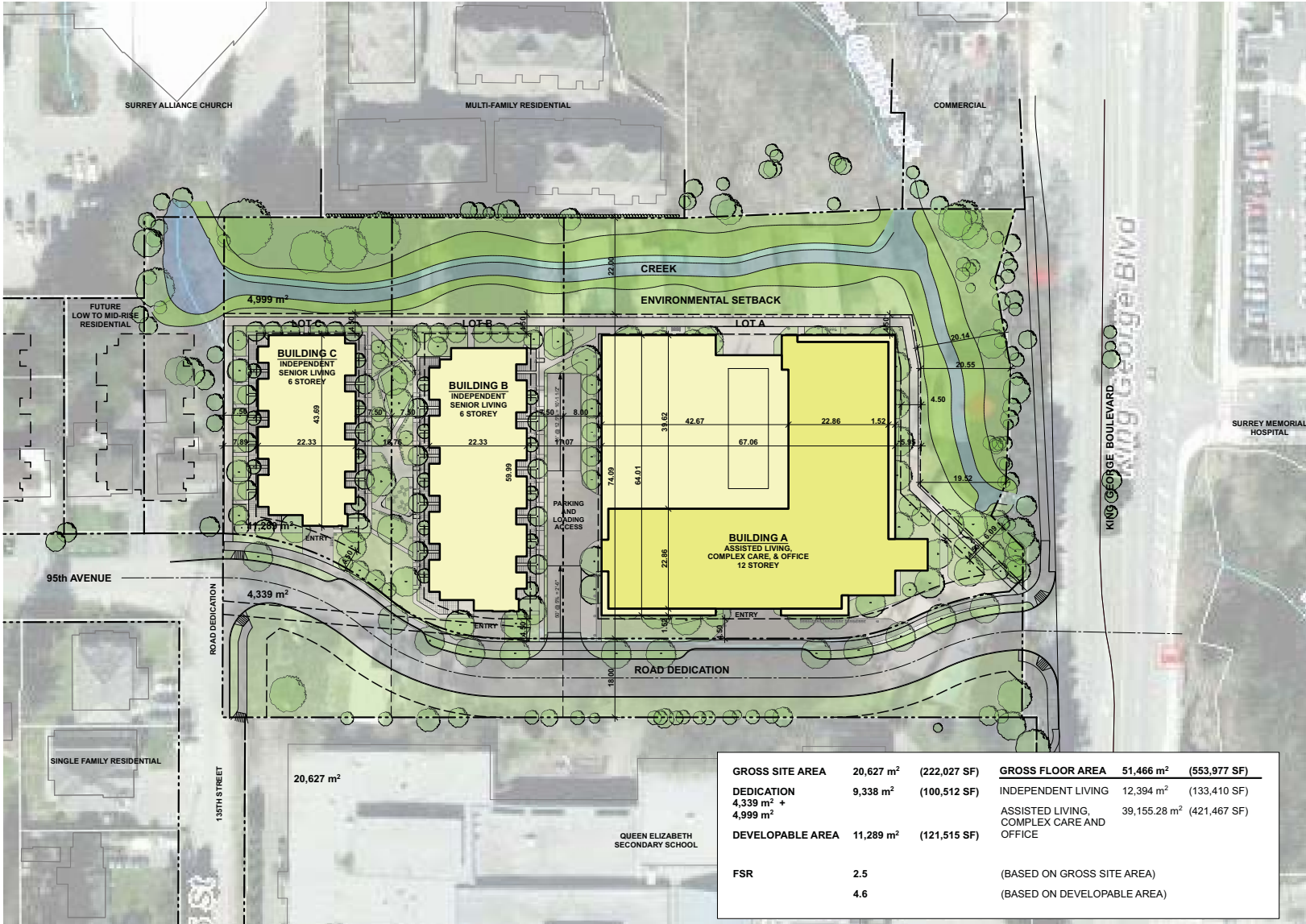
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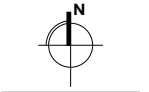
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GROSS SITE AREA	20,627 m ²	(222,027 SF)	GROSS FLOOR AREA	51,466 m ²	(553,977 SF)
DEDICATION	4,339 m ²	(100,512 SF)	INDEPENDENT LIVING	12,394 m ²	(133,410 SF)
	4,999 m ²		ASSISTED LIVING, COMPLEX CARE AND OFFICE	39,155.28 m ²	(421,467 SF)
DEVELOPABLE AREA	11,289 m ²	(121,515 SF)			
FSR	2.5	(BASED ON GROSS SITE AREA)			
	4.6	(BASED ON DEVELOPABLE AREA)			



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SITE PLAN

14341 (PROJECT)

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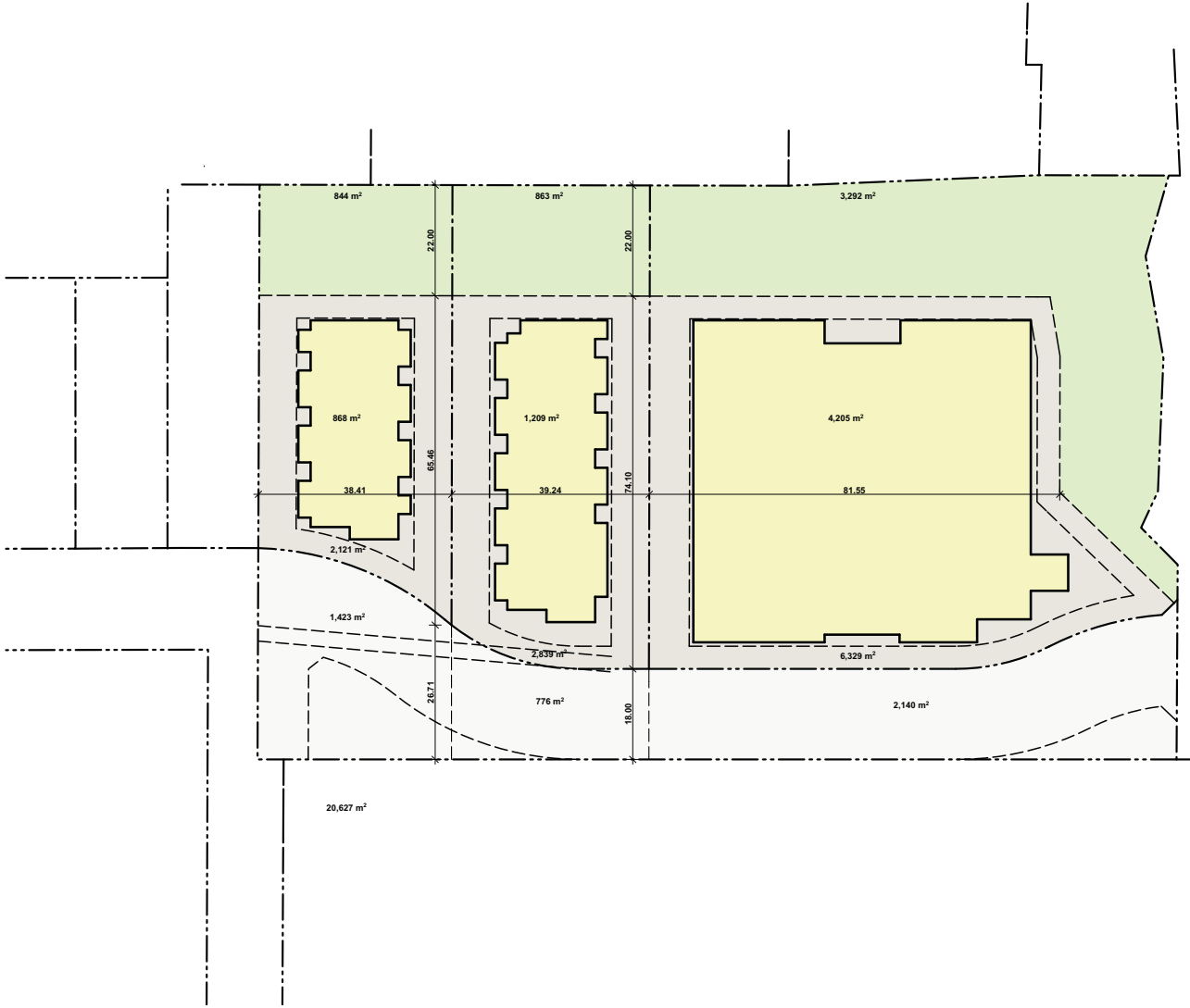
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SITE AREAS

14341 [PROJECT]

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JUNE 9, 2015 [DATE]

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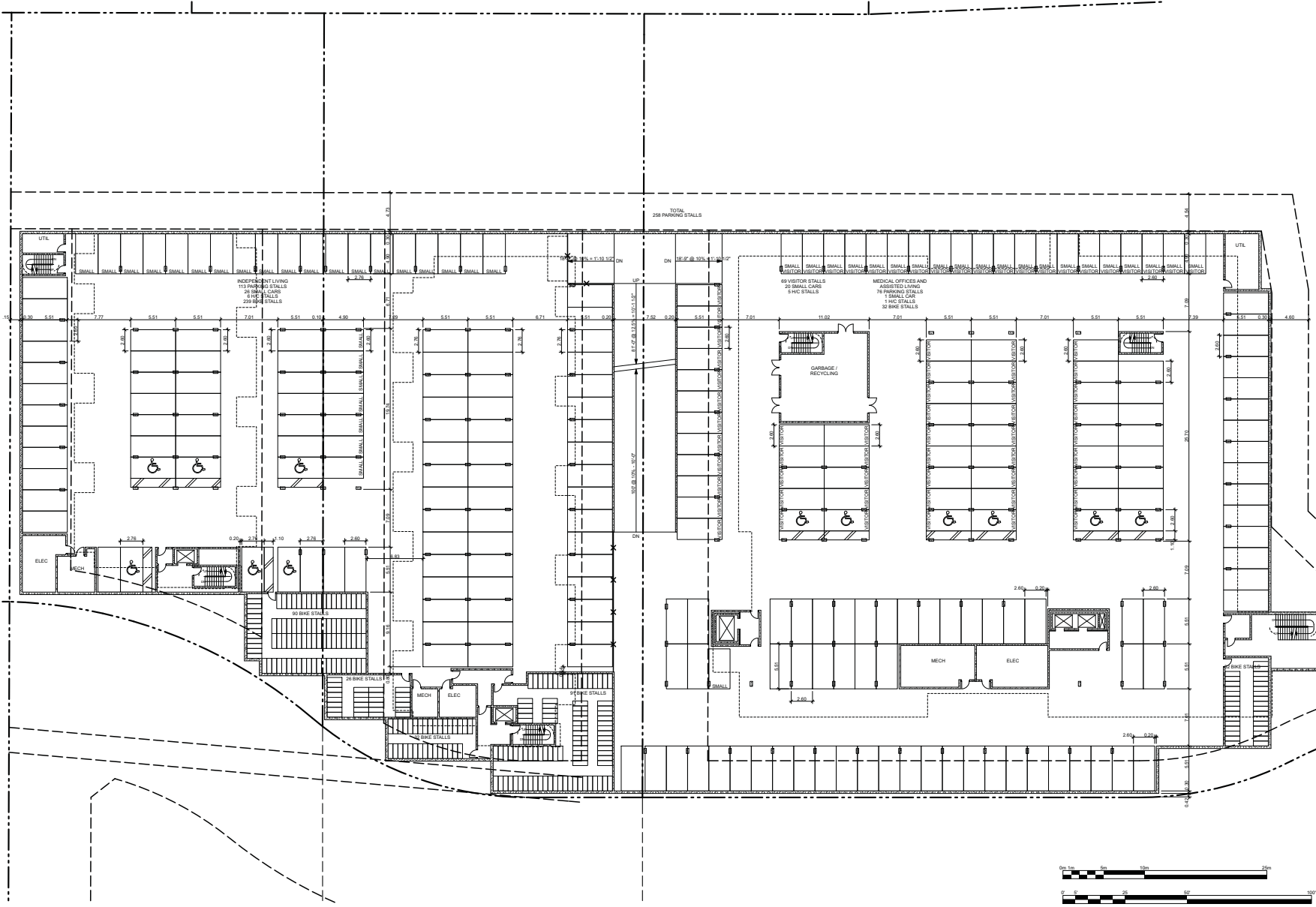
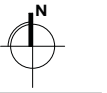
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P1 PARKING PLAN

14341 (PROJECT)

1:200 (SCALE)

JUNE 9, 2015 (DATE)

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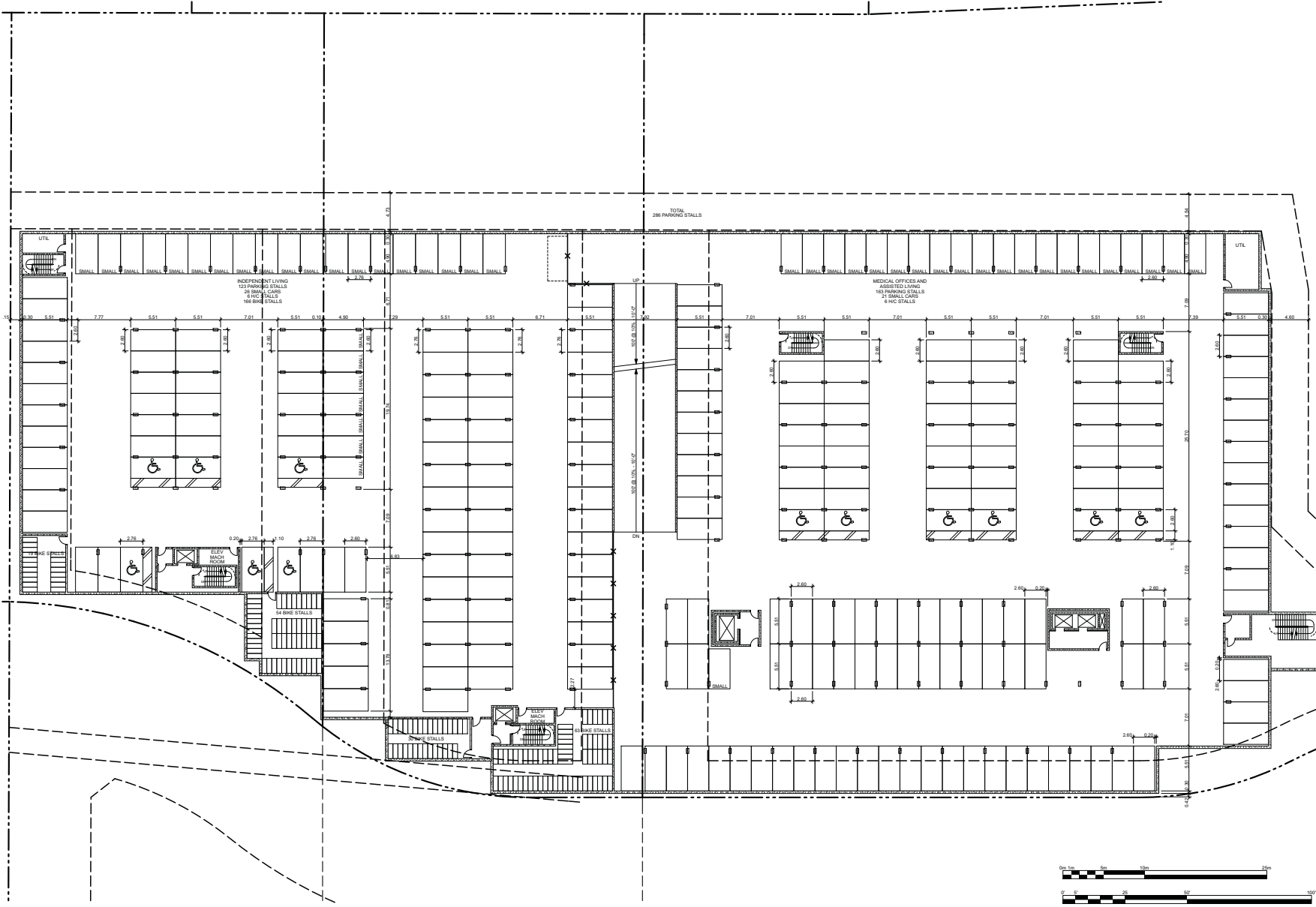
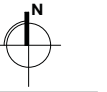


