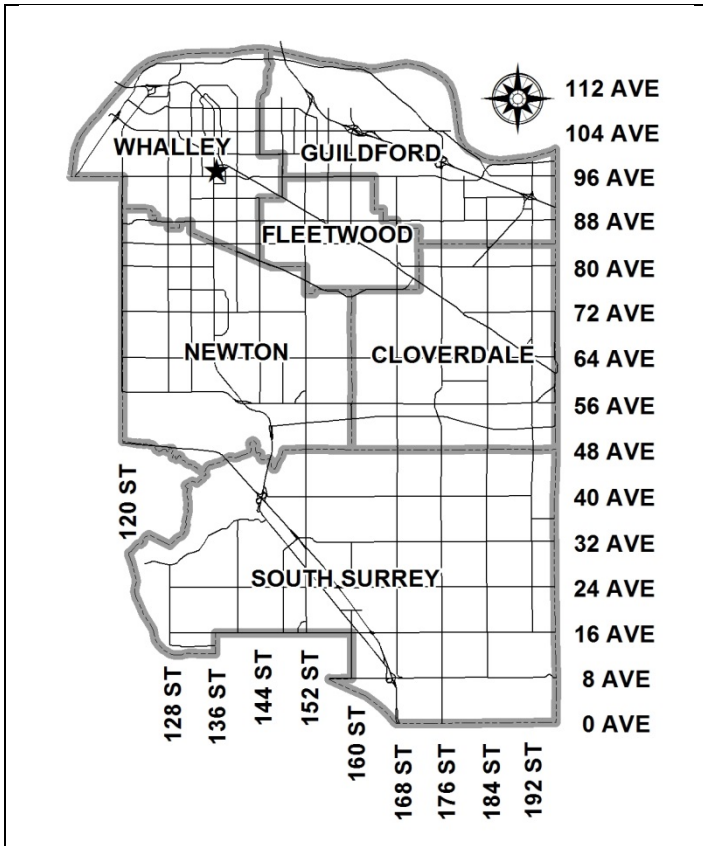


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7915-0063-00

Planning Report Date: June 15, 2015



**PROPOSAL:**

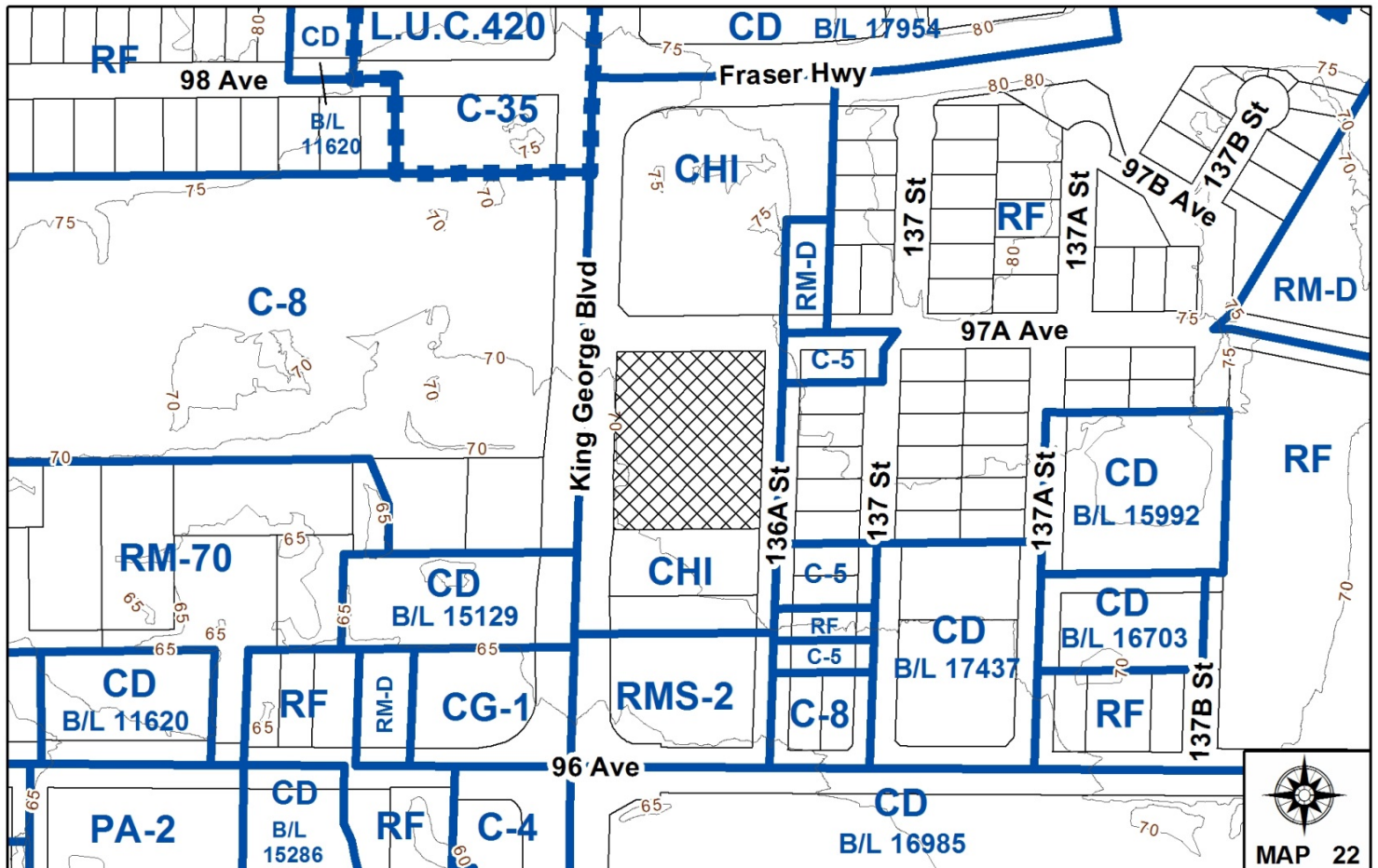
- **Development Permit**  
 in order to permit exterior new signage and renovations to an existing restaurant.

**LOCATION:** 9666 - King George Boulevard

**OWNER:** Runnel Holdings Ltd.  
 Yen Hoy Enterprises Ltd.  
 Robco Enterprises Ltd.

**ZONING:** CHI

**OCP DESIGNATION:** Central Business District



### RECOMMENDATION SUMMARY

- Approval to vary the Sign By-law through a comprehensive sign design package.
- Approval and issuance of Development Permit.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking variances to the Sign By-law to increase the maximum number of fascia signs from two (2) to three (3) and to permit two (2) of these fascia signs to be located on the same façade, through a comprehensive sign design package.

### RATIONALE OF RECOMMENDATION

- The proposed exterior renovations to the existing building represent a significant improvement to the overall aesthetics of the building and a more contemporary character appropriate for City Centre.
- The proposed fascia signs are of an appropriate size and scale for the existing building and consist of high quality materials. The combined sign area of all the proposed fascia signage meets the Sign By-law.
- Landscaping improvements are also included in the subject proposal.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
2. Council approve Development Permit No. 7915-0063-00 including a comprehensive sign design package and authorize the Mayor and Clerk to execute the Permit.

**NOTE:** If the Development Permit as presented, is not acceptable to Council in relation to the character of the development, including landscaping and siting, form, exterior design and finish of the building and other structures, including signage, Council may refer the Development Permit back to staff with direction regarding any of these matters.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: Multi-tenant commercial building.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (Across 97A Avenue):	Grace Community Church	Central Business District	CHI
East (Across 136A Street):	Two-storey commercial building and single family dwellings.	Central Business District	C-5 and RF
South:	Three-storey medical building.	Central Business District	CHI
West (Across King George Boulevard):	Canada Revenue Agency, Surrey Tax Centre and Knight and Day restaurant	Central Business District	C-8

DEVELOPMENT CONSIDERATIONS

- The subject lot, located at 9666 - King George Boulevard, is located on the southeast corner of 97A Avenue and King George Boulevard in City Centre. It is designated "Central Business District" in the Official Community Plan (OCP) and is currently zoned "Highway Commercial Zone (CHI)".

- The existing commercial development on the subject site was constructed in the late 1970's consists of 1,715 square metres (18,460 sq. ft.) of commercial retail space in one building. Some of the current tenants are Boyd Autobody, High Point Animal Hospital and Pentlands Prosthetic.
- The applicant is requesting a Development Permit to allow exterior renovations to the portion of the existing building previously occupied by Swiss Chalet. The proposal includes upgrading of the façade to Browns Socialhouse brand standards, new fascia signage and improvements to the existing landscaping along King George Boulevard. No changes in floor area are proposed.

### DESIGN PROPOSAL AND REVIEW

- The applicant is proposing a number of exterior modifications and improvements to a portion of the existing building, which will provide a more contemporary look to the commercial retail unit (CRU).
- In order to accommodate a patio, a portion of the building will be carved out. The existing roof will remain and the exterior walls will be finished with a 0.60-metre (2-ft) high concrete upstand wall with 0.60-metre (2 ft.) panels of glass on top.
- The existing stucco façade will be replaced with a combination of wood and grey stone. Both elevations (west and north) will have increased storefront glazing with a board form decorative concrete upstand wall along the base of the CRU. All of the proposed materials and colours are a brand standard of the new Browns Socialhouse locations.
- Decorative light fixtures are also proposed on both exterior elevations to add visual interest and to reflect the Browns brand standard.
- An orange LED light band is proposed along the roof line to define the roof edge.

