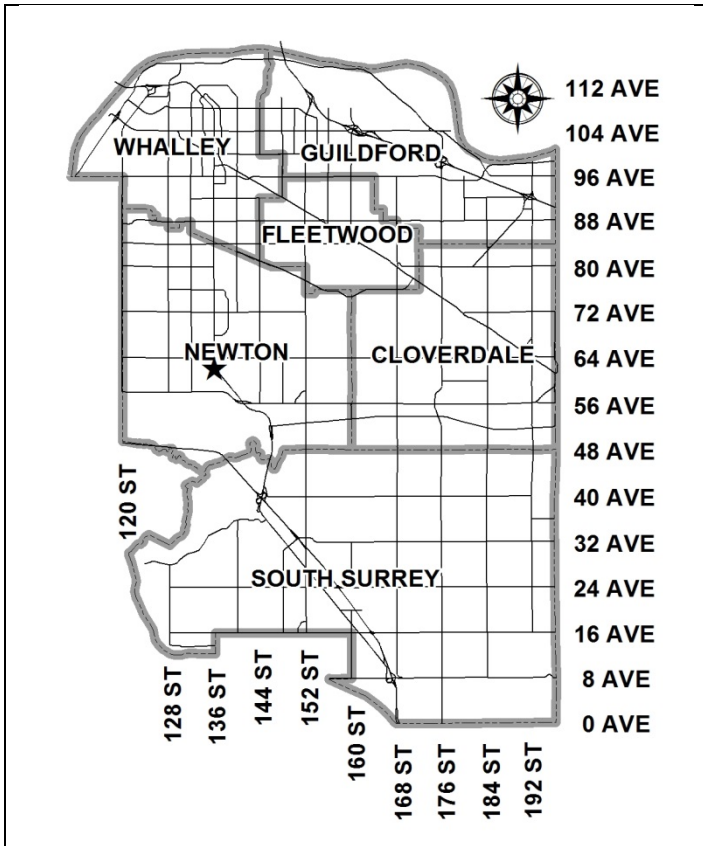


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7915-0048-00

Planning Report Date: February 1, 2016



PROPOSAL:

- **Development Permit**
- **Development Variance Permit**

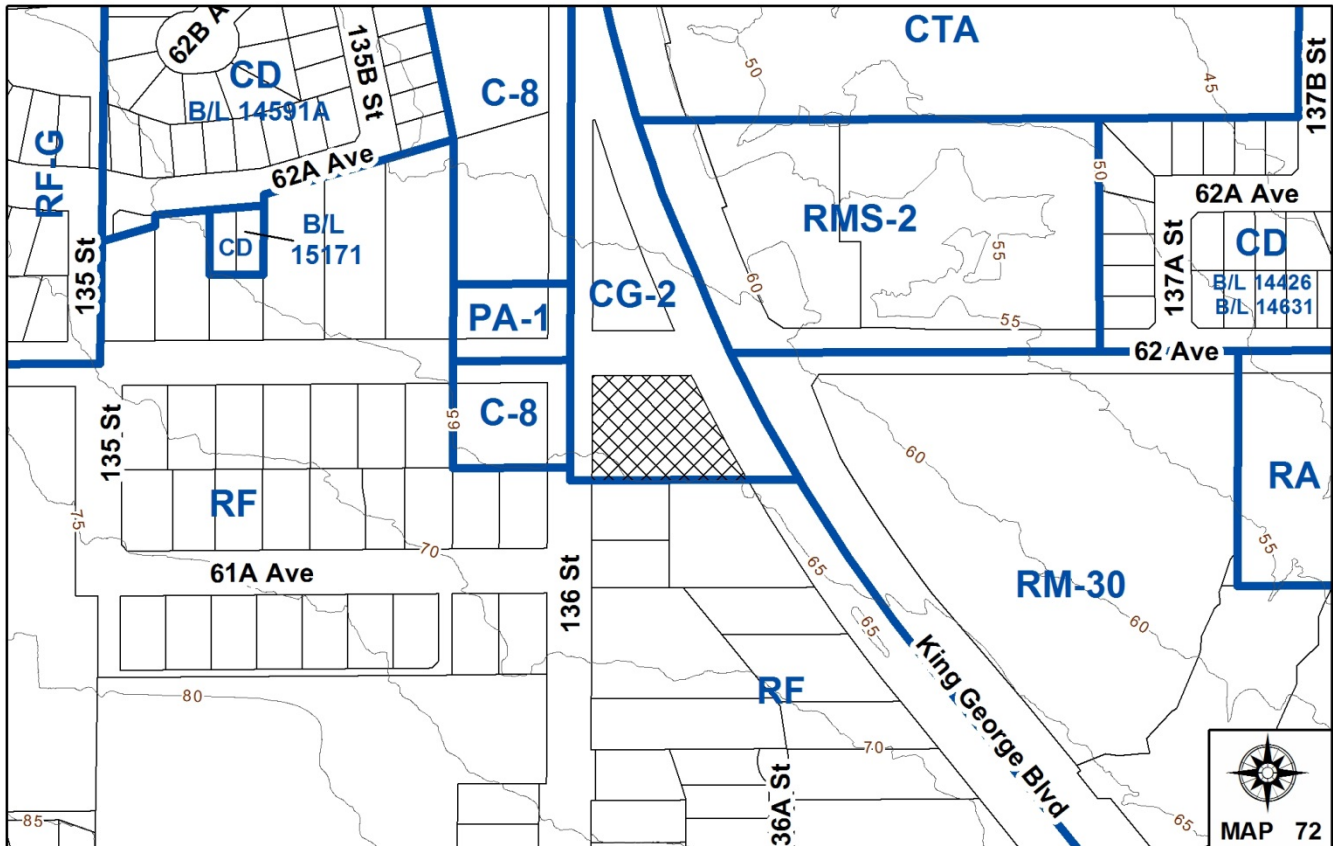
to permit the redevelopment of a gasoline service station, car wash and convenience store.

LOCATION: 6191 King George Boulevard

OWNER: 1025467 B.C. Ltd.

ZONING: CG-2

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- A Development Variance Permit is requested to vary the rear yard setback, increase the height of the pump island canopy, and the required landscaping.

