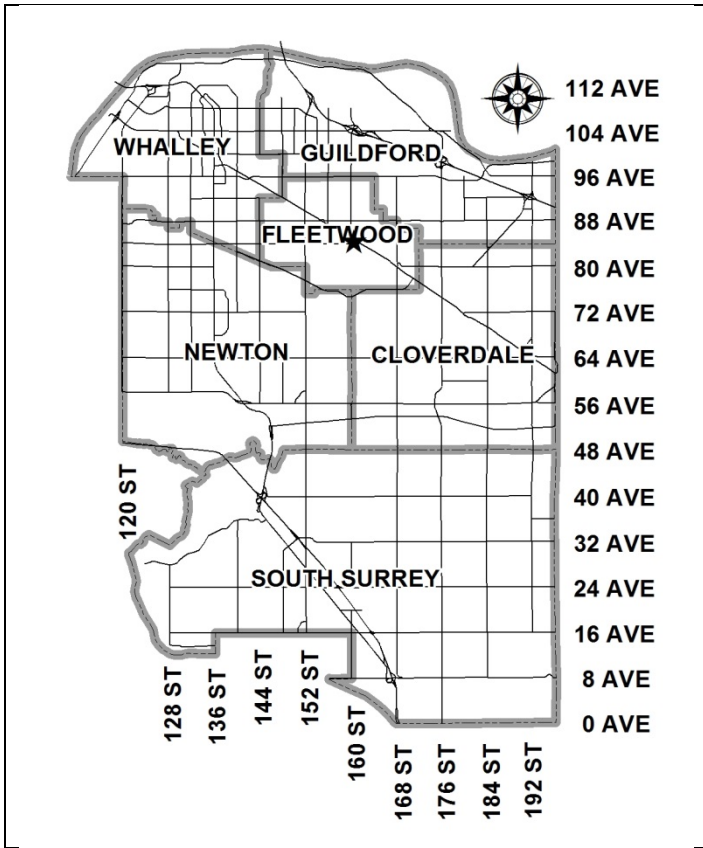


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7915-0083-00

Planning Report Date: February 1, 2016

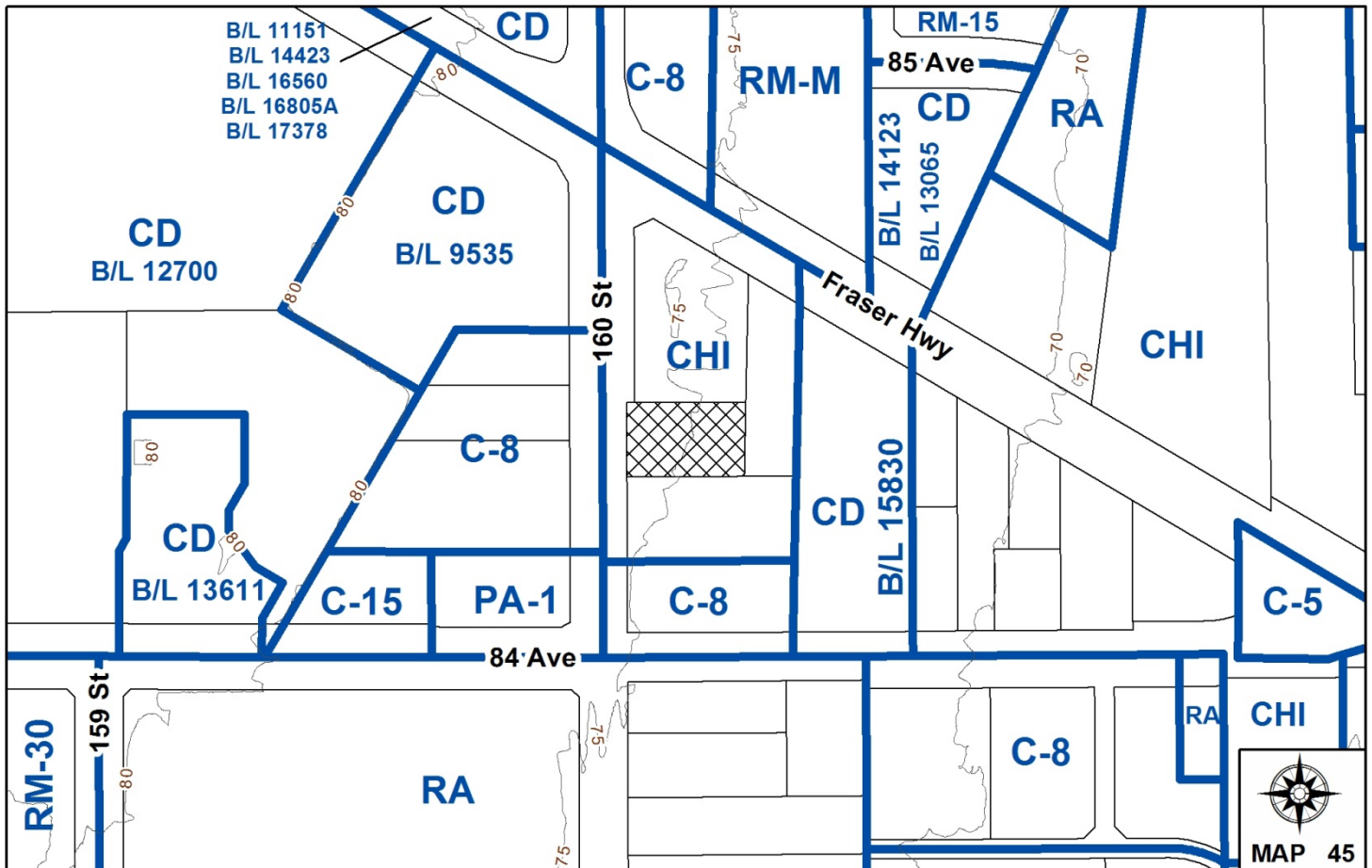


**PROPOSAL:**

- **Rezoning** from CHI to CD (based on RM-70 and C-8)
- **Development Permit**

to permit the development of a 4-storey mixed-use building.

**LOCATION:** 8446 - 160 Street  
**OWNER:** Titania Holdings Inc  
**ZONING:** CHI  
**OCP DESIGNATION:** Town Centre  
**TCP DESIGNATION:** Community Commercial



### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for rezoning.
- Approval to eliminate indoor amenity space.
- Approval to eliminate outdoor amenity space.
- Approval to vary the Sign By-law through a comprehensive sign design package.
- Approval to draft Development Permit.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking to increase the maximum clearance for an awning sign under the Sign By-law from 3 metres (10 ft.) to 3.2 metres (10.5 ft.) to the lowest point of the sign, through a comprehensive sign design package.

### RATIONALE OF RECOMMENDATION

- Complies with the Town Centre designation in the OCP.
- Complies with the Community Commercial designation in the Fleetwood Town Centre Plan.
- The proposed density and building form are appropriate for this part of the Fleetwood Town Centre.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from “Highway Commercial Industrial Zone (CHI)” (By-law No. 12000) to “Comprehensive Development Zone (CD)” (By-law No. 12000) and a date be set for Public Hearing.
2. Council approve the applicant's request to eliminate the required indoor amenity space.
3. Council approve the applicant's request to eliminate the required outdoor amenity space.
4. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
5. Council authorize staff to draft Development Permit No. 7915-0083-00 including a comprehensive sign design package generally in accordance with the attached drawings (Appendix III).
6. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (c) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
  - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (f) submission of a road dedication plan to the satisfaction of the Approving Officer;
  - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
  - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
  - (i) the applicant adequately address the impact of no indoor amenity space;
  - (j) the applicant adequately address the impact of no outdoor amenity space; and
  - (k) registration of a right-of-way for public rights of passage within a portion of the south and west setbacks for patrons of the at-grade commercial units.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix IV.

School District: **Projected number of students from this development:**

1 Elementary student at Walnut Road Elementary School  
0 Secondary students at Fleetwood Park Secondary School

(Appendix V)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by late 2017.

Parks, Recreation & Culture: No concerns.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Single family dwelling and accessory structures to be removed.

Adjacent Area:

Direction	Existing Use	TCP Designation	Existing Zone
North:	Pad retail	Community Commercial	CHI
East:	Pad retail	Community Commercial	CHI
South:	Single family dwelling and unauthorized parking of vehicles in excess of 5,000 kilograms G.V.W.	Community Commercial	CHI
West (Across 160 Street):	1 and 2-storey commercial buildings	Community Commercial	C-8

DEVELOPMENT CONSIDERATIONS

- The 1,500-square metre (16,000 sq. ft.) subject site is located at 8446 – 160 Street, south of Fraser Highway in Fleetwood Town Centre.

- The site is designated “Town Centre” in the Official Community Plan (OCP), “Community Commercial” in the Fleetwood Town Centre Plan (TCP), and is zoned “Highway Commercial Industrial” (CHI).
- The applicant proposes to rezone the site from CHI to Comprehensive Development Zone (CD) (based on the RM-70 and C-8 Zones), in order to permit the development of a 4-storey, mixed-use building consisting of three (3) commercial retail units (CRU) at-grade and 15 dwelling units on the upper three floors.
- The proposed floor area ratio (FAR) of 1.65 complies with the maximum 2.5 FAR allowed in the Town Centre designation in the OCP.
- The existing Fleetwood Town Centre Plan, approved by Council in 2000, calls for pedestrian-oriented commercial uses along 160 Street, between 84 and 87 Avenues, which encompasses the subject site. 160 Street within the vicinity of the subject site, is intended to serve as the commercial core within the Fleetwood Town Centre Plan. The proposed project is consistent with the Community Commercial designation in the existing Fleetwood Town Centre Plan, by providing pedestrian-oriented commercial uses fronting 160 Street, with residential units above.
- At the February 24, 2014 Regular Council meeting, Council considered Corporate Report No. Ro35, which outlined the strategy for updating/developing Town Centre Plans. Staff were authorized to review and update several existing Town Centre Plans, including the Fleetwood Town Centre Plan, which was initially approved by Council in 2000.
- A proposed updated land use plan was brought forward for public consultation at an open house on May 14, 2014. It is anticipated that the Fleetwood Town Centre update plan will be brought forward to Council for consideration of approval in the first half of 2016.
- The proposed development for the subject site is consistent with the proposed update to the Fleetwood Town Centre Plan which calls for mixed-uses, a maximum 6-storey building height, and a maximum FAR of 2.5 for the subject site.
- The existing buildings along 160 Street within the Town Centre designation in Fleetwood, are generally one and two storeys in height. It is anticipated that over time, these buildings will redevelop into medium density, mixed-use developments, that are consistent with the Fleetwood Town Centre Plan.
- Once constructed, the proposed building will be the first building on this block, between Fraser Highway to the north and 84 Avenue to the south, to have street-oriented retail, and will establish the pattern for future development in the area, south of Fraser Highway in Fleetwood Town Centre.
- To the north and across Fraser Highway, Development Permit No. 7914-0362-00 was approved by Council on March 23, 2015 to permit a 2-storey, street-oriented commercial building at 8645 – 160 Street, approximately two blocks north of the subject site. It too meets the objectives of the Fleetwood Town Centre Plan to create pedestrian-oriented commercial uses along 160 Street, and will establish the pattern for future development along 160 Street, north of Fraser Highway in Fleetwood Town Centre.

- The subject site is constrained by an existing pad retail development to the north and the requirement for road dedication (for a Green Lane) along the south property line. As such, the potential building footprint and parking configuration is limited. Although the proposed density of 1.65 FAR is less than the 2.5 FAR permitted in the OCP, the proposed form and density of the development is an appropriate response to the site constraints and meets the intent of the Fleetwood Town Centre Plan.
- The subject site is located 80 metres (260 ft.) south of Fraser Highway. Fraser Highway is the proposed location for future rapid transit, and currently has frequent transit service. The proposed medium density, mixed-use development supports the City's objective to densify areas near existing and planned transit corridors.

#### Proposed CD By-law

- The proposed CD By-law is based on the Multiple Residential 70 Zone (RM-70) and the Community Commercial Zone (C-8) which regulate multiple residential and commercial developments respectively.
- The following table summarizes key differences between the RM-70 Zone, C-8 Zone and the proposed CD By-law:

	<b>RM-70 Zone</b>	<b>C-8 Zone</b>	<b>Proposed CD By-law</b>
<b>Density (FAR)</b>	1.50	0.80	1.70 combined for all uses
<b>Lot Coverage</b>	33%	50%	50%
<b>Height</b>	50 m.	12 m.	16 m.
<b>Subdivision</b>	<b>Lot Size:</b> 2,000 sq. m. (0.5 ac.) <b>Lot Width:</b> 30 metres <b>Lot Depth:</b> 30 metres		<b>Lot size:</b> 1,000 sq. m. (10,750 sq. ft.) <b>Lot Width:</b> 20 metres <b>Lot Depth:</b> 40 metres
<b>Setbacks</b>	7.5 m. from all lot lines		<b>Front Yard:</b> 2.0 m. <b>Rear Yard:</b> 7.5 m. <b>Side Yard:</b> 0 m. (North) <b>Side Yard on Flanking Lane:</b> 1.5 m.

- Although the proposed building is comparable in height and massing to a building typically accommodated in the RM-70 Zone, the proposed commercial uses and the floor area ratio (FAR) cannot be accommodated in the RM-70 Zone.
- The proposed FAR of 1.70 exceeds the maximum 1.50 FAR permitted in the RM-70 Zone.
- The proposed commercial uses could be accommodated within the C-8 Zone, however, the residential component is not permitted in the C-8 Zone.
- As a result of the proposed density and mixed-uses, the applicant has applied to rezone the site to a Comprehensive Development (CD) Zone.

- The proposed setbacks are less than the setbacks permitted in the RM-70 and C-8 Zones, but are appropriate for the urban context, and to provide pedestrian-oriented commercial uses along 160 Street, as identified in the Fleetwood Town Centre Plan.
- The building height will be limited to 16 metres (52 ft.) to reflect the proposed four-storey building height.
- Due to the road dedication requirements, and the existing lot size, the minimum lot size and width have been reduced in the proposed CD By-law compared to the minimum requirements in the RM-70 and C-8 Zones.
- The applicant indicated there will be one strata for the entire building (inclusive of the commercial and residential uses). However, the proposed CD By-law will allow for an air space subdivision in the event the developer wants to create separate stratas for the commercial and residential uses.

### PRE-NOTIFICATION

Pre-notification letters were mailed on August 11, 2015 and staff received no responses.

### DESIGN PROPOSAL AND REVIEW

#### Site Layout

- The proposed building fronts 160 Street. Primary entrances to the commercial units and residential lobby of the building are provided along 160 Street, with secondary/emergency exits provided at the rear of the building.
- Surface parking spaces for the commercial uses will be provided at the rear of the building. Residential parking will be provided underground.

#### Building Design

- The design is contemporary with simple and clean detailing. Vertical lines are emphasized with vertical siding and stacked bond masonry units. The building terminates at the underside of a sweeping roof with large overhangs.
- The stacked masonry units are in grey tones while both the hardi-plank siding and hardi panel provide the opportunity for impactful colours consisting of shades of green and rust red.
- The total floor area of the building is 1,827 square metres (19,665 sq. ft.), consisting of 382 square metres (4,110 sq. ft.) of ground floor retail space and 1,382 square metres (14,876 sq. ft.) of residential space.
- The three ground floor retail units (CRU) range in size from 85 square metres (920 sq. ft.) to 180 square metres (1,935 sq. ft.). The primary entrance to the CRU's will be from 160 Street.

- Fifteen (15) residential units are proposed consisting of 9, 1-bedroom units and 6, 2-bedroom units. The 1-bedroom units range in size from 54 square metres (581 sq. ft.) to 67 square metres (720 sq. ft.). The 2-bedroom units range in size from 104 square metres (1,120 sq. ft.) to 108 square metres (1,162 sq. ft.).
- All 15 residential units will contain a minimum 4.6-square metre (50 sq. ft.) balcony, satisfying the typical minimum requirement for private outdoor space in apartment developments.

### Vehicle Access and Parking

- Access to the site will be provided from a proposed Green Lane off of 160 Street.
- The applicant will dedicate 6 metres (20 ft.) along the southern property line for the Green Lane. An additional 6 metres (20 ft.) of dedication will be required from the adjoining southern property at 8432 – 160 Street when it redevelops.
- Once fully constructed, the ultimate width of the Green Lane will be 12 metres (40 ft.) and the Green Lane will provide a local connection for pedestrians and vehicles between 160 Street, 84 Avenue and Fraser Highway. When constructed to its ultimate width, the Green Lane will consist of 8 metres (26 ft.) of pavement (plus 0.5 metre curb), 2 metre (6.5 ft.) boulevard and 1.5 metre (5 ft.) sidewalk.
- A total of 36 parking spaces are proposed, which meets the minimum parking requirements, as summarized in the below table:

	Zoning By-law Requirement	No. of required/proposed parking spaces
<b>Commercial Retail Units (CRU's)</b>	3 parking spaces per 100 sq. m. of floor area	12
<b>1-bedroom units</b>	1.3 spaces x no. of units	12
<b>2-bedroom units</b>	1.5 spaces x no. of units	9
<b>Residential Visitor</b>	0.2 spaces x no. of units	3
<b>Total</b>	<b>36 parking spaces</b>	<b>36</b>

- The 12 proposed parking spaces for the commercial units will be located at the rear of the building, as surface parking. Three visitor parking spaces and 21 residential parking spaces will be located in the underground parking facility.
- Two (2) out of 21 (10.5%) of the residential parking spaces are for “small cars”. A maximum of 25% of “small car” parking spaces are permitted in the Zoning By-law.
- The proposed underground parking facility will be gated, and accessed from a ramp at the rear of the proposed building. A lobby area with stairs and an elevator is proposed along the north side of the underground parking facility, along with an enclosed garbage room.
- A bicycle storage room is proposed in the underground parking facility.



### Landscaping and Amenity Spaces

- Forty-five (45) square metres (485 sq. ft.) of both indoor and outdoor amenity space is required, consistent with the RM-70 Zone.
- Due to the small scale of the proposed building, and the proximity to several amenities, the applicant is not proposing any indoor or outdoor amenity spaces. In order to address the shortfall in amenity space, the applicant will provide a monetary contribution in the amount of \$18,000 in-lieu of indoor amenity space (\$1,200 per unit) and \$9,000 in-lieu of outdoor amenity space (\$1,200 per unit).
- There are several public amenities within the area, including the Fleetwood Library/Community Centre and Francis Park, which are located approximately 125 metres (400 ft.) to the south of the subject site. The Surrey Sports and Leisure Complex is located approximately 1 kilometre (0.6 mi.) to the southeast of the subject site.
- A variety of shrubs, such as boxwood, laurel, heather and lavender will be planted on site. No trees are proposed due to the minimal space for new landscaping.

### Signage

- Three canopy signs are proposed on the building, each of them being on the west façade facing 160 Street.
- The non-illuminated signs will be attached to the underside of a glass canopy, and consist of channel letters attached to a wood signage box.
- The proposed canopy will project 1.8 metres (6 ft.) from the building face. The lowest point of the sign will have a clearance of 3.2 metres (10.5 ft.) from grade, which slightly exceeds the maximum allowable clearance of 3.0 metres (10 ft.) in the Sign By-law. A variance to the Sign By-law is required to increase the allowable clearance height and can be accommodated as part of a comprehensive sign design package in the Development Permit (Appendix II). All other aspects of the proposed canopy signs comply with the Sign By-law.

### Public Art

- The proposed development application is subject to the public art on private property policy (Corporate Report No. R051 approved by Council on March 14, 2011). The applicant will provide a monetary contribution at the Building Permit stage, based on the estimated construction value of the project, to the Public Art Reserve Fund, in accordance with the requirements of the policy. This requirement will be secured by a Section 219 No-Build Restrictive Covenant prior to consideration of Final Adoption of the Rezoning By-law.

### TREES

- Trevor Cox, ISA Certified Arborist of Diamond Head Consulting Ltd. prepared an Arborist Assessment for the subject property. The following table provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Deciduous Trees</b>			
English Walnut	1	1	0
<b>Coniferous Trees</b>			
Lawson Cypress	1	1	0
<b>Total</b>	<b>2</b>	<b>2</b>	<b>0</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>0</b>	
<b>Total Retained and Replacement Trees</b>		<b>0</b>	
<b>Contribution to the Green City Fund</b>		<b>\$1,200</b>	

- The Arborist Assessment states that there are a total of 2 mature trees on the site. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprint including underground parking, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 4 replacement trees on the site. Since no replacement trees can be accommodated on the site, the deficit of 4 replacement trees will require a cash-in-lieu payment of \$1,200, representing \$300 per tree, to the Green City Fund, in accordance with the City’s Tree Protection By-law.
- In addition to the replacement trees, boulevard street trees will be planted on 160 Street. This will be determined by the Engineering Department during the servicing design review process.
- In summary, no trees will be retained or replaced on the site. There will be a contribution of \$1,200 to the Green City Fund.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>• The subject site is located in a Town Centre and the proposal complies with the Fleetwood Town Centre Plan.</li> </ul>
2. Density & Diversity	<ul style="list-style-type: none"> <li>• Commercial and residential uses are proposed.</li> </ul>

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
(B1-B7)	<ul style="list-style-type: none"> <li>• 1 and 2-bedroom residential units are proposed.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>• Dry swales and permeable pavement will be applied to the site.</li> <li>• Recycling pickup will be available.</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>• Bicycle storage and parking will be provided.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>• All units are accessible units.</li> <li>• CPTED principles are applied to the underground parking and ground floor retail.</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>• The building will be constructed to Built Green standards.</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>• A development proposal sign was installed on site.</li> <li>• A Public Hearing will be held for the proposed rezoning.</li> </ul>

#### ADVISORY DESIGN PANEL

- The application was reviewed by the ADP on July 9, 2015. The ADP made minor recommendations (Appendix VII) which the applicant has generally addressed. Minor refinements to the design will be made prior to consideration of final adoption of the Rezoning By-law and issuance of the Development Permit.

#### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Proposed Sign By-law Variance Table
Appendix III.	Proposed Site Plan, Building Elevations and Landscape Plan
Appendix IV.	Engineering Summary
Appendix V.	School District Comments
Appendix VI.	Summary of Tree Survey and Tree Preservation
Appendix VII.	ADP Comments
Appendix VIII.	Fleetwood TCP Land Use Map
Appendix IX.	Proposed CD By-law

*original signed by Judith Robertson*

Jean Lamontagne  
General Manager  
Planning and Development

JD/dk

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Doug Johnson  
Douglas Johnson Architect Ltd.  
Address: 901 West 3rd Street, Suite 374  
North Vancouver, BC V7P 3P9  
Tel: 604-998-3381

2. Properties involved in the Application

(a) Civic Address: 8446 - 160 Street

(b) Civic Address: 8446 - 160 Street  
Owner: Titania Holdings Inc.  
PID: 003-112-080  
Lot 3 Section 25 Township 2 Plan 9175 NWD

3. Summary of Actions for City Clerk's Office

(a) Introduce a By-law to rezone the property.

## DEVELOPMENT DATA SHEET

**Proposed Zoning: CD (based on RM-70 and C-8 Zones)**

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>LOT AREA</b> (in square metres)		
Gross Total		1,487 sq. m.
Road Widening area		380 sq. m.
Undevelopable area		
Net Total		1,107 sq. m.
<b>LOT COVERAGE</b> (in % of net lot area)		
Buildings & Structures	50%	35%
Paved & Hard Surfaced Areas		35%
Total Site Coverage		70%
<b>SETBACKS</b> ( in metres)		
Front	2.0 m.	2.0 m.
Rear	7.5 m.	7.5 m.
Side #1 (North)	0.0 m.	0.0 m.
Side #2 (South)	0.0 m.	0.0 m.
<b>BUILDING HEIGHT</b> (in metres/storeys)		
Principal	16 m.	16 m.
Accessory	4.5 m.	4.5 m.
<b>NUMBER OF RESIDENTIAL UNITS</b>		
Bachelor		0
One Bed		9
Two Bedroom		6
Total		15
<b>FLOOR AREA: Residential</b>	1,882 sq. m.	1,450 sq. m.
<b>FLOOR AREA: Commercial</b>		
Retail		390 sq. m.
Office		0
Total		390 sq. m.
<b>FLOOR AREA: Industrial</b>		N/A
<b>FLOOR AREA: Institutional</b>		N/A
<b>TOTAL BUILDING FLOOR AREA</b>	1,882 sq. m.	1,840 sq. m.

**Development Data Sheet cont'd**

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
<b>DENSITY</b>		
# of units/ha /# units/acre (gross)		100 upha / 40 upa
# of units/ha /# units/acre (net)		125 upha / 50 upa
FAR (gross)		1.23
FAR (net)	1.70	1.65
<b>AMENITY SPACE (area in square metres)</b>		
Indoor	45 sq. m.	0
Outdoor	45 sq. m.	0
<b>PARKING (number of stalls)</b>		
Commercial	12	12
Residential Bachelor + 1 Bedroom	12	12
2-Bed	9	9
3-Bed		
Residential Visitors	3	3
Total Number of Parking Spaces	36	36
Number of disabled stalls		1
Number of small cars		2
Tandem Parking Spaces: Number / % of Total Number of Units		0
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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## PROPOSED SIGN BY-LAW VARIANCE

#	Proposed Variance	Sign By-law Requirement	Rationale
1	To increase the maximum clearance height for an awning/canopy sign.	The awning/canopy has a maximum clearance of 3 m [10 ft.]; (Part 5, Section 27(3)(a.1))	The increased sign clearance (the distance between grade and the lowest point of the sign) is minor, and is appropriate for the scale of the proposed building.

# COMMERCIAL / RESIDENTIAL BUILDING DEVELOPMENT

8446 - 160TH STREET, SURREY, BRITISH COLUMBIA

## DATA SHEET

<b>1646 COMMERCIAL BUILDING DEVELOPMENT 23 NOVEMBER 2013</b>			
PROJECT NAME: COMMERCIAL/RESIDENTIAL BUILDING			
8446-160TH STREET VAN OV 7, SURREY, BRITISH COLUMBIA			
LEGAL DESCRIPTION: LOT-3, SEC 25 TOWNSHIP-2, PLAN 9175 NWO, PART NW 1/4			
GROSS SITE AREA	16037.00 SQ. FT. OR	1489.89	Sq. mtrs OR 0.37 Acres
DEDICATION AREA	4100.00 SQ. FT. OR	380.9	Sq. mtrs OR 0.09 Acres
NET SITE AREA	11937.00 SQ. FT. OR	1108.98	Sq. mtrs OR 0.27 Acres
<b>TOTAL FLOOR AREA</b>			
BASEMENT FLOOR AREA	11273.00 SQ. FT.	1047.35	SqM
MAIN FLOOR RESIDENTIAL LOBBY AREA	672.00 SQ. FT.	62.43	SqM
MAIN FLOOR AREA (COMMERCIAL AREA)	4116.00 SQ. FT.	382.39	SqM
SECOND FLOOR AREA	4959.00 SQ. FT.	460.71	SqM
THIRD FLOOR AREA	4959.00 SQ. FT.	460.71	SqM
FOURTH FLOOR AREA	4959.00 SQ. FT.	460.71	SqM
<b>TOTAL AREA FOR FS/REXCL. PARKADE)</b>			
	<b>19665.5R</b>	<b>1826.84</b>	<b>SqM</b>
<b>FLOOR AREA RATIO:</b>			
F.A.R. = NET AREA / NET SITE AREA	19665.00 /	11937	<b>1.65 FSR</b>
LOT COVERAGE = MAIN FLOOR AREA / NET SITE AREA	4788 /	11937	<b>40%</b>
<b>UNIT AREA</b>			
CRU #1	919.72 SQ. FT.	85.44	SqM
CRU #2	1935.93 SQ. FT.	179.85	SqM
CRU #3	1644.13 SQ. FT.	152.67	SqM
<b>RESIDENTIAL UNITS</b>			
	NO. OF UNITS		
UNIT-A (TWO BED)	3	1118.00 SQ. FT.	103.87 SQM
UNIT-B (TWO BED)	3	1158.00 SQ. FT.	107.56 SQM
UNIT-C(ONE BED)	3	720.00 SQ. FT.	66.89 SQM
UNIT-C1(ONE BED)	3	708.00 SQ. FT.	65.78 SQM
UNIT-C2(ONE BED)	3	587.00 SQ. FT.	54.53 SQM
TOTAL UNITS	15		
<b>REQUIRED PARKING</b>			
3 STALLS REQUIRED FOR EVERY 1000SQM (CRU)		12	
1.5 STALLS FOR EACH DOUBLE BED UNIT		9	
1.3 STALL FOR EACH SINGLE BED UNIT		12	
0.2 STALL FOR VISITOR PARKING		3	
TOTAL PARKING REQUIRED		36	STALLS
<b>PROPOSED PARKING</b>			
TOTAL PARKING PROVIDED		36	STALLS
HANDICAPPED CAR PARKING PROVIDED		1	STALLS

## SHEET INDEX

SHEET NO.	ARCHITECTURAL
DP-0.01	DATA SHEET
DP-1.01	3D VIEWS
DP-2.11	SITE PLAN
DP-3.11	PARKADE FLOOR PLAN
DP-3.21	MAIN FLOOR PLAN
DP-3.31	SECOND FLOOR PLAN
DP-3.41	THIRD FLOOR PLAN
DP-3.51	FOURTH FLOOR PLAN
DP-3.61	ROOF PLAN
DP-5.11	BUILDING ELEVATIONS
DP-5.21	BUILDING ELEVATIONS
DP-6.11	DETAILS
DP-6.21	UNIT ENLARGED FLANS
DP-6.31	UNIT ENLARGED FLANS

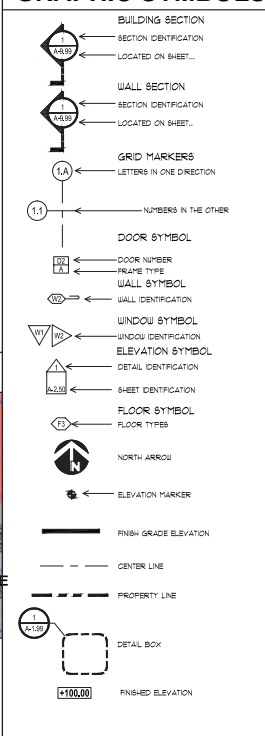
## ABBREVIATION

ALUM.	ALUMINIUM
BI	DRY STACK MINI BASALT RETAINING WALL
BI@	BUILT-IN SEATING
CB	CATCH BASIN
CD	COMPUTER DESK
CE	CEILING DOOR
CP	2'-0" X 0'-0" CONCRETE PAVING STONE
DW	DISH WASHER
F	FRIDGE
FD	FLOOR DRAIN
FP	FIRE PLACE
GWB	GYPSUM BOARD
HR	HAND RAIL
HU	HAND WASH
P.T.	PRESSURE TREATED
FLYUD.	PLYWOOD
SU	SHELVING UNIT
V	VENT
WC	WATER CURTAIN
WD	WASHER/DRYER
WS	WINDOW SEAT

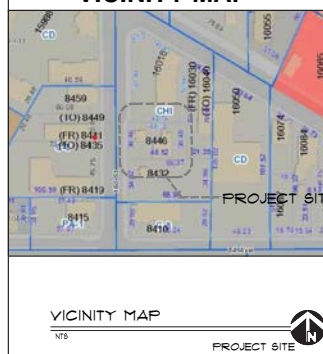
## CONSULTANTS

ARCHITECT:  
DOUGLAS R. JOHNSON ARCHITECT LTD.  
#374-901 WEST 3RD ST.  
NORTH VANCOUVER, BC V7P 3P8  
PH: (604)998-3381  
FAX: (604)998-0217  
E-MAIL: dr.johnson@ajl.ca

## GRAPHIC SYMBOLS



## VICINITY MAP



DEVELOPMENT DATA SHEET		
Proposed/Existing Zoning: C15		
Development Permit Number :-	Minimum Required / Maximum Allowed	Proposed
<b>Required Development Data</b>		
LOT AREA* (in square metres)		1487.69 Sq. M
Gross Total		380
Road Widening area		N/A
Undeveloped area		11937
Net Total		
<b>LOT COVERAGE (in % of net lot area)</b>		
Buildings & Structures	80.00%	35.00%
Paved & Hard Surfaced Areas	35.00%	70.00%
Total Site Coverage		
<b>SETBACKS (in metres)</b>		
Front (West)	2.0 M	2.3M
Rear (East)	7.5 M	19.4M
Side #1 (North)	3.0 M	
Side #2 (South)	3.0 M	1.5M
Side #3 (N, S, E or W)		
<b>BUILDING HEIGHT (in metres/stories)</b>		
Principal	14 M	16.0 M (TO HIGHEST POINT)
Accessory	4.5 M	N/A
<b>NUMBER OF RESIDENTIAL UNITS</b>		
Bachelor	N/A	
One Bed	9	
Two Bedroom	6	
Three Bedroom +	N/A	
Total	15	
<b>FLOOR AREA: Residential</b>		
FLOOR AREA: Residential		1448.01 SQ.M
<b>FLOOR AREA: Commercial</b>		
Retail	N/A	390.19 SQ.M
Office	N/A	
Total	N/A	
<b>FLOOR AREA: Industrial</b>		
FLOOR AREA: Industrial	N/A	N/A
<b>FLOOR AREA: Institutional</b>		
FLOOR AREA: Institutional	N/A	N/A
<b>TOTAL BUILDING FLOOR AREA</b>	<b>1800.0 SQ.M</b>	<b>1826.84 SQ.M</b>

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>DENSITY</b>		
# of units/ha @ units/acre (gross)	-	-
# of units/ha @ units/acre (net)	-	-
FAR (gross)	1.5	1.23
FAR (net)	-	1.65
<b>AMENITY SPACE (area in square metres)</b>		
Indoor (0.05Q.MX15)	45 SQ.M	-
Outdoor	45 SQ.M	-
<b>PARKING (number of stalls)</b>		
Commercial	3 / 100 SQ.M =12	12
Industrial		
Residential Bachelor + 1 Bedroom	1.33X-12	12
2-Bed	1.5X-9	9
3-Bed		
Residential Visitors	0.2 X 15 = 3	3
Institutional		
Total Number of Parking Spaces	36	36
Number of disabled stalls	1	1
Number of small cars	8	7
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site: NO Tree Survey/Assessment Provided: YES

I hereby certify that all the above information is true and correct. I acknowledge that any error or omission are the sole responsibility of the applicant and not the Planning & Development Department.

Owner/Agent: \_\_\_\_\_ Signature: \_\_\_\_\_ Name: (Please Print)

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MARK	DATE	DESCRIPTION
1	13 MAR 2012	ISSUE FOR PERMITS
2	22 DEC 2015	ISSUE FOR PERMITS

PROJECT: COMMERCIAL BUILDING DEVELOPMENT  
8446-160TH STREET, SURREY, BRITISH COLUMBIA  
SHEET DESCRIPTION  
DATA SHEET

OWNER:  
**DOUGLAS R. JOHNSON ARCHITECT LTD.**  
#374-901 WEST 3RD ST.  
NORTH VANCOUVER, BC V7P 3P8  
PH: (604)998-3381  
FAX: (604)998-0217

SCALE: N.T.S.	PROJECT NO: _____
DATE: 25 NOV 2013	
DRAWN: PD	SHEET: _____
REVISIONS: 2	DP-





1 EAST ELEVATION-COLOR  
1/8" = 1'-0"



2 WEST ELEVATION-COLOR  
1/8" = 1'-0"

**LEGEND**

MATERIAL NAME	COLOR
WINDOWS/DOORS/STOREFRONTS	SILVER
MAIN ENTRY TO RESIDENTIAL	BLACK
FLASHING	SW 1016 CITYSCAPE
CONCRETE	NATURAL GREY COLOR
GUARD/RAILINGS	SILVER
POLISHED CONCRETE BLOCK - 4" x 16" GREY	
HARDI PANEL	BM 2141 DILL PICKLE
HARDI PANEL	RUST COLOR
2" x 6" T&G CEDAR SOFFIT	SW NEBULOUS WHITE
TRIM/FASCIA BOARD	SW 1066 GREY MATTERS
HARDI SIDING - BOARD & BATTEN	BM-MAYFLOWER RED HG-19
HARDI SIDING - HORIZONTAL 4" EXPOSED	BM-MAYFLOWER RED HG-18

SW - SHERWIN WILLIAMS  
BM - BENJAMIN MOORE

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NO.	DATE	DESCRIPTION
1	20 NOV 2013	ISSUED FOR RFP
2	26 NOV 2013	FOR REVIEW
3	26 NOV 2013	FOR REVIEW
4	26 NOV 2013	FOR REVIEW
5	26 NOV 2013	FOR REVIEW
6	26 NOV 2013	FOR REVIEW

COMMERCIAL & RESIDENTIAL  
DEVELOPMENT  
8046 - 6046 STREET, SURREY,  
BRITISH COLUMBIA  
COLOR ELEVATIONS

OWNER

**DOUGLAS R. JOHNSON ARCHITECT LTD.**  
#374-901 WEST 3RD AVE.  
NORTH VANCOUVER, BC V7P 3P9  
Ph: (604) 998-3381  
Fax: (604) 998-0217

SCALE	PROJECT NO.
As Indicated	
DATE 25 NOV 2013	
DRAWN	SHEET
REVISIONS	DP-1.05

6



1 NORTH ELEVATION-COLOR  
1/8" = 1'-0"



2 SOUTH ELEVATION-COLOR  
1/8" = 1'-0"

**LEGEND :**

MATERIAL NAME	COLOR
WINDOWS/DOORS/STOREFRONTS	SILVER
MAIN ENTRY TO RESIDENTIAL	BLACK
FLASHING	SW 1016 CITYSCAPE
CONCRETE	NATURAL GREY COLOR
GUARD/RAILINGS	SILVER
POLISHED CONCRETE BLOCK - 4" x 16"	BM 241 DILL PICKLE
HARDI PANEL	RUST COLOR
HARDI PANEL	RUST COLOR
2" x 6" TAS CEDAR BOFFT	SW NEBULOUS WHITE
TRIM/FASCIA BOARD	SW 1066 GREY MATTERS
HARDI SIDING - BOARD & BATTEN	BM 144 FLOWER RED HC-19
HARDI SIDING - HORIZONTAL 4" EXPOSED	BM 144 FLOWER RED HC-19

BM - BERRIN WILLIAMS  
BP - BENJAMIN MOORE

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NO.	DATE	DESCRIPTION
1	20 JUL 2014	ISSUED FOR RFP
2	22 MAR 2015	FOR REVIEW
3	15 APR 2015	FOR REVIEW
4	15 APR 2015	ISSUED FOR ACP
5	15 APR 2015	FOR REVIEW
6	15 APR 2015	FOR REVIEW

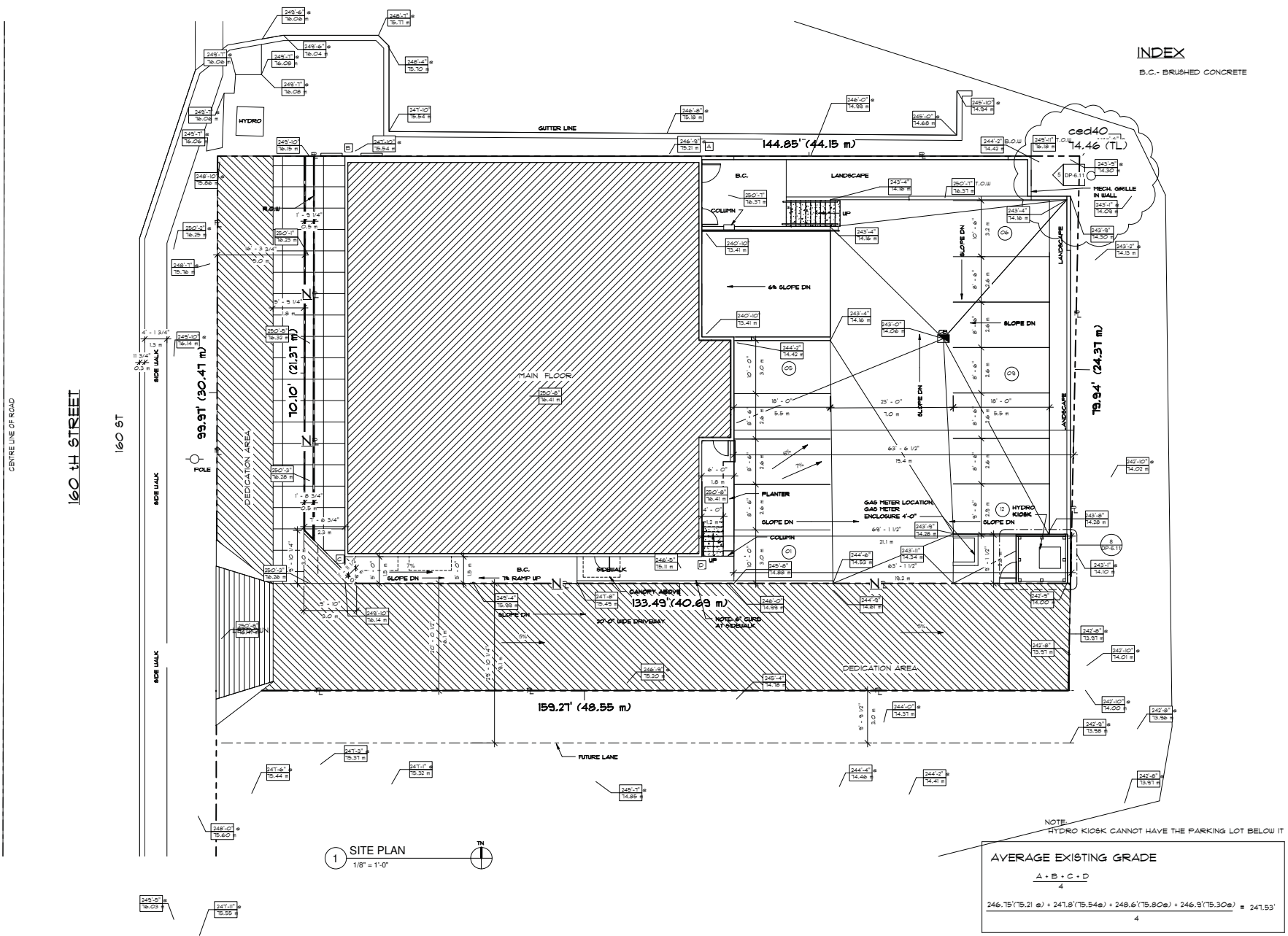
COMMERCIAL & RESIDENTIAL DEVELOPMENT  
8446 - 160th STREET, SURREY, BRITISH COLUMBIA

COLOR ELEVATIONS

OWNER

DOUGLAS R. JOHNSON ARCHITECT LTD.  
#374-901 WEST 3RD AVE.  
NORTH VANCOUVER, BC V7P 3P9  
Ph: (604) 998-3381  
Fax: (604) 998-0217

SCALE:	PROJECT NO.:
As Indicated	---
DATE:	PROJECT NO.:
25 NOV 2013	---
DRAWN:	SHEET:
---	---
REVISION:	DP-1.06
6	



**INDEX**  
B.C. - BRUSHED CONCRETE

cd40  
14.46 (TL)

1 SITE PLAN  
1/8" = 1'-0"

NOTE:  
HYDRO KIOSK CANNOT HAVE THE PARKING LOT BELOW IT

**AVERAGE EXISTING GRADE**

$\frac{A + B + C + D}{4}$

$\frac{246.75(75.21e) + 247.8(75.54e) + 248.6(75.80e) + 246.9(75.30e)}{4} = 247.53'$

4

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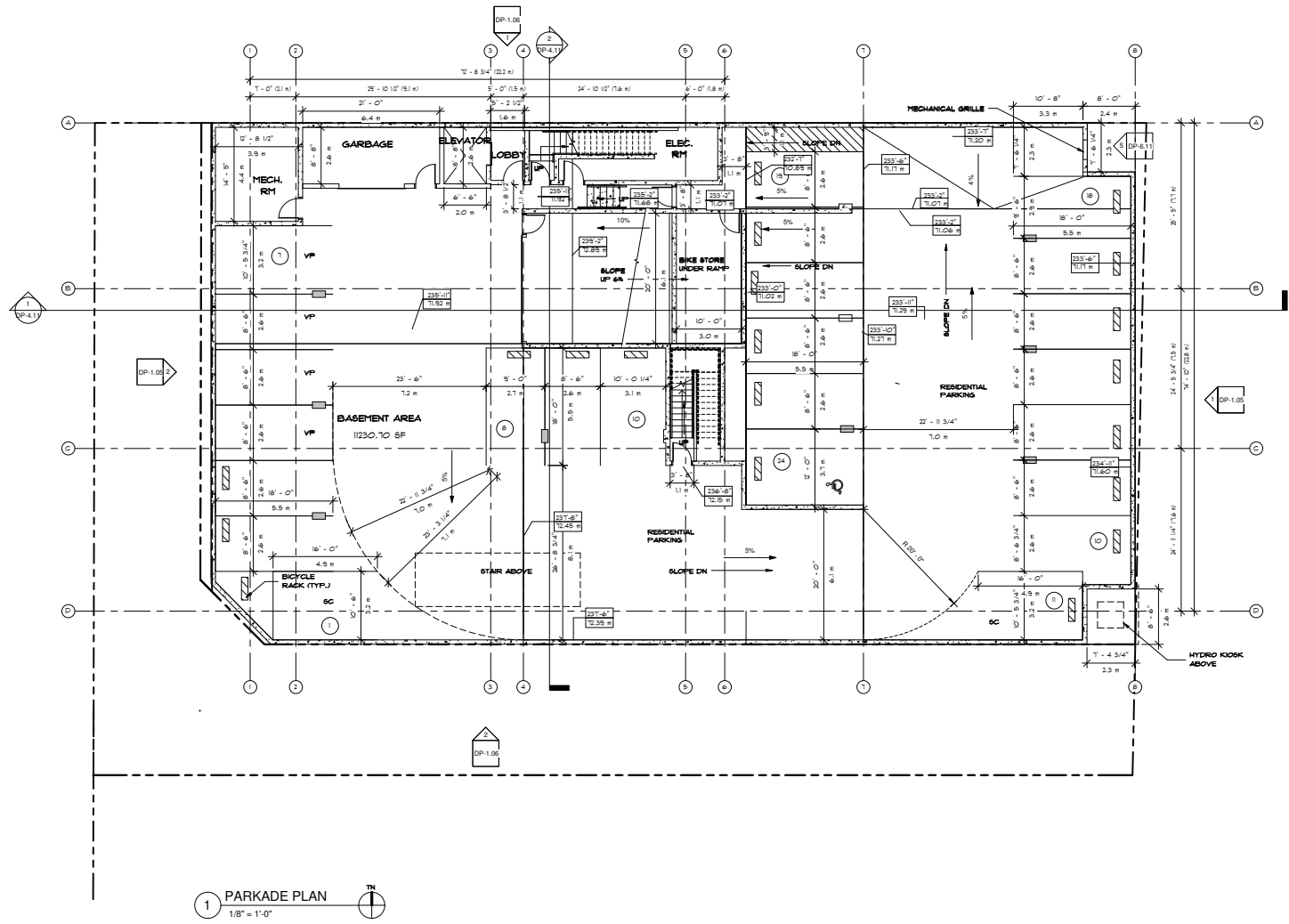
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1	20 NOV 2013	ISSUED FOR PERMIT
2	20 NOV 2013	PERMIT
3	20 NOV 2013	PERMIT
4	20 NOV 2013	ISSUED FOR PERMIT
5	20 NOV 2013	PERMIT
6	20 NOV 2013	PERMIT

**COMMERCIAL & RESIDENTIAL DEVELOPMENT**  
806 - 160th STREET, SURREY, BRITISH COLUMBIA

**SITE PLAN**

**DOUGLAS R. JOHNSON ARCHITECT LTD.**  
#374-901 WEST 3RD ST., NORTH VANCOUVER, BC V7P 3P9  
Ph: (604) 998-3381  
Fax: (604) 998-0217

SCALE	PROJECT NO.
As Indicated	---
DATE	---
25 NOV 2013	---
DRAWN	SHEET
---	---
REVISION	DP-2.11
6	



1 PARKADE PLAN  
1/8" = 1'-0"

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NO.	DATE	DESCRIPTION
1	20 NOV 2013	ISSUED FOR PERMIT
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3	20 NOV 2013	FOR REVIEW
4	20 NOV 2013	ISSUED FOR PERMIT
5	20 NOV 2013	FOR REVIEW
6	20 NOV 2013	FOR REVIEW

**COMMERCIAL & RESIDENTIAL DEVELOPMENT**  
806 - 60th STREET, SURREY, BRITISH COLUMBIA  
**PARKADE PLAN**

OWNER

**DOUGLAS R. JOHNSON ARCHITECT LTD.**  
#374-901 WEST 3RD ST.  
NORTH VANCOUVER, BC V7P 3P9  
Ph: (604) 998-3381  
FAX: (604) 998-0217

SCALE: 1/8" = 1'-0"	PROJECT NO.:
DATE: 25 NOV 2013	
DRAWN:	SHEET:
REVISIONS:	DP-3.11

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NO.	DATE	DESCRIPTION
1	20 JAN 2013	ISSUED FOR PERMITS
2	20 FEB 2013	FOR REVISION
3	20 MAR 2013	FOR REVISION
4	20 APR 2013	ISSUED FOR ADP
5	20 MAY 2013	FOR REVISION
6	20 JUN 2013	FOR REVISION

NO.	DATE	DESCRIPTION
1	20 JAN 2013	ISSUED FOR PERMITS
2	20 FEB 2013	FOR REVISION
3	20 MAR 2013	FOR REVISION
4	20 APR 2013	ISSUED FOR ADP
5	20 MAY 2013	FOR REVISION
6	20 JUN 2013	FOR REVISION

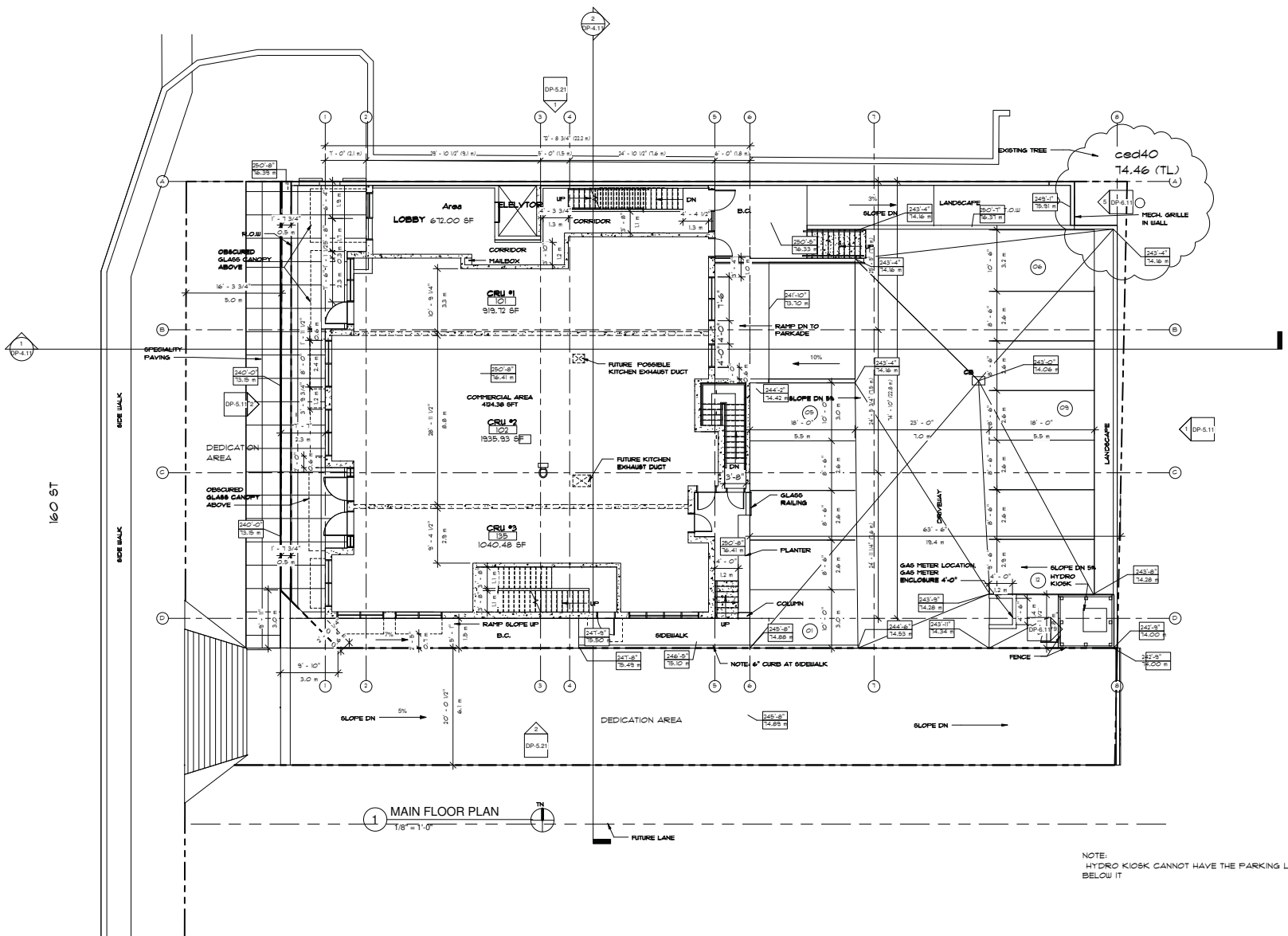
**COMMERCIAL & RESIDENTIAL DEVELOPMENT**  
 806 - 1600 WEST STREET, SURREY, BRITISH COLUMBIA  
**MAIN FLOOR PLAN**

OWNER

**DOUGLAS R. JOHNSON ARCHITECT LTD.**  
 #374-901 WEST 3RD ST.  
 NORTH VANCOUVER, BC V7P 3P9  
 Ph: (604) 998-3381  
 Fax: (604) 998-0217

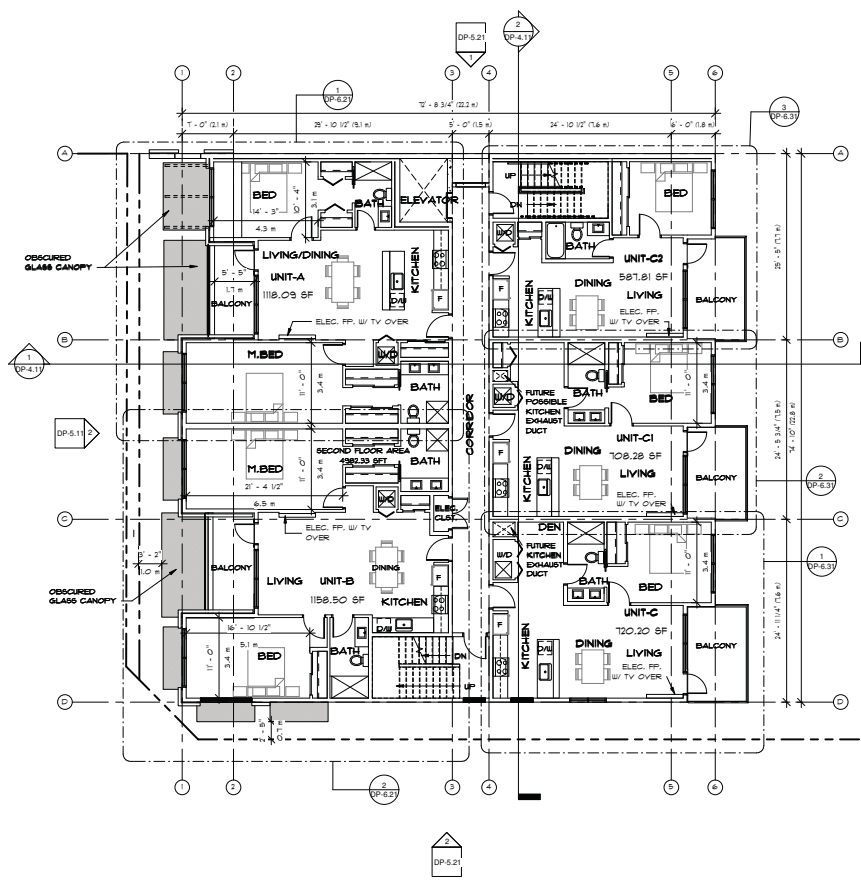
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DATE	SHEET
25 NOV 2013	---
DRAWN	CHECKED
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REVISIONS	NO.
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6 DP-3.21

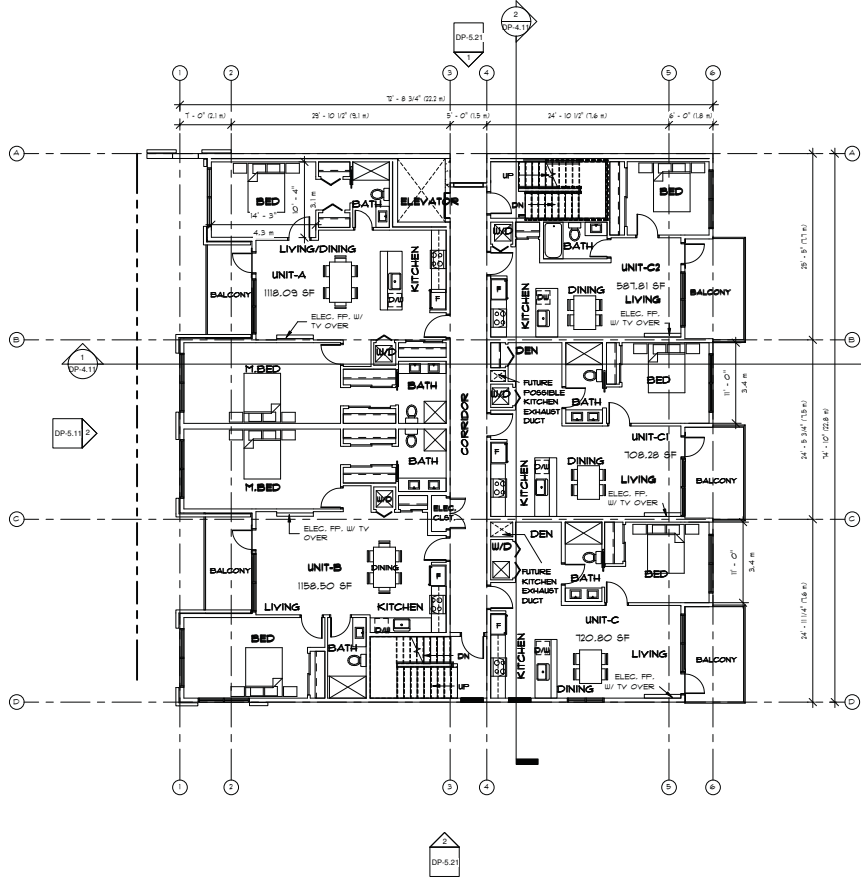


1 MAIN FLOOR PLAN  
 1/8" = 1'-0"

NOTE:  
 HYDRO KIOSK CANNOT HAVE THE PARKING LOT BELOW IT



1 SECOND FLOOR PLAN  
1/8" = 1'-0"



2 THIRD FLOOR PLAN  
1/8" = 1'-0"

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NO.	DATE	REVISION
1	20 NOV 2013	ISSUED FOR RFP
2	20 NOV 2013	FOR REVIEW
3	20 NOV 2013	FOR REVIEW
4	20 NOV 2013	ISSUED FOR RFP
5	20 NOV 2013	FOR REVIEW
6	20 NOV 2013	FOR REVIEW

COMMERCIAL & RESIDENTIAL  
DEVELOPMENT  
304 - 1604 H STREET, SURREY,  
BRITISH COLUMBIA

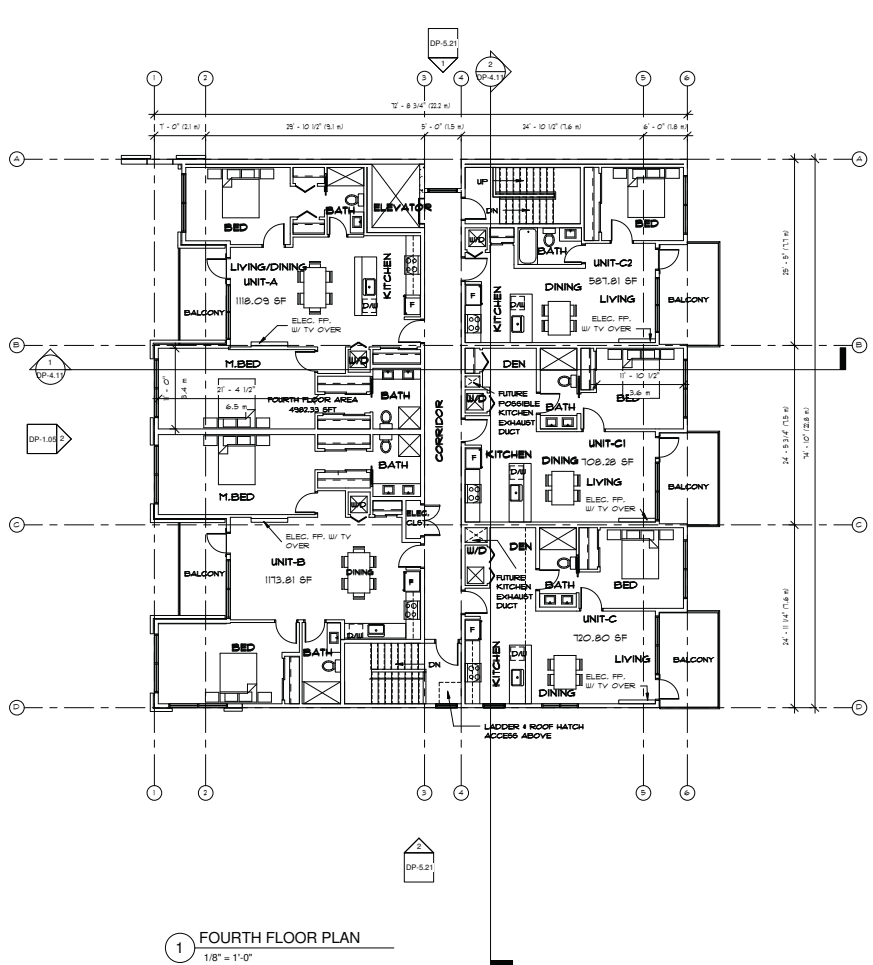
SECOND & THIRD FLOOR  
PLANS

OWNER

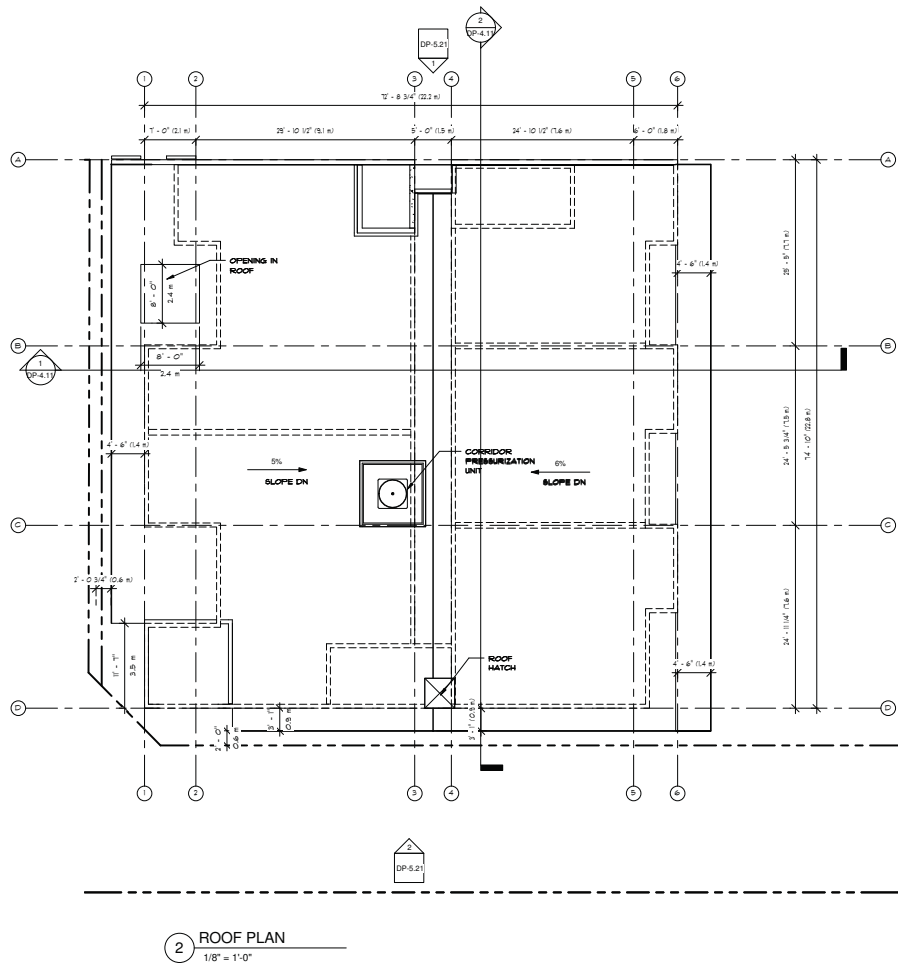
DOUGLAS R. JOHNSON  
ARCHITECT LTD.  
#374-901 WEST 3RD ST.  
NORTH VANCOUVER, BC V7P 3P9  
PH: (604) 998-3381  
FAX: (604) 998-0217

SCALE	PROJECT NO.
1/8" = 1'-0"	
DATE	SHEET
25 NOV 2013	
DRAWN	CHECKED
REVISIONS	NO.
	6

DP-3.31



1 FOURTH FLOOR PLAN  
1/8" = 1'-0"



2 ROOF PLAN  
1/8" = 1'-0"

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NO.	DATE	DESCRIPTION
1	20 NOV 2013	ISSUED FOR PERMIT
2	20 NOV 2013	DP REVISION
3	20 NOV 2013	DP REVISION
4	20 NOV 2013	ISSUED FOR ADP
5	20 NOV 2013	DP REVISION
6	20 NOV 2013	DP REVISION

COMMERCIAL & RESIDENTIAL  
DEVELOPMENT  
806 - 6000 STREET, SURREY,  
BRITISH COLUMBIA  
**FOURTH & ROOF FLOOR PLAN**

OWNER

**DOUGLAS R. JOHNSON ARCHITECT LTD.**  
#374-901 WEST 3RD ST.,  
NORTH VANCOUVER, BC V7P 3P9  
Ph: (604) 998-3381  
FAX: (604) 998-0217

SCALE	PROJECT NO.
1/8" = 1'-0"	---
DATE	SHEET
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DRAWN	CHECKED
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REVISIONS	DP-3.41

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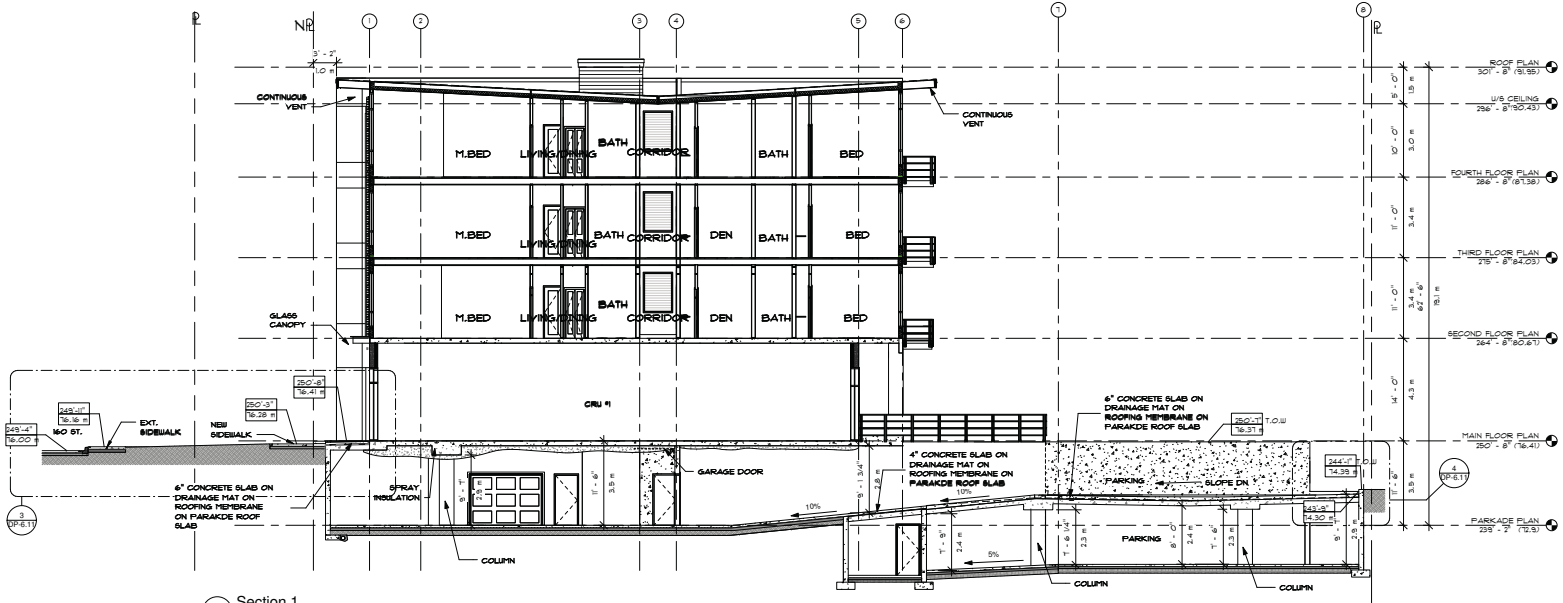
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3	20 NOV 2013	FOR REVIEW
4	20 NOV 2013	FOR REVIEW
5	20 NOV 2013	FOR REVIEW
6	20 NOV 2013	FOR REVIEW

**COMMERCIAL & RESIDENTIAL DEVELOPMENT**  
 806 - 1600 W STREET, SURREY, BRITISH COLUMBIA

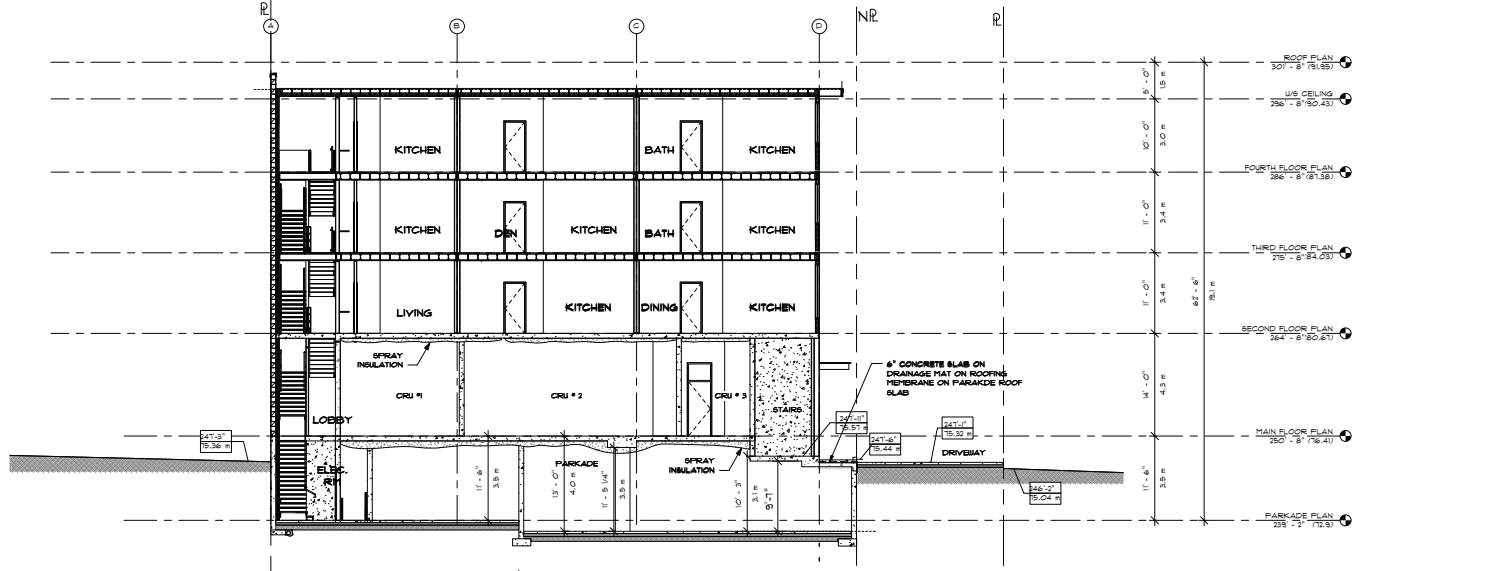
**SECTIONS**

OWNER  
 DOUGLAS R. JOHNSON ARCHITECT LTD.  
 #374-901 WEST 3RD ST., NORTH VANCOUVER, BC V7P 3P9  
 Ph: (604) 998-3381  
 Fax: (604) 998-0217

SCALE	PROJECT NO.
1/8" = 1'-0"	
DATE	
25 NOV 2013	
DRAWN	SHEET
	DP-4.11
REVISIONS	
6	

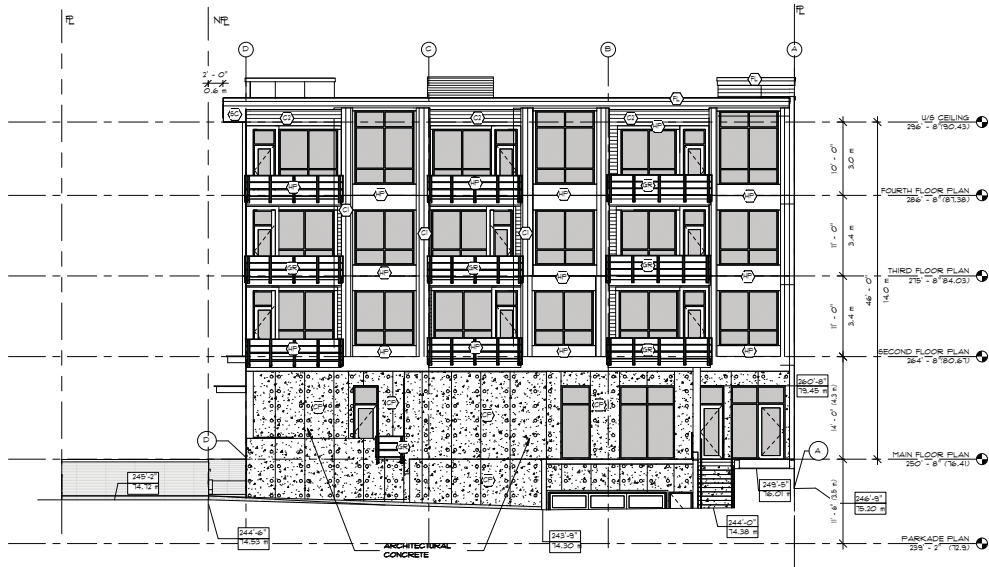


1 Section 1  
 1/8" = 1'-0"

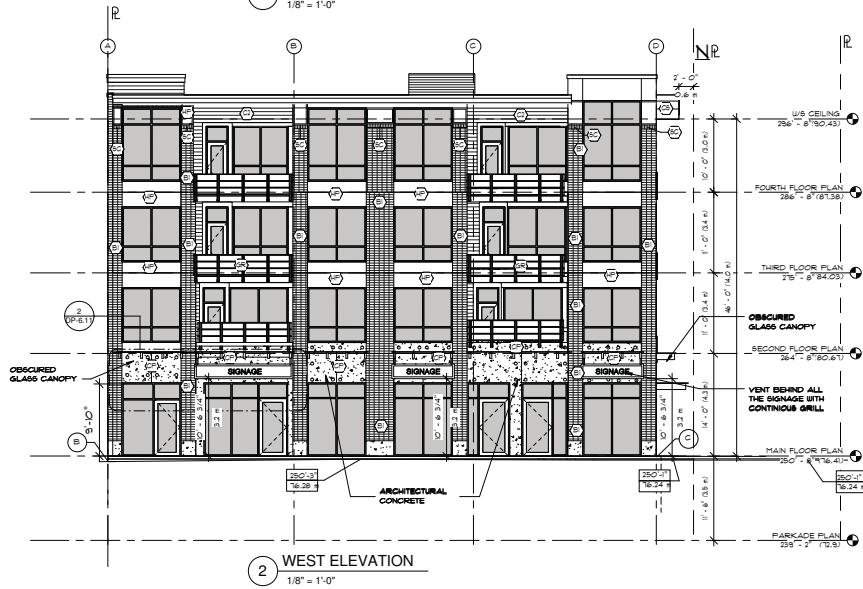


2 Section 2  
 1/8" = 1'-0"





1 EAST ELEVATION  
1/8" = 1'-0"



2 WEST ELEVATION  
1/8" = 1'-0"

LEGEND	
MATERIAL NAME	COLOR
WINDOORS/DOORS/STOREFRONTS	SILVER
MAIN ENTRY TO RESIDENTIAL	BLACK
FLASHING	SW 1016 CITYSCAPE
CONCRETE	NATURAL GREY COLOR
GUARD/RAILING	SILVER
POLISHED CONCRETE BLOCK - 4" X 16"	GREY
POLISHED CONCRETE BLOCK - 8" X 16"	GREY
8" X 16" SPLIT FACE CONCRETE	DARK GREY
8" X 16" GROUND FACE CONCRETE	NATURAL GREY
HARDI PANEL	BM 2417 DILL PICKLE
TRIM/FASCIA BOARD	SW 1066 NEBULOUS WHITE
HARDI SIDING - BOARD & BATTEN	BM 1066 GREY MATTERS
HARDI SIDING - HORIZONTAL 4" EXPOSED	BM-MAYFLOWER RED HC-49
	BM-MAYFLOWER RED HC-48

SW - SHERWIN WILLIAMS  
BM - BENJAMIN MOORE

AVERAGE EXISTING GRADE

$$\frac{A + B + C + D}{4}$$

$$\frac{246.75'(75.21e) + 247.8'(75.54e) + 248.6'(75.80e) + 246.9'(75.30e)}{4} = 247.15'$$

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NO.	DATE	DESCRIPTION
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3	20 NOV 2013	FOR REVIEW
4	20 NOV 2013	FOR REVIEW
5	20 NOV 2013	FOR REVIEW
6	20 NOV 2013	FOR REVIEW

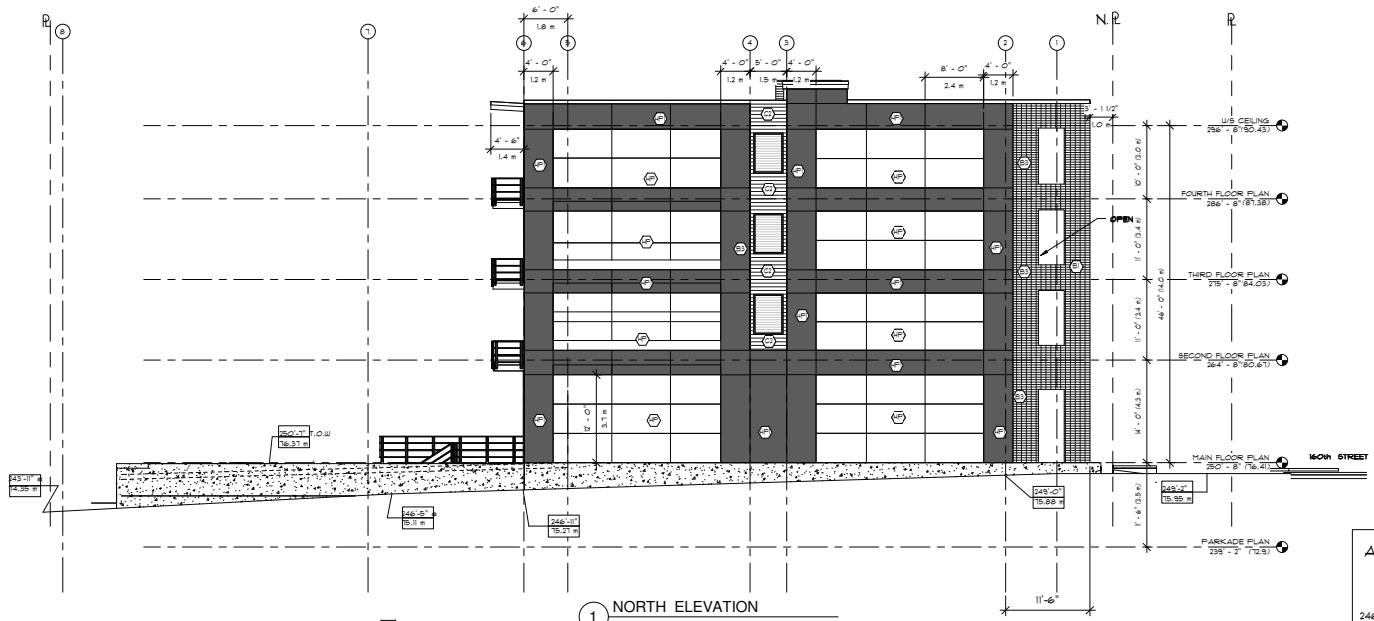
OWNER: COMMERCIAL & RESIDENTIAL DEVELOPMENT 8046 - 1604H STREET, SURREY, BRITISH COLUMBIA

BUILDING ELEVATIONS

DOUGLAS R. JOHNSON ARCHITECT LTD.  
#374-901 WEST 3RD ST., NORTH VANCOUVER, BC V7P 3P9  
Ph: (604) 998-3381  
Fax: (604) 998-0217

SCALE: As indicated	PROJECT NO: _____
DATE: 25 NOV 2013	_____
DRAWN: _____	CHECKED: _____
REVISIONS: _____	PROJECT NO: DP-5.11

6



1 NORTH ELEVATION  
1/8" = 1'-0"

**LEGEND**

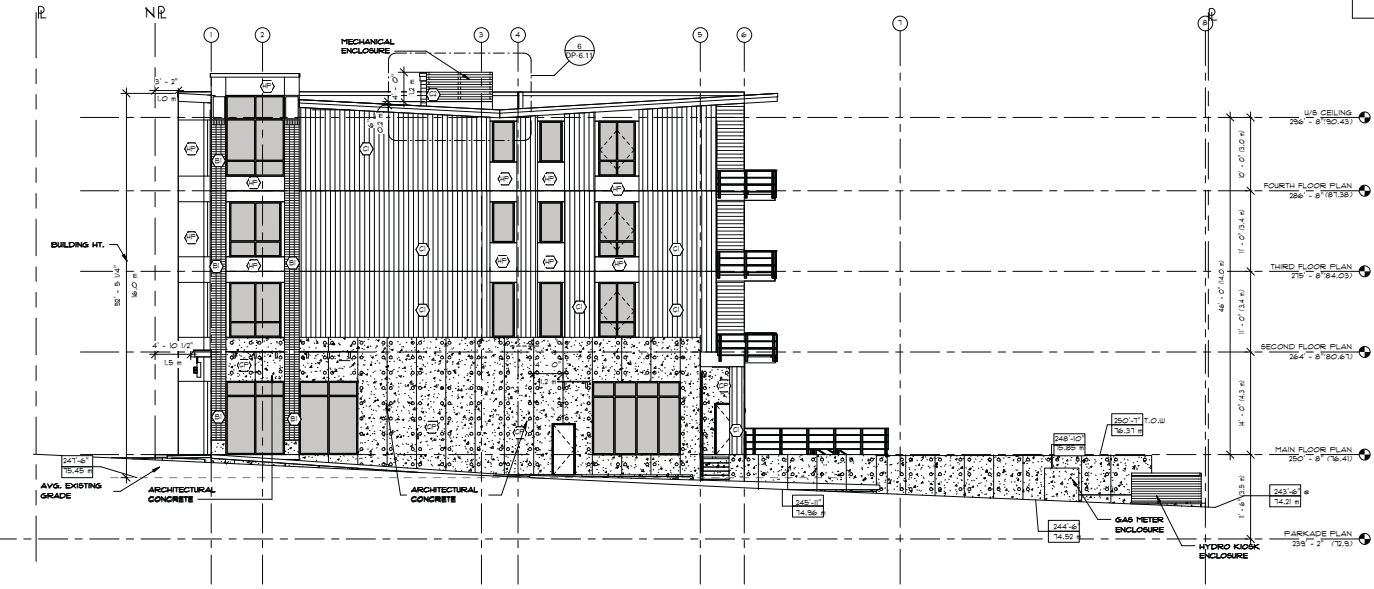
MATERIAL NAME	COLOR
WINDOWS/DOORS/STOREFRONTS	SILVER
MAIN ENTRY TO RESIDENTIAL	BLACK
FLASHING	SW 7016 CITYSCAPE
CONCRETE	NATURAL GREY COLOR
GUARD/RAILING	SILVER
POLISHED CONCRETE BLOCK - 4" x 16"	GREY
POLISHED CONCRETE BLOCK - 8" x 16" GREY	
8" x 16" SPLIT FACE CONCRETE	DARK GREY
8" x 16" GROUND FACE CONCRETE	NATURAL GREY
HARDI PANEL	EM 241 DILL PICKLE
2" x 6" T&G CEDAR BOFFIT	SW NEBULOUS WHITE
TRIM/FASCIA BOARD	SW 7066 GREY MATTERS
HARDI SIDING - BOARD + BATTEN	EM-HAYFLOWER RED HC-45
HARDI SIDING - HORIZONTAL 4" EXPOSED	EM-HAYFLOWER RED HC-45

SW - SHERWIN WILLIAMS  
EM - BENJAMIN MOORE

**AVERAGE EXISTING GRADE**

$$\frac{A + B + C + D}{4}$$

$$\frac{246.75(15.21 \text{ m}) + 247.8(15.54 \text{ m}) + 248.6(15.80 \text{ m}) + 246.9(15.30 \text{ m})}{4} = 247.53'$$



2 SOUTH ELEVATION  
1/8" = 1'-0"

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NO.	DATE	DESCRIPTION
1	2011.07.27	ISSUED FOR PERMIT
2	2011.08.23	FOR REVIEW
3	2011.09.23	FOR REVIEW
4	2011.10.23	FOR REVIEW
5	2011.10.23	FOR REVIEW
6	2011.10.23	FOR REVIEW

**COMMERCIAL & RESIDENTIAL DEVELOPMENT**  
806 - 1606 H STREET, SURREY, BRITISH COLUMBIA

**BUILDING ELEVATIONS**

OWNER

**DOUGLAS R. JOHNSON ARCHITECT LTD.**  
#374-901 WEST 3RD ST., NORTH VANCOUVER, BC V7P 3P9  
PH: (604) 998-3381  
FAX: (604) 998-0217

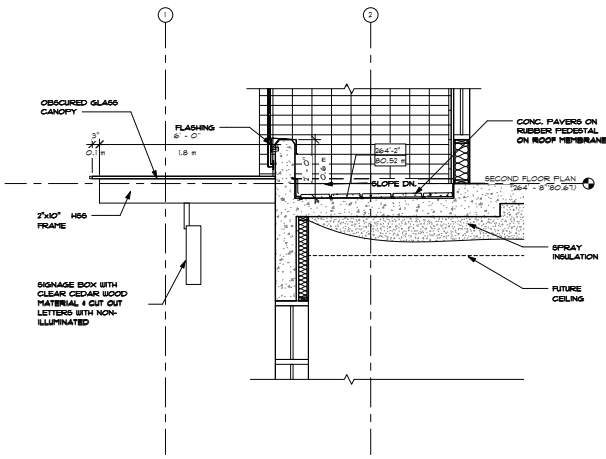
SCALE: As Indicated

DATE: 25 NOV 2013

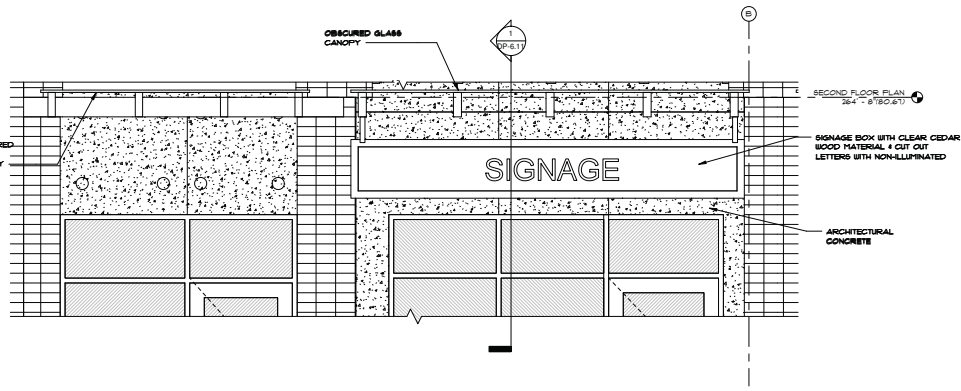
DRAWN: SHEET:

REVISIONS: **DP-5.21**

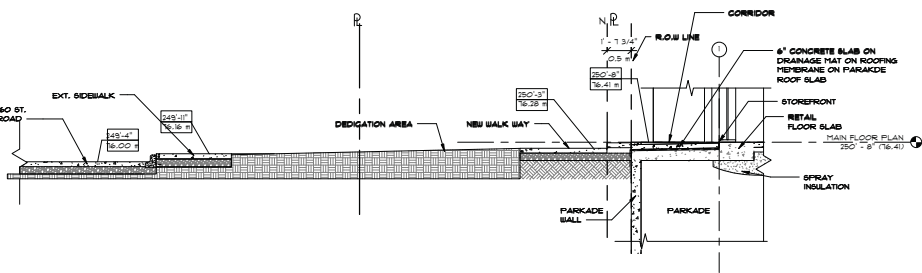
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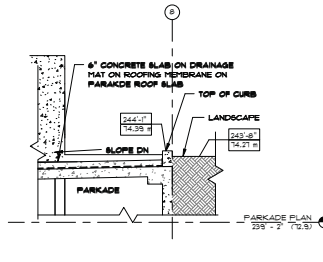
1 DETAIL - CANOPY  
1/2" = 1'-0"



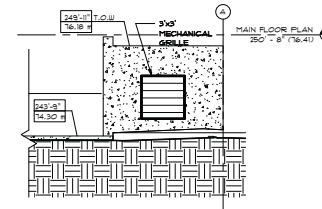
2 DETAIL - CANOPY  
1/2" = 1'-0"



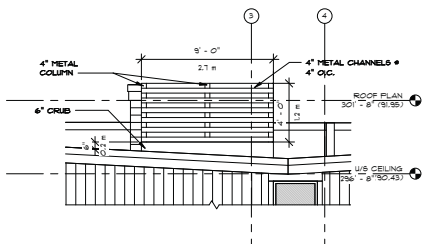
3 DETAIL AT FRONT RETAIL  
1/4" = 1'-0"



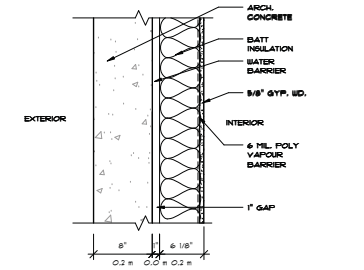
4 DETAIL AT PARKING  
1/4" = 1'-0"



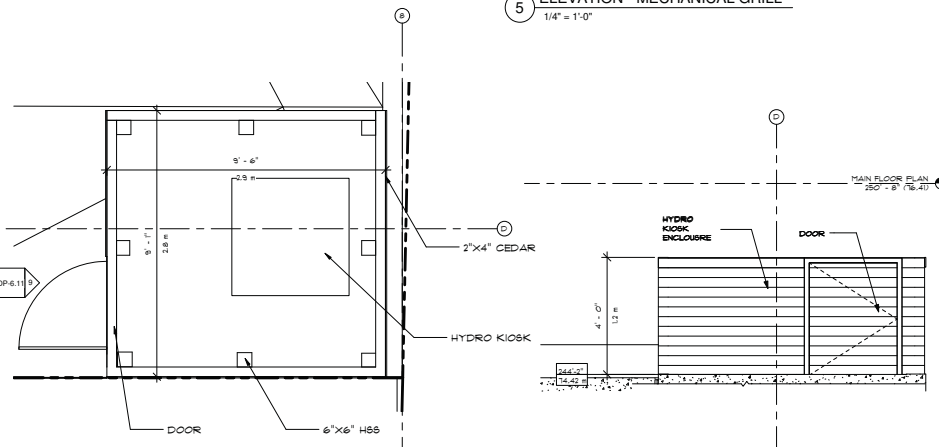
5 ELEVATION - MECHANICAL GRILL  
1/4" = 1'-0"



6 MECHANICAL ENCLOSURE  
1/4" = 1'-0"



7 TYP. EXTERIOR WALL @ ARCH. CONCRETE  
1 1/2" = 1'-0"



8 HYDRO KIOSK - PLAN  
1/2" = 1'-0"

9 HYDRO KIOSK ELEVATION  
1/2" = 1'-0"

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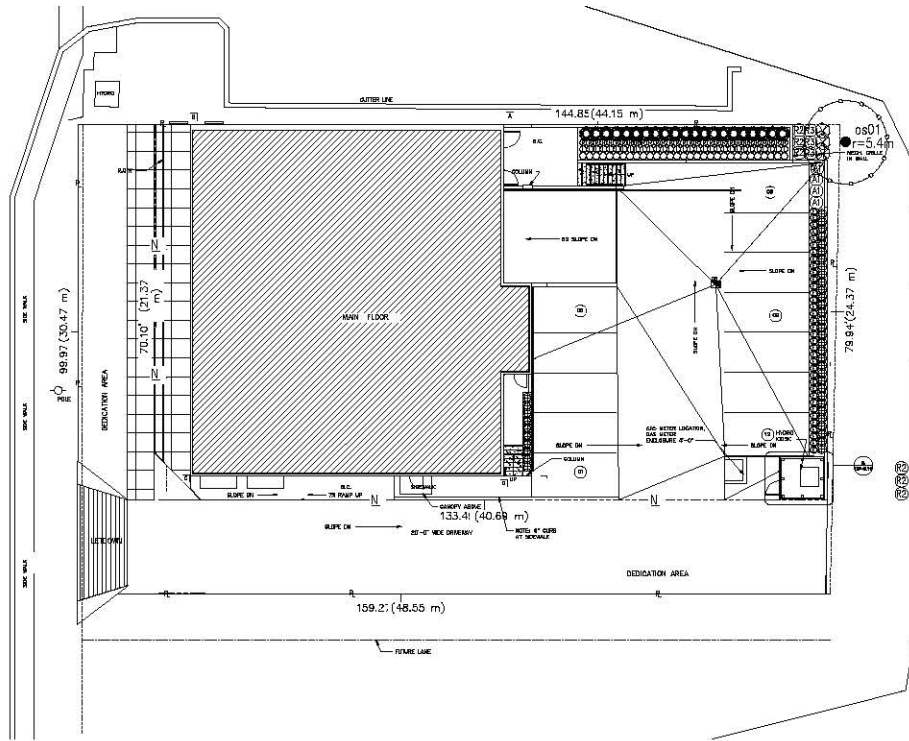
NO.	DATE	DESCRIPTION
1	20 NOV 2013	ISSUED FOR PERMIT
2	20 NOV 2013	REVISED FOR PERMIT
3	20 NOV 2013	REVISED FOR PERMIT
4	20 NOV 2013	REVISED FOR PERMIT
5	20 NOV 2013	REVISED FOR PERMIT
6	20 NOV 2013	REVISED FOR PERMIT

COMMERCIAL & RESIDENTIAL  
DEVELOPMENT  
806 - 160th STREET, SURREY,  
BRITISH COLUMBIA  
DETAILS

OWNER  
**DOUGLAS R. JOHNSON ARCHITECT LTD.**  
#374-901 WEST 3RD ST.,  
NORTH VANCOUVER, BC V7P 3P9  
Ph: (604) 938-3381  
Fax: (604) 938-0217

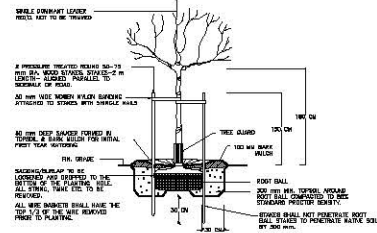
SCALE	PROJECT NO.
As Indicated	DP-6.11
DATE	SHEET
20 NOV 2013	---
DRAWN	SHEET
---	---
REVISIONS	DP-6.11
6	

160th Street



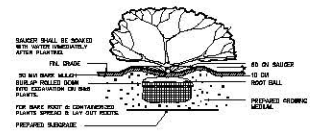
**NOTES / GENERAL**

- PLANT SPECIES IN THE LIST ARE SPECIFIED ACCORDING TO BC LANDSCAPE STANDARDS LATEST EDITION. CONTAINER SIZE ARE SPECIFIED AS PER "CULTA STANDARDS" BOTH PLANT SIZE AND CONTAINER SIZE OFF THE MINIMUM ACCEPTABLE SIZE. SEARCH AND SELECTION NAME PLANT MATERIAL AVAILABLE FOR OFFICIAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. "SUBSTITUTIONS" MUST BE GIVEN WRITTEN APPROVAL FROM THE "LANDSCAPE ARCHITECT" PRIOR TO MAKING ANY SUBSTITUTIONS TO SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE WORKING DAYS PRIOR TO REQUEST FOR REJECTS TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO THE LANDSCAPE STANDARDS.
- ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED "DISEASE FREE" SOURCES. ALL PLANT MATERIAL MUST CONFORM TO THE LATEST EDITION OF THE "BC LANDSCAPE STANDARDS". PROVIDE CERTIFICATION UPON REQUEST. ALL LANDSCAPE AND LANDSCAPE MATERIALS TO CONFORM TO THE LATEST EDITION OF THE BC/LA/MC/LA "LANDSCAPE STANDARDS".
- MIN. GROWING MEDIA DEPTHS OVER PREPARED SUBGRADE SHALL BE:
  - LAWN AREAS 400 mm
  - SOILED COVER AREAS 400 mm
  - DRIVE AREAS 400 mm
  - TREE PITS 300 mm AROUND ROOT BALL
- GROWING MEDIA SHALL HAVE PHYSICAL AND CHEMICAL PROPERTIES AS DESCRIBED IN THE STANDARDS FOR LEVEL 2 AND LEVEL 3 AREAS EXCEPT FOR AREAS OVER STRUCTURES WHERE THE MEDIA SHALL CONFORM TO THE REQUIREMENTS FOR LEVEL 1 APPLICATION. PROCESSING AND MIXING OF GROWING MEDIA COMPONENTS SHALL BE DONE OFF-SITE USING A VOLUMETRIC SYSTEM. PROCESSING GROWING MEDIA SHALL BE TESTED BY A RECOGNIZED LABORATORY. THE CONTRACTOR SHALL GUARANTEE THAT THE SOIL SUBMITTED FOR TESTING IS A REPRESENTATIVE SAMPLE TAKEN FROM THE SOIL THAT WILL BE USED AT THE SITE.
- ON-SITE OR IMPORTED SOILS SHALL SATISFY THE REQUIREMENTS OF THE STANDARDS FOR GROWING MEDIA. SOILS SHALL BE FREELY FREE FROM FURFURAL, WOOD LIND, WOODY PLANT PARTS, AND OR PROPAGATION PARTS OF WEEDS, PLANT PATHOGENIC ORGANISMS, TOXIC MATERIALS, STONES OVER 50 MM AND FOREIGN OBJECTS.
- ALL PLANTING BEDS SHALL RECEIVE MIN. 50 MM BARK MULCH.
- PLANT SPECIES AND VARIETIES MAY NOT BE SUBSTITUTED WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE, UNLESS OTHERWISE SPECIFIED. ALL PLANT MATERIAL NOT SURVIVING OR IN POOR CONDITION DURING THE GUARANTEE PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.
- THE CONTRACTOR SHALL CLEAR AWAY FROM THE SITE ALL RUBBISH AS IT ACCUMULATES, AND SHALL, AT THE COMPLETION OF THE WORK, LEAVE THE WORK AREA THE SITE THEREIN IN A CLEAN AND PRESENTABLE CONDITION, FREE FROM ALL OBSTRUCTIONS.



TREE PLANTING DETAIL

SECTION N.T.S.



PLANTING DETAIL - SHRUBS & GRD. COVER PLANTS

SECTION N.T.S.

PLANT LIST						
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	REMARKS
Ⓐ	AZALEA JAPONICA 'HINO CRIMSON'	CRIMSON AZALEA	2	#2 POT	85 CM. O.C.	
Ⓞ	BUXUS MACROPHYLLA 'WINTER GEM'	ASIAN BOXWOOD	31	#3 POT	45 CM. O.C.	
Ⓡ	ROSA EXPLORER HENRY HUDSON	EXPLORER ROSE	3	#3 POT	90 CM. O.C.	
Ⓡ	RHODODENDRON COTTON CANDY	RHODODENDRON	6	#3 POT	90 CM. O.C.	
Ⓡ	RHODODENDRON P.J.M.	RHODODENDRON	3	#3 POT	90 CM. O.C.	
Ⓡ	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	42	#3 POT	65 M. O.C.	
Ⓡ	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD ARBORVITAE	21	1.00 METERS	65 M. O.C.	
Ⓡ	ERICA CARNEA 'MYRETOUN PINK'	HEATHER	36	#1 POT	30 CM. O.C.	
Ⓡ	LAVANDULA ANGSTIFOLIA 'MUNSTEAD'	LAVENDER	31	#3 POT	45 CM. O.C.	
Ⓡ	RUDBECKIA TRILOBA	BLACK-EYED SUSAN	31	#3 POT	45 CM. O.C.	
Ⓡ	PIREIS JAPONICA FOREST FLAME	LILY OF THE VALLEY	3	#3 POT	90 CM. O.C.	



**LEGEND**

- = TREES TO BE RETAINED
- ⊙ = TREES TO BE REMOVED
- ⊖ = PROTECTION BARRIER

DEC/18	city required	3
DEC/18	revised site plan	2
JUN/15	revised site plan	1
DATE	REVISION	N/A
	FORWARDED	

**K. KAVOLINAS & ASSOCIATES INC.**  
 BCRA CSIA  
 2482 JONASDALE COURT  
 ABERFORD, B.C.  
 V3G 3E8  
 PHONE (604) 857-2376

**CLIENT**  
 MR. RASH CHAWLA  
 ITIANA HOLDINGS INC.  
 475 DOUG JOHNSON AVENUE WEST  
 221 PEMBERGTON AVENUE  
 NORTH VANCOUVER, B.C.  
 V7P 2G4  
 604 698 3381

**TITLE**  
 PLAN VIEW  
 LANDSCAPE PLAN  
 PROPOSED  
 COMMERCIAL DEVELOPMENT  
 8448 - 160 STREET  
 BURNABY, B.C.

SCALE	DATE
1:150	FEB/15
DRAWN	DATE
DATE	DATE
APPROVED	DATE
DATE	DATE

PROJECT	JOB NO.
8448-160	100
DATE	DATE
DATE	DATE

---

**TO: Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

**FROM: Development Services Manager, Engineering Department**

**DATE: January 27, 2016** PROJECT FILE: **7815-0083-00**

---

**RE: Engineering Requirements (Commercial/Multi-Family Residential)  
Location: 8446 160 Street**

**REZONE**

***Property and Right-of-Way Requirements***

- Dedicate 4.942 metres along 160 Street for the ultimate 15.0 metres from centerline for an Arterial Road.
- Dedicate 6.0 metres for half of the ultimate 12.0 metre Green Lane.
- Dedicate a 3.0 x 3.0 metre corner cut at the intersection of 160 Street and the Green Lane.
- Provide a 0.500 metre SRW along 160 Street and the Green Lane frontages.

***Works and Services***

- Construct the Green Lane complete with 6.0 metre pavement and barrier curb and gutter.
- Construct a minimum 7.3 metre letdown to the green lane for access to the site.
- Construct a 1.50 metre sidewalk along the property line of 160 Street. Install topsoil and sod between existing curb and sidewalk to be installed. To be funded by the City of Surrey through the Development Coordinated Works program.
- Construct storm mains to service the development and Green Lane road drainage.
- Install onsite stormwater mitigation features to meet the Fleetwood Greenway Integrated Stormwater Management Plan requirements.
- Provide water, storm, and sanitary service connections to service the development.
- Abandon the existing water, storm and sanitary service connections to City standards.
- Register restrictive covenants as determined through detailed design.

A Servicing Agreement is required prior to Rezone/Subdivision.

**DEVELOPMENT PERMIT**

There are no engineering requirements relative to issuance of the Development Permit.



Rémi Dubé, P.Eng.  
Development Services Manager

CE



Friday, August 21, 2015  
 Planning

**THE IMPACT ON SCHOOLS**

APPLICATION #: 15 0083 00

**SUMMARY**

The proposed 15 lowrise units are estimated to have the following impact on the following schools:

**Projected # of students for this development:**

Elementary Students:	1
Secondary Students:	0

September 2014 Enrolment/School Capacity

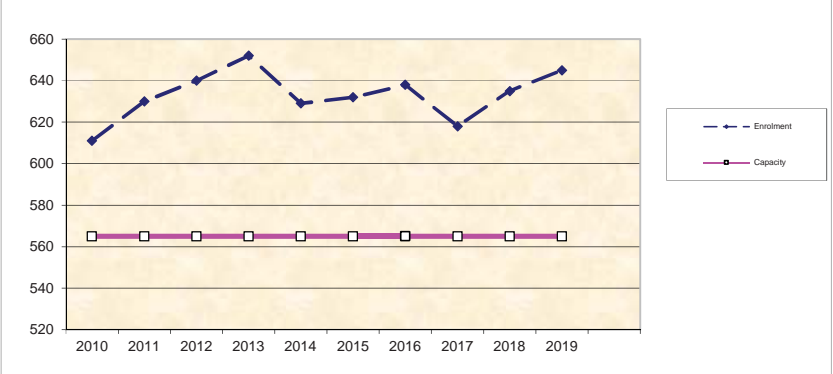
Walnut Road Elementary	
Enrolment (K/1-7):	79 K + 550
Capacity (K/1-7):	40 K + 525
Fleetwood Park Secondary	
Enrolment (8-12):	1321
Nominal Capacity (8-12):	1200
Functional Capacity*(8-12):	1296

**School Enrolment Projections and Planning Update:**

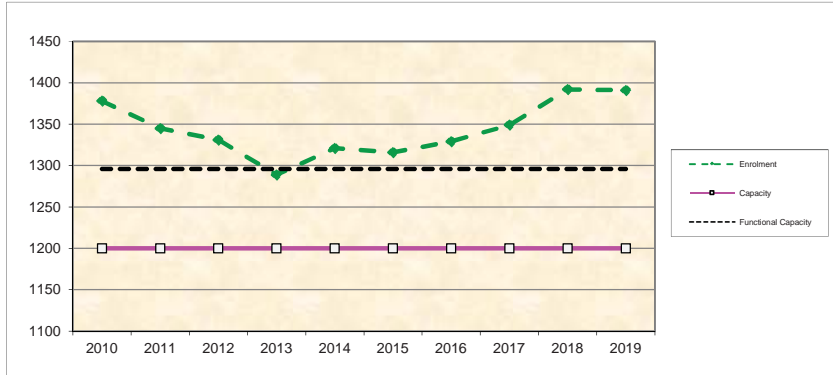
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

There are no new capital projects proposed at Walnut Road Elementary or Fleetwood Park Secondary. Walnut Road Elementary has five portables on site and Fleetwood Park Secondary has three. The proposed development will not have an impact on these projections.

**Walnut Road Elementary**



**Fleetwood Park Secondary**



\*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

Table 3. Tree Preservation Summary

TREE PRESERVATION SUMMARY	
Surrey Project No:	
Address:	8446 160 <sup>th</sup> Street, BC
Registered Arborist:	Trevor Cox, MCIP ISA Certified Arborist (PN1920A) Certified Tree Risk Assessor (43) BC Parks Wildlife and Danger Tree Assessor
On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	<b>2</b>
<b>Protected Trees to be Removed</b>	<b>2</b>
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	<b>0</b>
<b>Total Replacement Trees Required:</b>	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0	<b>4</b>
- All other Trees Requiring 2 to 1 Replacement Ratio 2 X two (2) = 4	
<b>Replacement Trees Proposed</b>	<b>0</b>
<b>Replacement Trees in Deficit</b>	<b>4</b>
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	
Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	
<b>Total Replacement Trees Required:</b>	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio ___ X one (1) = 0	<b>12</b>
- All other Trees Requiring 2 to 1 Replacement Ratio 6 X two (2) = 12	
<b>Replacement Trees Proposed</b>	<b>0</b>
<b>Replacement Trees in Deficit</b>	<b>12</b>

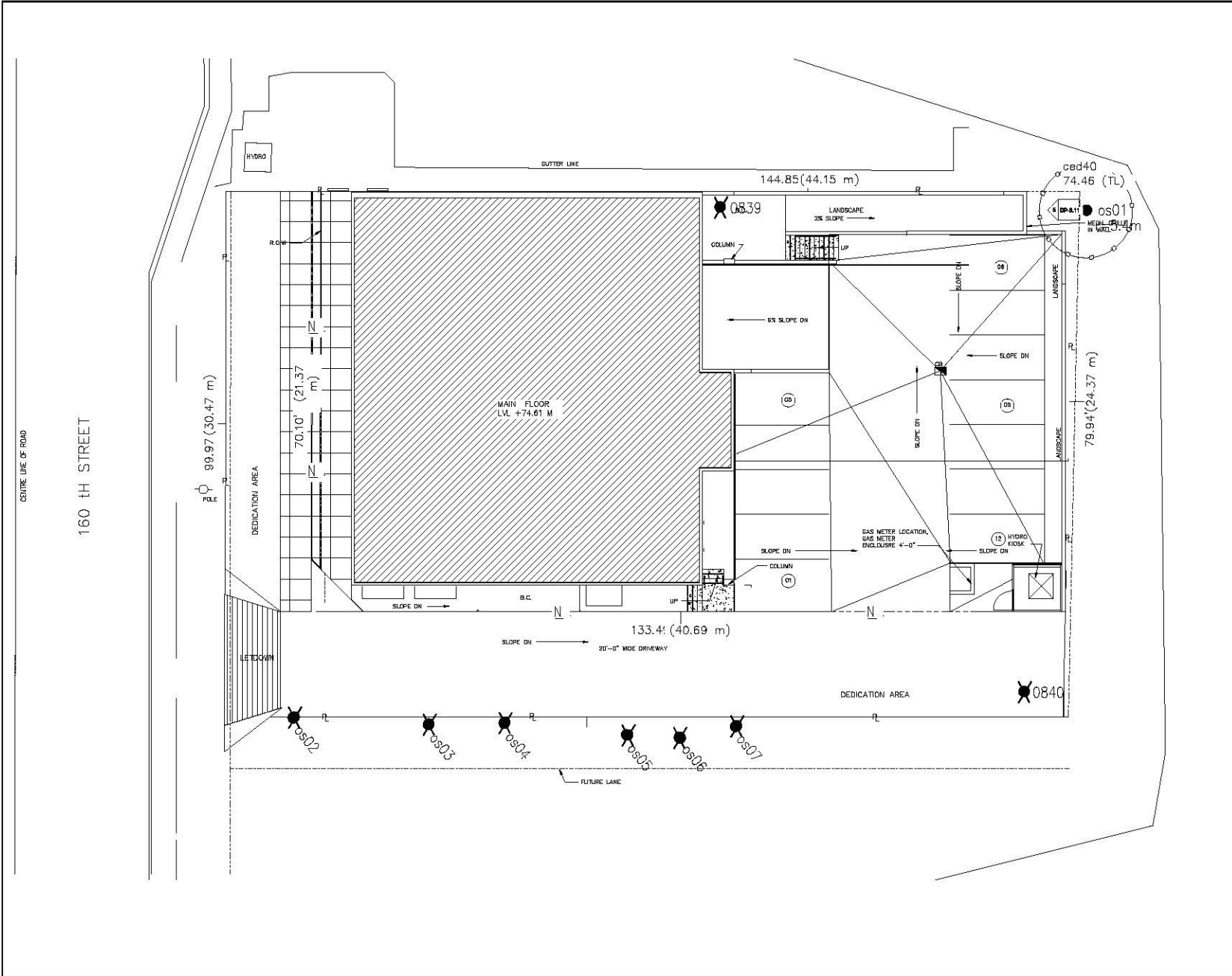
Summary prepared and  
submitted by:

Arborist



December 10,  
2015

Date



**LEGEND**

- = TREES TO BE RETAINED
- ✖ = TREES TO BE REMOVED
- = PROTECTION BARRIER

DEC/15	revised site plan	2
JUN/15	revised site plan	1
SEC	REVISED	NO.

**KAVOLINAS & ASSOCIATES INC**  
 BCSIA CISA  
 2463 JONQUIL COURT  
 ABBOTSFORD, B.C.  
 V3C 3G9  
 PHONE (604) 887-2376

**CLIENT**  
 MR. RAO GUPTA  
 TITANIA HOLDINGS INC.  
 c/o DOUG JOHNSON ARCHITECT  
 221 PEMBERTON AVENUE  
 NORTH WILLOWDALE, B.C.  
 V3P 2B4  
 604 886 3381

**TITLE**  
 PLAN VIEW  
 TREE LOCATION PLAN  
 TREE RETENTION PLAN  
 COMMERCIAL DEVELOPMENT  
 3448 - 160 STREET  
 SURREY, B.C.

SCALE	1:100	DATE	FEB/15
DRW	CHYD	DATE	
CHK	CHYD	DATE	
APPV	AS BUILT	DATE	

PROJECT	3448 160
DRAWING NO.	TR-1



**Present:**

Chair – L. Mickelson  
S. Forrest  
G. McGarva  
C. Taylor  
M. Vance  
Cpl. M. Searle  
S. Vincent

**Guests:**

D. Johnson, Doug Johnson Architect  
C. Kavolinas, CJK  
W. Jung, Hanson Architect

**Staff Present:**

M. Rondeau, Senior Planner  
L. Luaifoa, Administrative Assistant

---

**B. NEW SUBMISSIONS**

**1. 4:00PM**

File No.:	7915-0083-00
New or Resubmit:	New
Description:	REZ and DP for four-storey mixed-use commercial/residential building in Fleetwood Village
Address:	8446-160 Street
Developer:	R. Chawla, Titania Holdings
Architect:	Doug Johnson Architect
Landscape Architect:	C. Kavonlinas
Planner:	Jeff Denney
Urban Design Planner:	Mary Beth Rondeau

**The Urban Design Planner** presented an overview of the proposed project and highlighted the following:

- The subject site is in Fleetwood Village area and is for a 4-storey, mixed-use building transit oriented development which is the planned objective for this area even though lower scale development has been happening.
- In addition, on the original site they have provided the lane as shown in the NCP which means another 6m will be taken off this small site.
- Density allowable is 2.5 and this project is approx. 1.4 over the entire site.
- The building does not propose indoor amenity space and staff support this given the provision for a lane on this site.
- Staff does not have any specific issues.

**The Project Architect** presented an overview of the site plan, building plans, elevations, cross sections, and streetscapes and highlighted the following:

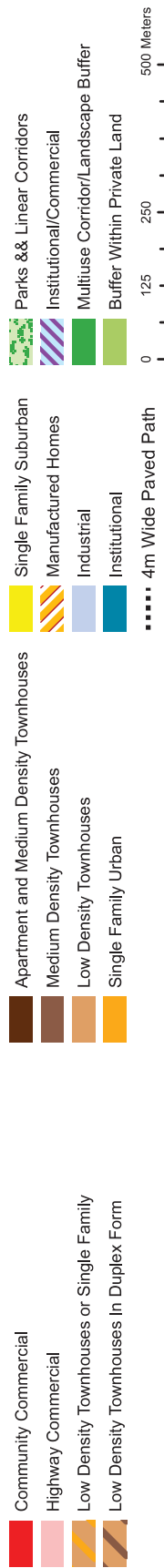
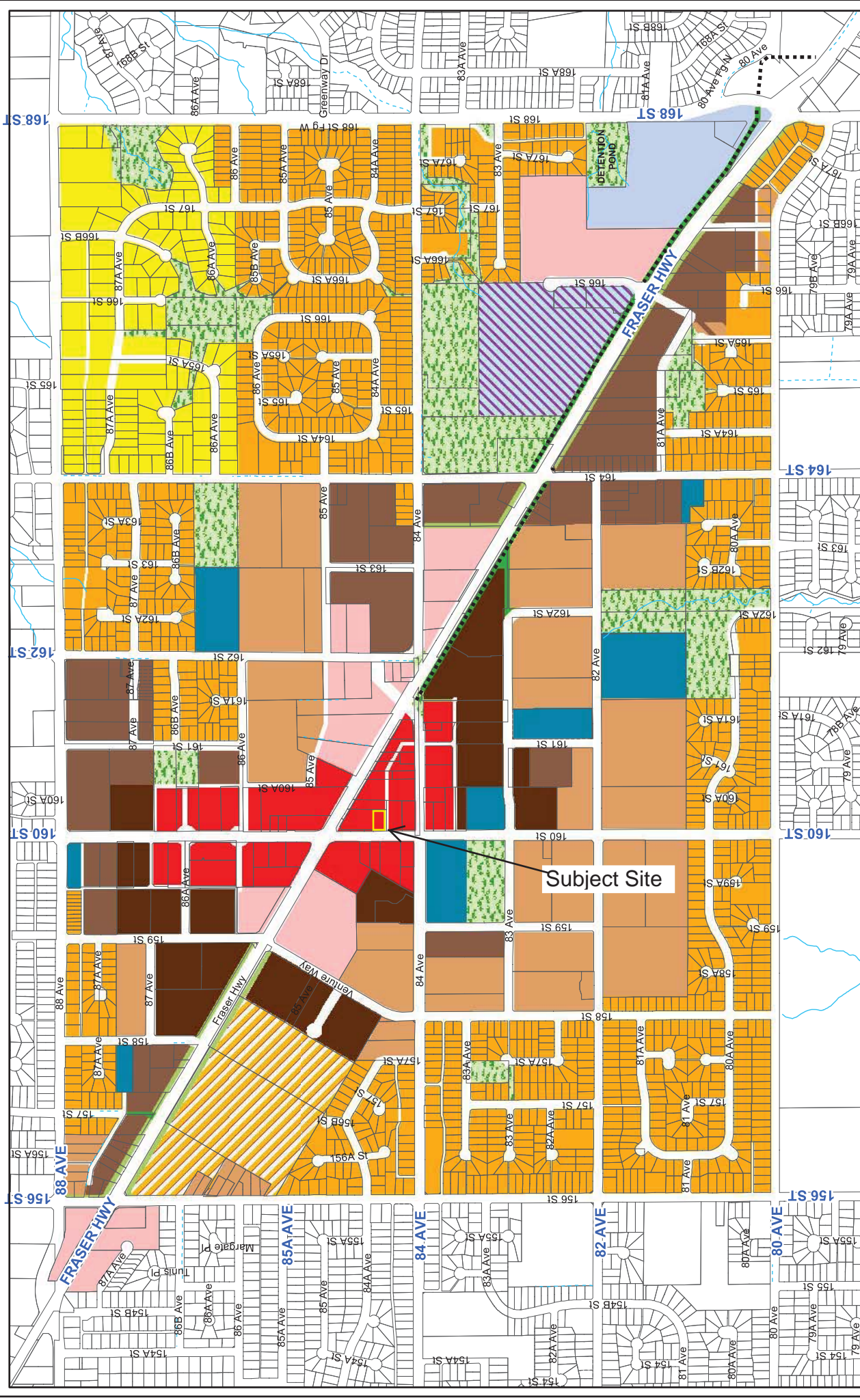
- The proposed design for this site is for a 4-storey residential building over a single level of underground parking. Three floors of residential units (one and two bedrooms) are located above the ground level. The ground level is

designated for commercial space. The design is a contemporary urban mixed building and was developed with input and support of the Fleetwood Community Association.

- The building will be located at the zero lot line to the north property line. A future lane runs along the south side of the property.
- All units have large balconies and have reasonable layouts for a tight site.
- The detailing on the building has been kept very clean in keeping with the contemporary vernacular. The building was designed to try to emphasize the vertical elements of the building with brick columns that go up through the building. The building terminates at the underside of a sweeping roof with large overhangs. The masonry is grey in tones while both the Hardie siding and panels provide the opportunity for colour variations.

**The Landscape Architect** reviewed the landscape plans and highlighted the following:

- It is possible that the existing trees on the neighbor's property will be retained.
- A hydro kiosk is proposed along the south west corner of the site. A landscape buffer is provided along the east property line. The finish grades will meet the existing grades here.
- A small outdoor amenity area is proposed for residential component of the building.



**FLEETWOOD TOWN CENTRE LAND USE PLAN**  
 City of Surrey Planning & Development Department

Approved by Council Nov. 1, 2000 - Amended 27 July 2015

This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.



CITY OF SURREY

BYLAW NO. \_\_\_\_\_

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended  
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015, c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: HIGHWAY COMMERCIAL INDUSTRIAL ZONE (CHI)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 003-112-080  
Lot 3 Section 25 Township 2 Plan 9175 NWD

8446 - 160 Street

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

**A. Intent**

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium *density* mixed-use development consisting of *multiple unit residential buildings* and related *amenity spaces*, and commercial *accessory uses*, which are to be developed in accordance with a *comprehensive design*.

**B. Permitted Uses**

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

- 1. *Multiple unit residential buildings.*
- 2. The following uses are permitted, provided that any one of these uses, or a combination thereof, are accessory to a use permitted under Section B.1 of this Zone:

- (a) *Retail stores* excluding *adult entertainment stores, secondhand stores and pawnshops*;
- (b) *Personal service uses* excluding *body rub parlours*;
- (c) *General service uses* excluding *funeral parlours and drive-through banks*;
- (d) *Eating establishments* excluding *drive-through restaurants*;
- (e) *Neighbourhood pubs*;
- (f) *Liquor store*;
- (g) *Office uses* excluding *social escort services and methadone clinics*;
- (h) *Indoor recreational facilities*;
- (i) *Entertainment uses* excluding *arcades and adult entertainment stores*;
- (j) *Community services*; and
- (k) *Child care centres*.

**C. Lot Area**

Not applicable to this Zone.

**D. Density**

1. For the purpose of *building* construction, the *floor area ratio* shall not exceed 1.70.
2. Notwithstanding the definition of *floor area ratio*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section D of this Zone and further provided that the *floor area ratio* calculated from the cumulative floor areas of the *buildings* within all of the air space parcels and the remainder *lot* of the airspace subdivision shall not exceed the maximum specified in Section D.1 of this Zone.
3. The indoor *amenity space* required in Sub-section J.1(b) of this Zone, is excluded from the calculation of the *floor area ratio*.

**E. Lot Coverage**

The *lot coverage* shall not exceed 50%, excluding an air space subdivision which shall have a maximum *lot coverage* of 100%.

## F. Yards and Setbacks

*Buildings and structures* shall be sited in accordance with the following minimum setbacks:

<b>Use</b>	<b>Setback</b>	<i>Front Yard</i>	<i>Rear Yard</i>	<i>Side Yard (North)</i>	<i>Side Yard on Flanking Lane (South)</i>
<i>Principal Buildings and Accessory Buildings and Structures</i>		2.0 m. <sup>(1, 2 &amp; 3)</sup> [7 ft.]	7.5 m. [25 ft.]	0.0 m. [0 ft.]	1.5 m. <sup>(1 &amp; 4)</sup> [5 ft.]
<i>Principal Buildings and Accessory Structures within an Air Space Subdivision</i>		0 m. [0 ft.]	0 m. [0 ft.]	0 m. [0 ft.]	0 m. [0 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

- 1 The *front yard setback* and the *side yard setback* on flanking lane may be reduced to 0.4 metre [1.3 ft.] when measured perpendicular to the corner cut in the southwest portion of the *lot*.
- 2 The *front yard setback* may be reduced to 1.4 metres [4.6 ft.] to the canopy.
- 3 The *front yard setback* may be reduced to 0.9 metre [3 ft.] to the roof overhang.
- 4 The *side yard setback* on flanking lane may be reduced to 0.7 metre [2.3 ft.] to the canopy and to 0.6 metre [2 ft.] to the roof overhang.

## G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal building*: The *building height* shall not exceed 16 metres [52 ft.].
2. *Accessory buildings and structures*: The *building height* shall not exceed 4.5 metres [15 ft.].

## H. Off-Street Parking

1. Resident, visitor and employee *parking spaces* shall be provided as stated in Table C.6, Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. All required resident and visitor *parking spaces* shall be provided as *underground parking*.
3. Notwithstanding Sub-section A.2(c) of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000 as amended, the *underground parking facility* may extend to all *lot lines*.
4. *Tandem parking* is not permitted.

## I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
3. Garbage containers and passive recycling containers shall be located within the *building* or within the *underground parking facility*.

## J. Special Regulations

1. *Amenity space* for the *multiple unit residential building* shall be provided on the *lot* as follows:
  - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
  - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*.
2. *Child care centres* shall be located on the *lot* such that these centres have direct access to an *open space* and play area within the *lot*.
3. *Balconies* are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 4.6 square metres [50 sq. ft.] per *dwelling unit*.

**K. Subdivision**

1. *Lots* created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
1,000 sq. m. [10,750 sq. ft.]	20 metres [66 ft.]	40 metres [130 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Air space parcels created through subdivision in this Zone are not subject to Section K.1, but shall comply with the provisions in the Land Title Act R.S.B.C. 1996, c. 250, as amended.

**L. Other Regulations**

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-70 Zone for the residential portion and the C-8 Zone for the commercial portion as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.



8. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2014, No. 18148, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-70 Zone for the residential portion and the C-8 Zone for the commercial portion.
  9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
  10. Development permits may be required in accordance with the *Official Community Plan* Bylaw, 2013, No. 18020, as amended.
  11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act, R.S.B.C. 2002, c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.
  12. Provincial licensing of *neighbourhood pubs* is regulated by the Liquor Control and Licensing Act, R.S.B.C. 1996, c. 267, as amended.
3. This By-law shall be cited for all purposes as "Surrey Zoning Bylaw, 1993, No. 12000, Amendment By-law, \_\_\_\_\_, No. \_\_\_\_\_."

PASSED FIRST READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

PASSED SECOND READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

PUBLIC HEARING HELD thereon on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

PASSED THIRD READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

\_\_\_\_\_ MAYOR

\_\_\_\_\_ CLERK