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P2 PARKING PLAN

14341 (PROJECT)
 1:200 (SCALE)
 JUNE 9, 2015 (DATE)
 3 - RESPONSE TO ADP (DRAWN)
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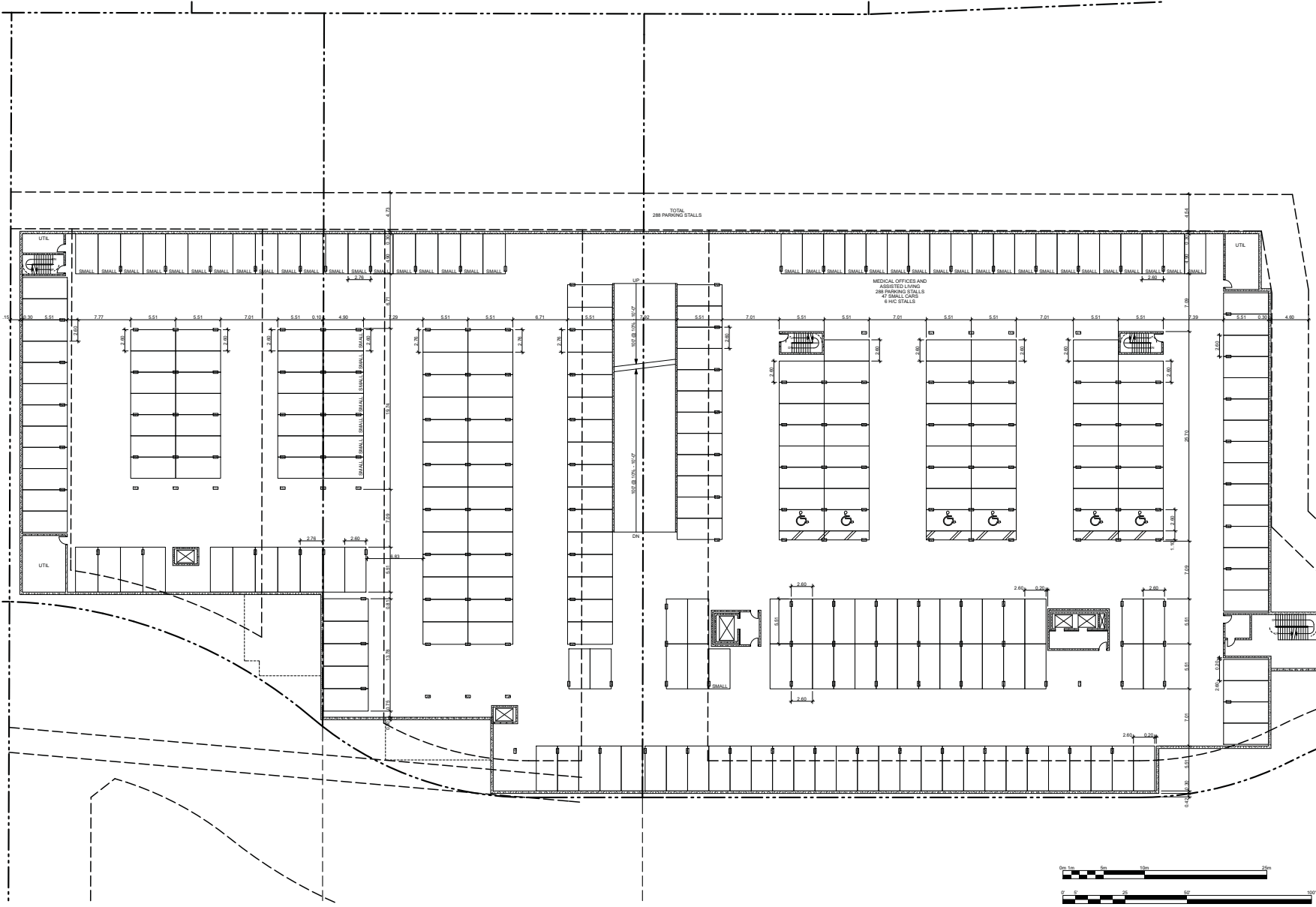
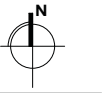
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(TITLE)

P3 PARKING
PLAN

14341 (PROJECT)

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JUNE 9, 2015 (DATE)

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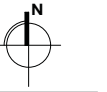
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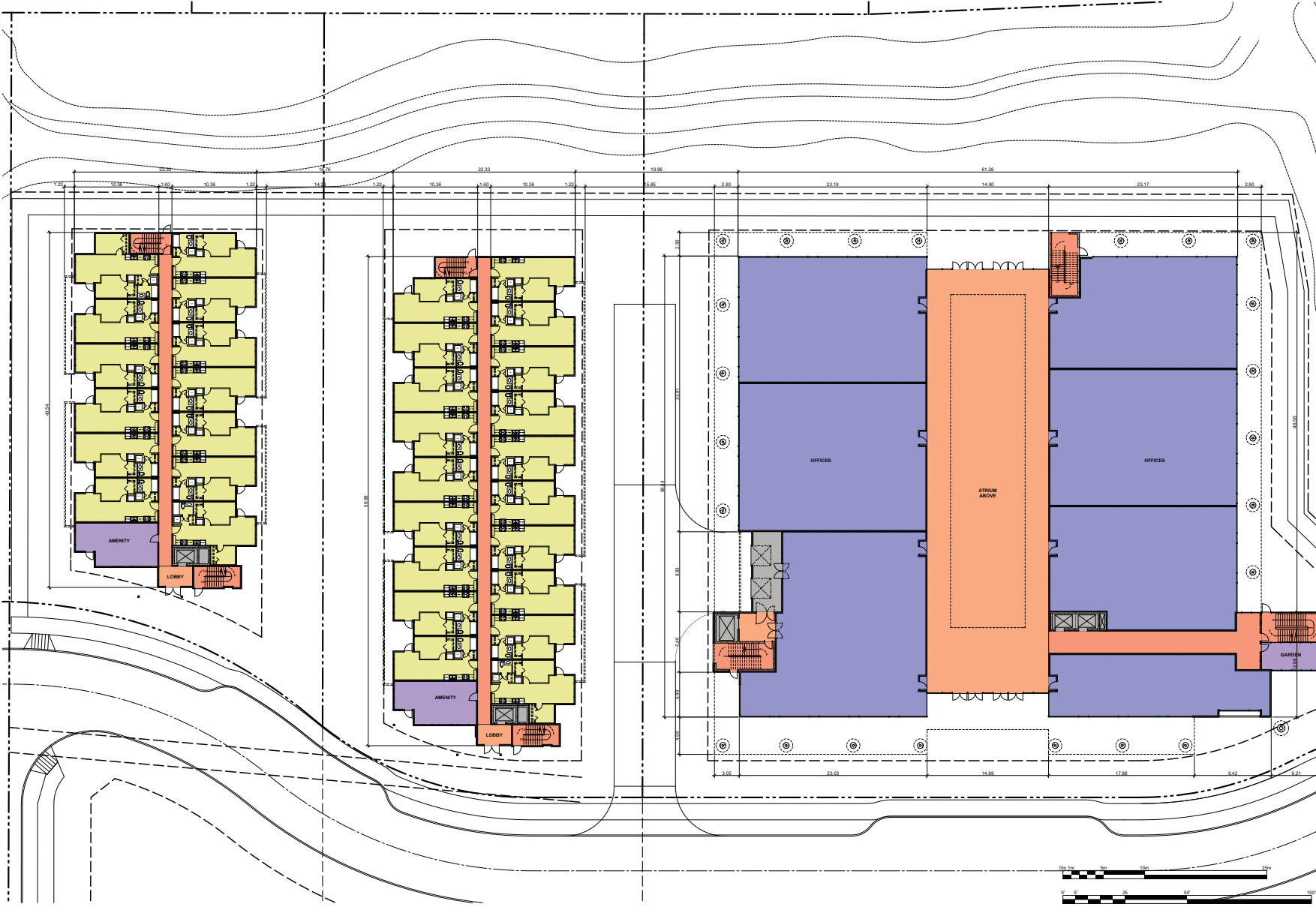
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GROUND FLOOR PLAN

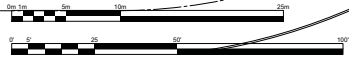
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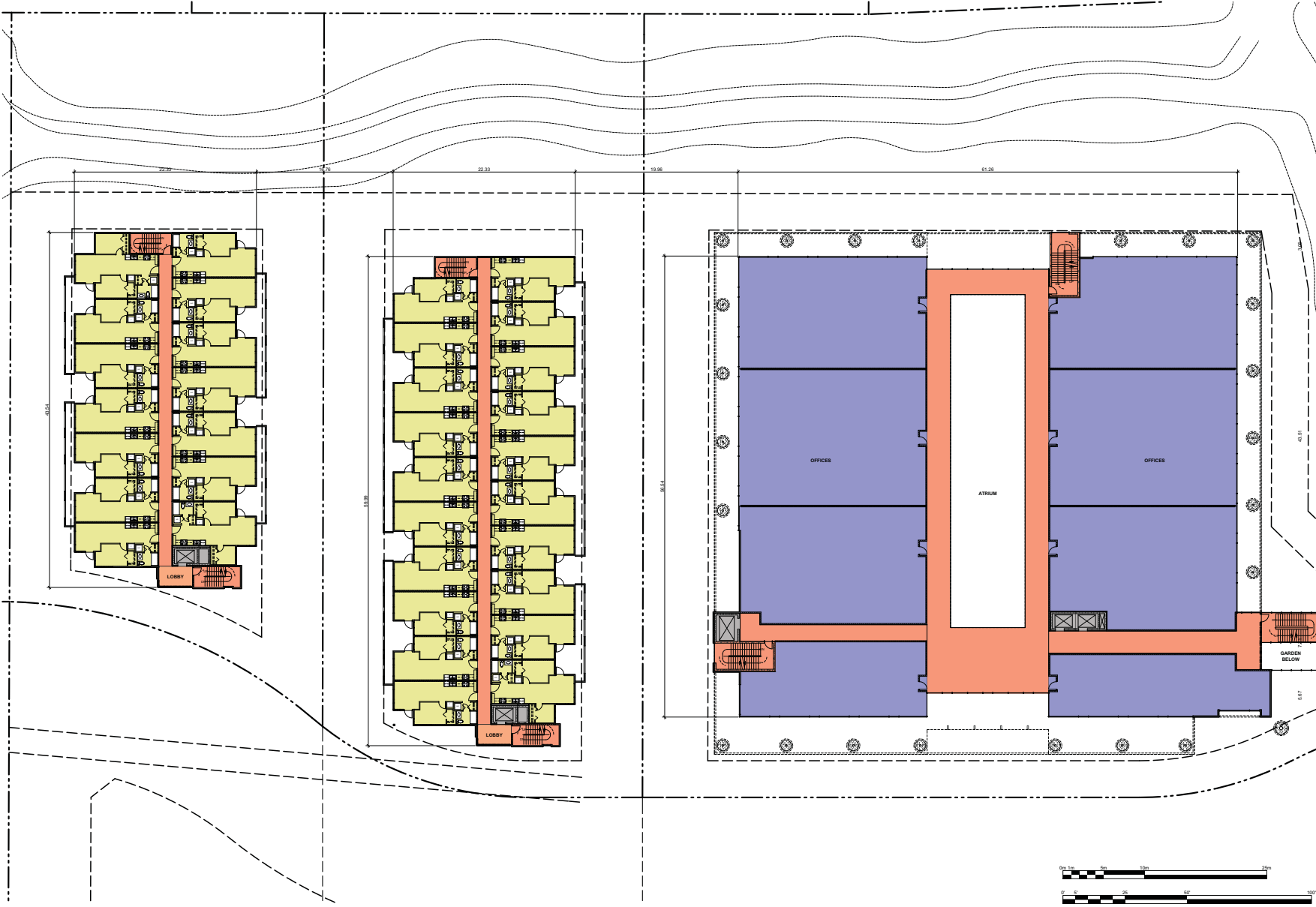
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2ND FLOOR PLAN

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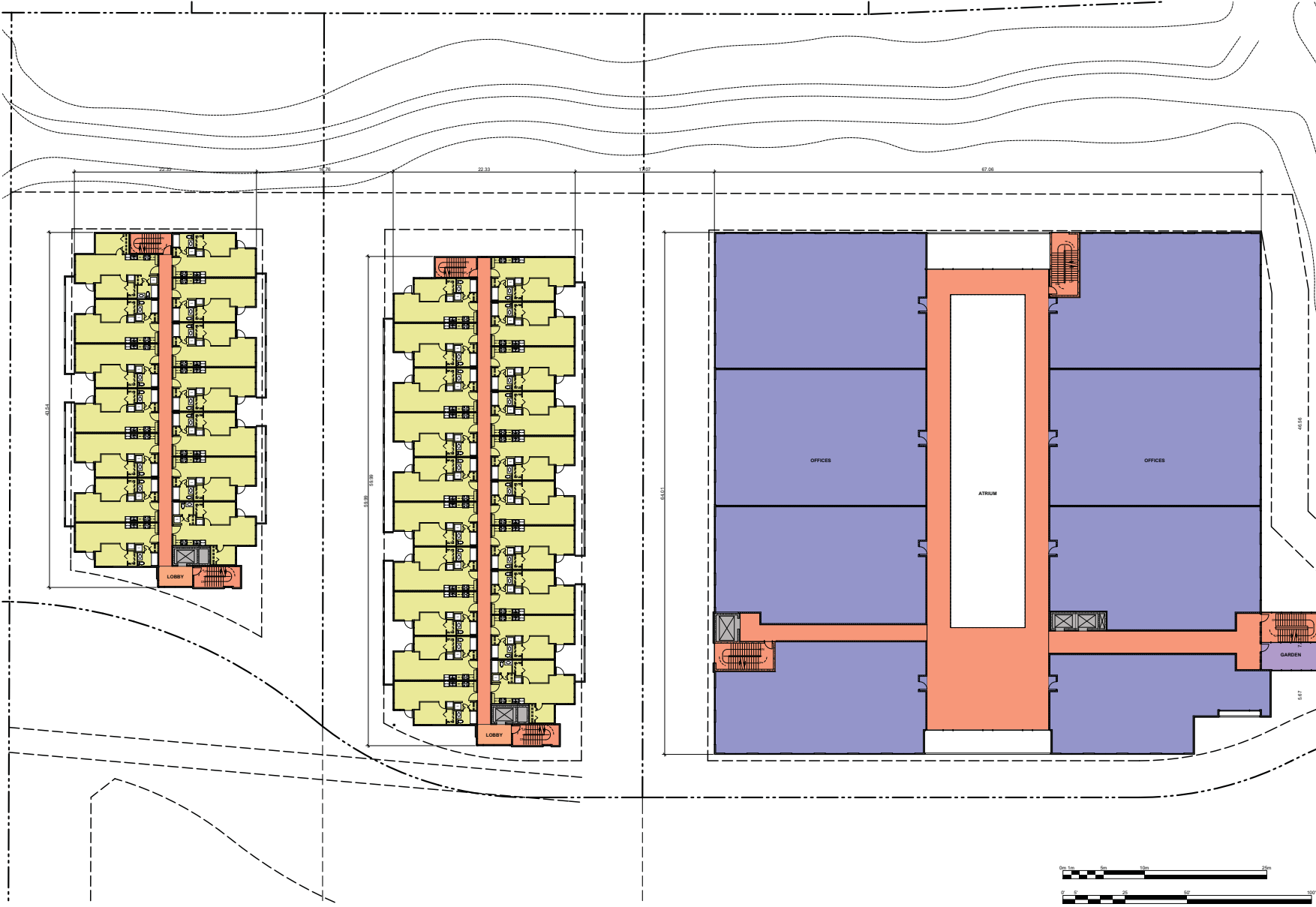
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 FILE: 7315-0114-00
 ADP DATE: MAY 28, 2015

[TITLE]