### Signage

- The applicant is proposing two (2) new fascia signs on the King George Boulevard elevation (west) and one (1) new fascia sign on the north (97A Avenue) building elevation, for a total of three (3) fascia signs. The Sign By-law permits a maximum of two (2) fascia signs per premise and requires that the fascia signs not be located on the same façade.
- The applicant is therefore proposing a comprehensive sign design package for the proposed signage, which includes two (2) variances to the Sign By-law; one for one additional fascia sign and one for two fascia signs to be located on the same façade (west) (see Appendix II for a detailed explanation of the variances). Staff are supportive of the variances as part of a comprehensive sign design package for the subject building.
- The proposed fascia signage on the west elevation consists of an individual illuminated channel letter "Browns Socialhouse" sign that is 0.61 metre (2 ft.) in height by 8.8 metres (29 ft.) in width, and an illuminated logo crest that is 1.5 metres (5 ft.) in height by 1.5 metres (5 ft.) in width.



- The proposed fascia sign on the north elevation is an individual illuminated channel letter "Browns Socialhouse" sign that is 0.61 metre (2 ft.) in height by 8.8 metres (29 ft.) in width.
- A small entrance sign is also proposed above the entry door on the west elevation, which is a permissible directional sign under the Sign By-law.
- The combined sign area of all proposed fascia signs meets the Sign By-law.
- The fascia signage colour scheme consists of the Browns Socialhouse corporate colours of black, white and orange.
- All of the proposed fascia signs consist of high quality materials and are appropriately scaled.
- The applicant also proposes to re-face a portion of the existing free-standing sign located at the corner of 97A Avenue and King George Boulevard to include 'Browns Socialhouse' and the corporate logo.

#### Vehicle Circulation and Parking

- There are currently three vehicular access points to the site, one from King George Boulevard, one from 97A Avenue and one from 136A Street. Due to the proximity to the proposed Browns Socialhouse, primary access will likely be from King George Boulevard.
- A total of one-hundred and twenty-one (121) parking spaces are provided on site, which exceeds the parking requirements of the Surrey Zoning By-law for the entire site.

#### Landscaping

- The applicant is proposing to enhance and modernize the existing landscaping along King George Boulevard.
- The existing circular laurels shrubs will be removed at the corner of 97A Avenue and King George Boulevard and replaced with a variety of shrubs, groundcover and perennials including English Laurel, Blue Oat Grass and Japanese Rose.
- The existing laurel hedge along King George Boulevard will be retained and layered planting of day lily, spirea and Japanese Rose will be added for a more contemporary character.
- A non-slip asphalt pedestrian access pathway has been proposed along the north side of the King George Boulevard driveway.

#### PRE-NOTIFICATION

- According to Council policy, a Development Proposal Sign was installed on the site to inform adjacent property owners about the proposed development. Staff did not receive any comments on this proposal.

ADVISORY DESIGN PANEL

- The proposal was not referred to the ADP, but was reviewed by staff and found to be satisfactory.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary
Appendix II.	Proposed Sign By-law Variances Table
Appendix III.	Development Permit No. 7915-0063-00

*original signed by Judith Robertson*

Jean Lamontagne  
General Manager  
Planning and Development

JLM/da

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DRV 6/11/15 11:19 AM



## PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To allow one (1) additional fascia sign for a total of three (3) fascia signs for Unit A1 (Browns Socialhouse)	A maximum of two (2) fascia signs are permitted for each premises (Part 5, Section 27(2)(a))	The proposed fascia signs are of an appropriate size and scale in relation to the proposed building
2	To allow two fascia signs to be installed on the same (west) building façade for Unit A1	A maximum of two (2) fascia signs are permitted provided that both of the fascia signs are not located on the same façade of the premises (Part 5, Section 27(2)(a))	The second fascia sign proposed on the west façade is a (Browns Socialhouse) logo sign

CITY OF SURREY

(the "City")

DEVELOPMENT PERMIT

NO.: 7915-0063-00

Issued To: RUNNEL HOLDINGS LTD  
YEN HOY ENTERPRISES LTD  
ROBCO ENTERPRISES LTD

("the Owner")

Address of Owner: C/O Yenik Enterprises Ltd  
502, 2695 - Granville Street  
Vancouver, BC V6H 3H4

1. This development permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development permit.
2. This development permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 002-249-596

Lot 1 Except: Plan 62493; Section 35 Block 5 North Range 2 West New Westminster  
District Plan 14725

9666 - King George Boulevard

(the "Land")

3. This development permit applies to only to that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development permit.
4. The Land has been designated as a Development Permit Area in Surrey Official Community Plan By-law, 2013, No. 18020, as amended.
5. The character of the development including landscaping and the siting, form, exterior design, finish of buildings, structures and signage shall be in accordance with the drawings numbered 7915-0063-00 (A) through to and including 7915-0063-00 (I) (the "Drawings") which are attached hereto and form part of this development permit.

6. Minor changes to the Drawings that do not affect the general form and character of the landscaping and the siting, form, exterior design, finish of buildings, structures and signage on the Land, may be permitted subject to the approval of the City.
7. The comprehensive signage design package shall conform to drawing numbered 7915-0063-00 (G) (the "Signage").
8.
  - (a) The landscaping shall conform to drawings numbered 7915-0063-00 (H) through to and including 7915-0063-00 (I) (the "Landscaping").
  - (b) The Landscaping shall be completed within six (6) months after the date of the final inspection of the buildings and structures referred to in the Drawings.
  - (c) Prior to the issuance of the building permit for this development, security is to be submitted to ensure satisfactory completion of the Landscaping. The security for the Landscaping is to be submitted as follows:

An Irrevocable Letter of Credit, in a form acceptable to the City, in the amount of \$25,607.51

(the "Security")

- (d)
      - i. When the Landscaping is substantially complete as determined by the City, without the City having to use the Security, 90% of the original Security will be returned. When the Landscaping receives final approval by the City, not earlier than twelve (12) months after the date of substantial completion of the Landscaping, 10% of the original Security will be returned.
      - ii. If final approval of the Landscaping is not given by the City, the City has the option of using the Security to complete the Landscaping and any remaining money shall be returned. The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Landscaping.
      - iii. If the City elects not to enter upon the Land to complete the Landscaping and the Owner does not complete the Landscaping, the Security is forfeited to the City five (5) years after the date of the provisional or final inspection of the buildings and structures referred to in the Drawings.
9. Surrey Sign By-law, 1999, No. 13656, as amended, is varied as outlined on Schedule A which is attached hereto and forms part of this development permit, and as shown on the comprehensive sign design package Drawing numbered 7915-0063-00 (G).
10. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development permit.

- 11. This development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued, within two (2) years after the date this development permit is issued.
- 12. The terms of this development permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
- 13. This development permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .  
 ISSUED THIS DAY OF , 20 .

\_\_\_\_\_  
 Mayor – Linda Hepner

\_\_\_\_\_  
 City Clerk – Jane Sullivan

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS DEVELOPMENT PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS DEVELOPMENT PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.



\_\_\_\_\_  
 Authorized Agent: (Signature)

PAITH MRAV JANKS LOVIZ

Name: (Please Print)

OR

\_\_\_\_\_  
 Owner: (Signature)

\_\_\_\_\_  
 Name: (Please Print)

**Sign By-law Variances**

#	Variance	Sign By-law Requirement
1	To allow one (1) additional fascia sign for a total of three (3) fascia signs for Unit A <sub>1</sub> (Browns Socialhouse)	A maximum of two (2) fascia signs are permitted for each premises (Part 5, Section 27(2)(a))
2	To allow two fascia signs to be installed on the same (west) building façade for Unit A <sub>1</sub>	A maximum of two (2) fascia signs are permitted provided that both of the fascia signs are not located on the same façade of the premises (Part 5, Section 27(2)(a))



**GENERAL NOTES:**

- Contractor to patch and make good all surfaces (interior & exterior) due to installation of mechanical, electrical services including underground work. Make good shall mean surfaces to be returned to original state or ready to accept finishes.
- Contractor to review all drawings, coordinate, and provide for all support and backing required to complete Work indicated on drawings.
- Architectural drawings provided for orientation and reference only and is not presented as an exact as-built plan. The Architect shall be immediately notified of any discrepancies noted by the Contractor.
- All existing dimensions indicated are shown as approximate and provided for reference only. Confirm all dimensions on site.
- Architectural dimensions shown to centerline of studs for interior walls, and inside face of exterior wall studs, unless noted otherwise. Exterior dimensions shown to outside face of exterior sheathing.
- Contractor to review mechanical, electrical, and any other drawings issued for construction, in conjunction with these drawings and provide all required access panels not indicated on architectural drawings.
- Contractor to ensure floor is sloped minimum 1% to all drains indicated.
- These drawings are to be read in conjunction with the latest issue architectural specifications. Contractor to ensure separate specifications provided by other consultants are coordinated and any discrepancies are reported to the Architect.