RATIONALE OF RECOMMENDATION

- The proposal complies with the OCP Designation.
- The existing service building will be retained in its current location and renovated to a suitable design standard which will integrate with the residential neighbourhood to the south.
- The proposal generally satisfies the OCP Design Guidelines for Gas Stations.
- The proposal complies with City Policy No. O-58 Requirement for Alternative Fuel Infrastructure Relation to Gasoline Stations, as the applicant intends to include propane as a fuel option.
- Landscape improvements in front of the gas station will be provided to improve the streetscape along both King George Boulevard and 62 Avenue.
- The requested variances are supported to accommodate the renovation of the existing service building, to allow the island pump canopy be designed with a roof form that integrates with the surrounding residential neighbourhood, and to accommodate landscaping limited by the site's depth along 62 Avenue and King George Boulevard. Additional landscaping along the perimeter of the site, including road frontages, will provide a more visually attractive site and minimize off site impacts.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7915-0048-00 generally in accordance with the attached drawings (Appendix II).
2. Council approve Development Variance Permit No. 7915-0048-00 (Appendix IV) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum rear yard (south) setback of the CG-2 Zone from 12 metres (40 ft.) to 8.4 metres (28 ft.);
 - (b) to increase the maximum height permitted in the CG-2 Zone for the island pump canopy from 6.0 metres (20 ft.) to 6.5 metres (21 ft.); and
 - (c) to reduce the required minimum landscape strip width of the CG-2 Zone from 3.0 metres (10 ft.) to 2.4 metres (8 ft.) along 62 Avenue and 2.3 metres (8 ft.) along King George Boulevard.
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary are addressed to the satisfaction of the General Manager, Engineering;
 - (b) issuance of a Certificate of Compliance from the Ministry of Environment, Environmental Emergencies and Land Remediation Branch;
 - (c) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department; and
 - (e) submission of financial securities to ensure the installation of the alternative fuel infrastructure on site, as per City Policy No. O-58, to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the project. No Engineering servicing requirements are required for this project.

SITE CHARACTERISTICS

Existing Land Use: Decommissioned gas station with existing service building.

Adjacent Area:

Direction	Existing Use	OCP	Existing Zone
North (Across 62 Avenue):	Gas station	Urban	CG-2
East (Across King George Boulevard):	Approved development (No. 7913-0106-00) under construction for 138 townhouse units.	South/ South Newton NCP – Townhouses (25 upa max.)	RM-30
South:	Single family residential	Urban	RF
West (Across 136 Street):	Private school and indoor recreational facility	Urban	C-8

DEVELOPMENT CONSIDERATIONSBackground

- The subject site is located south of 62 Avenue, between King George Boulevard and 136 Street. The site is designated “Urban” in the Official Community Plan (OCP) and zoned “Combined Service Gasoline Station Zone (CG-2)”.
- The site was originally developed as a Mohawk brand gasoline service station in 1988. In 2010, the service station was rebranded to Husky. In 2013, the site was decommissioned, which involved the removal of the gas bar canopy, gas pumps and islands, underground gas tanks, and all signage from the subject site. The 185 square metre (1,988 sq. ft.) service building was retained which housed two car wash bays and a convenience store.

Current Proposal

- The applicant is proposing a Development Permit to facilitate the redevelopment of the subject site as a gasoline service station. The proposal will include the renovation of the exterior and interior of the existing service building to include a 28 square metre (300 sq. ft.) convenience store and one car wash bay, installing a new gas bar and canopy, improving on site landscaping and new signage.
- Other elements that have remained on site from the previous gasoline service station are the garbage enclosure, RV sanitation station, and propane tank which will be updated to a full vehicle refueling station and improved with additional screening.

- The applicant was requested to consider providing additional fuel options, in keeping with the City's objective of encouraging use of more environmentally friendly fuels and incorporated in the service station zones in Zoning By-law No. 12000. In accordance with City Policy No. O-58, approved by Council on June 25, 2012 (Corporate Report No. R146), any of the following alternative fuel or recharging infrastructure is to be provided with any new gasoline station:
 - Level-3 electric vehicle charging station (also known as a DC fast charger), or its equivalent;
 - Fast-fill compressed natural gas (CNG) vehicle refueling station;
 - Hydrogen vehicle refueling station; and/or
 - Liquefied petroleum gas (propane) vehicle refueling station.
- The applicant has advised that the station will provide gasoline and propane dispensing. The provision of propane will be ensured by the submission of a \$75,000 letter of credit, as per City Policy No. O-58.
- The existing accesses to the site from King George Boulevard and 62 Avenue will remain.

PRE-NOTIFICATION

- Development Proposal signs were installed on the site on August 20, 2015. The development proposal was also referred to the Newton Community Association for review and comment. To date, staff have received no comments from surrounding property owners regarding the proposal.

DESIGN PROPOSAL AND REVIEW

- The proposal complies with the OCP Design Guidelines for Gas Stations in a residential area.
- The existing service building which contains the convenience store and car wash is oriented to permit vehicles to enter the car wash (on the southwest portion of the site) from 62 Avenue to the north and exit to King George Boulevard to the east. A vacuum station is proposed on the south side of the service building.
- The service building is designed with a hip roof to be complementary with the adjacent residential neighbourhood. The finishing materials of the service building reflect residential materials with the proposed brick and hardiplank/panel combination. Downlighting and signage lighting have been recessed in the soffits to minimize glare towards adjacent properties.
- The pump island is covered by a canopy which is not physically connected to the service building. The canopy is also designed with a hip roof, recessed lighting, and with materials consistent with the service building to complement the residential neighbourhood. The height of the canopy is reduced to the minimum allowable to accommodate fuel trucks. A sign band is proposed within the canopy which will be illuminated from recessed lighting in the soffits. The brand name (Husky) is located on the north and south elevations of the canopy which is within the maximum number of signs permitted in the Sign By-law.

- There are a total of four fuel pumps proposed, with a propane fueling station located on the southern portion of the site.
- The existing garbage area and propane tank along the southern property line are fully enclosed or screened from public view. Both are located along the 3 metre (10 ft.) wide landscaped area which abuts a residential lot.

Free Standing Signage

- A 4.6 metre (15 ft.) high free standing sign is proposed on the south side of the King George Boulevard driveway access. It is proposed to be set back 2.0 metres (6.5 ft.) from the property line in accordance with the Sign By-law. The base of the sign has a similar stone accent base as the service building. The sign advertises the Husky logo, price of fuel, as well as the name of the convenience store.

Site Access and Parking

- A total of six (6) parking stalls are provided in front of the service building, which exceeds the Zoning By-law requirement of five (5) spaces for the proposed uses on the site.
- The existing vehicle accesses to the site from King George Boulevard and 62 Avenue will remain. Access from 62 Avenue will be limited to right-in/right-out access only.
- An existing stairway connection from 136 Street to the site will be maintained and upgraded, with the addition of a new pedestrian walkway from the stairway to the service building. A new pedestrian walkway will also connect from the sidewalk at the intersection of King George Boulevard and 62 Avenue directly to the site.

Landscaping

- The OCP Design Guidelines for Gas Stations and CG-2 Zone requires a minimum 3 metre (10 ft.) wide landscape area adjacent to all road frontages. The landscaping along 136 Avenue satisfies this requirement. The landscaping area along 62 Avenue and King George Boulevard is provided at varying widths as it is limited by the depth of the site and on site vehicle circulation. Low decorative fencing (0.8 metres [3 ft.] high) is incorporated along all road frontages, as well as a brick wall feature at the northeast corner of the site.
- The majority of existing trees (cedars) located on the southern portion of the site will be retained and supplemented with additional tree, shrub and grass plantings. The new trees to be planted will consist of Vine Maple, Columnar Karpick Maple, Nootka Cypress, and Rustica Red Magnolia. A wide variety of shrubs and grasses will be provided around the perimeter and within the site.
- The existing wood fence located along the southern boundary will be retained.