3RD FLOOR PLAN

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 JUNE 9, 2015 [DATE]
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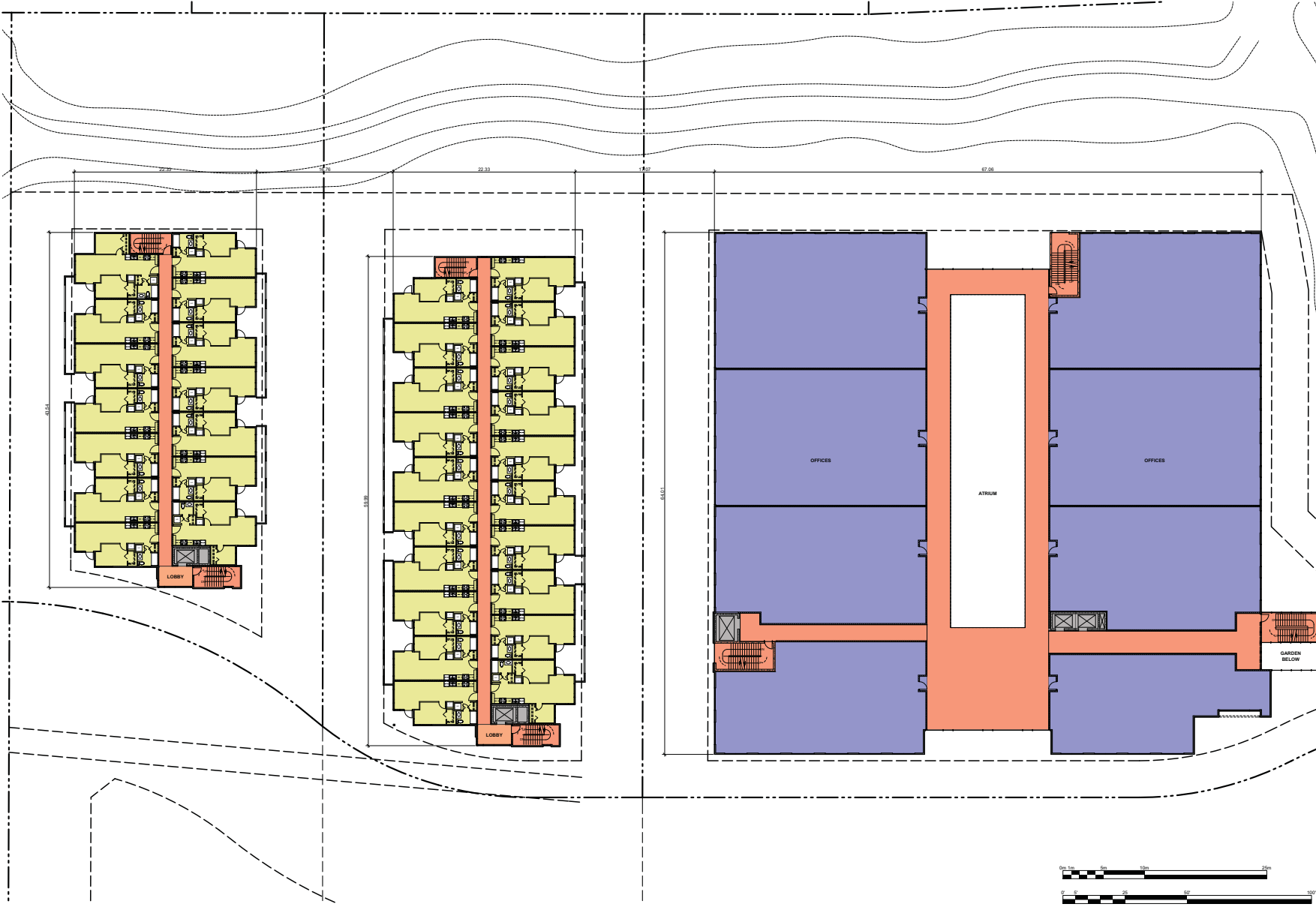
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WESTSTONE GROUP
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 ADP DATE: MAY 28, 2015
 [TITLE]

4TH FLOOR PLAN

14341 [PROJECT]
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 JUNE 9, 2015 [DATE]
 3 - RESPONSE TO ADP [DRAWN]
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 - SERVICE

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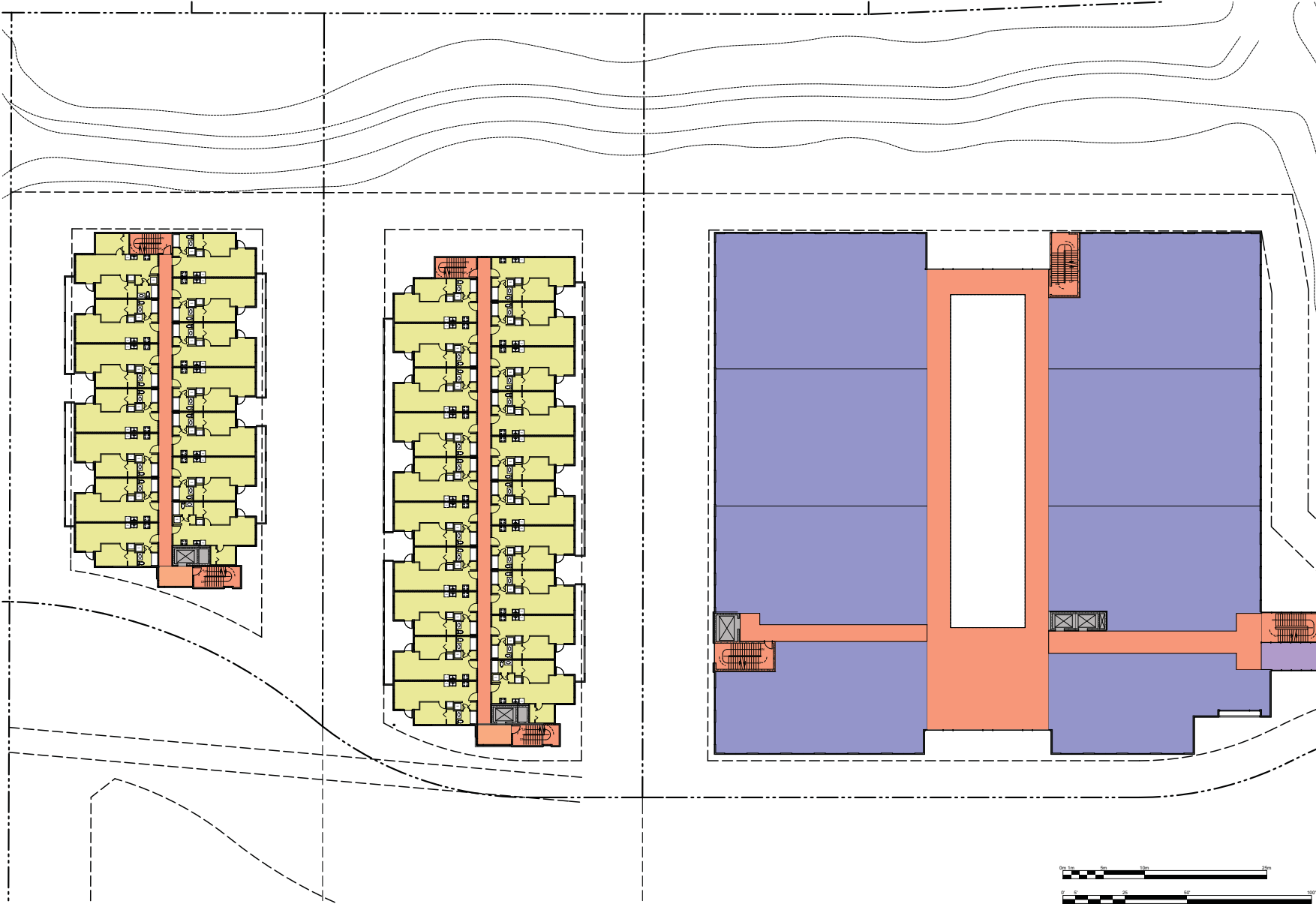
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WESTSTONE GROUP
 [PROJECT]

MIXED USE CARE
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 SURREY, BC
 FILE: 7315-0114-00
 ADP DATE: MAY 28, 2015
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5TH FLOOR PLAN

14341 [PROJECT]
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 JUNE 9, 2015 [DATE]
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 - AMENITY
 - LOBBY
 - CIRCULATION
 - SERVICE

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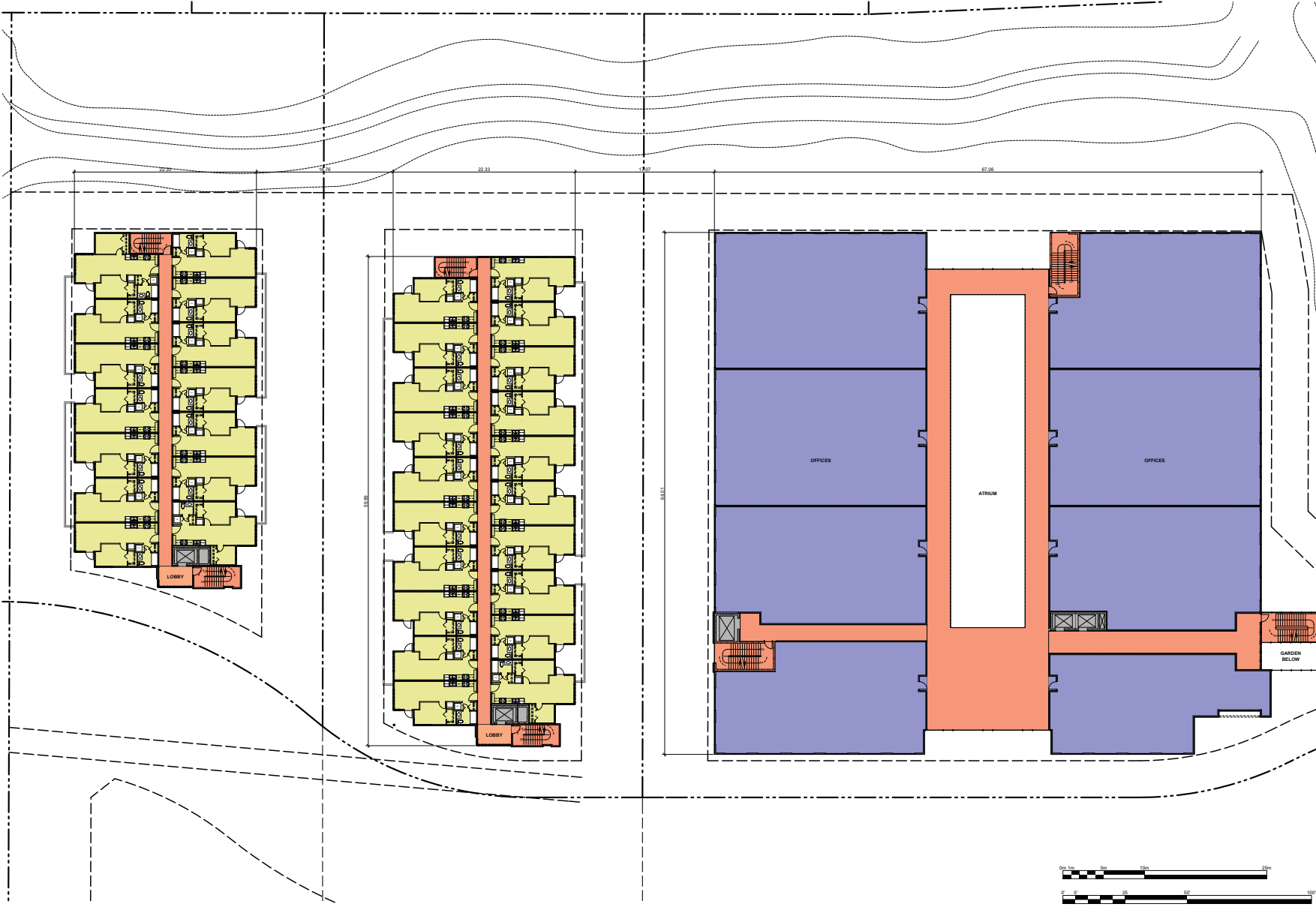
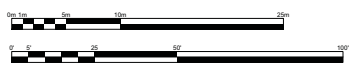
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WESTSTONE GROUP
 [PROJECT]

MIXED USE CARE
 9525 KING GEORGE BLVD.,
 SURREY, BC
 FILE: 7315-0114-00
 ADP DATE: MAY 28, 2015
 [TITLE]

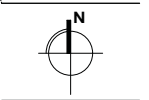
6TH FLOOR PLAN

14341 [PROJECT]
 1:200 [SCALE]
 JUNE 9, 2015 [DATE]
 3 - RESPONSE TO ADP [DRAWN]
 [DRAWING]





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[ARCHITECT SEAL]

[CLIENT]

WESTSTONE GROUP

[PROJECT]

MIXED USE CARE

9525 KING GEORGE BLVD.,
 SURREY, BC

FILE: 7315-0114-01

ADP DATE: MAY 28, 2015

[TITLE]

7TH FLOOR PLAN

14341 [PROJECT]

1:200 [SCALE]

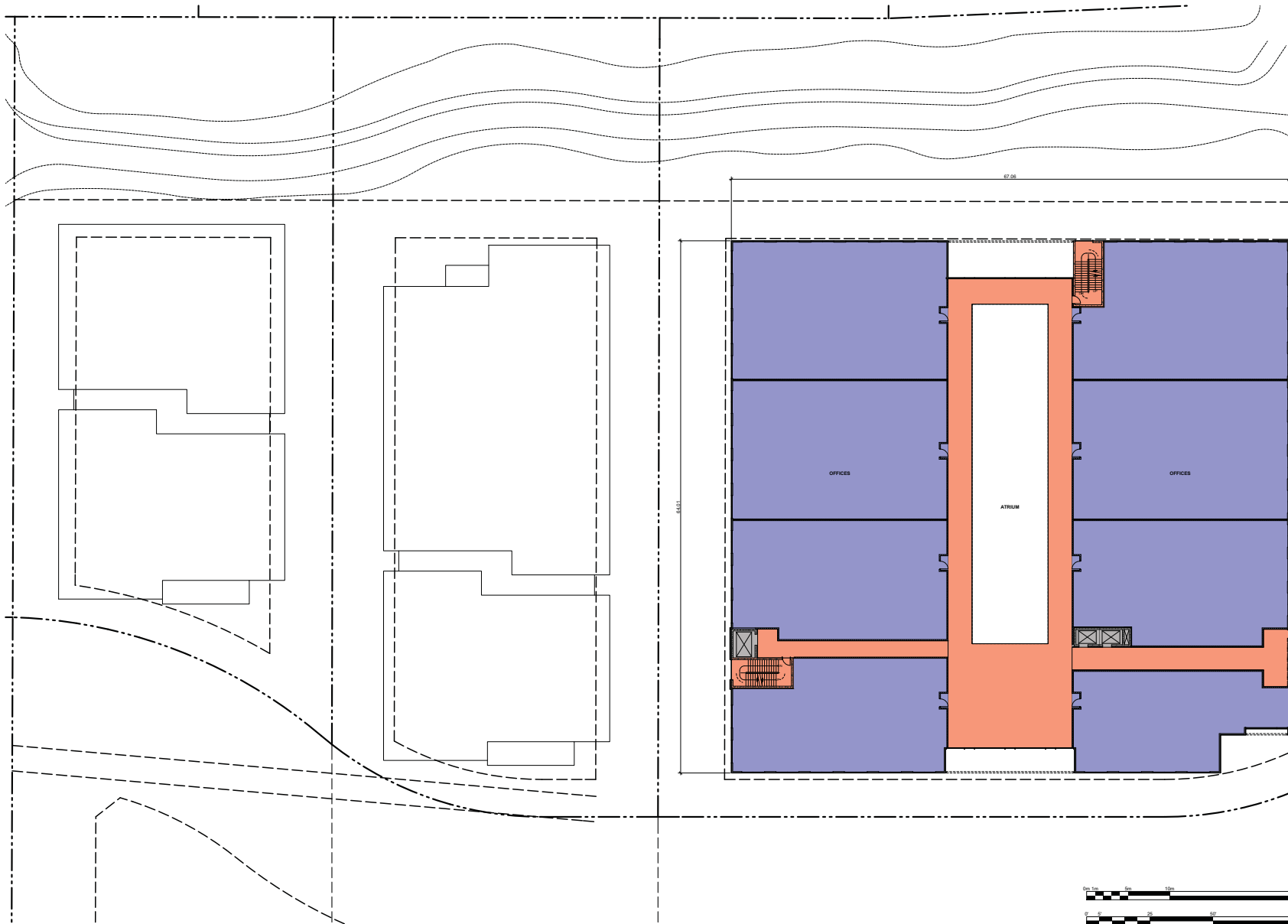
JUNE 9, 2015 [DATE]

3 - RESPONSE TO ADP [DRAWN]

[DRAWING]