# 1428 BROWNS SOCIAL HOUSE SURREY, BC

**DRAWING LIST**

**ARCHITECTURAL**

- A1.01 PROJECT DATA - CODE ANALYSIS, KEY PLAN
- A2.01 CONSTRUCTION PLAN
- A2.02 REFLECTED CEILING PLAN
- A2.03 ROOF PLAN
- A3.01 SECTIONS
- A4.01 BUILDING ELEVATIONS
- A4.01a SIGNAGE DETAILS
- A4.02 LANDSCAPING PLAN
- A4.02a LANDSCAPING PLAN

**PROJECT DATA**

CIVIC ADDRESS: 9666 KING GEORGE BLVD UNIT A1, SURREY, BRITISH COLUMBIA

**LEGAL DESCRIPTION:**

LOT 1, BLOCK 5N, LD 36, SECTION 35, RANGE 2 EXCEPT PLAN 62493, PLAN 14725

**PROJECT DESCRIPTION:**

INTERIOR + EXTERIOR ALTERATIONS TO AN EXISTING 1 STOREY BUILDING FOR A PROPOSE RESTAURANT

**ZONING:** CHI

**OCCUPANCY CLASSIFICATION EXISTING:** A2

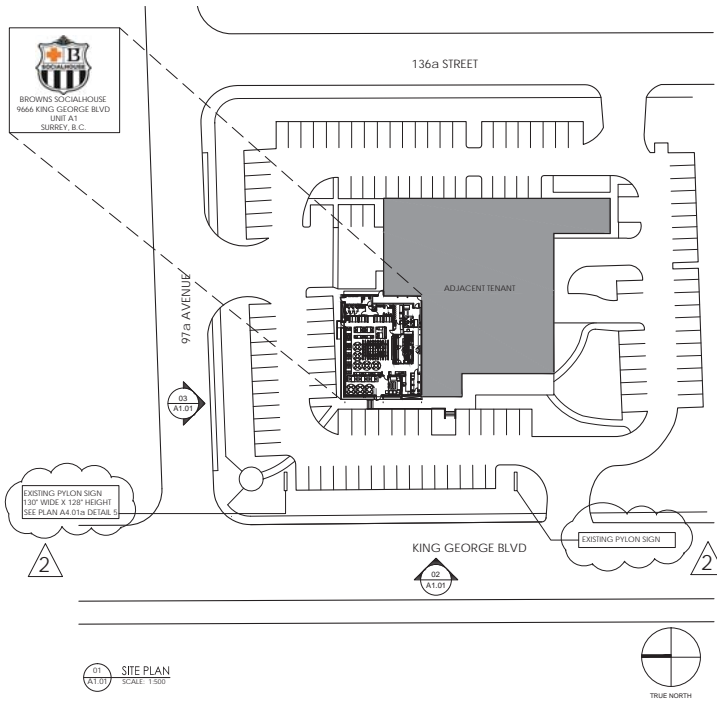
**OCCUPANCY CLASSIFICATION PROPOSED:** A2

**TENANT AREA:** 3,546 SF / 329.43 SM

**SPRINKLERED:** YES

**PARKING:** NO CHANGE: 121 PARKING SPOTS + 2 HANDICAP PARKING SPOTS.

\*REFER TO DRAWINGS BY C.S.C. ENGINEERING FOR BASE BUILDING INFORMATION.



02 KING GEORGE HWY VIEW  
SCALE: NTS



03 97a AVENUE VIEW  
SCALE: NTS

**DIRECTORY**

**CLIENT:** TICKNOR RESTAURANTS CITY CENTRE LTD.  
215-2411 1160 STREET  
SURREY, BC V3S 0C8  
**CONTACT:**  
GREG TICKNOR  
TEL: 604.339.8305  
E-MAIL:  
gticknor@brownsocialhouse.com

**INTERIOR DESIGN:** BROWNS RESTAURANT GROUP  
207A 3540 W. 41ST AVENUE  
VANCOUVER, BC V6N 3E6  
**CONTACT:**  
CHRISTINE BALHAUS  
TEL: 604.630.0885 EXT. 104  
FAX: 604.630.0887  
E-MAIL:  
cbalhaus@brownsrestaurantgroup.com

**ARCHITECT:** LU TANG ARCHITECTURE LTD.  
105 - 568 SEYMOUR STREET  
VANCOUVER, BC V6B 3J5  
**CONTACT:**  
LU TANG  
TEL: 778.869.7229  
E-MAIL:  
lu@lutang.ca

**DESIGN:** JANKS DESIGN GROUP  
2735 W.37TH AVENUE  
VANCOUVER, B.C  
V6N 2T5  
**CONTACT:**  
RUTH JANKLOWITZ  
GUSTAVO AVENDAÑO  
TEL: 604.266.5474  
E-MAIL:  
ruth@janksdesigngroup.com  
gustavo@janksdesigngroup.com

**BROWNS SOCIALHOUSE**  
restaurant . bar . socialize

Copyright reserved. This drawing/design is and all its items remain the exclusive property of Browns Socialhouse Ltd. and cannot be used or duplicated without written consent. This all drawings, details and levels prior to commencement of work. Any errors and omissions are to be reported to the designer immediately.

REVISION	DATE
01	PRELIMINARY DEVELOPMENT - MAR 03, 2015
02	PRELIMINARY DEVELOPMENT - MAY 20, 2015



LU TANG Architecture Ltd.  
105 - 568 Seymour Street Vancouver, BC V6B 3J5  
tel: 778-869-7229, email: lu@lutang.ca  
www.lutang.ca



Janks design group  
2735 w.37th avenue vanc. b.c. v6n 2t5  
tel: 604.266.5474 fax: 604.266.5478  
email: ruth@janksdesigngroup.com

**BROWNS SOCIALHOUSE**  
9666 KING GEORGE BLVD - UNIT A1  
SURREY  
B.C.

COVER SHEET

PROJECT No:	1428
DATE:	MAY 20, 2015
SCALE:	NTS
SHEET:	

A1.01

NOTES

LEGEND WALL SCHEDULE

**GENERAL NOTES**

1. CONSTRUCTION DETAILS PROVIDED FOR INFORMATION AND REFERENCE ONLY. AND'S NOT PRESENTED AS AN EXACT AS-BUILT PLAN. CONTRACTOR TO CONFIRM DIMENSIONS ON SITE AND TO NOTIFY THE ARCHITECT WHEN ENCOUNTERING ANY DISCREPANCIES.
2. REFER TO DRAWINGS FOR ELECTRICAL, MECHANICAL, AND PLUMBING SCHEDULE INFORMATION.
3. INSTALL WATER RESISTANT TILE BACKER BOARD BEHIND ALL WET WALLS.
4. INSTALL INSULATION AROUND ALL DUCTS, PIPES, AND IN WASHROOM WALLS.
5. PENETRATIONS THROUGH FIRE SEPARATIONS MUST BE OF AN APPROVED MATERIAL, CONSTRUCTED AND THE GAPS TO PROVIDE A CONTINUOUS FIRE SEPARATION AND FIRE RESISTANCE RATING AS INDICATED ON DRAWINGS.
6. ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES TO BE FIRE STOPPED WITH APPROVED MATERIALS AND SYSTEMS. GENERAL CONTRACTOR TO SUBMIT PROPOSED SYSTEMS TO ARCHITECT FOR REVIEW PRIOR TO USE.
7. GENERAL CONTRACTOR TO REVIEW AREAS WHERE WALL MOUNTED ITEMS REQUIRE WOOD BACKING, AND PROVIDE WITH WALL ASSEMBLIES AS REQUIRED.
8. GENERAL CONTRACTOR TO CHECK REPAIR AND MAKE GOOD WORK HAS BEEN COMPLETED BEFORE PROCEEDING WITH CONSTRUCTION OF THIS WALL.

**PARTITION NOTES**

1. ADDITIONAL WALL PANEL THICKNESS MAY APPLY. REFER TO DRAWING 01.01 FOR MORE INFO. DIMENSIONS ARE TO CENTERLINE UNLESS NOTED.
2. ALL 0.60 G.C. PARTITIONS TO BE RIGID AND ANCHORED TO CONCRETE FOUNDATION PACKAGE.
3. PROVIDE REINFORCED CONCRETE GROUND ANCHORS AND CONCRETE GROUND ANCHORS WORK AS PER G.C. TO ENSURE ALL POINT WALLS ARE PROPERLY ANCHORED FOR STABILITY.
4. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES AS PER BUILDING CODE AND ALL APPLICABLE FEDERAL AND LOCAL LAWS.
5. VERIFY ALL FIELD JOINTS AND CORNERS PRIOR TO COMMENCING WORK. REPORT ANY DEFICIENCIES TO DESIGNER CHANGE AND WORK IS NOT TO BE APPROVED BEFORE WORK IS STARTED.
7. THESE DRAWINGS TO BE CHECKED WITH DRAWINGS PREPARED BY OTHER CONSULTANTS WHERE APPLICABLE AND DISCREPANCIES TO BE REPORTED TO THE DESIGNER FOR CLARIFICATION.
8. DIMENSIONS ON DRAWINGS SHALL TAKE PRECEDENCE OVER SCHEDULES.
9. CONTRACTOR TO CONFIRM ALL CODE REQUIREMENTS FOR CONSTRUCTION MATERIALS & ASSEMBLIES ARE A LIFE SAFETY BEFORE PROCEEDING WITH WORK.
10. CONTRACTOR TO COORDINATE RELOCATION OF ANY WALL MECHANICAL &/OR ELECTRICAL EQUIPMENT AS PER THIS DRAWING PACKAGE TO ENSURE NO INTERFERENCE WITH NEW LAYOUT. REPORT ANY DISCREPANCIES TO DESIGNER BEFORE PROCEEDING WITH WORK.