TREES

- Monica Ardiel, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder/ Cottonwood	3	3	0
Coniferous Trees			
Deodar Cedar	3	0	3
Western Red Cedar	5	0	5
Total (excluding Alder and Cottonwood Trees)	8	0	8
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		16	
Total Retained and Replacement Trees		24	
Contribution to the Green City Fund		N/A	

- The Arborist Assessment states that there are a total of eleven (11) protected trees on the site, excluding Alder and Cottonwood trees. Three (3) existing trees, approximately 27% of the total trees on the site, are Alder or Cottonwood trees. It was determined that eight (8) trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees. This will require a total of three (3) replacement trees on the site. The applicant is proposing sixteen (16) replacement trees, exceeding City requirements.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on January 22, 2016. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location	<ul style="list-style-type: none"> • The proposed development is consistent with the OCP.

Sustainability Criteria	Sustainable Development Features Summary
(A1-A2)	
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> This is a commercial development which will serve commuter traffic and the surrounding residential neighbourhood.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> The proposed development includes a vehicle propane refueling station to meet the provision of an alternative fuel option.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> The proposal enhances the existing pedestrian connection to 136 Street. A new pedestrian walkway from sidewalk at the intersection of King George Boulevard and 62 Avenue is provided directly to the site.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> The site will utilize Crime Prevention through Environmental Design (CPTED) principles. The walkway around the service building is widened with an upgraded ramp for handicap accessibility. The interior circulation of the convenience store will be designed as per the BC Building Code accessibility guidelines. An accessible washroom will be added.
6. Green Certification (F1)	<ul style="list-style-type: none"> N/A
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> The Newton Community Association has been notified about the proposed development.

ADVISORY DESIGN PANEL

The attached plans were not reviewed by the Advisory Design Panel but have been reviewed by Planning staff including the Acting City Architect and, in general, were found to be satisfactory.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To reduce the minimum rear yard (south) setback of the CG-2 Zone, which abuts a residential lot from 12 metres (40 ft.) to 8.4 metres (28 ft.).

Applicant's Reasons:

- The proposal involves renovating the existing service building in its current location to avoid construction waste.
- The landscaping area with a width of 4 metres (13 ft.) and the existing wood fence along the southern property line will provide adequate screening for the adjacent residential lot.

Staff Comments:

- Impacts to the neighbouring residential lot are minimized given that the grade of the subject site is approximately 2.5 metres (8.2 ft.) lower. The existing wood fence, existing and newly planted trees along the southern property line will provide screening, as well as recessed and down-lighting used on the service building to reduce off site impacts from glare.

(b) Requested Variance:

- To increase the maximum height permitted in the CG-2 Zone of the pump island canopy from 6.0 metres (20 ft.) to 6.5 metres (21 ft.).

Applicant's Reasons:

- The underside clearance of the pump island canopy is reduced to a minimum of 4.2 metres (14 ft.) to accommodate fuel trucks. The canopy is also designed with a hip roof to better fit in with the adjacent residential area.

Staff Comments:

- The slight increase in canopy height is supported as this allows for a roof form that integrates with the surrounding residential area.
- The underside clearance of the canopy complies with the OCP Design Guidelines for Gas Stations.

(c) Requested Variance:

- To reduce the required landscape strip width of the CG-2 Zone from of 3 metres (10 ft.) along all road frontages to 2.4 metres (8 ft.) along 62 Avenue and 2.3 metres (8 ft.) along King George Boulevard.

Applicant's Reasons:

- Due to the limited depth of the site, the required width of landscaping is not able to be provided along either 62 Avenue or King George Boulevard. The landscaping area is designed to include decorative fencing and a brick wall feature to provide additional screening and to present a more attractive appearance from the street.

Staff Comments:

- Staff are supportive of the proposed landscaping area along 62 Avenue and King George Boulevard. The additional landscaping provided on site will provide a more visually attractive site and better integrate with the surrounding neighbourhood.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Summary of Tree Survey and Tree Preservation
Appendix IV.	Development Variance Permit No. 7915-0048-00

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Igel Architecture and PMG Landscape Architects, dated August 28, 2015 and January 25, 2016 respectively.

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

DH/ar

DEVELOPMENT DATA SHEET

Existing Zoning: CG-2

Required Development Data	Minimum Required / Maximum Allowed		Proposed	
LOT AREA* (in square metres)				
Gross Total			2,660 sq. m	
Road Widening area				
Undevelopable area				
Net Total				
LOT COVERAGE (in % of net lot area)				
Buildings & Structures			7%	
Paved & Hard Surfaced Areas			63%	
Total Site Coverage			70%	
SETBACKS (in metres)	Building	Canopy	Building	Canopy
Front (62 Avenue)	12.0 m	2.0 m	> 12.0m	> 2.0m
Side (East - King George Boulevard)	12.0 m	2.0 m	> 12.0m	> 2.0m
Side (West - 132 Street)	12.0 m	2.0 m	> 12.0m	> 2.0m
Rear	12.0 m	2.0 m	8.4 m	> 2.0m
BUILDING HEIGHT (in metres/storeys)				
Principal/Canopy	6.0 m		6.5m	
FLOOR AREA: Commercial				
Convenience Store	28 sq. m.		28 sq. m.	
TOTAL BUILDING FLOOR AREA			185 sq. m.	
DENSITY				
# of units/ha /# units/acre (gross)				
# of units/ha /# units/acre (net)				
FAR (gross)	0.3		0.1	
FAR (net)				
PARKING (number of stalls)				
Commercial	5		6	
Total Number of Parking Spaces	5		6	
Number of disabled stalls			1	
Number of small cars				

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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DESIGN INTENT

THE DESIGN OF THE PROPERTY IS INTENT TO BRING AN EXISTING SERVICE STATION UP TO CURRENT OPM DEMANDS.

THE EXISTING GAS STATION WAS ORIGINALLY BUILT AS A GAS STATION, WHICH WAS LATER TRANSFORMED INTO A FULFILLMENT CENTER. IT IS DECOMMISSIONED A FEW YEARS AGO, WITH THE CANOPY REMOVED AND GAS BARRIERS REMOVED.