A-2.070





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[CLIENT]
WESTSTONE GROUP

[PROJECT]
MIXED USE CARE

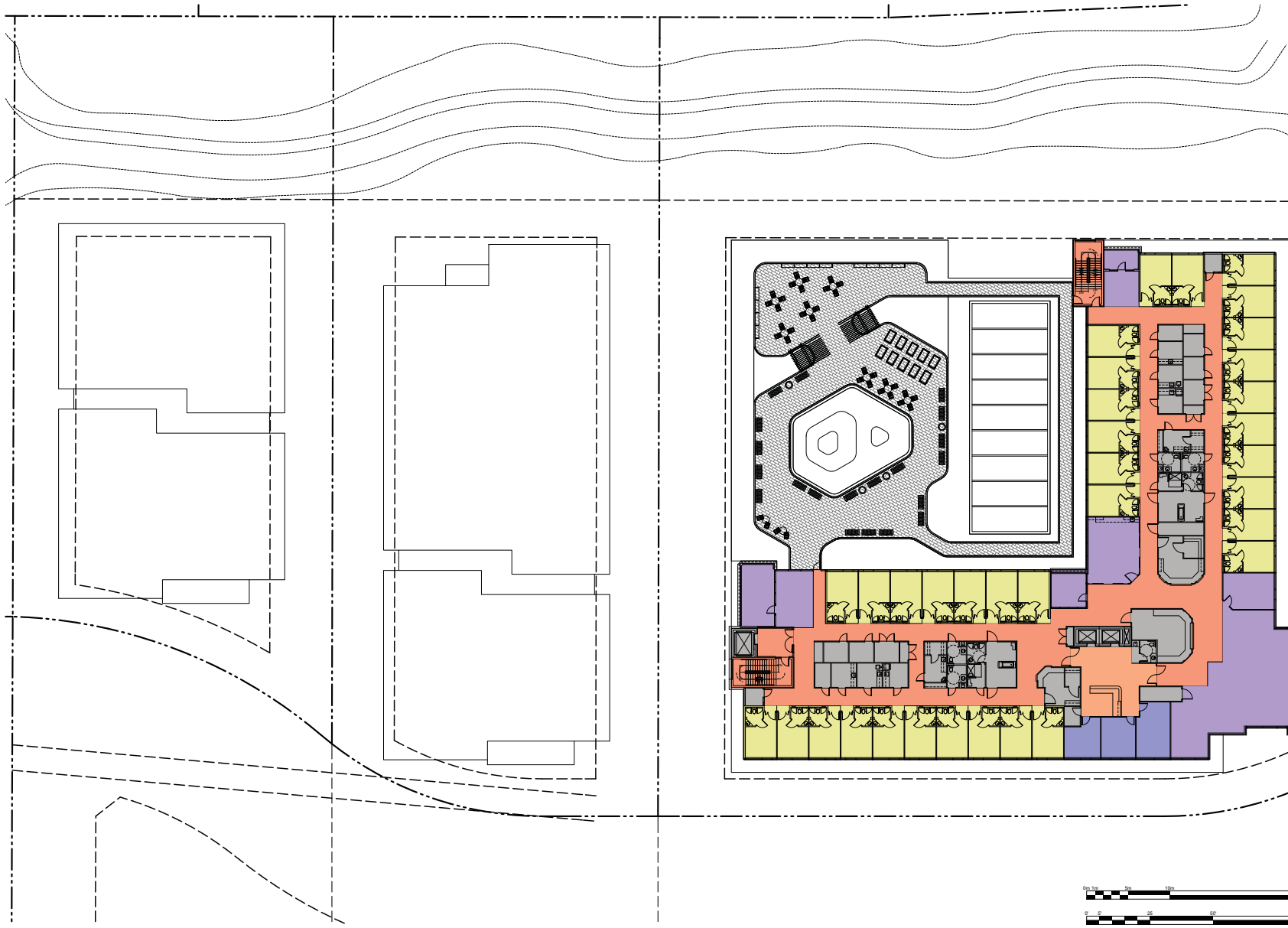
9525 KING GEORGE BLVD.,
 SURREY, BC
 FILE: 7315-0114-00
 ADP DATE: MAY 28, 2015

8TH FLOOR PLAN

14341 [PROJECT]
 1:200 [SCALE]
 JUNE 9, 2015 [DATE]
 3 - RESPONSE TO ADP [DRAWN]
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A-2.080



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WESTSTONE GROUP

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9525 KING GEORGE BLVD.,
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 FILE: 731E-0114-00
 ADP DATE: MAY 28, 2015

9TH FLOOR PLAN

14341 [PROJECT]

1:200 [SCALE]

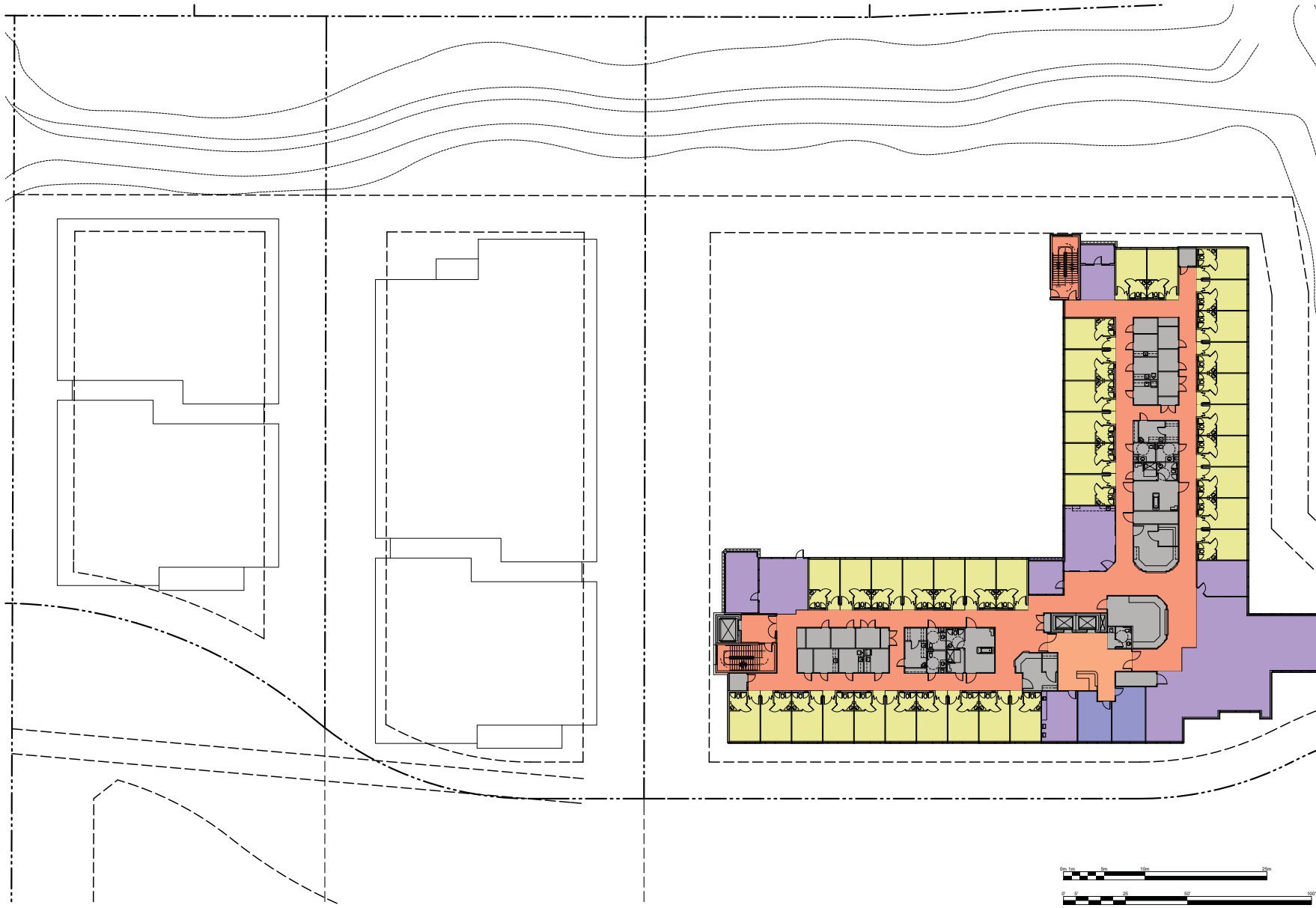
JUNE 9, 2015 [DATE]

3 - RESPONSE TO ADP [DRAWN]

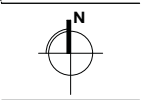
[DRAWING]



A-2.090



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[PROJECT]

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FILE: 7315-0114-00

ADP DATE: MAY 28, 2015

[TITLE]

10TH FLOOR PLAN

[PROJECT]

14341

[SCALE]

1:200

[DATE]

JUNE 9, 2015

[DRAWN]

3 - RESPONSE TO ADP

[DRAWING]



A-2.100



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[CLIENT]

WESTSTONE GROUP

[PROJECT]

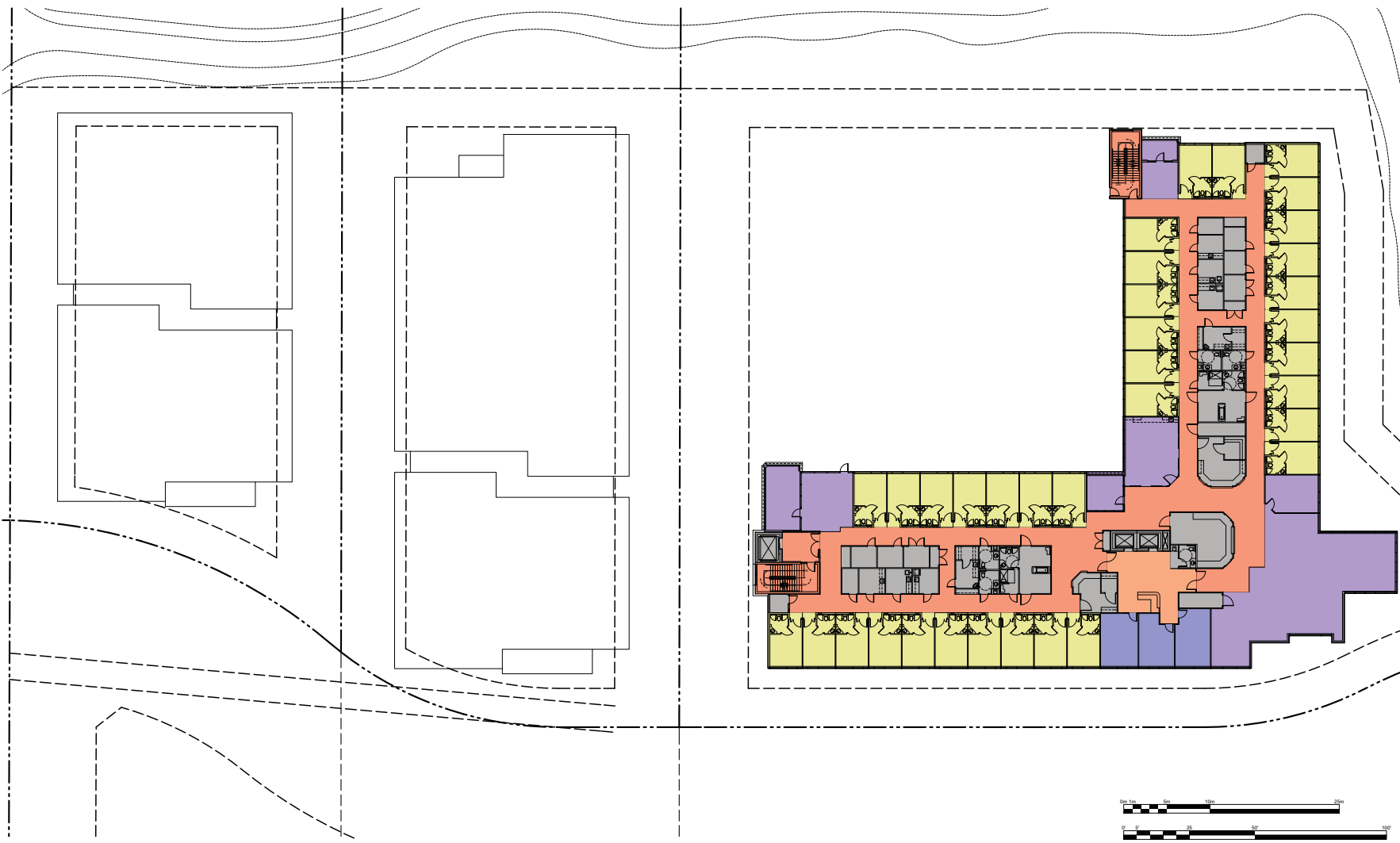
MIXED USE CARE

9525 KING GEORGE BLVD.,
 SURREY, BC
 FILE: 7315-0114-00
 ADP DATE: MAY 28, 2015

[TITLE]

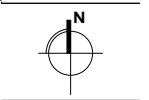
11TH FLOOR PLAN

14341 [PROJECT]
 1:200 [SCALE]
 JUNE 9, 2015 [DATE]
 3 - RESPONSE TO ADP [DRAWN]
 [DRAWING]





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[ARCHITECT SEAL]

[CLIENT]

WESTSTONE GROUP

[PROJECT]

MIXED USE CARE

9525 KING GEORGE BLVD.,

SURREY, BC

FILE: 7315-0114-00

ADP DATE: MAY 28, 2015

[TITLE]

12TH FLOOR PLAN

14341 [PROJECT]

1:200 [SCALE]

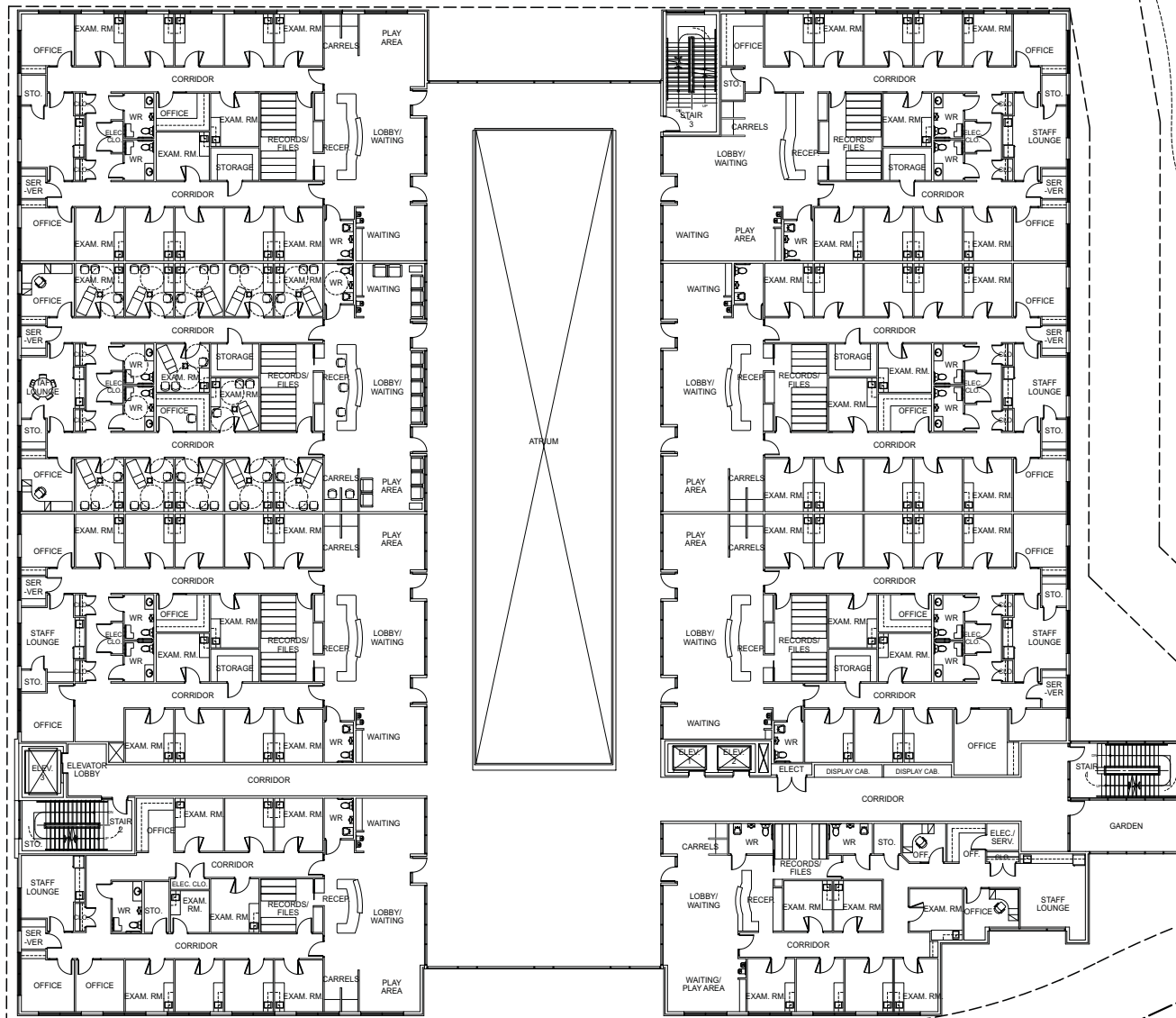
JUNE 9, 2015 [DATE]