**WALL TYPES LEGEND**

SAC	DESCRIPTION
W1	EXISTING EXTERIOR BUILDING EXTERIOR WALLS - NO CHANGE
W2	NEW EXTERIOR WALL
W2A	NEW EXTERIOR WALL
W2B	NEW EXTERIOR WALL
W2C	NEW EXTERIOR WALL
W2D	NEW EXTERIOR WALL
W2E	NEW EXTERIOR WALL
W2F	NEW EXTERIOR WALL
W2G	NEW EXTERIOR WALL
W2H	NEW EXTERIOR WALL
W2I	NEW EXTERIOR WALL
W2J	NEW EXTERIOR WALL
W2K	NEW EXTERIOR WALL
W2L	NEW EXTERIOR WALL
W2M	NEW EXTERIOR WALL
W2N	NEW EXTERIOR WALL
W2O	NEW EXTERIOR WALL
W2P	NEW EXTERIOR WALL
W2Q	NEW EXTERIOR WALL
W2R	NEW EXTERIOR WALL
W2S	NEW EXTERIOR WALL
W2T	NEW EXTERIOR WALL
W2U	NEW EXTERIOR WALL
W2V	NEW EXTERIOR WALL
W2W	NEW EXTERIOR WALL
W2X	NEW EXTERIOR WALL
W2Y	NEW EXTERIOR WALL
W2Z	NEW EXTERIOR WALL

**WALL TYPES LEGEND (continued)**

W3	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3A	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3B	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3C	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3D	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3E	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3F	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3G	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3H	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3I	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3J	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3K	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3L	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3M	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3N	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3O	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3P	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3Q	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3R	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3S	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3T	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3U	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3V	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3W	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3X	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3Y	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W
W3Z	EXISTING WALL FINISH METAL JOSE REDEMPTIONS C/W

**WALL TYPES LEGEND (continued)**

W4	TOTAL REINFORCED CONCRETE WALL
W4A	TOTAL REINFORCED CONCRETE WALL
W4B	TOTAL REINFORCED CONCRETE WALL
W4C	TOTAL REINFORCED CONCRETE WALL
W4D	TOTAL REINFORCED CONCRETE WALL
W4E	TOTAL REINFORCED CONCRETE WALL
W4F	TOTAL REINFORCED CONCRETE WALL
W4G	TOTAL REINFORCED CONCRETE WALL
W4H	TOTAL REINFORCED CONCRETE WALL
W4I	TOTAL REINFORCED CONCRETE WALL
W4J	TOTAL REINFORCED CONCRETE WALL
W4K	TOTAL REINFORCED CONCRETE WALL
W4L	TOTAL REINFORCED CONCRETE WALL
W4M	TOTAL REINFORCED CONCRETE WALL
W4N	TOTAL REINFORCED CONCRETE WALL
W4O	TOTAL REINFORCED CONCRETE WALL
W4P	TOTAL REINFORCED CONCRETE WALL
W4Q	TOTAL REINFORCED CONCRETE WALL
W4R	TOTAL REINFORCED CONCRETE WALL
W4S	TOTAL REINFORCED CONCRETE WALL
W4T	TOTAL REINFORCED CONCRETE WALL
W4U	TOTAL REINFORCED CONCRETE WALL
W4V	TOTAL REINFORCED CONCRETE WALL
W4W	TOTAL REINFORCED CONCRETE WALL
W4X	TOTAL REINFORCED CONCRETE WALL
W4Y	TOTAL REINFORCED CONCRETE WALL
W4Z	TOTAL REINFORCED CONCRETE WALL

**WALL TYPES LEGEND (continued)**

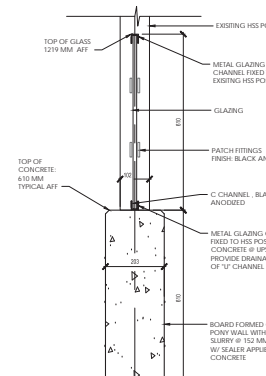
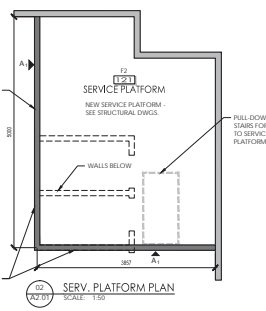
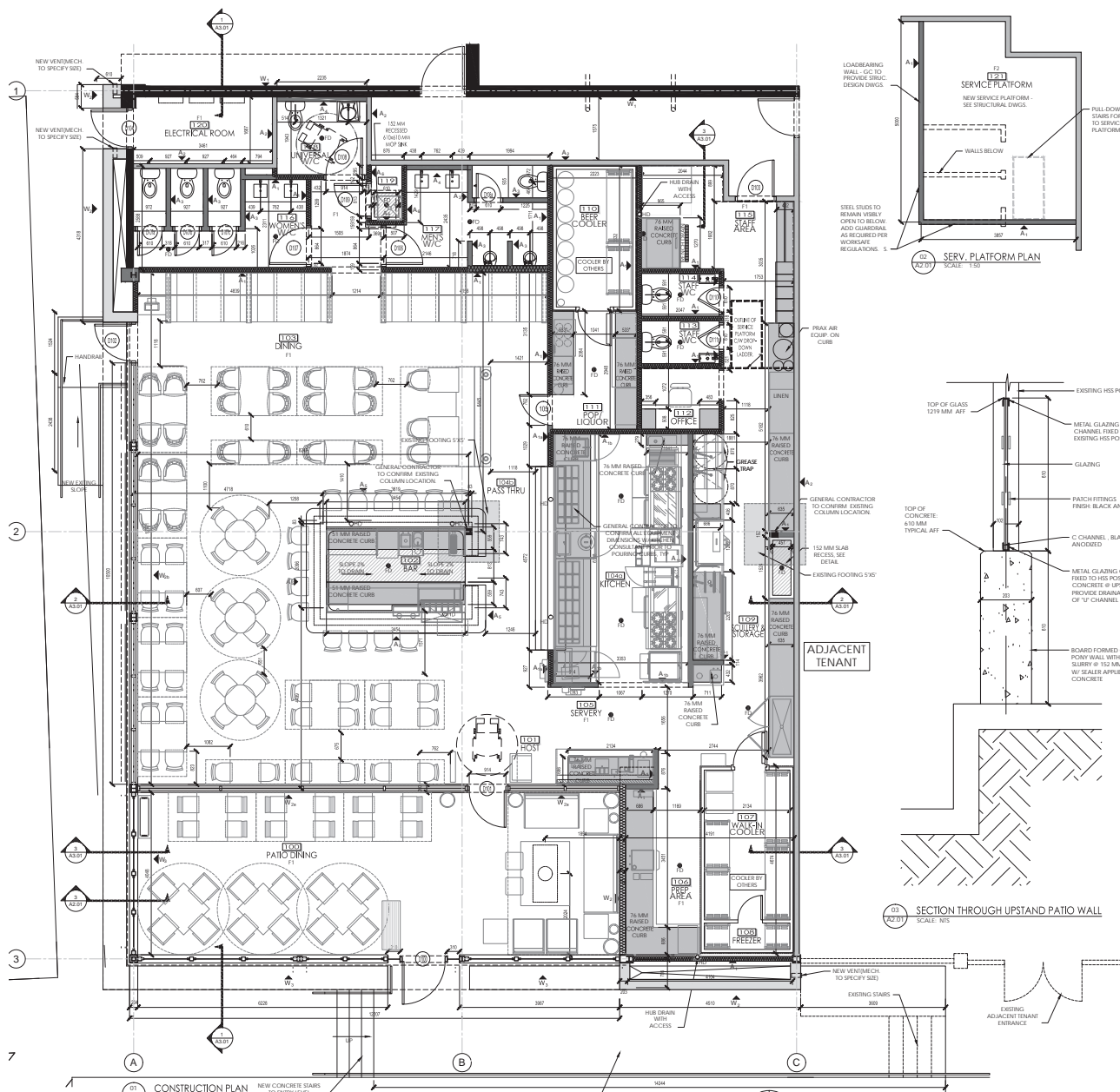
W5	NEW PARTIAL POINT WALL
W5A	NEW PARTIAL POINT WALL
W5B	NEW PARTIAL POINT WALL
W5C	NEW PARTIAL POINT WALL
W5D	NEW PARTIAL POINT WALL
W5E	NEW PARTIAL POINT WALL
W5F	NEW PARTIAL POINT WALL
W5G	NEW PARTIAL POINT WALL
W5H	NEW PARTIAL POINT WALL
W5I	NEW PARTIAL POINT WALL
W5J	NEW PARTIAL POINT WALL
W5K	NEW PARTIAL POINT WALL
W5L	NEW PARTIAL POINT WALL
W5M	NEW PARTIAL POINT WALL
W5N	NEW PARTIAL POINT WALL
W5O	NEW PARTIAL POINT WALL
W5P	NEW PARTIAL POINT WALL
W5Q	NEW PARTIAL POINT WALL
W5R	NEW PARTIAL POINT WALL
W5S	NEW PARTIAL POINT WALL
W5T	NEW PARTIAL POINT WALL
W5U	NEW PARTIAL POINT WALL
W5V	NEW PARTIAL POINT WALL
W5W	NEW PARTIAL POINT WALL
W5X	NEW PARTIAL POINT WALL
W5Y	NEW PARTIAL POINT WALL
W5Z	NEW PARTIAL POINT WALL

**WALL TYPES LEGEND (continued)**

W6	NEW PARTIAL POINT WALL
W6A	NEW PARTIAL POINT WALL
W6B	NEW PARTIAL POINT WALL
W6C	NEW PARTIAL POINT WALL
W6D	NEW PARTIAL POINT WALL
W6E	NEW PARTIAL POINT WALL
W6F	NEW PARTIAL POINT WALL
W6G	NEW PARTIAL POINT WALL
W6H	NEW PARTIAL POINT WALL
W6I	NEW PARTIAL POINT WALL
W6J	NEW PARTIAL POINT WALL
W6K	NEW PARTIAL POINT WALL
W6L	NEW PARTIAL POINT WALL
W6M	NEW PARTIAL POINT WALL
W6N	NEW PARTIAL POINT WALL
W6O	NEW PARTIAL POINT WALL
W6P	NEW PARTIAL POINT WALL
W6Q	NEW PARTIAL POINT WALL
W6R	NEW PARTIAL POINT WALL
W6S	NEW PARTIAL POINT WALL
W6T	NEW PARTIAL POINT WALL
W6U	NEW PARTIAL POINT WALL
W6V	NEW PARTIAL POINT WALL
W6W	NEW PARTIAL POINT WALL
W6X	NEW PARTIAL POINT WALL
W6Y	NEW PARTIAL POINT WALL
W6Z	NEW PARTIAL POINT WALL