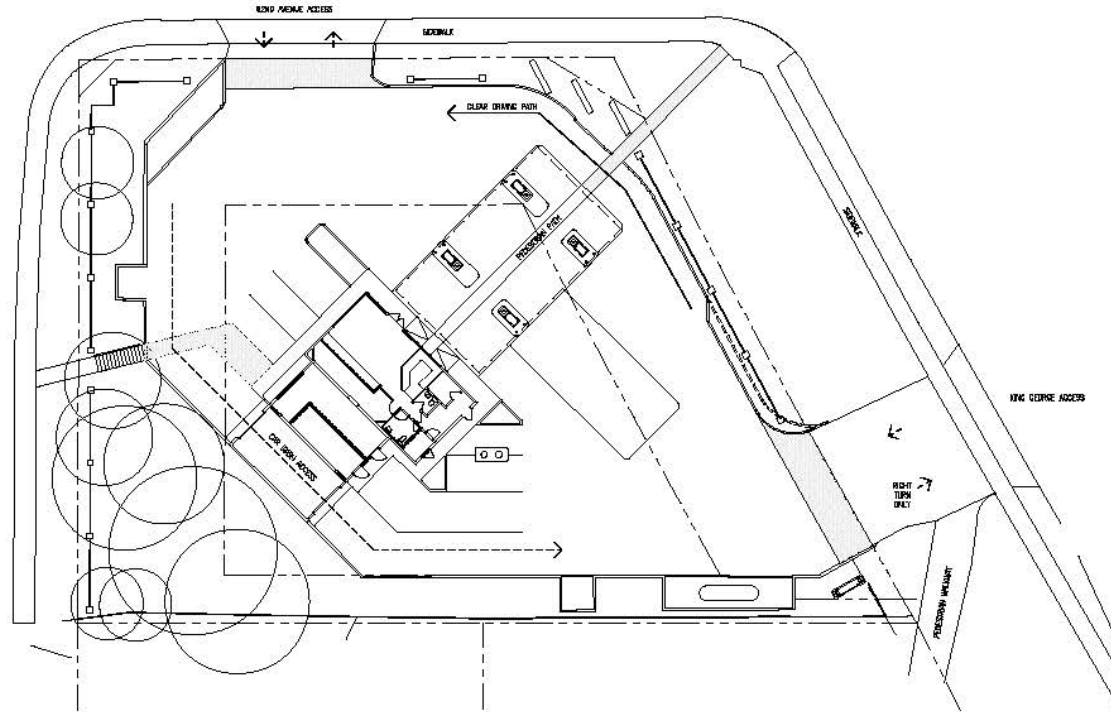
THE STATION IS TO BE REVERTED UNDER NEW OWNERSHIP AND AS A RESULT THE EXISTING BUILDING, WHICH IS IN A RESIDENTIAL AREA, IS BEING RECONSTRUCTED TO FIT INTO THE SUBDIVISION.

THE EXISTING WILL BE REBUILT IN MATERIALS THAT WILL FIT IN WITH THE SUBDIVISIONS ARCHITECTURE WHILE MAINTAINING A COMMERCIAL LEVEL OF DURABILITY. EXTERIOR WALLS WILL BE REBUILT WITH BRICK OR CONCRETE. A NEW ROOF STRUCTURE WILL BE APPLIED TO BRING THE BUILDING TO A RESIDENTIAL APPEARANCE AND TO HOLD THE EXISTING ROOF TOP HEATING AND COOLING UNIT.

THE NEW CANOPY AND PAVING WILL ALSO RECREATE THE BASIC METRICS OF THE EXISTING, INCLUDING A HIP ROOF. ALL LIGHTING WILL BE RECEIVED AND LIT SIGNAGE WILL BE BUILT TO THE BRANDED STYLE.

LANDSCAPING WILL BE REQUIRED FOR THE FRONTAGE, WITH ALL EXISTING PLANTING BEING PRESERVED AS POSSIBLE.

SITE CIRCULATION



DESIGN PRECEDENTS



IA

IGEL ARCHITECTURE
 400 PARK SQUARE
 LAWRENCE, KS 66044
 IGEL-ARCH.COM

BY DATE: 08/20/2024 DS: 04

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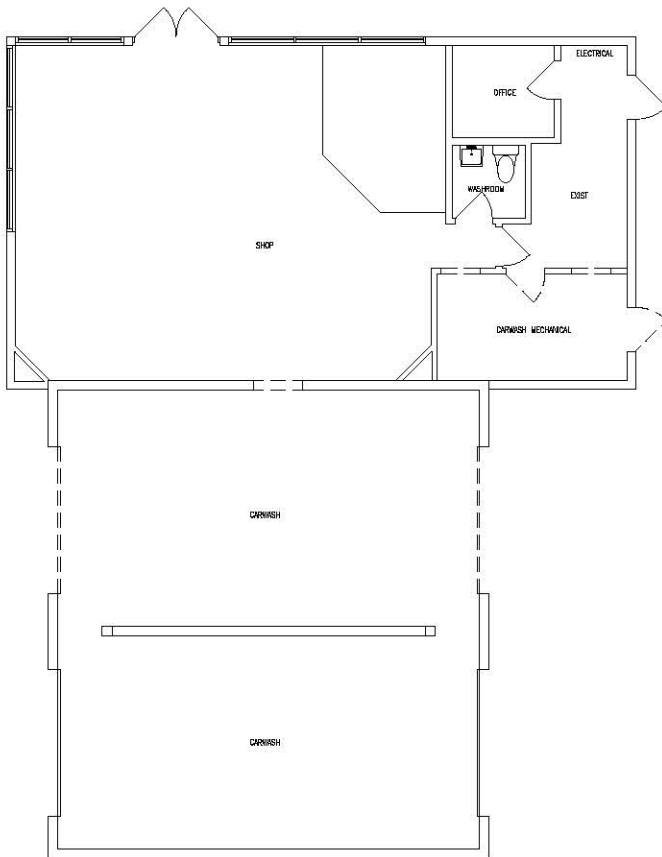
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 HUSKY GAS STATION
 REHABILITATION