3 - RESPONSE TO ADP [DRAWN]

[DRAWING]



A-2.120



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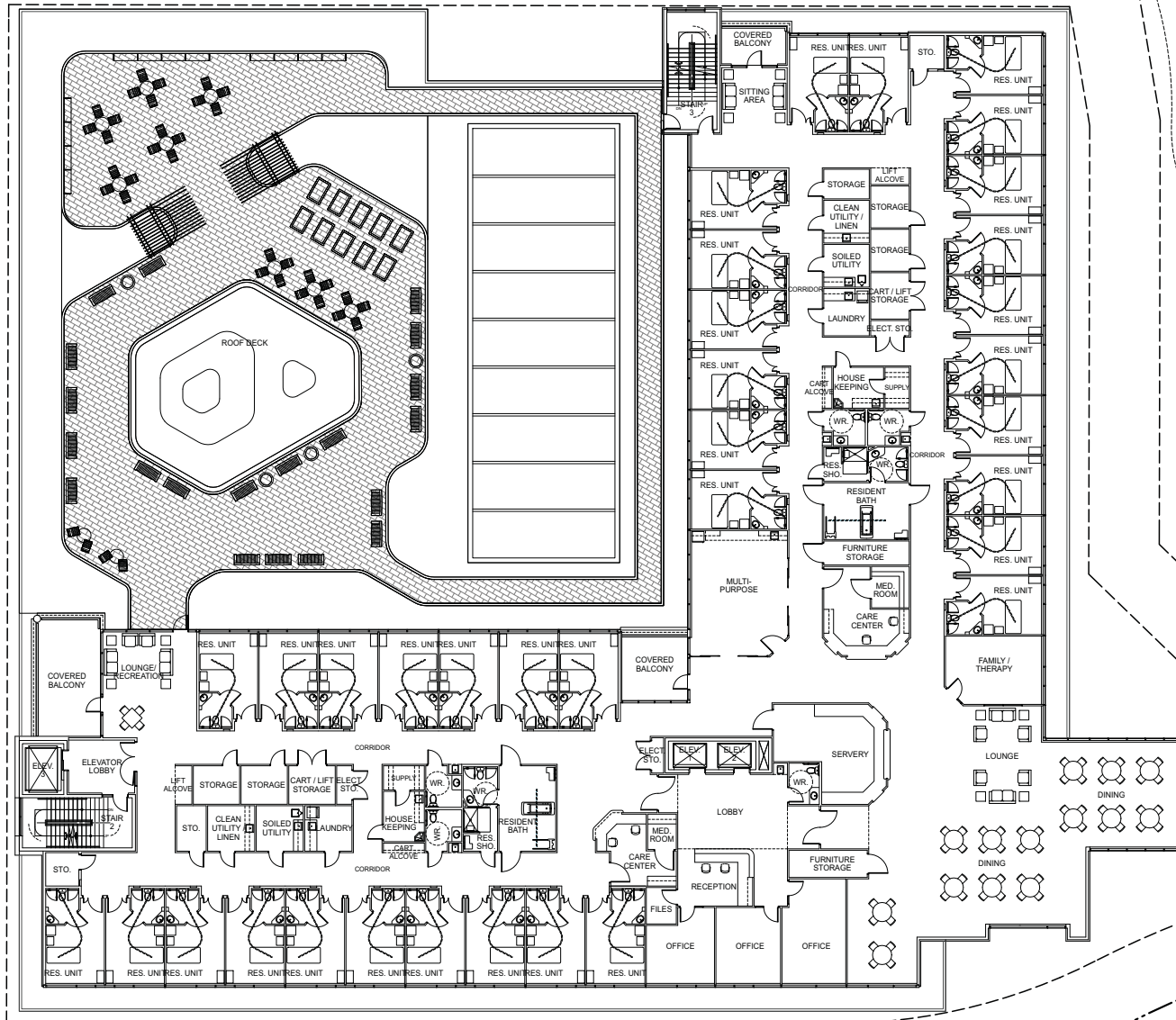
 (CLIENT)

WESTSTONE GROUP
 (PROJECT)

MIXED USE CARE
 9525 KING GEORGE BLVD.,
 SURREY, BC
 FILE: 7915-0114-00
 ADP DATE: MAY 29, 2015
 (TITLE)

MEDICAL OFFICE PLAN

14341 (PROJECT)
 1:125 (SCALE)
 JUNE 9, 2015 (DATE)
 3 - RESPONSE TO ADP (DRAWN)
 (DRAWING)



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WESTSTONE GROUP

(PROJECT)

MIXED USE CARE

9525 KING GEORGE BLVD.,
SURREY, BC
FILE: 7315-0114-00
ADP DATE: MAY 28, 2015

(TITLE)

ASSISTED LIVING PLAN

14341 _____ (PROJECT)

1:125 _____ (SCALE)

JUNE 9, 2015 _____ (DATE)

3 - RESPONSE TO ADP _____ (DRAWN)

(DRAWING)

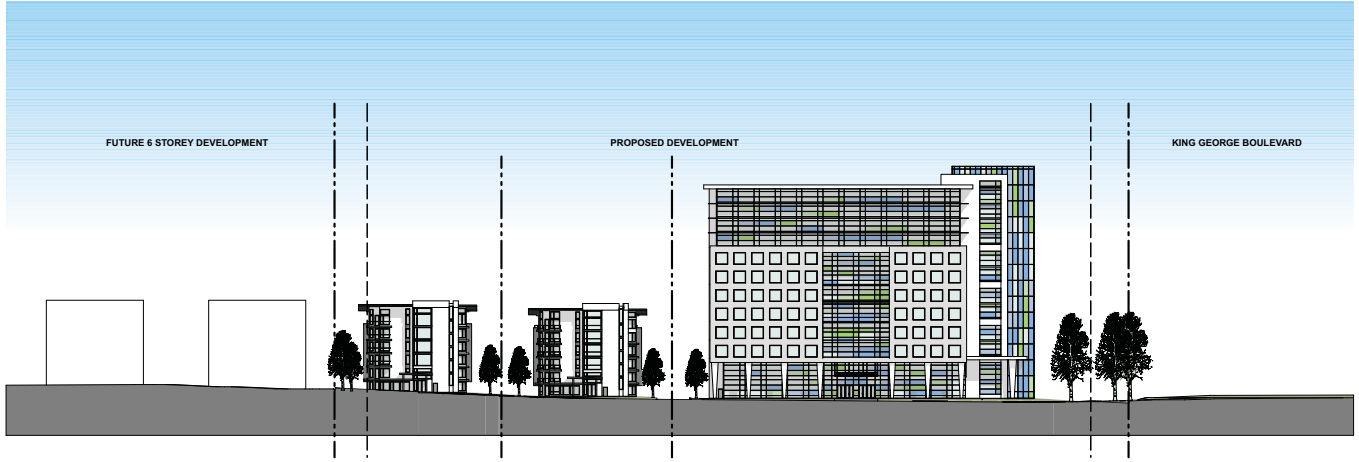
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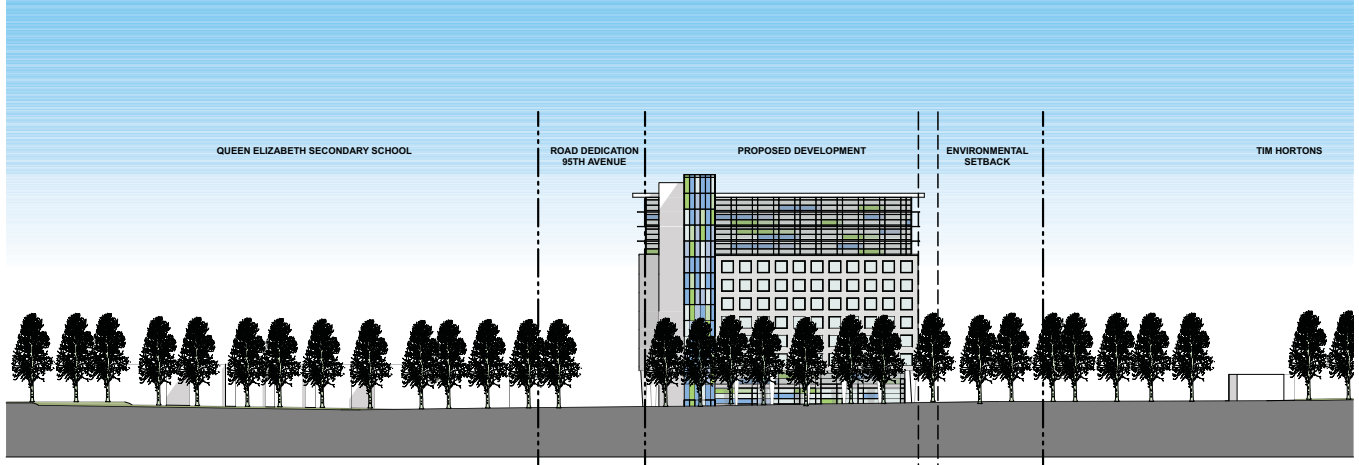
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STREETSCAPE - SOUTH ELEVATION



STREETSCAPE- EAST ELEVATION

[ARCHITECT SEAL]

[CLIENT]

WESTSTONE GROUP

[PROJECT]

MIXED USE CARE

9505 KING GEORGE BLVD.,
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STREETSCAPE
 ELEVATIONS

14341 [PROJECT]

1:500 [SCALE]

JUNE 9, 2015 [DATE]

3 - RESPONSE TO ADP [SHEET]

[DRAWING]

A-3.000



LOT A - SOUTH ELEVATION



LOT A - EAST ELEVATION

BLDG A MATERIAL & COLOUR LEGEND

Colour	Manufacturer	Colour to match - Reference No.	Elements
A	Alucobond	Zinc natural / Designer Series	Panel cladding @ exterior walls
B	Alucobond	Alabaster PVCF 2 / Glass 30	Panel cladding @ exterior walls and vertical shade
C	Metal	In match '0'	Horizontal shades
D	Charcoal	Alabaster PVCF 2 / Glass 30	Curtain wall frame
E	White	White	Curtain wall spandrel panel
F	Clear	Clear	Curtain wall vision glass
G1	Light Green	Light Green	Curtain wall vision glass
G2	Green	Green	Curtain wall vision glass
H1	Light Blue	Light Blue	Curtain wall vision glass
H2	Blue	Blue	Curtain wall vision glass
I	Charcoal	Charcoal	Double glazed vinyl windows
J	Black	DuraCoat Powder	Black Aluminum/glass railing @ balconies



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[CLIENT]
WESTSTONE GROUP
 [PROJECT]
MIXED USE CARE
 9525 KING GEORGE BLVD.,
 SURREY, BC
 FILE: 7315-0114-00
 ADP DATE: MAY 28, 2015
 [TITLE]
LOT A - ELEVATIONS
 14341 [PROJECT]
 1:250 [SCALE]
 JUNE 9, 2015 [DATE]
 3 - RESPONSE TO ADP [DRAWN]
 [DRAWING]



LOT A - WEST ELEVATION



LOT A - NORTH ELEVATION

BLDG A MATERIAL & COLOUR LEGEND

Colour	Manufacturer	Colour to match - Reference No.	Elements
A	Alucobond	Zinc natural / Designer Series	Panel cladding @ exterior walls
B	Alucobond	Alucobond PVDF 2 / Glass 30	Panel cladding @ exterior walls and vertical shade
C	Metal	In match 'C'	Horizontal shades
D	Charcoal	Alucobond PVDF 2 / Glass 30	Curtain wall frame
E	White	White	Curtain wall spandrel panel
F	Clear	Clear	Curtain wall vision glass
G	Light Green	Light Green	Curtain wall vision glass
H	Green	Green	Curtain wall vision glass
I	Light Blue	Light Blue	Curtain wall vision glass
J	Blue	Blue	Curtain wall vision glass
K	Charcoal	Charcoal	Double glazed vinyl windows
L	Black	DuraCoat Powder	Black Aluminum/glass railing @ balconies



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[CLIENT]

WESTSTONE GROUP

[PROJECT]

MIXED USE CARE

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 SURREY, BC

FILE: 7315-0114-00
 ADP DATE: MAY 28, 2015

[TITLE]

LOT A - ELEVATIONS

14341 [PROJECT]

1:250 [SCALE]

JUNE 9, 2015 [DATE]

3 - RESPONSE TO ADP [DRAWN]

[DRAWING]



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WESTSTONE GROUP

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ADP DATE: MAY 28, 2015

LOT B - ELEVATIONS

14341 (PROJECT)

1:150 (SCALE)

JUNE 9, 2015 (DATE)

3 - RESPONSE TO ADP (DRAWN)

(DRAWING)

A-3.200



LOT B - WEST ELEVATION



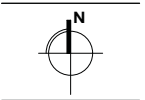
LOT B - SOUTH ELEVATION

BLDG B/C MATERIAL & COLOUR LEGEND

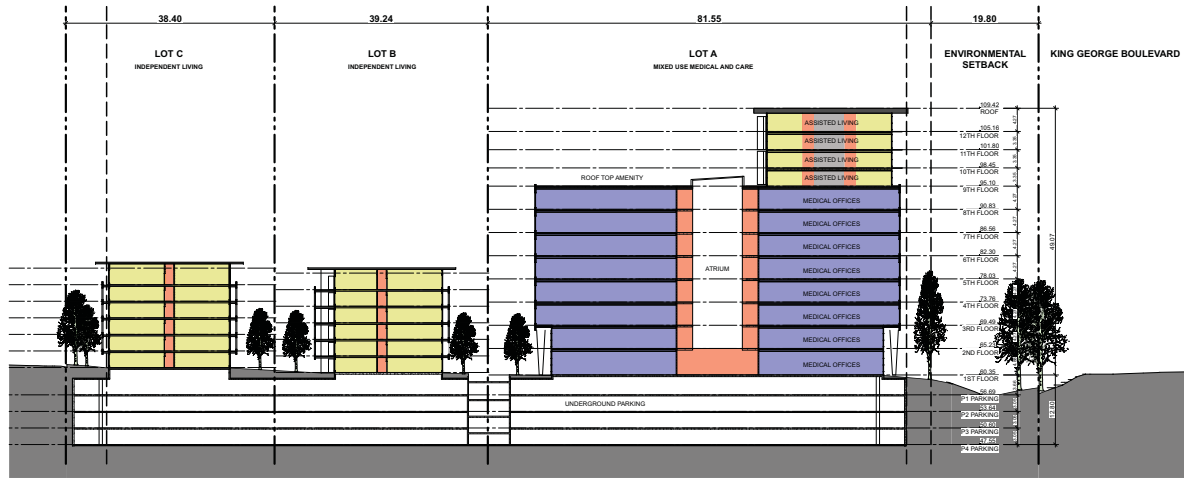
Colour	Manufacturer	Colour to match... Reference No.	Elements
Grey	Benjamin Moore	Steel Wool 2121-20	Hard panel siding @ balcony walls
White	James Hardie ColorPlus	Arctic White	Hardie lap siding - 5' exposure @ exterior walls
White	Window	White	Double glazed vinyl windows
White	Doors	White	Exterior Doors
Black	DuraCoat Powder	Black	Aluminum/glass railing @ balconies
Color	Woodtone	Rustic Series "Oak Cherry"	Fiber cement soffits @ roof overhangs & balcony soffits