**WALL TYPES LEGEND (continued)**

W7	NEW PARTIAL POINT WALL
W7A	NEW PARTIAL POINT WALL
W7B	NEW PARTIAL POINT WALL
W7C	NEW PARTIAL POINT WALL
W7D	NEW PARTIAL POINT WALL
W7E	NEW PARTIAL POINT WALL
W7F	NEW PARTIAL POINT WALL
W7G	NEW PARTIAL POINT WALL
W7H	NEW PARTIAL POINT WALL
W7I	NEW PARTIAL POINT WALL
W7J	NEW PARTIAL POINT WALL
W7K	NEW PARTIAL POINT WALL
W7L	NEW PARTIAL POINT WALL
W7M	NEW PARTIAL POINT WALL
W7N	NEW PARTIAL POINT WALL
W7O	NEW PARTIAL POINT WALL
W7P	NEW PARTIAL POINT WALL
W7Q	NEW PARTIAL POINT WALL
W7R	NEW PARTIAL POINT WALL
W7S	NEW PARTIAL POINT WALL
W7T	NEW PARTIAL POINT WALL
W7U	NEW PARTIAL POINT WALL
W7V	NEW PARTIAL POINT WALL
W7W	NEW PARTIAL POINT WALL
W7X	NEW PARTIAL POINT WALL
W7Y	NEW PARTIAL POINT WALL
W7Z	NEW PARTIAL POINT WALL



NOTE: THIS PLAN IS NOT FOR CONSTRUCTION

CONSTRUCTION PLAN SCALE: 1/32

TRUE NORTH

- FINAL FLOOR DRAINS LOCATIONS REFER TO MECH. DWGS

**BROWNS SOCIALHOUSE**  
restaurant . bar . socialize

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REVISION DATE

01	REVISION DEVELOPMENT	MAR 03 2015
02	REVISION DEVELOPMENT	MAY 20 2015



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BROWNS SOCIALHOUSE  
9666 KING GEORGE BLVD - UNIT A1  
SURREY  
B.C.

CONSTRUCTION PLAN

PROJECT No: 1428  
DATE: MAY 20, 2015  
SCALE: 1/32  
DIN: MM  
SHEET:

A2.01

SYMBOL LEGEND	
	LIGHT FIXTURE SYMBOL
	LIGHTING CODE. REFER TO LIGHTING LEGEND FOR DETAILED DESCRIPTION
	DENOTES GRID CEILING
	DENOTES CEILING FINISH
	DENOTES CEILING HEIGHT

LIGHTING LEGEND (REFER TO I02.02 FOR SPECIFICATIONS)		
TYPE	SYMBOL	DESCRIPTION
P1		VINTAGE BIRDCAGE CHANDELER
P2		PENDANT, BARE BULB FILAMENT, (SURFACE-MOUNTED)
P2		PENDANT, BARE BULB FILAMENT, (TRACK MOUNTED)
P3		PENDANT
P4		PENDANT, TRACK MOUNTED AS INDICATED ON RCP. TO BE MOUNTED W/ BOLT CODES
R1		RECESSED ADJUSTABLE DOWNLIGHT
R2		RECESSED ADJUSTABLE DOWNLIGHT
R3		RECESSED DOWNLIGHT
R4		RECESSED FLUORESCENT
R5		RECESSED CABINET LIGHT, LED
S1		PATIO STRING LIGHT A LAMP, 1 LAMP PER 24"
BF1		B.O.H. SURFACE MOUNT FLUORESCENT
SL1		STRIP LIGHT - BAR, LED
L1		TABLE LAMP - BOOTH, LED RETROFIT (MED. BASE)
L2		TABLE LAMP - SERVICE
L3		TABLE LAMP - PATIO
T1		SINGLE CIRCUIT TRACK & TRACK HEADS
T14		NOTE: ▲ HIGH TYP. UNLESS OTHERWISE NOTED ON PLAN
W1		WALL SCONCE
W2		W2 @ 147" W2 @ 124" WALL SCONCE ART LIGHT
W3		W3 WALL SCONCE, 13W GU24 CFL, ON DOOR SWITCH
ELT01		NEW ILLUMINATED EXIT SIGNAGE - COORDINATE W/ ELECTRICAL CONSULTANT
ELT01		EMERGENCY LIGHTS - REFER TO ELECTRICAL DRAWINGS
ELT01		WALL SCONCE, EXTERIOR DECORATIVE
ELT02		EXTERIOR RECESSED DOWNLIGHT - LED
		HVAC DIFFUSERS - REFER TO MECHANICAL DRAWINGS

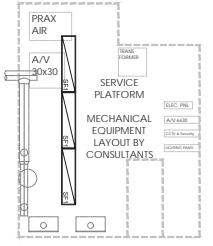
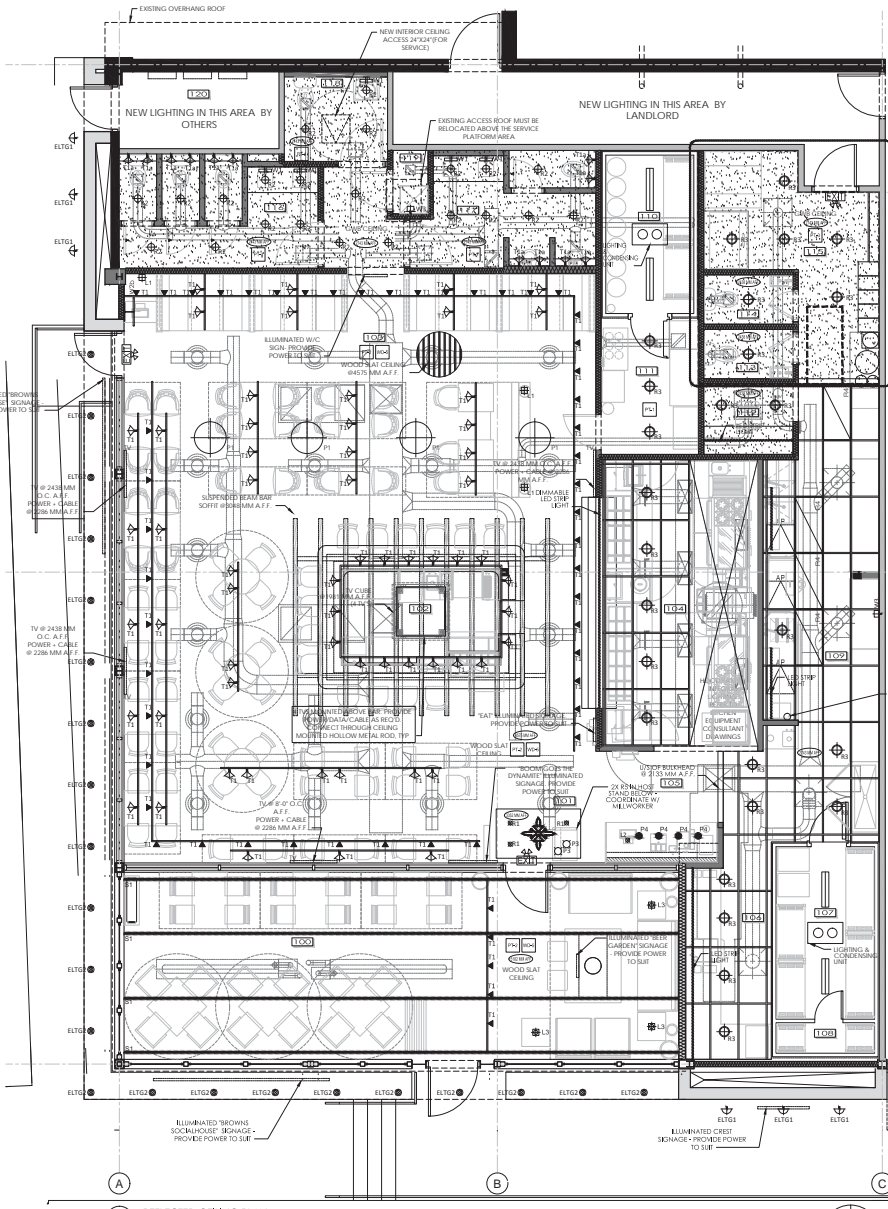
REFLECTED CEILING PLAN GENERAL NOTES	
1.	1 BAR CEILING TILE TO BE: AMBROSINO, CLEAN ROOM XL UNPERFORATED LAV-TILE #870 (24x48") IN COLOUR: WHITE C/W PRELUDE XL 15/16" EXPOSED TIE SYSTEM
2.	ALL DIMENSIONS ARE TO CENTERLINE OF FIXTURE, TYPICAL U.N.O
3.	CONTRACTOR TO COORDINATE ACCESS PANEL LOCATIONS WITH DESIGNER PRIOR TO CONSTRUCTION. LIGHTING LOCATIONS TAKE PRECEDENCE.
4.	ALL CHANGES TO LIGHTING LAYOUT MUST BE APPROVED BY DESIGNER PRIOR TO FINAL INSTALLATION.
5.	ALL LIGHTING (WHERE APPLICABLE) TO BE DIMMABLE.
6.	ALL EXPOSED CEILING TO BE PAINTED P5.2F, INCLUDING MECHANICAL DUCTS, PLUMBING PIPES, EQUIPMENT, ETC. U.N.O
7.	A/V CONSULTANT TO SUBMIT SPEAKER LAYOUT TO DESIGNER FOR APPROVAL PRIOR TO INSTALLATION. SPEAKER FINISH TO COORDINATE WITH ADJACENT WALL-CEILING FINISH (w/ BLACK SPEAKERS ON DARK FINISHES, WHITE SPEAKERS ON LIGHT FINISHES).
8.	ELECTRICAL CONTRACTOR TO ENSURE CONSISTENT COLOR TEMPERATURE OF LAMPING WITHIN EACH FIXTURE TYPE.
9.	ELECTRICAL CONTRACTOR TO PROVIDE EXTRA LAMPS FOR ITEMS P3 FOR FRANCHISEE'S FUTURE USE (2 CYCLES EACH)
10.	FOR ALL EXTERIOR LIGHTING REFER TO EXTERIOR ELEVATIONS A.J.O
11.	ACOUSTIC SOUND BARRIERS TO BE INSTALLED THROUGHOUT SPACE BY G.C./FRANCHISEE COORD. W/ BRG
12.	RUN UNSTRUT FOR TRACK SUSPENSION PERPENDICULAR TO TRACK. TYP. GC TO ENSURE UNSTRUT DOES NOT CONTACT W/ OTHER LIGHTING OR MECHANICAL. ALL UNSTRUT TO BE PAINTED TO MATCH CEILING.