4000 E. CHICKENHEAD BLVD
 LAWRENCE, KS 66044

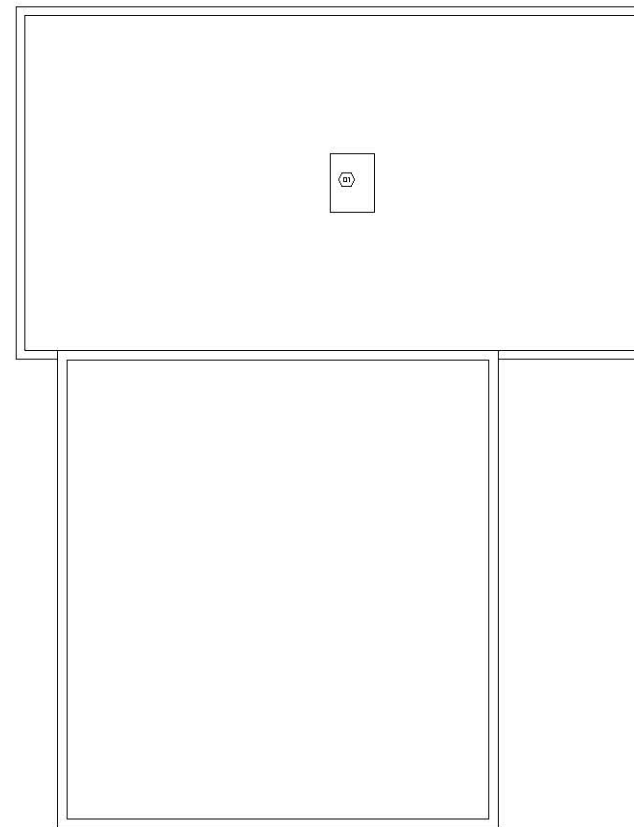
DESIGN INTENT
 AND SITE
 CIRCULATION

DATE: 08/20/24	PROJECT NO: 14012
BY: AS SHOWN	REVISION:
A03	

GENERAL NOTES	KEY NOTES
<ol style="list-style-type: none"> 1. SAFELY MAINTAIN ALL REQUIRED EXITS DURING DEMOLITION AND CONSTRUCTION 2. WHEN EXISTING WALLS ARE SCHEDULED FOR REPAINTING, REMOVE ALL ITEMS ATTACHED TO THE WALL PRIOR TO PAINTING AND REINSTALL ITEMS WHEN PAINTING IS COMPLETE 3. EXAMINE ALL WALL SURFACES AND REMOVE ALL NAILS, SCREWS, TAPE AND OTHER MISCELLANEOUS ITEMS FROM WALLS WHICH ARE TO RECEIVE NEW PAINT. FILL ALL HOLES WITH MATCHING MATERIALS PRIOR TO PAINTING 4. THE CONTRACTOR SHALL PROTECT ALL EXISTING MATERIALS AND EQUIPMENT SCHEDULED TO REMAIN 5. COORDINATE ALL SERVICE INTERRUPTIONS WITH THE OWNER 6. MODIFY EXISTING LOCATIONS OF MECHANICAL AND ELECTRICAL LINER INSIDE OF WALLS SCHEDULED FOR DEMOLITION AND NEW WORK - COORDINATE WITH SUBCONTRACTORS 	<p>① EXISTING RTU TO BE RELOCATED</p>



1 GROUND FLOOR PLAN
 1/4" = 1'-0"



2 ROOF PLAN
 1/4" = 1'-0"

REV	DATE	DESCRIPTION	DR	BY

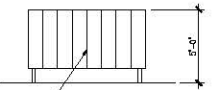
CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.

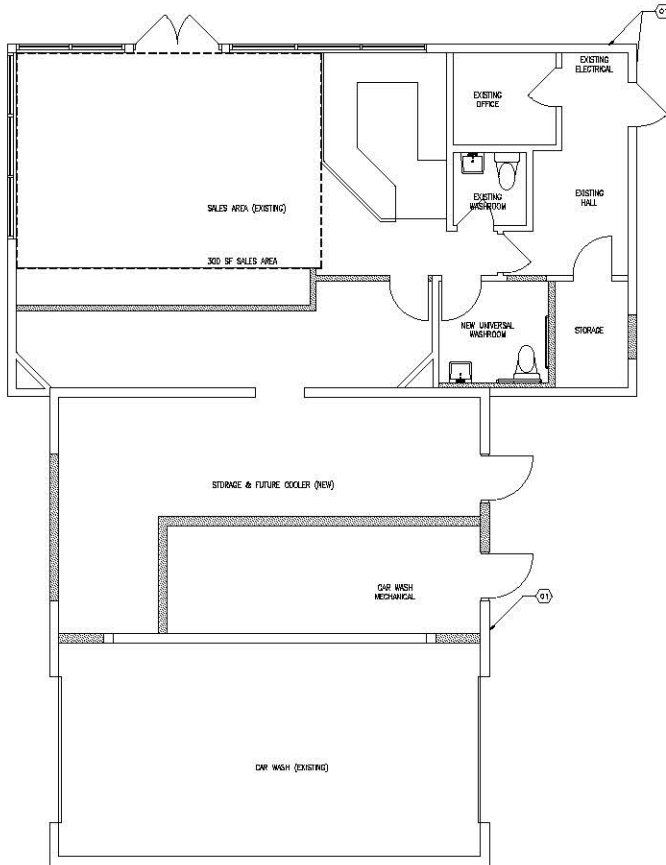
PROJECT:
**HUSKY GAS STATION
 REHABILITATION**

