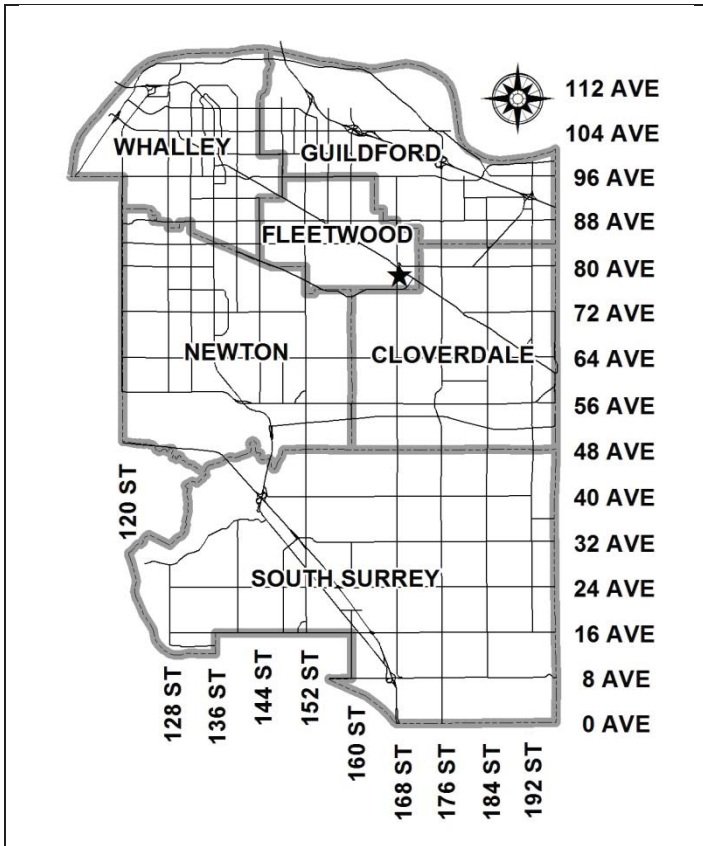


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7915-0108-00

Planning Report Date: June 27, 2016



PROPOSAL:

- **OCP Amendment** from Urban to Multiple Residential
- **Rezoning** from RA to RM-30
- **Development Permit**
- **Development Variance Permit**

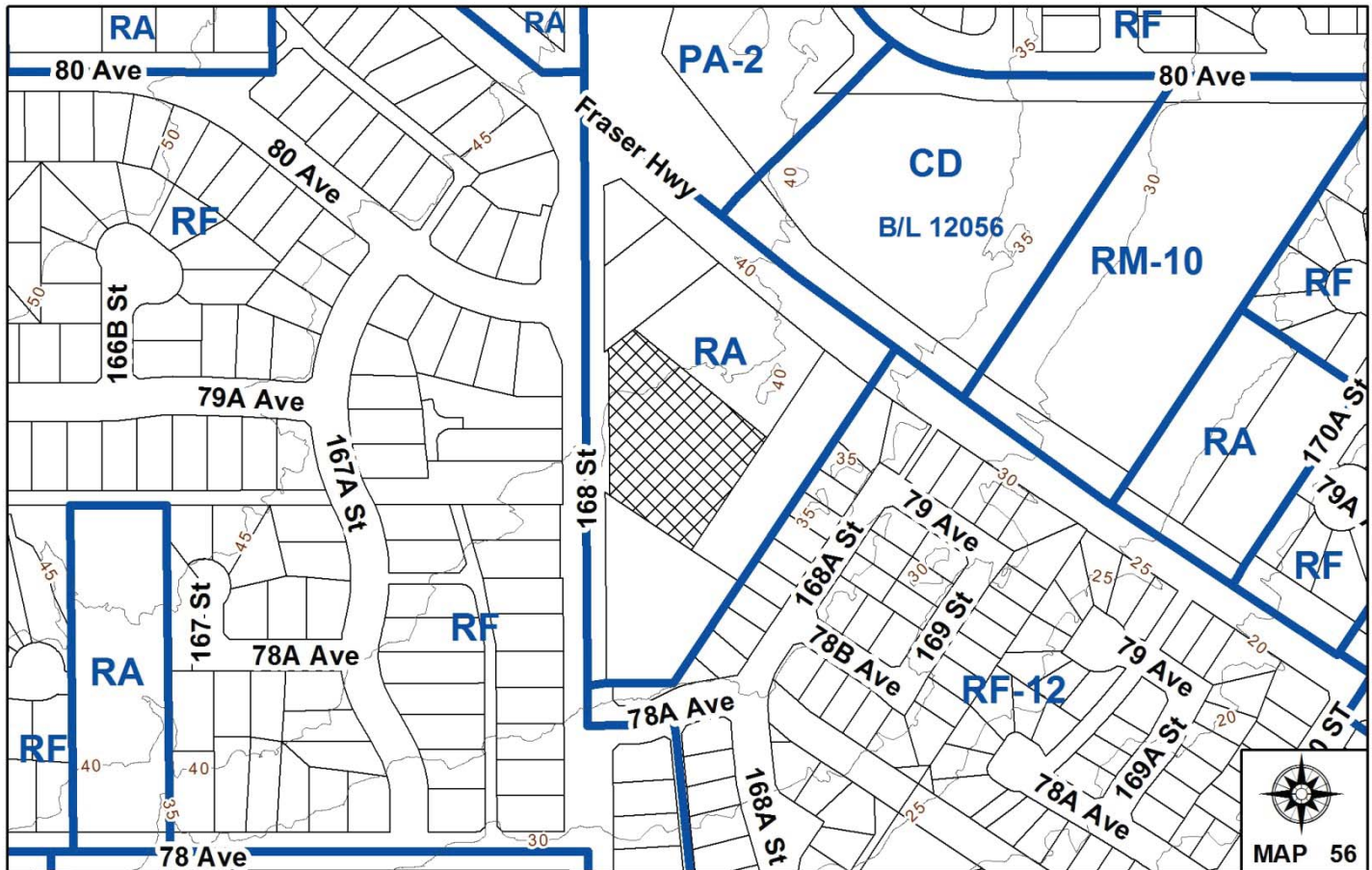
to permit the development of approximately 22 townhouse units.

LOCATION: 7918 - 168 Street

OWNER: Hayers Builders Group (Fleetwood Townhomes) Ltd.

ZONING: RA

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to eliminate indoor amenity space.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking to reduce the minimum required setbacks along all lot lines of the RM-30 Zone.
- Seeking to increase the maximum permitted building height of the RM-30 Zone from 13 metres (42.5 ft.) to 13.5 metres (43.5 ft.) for Building 4.

RATIONALE OF RECOMMENDATION

- The reduced setbacks are in keeping with what has been approved for similar townhouse developments in the Fleetwood area. The reduced setbacks will still accommodate appropriate yard space and landscaping treatments.
- The proposed increase in the building height of proposed Building 4 is as a result of the grade change on the subject site, which is particularly low at the southeast corner. Proposed Building 4 exceeds the maximum permitted building height by approximately 0.25 metre (0.8 ft.).
- The proposed OCP amendment to Multiple Residential is required to accommodate the proposed townhouse development on this site. The applicant will be providing a community benefit in the form of a cash contribution of \$1,500 per townhouse unit, to satisfy the OCP Amendment Policy.
- The proposed density and building form are appropriate for this part of Fleetwood and will support City efforts to increase density along transit corridors. The increased density can help support transit ridership by locating increased population within walking distance to transit.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to amend the OCP by re-designating the subject site (Appendix VIII) from Urban to Multiple Residential and a date to be set for Public Hearing.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. a By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Multiple Residential 30 Zone (RM-30)" and a date be set for Public Hearing.
4. Council approve the applicant's request to eliminate the required indoor amenity space.
5. Council authorize staff to draft Development Permit No. 7915-0108-00 generally in accordance with the attached drawings (Appendix II).
6. Council approve Development Variance Permit No. 7915-0108-00 (Appendix VI) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum front yard (west) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 6.5 metres (21 ft.) to the corner of Building 1, and to 5.5 metres (18 ft.) to corner of Building 2 and to 5.0 metres (16.5 ft.) to the building overhang of Building 2;
 - (b) to reduce the minimum rear yard (east) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) to the building face and to 5.0 metres (16.5 ft.) to the roof overhang of Building 4, and to 3.0 metres (10 ft.) to the building face of the east townhouse unit in Building 5 and to 2.5 metres (8 ft.) to the building face of the electrical room and to 1.5 metres (5 ft.) to the electrical room roof overhang of Building 5;
 - (c) to reduce the minimum north side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.0 metres (13 ft.) to the building face and to 3.0 metres (10 ft.) to the roof overhangs of Buildings 1 and 5;
 - (d) to reduce the minimum south side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 5.5 metres (18 ft.) to the building face and to 5.0 metres (16.5 ft.) to the roof overhangs of Buildings 3 and 4; and
 - (e) to increase the maximum permitted building height of the RM-30 Zone from 13 metres (42.5 ft.) to 13.5 metres (43.5 ft.) for Building 4 only.

7. Council instruct staff to resolve the following issues prior to final adoption:
- (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) the applicant address the concern that the development will place additional pressure on existing park facilities to the satisfaction of the General Manager, Parks, Recreation and Culture;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
 - (i) the applicant adequately address the impact of no indoor amenity space; and
 - (j) provision of community benefit to satisfy the OCP Amendment policy for OCP Amendment applications.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

4 Elementary students at William Watson Elementary School
2 Secondary students at Fleetwood Park Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Spring/Summer 2018.

Parks, Recreation & Culture: Parks has some concerns about the pressure this project will place on existing parks, recreation and cultural facilities in the neighbourhood.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Oversized acreage lot occupied by a single family dwelling and accessory building, which will be removed.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Single family dwellings on half acre to acreage-sized residential lots.	Urban	RA
East:	Single family dwelling and accessor buildings on an acreage-sized residential lot.	Urban	RA
South:	Telecommunications tower and outdoor storage on an acreage lot owned by BC Gas (Fortis BC).	Urban	RA
West (Across 168 Street):	Single family dwellings and City parkland.	Urban	RF

DEVELOPMENT CONSIDERATIONS

Background

- The subject property is located in Fleetwood, just southeast of the Fraser Highway and 168 Street intersection. The property is designated Urban in the Official Community Plan (OCP) and is zoned "One-Acre Residential Zone (RA)".
- A single family dwelling and an accessory building are located on the subject property, all of which will be removed as part of the current development application.
- Planning staff have received numerous enquiries regarding the five (5) properties at the southeast corner of Fraser Highway and 168 Street (16854 and 16882 Fraser Highway, 7950 and 7964 – 168 Street, as well as the subject property at 7918 - 168 Street). Developers have noted that the assembly of land for development in this area has been a considerable challenge.

- Staff encouraged the applicant of the subject site to acquire the abutting properties in order to develop in a more comprehensive manner. However, this has been unsuccessful, as not all of the property owners are willing to sell or to develop at this time.
- The current applicant has submitted a development application for the subject site only, however, the applicant has demonstrated future redevelopment of the abutting properties in a similar townhouse form is not compromised (Appendix VII).

Current Proposal

- The applicant proposes an Official Community Plan amendment (Appendix VIII) from "Urban" to "Multiple Residential", a rezoning of the subject site from "One-Acre Residential Zone (RA)" to "Multiple Residential 30 Zone (RM-30)" and a Development Permit (DP) in order to permit the development of 22 townhouse units. A Development Variance Permit (DVP) is requested for reduced building setbacks along all lot lines and for an increase to the building height of proposed Building 4 (see By-law Variance section).
- The net density for the proposed 22-unit townhouse development is 48 units per hectare (19.5 units per acre) with a floor area ratio (FAR) of 0.90, which comply with the maximum permitted density of 75 units per hectare (30 units per acre) and the maximum permitted FAR of 0.90 in the RM-30 Zone.

Transit / Transportation Considerations

- Currently, the City is proposing two (2) light rail transit (LRT) lines – one connecting City Centre with Guildford along 104 Avenue and with Newton along King George Boulevard, and one from City Centre to Langley along Fraser Highway.
- The City Centre to Langley LRT line will include a number of LRT stations at key intersections along Fraser Highway.
- Given that the subject site is located within close proximity of a future LRT station along Fraser Highway, increased densities near the Fraser Highway transportation corridor are appropriate and necessary to support the proposed installation and expansion of the rapid transit network.

Proposed Road and Connections

- The subject site is located near the busy intersection of Fraser Highway and 168 Street. In order to improve connectivity and traffic flow to/from the subject site as well as the adjacent properties near the intersection, staff requested a 14.5-metre (48-ft.) wide road through the north portion of the subject site, running from 168 Street and exiting out to Fraser Highway through the abutting properties (16854 and 16882 Fraser Highway). The full construction of the 14.5-metre (48-ft.) wide road is contingent on the redevelopment of the properties that abut the subject site.
- The ultimate 14.5-metre (48-ft.) wide road will include two-way traffic, parking on one side, as well as a sidewalk and boulevard (including trees and street lighting) on both sides.

- The applicant will be required to dedicate 8.5 metres (28 ft.) along the north lot line of the subject site for the east/west portion of the new 14.5-metre (48-ft.) wide road, with the remaining 6.0 metres (20 ft.) to be provided on the abutting property to the north (16854 Fraser Highway) when it redevelops in the future. The 14.5-metre (48-ft.) wide road will bend northward at the east end of the subject site to Fraser Highway. The completion of this north/south portion of the road to Fraser Highway is contingent on the redevelopment of the properties at 16854 and 16882 Fraser Highway (Appendix VII).
- The interim 8.5-metre (28-ft.) wide road will accommodate two-way traffic as well as a sidewalk on the south side. No parking can be accommodated within the 8.5-metre (28 ft.) road cross-section.
- Currently, direct vehicle access is proposed from the subject site via 168 Street. The road bends south of the abutting property to the north (7950 – 168 Street) in order to accommodate an access entirely on the subject site. When the adjacent properties redevelop in the future, the full 14.5-metre (48-ft) wide road will continue to utilize this vehicle access to 168 Street (Appendix VII).
- A 2.7-metre (9.0-ft.) wide right-of-way will be registered on the subject site along the west property line adjacent 168 Street for a multi-use path.

PRE-NOTIFICATION

Pre-notification letters were sent on April 12, 2016, and as a result, staff received two (2) e-mails. The respondents expressed the following concerns:

- The proposed townhouse development will generate more traffic, which will make the situation worse at a busy intersection (Fraser Highway and 168 Street).

(As part of the subject development application, the applicant is required to construct a centre median on 168 Street south of 80 Avenue to restrict left-in/left-out turning movements to and from the proposed road along the north property line. 168 Street is an arterial road, and will ultimately be widened to 4 lanes. The median will restrict left turning movements from and to the new road at the north end of the subject site. Ultimately, this new road will connect to Fraser Highway through future development in the area, and will provide additional access and egress options for future residents in the area.)

- The proposed townhouse development will generate more traffic, and make it more difficult for pedestrians to utilize the existing sidewalks and crosswalks in the area.

(The applicant is required to dedicate approximately 2.8 metres (9 ft.) and provide a 2.7-metre (9-ft.) wide right-of-way along 168 Street in order to accommodate road widening and a multi-use path. These works will improve upon the movement and safety for drivers and pedestrians in the area.)

JUSTIFICATION FOR PLAN AMENDMENT

- A proposed LRT station at the intersection of 168 Street and Fraser Highway, for the proposed LRT route along Fraser Highway that will connect City Centre to Langley, is located 100 metres (330 ft.) north of the subject site.
- The proposed OCP Amendment from Urban to Multiple Residential is consistent with Surrey's OCP policies seeking increased densities along future rapid transit corridors.
- The eastern boundary of the Fleetwood Town Centre Plan is located to the west of the subject site, across 168 Street, north of 80 Avenue. The "Medium Density Townhouses" designation within the Fleetwood Town Centre Plan, which permits townhouses, is located 250 metres (820 ft.) west of the subject site. Furthermore, 375 metres (1,230 ft.) to the west of the subject site, 101 townhouse units are proposed under Application No. 7916-0212-00 (Pre-Council) within Fleetwood Town Centre, south of Fraser Highway.
- The proposed 22-unit townhouse project supports housing diversity, sustainability and affordability, while also supporting increased densities near a rapid transit corridor.
- In accordance with the OCP, the provision of a community benefit is required for an OCP Amendment located outside of a secondary plan area. The applicant has agreed to provide a community benefit contribution for the proposed 22 townhouse units in the amount of \$1,500 per unit, for a total of \$33,000 prior to the rezoning being considered for Final Adoption.

PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

DESIGN PROPOSAL AND REVIEW

- The proposed 22-unit townhouse project consists of five (5), three-storey buildings with garages accessed internally at grade.
- All 22 proposed townhouses consist of double car, side-by-side garages. No tandem garage units are proposed.
- The proposed building materials include hardie panel siding painted white, horizontal vinyl siding painted blue, and corrugated metal siding painted grey. The proposed wood trims are painted black.
- The proposed unit doors are metal and will be painted to resemble a stained wood door. Entry canopies and window trims are painted black.

- Each proposed townhouse unit includes a second-floor deck as well as a rooftop deck located above the third floor bedrooms. The uncovered rooftop decks offer private outdoor space for each townhouse unit.
- The proposal will include two (2) electrical rooms adjacent to the Buildings 3 and 4. Two (2) pad-mounted transformer (PMT) boxes are proposed adjacent to Building 5. The PMTs will be screened by landscaping.
- The proposed townhouse development includes a total of 48 parking spaces, consisting of 44 resident parking spaces in 22 double car, side-by-side garages, as well as four (4) visitor parking spaces, which complies with the parking requirements of the Surrey Zoning By-law. All visitor parking spaces will be delineated by permeable concrete unit pavers.

Amenity Spaces

- The RM-30 Zone requires that 66 square metres (710 sq. ft.) of indoor amenity space and 66 square metres (710 sq. ft.) of outdoor amenity space be provided (3.0 sq.m. / 32 sq.ft. of each amenity per dwelling unit) for the proposed 22-unit townhouse project.
- The applicant proposes 77 square metres (828 sq.ft.) of outdoor amenity space, which exceeds the minimum 66 square metres (710 sq. ft.) required under the RM-30 Zone. The proposed outdoor amenity space is located at the southwest corner of the subject property adjacent to the proposed landscape buffer along the west lot line.
- The outdoor amenity space includes children's play equipment and a small grassed area with benches.
- Given the size of the proposed townhouse development (22 units), the applicant does not propose any indoor amenity space and will provide a monetary contribution of \$26,400 (based on \$1,200 per unit) in accordance with City policy to address this shortfall. The subject site is within close proximity to the Surrey Sports and Leisure Complex, which offers quality services and amenity space.

TREES

- Monica Ardiel, ISA Certified Arborist of Mike Fadum and Associates prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	8	8	0
Cottonwood	7	7	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Birch, Paper	1	1	0
Cherry	2	2	0

Tree Species	Existing	Remove	Retain
Cherry, Bitter	1	1	0
Oak, English	2	2	0
Plum, Purple Leaf	1	1	0
Coniferous Trees			
Cedar, Western Red	1	1	0
Falsecypress	6	6	0
Norway Spruce	1	1	0
Total (excluding Alder and Cottonwood Trees)	15	15	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		79	
Total Retained and Replacement Trees		79	
Contribution to the Green City Fund		No contribution required	

- The Arborist Assessment states that there are a total of 15 mature trees on the site, excluding Alder and Cottonwood trees. Fifteen (15) existing trees, approximately 50% of the total trees on the site, are Alder and Cottonwood trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration of tree health, building footprints and road dedication.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 45 replacement trees on the site. The applicant is proposing 79 replacement trees, which exceeds City requirements.
- In summary, a total of 79 trees are proposed to be replaced on the subject site. No contribution is required to the Green City Fund.

Landscaping

- The landscape plan shows a total of 79 trees to be planted throughout the subject site including maple, spruce, pine and pear.
- A significant number of shrubs and ground cover species are proposed throughout the subject site, including boxwood, yew, rhododendrons, barberry, sedge and decorative grasses.
- The applicant proposes a 3.0-metre (10-ft.) wide landscape buffer, adjacent to the 2.7-metre (9-ft.) wide multi-use path along the west property line, to provide screening from 168 Street.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on May 12, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> The site is located in Fleetwood in an established neighbourhood with frequent transit service along Fraser Highway and 168 Street.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> The proposed development will increase the density in the area and promote a more urban, pedestrian-friendly streetscape. The project will diversify the housing stock and provide additional options for future home buyers in this area. Increased densities in the area may advance the expansion of transit options and create a more pedestrian and transit-friendly neighbourhood.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> The proposed development includes absorbent soils, swales, and sediment control devices.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> Frequent transit service runs along both Fraser Highway and 168 Street, and transit stops are located within walking distance from the subject site. A multi-use path runs along 168 Street and provides access for pedestrians and cyclists.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> The proposed building incorporates CPTED principles including: well-lit entries/exits, passive surveillance on the street, and good pedestrian linkages and lighting.
6. Green Certification (F1)	<ul style="list-style-type: none"> No green rating or certification is proposed.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> Pre-notification letters were mailed to area residents and a development proposal sign was installed on subject site.

BY-LAW VARIANCES AND JUSTIFICATION

(a) Requested Variances:

- To reduce the minimum front yard (west) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 6.5 metres (21 ft.) to the corner of Building 1, and to 5.5 metres (18 ft.) to the corner of Building 2 and to 5.0 metres (16.5 ft.) to the building overhang of Building 2;

- To reduce the minimum rear yard (east) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) to the building face and to 5.0 metres (16.5 ft.) to the roof overhang of Building 4, and to 3.0 metres (10 ft.) to the building face of the east townhouse unit in Building 5 and to 2.5 metres (8 ft.) to the building face of the electrical room and to 1.5 metres (5 ft.) to the electrical room roof overhang of Building 5;
- To reduce the minimum north side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.0 metres (13 ft.) to the building face and to 3.0 metres (10 ft.) to the roof overhangs of Buildings 1 and 5; and
- To reduce the minimum south side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 5.5 metres (18 ft.) to the building face and to 5.0 metres (16.5 ft.) to the roof overhangs of Buildings 3 and 4.

Applicant's Reasons:

- The proposed setback reductions along the east lot line will bring the units closer to the street, which will allow the units to better engage the street and enliven the public realm.
- The reduced setbacks are consistent with similarly approved setbacks for other townhouse developments in the City.
- The roof overhangs form an integral part of the overall design and articulation of the buildings.

Staff Comments:

- The RM-30 Zone requires that buildings and structures be sited a minimum of 7.5 metres (25 ft.) from all property lines.
- The reduced front yard (west) setbacks of 6.5 metres (21 ft.) and 5.5 metres (18 ft.) are to the corners of proposed Buildings 1 and 2, and are measured to the west property line along 168 Street. A 2.7-metre (9-ft.) wide right-of-way (ROW) for a multi-use path along the west lot line of the subject site, and the corners of proposed Buildings 1 and 2 are set back 4.0 metres (13 ft.) and 3.0 metres (10 ft.) from the ROW.
- The proposed rear yard (east) setback of 6.0 metres (20 ft.) to proposed Building 4 will allow adequate rear yard spaces with landscaping, while the proposed setback of 3.0 metres (10 ft.) to east townhouse unit in proposed Building 5 is a side yard condition. The proposed 2.5 metres (8 ft.) setback to the building face of the electrical room attached to the east end of townhouse unit #19 in proposed Building 5 is also a side yard condition, and will likely be adjacent to an internal drive aisle of the abutting property to the east when it is redeveloped in the future. In the interim, the reduced setbacks are not expected to negatively impact the adjacent property to the east, as the existing dwelling at 16882 Fraser Highway is located further to the north near Fraser Highway.

- The proposed north side yard setback of 4.0 metres (13 ft.) will accommodate front yards for proposed Buildings 1 and 5, as these townhouse units will front the new 8.5-metre (28-ft.) wide road.
- The proposed south side yard setback of 5.5 metres (18 ft.) to proposed Buildings 3 and 4 is a side yard condition measured to south lot line. A 3.0-metre (10-ft.) wide landscape buffer is proposed along the entire south lot line, and proposed Buildings 3 and 4 will be set back at least 2.5 metres (8 ft.) from the landscape buffer. The landscape buffer provides screening along the south lot line, and as a result, the reduced south side yard setback is not expected to impact the abutting lot to the south, which is owned by Fortis BC and occupied by a telecommunications tower and outdoor storage.
- The reduced setbacks are consistent with similarly approved setbacks for other townhouse developments in the Fleetwood area.
- Staff support the requested variances.

(b) Requested Variance:

- To increase the maximum permitted building height of the RM-30 Zone from 13 metres (42.5 ft.) to 13.5 metres (43.5 ft.) for Building 4 only.

Applicant's Reasons:

- The existing grade is lower at the southeast corner of the subject site, and the floor elevations are driven by the internal driveway, which must also work with the west-facing units in proposed Building 3. A minor increase of 0.25 metre (0.8 ft.) to the maximum permitted building height of 13 metres (42.5 ft.) is requested for proposed Building 4.
- The proposed height will be compatible with future development southeast of the site, which is anticipated to be in the form of a 3-storey townhouse development.

Staff Comments:

- The RM-30 Zone states that principal buildings cannot exceed 13 metres (42.5 ft.) in height.
- The height of proposed Building 4 located at the southeast corner of the subject site is approximately 13.3 metres (43.5 ft.), which is less than a 0.5 metre (1 ft.) above the maximum permitted building height.
- The minor increase in the building height is to accommodate building extensions above the roof, which provide greater building articulation.
- The height of the other four (4) proposed buildings (Buildings 1, 2, 3 and 5) do not exceed the maximum permitted building height of 13 metres (42.5 ft.).
- Staff support the requested variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary and Project Data Sheets
- Appendix II. Site Plan, Building Elevations, and Landscape Plans
- Appendix III. Engineering Summary
- Appendix IV. School District Comments
- Appendix V. Summary of Tree Survey and Tree Preservation
- Appendix VI. Development Variance Permit No. 7915-0108-00
- Appendix VII. Proposed Road and Redevelopment Concept
- Appendix VIII. OCP Amendment Map

original signed by Judith Robertson

Jean Lamontagne
General Manager
Planning and Development

DN/dk

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Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Colin A. Hogan
 Focus Architecture Incorporated
 Address: Unit 109, 1528 McCallum Road
 Abbotsford, BC V2S 8A3

 Tel: (604)853-5222

2. Properties involved in the Application

- (a) Civic Address: 7918 – 168 Street

- (b) Civic Address: 7918 – 168 Street
 Owner: Hayes Builders Group (Fleetwood Townhomes) Ltd.
 PID: 006-934-862
 Lot 12 Section 19 Township 8 New Westminster District Plan 33907

3. Summary of Actions for City Clerk's Office

- (a) Introduce a By-law to amend the Official Community Plan to redesignate the site.

- (b) Introduce a By-law to rezone the property.

- (c) Proceed with Public Notification for Development Variance Permit No. 7915-0108-00 and bring the Development Variance Permit forward for an indication of support by Council. If supported, the Development Variance Permit will be brought forward for issuance and execution by the Mayor and City Clerk in conjunction with the final adoption of the associated Rezoning By-law.

DEVELOPMENT DATA SHEET

Proposed Zoning: RM-30

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA		
Gross Total		5,687 sq.m.
Road Widening area		1,105 sq.m.
Undevelopable area		
Net Total		4,582 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	37%
Paved & Hard Surfaced Areas		26%
Total Site Coverage		63%
SETBACKS		
Front (west): Building 1	7.5 metres	6.5 metres to corner of Building 1*
Front (west): Building 2	7.5 metres	5.5 metres to corner and 5.0 metres to the overhang of Building 2*
Rear (east): Building 4	7.5 metres	6.0 metres to building face and 5.0 metres to roof overhang of Building 4*
Rear (east) : Building 5	7.5 metres	3.0 metres to building face of the townhouse unit in Building 5, and 2.5 metres to the electrical room and 1.5 metres to roof overhang of Building 5*
Side #1 (north)	7.5 metres	4.0 metres to building face and 3.0 metres to overhangs of Buildings 1 & 5*
Side #2 (south)	7.5 metres	5.5 metres to building face and 5.0 metres to overhangs of Buildings 3 & 4*
BUILDING HEIGHT		
Principal	13 metres	13.5 metres* (Building 4 only)
Indoor Amenity Building	11 metres	5.5 metres
Accessory	4.5 metres	N/A
NUMBER OF RESIDENTIAL UNITS		
One Bed		N/A
Two Bedroom		N/A
Three Bedroom +		22
Total		22
FLOOR AREA: Residential		
		4,109 sq.m.
FLOOR AREA: Commercial		
Retail		N/A
Office		
Total		
FLOOR AREA: Industrial		
		N/A
FLOOR AREA: Institutional		
		N/A
TOTAL BUILDING FLOOR AREA	4,123 sq.m.	4,109 sq.m.

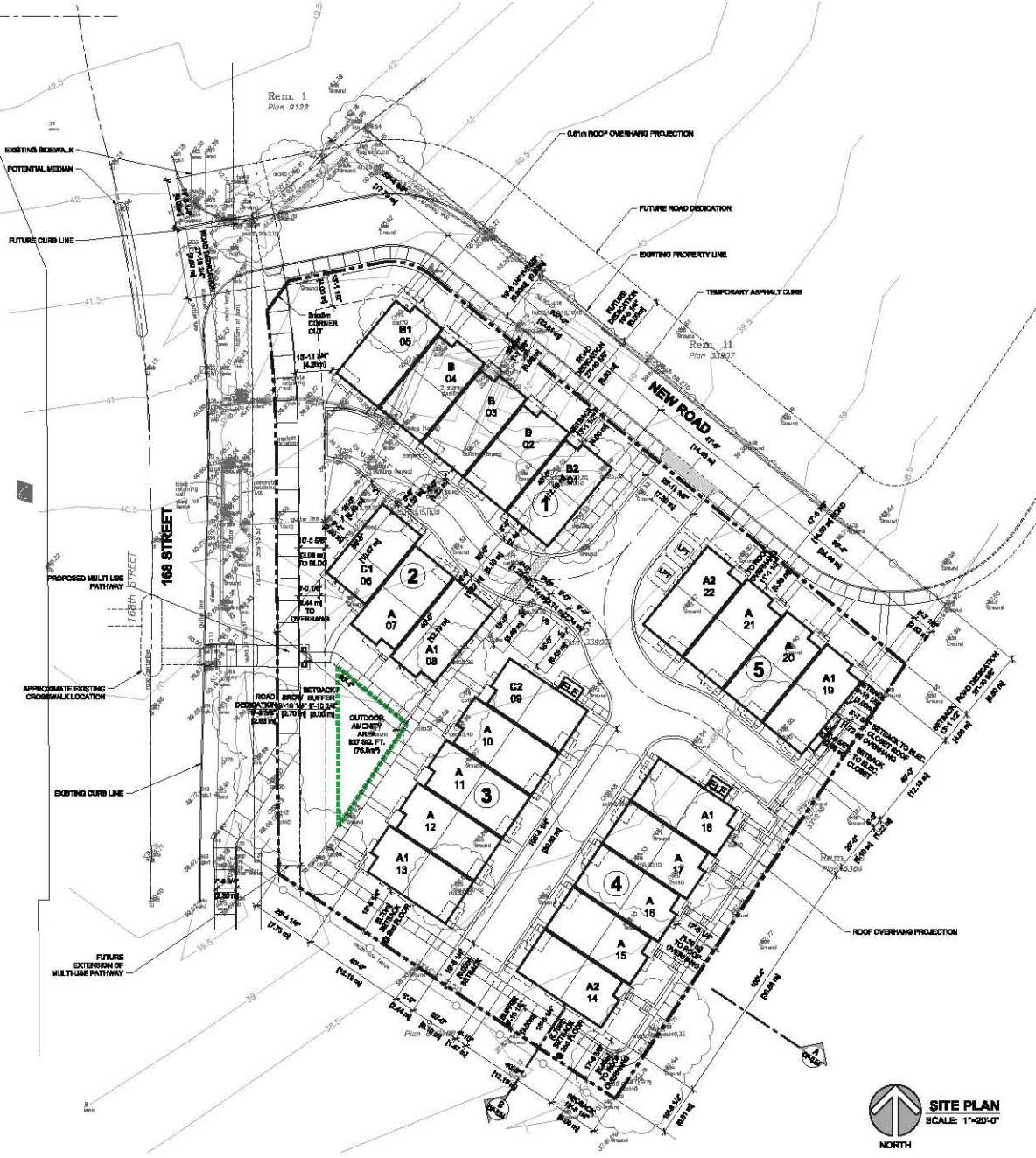
***Variances requested**

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		39 uph / 16 upa
# of units/ha /# units/acre (net)	75uph / 30 upa	48 uph / 19.5 upa
FAR (gross)		0.72
FAR (net)	0.90	0.90
AMENITY SPACE (area in square metres)		
Indoor	66 sq.m.	0.0 sq.m.
Outdoor	66 sq.m.	77 sq.m.
PARKING (number of stalls)		
Commercial		N/A
Industrial		N/A
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed	44	44
Residential Visitors	4	4
Institutional		N/A
Total Number of Parking Spaces	48	48
Number of disabled stalls		0
Number of small cars		0
Tandem Parking Spaces: Number / % of Total Number of Units		N/A
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----

PLAN AREA SHALL BE COPIED TO 1/8"



SITE RECONCILIATION

LEGAL DESCRIPTION:
 LOT 13 SECTION 18 TOWNSHIP 8 PLAN 23807 N402

CIVIC ADDRESS:
 7916-108 Street
 BURNLEY, BC

ZONING INFORMATION:

ZONE:	EXISTING: RA	PROPOSED: RA-30
LOT AREA:	GRAND SITE AREA = 41,218 sq ft / 0.9371 ac / 1.408 Ac / 0.666 Ha ROAD DEDICATION = 1,098 sq ft / 0.025 ac / 0.037 Ac / 0.015 Ha NET SITE AREA = 40,120 sq ft / 0.912 ac / 1.371 Ac / 0.651 Ha	
RETRACES:	REQUIRED:	PROPOSED:
EAST:	7.0m	3.0m
SOUTH:	7.0m	6.0m @ lower floor & 6.7m @ main/ upper floor
WEST - 168 Street:	7.0m	3.0m (2.0m @ 10g 2 & 4.0m @ 10g 1)
NORTH:	7.0m	4.0m
LOT DENSITY:	ALLOWABLE: 0.8	PROPOSED: 4,102.1m ² / 4,881.8m ² = 0.847 (EXCLUDED GARAGES, PARKING WITHIN THE BUILDING ENVELOPE)
UPH:	ALLOWABLE: 78 uph (20 UPH)	PROPOSED (RESIDENT): 23 uph / 0.269 Ha (1,498 sqm) = 35.7 uph (16.7 uph) PROPOSED (OFFICE): 23 uph / 0.498 Ha (1,122 sqm) = 45.8 uph (21.6 uph)
LOT COVERAGE:	ALLOWABLE: 45 %	PROPOSED: 1,882.45 sqm / 4,881.8m ² = 38.5%
BUILDING HEIGHT:	ALLOWABLE: 13m (43 ft)	PROPOSED: T.S.D. 13.36m (43.84 ft) @ BLDG 4 - MAX. HEIGHT - VARIANCE REQ'D
OUTDOOR AMENITY SPACE:	REQUIRED: 5m ² (52 sq ft) / du = 22 sq = 100m ² (704 sq ft)	PROPOSED: 76.9m ² (827 sq ft)
INDOOR AMENITY SPACE:	REQUIRED: 5m ² (52 sq ft) / du = 22 sq = 100m ² (704 sq ft)	PROPOSED: CASH IN-LIEU
PARKING - RESIDENT:	REQUIRED: 2 STALLS PER UNIT x 22 CU = 44 STALLS	PROPOSED: 44 STALLS
VISITOR:	REQUIRED: 0.2 STALLS PER UNIT x 22 CU = 4.4 STALLS	PROPOSED: 4.4 STALLS
		TOTAL PARKING PROVIDED: 48 STALLS

FLOOR AREA SUMMARY

UNIT TYPE	# OF UNITS	GARAGE	LOWER	MAIN	UPPER	ROOF	UNIT TOTALS	SITE TOTALS
A	0	410 sq ft	371 sq ft	749 sq ft	602 sq ft	49 sq ft	1,881 sq ft	17,700 sq ft
A1	3	410 sq ft	372 sq ft	750 sq ft	604 sq ft	49 sq ft	2,016 sq ft	207.3 sq ft
A2	3	410 sq ft	371 sq ft	750 sq ft	602 sq ft	49 sq ft	1,881 sq ft	584.7 sq ft
B	3	401 sq ft	410 sq ft	830 sq ft	694 sq ft	49 sq ft	2,185 sq ft	207.3 sq ft
B1	1	401 sq ft	410 sq ft	830 sq ft	695 sq ft	49 sq ft	2,216 sq ft	2,216 sq ft
B2	1	401 sq ft	410 sq ft	830 sq ft	695 sq ft	49 sq ft	2,216 sq ft	206.5 sq ft
C1	1	413 sq ft	282 sq ft	694 sq ft	740 sq ft	35 sq ft	1,764 sq ft	1,760 sq ft
C2	1	413 sq ft	316 sq ft	712 sq ft	797 sq ft	58 sq ft	1,896 sq ft	1,770 sq ft
TOTAL	28						14,830 sq ft	14,830 sq ft
GARAGES TOTAL		5246 sq ft					14,830 sq ft	4,881.1 sq ft

LOT COVERAGE SUMMARY

BUILDING #	# of UNITS	LOT COVERAGE
1	5	4,388.42 sq ft
2	3	2,361.80 sq ft
3	6	4,261.43 sq ft
4	6	4,261.43 sq ft
5	4	3,267.17 sq ft
TOTAL	28	14,180.65 sq ft

SITE PLAN
 SCALE: 1"=20'-0"
 NORTH

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2016-08-26
 2016-08-26
 2016-02-14
 2016-02-14

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PROJECT
 PROPOSED TOWNHOUSE DEVELOPMENT

7916-108 STREET
 BURNLEY BC

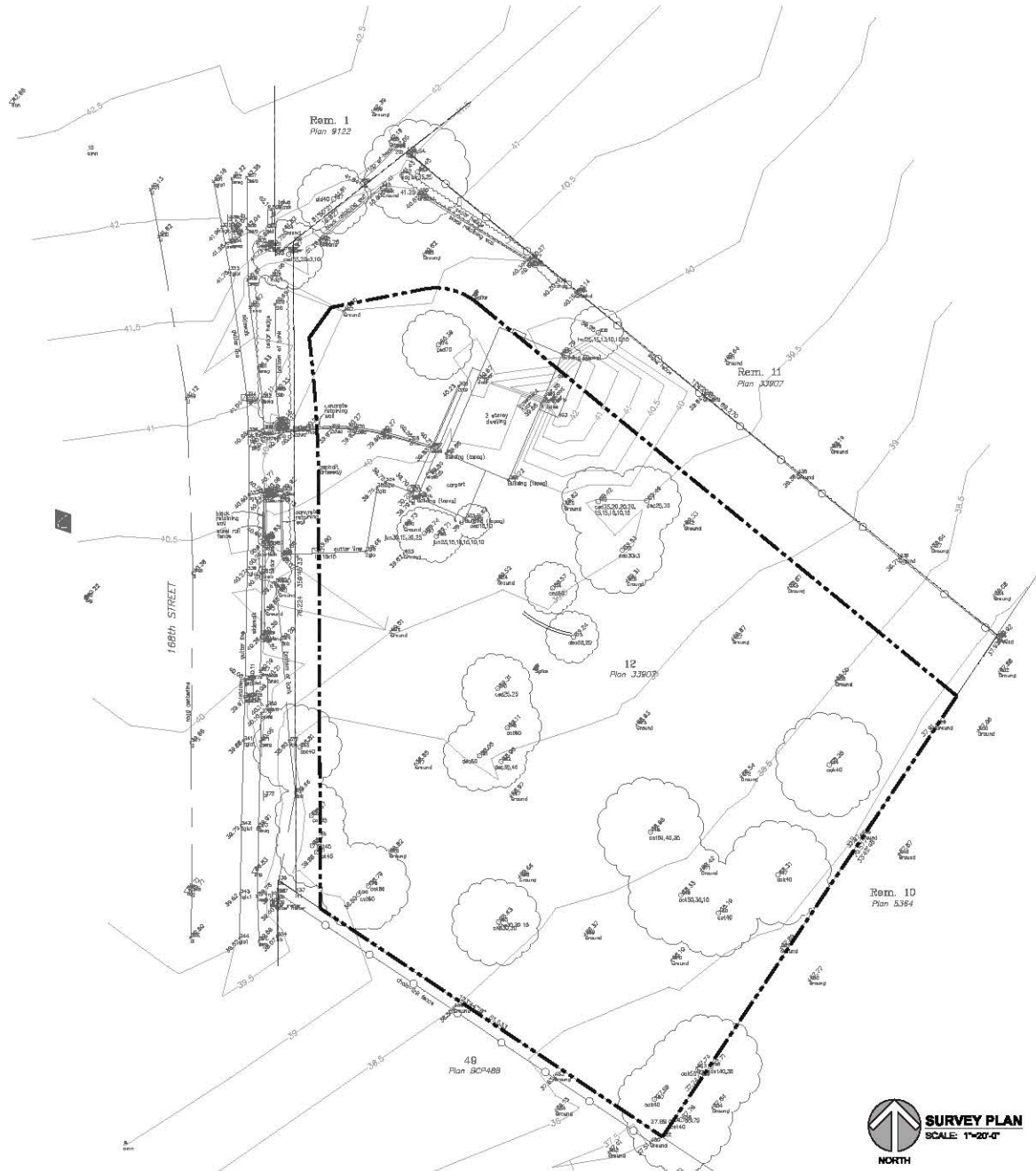
FILE: 7916-0188-00
 DRAWING TITLE

SITE PLAN

DATE: 2016.10.14 FILE NO.
 DWN: CL
 CHK: CH **1522**

SEAL
 SHEET NO.

DP-1



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PROPOSED TOWNHOUSE
DEVELOPMENT

7916 108 STREET
SURREY BC

FILE: 7916-0188-02
DRAWING TITLE

SURVEY PLAN

DATE: 2016.12.14 FILE NO.
DWN: CL
CHK: CH 1522

SEAL
SHEET NO.
DP-0.02

Project No. 1522 - 1522 - 1522 - 1522

Project No. 1522 - 1522 - 1522 - 1522



NORTH STREETScape (NEW ROAD)
SCALE: N.T.S.



WEST STREETScape (168 STREET)
SCALE: N.T.S.

DATE: 2014.02.14
DRAWN BY: J.S.
CHECKED BY: J.S.
REVISIONS:
CORRECT DATE:

CLIENT:

PROJECT:
PROPOSED TOWNHOUSE
DEVELOPMENT

2014 THE CLIENT:
MURRAY INC

FILE: 1522-000-00
DIVISION TITLE:

**COLOURED
STREETScapeS**

DATE: 2014.02.14 FILE NO.
DRAWN BY: J.S. AL
CHECKED BY: J.S. 1522

SCALE:
SHEET NO.
DP-0.0a

COLOUR SCHEME



PAINTED WOOD TRIM
BENJAMIN MOORE
"BLACK ONYX"
OR EQUIVALENT

CORRUGATED METAL SIDING
RAW GREY METAL COLOUR

PREFIN. ALUM. GUTTER, FLASHING,
& METAL RAILING
BLACK

ENTRY DOOR
GEL STAINED
METAL DOOR

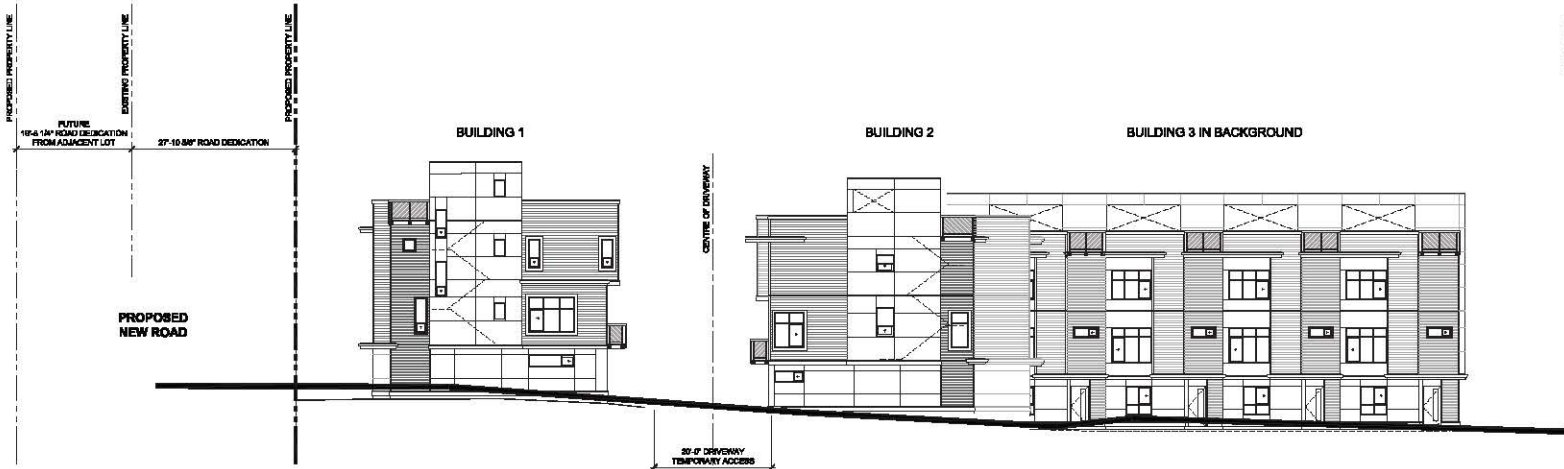
WINDOW FRAME
BLACK

HORIZONTAL VINYL SIDING
MITTEN
"VEGATTA BLUE"

HARDIE PANEL SIDING WITH REVEAL SYSTEM
BENJAMIN MOORE
CC-50 "WHITE DOWN"



NORTH STREETScape (NEW ROAD)
SCALE: 1"=10'-0"



WEST STREETScape (168 STREET)
SCALE: 1"=10'-0"

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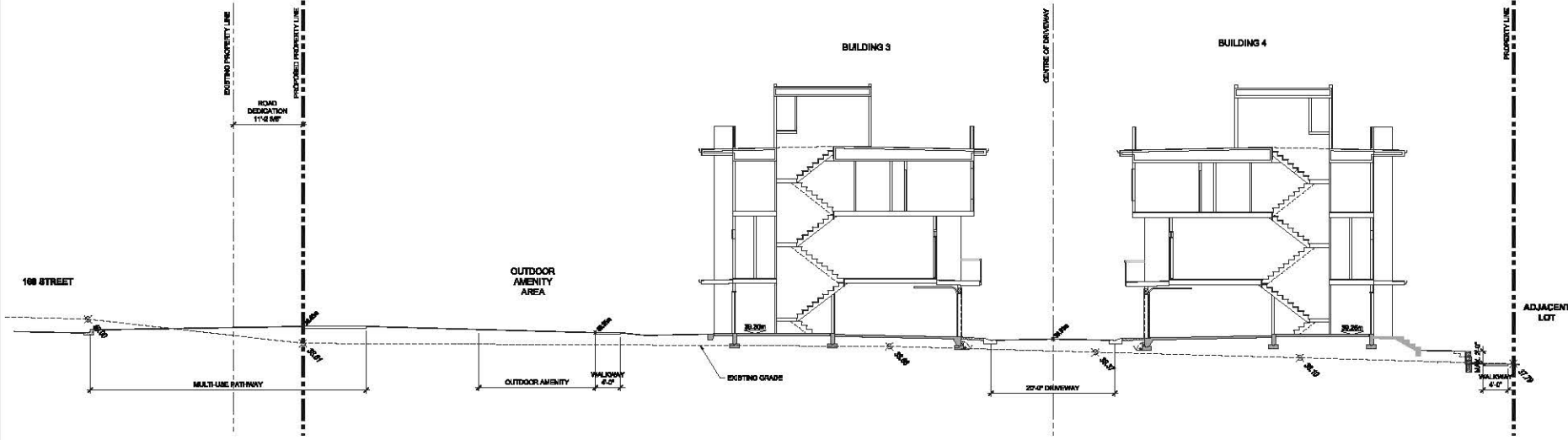
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PROJECT
PROPOSED TOWNHOUSE
DEVELOPMENT
7915 168 STREET
SURREY BC
FILE: 7915-01-00-00
DRAWING TITLE

STREETSCAPES
DATE: 2016.10.14 FILE NO.
DWN. CR 1522
CHK. CR

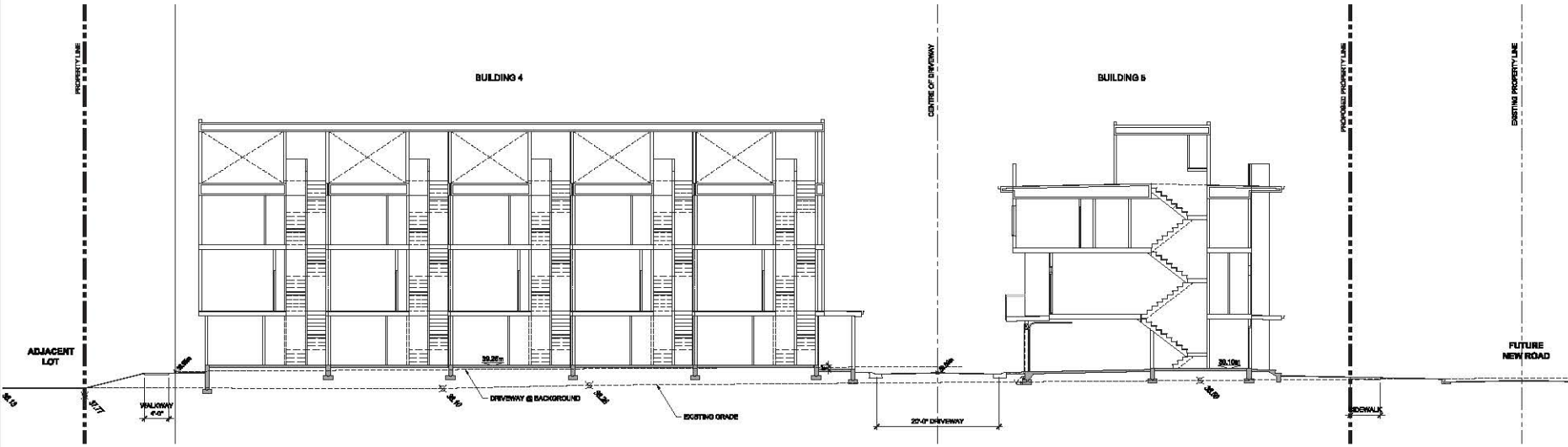
SEAL NO.
SHEET NO.
DP-0.03

PROJ: 7915-01-00-00-11-10000000.dwg

PLT: 2016-08-24 10:00:00 AM



A SITE SECTION 'A'
SCALE: 1/8" = 1'-0"



B SITE SECTION 'B'
SCALE: 1/8" = 1'-0"

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DEVELOPMENT
7915 100 STREET
SURREY BC
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SITE SECTIONS

DATE: 2016.10.14 FILE NO.
DWN: CK CH 1522
CHK: CH

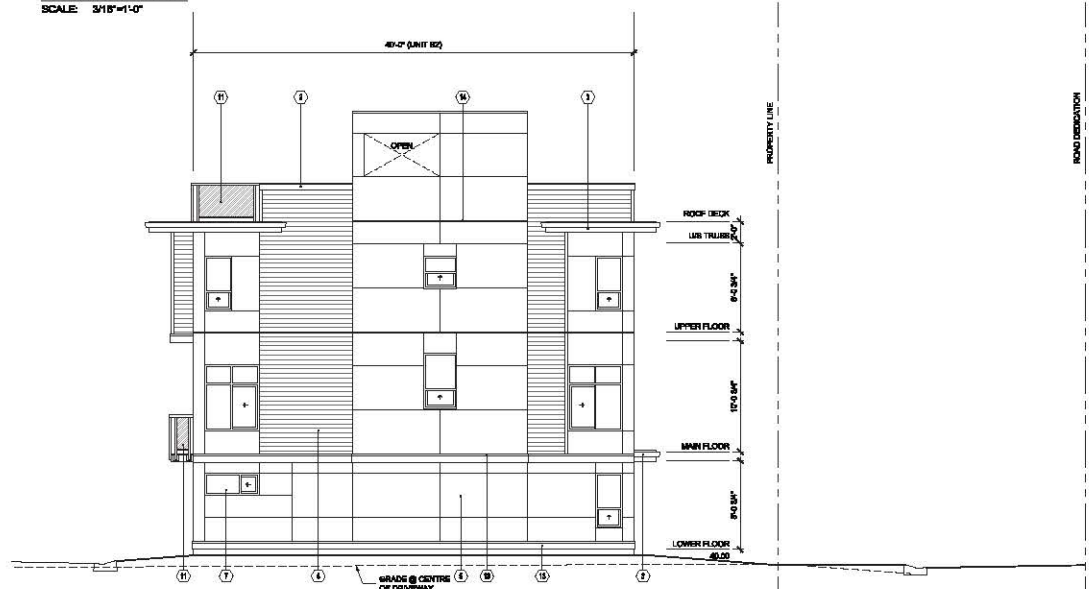
SEAL NO.
SHEET NO.

DP-0.04

2016-08-26 11:28:00 AM



SOUTH ELEVATION
SCALE: 3/16"=1'-0"



EAST ELEVATION
SCALE: 3/16"=1'-0"

ELEVATION MATERIAL LEGEND		
(1) ELECTRICAL ROOM	(11) SEALED DOUBLE GLAZED P.V.C. WINDOW OR WOOD TRIM WINDOW	(14) PRE/PAN/RED METAL THROUGH WALL FLASHING
(2) 2X6 PAINTED WOOD FASCIA w/ FLASHING	(12) ENTRY DOOR	
(3) 2X4 PAINTED ALUMINUM GUTTER	(13) OVERHEAD GARAGE DOOR	
(4) 2X4 PAINTED WOOD FASCIA	(15) 4" HIGH GLASS RAILING	
(5) HORIZONTAL VINYL SIDING	(16) RETAINING WALL	
(6) HORIZONTAL PANEL SIDING WITH REVEAL OVER LEAK	(17) 2X6 PAINTED WOOD TRIM w/ PRE/PAN/RED METAL FLASHING	
(7) CORRUGATED METAL CLADDING		
(8) SEALED DOUBLE GLAZED P.V.C. WINDOW		

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 PROJECT
 PROPOSED TOWNHOUSE DEVELOPMENT
 7916 108 STREET
 SURREY BC
 FILE: 7916-0188-00
 DRAWING TITLE

BUILDING 1 ELEVATIONS

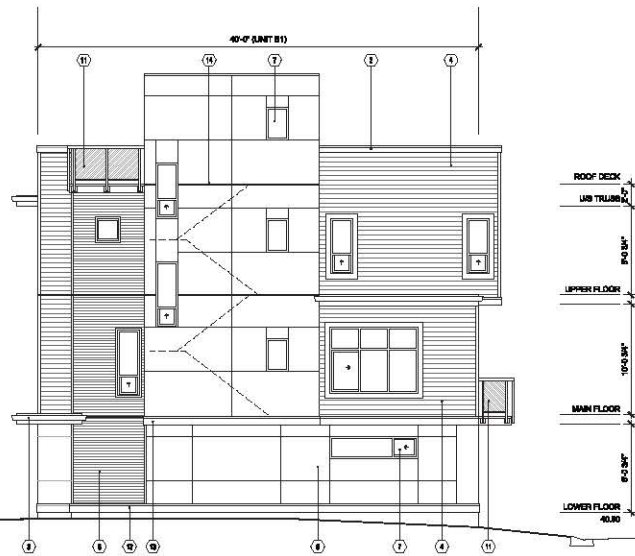
DATE: 2016.10.14 FILE NO.
 DWN: CR
 CHK: CH 1522

SEAL
 SHEET NO.
DP-1.03

2016-08-26 11:28:00 AM



NORTH ELEVATION
SCALE: 3/16"=1'-0"



WEST ELEVATION
SCALE: 3/16"=1'-0"

ELEVATION MATERIAL LEGEND		
① ELECTRICAL ROOM	① SEALED DOUBLE GLAZED P.V.C. W/ETL FLOOR OR WOOD TRIM	④ PREFINISHED METAL THROUGH WALL FLASHING
② 2X6 PAINTED WOOD FASCIA w/ FLASHING	② ENTRY DOOR	
③ 2X12 PAINTED WOOD FASCIA	③ OVERHEAD GARAGE DOOR	
④ 2X12 PAINTED WOOD FASCIA	④ 4\"/>	
⑤ HORIZONTAL VINYL SIDING	⑤ RETAINING WALL	
⑥ LAMBS PANEL SIDING WITH REVEAL SYSTEM	⑥ 2X6 PAINTED WOOD TRIM w/ PREFINISHED METAL FLASHING	
⑦ CORRUGATED METAL CLADDING		
⑧ SEALED DOUBLE GLAZED P.V.C. WINDOW		

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DEVELOPMENT
7916 108 STREET
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P.L.R. 7916-0188-00
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**BUILDING 1
ELEVATIONS**

DATE 2016.12.14 FILE NO.
DWN. CK
CHK. CH **1522**

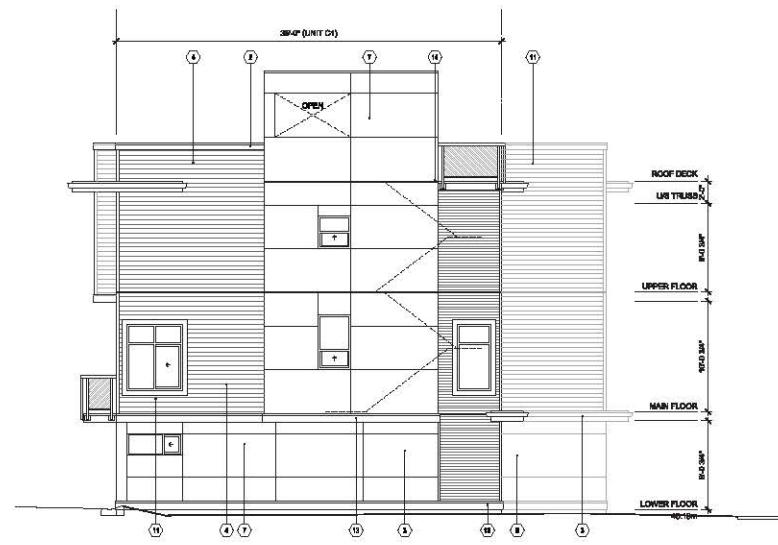
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2016-08-26 11:10:00 AM



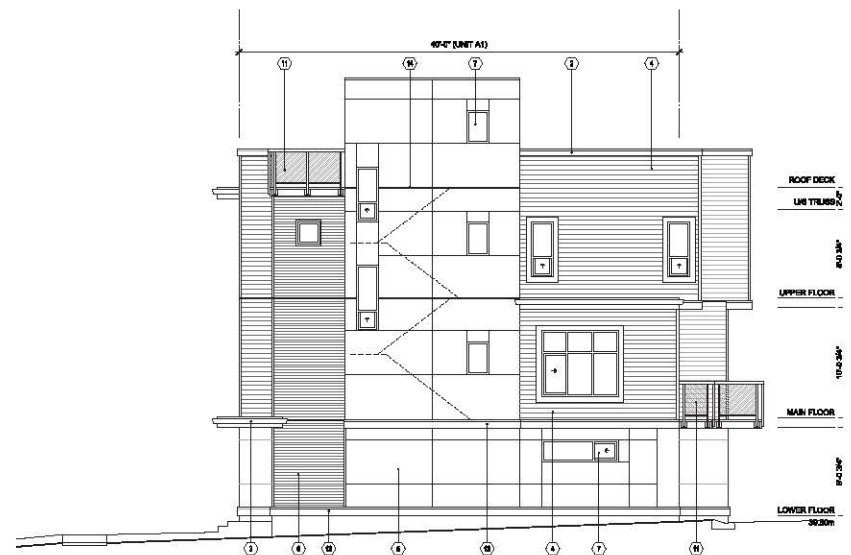
NORTH ELEVATION
SCALE: 3/16"=1'-0"



WEST ELEVATION
SCALE: 3/16"=1'-0"



SOUTH ELEVATION
SCALE: 3/16"=1'-0"



EAST ELEVATION
SCALE: 3/16"=1'-0"

ELEVATION MATERIAL LEGEND		
① ELECTRICAL ROOM	① SEALED DOUBLE GLAZED P.V.C. WINDOW DOOR OR WOOD TRIM	④ PEP/PAINTED METAL THROUGH WALL FLASHING
② 2X2 PAINTED WOOD FASCIA w/ FLASHING	② ENTRY DOOR	
③ 2X2 PAINTED ALUMINUM GUTTER	③ OVERHEAD GARAGE DOOR	
④ 2X2 PAINTED WOOD FASCIA	④ 4" HIGH GLASS TAILING	
⑤ HORIZONTAL VINYL SIDING	⑤ RETAINING WALL	
⑥ LAMBS PANEL SIDING WITH REVEAL OVER LEAF	⑥ 2X2 PAINTED WOOD TRIM OR PROPRIETARY METAL FLASHING	
⑦ CORRUGATED METAL CLADDING		
⑧ 2X2 DOUBLE GLAZED P.V.C. WINDOW		

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PROJECT
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DEVELOPMENT

7916 108 STREET
SURREY BC

FILE: 7916-0188-00
DRAWING TITLE

**BUILDING 2
ELEVATIONS**

DATE: 2016.10.14 FILE NO.
DWN: CR
CHK: CH 1522

SEAL NO.

DP-2.03

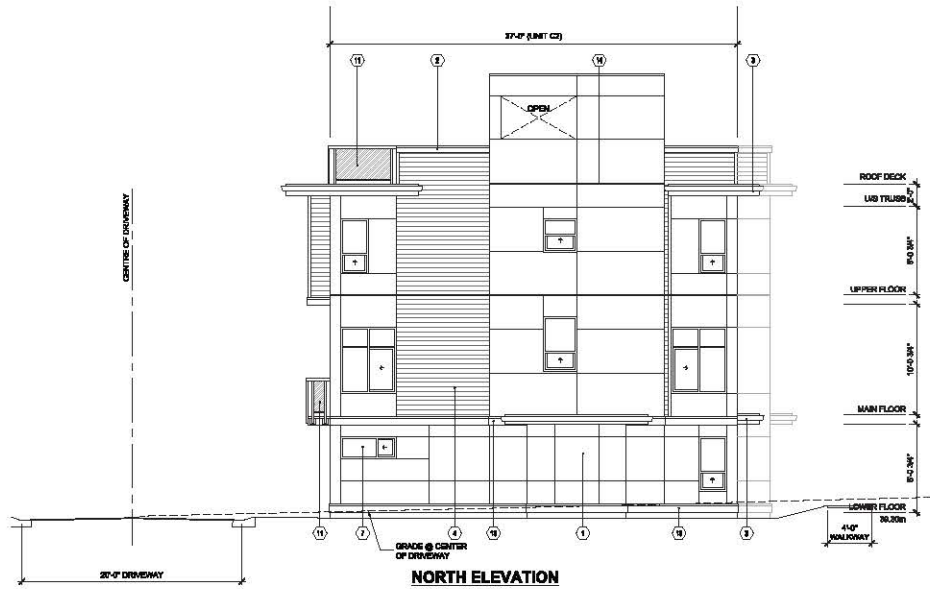
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PROJECT: 7915 SURREY ST. 11/15/2016 (REV. 01)

PROJECT: 7915 SURREY ST. 11/15/2016 (REV. 01)



EAST ELEVATION
SCALE: 3/16"=1'-0"



NORTH ELEVATION
SCALE: 3/16"=1'-0"

ELEVATION MATERIAL LEGEND		
① ELECTRICAL ROOM	① SEALED DOUBLE GLAZED P.V.C. W/DOOR OR WOOD TRIM	④ PREFINISHED METAL THROUGH WALL FLASHING
② 2X6 PAINTED WOOD FASCIA w/ FLASHING	② ENTRY DOOR	
③ 2X4 PAINTED ALUMINUM GUTTER	③ OVERHEAD GARAGE DOOR	
④ 2X4 PAINTED WOOD FASCIA	④ 4\"/>	

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PROJECT
PROPOSED TOWNHOUSE DEVELOPMENT
7915 108 STREET
SURREY BC
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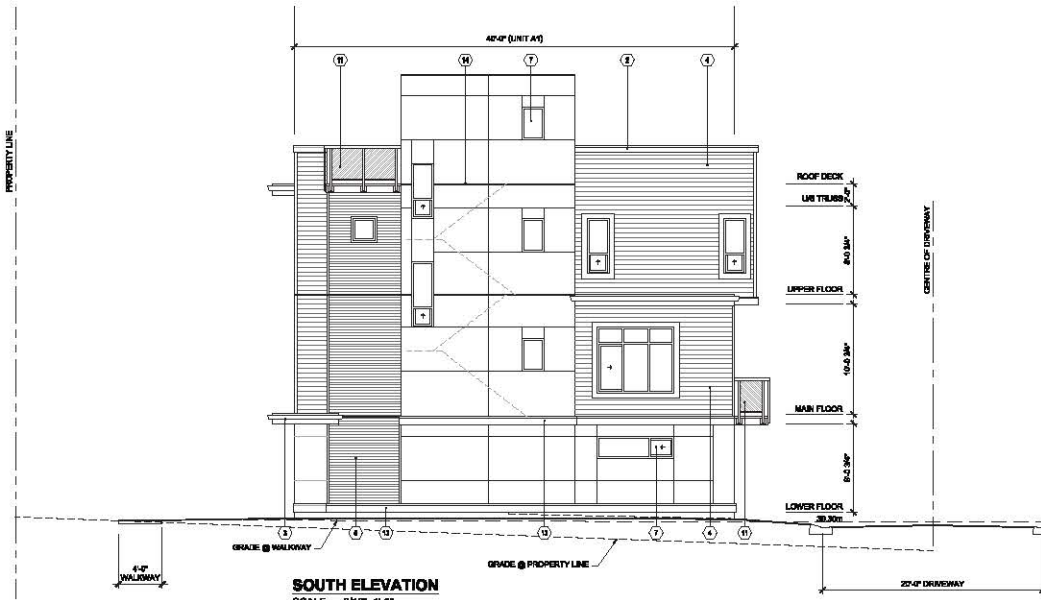
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DATE: 2016.12.14 FILE NO.
DWN. CR 1522
CHK. CH

SEAL
SHEET NO.
DP-3.03



WEST ELEVATION
SCALE: 3/16"=1'-0"



SOUTH ELEVATION
SCALE: 3/16"=1'-0"

ELEVATION MATERIAL LEGEND		
① ELECTRICAL ROOM	① SEALED DOUBLE GLAZED P.V.C. WINDOW OR UP WOOD TRIM	④ PREFINISHED METAL THROUGH WALL FLASHING
② 2X6 PAINTED WOOD FASCIA w/ FLASHING	② ENTRY DOOR	
③ 2\"/>		

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DEVELOPMENT

7916 108 STREET
SURREY BC

PLR: 7916-0188-00

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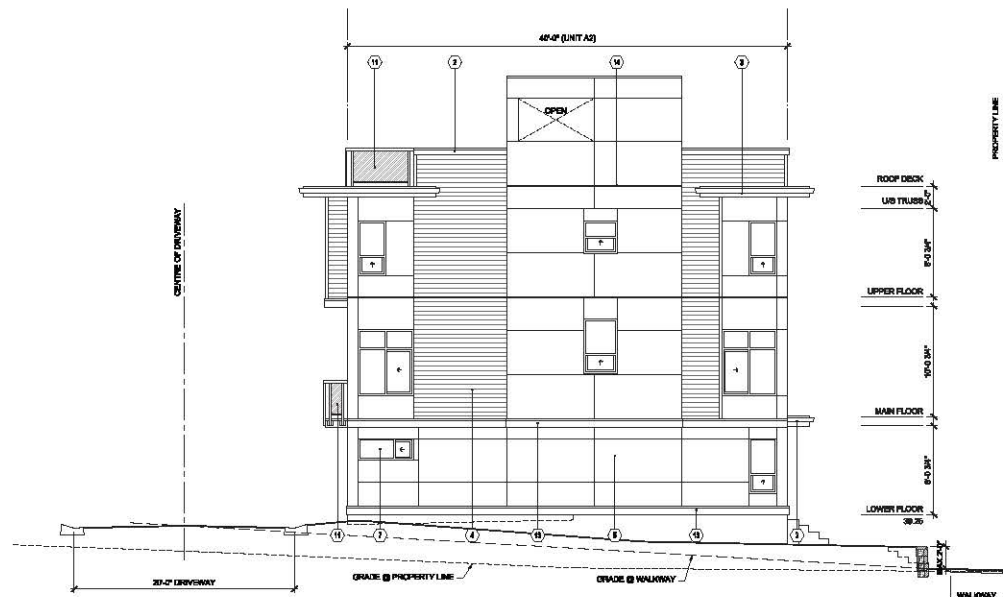
**BUILDING 3
ELEVATIONS**

DATE: 2016.12.14 FILE NO.
DWN: CK
CHK: CH **1522**

SEAL
SHEET NO.
DP-3.04



WEST ELEVATION
SCALE: 3/16"=1'-0"



SOUTH ELEVATION
SCALE: 3/16"=1'-0"

ELEVATION MATERIAL LEGEND		
① ELECTRICAL ROOM	① SEALED DOUBLE GLAZED P.V.C. WINDOW DOOR OR WOOD TRIM	④ PREFINISHED METAL THROUGH WALL FLASHING
② 2X6 PAINTED WOOD FASCIA w/ FLASHING	② ENTRY DOOR	
③ 2X4 PAINTED ALUMINUM GUTTER	③ OVERHEAD GARAGE DOOR	
④ 2X4 PAINTED WOOD FASCIA	④ 4\"/>	
⑤ HORIZONTAL VINYL SIDING	⑤ RETAINING WALL	
⑥ LARGE PANEL SIDING WITH REVEAL	⑥ 2X6 PAINTED WOOD TRIM w/ PREFINISHED METAL FLASHING	
⑦ 1X4 SIDING		
⑧ CORRUGATED METAL CLADDING		
⑨ SEALED DOUBLE GLAZED P.V.C. WINDOW		

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PROJECT
PROPOSED TOWNHOUSE DEVELOPMENT
7916 108 STREET
SURREY BC
FILE: 7916-0188-00
DRAWING TITLE

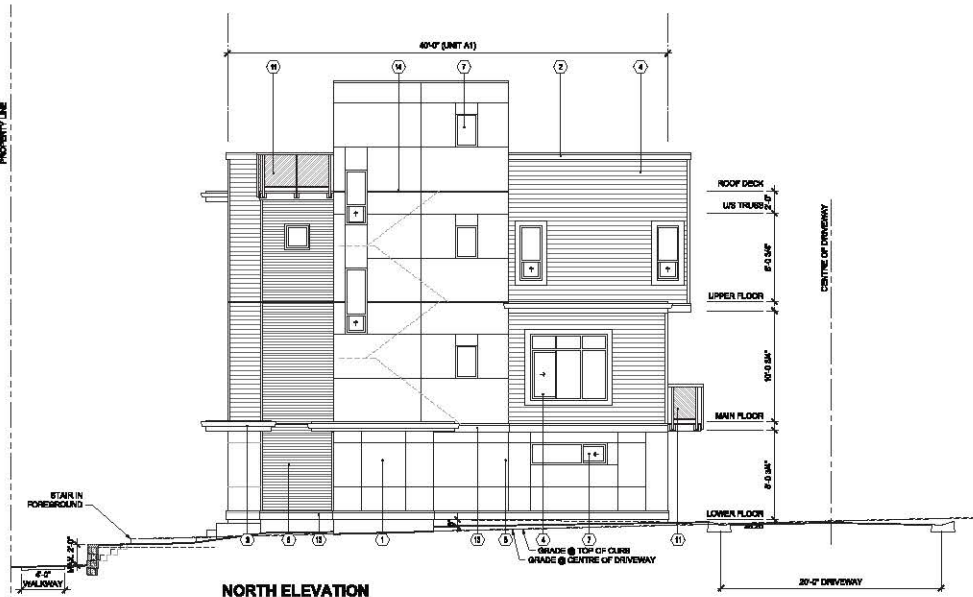
BUILDING 4 ELEVATIONS

DATE: 2016.10.14 FILE NO.
DWN: CK
CHK: CH **1522**

SEAL
SHEET NO.
DP-4.03



EAST ELEVATION
SCALE: 3/16"=1'-0"

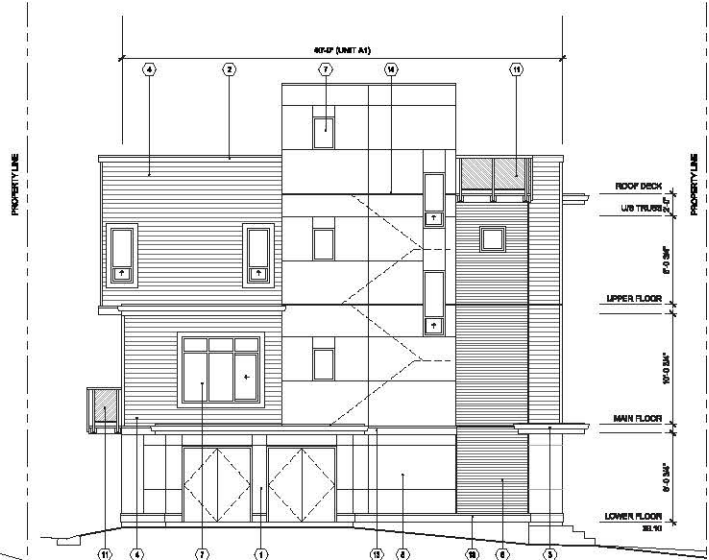


NORTH ELEVATION
SCALE: 3/16"=1'-0"

ELEVATION MATERIAL LEGEND		
① ELECTRICAL ROOM	④ SEALED DOUBLE GLAZED P.V.C. WINDOW DOOR OR WOOD TRIM WINDOW	⑧ PREFINISHED METAL THROUGH WALL FLASHING
② 2X6 PAINTED WOOD FASCIA OR FLASHING	⑤ ENTRY DOOR	
③ 4X4 PAINTED ALUMINUM OUTER FINISH PAINTED WOOD FASCIA	⑥ OVERHEAD GARAGE DOOR	
⑦ HORIZONTAL VINYL SIDING	⑨ 4\"/>	
⑩ LARGE PANEL SIDING WITH REVEAL SYSTEM	⑩ RETAINING WALL	
⑪ CORRUGATED METAL CLADDING	⑪ 2X6 PAINTED WOOD TRIM OR PREFINISHED METAL FLASHING	
⑫ SEALED DOUBLE GLAZED P.V.C. WINDOW		



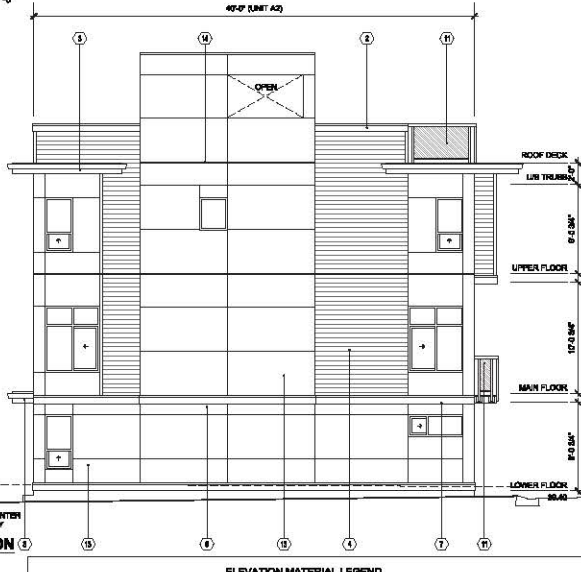
SOUTH ELEVATION
SCALE: 3/16"=1'-0"



EAST ELEVATION
SCALE: 3/16"=1'-0"



NORTH ELEVATION
SCALE: 3/16"=1'-0"



WEST ELEVATION
SCALE: 3/16"=1'-0"

ELEVATION MATERIAL LEGEND		
① ELECTRICAL ROOM	① SEALED DOUBLE GLAZED P.V.C. WINDOW OR DOOR OF WOOD TRIM FINISH	④ PREFINISHED METAL THROUGH WALL FLASHING
② PAINTED WOOD FASCIA OR FLASHING	② ENTRY DOOR	
③ PREFINISHED ALUMINUM GUTTER	③ OVERHEAD GARAGE DOOR	
⑤ HORIZONTAL VINYL SIDING	⑤ 4" HIGH GLASS TAILING	
⑥ LARGE PANEL SIDING WITH REVEAL STYLE	⑥ RETAINING WALL	
⑦ CORRUGATED METAL CLADDING	⑦ PAINTED WOOD TRIM OR PREFINISHED METAL FLASHING	
⑧ SEALED DOUBLE GLAZED P.V.C. WINDOW		

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PROJECT
PROPOSED TOWNHOUSE DEVELOPMENT

7916 108 STREET
SURREY BC

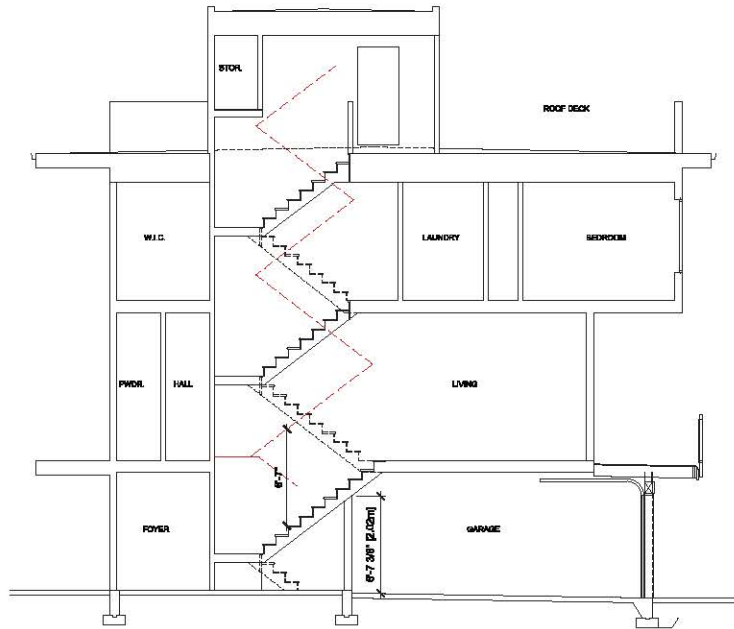
FILE: 7916-0188-03
DRAWING TITLE

BUILDING 5 ELEVATIONS

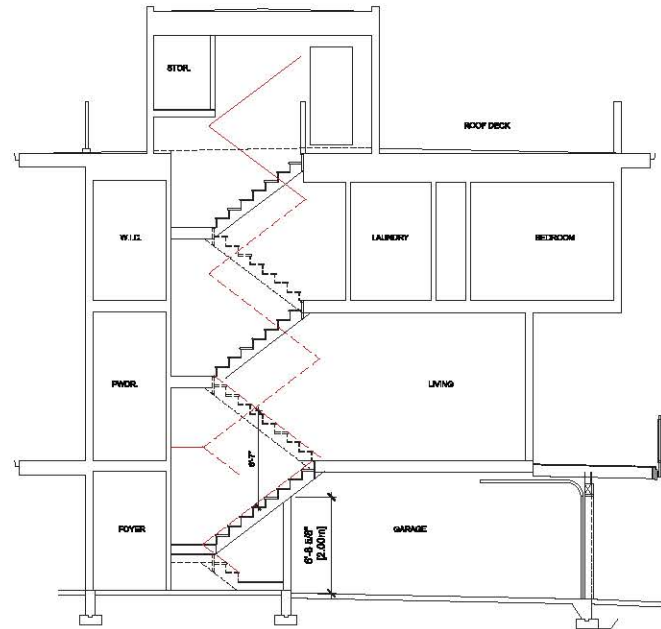
DATE: 2016.10.14 FILE NO.
DWN. CR 1522
CHK. CW
DES. CH

SEAL SHEET NO.

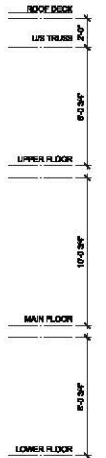
DP-5.03



TYP. UNIT A & B STAIR SECTION
SCALE: 1/4"=1'-0"



TYP. UNIT C STAIR SECTION
SCALE: 1/4"=1'-0"



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- REVISIONS
- 2016-02-24 REVISIONS
- 2016-02-11 REVISION FOR PER/SP

CONSULTANT

CLIENT

PROJECT
PROPOSED TOWNHOUSE DEVELOPMENT
7916 108 STREET
SURREY BC
FILE: 2016-01-28-20
DRAWING TITLE

UNIT SECTIONS

DATE	2016.02.14	FILE NO.	
DWN.	CR	1522	
CHK.	CR		

SEAL
SHEET NO.
DP-6.07



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pmg
LANDSCAPE ARCHITECTS

Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia V5C 6G9
p. 604 294-0011 - f. 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	16 APR 22	UPDATE PER NEW SITE PLAN	CLD

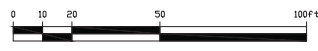
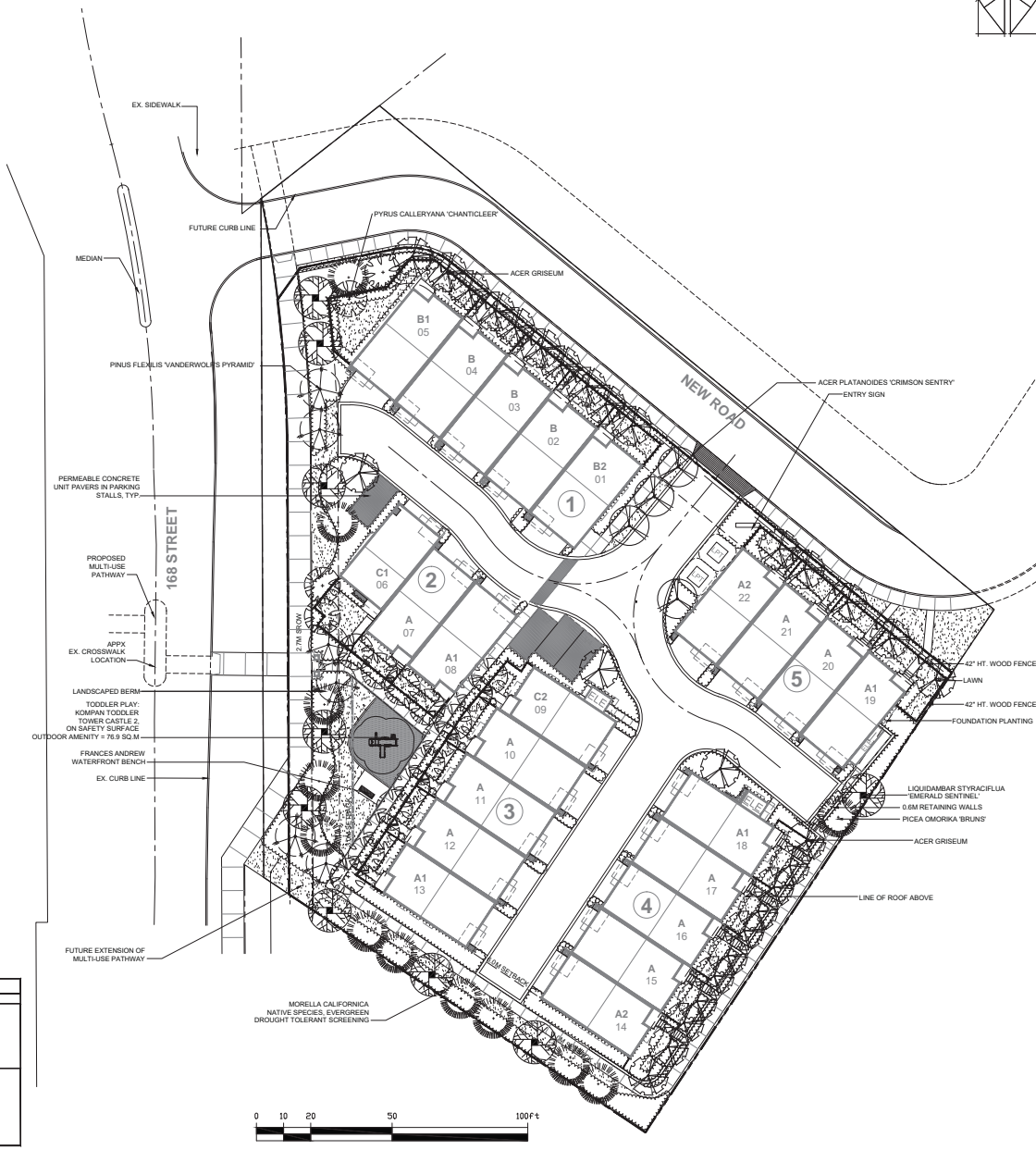
PROJECT:

PROPOSED TOWNHOUSE DEVELOPMENT

7918 168TH STREET
SURREY, B.C.

LANDSCAPE PLAN

DATE: 15 NOV 25 DRAWING NUMBER:
SCALE: 1"=20'-0"
DRAWN: MM
DESIGN: MM
CHKD: OF 3



FRANCES ANDREW WATERFRONT BENCH
- COLOUR DRIFTWOOD GREY

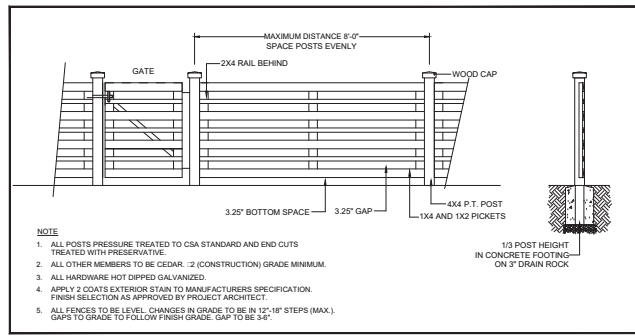


KOMPAN TODDLER TOWER CASTLE

TREE SCHEDULE				PMG PROJECT NUMBER: 15-172
QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	REMARKS
29	ACER GRISEUM	PAPERBARK MAPLE	6CM CAL. 1.9M STD. B&B	
4	ACER PLATANOIDES CRIMSON SENTRY	COLUMNAR CRIMSON SENTRY MAPLE	6CM CAL. 2M STD. B&B	
10	LIQUIDAMBAR STYRACIFLUA EMERALD SENTINEL	EMERALD SENTINEL SWEEETGUM	6CM CAL. 2M STD. B&B	
12	PICEA OMORICA BIRUNS	BIRUNS SPRUCE	2.3M HT. B&B	
6	PINUS FLEXILIS VANDERWOLF'S PYRAMID	VANDERWOLF'S PYRAMIDAL LIMBER PINE	2M HT. B&B	
18	PYRUS CALLERYANA CHANTICLEER	CHANTICLEER PEAR	6CM CAL. 1.9M STD. B&B	

NOTES: - PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNRA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. - REFER TO SPECIFICATIONS FOR DESIGNED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. - SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. - SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. - ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD. - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

SEAL:

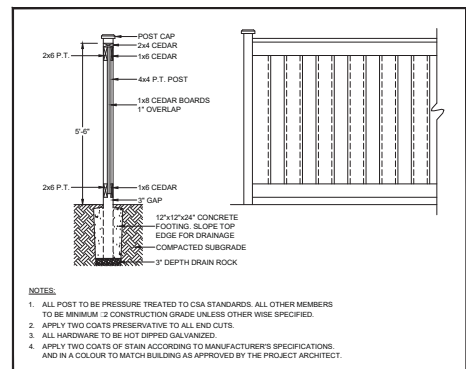


- NOTE:**
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 2. ALL OTHER MEMBERS TO BE CEDAR. 2 (CONSTRUCTION) GRADE MINIMUM.
 3. ALL HARDWARE HOT DIPPED GALVANIZED.
 4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURER'S SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
 5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3/4"

1 42" WOOD PICKET FENCE
 1/2"=1'-0"

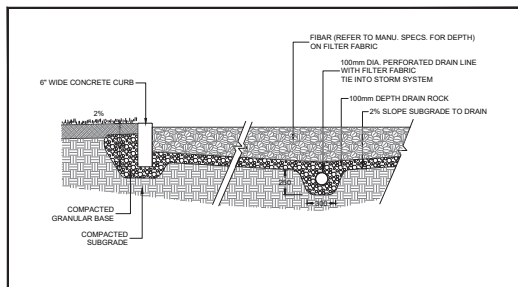


KOMPAN TOWER CASTLE



- NOTES:**
1. ALL POST TO BE PRESSURE TREATED TO CSA STANDARDS. ALL OTHER MEMBERS TO BE MINIMUM 2 (CONSTRUCTION) GRADE UNLESS OTHER WISE SPECIFIED.
 2. APPLY TWO COATS PRESERVATIVE TO ALL END CUTS.
 3. ALL HARDWARE TO BE HOT DIPPED GALVANIZED.
 4. APPLY TWO COATS OF STAIN ACCORDING TO MANUFACTURER'S SPECIFICATIONS, AND IN A COLOUR TO MATCH BUILDING AS APPROVED BY THE PROJECT ARCHITECT.

2 ACOUSTIC FENCE
 1/2"=1'-0"



3 PLAYGROUND SAFETY SURFACE
 1/2"=1'-0"

NO.	DATE	REVISION DESCRIPTION	DR.
1	16 APR 22	UPDATE PER NEW SITE PLAN	CLG

CLIENT:

PROJECT:

PROPOSED TOWNHOUSE DEVELOPMENT

**7918 168TH STREET
 SURREY, B.C.**

DRAWING TITLE:
LANDSCAPE DETAILS

DATE: 15 NOV 25 DRAWING NUMBER:
 SCALE: AS SHOWN
 DRAWN: MM
 DESIGN: MM
 CHKD: MCY

L3
 OF 3

TO: **Manager, Area Planning & Development - North Surrey Division
Planning and Development Department**

FROM: **Development Project Engineer, Engineering Department**

DATE: **June 22, 2016** PROJECT FILE: **7815-0108-00**

RE: **Engineering Requirements
Location: 7918 168 Street**

OCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment.

REZONE

Property and Right-of-Way Requirements

- Dedicate 2.808 m along 168 Street towards the 30 m Arterial Road Standard.
- Dedicate 8.5 m along the north/east property line towards the 14.5 m Flex Road.
- Provide a 2.7 m Statutory Right-of-Way along the 168 Street frontage to facilitate the construction of the Multi-Use Pathway.
- Provide a 0.5 m Statutory Right-of-Way along the frontage of the Flex Road.

Works and Services

- Construct a 4.0 m Multi-Use Pathway along the east side of 168 Street.
- Construct a 0.6 m wide finger median along the existing 168 Street left turn bay to restrict Flex Road to right in/ right out.
- Construct the Flex Road to an interim standard until future development of adjacent lands.
- Construct a 7.3 m concrete driveway letdown to the Flex Road.
- Provide on-site stormwater mitigation features per the draft Fleetwood – Greenway – North Creek ISMP.
- Construct water, storm, and sanitary service connections to service the development.
- Abandon existing service connections no longer required to the proposed lot.

A Servicing Agreement is required prior to Rezoning.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.


Robert Cooke, Eng.L.
Development Project Engineer

CE4



Friday, April 22, 2016

Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 15 0108 00

SUMMARY

The proposed 22 townhouse units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	4
Secondary Students:	2

September 2015 Enrolment/School Capacity

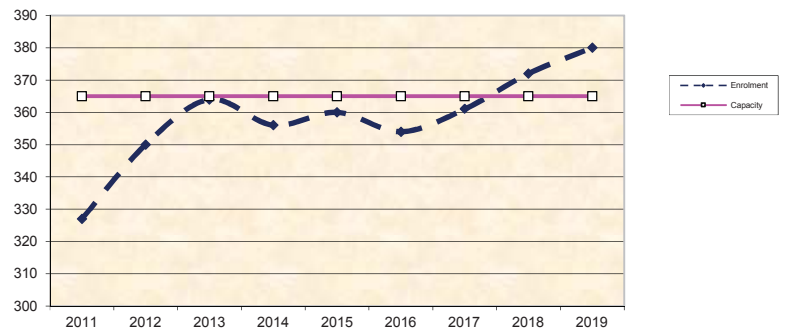
William Watson Elementary	
Enrolment (K/1-7):	38 K + 322
Capacity (K/1-7):	40 K + 325
Fleetwood Park Secondary	
Enrolment (8-12):	1371
Nominal Capacity (8-12):	1200
Functional Capacity*(8-12):	1296

School Enrolment Projections and Planning Update:

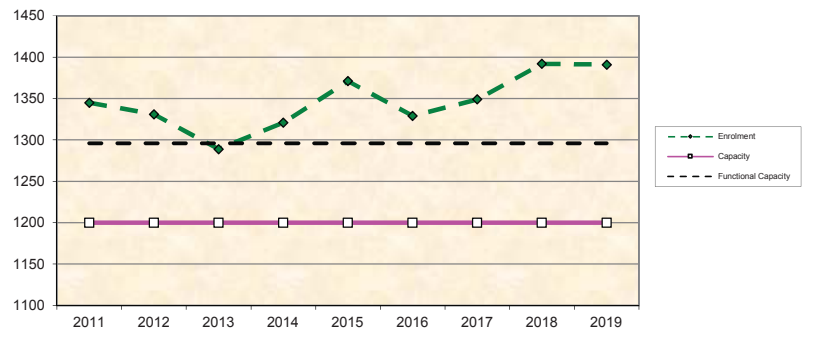
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

There are no new capital projects proposed at William Watson Elementary or Fleetwood Park Secondary. Fleetwood Park Secondary is slightly over capacity and uses 3 portables to help accommodate the additional enrolment. William Watson is subject to enrolment pressures which will increase as development continues along Fraser Highway.

William Watson Elementary



Fleetwood Park Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: TBD

Address: 7918 -168 Street, Surrey, BC

Registered Arborist: Monica Ardiel

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	30
Protected Trees to be Removed	30
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 15 X one (1) = 15 _____ - All other Trees Requiring 2 to 1 Replacement Ratio 15 X two (2) = 30 _____ 	45
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	1
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 1 X one (1) = 1 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0 	0
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist:

Date: February 11, 2015



Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder/ Cottonwood	15	0	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Birch, Paper	1	1	0
Cherry	2	2	0
Cherry, Bitter	1	1	0
Oak, English	2	2	0
Plum, Purple Leaf	1	1	0
Coniferous Trees			
Cedar, Western Red	1	1	0
Falsecypress	6	6	0
Holly	1	1	0
Total (excluding Alder and Cottonwood Trees)	15	15	0
Additional Trees in the proposed Open Space / Riparian Area	NA	NA	NA
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		TBD	
Total Retained and Replacement Trees		TBD	



MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS

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 Surrey, British Columbia
 V3W 0A6
 Ph: (778) 593-0300
 Fax: (778) 593-0302
 Mobile: (604) 240-0309
 Email: mfadum@fadum.ca

CLIENT
BOBBY NAGRA

FILE NO.

PROJECT TITLE
TREE PRESERVATION AND PROTECTION PLAN

7918 168 ST.
 SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	FEB1715	SL	NEW SITE PLAN
2	AUG0715	JT	NEW SITE PLAN

SHEET TITLE

T1 - TREE REMOVAL AND PRESERVATION PLAN

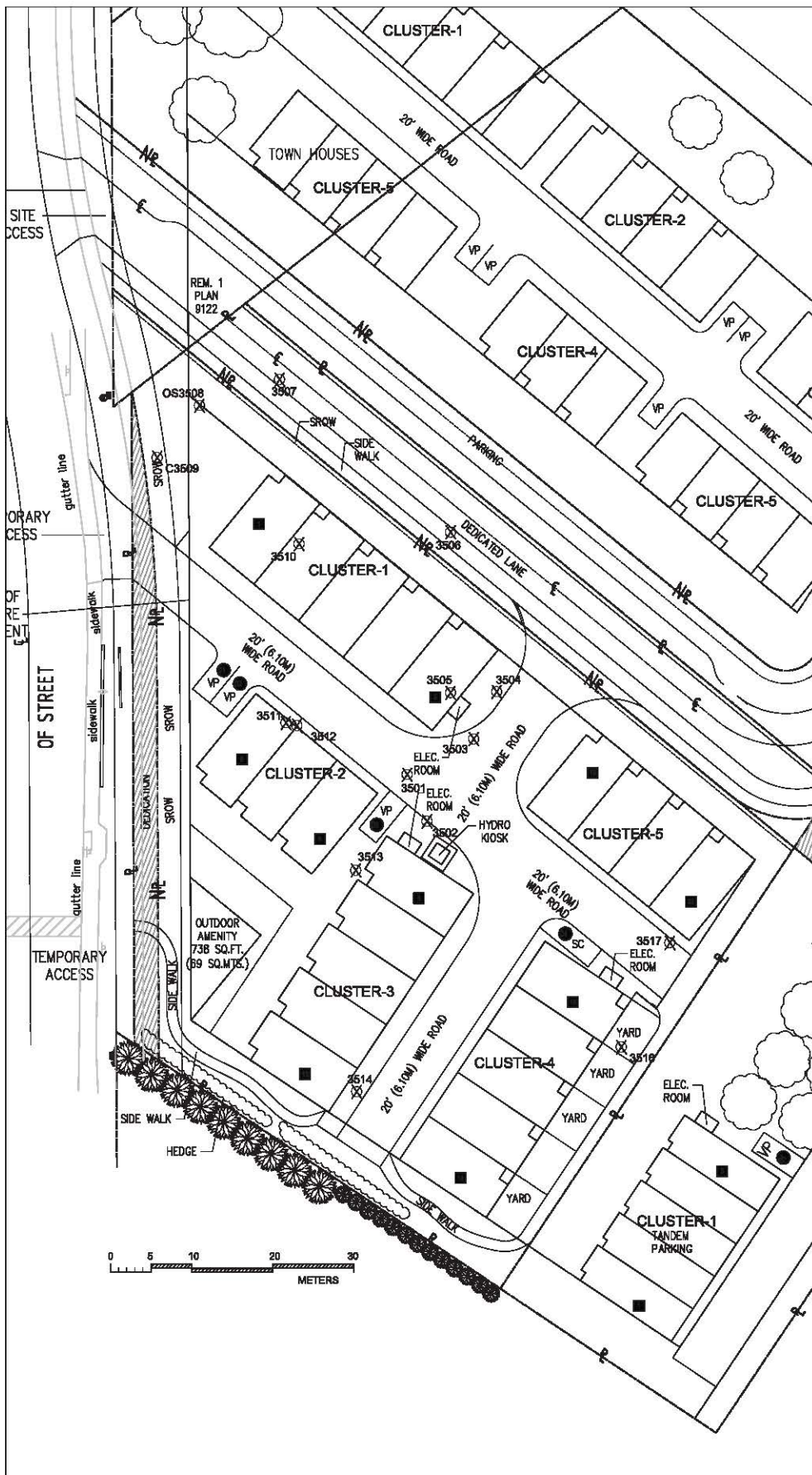
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DRAWN
SGL

SCALE
AS SHOWN

DATE
JANUARY 22, 2015

T-1
 SHEET 1 OF 1



LEGEND

 TREE TO BE REMOVED



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7915-0108-00

Issued To: Hayers Builders Group (Fleetwood Townhomes) Ltd.
("the Owner")

Address of Owner: 16317 – 36A Avenue
Surrey, BC V3S 0X5

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 006-934-862
Lot 12 Section 19 Township 8 New Westminster District Plan 33907
7918 - 168 Street

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) To reduce the minimum front yard (west) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 6.5 metres (21 ft.) to the corner of Building 1, and to 5.5 metres (18 ft.) to the corner of Building 2 and to 5.0 metres (16.5 ft.) to the building overhang of Building 2;
- (b) To reduce the minimum rear yard (east) setback of the RM-30 Zone from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) to the building face and to 5.0 metres (16.5 ft.) to the roof overhang of Building 4, and to 3.0 metres (10 ft.) to the building face of the east townhouse unit in Building 5 and to 2.5 metres (8 ft.) to the building face of the electrical room and to 1.5 metres (5 ft.) to the electrical room roof overhang of Building 5;
- (c) To reduce the minimum north side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 4.0 metres (13 ft.) to the building face and to 3.0 metres (10 ft.) to the roof overhangs of Buildings 1 and 5;

- (d) To reduce the minimum south side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to 5.5 metres (18 ft.) to the building face and to 5.0 metres (16.5 ft.) to the roof overhangs of Buildings 3 and 4; and
 - (e) To increase the maximum permitted building height of the RM-30 Zone from 13 metres (42.5 ft.) to 13.5 metres (43.5 ft.) for Building 4 only.
4. This development variance permit applies to only the buildings and structures on the Land shown on Schedule A, which is attached hereto and forms part of this development variance permit.
 5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
 6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
 7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
 8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

Setback relaxations shown in red



SITE RECONCILIATION

LEGAL DESCRIPTION:
LOT 12 SECTION 19 TOWNSHIP 8 PLAN 33907 NVD

CIVIC ADDRESS:
7915-168 Street
SURREY, BC

ZONING INFORMATION:

ZONE:	EXISTING: RA	PROPOSED: RM-30
YTD AREA:	GROSS SITE AREA = 61,216 sq ft / 5,687.1 m ² / 1,405 Ac / 0,569 Ha	ROAD DEDICATION = 11,899 sq ft / 1,100.8 m ² / 0,273 Ac / 0.111 Ha
	NET SITE AREA = 49,316 sq ft / 4,586.3 m ² / 1,132 Ac / 0,458 Ha	
TRACKS:	REQUIRED:	PROPOSED:
EAST:	7.5m	3.0m
SOUTH:	7.5m	6.0m @ lower floor & 5.7m @ main/ upper floor
WEST - 168 Street:	7.5m	3.0m (3.0m @ strip 2 & 4.22m @ strip 1)
NORTH:	7.5m	4.0m
YTD DENSITY:	ALLOWABLE: 0.8	PROPOSED: 4,109,1m ² / 4,581.6m ² = 0.897 (EXCLUDES GARAGES, "PARKING WITHIN THE BUILDING ENVELOPE")
UPH:	ALLOWABLE: 75 uph (30 uba)	PROPOSED (GROSS): 22 du / 0,569 ha (1,405 ac) = 38.7 uph (15.7 upa)
		PROPOSED (NET): 22 du / 0,458 ha (1,132 ac) = 48.0 uph (19.4 upa)
LOT COVERAGE:	ALLOWABLE: 45%	PROPOSED: 1,682.43 m ² / 4,581.6m ² = 36.7%
BUILDING HEIGHT:	ALLOWABLE: 13m (43 ft)	PROPOSED: 7.82m, 13.24m (43.44 ft) @ BLDG 4 - MAX. HEIGHT - VARIANCE REQ'D
OUTDOOR AMENITY SPACE:	REQUIRED: 3m ² (32 sq.ft.) / du x 22 du = 66m ² (704 sq.ft.)	PROPOSED: 76.9m ² (827 sq.ft.)
INDOOR AMENITY SPACE:	REQUIRED: 3m ² (32 sq.ft.) / du x 22 du = 66m ² (704 sq.ft.)	PROPOSED: CASH IN-4EU
PARKING - RESIDENT:	REQUIRED: 2 STALLS PER UNIT x 22 du = 44 STALLS	PROVIDED: 44 STALLS
VISITOR:	REQUIRED: 0.2 STALLS PER UNIT x 22 du = 4.4 STALLS	PROVIDED: 4.6 STALLS
	TOTAL PARKING PROVIDED:	48 STALLS

FLOOR AREA SUMMARY

UNIT TYPE	# OF UNITS	GARAGE	LOWER*	MAIN	UPPER	ROOF	UNIT TOTALS	SITE TOTALS
A	9	410 sq.ft.	371 sq.ft.	748 sq.ft.	802 sq.ft.	46 sq.ft.	1,967 sq.ft.	17,703 sq.ft.
A1	3	413 sq.ft.	373 sq.ft.	769 sq.ft.	824 sq.ft.	50 sq.ft.	2,016 sq.ft.	18,733 sq.ft.
A2	3	410 sq.ft.	371 sq.ft.	769 sq.ft.	802 sq.ft.	46 sq.ft.	1,988 sq.ft.	18,473 sq.ft.
B	3	451 sq.ft.	410 sq.ft.	826 sq.ft.	884 sq.ft.	46 sq.ft.	2,198 sq.ft.	6,498 sq.ft.
B1	1	454 sq.ft.	412 sq.ft.	848 sq.ft.	905 sq.ft.	50 sq.ft.	2,215 sq.ft.	2,215 sq.ft.
B2	1	454 sq.ft.	412 sq.ft.	848 sq.ft.	906 sq.ft.	46 sq.ft.	2,212 sq.ft.	2,212 sq.ft.
C1	1	413 sq.ft.	282 sq.ft.	684 sq.ft.	749 sq.ft.	35 sq.ft.	1,760 sq.ft.	1,760 sq.ft.
C2	1	413 sq.ft.	316 sq.ft.	712 sq.ft.	767 sq.ft.	35 sq.ft.	1,830 sq.ft.	1,830 sq.ft.
TOTAL	22						EXCLUDING GARAGES: 44,230 sq.ft.	4,109.1 m²
GARAGES TOTAL		9,246 sq.ft.					INCLUDING GARAGES: 53,476 sq.ft.	4,968.1 m²



2015-02-23 REVISIONS
2015-02-24 REVISIONS
2015-02-16 REVISIONS FOR R2 / DP

REVISIONS
CONSULTANT
CLIENT

PROJECT
PROPOSED TOWNHOUSE DEVELOPMENT

18 168 STREET
IRREY BC

ITE: 7915-0109-00
JAWING TITLE

ITE PLAN

ITE: 2015-02-14 FILE NO.
VN: CH
IK: CH **1522**



SEAL
SHEET NO.
DP-0.01

Project No. 171147 - 168 Street - 1522

The 2016 BC Building Code (BCBC) is the minimum standard for building safety and health in British Columbia.



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- △ 2016-04-21 REVISIONS
- △ 2016-03-24 REVISIONS
- △ 2015-12-14 ISSUED FOR R2 / DP REVISIONS

CONSULTANT

CLIENT

PROJECT
PROPOSED TOWNHOME DEVELOPMENT
7918 168 STREET
SURREY BC
SURREY FILE No. 7915-0105-00
DRAWING TITLE

SURROUNDING PROPERTIES PLAN

DATE	2016.12.14	FILE NO.	
DWN.	CL		1522
CHK.	CH		

SEAL
SHEET NO.
DP-0.

Appendix VII



SURROUNDING PROPERTIES PLAN
SCALE: 1"=30'-0"



SURROUNDING CONCEPT PLAN
SCALE: 1"=30'-0"

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2016-04-21
REVISIONS
2016-03-24
REVISIONS

2015-12-14
ISSUED FOR R2 / DP
REVISIONS

CONSULTANT

CLIENT

PROJECT
**PROPOSED TOWNHOUSE
DEVELOPMENT**
7915 168 STREET
SURREY BC

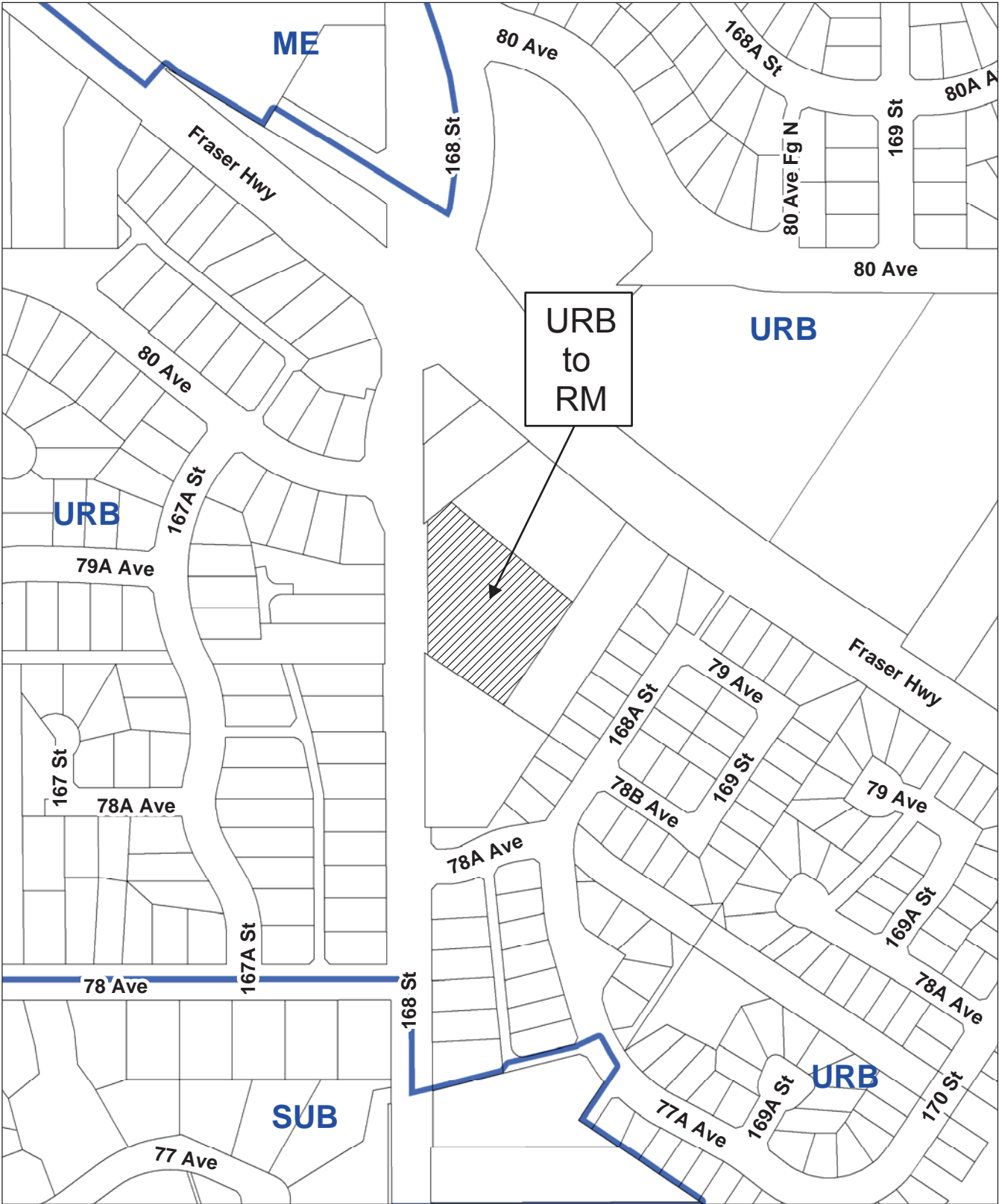
SURREY FILE No. 7915-0105-00
DRAWING TITLE

**SURROUNDING
CONCEPT PLAN**

DATE	2016.12.14	FILE NO.	
DWN.	CL		1522
CHK.	CH		

SEAL
SHEET NO.

DP-0.0d



OCP Amendment 7915-0108-00
Proposed amendment from Urban to Multiple Residential