SIGNAGE CONTACT	
FOR ALL SIGNAGE ITEMS COORDINATE WITH:	*FOR ALL ILLUMINATED SIGNAGE LOCATIONS, REFER TO I03.01 & ELEVATIONS
LETTERING METHOD: 3000'S - JONES STREET PORT MCDONNELL, BC V3H 2C9	CONTACT: WARREN WRIGHT TEL: 604 461 3919 EMAIL: warren@forstarconstruction.com

PATIO HEATER CONTACT	
FOR PATIO HEATERS CONTACT:	*G.C. TO COORDINATE PATIO HEATER INSTALLATION W/ MECHANICAL WORK
SCHWANK GROUP:	
CONTACT: CLAUDINE MORICOS TEL: +1 604 999 2214 E: cmoricos@schwankgroup.com	



RCP SERVICE PLAT. (ABOVE STAFF AREA) SCALE: 1:50

NOTE: TO REVIEW HVAC INFORMATION REFER TO M3.2 MECHANIC PLAN

FIRE RATED WALL PENETRATIONS: ENSURE FIRE CAULKING THROUGHOUT MECH. SHAFTS PIPES & ELECTRICAL CONDUIT @ PENETRATIONS TO KEEP WALL ASSEMBLY RATING CONSISTANT.

ADJACENT TENANT

WASHROOM VENTILATION LOFT

REFLECTED CEILING PLAN SCALE: 1:50



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REVISION	DATE
01	FOR ILLUSTRATION DEVELOP. PERM. MAR. 03, 2015
02	FOR ILLUSTRATION DEVELOP. PERM. MAY 20, 2015



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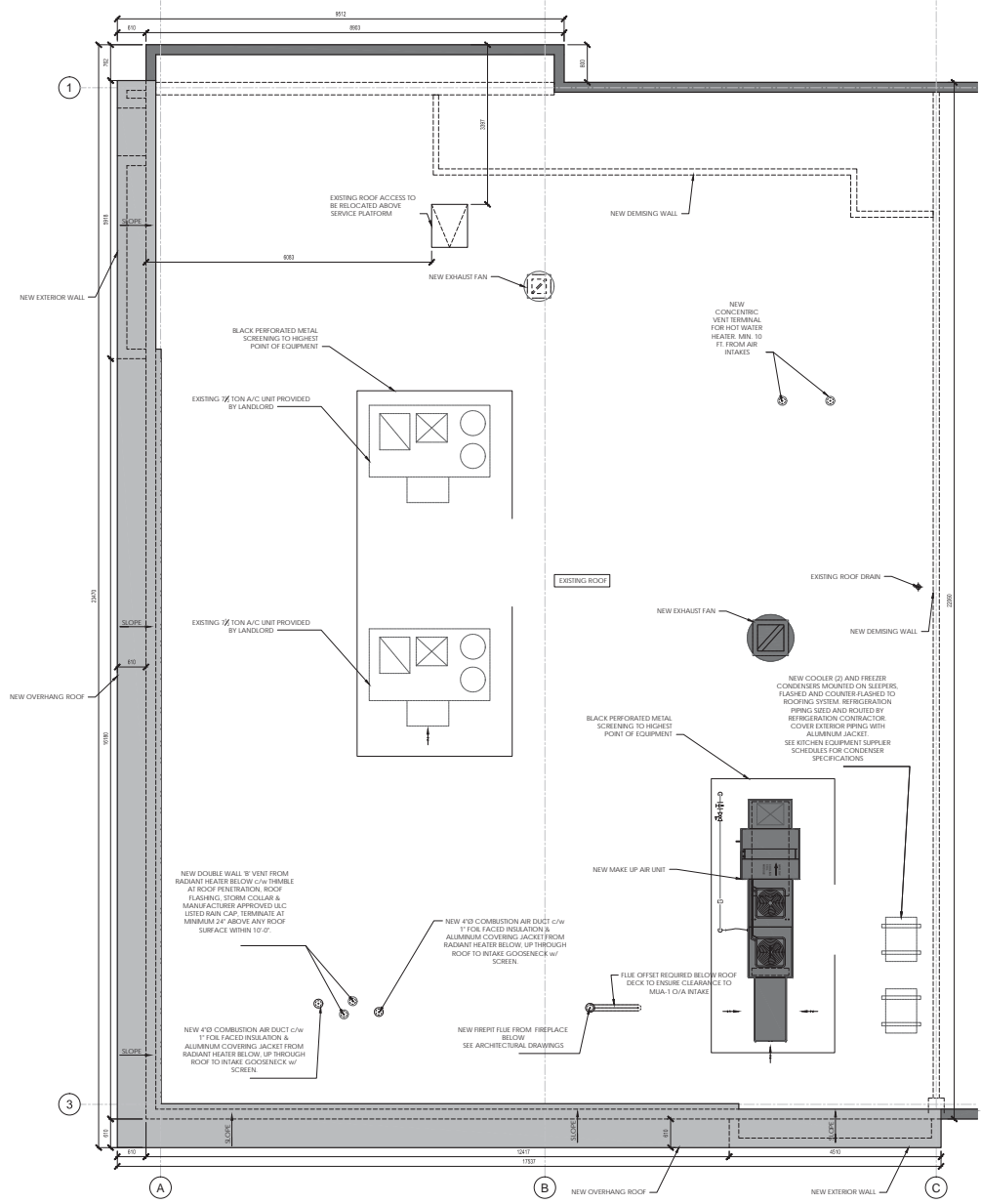
Janks design group  
2735 w.37th avenue vanc. b.c. v6n 2t5  
tel: 604. 266 5414 fax: 604. 266 5478  
email: ruth@jankdesigngroup.com

BROWNS SOCIALHOUSE  
9666 KING GEORGE BLVD - UNIT A1  
SURREY  
B.C.

REFLECTED CEILING PLAN

PROJECT No: 1428  
DATE: MAY 20, 2015  
SCALE: 1:50 DIM: MM  
SHEET:

A2.02



1 ROOF PLAN  
SCALE: 1/8\"/>



NOTE:  
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REVISION	DATE
01	PRELIMINARY DEVELOPMENT - MAR 03, 2015
02	PRELIMINARY DEVELOPMENT - MAY 20, 2015



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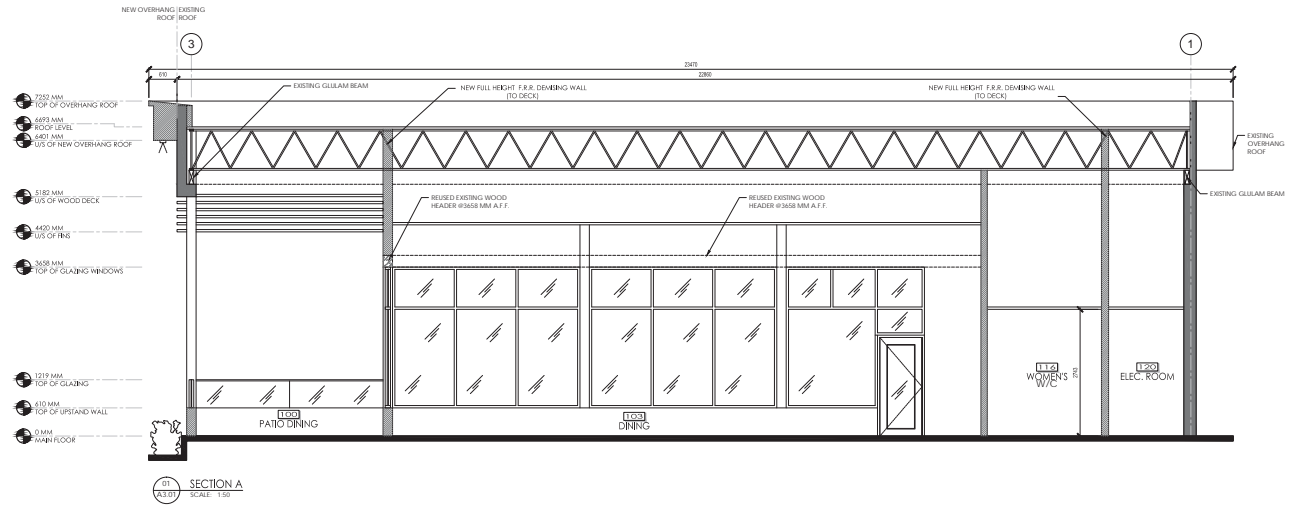
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ROOF PLAN

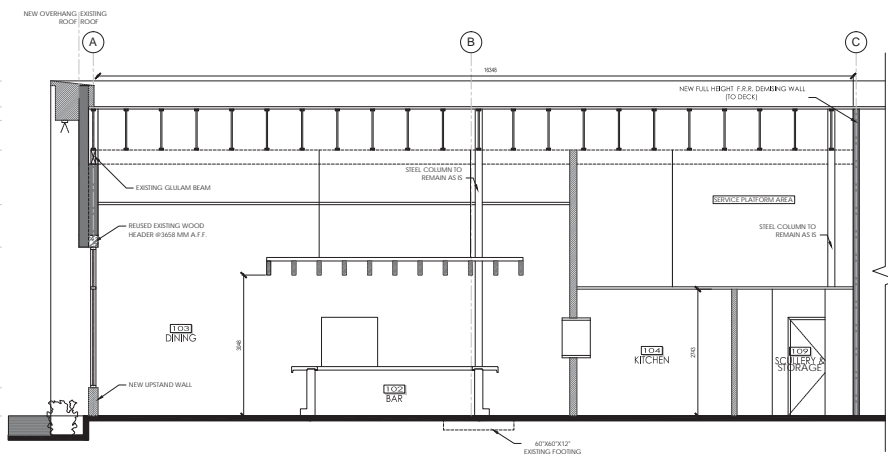
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DATE: MAY 20, 2015  
SCALE: 1/8\"/>