1001 HENRI-BELLEVILLE BLVD
 KUMARVILLE, MO 65202

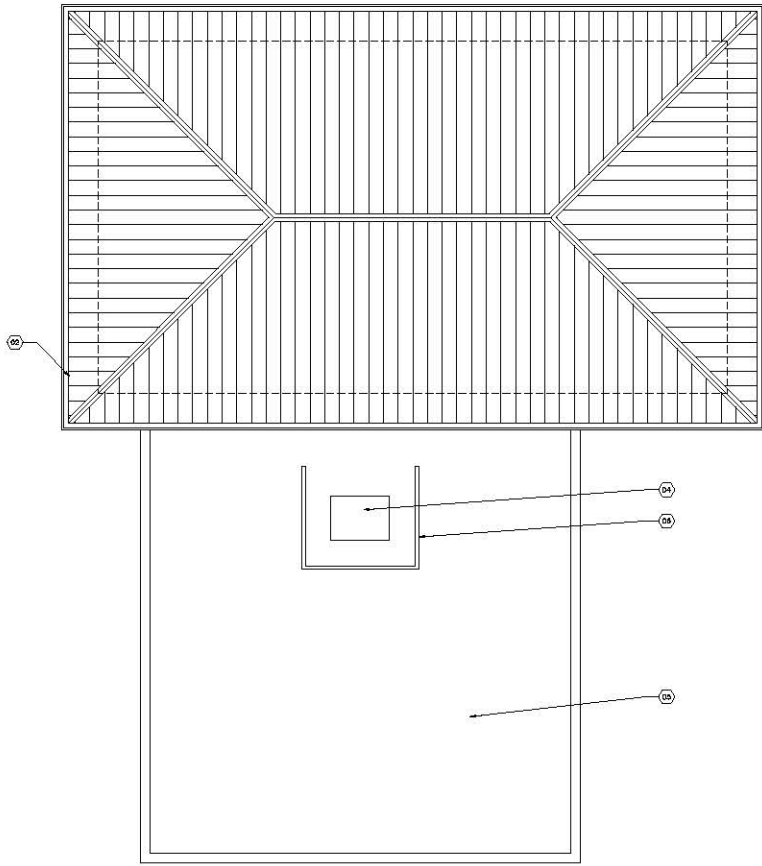
SHEET TITLE:
EXISTING PLANS

REVISED 08/28/15	PROJECT NO. 14012
SCALE: AS SHOWN	REVISION
DATE: A1.0	

RTU SCREEN ELEVATION	GENERAL NOTES	KEY NOTES	DRAWING LEGEND
 <p>STANDING SEAM METAL PANELS (MATCH ROOF) OVER LIGHT GAUGE STEEL STRUCTURE</p>	<ol style="list-style-type: none"> 1. SAFETY MAINTAIN ALL REQUIRED EXIT WAYS DURING DEMOLITION AND CONSTRUCTION 2. WHEN EXISTING WALLS ARE SCHEDULED FOR REPAIRING, REMOVE ALL ITEMS ATTACHED TO THE WALL PRIOR TO PAINTING AND REINSTALL ITEMS WHEN PAINTING IS COMPLETE 3. EXAMINE ALL WALL SURFACES AND REMOVE ALL NAILS, SCREWS, TAPE AND OTHER MISCELLANEOUS ITEMS FROM WALLS WHICH ARE TO RECEIVE NEW PAINT. FILL ALL HOLES WITH MATCHING MATERIALS PRIOR TO PAINTING 4. THE CONTRACTOR SHALL PROTECT ALL EXISTING MATERIALS AND EQUIPMENT SCHEDULED TO REMAIN 5. COORDINATE ALL SERVICE INTERRUPTIONS WITH THE OWNER 6. MODIFY EXISTING LOCATIONS OF MECHANICAL AND ELECTRICAL LINES INSIDE OF WALLS SCHEDULED FOR DEMOLITION AND NEW WORK - COORDINATE WITH SUBCONTRACTORS 	<ol style="list-style-type: none"> 1 NEW EXTERIOR WALL FINISH ON EXISTING FRAMING (SEE ELEVATIONS) 2 GUTTER 3 RIDGE VENT 4 RELOCATED RTU 5 NEW TROUGH ON ROOF OVER EXISTING ROOF DECK 6 RTU SCREEN 	<p>EXISTING WALL CONSTRUCTION TO REMAIN</p> <p>NEW WALL CONSTRUCTION - UNRAISED</p> <p>NEW 1-HOUR RATED FIRE BARRIER - SLAB TO DECK</p> <p>FIRE EXTINGUISHER</p>



1 GROUND FLOOR PLAN
1/4" = 1'-0"



2 ROOF PLAN
1/4" = 1'-0"

REV	DATE	DESCRIPTION	DR	BY

IOEL ARCHITECTURE
103 PALM ST. #200
WASHINGTON, DC 20004
IOEL-ARCH.COM

PROJECT
**HUSKY GAS STATION
REHABILITATION**

1011 10TH AVENUE, SUITE 100
SUNNYVALE, MD 21088

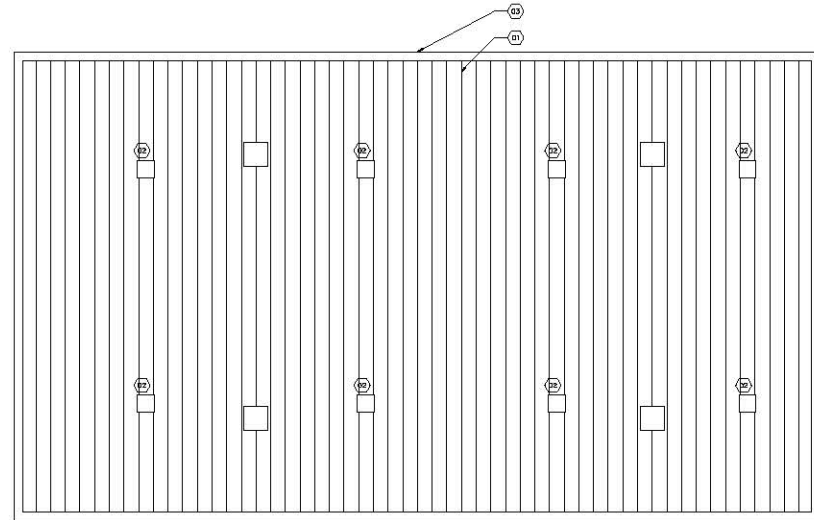
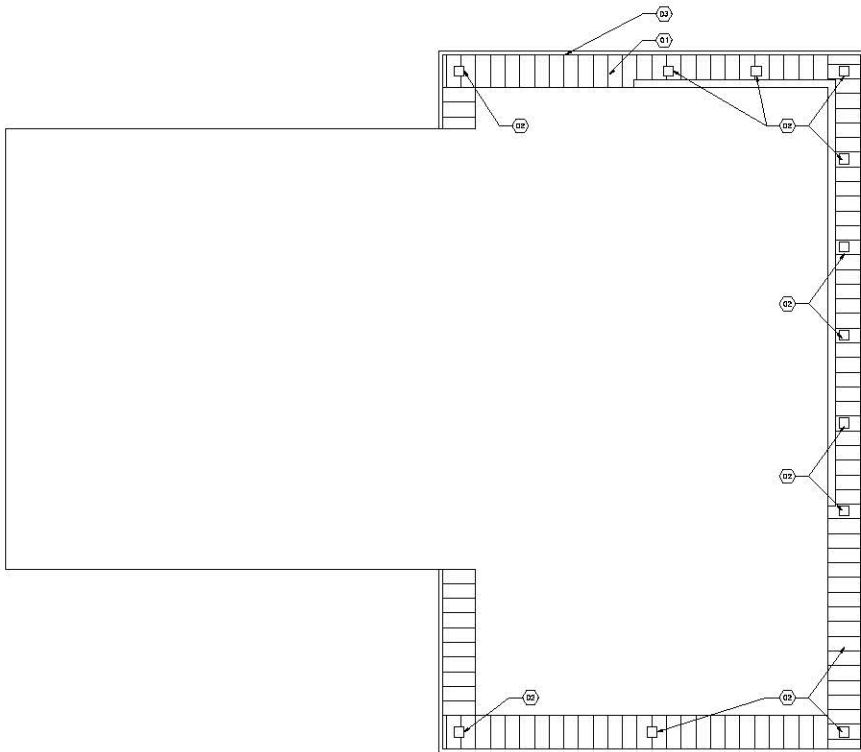
FLOOR PLANS