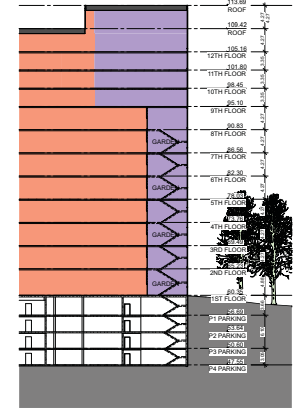
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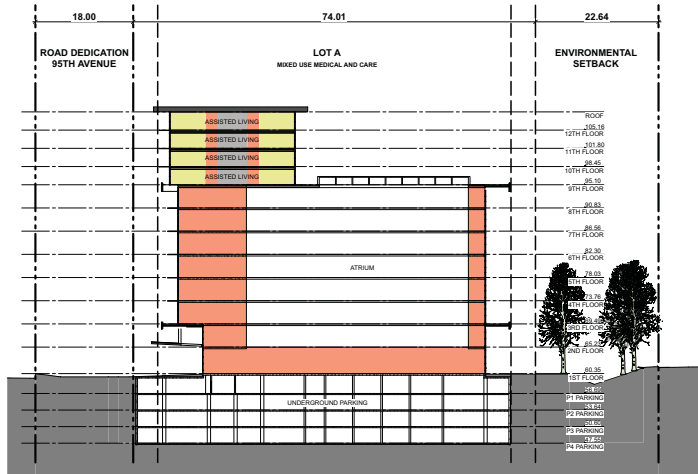
- LEGEND**
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 - SERVICE



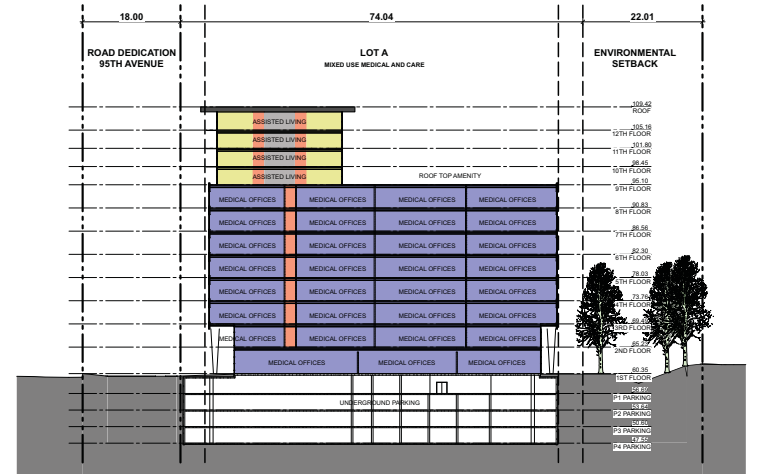
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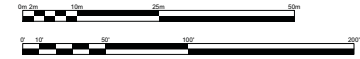
SECTION B-B



SECTION C-C



SECTION D-D



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WESTSTONE GROUP

(PROJECT)

MIXED USE CARE

9505 KING GEORGE BLVD.,
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 FILE: 7915-0114-00
 ADP DATE: MAY 28, 2015

SECTIONS

14341 (PROJECT)

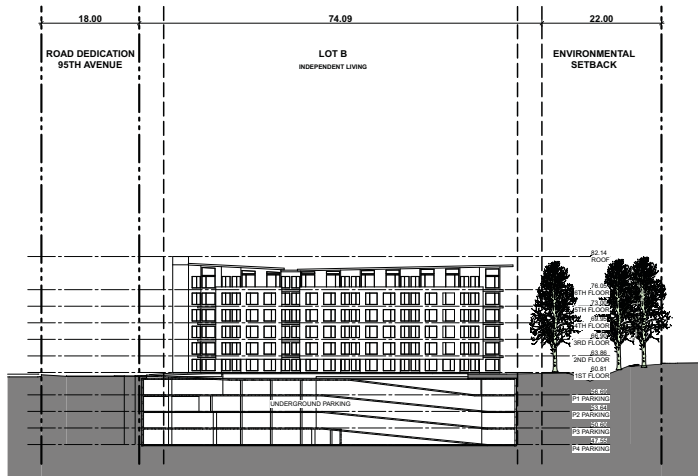
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JUNE 9, 2015 (DATE)

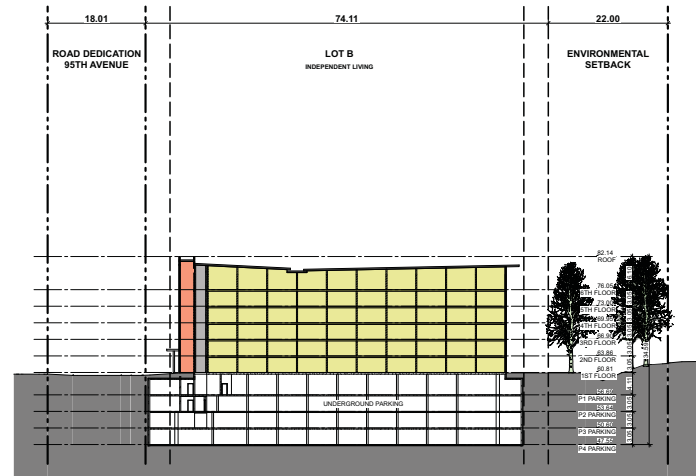
3 - RESPONSE TO ADP (DRAWN)

(DRAWING)

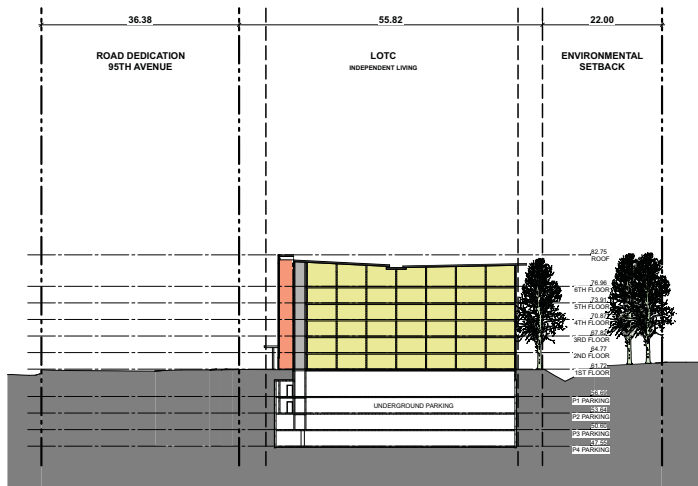
A-4.000



SECTION E-E



SECTION F-F



SECTION G-G



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_____[ARCHITECT SEAL]

_____[CLIENT]

WESTSTONE GROUP

_____[PROJECT]

MIXED USE CARE

9525 KING GEORGE BLVD.,
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FILE: 7915-0114-00
ADP DATE: MAY 28, 2015

_____[TITLE]

SECTIONS

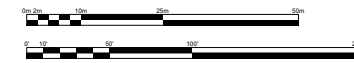
14341 [PROJECT]

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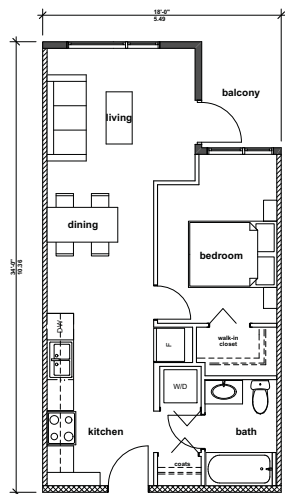
JUNE 9, 2015 [DATE]

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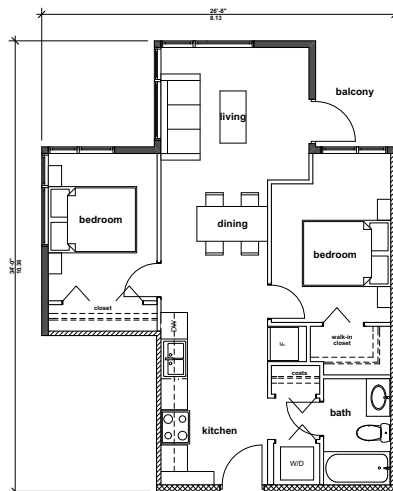
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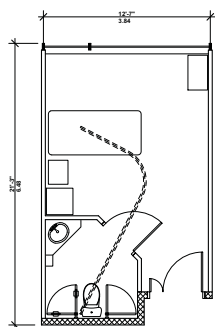
A-4.100



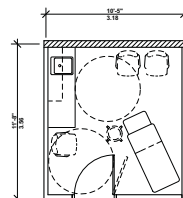
UNIT A1



UNIT B1



COMPLEX CARE UNIT



EXAM ROOM



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FILE: 7915-0114-00
ADP DATE: MAY 28, 2015

[TITLE]

UNIT PLANS

14341 [PROJECT]

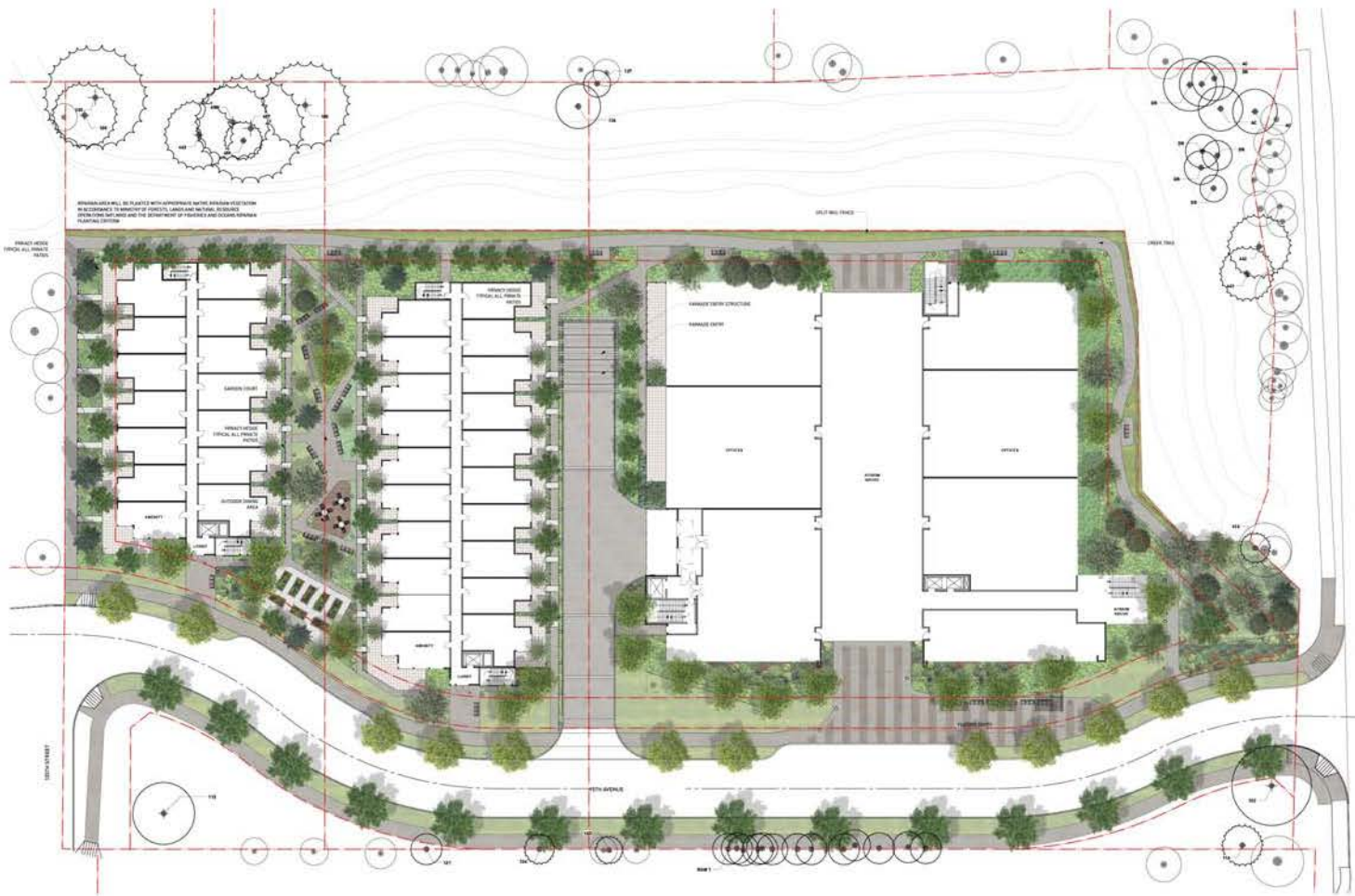
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MAY 20, 2015 [DATE]

3 - RESPONSE TO ADP [SHEET]

[DRAWING]

A-5.000



MINOR LAKES WILL BE PLANTED WITH APPROPRIATE TREE SPECIES SELECTION
 IN ACCORDANCE TO DEPARTMENT OF FORESTRY, LAND AND NATURAL RESOURCES
 (DNR) TREE LIST AND THE DEPARTMENT OF FORESTRY AND COASTAL RESOURCES
 PLANTING LISTING

PLANTING NOTES
 FOR ALL PLANTS
 REFER

PWL partnership

Professional Landscaper
 10000 Kingsway Blvd
 Suite 100
 Richmond, BC V6V 1K2
 Tel: 604.273.1111
 Fax: 604.273.1112
 Email: info@pwl.com

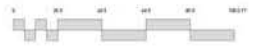


REFER TO ARCHITECT REPORT FOR INFORMATION ON TREE TO BE
 REMOVED

1825 KING GEORGE BOULEVARD
 SURREY, BC

**LANDSCAPE PLAN
 GROUND LEVEL**

DATE: 2023-08-15
 SCALE: 1/16" = 1'-0"
 SHEET: 0.00
 PROJECT: 1825 KING GEORGE BOULEVARD
 CLIENT: [REDACTED]
 DESIGNER: [REDACTED]



LDP 0.00



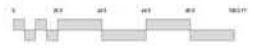
DATE: 08/15/2023
 SCALE: 1/16" = 1'-0"



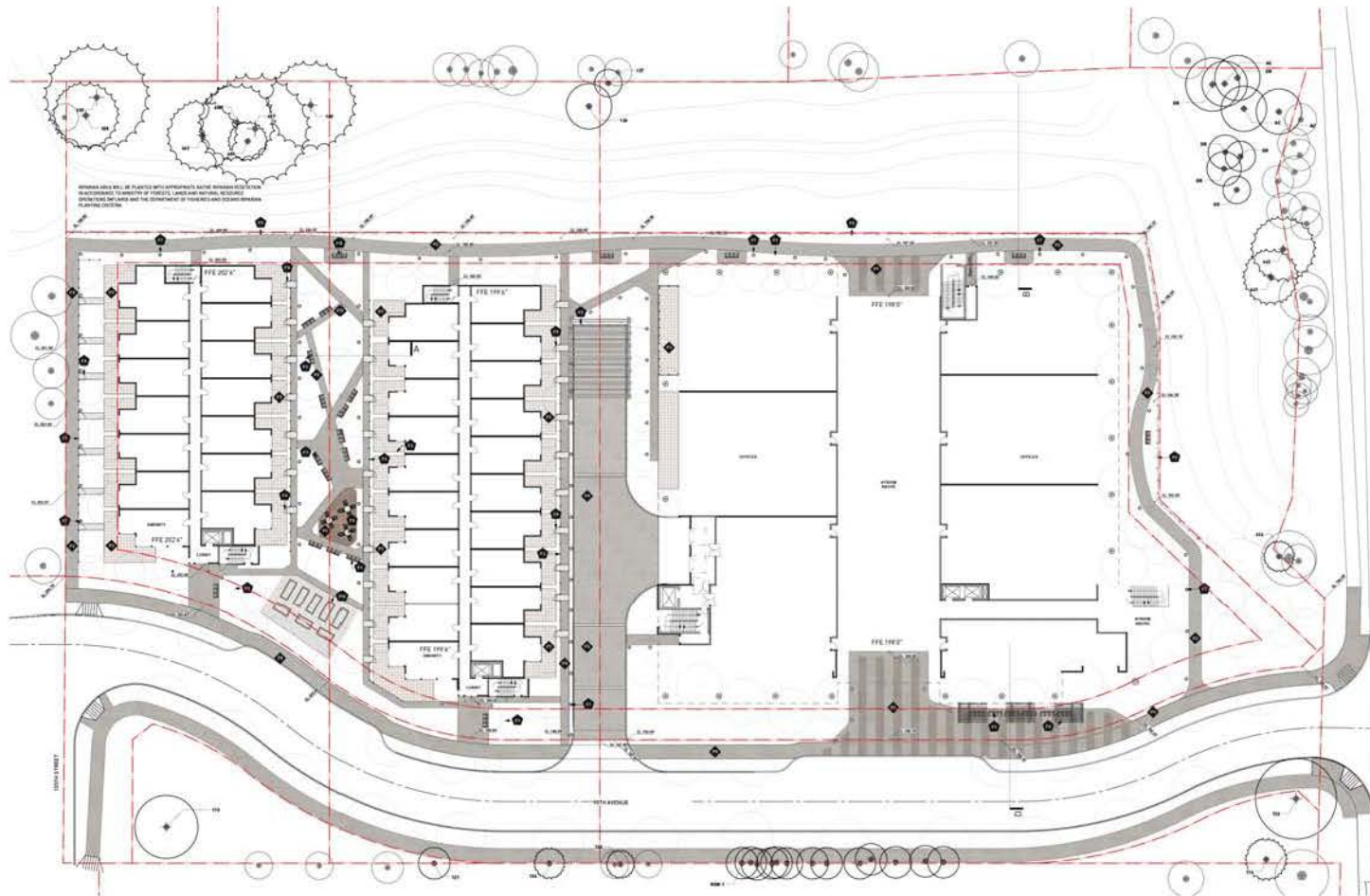
1825 KING GEORGE BOULEVARD
 SURREY, BC

**LANDSCAPE PLAN
 LEVEL 9**

DATE		SCALE
DATE	08/15/2023	1/16" = 1'-0"
BY	LANDSCAPE ARCHITECT	
NO.	01	
DATE	08/15/2023	
BY	LANDSCAPE ARCHITECT	
NO.	01	



LDP 0.01

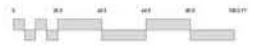


KEY	DESCRIPTION
◆	Existing Site Furnish
◆	Proposed Concrete Paving
◆	Proposed Asphalt Paving
◆	Proposed Grass Paving
◆	Proposed Sand Paving
◆	Proposed Gravel Paving
◆	Proposed Cobble Paving
◆	Proposed Brick Paving
◆	Proposed Stone Paving

KEY	DESCRIPTION
◆	Proposed Concrete Paving
◆	Proposed Asphalt Paving

KEY	DESCRIPTION
◆	Proposed Concrete Paving
◆	Proposed Asphalt Paving
◆	Proposed Grass Paving
◆	Proposed Sand Paving
◆	Proposed Gravel Paving
◆	Proposed Cobble Paving
◆	Proposed Brick Paving
◆	Proposed Stone Paving
◆	Proposed Concrete Paving
◆	Proposed Asphalt Paving
◆	Proposed Grass Paving
◆	Proposed Sand Paving
◆	Proposed Gravel Paving
◆	Proposed Cobble Paving
◆	Proposed Brick Paving
◆	Proposed Stone Paving

REFER TO ARBORIST REPORT FOR INFORMATION ON TREE TO BE RETAINED



DATE: 10/15/2019
 TIME: 10:00 AM
 SCALE: 1/16" = 1'-0"

1007
 8125 KING GEORGE BOULEVARD
 SURREY, BC

**PAVING AND FENCING PLAN
 LEVEL 1**

DATE	DESCRIPTION
10/15/2019	1/16" = 1'-0"
10/15/2019	1/16" = 1'-0"
10/15/2019	1/16" = 1'-0"
10/15/2019	1/16" = 1'-0"
10/15/2019	1/16" = 1'-0"

LDP 2.01

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **May 27, 2015** PROJECT FILE: **7815-0114-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 9525 -King George Boulevard**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 5.182 metres on 135 Street for a total of 20.000 metres.
- Dedicate land for 95 Avenue through the site to a varying width; minimum 18.0 metres.
- Dedicate 3.0m x 3.0m corner cut at King George Boulevard and 95 Avenue intersection.
- Dedicate 3.0m x 3.0m corner cut at 135 Street and 95 Avenue intersection.
- Provide 0.5 metre wide on-site statutory rights-of-way along 135 Street frontage.
- Provide 0.5 metre wide on-site statutory rights-of-way along north side of 95 Avenue.

Works and Services

- Construct 135 Street to City Centre standard.
- Construct 95 Avenue to City Centre standard.
- Construct concrete bus pad and concrete sidewalk on King George Boulevard frontage.
- Relocate open channel and construct related drainage works.
- Construct water main on 135 Street and 95 Avenue, and sanitary sewer main on 95 Avenue.
- Register restrictive covenants for water quality, sustainable drainage and district energy.

A Servicing Agreement is required prior to Rezone/Subdivision. An agreement with the City is also required for installation, monitoring and maintenance of riparian works on lands conveyed to the City.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Rémi Dubé, P.Eng.
Development Services Manager

HB

1027110 BC LTD

c/o The WestStone Group
300- 10090 152nd Street, Surrey
BC, V3R 8X8
Office: 604-498-1958
Fax: 604-498-1959

1027110 BC Ltd. (the “Company”) hereby tenders this draft proposed outline of a relocation assistance program for the existing month-to-month pad tenants (the “Tenants”) in the Manufactured Home Park located at 9525 King George Boulevard, Surrey, BC (the “Property”).

The Company is the legal owner of the Property and is aware that once it has obtained permission from the City of Surrey to proceed with its proposed development of the Property it will be required, under of the Manufactured Home Park Tenancy Act, to provide the Tenants with a 1-year Termination Notice and, under Section 44 of the Act, to reimburse the Tenants with a payment equivalent to 1-years rent.

Further, the Company acknowledges that under the bylaw requirements of the City of Surrey, it is obligated to put in place a Relocation Assistance Program (the “Program”) acceptable to the City of Surrey.

In recognition of this the Company has assembled a group of professional staff members (the “Team”) that will work with the Tenants to provide them with information in writing regarding the proposed development of the Property and its timelines. The Team will have an onsite office at the Property. The Team will work with other Manufactured Home Park operators and with organizations, such as BC Housing, to communicate with and assist the Tenants in making plans for alternative living arrangements. The Team will also ensure that the Tenants are fully fluent with the Program.

The Company acknowledges that the Manufactured Home Park Tenancy Act was enacted to provide regulations and protection for Manufactured Home Parks. In part, the Act recognizes the unique tenure afforded by Manufactured Home Parks, as manufactured home park tenants own their manufactured or mobile homes, but not the land under it.

The Company’s Program shall:

- a. Include a profile for resident demographic characteristics such as age, family size/structure, general income levels, housing needs/relocation option preferences, where this information is attainable.
- b. Include a profile of each mobile home condition, including identification of non-Canadian Safety Standard mobile homes and non-registered mobile homes and any potential for moving and re-use of homes, where this information is attainable.
- c. Be flexible and multi-dimensional by including various options and components in order to respond to different tenant characteristics, needs and preferences.

Components may include, in addition to the statutory requirements under the Manufactured Home Park Tenancy Act:

- i. Arranging and paying for the moving (if possible) or the disposal of mobile homes.
- ii. Purchasing mobile homes for fair market value.
- iii. Unconditional compensatory payments of a value that would provide tenants with some amount of equity and greater flexibility in their plans for relocation (for example a payment equivalent to the assessed value of the mobile home). This would be in addition to the mandatory payment under the Manufactured Home Park Tenancy Act;

The Relocation Plan will include:

Assisting the Tenant to relocate to an alternative Mobile Home Park:

- The Team will work to establish vacant pads in other Manufactured Home Parks (This is currently underway with some success to date) and each Tenant will be provided a choice of pads in order to enable the tenant to be relocated on an “equal or better” basis. The Company will cover the costs of moving the mobile home and contents in addition to the 1-year equivalent rent (to be paid upon completion of the move) as required by Provincial regulations.

The Tenant Chooses an Alternate Location:

- The tenant may sell their home and have it moved off the Property or may find an alternative pad elsewhere or they may choose to “walk away” from the home. In all cases, the tenant will be granted the equivalent one year rent as required by Provincial regulations.

Buy-Out Option:

- The Tenant may have a manufactured home that is impossible to move (meaning it is either in such poor condition that it will collapse or the cost of moving is more than the assessed value of the home). In such cases, the Tenant may choose an equal value unit in an alternative Manufactured Home Park if available or a cash settlement equal to the assessed value of the manufactured home plus 10% in addition the Company will cover moving expenses. This is over and above the one year cash payout required under the Act.

Assistance with Alternative Housing:

- In the case of Tenants who may qualify for some other housing assistance, the Company will help with the moving, purchase or sale of their manufactured home as well as the one year rent equivalent. The Team will also use their best efforts to provide assistance in facilitation and securing options for assisted or independent housing wherever possible.

In terms of delivery, upon receipt of the development permit first reading from the City establishing the permits required by law to adjust the use of the Property from its existing use and demonstrating the intentions of the Company in good faith to do so, the Team will then submit the following to each Tenant within the Property:

1. Information regarding the proposed change of use and the timelines.
2. The Notice required under the Act which can be found at <http://www2.gov.bc.ca/gov/topic.page?id=9100A093467D4276862D97542C73F961>
3. An information sheet containing substantially the same terms noted in these draft materials to each Tenant informing them of the relocation assistance program.
4. Telephone and e-mail contacts for the Team.
5. The willingness of the Company to work with each Tenant in a respectful, understanding and empathetic manner.

The Company is submitting this draft proposal to the City of Surrey and will gladly discuss any portions of the proposed Program.

CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: TOURIST ACCOMMODATION ZONE (CTA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 011-069-236

Parcel "F: (Reference Plan 15821) Lot 2 Except: Part on Highway Statutory Right of Way Plan 62493; Section 32 Township 2 New Westminster District Plan 4312

9525 - King George Boulevard

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium *density, multiple unit residential buildings* and related *amenity spaces*, office uses and a *care facility*, which are to be developed in accordance with a *comprehensive design*.

The *Lands* are divided into Blocks A, B and C, as shown on the Survey Plan attached hereto and forming part of this By-law as Schedule A, certified correct by M. Adam Fulkerson, B.C.L.S., on the 9th day of June, 2015.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. Block A
 - (a) *Multiple unit residential buildings;*
 - (b) *Care facilities;*
 - (c) *Office uses, excluding social escort services and methadone clinics;*
 - (d) *Retail stores, excluding adult entertainment stores and secondhand stores and pawnshops;*
 - (e) *Eating establishments excluding drive-through restaurants; and*
 - (f) *Personal service uses excluding body rub parlours.*
2. Block B
 - (a) *Multiple unit residential buildings; and*
 - (b) *Care facilities.*
3. Block C
 - (a) *Open space.*

C. Lot Area

Not applicable to this Zone.

D. Density

1. Block A:
 - (a) The *floor area ratio* shall not exceed 6.2; and
 - (b) Notwithstanding the definition of *floor area ratio*, for an air space subdivision the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section D of this Zone and further provided that the *floor area ratio* calculated from the cumulative floor areas of the *buildings* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Sub-section D.1(a).
2. Block B: The *floor area ratio* shall not exceed 2.5.
3. Block C: Not applicable.

4. The indoor *amenity space* required in Sub-section J.1(b) of this Zone is excluded from the calculation of *floor area ratio*.

E. Lot Coverage

1. Block A: The *lot coverage* shall not exceed 80%, except for air space parcels which are 100%.
2. Block B: The *lot coverage* shall not exceed 50%.

F. Yards and Setbacks

1. Block A

- (a) *Buildings and structures* shall be sited in accordance with the following minimum *setbacks*:

Use	Setback	<i>Front Yard</i>	<i>Rear Yard</i>	<i>Side Yard</i>
<i>Principal Buildings and Accessory Buildings and Structures</i>		4.5 m [15 ft.]	4.5 m [15 ft.]	7.5 m [25 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

- (b) Notwithstanding Sub-section F.1(a), the minimum *side yard setback* along the east *lot line* is 4.5 metres (15 ft.).
- (c) Notwithstanding Sub-section F.1(a), the *setback* for *buildings and structures* may be reduced to zero for interior *lot lines* of an air space subdivision.

2. Block B

Buildings and structures shall be sited in accordance with the following minimum *setbacks*:

Use	Setback	<i>Front Yard</i>	<i>Rear Yard</i>	<i>Side Yard</i>
<i>Principal Buildings and Accessory Buildings and Structures</i>		4.5 m [15 ft.]	4.5 m [15 ft.]	7.5 m [25 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. Block A:

- (a) Principal buildings: The *building height* shall not exceed 52 metres [171 ft.].
- (b) Accessory buildings and structures: The *building height* shall not exceed 4.5 metres [15 ft.].

2. Block B:

- (a) Principal buildings: The *building height* shall not exceed 22 metres [72 ft.].
- (b) Accessory buildings and structures: The *building height* shall not exceed 4.5 metres [15 ft.].

H. Off-Street Parking

- 1. No parking shall be permitted in the front of the main entrance of the *building*, except for the purpose of short term drop-off or pick-up and parking for the disabled.
- 2. For commercial uses, *parking spaces* shall be provided as stated in Table C.2, Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
- 3. For *care facilities*, *parking spaces* shall be provided as stated in Table C.4, Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
- 4. Resident and visitor *parking spaces* shall be provided as stated in Table C.6 of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
- 5. All required resident, visitor, commercial and *care facility parking spaces* shall be provided as *underground parking*.

I. Landscaping

- 1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.

2. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
3. Garbage containers and *passive recycling containers* shall be located within the *underground parking* or within a *building*.

J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit*.
2. *Balconies* are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 square metres [50 sq. ft.] per *dwelling unit*, whichever is greater.

K. Subdivision

1. *Lots* created through subdivision in this Zone shall conform to the following minimum standards:

	<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
Block A	4,000 sq.m. [1 acre]	80 metres [262 ft.]	60 metres [197 ft.]
Block B	800 sq.m. [0.2 acre]	35 metres [115 ft.]	50 metres [164 ft.]
Block C	4,800 sq.m. [1.19 acre]	22 metres [72 ft.]	80 metres [262 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Air space parcels created through subdivision in this Zone are not subject to Section K.1, but shall comply with the provisions in the Land Title Act, R.S.B.C., 1996 chapter 250, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-70, RMS-2 and C-35 Zones in the City Centre as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2014, No. 18148, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-70 and RMS-2 Zones in City Centre for the residential portion and the C-35 Zone in the City Centre for the commercial portion.
9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning Bylaw, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20 .

PASSED SECOND READING on the _____ th day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20 .

PASSED THIRD READING on the _____ th day of _____, 20 .

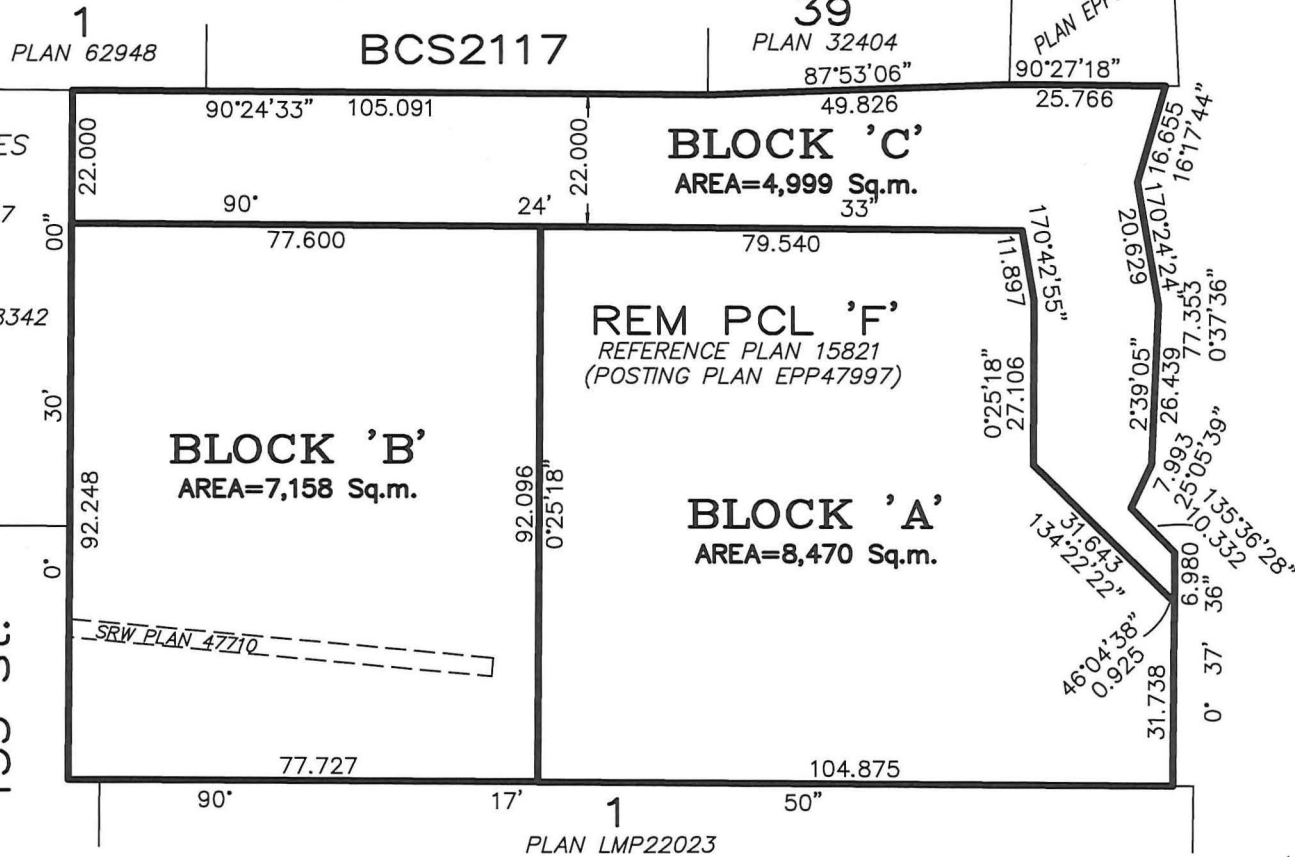
RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

MAYOR

CLERK

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**SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING
 BYLAW NO: _____ OF PARCEL "F" (REFERENCE PLAN
 15821) LOT 2 EXCEPT: PART ON HIGHWAY STATUTORY
 RIGHT OF WAY PLAN 62493; SECTION 32 TOWNSHIP 2
 NEW WESTMINSTER DISTRICT PLAN 4312**



B.C.G.S. 92G.016
 FOR REZONING PURPOSES
 Lot dimensions are derived
 from POSTING PLAN EPP47997

BOOK OF REFERENCE

ZONE	AREA
BLOCK A	8470 Sq.m.
BLOCK B	7158 Sq.m.
BLOCK C	4999 Sq.m.

CERTIFIED CORRECT
 DATED THIS 9th DAY OF JUNE, 2015.

M. Adam Fulkerson

B.C.L.S.

M. Adam Fulkerson

SCALE 1 : 1250

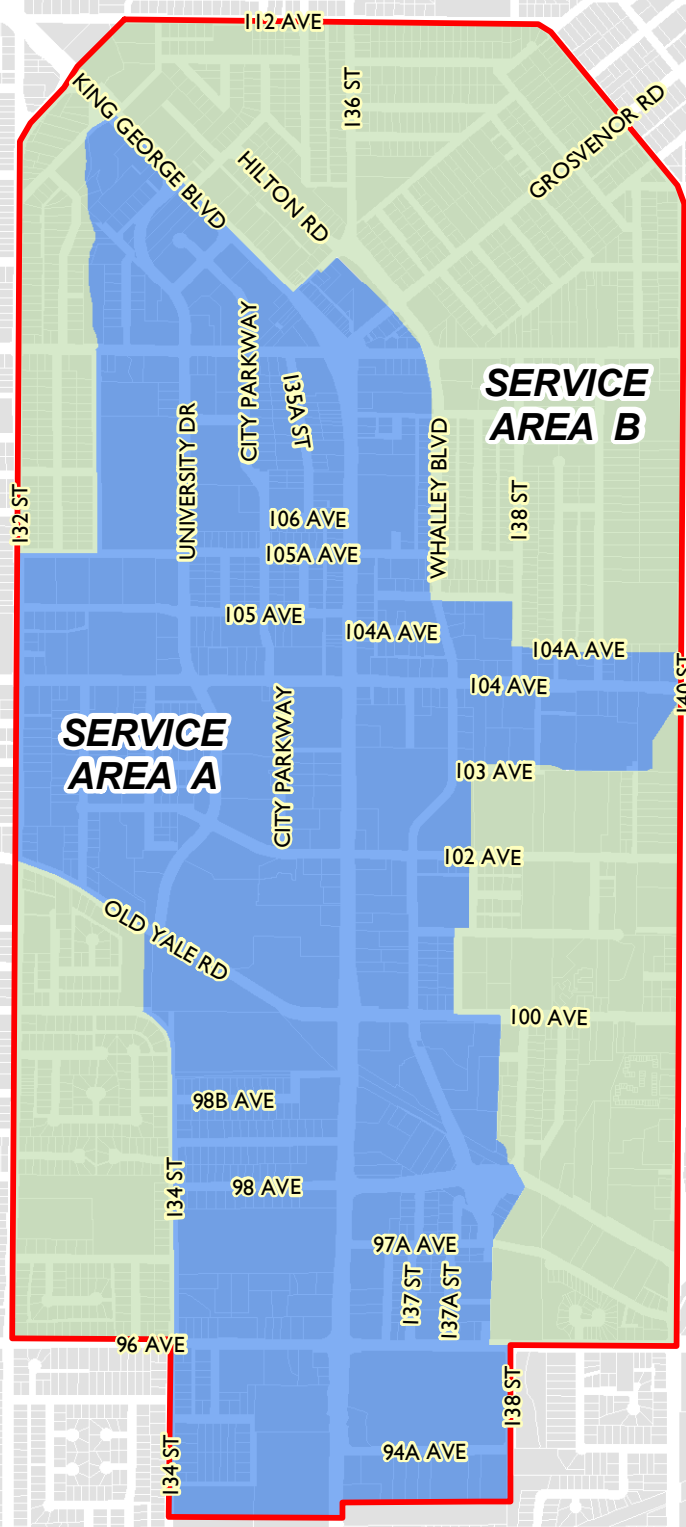
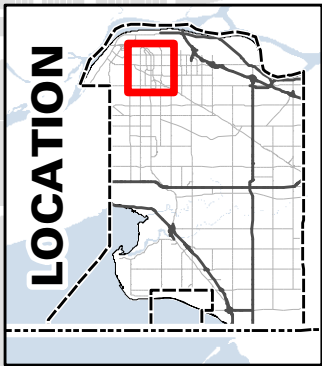


ALL DISTANCES ARE IN METRES

TARGET
 LAND SURVEYING
 SURREY B.C.
 604-583-6161

FILE: 7452-BLKZONE

SCHEDULE A



LEGEND

- Service Area A
- Service Area B
- City Centre Boundary

Produced by GIS Section: May 31, 2012, CS/AW8



DISTRICT ENERGY SERVICE AREA (SERVICE AREA A & SERVICE AREA B)

ENGINEERING DEPARTMENT

The data provided is compiled from various sources and IS NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, Legal descriptions and encumbrances must be confirmed at the Land Title Office.

Advisory Design Panel Minutes

2E - Community Room A
City Hall
13450 - 104 Avenue
Surrey, B.C.
THURSDAY, MAY 28, 2015
Time: 4:00 pm

Present:

Chair - L Mickelson
D. Newby
M. Younger
K. Johnston
M. Higgs
G. McGarva
C. Taylor
S. Vincent

Guests:

D. Staples, Integra Architecture
B. Dominick, Weststone Group
G. Brumpton, PWL Partnership

Staff Present:

M. Rondeau, Senior Planner
S. Low, Senior Planner
L. Luaifoa, Administrative Assistant

A. RECEIPT OF MINUTES

It was

Moved by K. Johnston

Seconded by D. Newby

That the minutes of the Advisory Design

Panel meeting of April 23, 2015, be received.

Carried

B. NEW SUBMISSIONS**1. 4:00PM**

File No.:

7915-0114-00

New or Resubmit:

New

Description:

Proposed Rezoning from CTA to CD, a General Development Permit and Subdivision to permit a seniors housing, seniors care facility and office development. The proposed development is to consist of two 6-storey independent living apartment buildings and one 12-storey mixed-use assisted living, complex care and office building.

Address:

9525 King George Boulevard

Developer:

Bob Dominick of Weststone Group

Architect:

Dale Staples of Integra Architecture Inc.

Landscape Architect:

Grant Brumpton of PWL Partnership

Planner:

Pat Lau

Urban Design Planner:

Mary Beth Rondeau

The Urban Design Planner presented an overview of the proposed project:

- The application is a general Development Permit which covers use, form and density. The current use has mobile homes.

- Part of Quibble Creek is proposed to be redirected along the north side of the site and a new road is proposed.
- The pathway around the outside along the riparian area is a campus pathway and not for public use.
- Use and density are generally supported.
- The proposed height was considered to relate to the Surrey Memorial tower, however, staff is interested in the scale interface and shadow impacts to the northerly residential townhouses and will consider feedback from residents.

The Project Architect presented an overview of the site plan, building plans and landscape plans and highlighted the following:

- The proposal is for a 12-storey building for medical offices; research space on the lower 8 floors and assisted living residences on the upper 4 floors. The two 6-storey buildings are to contain independent living and one and two bedroom apartments. There are four levels of underground parking.
- Daylight penetration was an important aspect of application with north/south orientation of the residential massing and office atrium.
- A variety of horizontal and vertical solar shading devices articulate the lighter expression of the upper floors.
- The focal point for the assisted living building will be the courtyard which will receive a significant amount of daylight. The corner of the building on east side of the building is a common dining area.
- Sustainability of the buildings has been done according to LEED standards. LEED Silver has been achieved for the larger building with the capability of reaching gold.
- There is a strong visual connection between 95 Avenue and the creek and riparian area. All building entries have been located in close proximity to 95 Avenue.

The Landscape Architect reviewed the landscape plans and highlighted the following:

- The street is new which allows for a lot of flexibility to set the grade in order to have free, clear access to each main entry.
- A path goes around the perimeter of the site using crushed granular; a softer natural material. The path is wider at 2m which enables access to that area. Benches are provided in rest area for viewing of the riparian areas. There is a requirement to provide a split rail fence to separate the walking path and provide access control of the riparian areas.
- The independent living buildings have ground oriented units with private patios and layered landscaping. There is a shared amenity space between the buildings.
- The 9th floor roof deck is a substantial area that consists of urban agriculture planters, ornamental planting and overhead shade structures with vines. There is adequate space for walking loops and benches and tables for smaller groups and various leisure activities.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

File No. 7915-0114-00

It was Moved by C. Taylor
Seconded by S. Vance
That the Advisory Design Panel (ADP)
recommends that the applicant address the following recommendations and
revise and resubmit to *Planning staff*.

Carried

C. Taylor requested the original motion be rescinded and amended to reflect the correct recommendation.

It was Moved by C. Taylor
Seconded by S. Vance
That the Advisory Design Panel (ADP)
rescind the above motion – “*That the Advisory Design Panel (ADP) recommends that the applicant address the following recommendations and revise and resubmit to Planning staff*”

Carried

It was Moved by G. McGarva
Seconded by K. Johnston
That the Advisory Design Panel (ADP)
recommends that the applicant address the following recommendations and
revise and resubmit to *ADP at the discretion of Planning staff*.

Carried

STATEMENT OF REVIEW COMMENTS**Site**

- Good site organization and building orientation.
- The spaces between the independent living buildings could be more generous particularly the tunnel effect with the driveway and the medical building should be considered for the livability of the residential.
An increase in the width to this space will be considered by the applicant’s architect. A shift in the angle of the balcony elements in the independent living buildings will be studied. The medical building façade is to be articulated to provide more visual interest for residents in the independent living building. A canopy element will be considered around the base of the medical building to create a more weather protected pedestrian path.
- Consider downplay of the loading bay and parking ramp.
This loading bay area will be reduced to the size required, once the building program has been confirmed. A landscape arbor element will be considered over the parkade ramp.

- King George streetscape requires consideration. Building should be generous and welcoming to pedestrians.
Pedestrian access around the building will be enhanced with an additional glazed canopy. The main entrance canopy off of 95 Avenue will be enlarged to provide better weather protection from the drop-off area to the main entry. A secondary patterning is to be considered at the main medical levels.

Building Form and Character

- Generally the proposed use, form and density were supported.
- The transition in scale between the independent living 6 storey buildings to the medical office block should be more carefully considered. Requires more articulation.
A secondary patterning is to be considered at the main medical levels. The loading bay area will be downplayed.
- The care floors on top of the office could express more of a 'home' adding expression worthy of affection and could also be more of a tower rather than an add-on to the lower massing.
A finer grain of window & wall pattern will be studied to reflect the scale of the spaces residents will call 'home'. A less uniform louvre system will be considered for these levels.
- Consider providing weather / wind protection on the level 9 rooftop to increase time outside.
Glazed screening and an arbour structure will be added around the north and west edges of the roof garden.
- Consider allowing for added depth at atrium and find a way to bring the creek riparian into the block.
A deeper recess at the north end of the atrium will provide an opportunity to undulate the pedestrian path and widen the green space adjacent to the creek.
- East and south facades could be expressed differently to respond to different orientation rather than use. Sun shading orientation.
The current approach for the building facades has been to express the use, but this option will be considered.
- The scale and shadow impacts to the adjacent residential should not compromise the clarity of form for the medical building or the extent of outdoor space for the residents by lowering that portion of roof.
- Consider front porch to be optimized. Diagonal outlook from living rooms with window and door to increase animation of outlook.
A larger canopy element with additional detailing to create a more intimate 'front porch' will be studied at the main entries and at the amenity spaces of the multiple residential unit buildings. The program and unit mix is to be reviewed with the client before looking at the detailed design of the unit layouts. The number of larger units and the size of the amenity space may increase. Consideration will be given to views from inside of the units and how residents will furnish and use the units.
- Consider implications of incorporating CSA's Health Care code requirements for medical laboratory office spaces including fume exhaust and the impacts through the care levels and roof forms.
The program for the research spaces is to be reviewed with the client in order to confirm corresponding ventilation requirements. Ventilation must ensure that the assisted living roof garden and any other adjacent occupancies are not

compromised. Ventilation elements should be incorporated into a roofscape at the higher level. The applicant's mechanical engineering consultant will provide advice.

- The parking garage will need more design development at the next stage. *The parkade will be refined as the program for the buildings develop. Security, exiting and the location of disabled parking may be adjusted. Required parking will be provided to comply with Zoning By-law requirements.*

Landscaping

- Suggested improvement of area that overlooks riparian area. *This area will be reconsidered and addressed with the introduction of more benches to provide a variety of different spaces and take advantage of view corridors into and through the riparian area.*
- Consider long hard edge to riparian area and introduce moments of pause such as lookouts for people to enjoy. *The edge has been adjusted to provide a more natural undulating edge accented by low, native plant materials that facilitate the transition between the site and the riparian area. Further to the above comment, more resting spots will be considered.*

CPTED

- Consider arrangement of parking elevator lobbies to have better surveillance.
- The buildings and landscape should be designed to encourage overlook into the riparian area. *Further design around view corridors into the riparian areas will be explored as coordination with environmental engineers progresses.*

Accessibility

- Recommend disabled parking spots on all 4 levels of parking and spaces are 12' in width. *Disabled parking is to be distributed on all levels and to be the required 3.7m width and 2.3m in height.*
- Recommend power doors at entrances and public washrooms. *Power doors will be included in the hardware specification.*
- Recommend elevator call button panel be horizontal and emergency call buttons in elevator and lobby. *The orientation of elevator call buttons will be noted in the elevator specification.*
- Recommend that roof deck be wheelchair accessible. *The roof deck will be wheel chair accessible.*
- Assisted living bathrooms should have walk-in showers vs tubs. *The shower requirement will be coordinated with the operator of the facility and the licensing authority.*

Sustainability

- Consider LEED Gold not just Silver. *The Gold standard is to be pursued once the consultant team has been finalized and the design will be refined accordingly.*

- Consider developing a strategy to address sustainability air quality issues related to exhaust systems, kitchen exhaust etc.
This is to be addressed by the Mechanical Engineering consultant.
- Consider opportunities to make use of atrium space to contribute to energy efficiency.
This is to be addressed by the Mechanical Engineering consultant.
- Floor plates of tower are very deep. Making use of atrium is important in addressing this.
The bridge and stair elements are to be introduced to make this both a visual and active space and to encourage people not to use the elevator.
- Storm water management to be considered in next submission.
The Mechanical, Civil and Environmental consultants are to address this item.

C. OTHER COMPETENT BUSINESS

D. NEXT MEETING

The next Advisory Design Panel is scheduled for Thursday, June 11, 2015.

E. ADJOURNMENT

The Advisory Design Panel meeting adjourned at 5:10 p.m.

Jane Sullivan, City Clerk

Leroy Mickelson, Chairman
Advisory Design Panel