A2.03

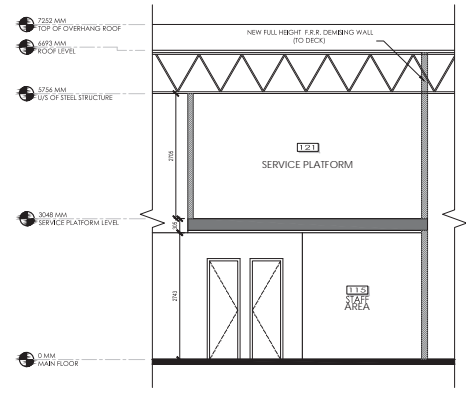




01 SECTION A  
SCALE: 1/50



02 SECTION B  
SCALE: 1/50



03 SECTION C  
SCALE: 1/50

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REVISION	DATE
01	PRELIMINARY DEVELOP. PERMITS
02	PRELIMINARY DEVELOP. PERMITS



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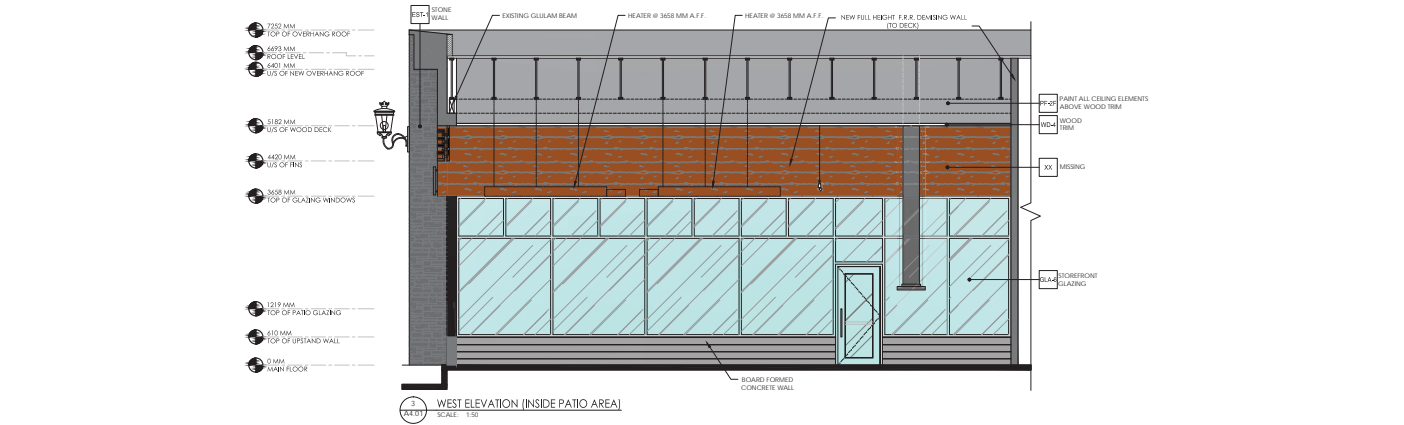
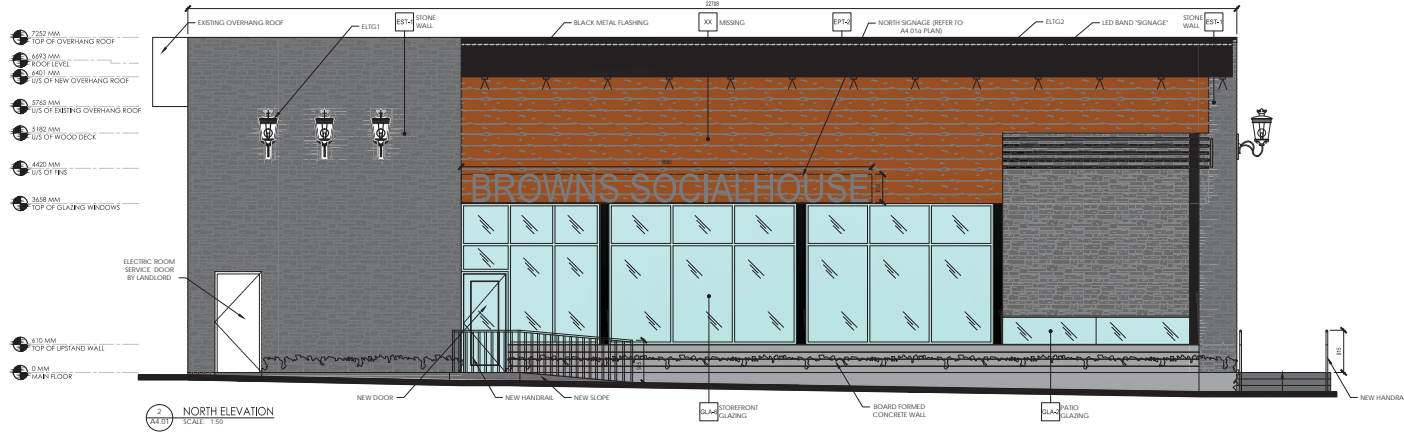
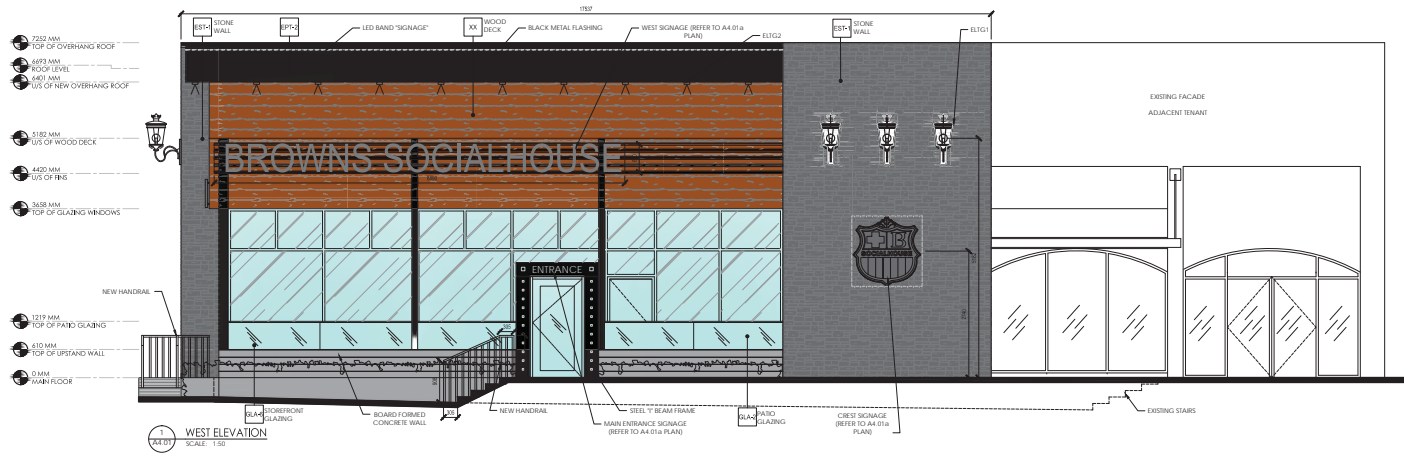


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SURREY  
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SECTIONS PLAN

PROJECT No:	1428
DATE:	MAY 20, 2015
SCALE:	1/50 DIM-MM
SHEET:	



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REVISION	DATE
01	PRELIMINARY DEVELOPMENT - MAR 03, 2015
02	PRELIMINARY DEVELOPMENT - MAY 20, 2015



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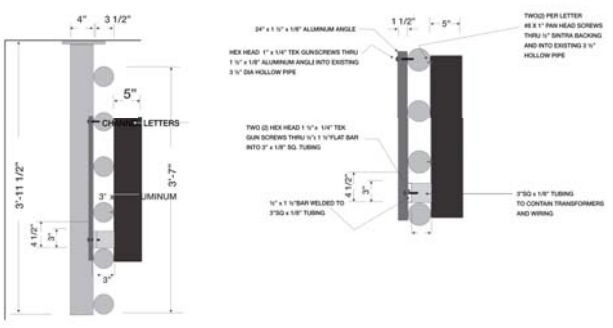
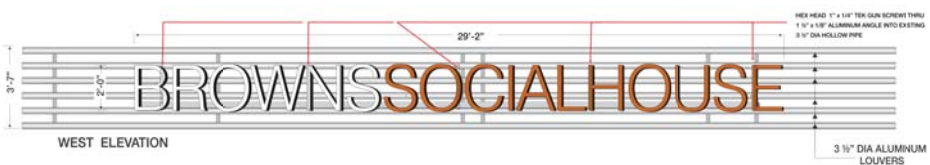


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**BROWNS SOCIALHOUSE**  
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B.C.

EXTERIOR ELEVATIONS PLAN

PROJECT No:	1428
DATE:	MAY 20, 2015
SCALE:	1:50 DIM-MAX
SHEET:	

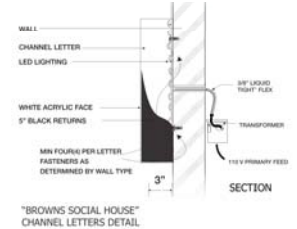


1 WEST SIGNAGE  
SCALE: NTS



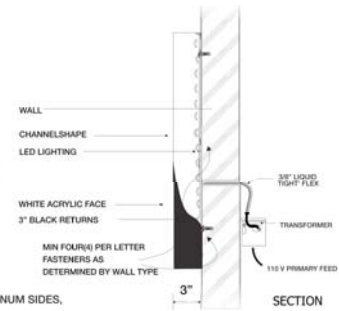
**BROWNS LETTERS**  
3/16" WHITE ACRYLIC FACES  
5" DEEP BLACK FABRICATED .090 ALUMINUM  
RETURNS CHANNEL LETTERS, WHITE LED ILLUMINATION  
SOCIAL HOUSE LETTERS

3/16" WHITE ACRYLIC FACES WITH #84 ORANGE TRANSLUCENT VINYL  
5" DEEP BLACK FABRICATED .090 ALUMINUM  
RETURNS CHANNEL LETTERS, WHITE LED ILLUMINATION



Plywood Backing Behind Sign Area supplied by client, coordinate with sign contractor.