REV DATE	08/28/16	PROJECT NO.	14012
TITLE	AS SHOWN	REVISION	
A2.0			

IA

IGEL ARCHITECTURE
 103 PARKWAY
 WASHINGTON, DC 20002
 IGEL-ARCH.COM

KEY NOTES	
1	METAL PANEL SOFFIT
2	REVERSED LED LIGHTING
3	METAL CLADDING



REV	DATE	DESCRIPTION	DR	BY

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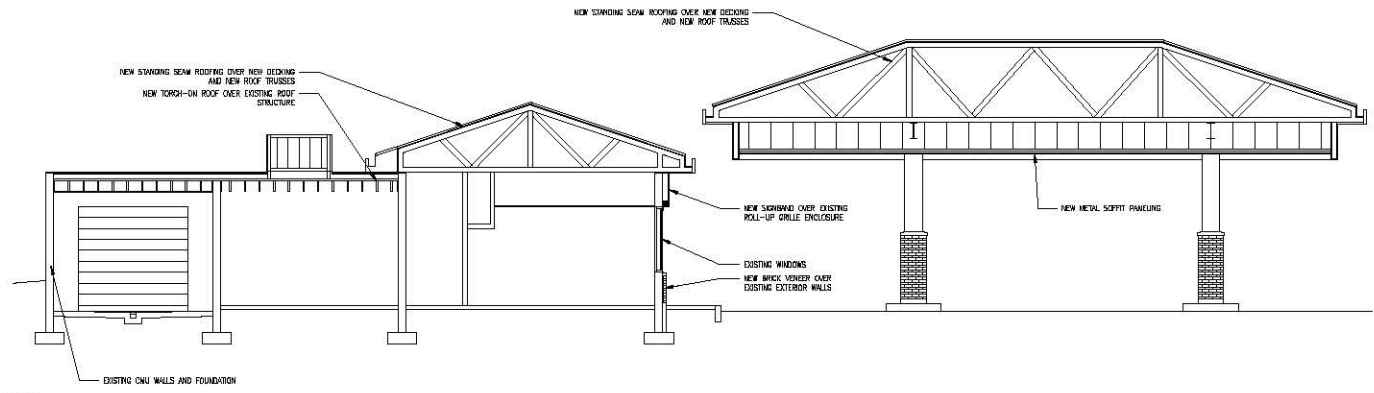
PROJECT:
 HUSKY GAS STATION
 REHABILITATION

1011 1000 BELLEVILLE BLVD
 KUMARVILLE, MO 65212-1021

SOFFIT PLAN

1 SOFFIT PLAN
 1/4" = 1'-0"

REV DATE	PROJECT NO.
08/28/15	14012
AS SHOWN	REVISION
A2.0	



1 BUILDING SECTION
 1/8" = 1'-0"

REV	DATE	DESCRIPTION	DR	BY

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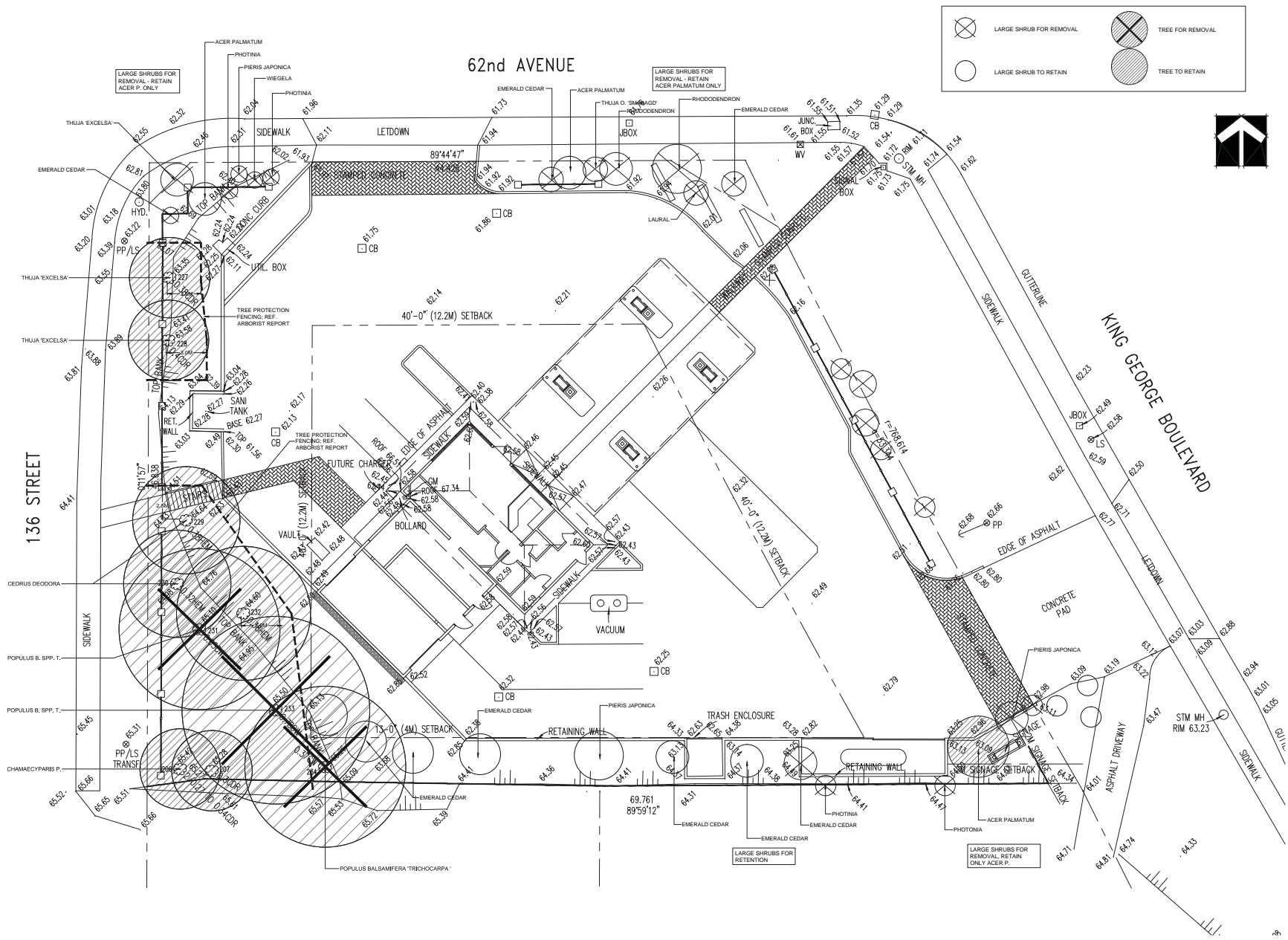
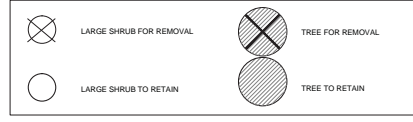
PROJECT:
 HUSKY GAS STATION
 REHABILITATION

OWNER:
 HUSKY OIL COMPANY
 SULLY, MO 65149

SECTION

REV DATE	PROJECT NO.
08/28/15	14012
SCALE	REVISION
AS SHOWN	
A4.1	

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
1	15 JAN 25	ADD FINED NOTE	CLG
2	15 NOV 20	NEW SITE PLAN	CLG
3	15 SEP 21	UPDATE FOR NEW SITE PLAN	CLG
4	25 AUG 20	AMENDMENTS FOR CITY COMMENTS	CLG
5	15 FEB 13	COORDINATE WITH ARCHITECT'S PLAN	CLG
6	15 JAN 13	NEW SITE PLAN	CLG

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:
GAS STATION DEVELOPMENT

**6191 KING GEORGE HWY
SURREY, B.C.**

DRAWING TITLE:
**TREE PROTECTION
PLAN**

DATE: 15 JAN 13 DRAWING NUMBER:
SCALE: 3/32" = 1'-0"
DRAWN: CLG
DESIGN: CLG
CHKD: MCV

L1
OF 3

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: TBD

Address: 6191 King George Blvd, Surrey, BC

Registered Arborist: Monica Ardiel

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	11
Protected Trees to be Removed	3
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	8
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 3 X one (1) = 3 _____ - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0 _____ 	3
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0 	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist:

Date: February 10, 2015



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7915-0048-00

Issued To: 1025467 BC LTD.
("the Owner")

Address of Owner: 451 East 49 Avenue
Vancouver, BC V5W 2G8

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 004-566-319
Lot 1 Section 9 Township 2 New Westminster District Plan 10674

6191 King George Boulevard

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) Subsection F. Yard and Setbacks of Part 41 CG-2 Zone, the minimum rear yard (south) setback abutting a residential lot is reduced from 12 metres (40 ft.) to 8.4 metres (27.5 ft.);
 - (b) Subsection G. Height of Buildings of Part 41 CG-2 Zone, the maximum height of pump island canopies is increased from 6 metres (20 ft.) to 6.5 metres (21.3 ft.); and
 - (c) Subsection I. Landscaping of Part 41 CG-2 Zone, the width of the landscaping strip along developed sides of the lot abutting a highway is reduced from 3 metres (10 ft.) to 2.4 metres (7.9 ft.) along 62 Avenue and 2.3 metres (7.5 ft.) along King George Boulevard.

4. The landscaping and the siting of buildings and structures shall be in accordance with the drawings labelled Schedule (A) (the "Drawings") which are attached hereto and form part of this development variance permit.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

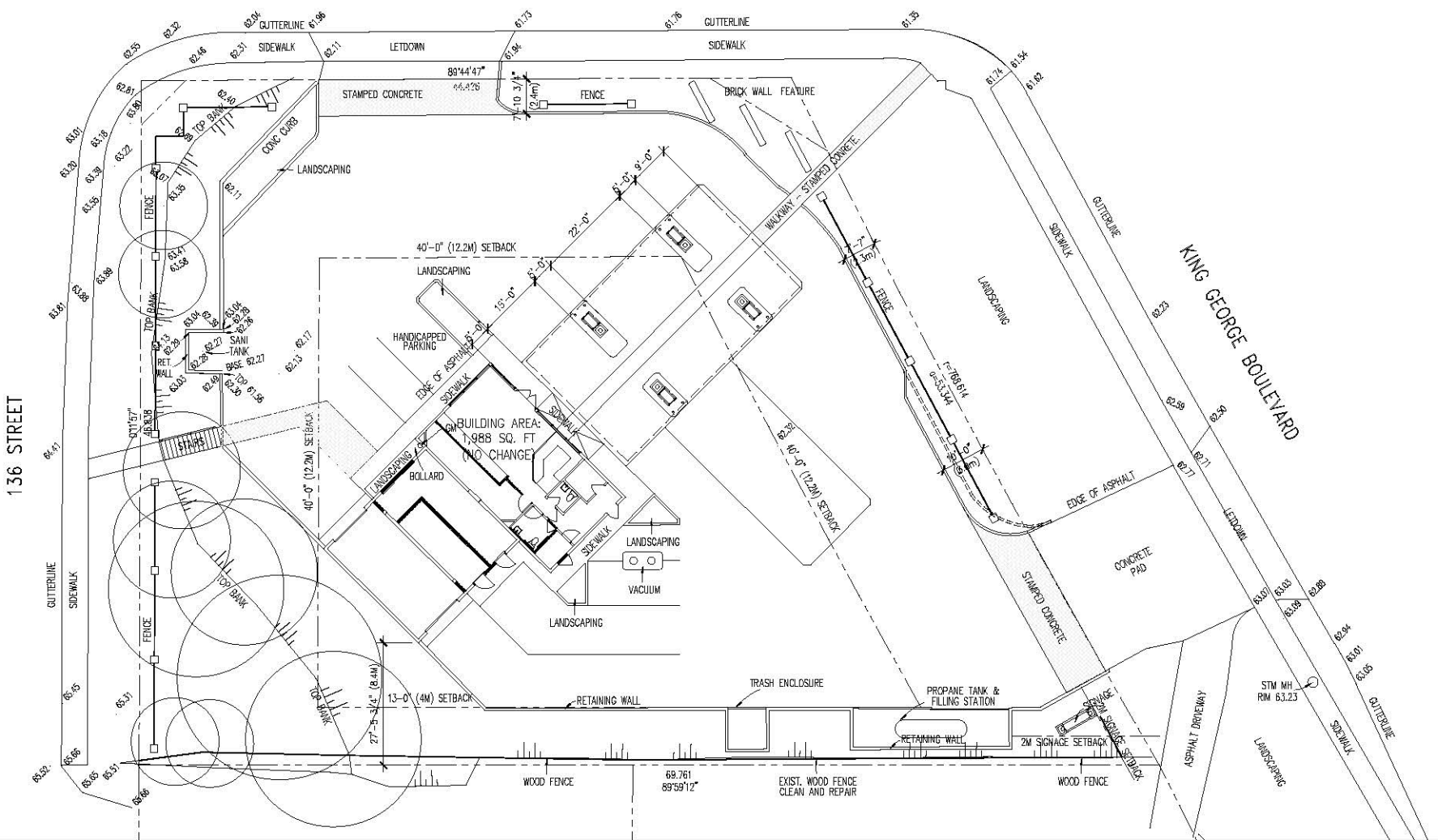
AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

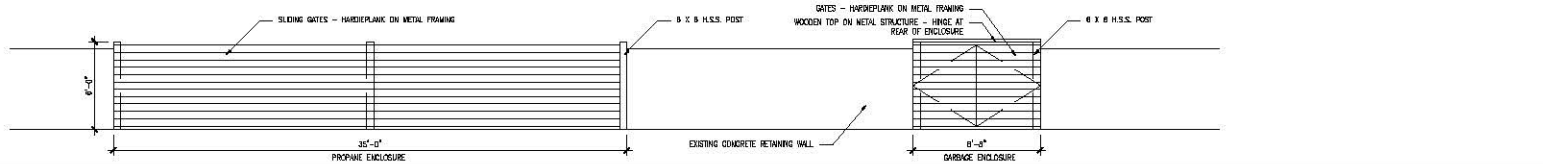
City Clerk – Jane Sullivan

SITE PLAN - 3/32" = 1'-0"

62nd AVENUE



GARBAGE & PROPANE ENCLOSURES - 1/4" = 1'-0"



IA

IOEL ARCHITECTURE
103 PALMER SQUARE
WASHINGTON, DC 20004
IOEL-ARCH.COM

REV	DATE	DESCRIPTION	DR	BY

THIS DOCUMENT IS THE PROPERTY OF IOEL ARCHITECTURE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF IOEL ARCHITECTURE.

PROJECT:
HUSKY GAS STATION
REHABILITATION

DATE: 08/28/16
SCALE: AS SHOWN
SHEET NO: A02

SITE PLAN

REV DATE	PROJECT NO.
08/28/16	14012
SCALE: AS SHOWN	REVISION
SHEET NO: A02	