2 NORTH SIGNAGE  
SCALE: NTS

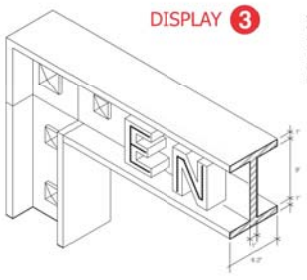


ONE (1) INTERNALLY ILLUMINATED "CREST" DISPLAY,  
3/16" ACRYLIC FACE WITH GRAPHICS IN VINYL, ALUMINUM SIDES,  
INTERNALLY ILLUMINATED WITH WHITE LED

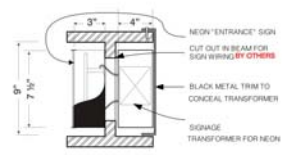
#84 TANGERINE TRANSLUCENT VINYL  
#22 BLACK VINYL

Plywood Backing Behind Sign Area supplied by client, coordinate with sign contractor.

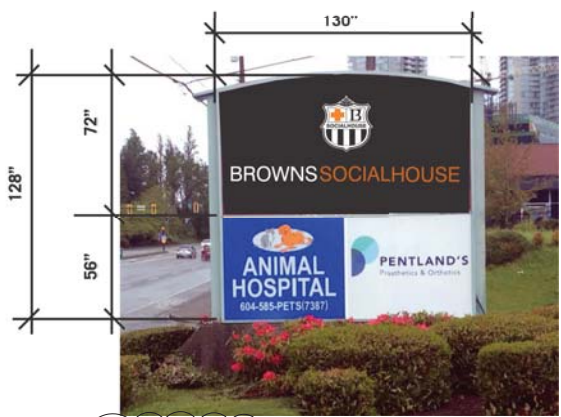
3 CREST SIGNAGE  
SCALE: NTS



SUPPLY AND INSTALL: ONE (1) SET OPEN CHANNEL LETTERS READING: "ENTRANCE", 1" BLACK TRIM CAP 3/16" CLEAR ACRYLIC FACES  
3 1/2" DEEP ALUMINUM RETURNS AND INTERIOR OF LETTERS PAINTED BLACK.  
ILLUMINATED WITH EXPOSED 10MM SINGLE TUBE WHITE NEON.  
MOUNTED INSIDE EXISTING BEAM WITH WIRING AND TRANSFORMERS  
BEHIND BEAM (ACCESS PROVIDED BY OTHERS).



4 MAIN ENTRANCE SIGNAGE  
SCALE: NTS



PROPOSED:  
SUPPLY AND INSTALLATION OF TWO (2) NEW  
LEXAN SIGN FACES INTO EXISTING DOUBLED  
SIDED SIGN

5 PYLON SIGNAGE  
SCALE: NTS

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REVISION	DATE
01	PROVIDE DEVELOPMENT
02	PROVIDE DEVELOPMENT



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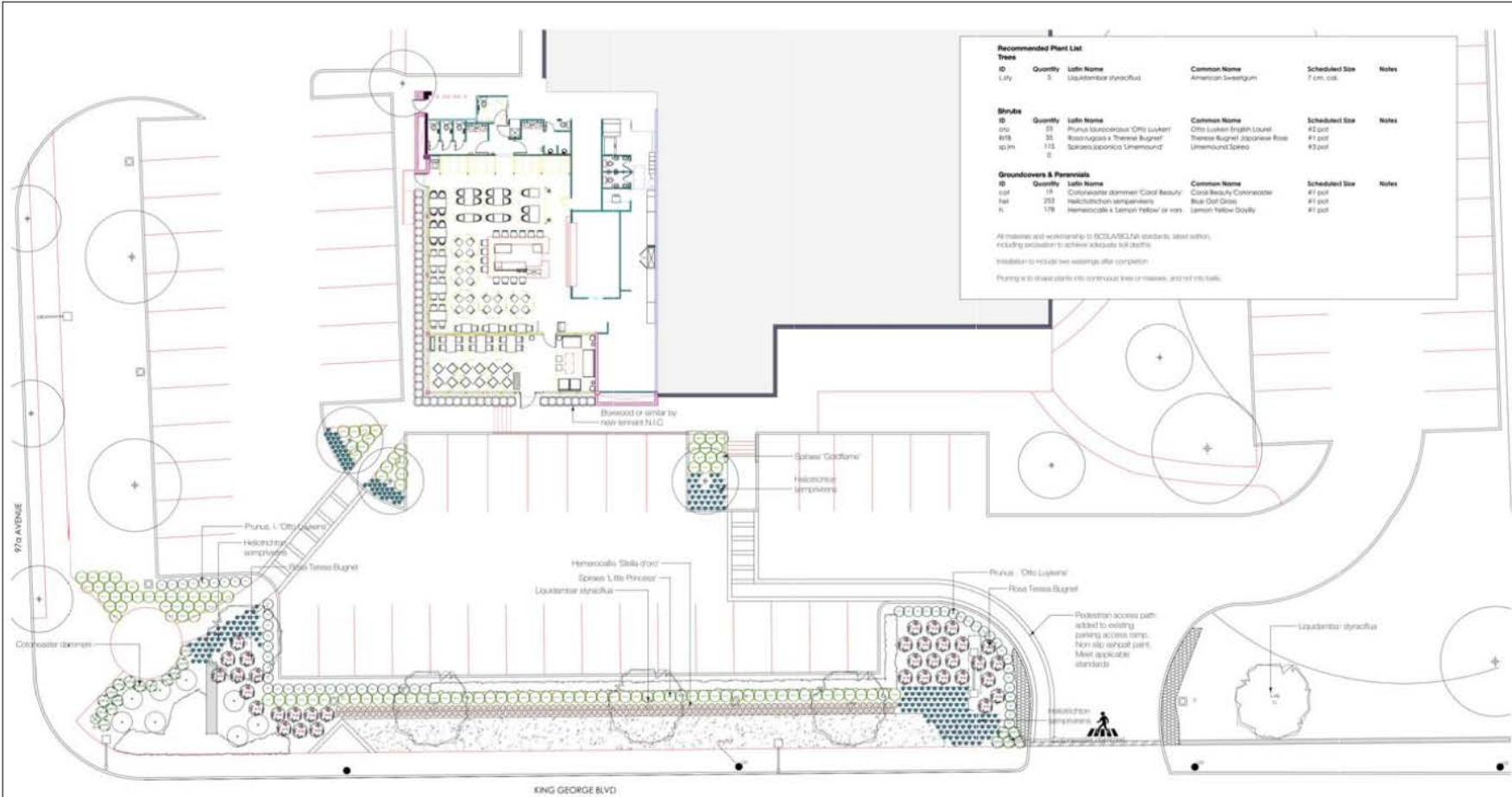
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9666 KING GEORGE BLVD - UNIT A-1  
SURREY  
B.C.

SIGNAGE DETAILS

PROJECT No:	1428
DATE:	MAY 01, 2015
SCALE:	NTS
SHEET:	







**Recommended Plant List**

Trees					
ID	Quantity	Latin Name	Common Name	Scheduled Size	Notes
L174	5	Liquidambar styraciflua	American Sweetgum	7 cm. cal.	

Shrubs					
ID	Quantity	Latin Name	Common Name	Scheduled Size	Notes
SH1	25	Prunus laurocerasus 'Ochi Luykeri'	Ochi Luykeri English Laurel	#2 pot	
SH2	35	Rosa rugosa 'Therese Bugnet'	Therese Bugnet Japanese Rose	#1 pot	
SH3	15	Salix japonica 'Limemound'	Limemound Salix	#3 pot	

Groundcovers & Perennials					
ID	Quantity	Latin Name	Common Name	Scheduled Size	Notes
GC1	15	Chionodoxa glauca 'Coral Beauty'	Coral Beauty Chionodoxa	#1 pot	
GC2	25	Hemerocallis amurensis	Blue Ochi Grass	#1 pot	
GC3	15	Hemerocallis 'Lemon Yellow' or var.	Lemon Yellow Daylily	#1 pot	

All materials and workmanship to BCS/ARCA/NA standards, latest edition, including provision to achieve schedule 100 details.  
 Provision to include tree supports after completion.  
 Planting to be done prior to construction & to include 3 trees or more, as per the plan.

**BROWNS SOCIALHOUSE**  
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REVISION	DATE
01. REVISED FOR PERMIT	MAR 08 2015
02. REVISED FOR PERMIT	MAY 01 2015

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BROWNS SOCIALHOUSE  
 9666 KING GEORGE BLVD - UNIT A1  
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 B.C.

LANDSCAPING PLAN

**DAMON ORIENTE LTD.**  
 landscape architects  
 455 - 460 West 13th Avenue  
 Vancouver, BC, Canada  
 V6A 2P6  
 T: 604 221-8238  
 F: 604 221-4272  
 E: info@damonorienteltd.com  
 W: www.damonorienteltd.com

Project:  
**BROWNS SOCIAL HOUSE**  
 9666 King George Boulevard

Drawing:  
**PLANTING**

Week: 21 May 2015 (Development Phase)

Scale: 1" = 10'  
 Date: 19 May 2015

Sheet:  
**L5.01**

Project Number: 0023-201

PROJECT No: 1428  
 DATE: MAY 01, 2015  
 SCALE: NTS  
 SHEET: