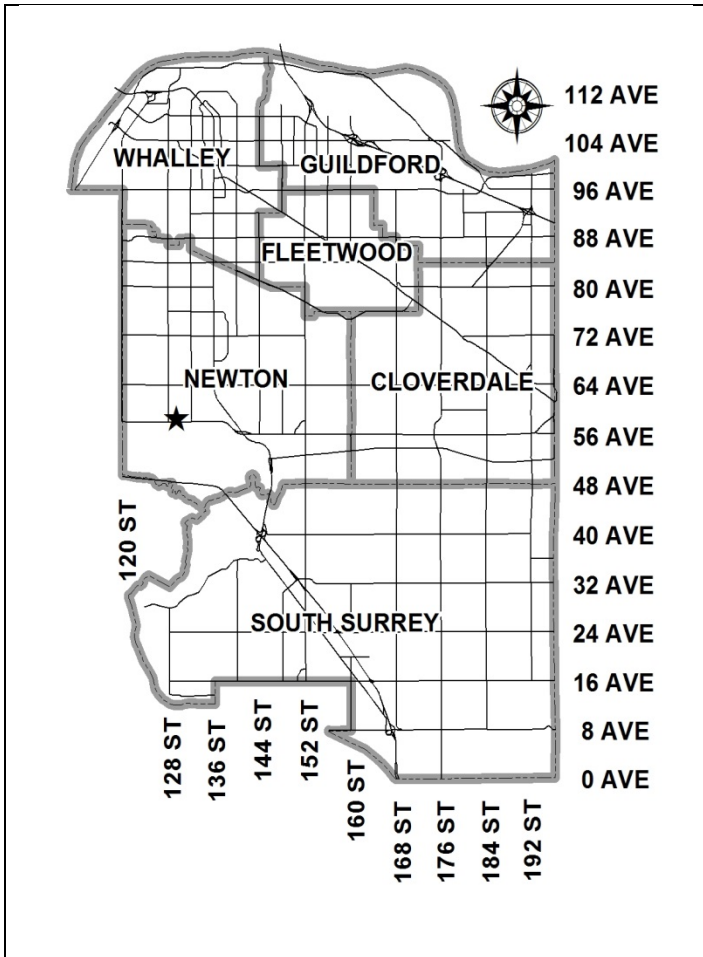


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7915-0038-00

Planning Report Date: October 20, 2015



PROPOSAL:

- **NCP Amendment** to allow for changes to the road network layout and to introduce a new land use designation of Townhouses (25 upa)
- **Rezoning** from RA to RM-30
- **Development Permit**
- **Development Variance Permit**

to permit the development of 80 townhouse units.

LOCATION: 12885 and 12871 - Highway No. 10
 (58 Avenue)

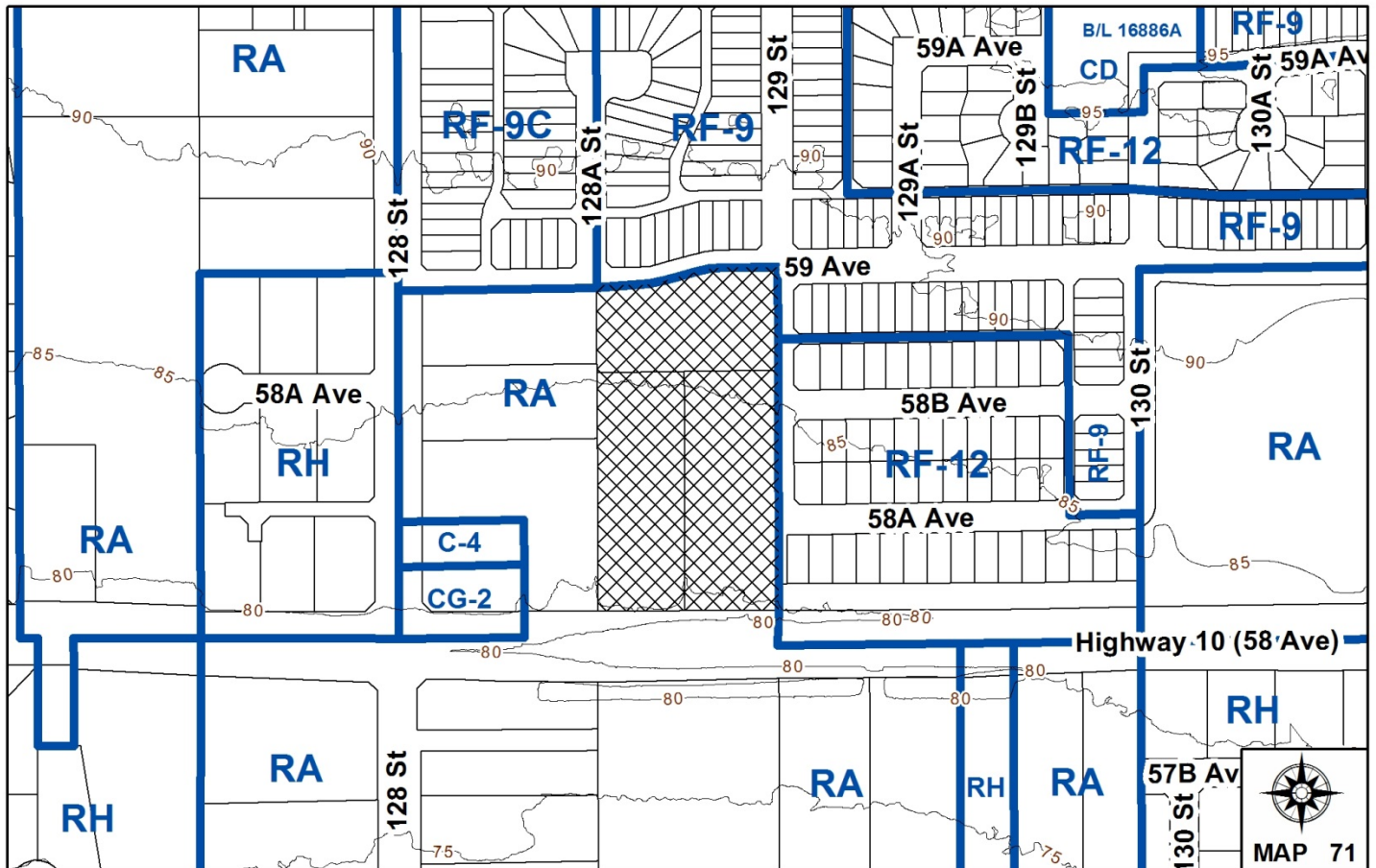
12872 - 59 Avenue

OWNER: Panorama Mews Developments
 Ltd., Inc. No. BC1017507

ZONING: RA

OCP DESIGNATION: Urban

NCP DESIGNATION: Attached Housing (Max. 20 upa)
 and Buffer/Greenways



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to reduce indoor amenity space.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Requires an amendment to the West Newton/Highway 10 NCP from "Attached Housing (Max. 20 upa)" to "Townhouses (25 upa)".
- Seeking variances to the setbacks of the "Multiple Residential 30 Zone (RM-30)".
- Seeking to reduce and pay cash-in-lieu of a portion of the indoor amenity space.

RATIONALE OF RECOMMENDATION

- The proposal complies with the OCP Designation for the site.
- The proposed NCP amendment will allow a small increase in density, from 20 upa to 22 upa, to permit the development of 80 townhouse units. The increase in density will help support the planned commercial development to the west of the subject, as well as provide access from the neighbourhood to the planned commercial site, when constructed.
- The site layout and townhouse orientation will allow for the retention of a large grove of trees at the northeast corner of the site.
- The proposed setbacks achieve a more urban, pedestrian streetscape.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Multiple Residential 30 Zone (RM-30)" and a date be set for Public Hearing.
2. Council approve the applicant's request to reduce the amount of required indoor amenity space from 240 square metres (2,583 square feet) to 147 square metres (1,580 square feet)
3. Council authorize staff to draft Development Permit No. 7915-0038-00 generally in accordance with the attached drawings (Appendix II).
4. Council approve Development Variance Permit No. 7915-0038-00 (Appendix VII) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum side yard setback (west) of the RM-30 Zone from 7.5 metres (25 ft.) to 3.0 metres (10 ft.);
 - (b) to reduce the minimum front yard setback (north) of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.);
 - (c) to reduce the minimum side yard setback (east) of the RM-30 Zone from 7.5 metres (25 ft.) to 3.0 metres (10 ft.); and
 - (d) to reduce the minimum rear yard setback (south) of the RM-30 Zone from 7.5 metres (25 ft.) to 5.0 metres (16 ft.).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;

- (h) completion by the Realty Division of the acquisition of an approximately 15.0 metres (49 ft.) portion along the south property line for parkland and greenway expansion;
 - (i) submission of an acoustical report for the units adjacent to Highway No. 10 to the satisfaction of the Planning and Development Department and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
 - (j) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
 - (k) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
 - (l) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department; and
 - (m) the applicant adequately address the impact of reduced indoor amenity space.
6. Council pass a resolution to amend West Newton/Highway 10 NCP to redesignate the land from "Attached Housing (20 upa)" to "Townhouses (25 upa)" and to allow for a change in the road network when the project is considered for final adoption.

REFERRALS

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
School District:	<p>Projected number of students from this development:</p> <p>19 Elementary students at Panorama Park Elementary School 9 Secondary students at Panorama Ridge Secondary School</p> <p>(Appendix IV)</p> <p>The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by early 2017.</p>
Parks, Recreation & Culture:	Parks acquisition is required for the parkland proposed along Highway No. 10. Fencing along parkland should be wood and not provided as a concrete sound attenuation fence.
Ministry of Transportation & Infrastructure (MOTI):	Preliminary Rezoning Approval is granted pursuant to section 52 (3)(a) of the <i>Transportation Act</i> , and valid for one year from June 2, 2015.

Surrey Fire Department: The concerns have been resolved.

SITE CHARACTERISTICS

Existing Land Use: Large acreage lots. Two of the properties have single family homes, which will be removed, and the remaining lot is vacant.

Adjacent Area:

Direction	Existing Use	OCP / NCP Designation	Existing Zone
North (Across 59 Avenue):	Single family dwellings on small lots.	Urban / Small Lot with Lane (13 upa)	RF-9
East (Across 129 Street):	Single family dwellings on small lots.	Urban / Small Lot with Lane (13 upa) and Small Lot (10 upa)	RF-9 and RF-12
South (Across Highway No. 10):	Vacant heavily treed lot under Development Application No. 7913-0022-00 for the development of 7 half-acre lots (3 rd Reading).	Suburban / One-acre (LAP)	RA
West:	Single family dwellings on acreage lots and a vacant lot.	Urban / Senior Housing (20 upa), Proposed Local Commercial, and Buffers/Greenways	RA

JUSTIFICATION FOR PLAN AMENDMENT

- The West Newton/Highway 10 NCP designates this property as "Attached Housing (max 20 upa)". The applicant is proposing an amendment to the road layout and to introduce a new land use designation: "Townhouses (max 25 upa)" (Appendix VI). The amendment will facilitate the development of an 80-unit townhouse development, with a density of 54 units per hectare (22 upa).
- The proposed amendment reflects the intent of the NCP to establish ground-oriented units with tree preservation, and further supports a variety of housing choices.
- The increase in density will help support the planned commercial development to the west. Similarly, the proposed road layout changes will provide access from the neighbourhood to the planned commercial site, when constructed.

DEVELOPMENT CONSIDERATIONS

- The 1.95-hectare (4.8-acre) subject site is located on the north side of Highway No. 10, at the southwest corner of 129 Street and 59 Avenue in Newton.
- The subject site consists of three properties designated Urban in the Official Community Plan (OCP), zoned One-Acre Residential (RA) Zone, and designated "Attached Housing (20 upa)" and "Buffer/Greenways" in the West Newton/Highway 10 Neighbourhood Concept Plan (NCP).
- The applicant proposes an amendment to the West Newton/Highway 10 NCP from "Attached Housing (20 upa)" to "Townhouses (25 upa)", rezoning from One-Acre Residential (RA) Zone to Multiple Residential 30 Zone (RM-30), and a Development Permit to permit the development of 80 townhouse units. A Development Variance Permit is also proposed as part of the application, to vary setbacks (see By-law Variance section).
- The proposal includes acquisition by the City of a portion of land along the southern property line adjacent to Highway No. 10, for expansion of the parkland and greenway. The land is designated "Buffers/Greenways" in the West Newton/Highway 10 NCP. The area to be acquired for the future park space is 1,458.5 square metres (0.36 acre). A walkway is to be provided by the applicant at the southeast corner of the site, connecting the proposed parkland to 58A Avenue at 129 Street.
- The proposal comprises a total floor area of 13,528.58 square metres (145,620.4 sq. ft.) representing a net floor area ratio (FAR) of 0.90, which is the maximum allowed in the RM-30 Zone.

PRE-NOTIFICATION

Pre-notification letters were sent on June 19, 2015 to 163 properties within 100 metres (328 ft.) of the subject site, including the Newton Community Association and East Newton Residents Association. A development proposal sign was also installed on the site on June 25, 2015. Staff received 6 phone calls and 6 emails with concerns. A summary of the main concerns is below.

- Residents expressed concerns about the increase in volume in traffic as a result of the development. Currently, access to the site as well as the neighbourhood in the northeast block of 129 Street and Highway No. 10 is primarily via 129 Street. Access to the West Newton Community Park is also currently via 129 Street.

(Road dedication along 128A Avenue is required to provide a second access to the site with a future connection to 128 Street proposed, upon future development of the properties to the west. In order to address the concerns about the increase in the volume of traffic and improve circulation in this neighbourhood, 59 Avenue is required to be extended to 128 Street, with the construction of a half Local road.)

- Residents also expressed concerns about on-street parking in the neighbourhood. It was noted that this is already an issue in the neighbourhood as a result of the number of single family houses that have basement suites and/or coach houses.

(The townhouse units do not allow for basement suites. Townhouse sites are required to provide 0.2 visitor parking stalls for each dwelling unit. This would amount to a total of 16 visitor parking stalls required on the site. The applicant is proposing 19 visitor stalls, to help alleviate some of the demand on on-street parking in the neighbourhood. It should also be noted that additional on-street parking will be available with the widening of 129 Street along the site's eastern frontage.)

DESIGN PROPOSAL AND REVIEW

- The proposal consists of eighty (80) three-storey townhouse units that are contained within 16 buildings. All of the units are provided as either three- or four-bedroom townhouse units with two resident's parking spaces. The proposal also includes an indoor amenity area, outdoor amenity area including a grove of retained trees at the northeast corner of the site, and proposed parkland to be acquired by the City, in the southern portion of the site along Highway No. 10.
- Individual unit entries are provided to all roads, as well as the parkland along Highway No. 10.
- The majority of the units have a double garage parking arrangement, with 12 units (15%) proposing a tandem parking arrangement, which is less than the maximum 50% tandem parking permitted in the Zoning By-law.
- The number of dwelling units within each individual building varies from 3 to 7 units. Most units are three-bedroom units, with 9 four-bedroom units, facing the proposed parkland along the south property line.
- Building materials and colours include vinyl siding (red, blue and grey), grey hardi-panels, and grey ledgerstone. The roof is proposed to be clad in dark gray asphalt shingles and will include gables and sloped roofs. Additionally, some of the buildings are stepped at individual sections in response to the significant grade changes across the site, which helps to increase the roofline articulation and to reduce the building massing.

Landscaping

- Landscaping is provided along all property lines, with a large grove of trees retained at the northeast corner of the site. The retained trees include 4 Douglas Firs and 27 Western Red Cedars.
- The proposed landscaping includes a variety of plants, including Hydrangea, Pyramidal Cedar, Deer Fern, Hick's Yew, and others.
- Multiple walkway connections from all road frontages, as well as within the site provide pedestrian access and connectivity to the surrounding neighbourhood.

Vehicular Access & Parking

- Primary access to the subject site will be provided on 129 Street. A second access to the site will be provided with the extension of 128A Street. In the future access will be available to 128 Street by way of 128A street, upon development of the properties to the west.
- The extension of 59 Avenue connecting to 128 Street with a half road will also be required to improve access and circulation to the site and the local neighbourhood.
- The applicant is proposing to provide 160 resident parking spaces and 19 visitor parking spaces, which meets the parking requirements of the Zoning By-law. The minimum visitor parking requirement is 16 parking spaces, but additional parking spaces are proposed to help minimize demand for on-street parking on the local neighbourhood, which was previously identified as a concern by local residents.

Amenity Space

- The Zoning By-law requires 240 square metres (2,583 sq. ft.) of both indoor and outdoor amenity space be provided for this project, based on 3 square metres (32 sq. ft.) per dwelling unit.
- The outdoor amenity space totalling 246 square metres (2,648 sq. ft.), is divided into two spaces: a larger one (186 square metres) around the retained trees at the northeast corner of the site, adjacent to the indoor amenity space, and a smaller one (60 square metres) in front of Building 11, also on the northern portion of the site. The outdoor amenity space exceeds the Zoning By-law minimum requirement of 240 square metres (2,583 sq. ft.). The larger space is proposed to have a pathway between the trees, as well as benches and a climbing zone/play area, while the smaller space is proposed to be paved with benches and a bike rack.
- The proposed indoor amenity building totalling 147 square metres (1,580 sq. ft.) is less than the 240 square metres (2,583 sq. ft.) required under the Zoning By-Law. The amenity building is attached to building 5, following the same character as the townhouse units. It is a site feature with a functional space, adjacent to the outdoor amenity space. The amenity building is proposed to have a kitchen on the ground floor with an accessible washroom, and a game room on the second floor. In accordance with City Policy, the applicant must address the shortfall of indoor amenity space with cash-in-lieu compensation.

TREES

- Trevor Cox, ISA Certified Arborist of Diamond Head Consulting Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	63	63	0
Cottonwood	9	9	0

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Apple	4	4	0
Bigleaf Maple	12	12	0
Bitter Cherry	1	1	0
Cherry/Plum	3	3	0
Lombardy Poplar	23	23	0
Paper Birch	3	3	0
Vine Maple	1	1	0
Western Flowering Dogwood	1	1	0
Coniferous Trees			
Douglas Fir	28	24	4
Western Hemlock	2	2	0
Western Redcedar	92	65	27
Western White Pine	1	1	0
Total (excluding Alder and Cottonwood Trees)	171	140	31
Additional Trees in Proposed Open Space	27	0	27
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		45	
Total Retained and Replacement Trees		76	
Contribution to the Green City Fund		\$64,500	

- The Arborist Assessment states that there are a total of 283 mature trees on the site including 40 trees within the proposed parkland, excluding Alder and Cottonwood trees. Seventy-two (72) existing trees, approximately 25% of the total trees on the site, are Alder and Cottonwood trees. It was determined that 31 trees, or 18% of the trees on the lot can be retained (omitting parkland trees) as part of this development proposal. The proposed tree retention was assessed taking into consideration the health of the trees, location of services and building footprints.
- The proposed alignment of the sidewalk along 129 Street was altered in order to maximize tree preservation on the site.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 352 replacement trees on the site. Since only 45 replacement trees can be accommodate on site, the deficit of 307 replacement trees will require a cash-in-lieu payment of \$64,500.
- In addition to the replacement trees, boulevard street trees will be planted on 129 Street and 128A Street. This will be determined at the servicing agreement stage by the Engineering Department.

- The new landscaping on the site will consist of a variety of shrubs, grasses, perennials and ground cover.
- In summary, a total of 76 trees are proposed to be retained or replaced on the site with a contribution of \$64,500 to the Green City Fund.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on February 16, 2015. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	• The proposal conforms with the OCP.
2. Density & Diversity (B1-B7)	• The proposal is for a multi-family development, including both side-by-side and tandem-garage unit-types.
3. Ecology & Stewardship (C1-C4)	• The proposal allows for the retention of a cluster of trees at the northwest corner of the site.
4. Sustainable Transport & Mobility (D1-D2)	• N/A
5. Accessibility & Safety (E1-E3)	• 22 of the 80 proposed units are adaptable unit types.
6. Green Certification (F1)	• The proposal is seeking Built Green certification.
7. Education & Awareness (G1-G4)	• N/A

BY-LAW VARIANCES AND JUSTIFICATION

(a) Requested Variance:

- Reduce the minimum side yard setback (west) of the RM-30 Zone from 7.5 metres (25 ft.) to 3.0 metres (10 ft.);
- Reduce the minimum front yard setback (north) of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.);
- Reduce the minimum side yard setback (east) of the RM-30 Zone from 7.5 metres (25 ft.) to 3.0 metres (10 ft.); and
- Reduce the minimum rear yard setback (south) of the RM-30 Zone from 7.5 metres (25 ft.) to 5.0 metres (16 ft.).

Applicant's Reasons:

- The proposed setback variances maximize the development potential of the site given site constraints resulting from efforts to retain a grove of mature trees at the northeast corner of the site.
- Increased setbacks would result in a reduction of units, which would reduce the efficiency of the project.
- The proposed southern setback allows for a reasonable setback from the proposed parkland.

Staff Comments:

- The proposed setbacks are appropriate given site constraints resulting from road dedication and efforts to retain trees.
- The proposed 3.0 metre (10 ft.) side yard (west) setback is applicable to Building 13 only at the northwest corner of the site. The setback is proposed adjacent a new City road (128A Street) and will have minimal impact on adjacent properties. The remainder of the buildings along the west property are set back a minimum of 4.6 metres (15 ft.) for units facing the future 128A Street (Buildings 14 and 15).
- The proposed 4.5 metre (15 ft.) front yard (north) setback is applicable to Building 13 at the northwest corner of the site. The adjacent building (Building 12) is set back a minimum of 5.5 metres (18 ft.). This is a front yard condition that will bring the buildings closer to the street and enhance the public realm.
- The proposed 3.0 metre (10 ft.) side yard (east) setback is applicable to the side of Building 2 at the southeast corner of the site, adjacent a planned walkway connection and should have no impact on surrounding houses.
- The remainder of the buildings along the east property line are setback a minimum of 3.5 metres (12 ft.). This is a front yard condition that will bring the buildings closer to the street and enhance the public realm.
- The proposed 5.0 metre (16 ft.) rear yard (south) setback is proposed adjacent future parkland. Units are oriented towards the future park to ensure that they engage with this space. Further, the reduced setback and orientation will allow for surveillance over the parkland.
- Staff support the proposed variances.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary and Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	West Newton/Highway No. 10 NCP Plan
Appendix VII.	Development Variance Permit No. 7915-0038-00

INFORMATION AVAILABLE ON FILE

- Acoustical Report prepared by Brown Strachan Associates, dated August 13, 2015.
- Complete Set of Architectural and Landscape Plans prepared by Douglas R. Johnson Architect Ltd. and M2 Landscape Architecture, respectively, dated September 21, 2015 and September 15, 2015.

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

Information for City Clerk

Legal Description and Owners of all lots that form part of the application:

1. (a) Agent: Name: Douglas Johnson
 Douglas Johnson Architect Ltd.
 Address: 901 - West 3rd Street, Unit 374
 North Vancouver, BC V7P 3P9

 Tel: 604-998-3381

2. Properties involved in the Application
 - (a) Civic Addresses: 12885 No. 10 (58 Avenue) Highway
 12871 No. 10 (58 Avenue) Highway
 12872 - 59 Avenue

 - (b) Civic Address: 12885 No. 10 (58 Avenue) Highway
 Owner: Panorama Mews Developments Ltd.
 PID: 010-199-284
 Lot 2 Section 8 Township 2 New Westminster District Plan 16468

 - (c) Civic Address: 12871 No 10 (58 Avenue) Highway
 Owner: Panorama Mews Developments Ltd.
 PID: 010-199-314
 Parcel A (Explanatory Plan 40268) Lot 1 Section 8 Township 2 New Westminster District
 Plan 16468

 - (d) Civic Address: 12872 - 59 Avenue
 Owner: Panorama Mews Developments Ltd.
 PID: 028-322-924
 Lot 48 Section 8 Township2 New Westminster District Plan BCP45836

3. Summary of Actions for City Clerk's Office
 - (a) Introduce a By-law to rezone the property.

 - (b) Application is under the jurisdiction of MOTI.

 MOTI File No. 2015-02699

 - (c) Proceed with Public Notification for Development Variance Permit No. 7915-0038-00 and
 bring the Development Variance Permit forward for an indication of support by Council.
 If supported, the Development Variance Permit will be brought forward for issuance and
 execution by the Mayor and City Clerk in conjunction with the final adoption of the
 associated Rezoning By-law.

DEVELOPMENT DATA SHEET

Proposed Zoning: RM-30

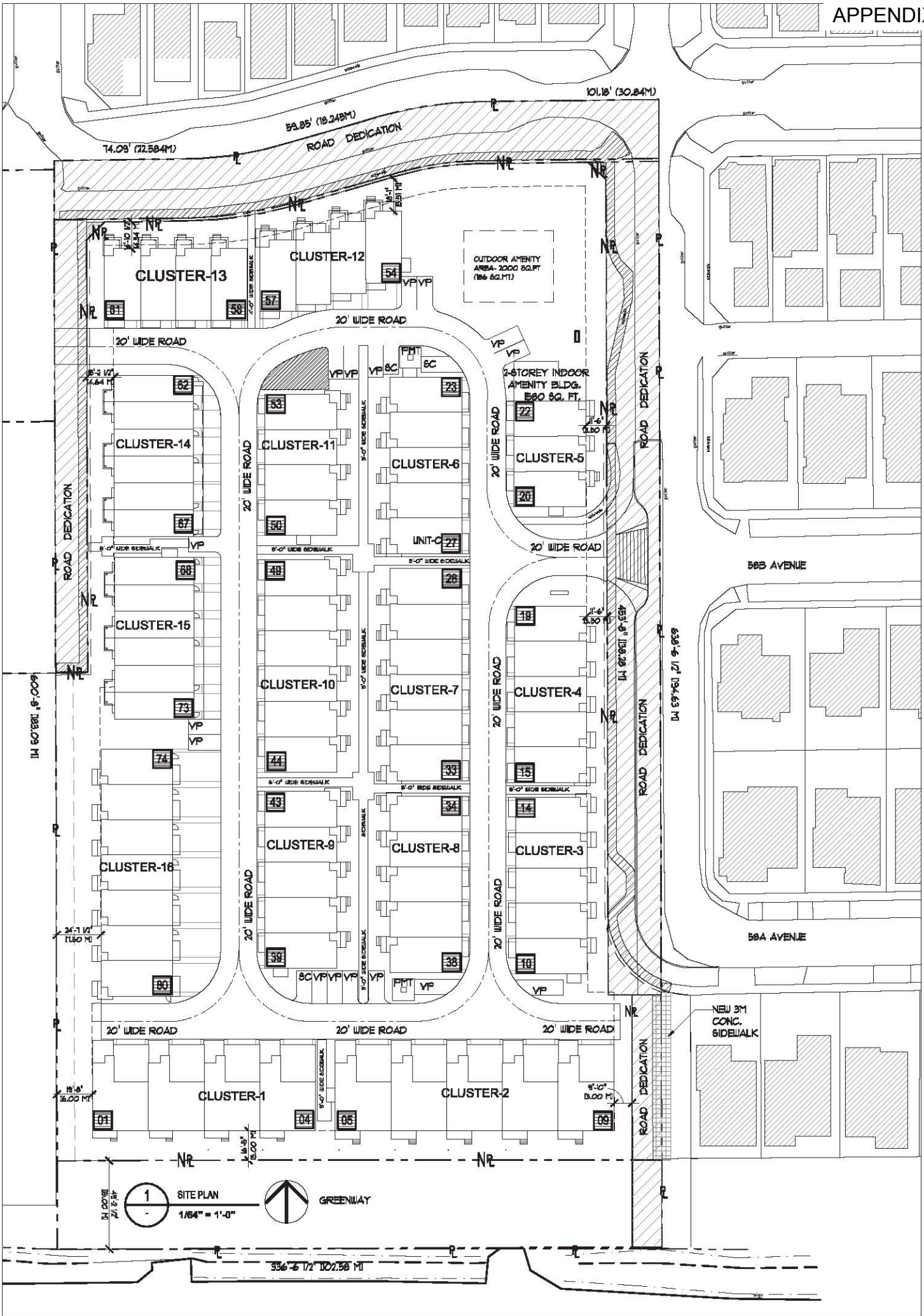
Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA (in square metres)		
Gross Total	-	19,488.7 m ²
Road Widening area	-	3,000.8 m ²
Undevelopable area (Park)	-	1,458.5 m ²
Net Total	-	15,029.4 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	42%
Paved & Hard Surfaced Areas	-	20%
Total Site Coverage	-	62%
SETBACKS (in metres)		
Side #1 (N)	7.5 m	4.0 m
Side #2 (S)	7.5 m	5.0 m
Side #3 (E)	7.5 m	3.0 m
Side #4 (W)	7.5 m	3.0 m
BUILDING HEIGHT (in metres/storeys)		
Principal	13 m	7 m (varies)
Accessory	11 m	n/a
NUMBER OF RESIDENTIAL UNITS		
Bachelor		0
One Bed		0
Two Bedroom		0
Three Bedroom +		80
Total		80
FLOOR AREA: Residential	13,530 m ²	13,528.58 m ²
FLOOR AREA: Commercial		
Retail	-	-
Office	-	-
Total	-	-
FLOOR AREA: Industrial	-	-
FLOOR AREA: Institutional	-	-
TOTAL BUILDING FLOOR AREA		13,528.58 m²

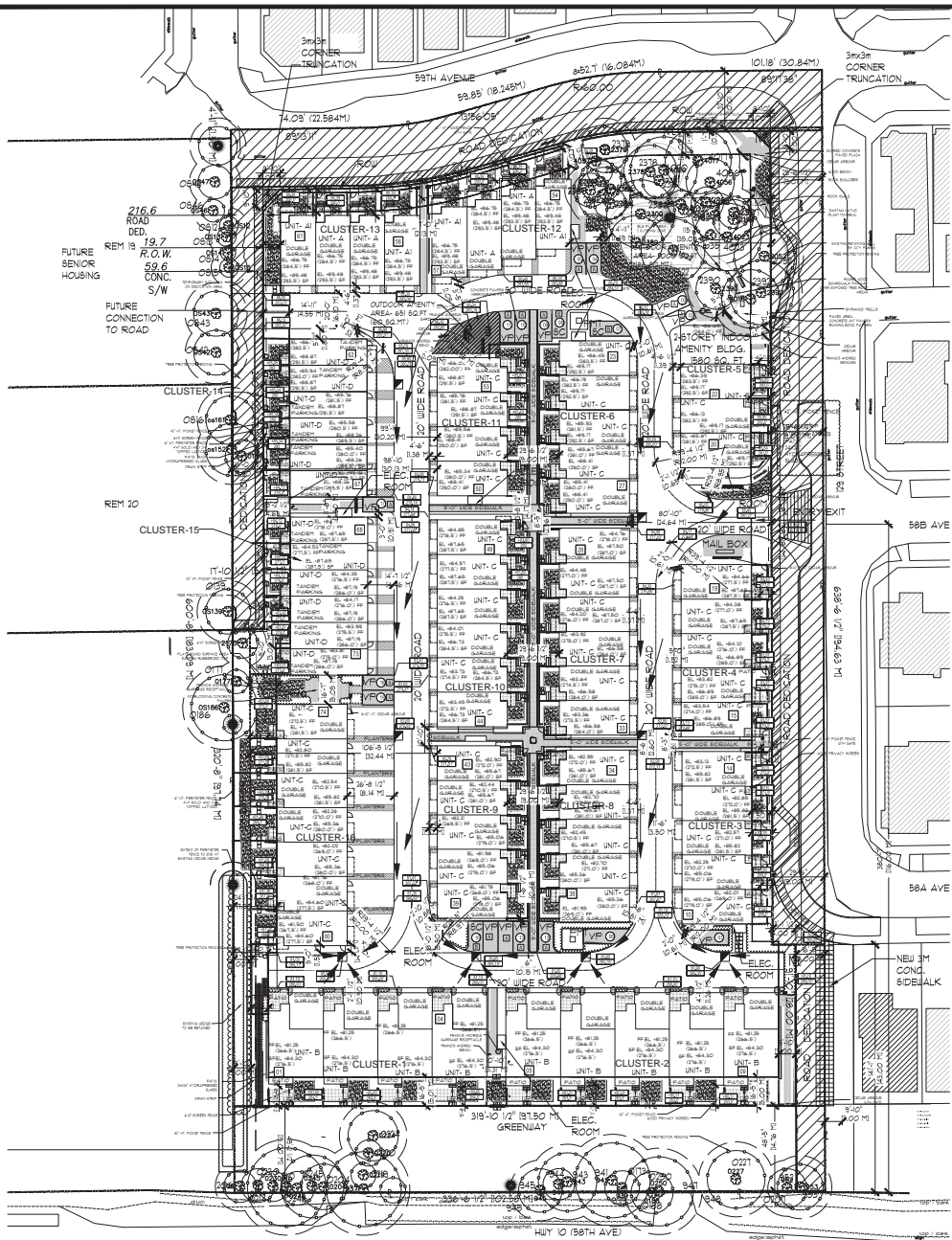
* Seeking variances

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		41 uph / 16 upa
# of units/ha /# units/acre (net)	75 uph / 30 upa	54 uph / 22 upa
FAR (gross)		0.70
FAR (net)	0.90	0.90
AMENITY SPACE (area in square metres)		
Indoor	240 m ²	147 m ²
Outdoor	240 m ²	246 m ²
PARKING (number of stalls)		
Commercial	N/A	N/A
Industrial	N/A	N/A
Residential Bachelor + 1 Bedroom 3-Bed	160	16
Residential Visitors	16	19
Institutional	n/a	n/a
Total Number of Parking Spaces	176	179
Number of disabled stalls		
Number of small cars	5	3
Tandem Parking Spaces: Number / % of Total Number of Units	40 / 50%	12 / 15%
Size of Tandem Parking Spaces width/length	3.2 m x 12.2 m	3.2 m x 13 m

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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TOWN HOUSES 17TH OCT 2014
 PROJECT NAME: 129 & 10 HWY
 ADDRESS: 12971 & 12885 - 58TH AVE, SURREY, BC & 12872 - 59TH AVE, SURREY, BC.

LEGAL DESCRIPTION: LOT 2 PLAN 16468 PCL "A" EXP PLAN 40268, & LOT 48 PLAN BC44836 ALL OF SECTION 8 TOWNSHIP 2, N.W. WESTMINSTER DISTRICT

GROSS SITE AREA	209775.00 S OR	194488.74	Sq mts OR	4.82	Acres
ROAD DEDICATION	32361.00 S OR	3000.86	Sq mts OR	0.74	Acres
GREENWAY	15689.00 S OR	1455.48	Sq mts OR	0.36	Acres
NET SITE AREA	161775.00 S OR	15029.38	Sq mts OR	3.71	Acres

TOTAL FLOOR AREA (INCLUDING GARAGE AREA)

CLUSTER 1	9899.44	S	919.69	Sq M
CLUSTER 2	12374.3	S	1149.81	Sq M
CLUSTER 3	11525	S	1070.71	Sq M
CLUSTER 4	11525	S	1070.71	Sq M
CLUSTER 5	8915	S	842.42	Sq M
CLUSTER 6	11525	S	1070.71	Sq M
CLUSTER 7	13830	S	1284.85	Sq M
CLUSTER 8	11525	S	1070.71	Sq M
CLUSTER 9	11525	S	1070.71	Sq M
CLUSTER 10	13830	S	1284.85	Sq M
CLUSTER 11	9220	S	856.57	Sq M
CLUSTER 12	9368	S	870.32	Sq M
CLUSTER 13	9368	S	870.32	Sq M
CLUSTER 14	12101.7	S	1124.28	Sq M
CLUSTER 15	12101.7	S	1124.28	Sq M
CLUSTER 16	16135	S	1498.99	Sq M
TOTAL AREA	182768.14	S	16979.72	Sq M

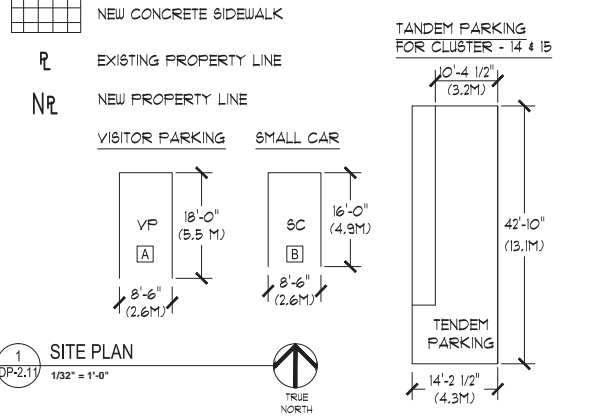
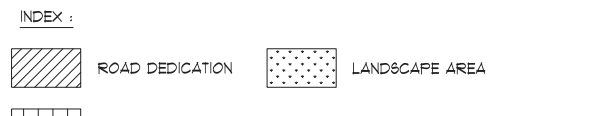
FLOOR AREA RATIO:
 F.A.R. = NET AREA + ELEC. ROOMS (EXCLUDING GARAGE AREAS) / NET SITE AREA
 145800.40 / 161775.00 = **0.90 FSR**
 F.A.R. = NET AREA + ELEC. ROOMS (EXCLUDING GARAGE AREAS) / GROSS SITE AREA
 145800.40 / 209775.00 = **0.70 FSR**
 LOT COVERAGE = LOWER FLOOR AREA / NET SITE AREA
 58068.74 / 161775.00 = **36%**

TYPES & AREAS

S.NO	TYPE	NO UNITS	AREAS					GARAGE	FAR AREA (EX GARAGE)			
			GARAGE	LOWER FLOOR	MAIN FLOOR	UPPER FLOOR	FAR AREA (EX GARAGE)					
1	UNIT A	41	410.00	38.09	374.00	34.75	740.00	68.75	780.00	72.48	6080.00	564.85
2	UNIT A1	41	423.00	39.3	386.00	35.86	704.00	70.98	807.00	74.97	6284.00	583.8
3	UNIT B	9	400.86	37.24	-	-	901.00	92.07	1065.00	100.61	1866.00	1734.15
4	UNIT C	51	408.00	37.8	362.00	33.63	745.00	69.21	790.00	73.39	9674.00	
5	UNIT D	12	530.00	49.24	129.95	12.07	677.00	62.9	680.00	63.17	17843.4	1687.71
TOTAL AREA	80	27695.74	2573.02	2145.00	1993.14	5283.4	4493.84	5627.7	5228.3	145620.4	13528.58	

AMENITY AREA
 AMENITY AREA (INDOOR AREA) 1580.00 146.79
 OUT DOOR AMENITY AREA 2651.00 246.29

PROPOSED PARKING
 TOTAL PARKING PROVIDED 80% 160 STALLS
 TOTAL VISITOR PARKING PROVIDED 80% 2 19 STALLS
TOTAL 179 STALLS



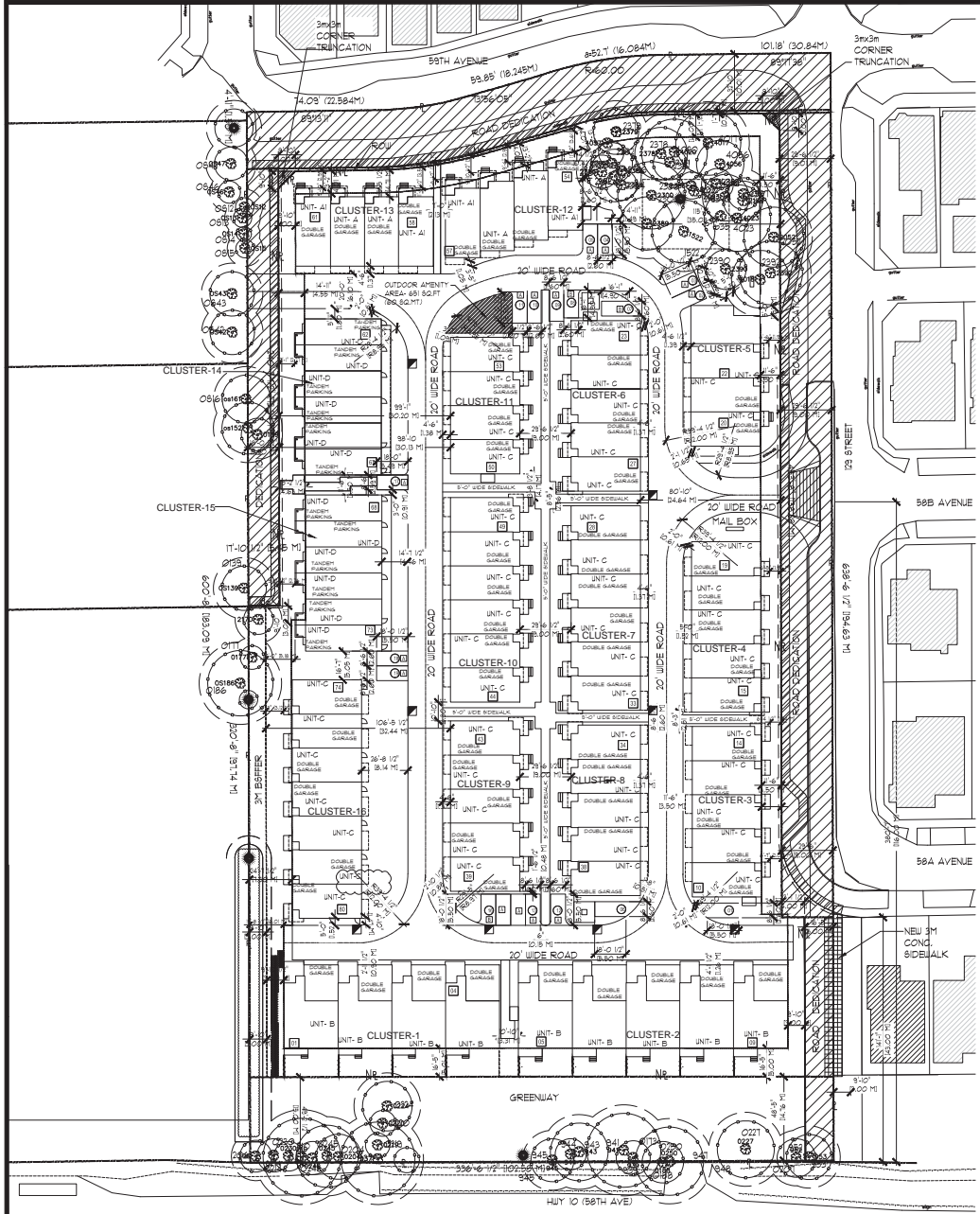
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


MARK	DATE	DESCRIPTION
1	14-DEC-2014	PRELIMINARY LAYOUT
2	17-JUN-2015	PRELIMINARY DESIGN
3	21-SEP-2015	PRELIMINARY DESIGN
4	15-OCT-2015	DP PREVISIONS
5	15-OCT-2015	DP PREVISIONS

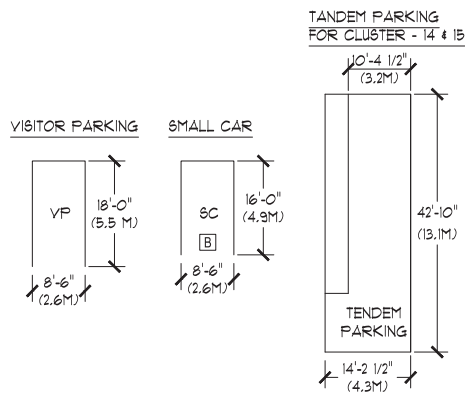
PROJECT: 129 & HWY 10 TOWNHOUSES
 12885 - 58TH AVE, SURREY, BC
 12872 - 59TH AVE, SURREY, BC
 SHEET DESCRIPTION: SITE PLAN

OWNER: DOUGLAS R. JOHNSON ARCHITECT LTD.
 #374-901 WEST 3RD ST.
 NORTH VANCOUVER, BC V7P 3P9
 PH. (604) 998-3381
 FAX. (604) 998-0217

SCALE: 1/32" = 1'-0"
 DATE: 19 SEP 2014
 DRAWN: SHEET: DP-2.11
 REVISIONS: 5



- INDEX :
-  ROAD DEDICATION
 -  NEW CONCRETE SIDEWALK
 -  EXISTING PROPERTY LINE
 -  NEW PROPERTY LINE
 -  OUTDOOR AREA



1 SITE PLAN - BASE PLAN
 DP-2.12 1/32" = 1'-0"
 TRUE NORTH

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MARK	DATE	DESCRIPTION
1	04 DEC 2014	PRELIMINARY LAYOUT
2	17 JULY 2015	DP REVISIONS
3	21 JULY 2015	DP REVISIONS
4	21 SEPT 2015	DP REVISIONS
5	05 OCT 2015	DP REVISIONS

PROJECT: 129 & HWY 10 TOWNHOUSES
 14175 - 54TH AVENUE, NORTH VANCOUVER, BC V7P 3P9
 SHEET DESCRIPTION: SITE PLAN BASE PLAN

OWNER: DOUGLAS R. JOHNSON ARCHITECT LTD.
 #374-901 WEST 3RD ST.
 NORTH VANCOUVER, BC V7P 3P9
 PH: (604) 998-3381
 FAX: (604) 998-0217

SCALE:	PROJECT NO:
1/32" = 1'-0"	-----
DATE:	SHEET:
19 SEP 2014	-----
DRAWN:	REVISIONS:
-----	DP-2.12



1 VIEW FROM NORTH EAST
DP-0.01



2 VIEW FROM SOUTH WEST
DP-0.01

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	27 SEP 2014	DP REVISIONS
3	27 SEP 2014	DP REVISIONS
4	27 SEP 2014	DP REVISIONS
5	27 SEP 2014	DP REVISIONS

PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC

OWNER:

CLUSTER 1 - UNIT B -3D VIEW

DOUGLAS R. JOHNSON ARCHITECT LTD.
#574-901 WEST 3RD ST.,
NORTH VANCOUVER, BC V7P 3P9
PH: (604) 998-3381
FAX: (604) 998-0217

SCALE:	PROJECT NO.:
DATE: 17 SEP 2014	
DRAWN:	SHEET:
REVISIONS:	DP-0.01

5



1 COLOURED SOUTH ELEVATION
 DP-1.01 1/8" = 1'-0"

LEGEND :

GREY - I + BLUE MATERIAL	COLOR	
15 LEDGE STONE	DARK GREY	
16 FLASHING	GREY	
17 GUARDRAILING	BLACK	
18 ASPHALT SHINGLES	DARK GREY	
19 TRIM / FASCIA	SW 1674 PEPPERCORN	
21 8" VINYL SIDING BOARD + BATTEN	GENTEK COASTAL BLUE	
22 HARDI PANEL	SW 1660 EARL GREY	
23 XTERIA WALL SHINGLES	FLAGSTONE BLUE	
24 WINDOW + DOORS	WHITE	
25 8" VINYL SIDING BOARD + BATTEN	GENTEK PEARL	

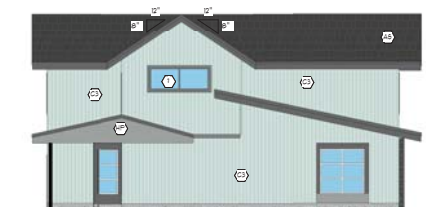
ALL COLORS SHERWIN WILLIAMS EXCEPT AS NOTED



2 COLOURED NORTH ELEVATION
 DP-1.01 1/8" = 1'-0"



3 COLOURED EAST ELEVATION
 DP-1.01 1/8" = 1'-0"



4 COLOURED WEST ELEVATION
 DP-1.01 1/8" = 1'-0"

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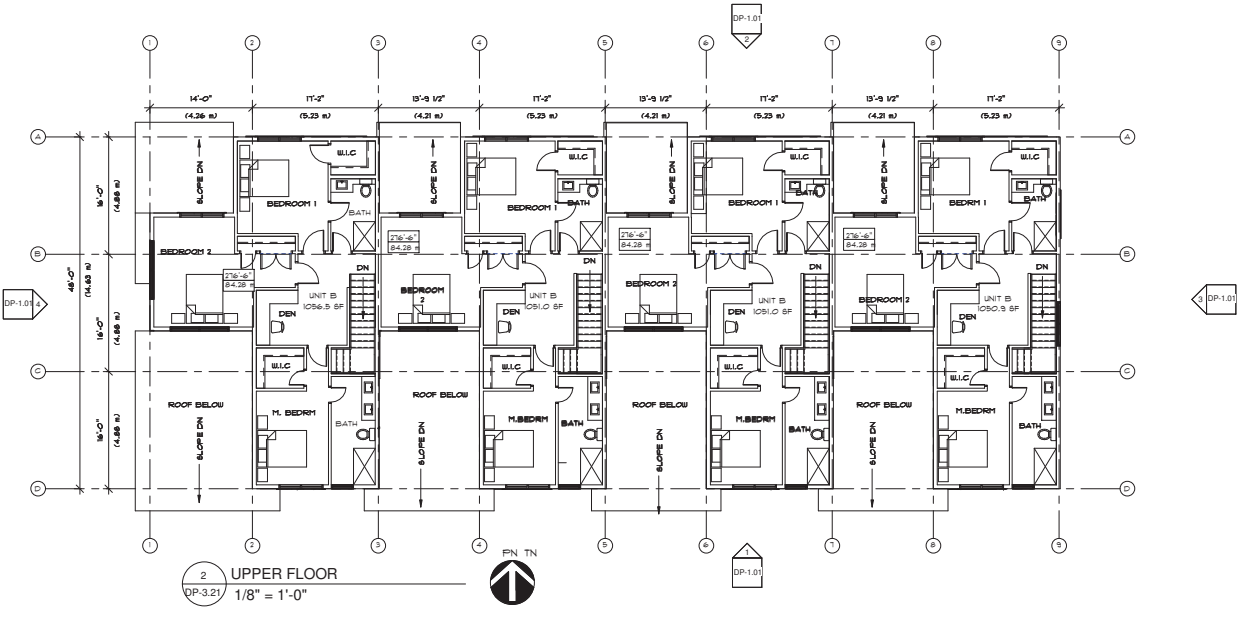
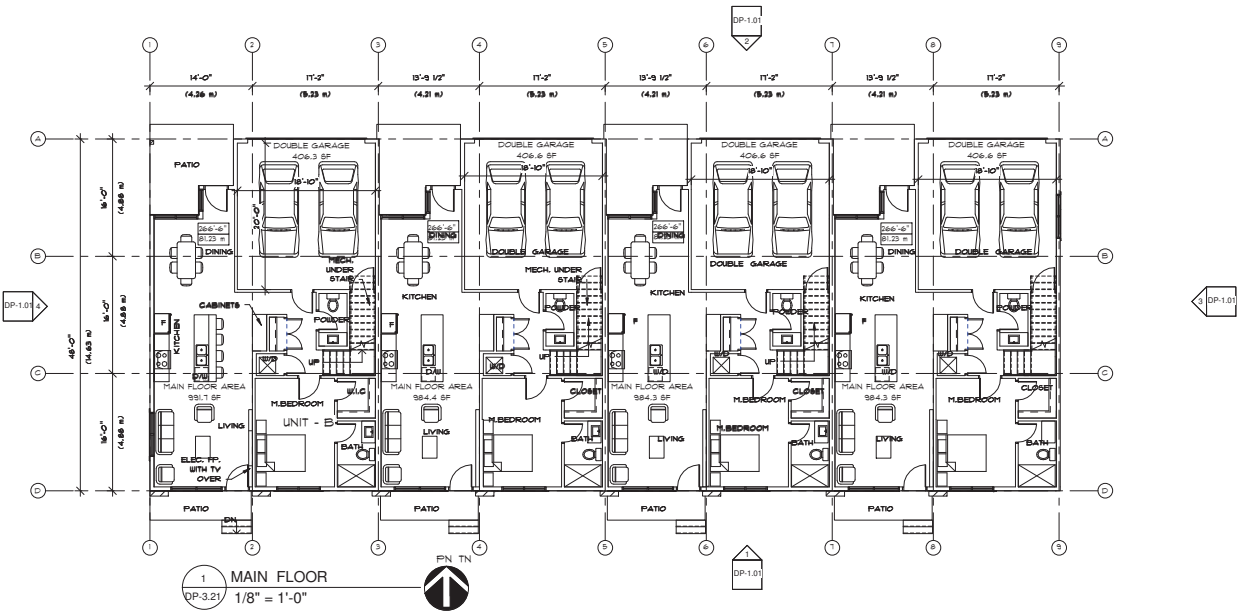
NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	11 AUG 2015	DP REVISIONS
3	2 SEP 2015	DP REVISIONS
4	29 SEP 2015	DP REVISIONS
5		DP REVISIONS

PROJECT:
 129 & HWY 10
 SUBURBY, BC

OWNER:
 CLUSTER 1 - UNIT B -
 COLOURED ELEVATIONS

DOUGLAS R. JOHNSON ARCHITECT LTD.
 #374-901 WEST 3RD ST.
 NORTH VANCOUVER, BC V7P 3P9
 PH: (604) 998-3381
 FAX: (604) 998-0217

SCALE: As Indicated
 DATE: 10 SEP 2014
 DRAWN: PROJECT NO:
 SHEET:
 REVISION: DP-1.01
 5



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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	11 OCT 2014	DP REVISIONS
3	7 NOV 2014	DP REVISIONS
4	2 DEC 2014	DP REVISIONS
5	25 DEC 2014	DP REVISIONS

PROJECT:
129 & HWY 10
 129 & HWY 10,
 SUDBURY, ONT.
 OWNER:
CLUSTER 1 - UNIT B - FLOOR PLANS

DOUGLAS R. JOHNSON ARCHITECT LTD.
 #374-901 WEST 3RD ST.,
 NORTH VANCOUVER, BC V7P 3P9
 Ph: (604) 998-3381
 Fax: (604) 998-0217

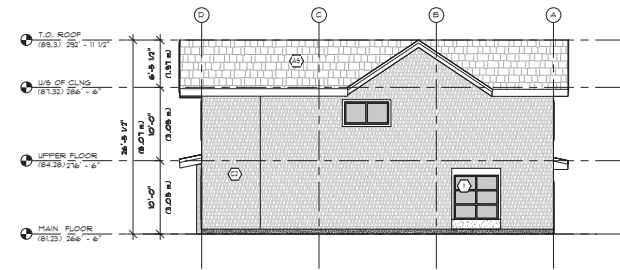
SCALE: 1/8" = 1'-0"	PROJECT NO.:
DATE: 10 SEP 2014	
DRAWN:	SHEET:
REVISIONS:	DP-3.21



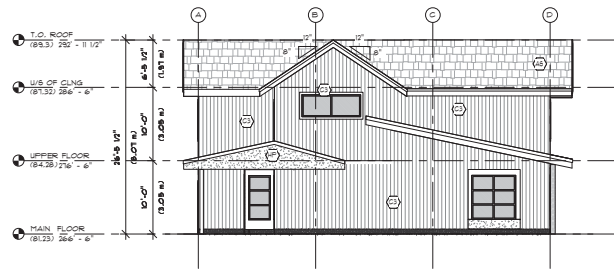
1 SOUTH ELEVATION
DP-5.11 1/8" = 1'-0"



2 NORTH ELEVATION
DP-5.11 1/8" = 1'-0"



3 EAST ELEVATION
DP-5.11 1/8" = 1'-0"



4 WEST ELEVATION
DP-5.11 1/8" = 1'-0"

LEGEND :

SYMBOL	DESCRIPTION	COLOR
GREY-1	BLUE MATERIAL	
LS	LEDGE STONE	DARK GREY
FL	FLASHING	GREY
GR	GUARD/RAILING	BLACK
AS	ASPHALT SHINGLES	DARK GREY
TR	TRIM / FASCIA	GU '614 PEPPERCORN
BT	8" VINYL SIDING BOARD + BATTEN	GENTEK COASTAL BLUE
HP	HARDI PANEL	GU '660 EARL GREY
MS	XTERIA WALL SHINGLES	FLAGSTONE BLUE
WD	WINDOWS + DOORS	WHITE
CS	8" VINYL SIDING BOARD + BATTEN	GENTEK PEARL

ALL COLORS SHERWIN WILLIAMS EXCEPT AS NOTED

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NO.	DATE	REVISION
1	27 SEP 2014	PRELIMINARY DESIGN
2	27 SEP 2014	DP REVISIONS
3	27 SEP 2014	DP REVISIONS
4	27 SEP 2014	DP REVISIONS
5	27 SEP 2014	DP REVISIONS

PROJECT: **129 & HWY 10**
129 & HWY 10, SUDBURY, BC

OWNER: **CLUSTER 1 - UNIT B**
-ELEVATIONS

DOUGLAS R. JOHNSON ARCHITECT LTD.
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Ph: (604) 998-3381
Fax: (604) 998-0217

SCALE: As indicated
DATE: 10 SEP 2014
DRAWN: PROJECT NO:
SHEET:
REVISION: **DP-5.11**

5



1 VIEW FROM NORTH EAST
DP-0.02



2 VIEW FROM SOUTH WEST
DP-0.02

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	27 SEP 2014	DP REVISIONS
3	27 SEP 2014	DP REVISIONS
4	27 SEP 2014	DP REVISIONS
5	27 SEP 2014	DP REVISIONS

PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC

OWNER:

CLUSTER 2 - UNIT B -3D VIEW

DOUGLAS R. JOHNSON ARCHITECT LTD.
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NORTH VANCOUVER, BC V7P 3P9
PH: (604) 998-3381
FAX: (604) 998-0217

SCALE:	PROJECT NO.:
DATE: 27 SEP 2014	
DRAWN:	SHEET:
REVISIONS:	DP-0.02

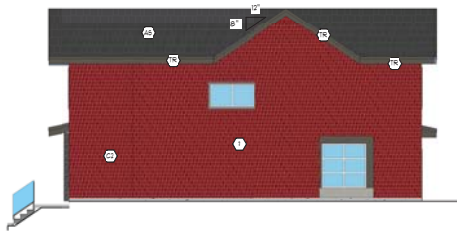




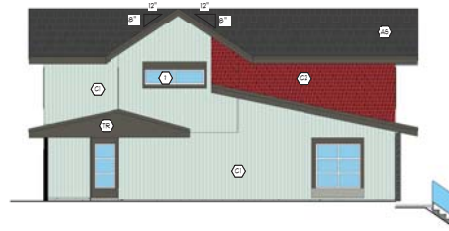
3 COLOURED SOUTH ELEVATION
 DP-1.02/ 1/8" = 1'-0"



2 COLOURED NORTH ELEVATION
 DP-1.02/ 1/8" = 1'-0"



1 COLOURED EAST ELEVATION
 DP-1.02/ 1/8" = 1'-0"



4 COLOURED WEST ELEVATION
 DP-1.02/ 1/8" = 1'-0"

LEGEND :

GRAY-2 4 RED MATERIAL	COLOR	
(L5) LEDGE STONE	DARK GRAY	
(L1) FLASHING	GRAY	
(GR) GUARD/RAILING	BLACK	
(AS) ASPHALT SHINGLES	DARK GRAY	
(TV) TRIM / FASCIA	SI 7645 THUNDER GRAY	
(C1) 8" VINYL SIDING BOARD 4 BATTEN	GENTEK PEARL	
(HP) HARDI PANEL	SI 7655 STAMPEDED CONCRETE	
(X) XTERIA WALL SHINGLES	BARK RED	
(W) WINDOWS 4 DOORS	WHITE	
(RD) ROLL-UP DOOR	CHARCOAL STONE GRAY	

ALL COLORS SHERWIN WILLIAMS EXCEPT AS NOTED

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	27 SEP 2014	DP REVISIONS
3	27 SEP 2014	DP REVISIONS
4	27 SEP 2014	DP REVISIONS
5	29 OCT 2014	DP REVISIONS

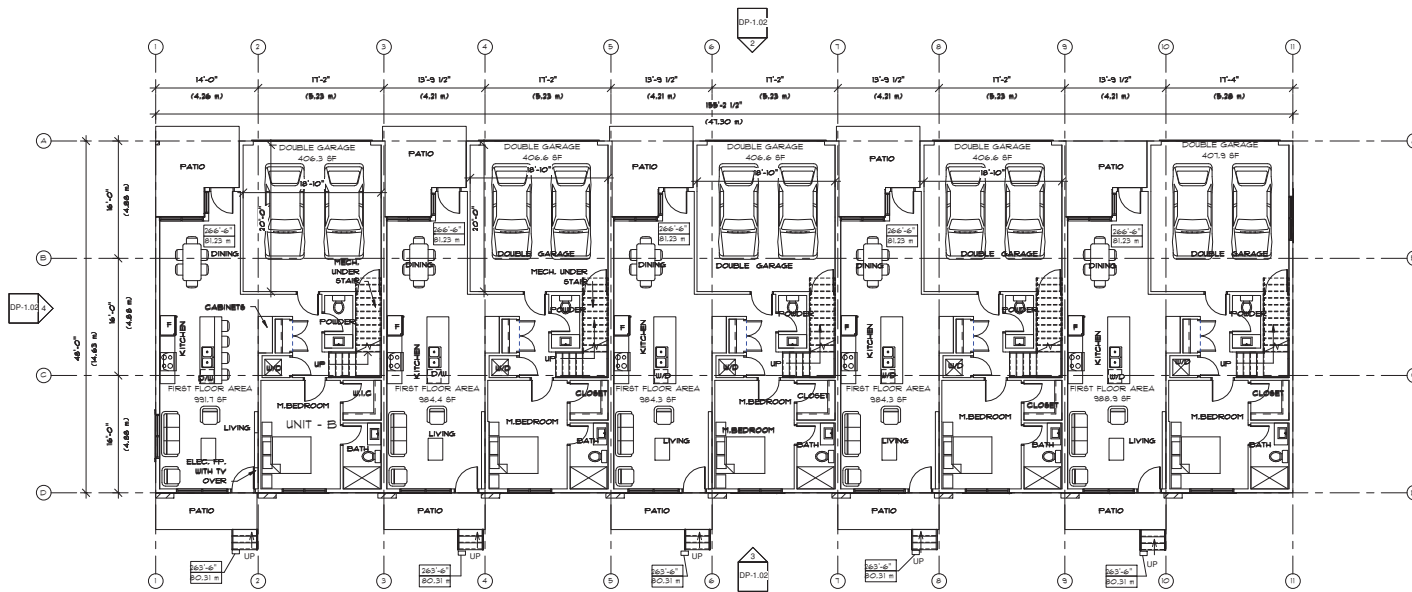
PROJECT:
129 & HWY 10
 129 & HWY 10,
 SUDBURY, ONT

OWNER:
**CLUSTER 2 - UNIT B -
 COLOURED ELEVATIONS**

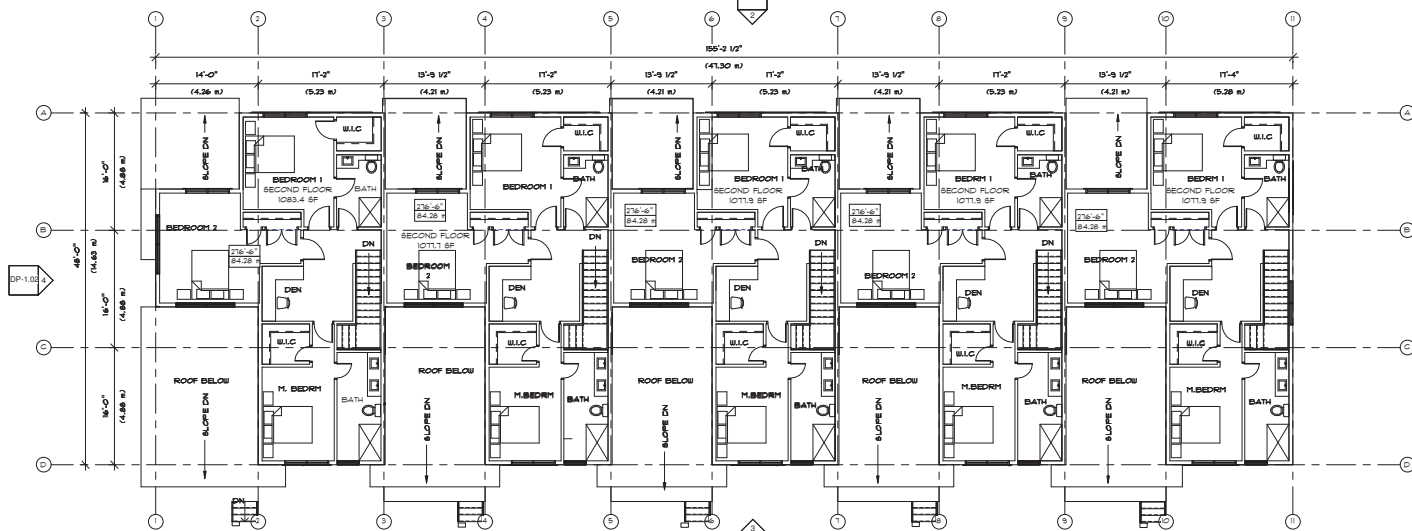
DOUGLAS R. JOHNSON
 ARCHITECT LTD.
 #574-901 WEST 3RD ST.,
 NORTH VANCOUVER, BC V7P 3P9
 Ph: (604) 998-3381
 Fax: (604) 998-0217

SCALE: As indicated PROJECT NO: _____
 DATE: 10 SEP 2014
 DRAWN: _____ SHEET: _____
 REVISIONS: DP-1.02

10/5/2015 7:06:13 PM



1 FIRST FLOOR PLAN
 DP-3.21 1/8" = 1'-0"



2 SECOND FLOOR PLAN
 DP-3.21 1/8" = 1'-0"

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	10 OCT 2014	DP REVISIONS
3	21 OCT 2014	DP REVISIONS
4	28 OCT 2014	DP REVISIONS
5	29 OCT 2014	DP REVISIONS

PROJECT: 129 & HWY 10, SUDBURY, BC

OWNER: CLUSTER 2 - UNIT B - FLOOR PLANS

DOUGLAS R. JOHNSON ARCHITECT LTD.
 #374-901 WEST 3RD ST., NORTH VANCOUVER, BC V7P 3P9
 Ph: (604) 298-3381
 Fax: (604) 298-0217

SCALE: 1/8" = 1'-0"	PROJECT NO:
DATE: 10 SEP 2014	
DRAWN:	SHEET:
REVISION:	DP-3.21

5



1 SOUTH ELEVATION
DP-5.21 1/8" = 1'-0"

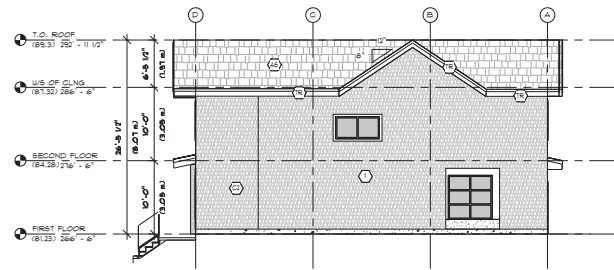
LEGEND :

GRAY-2 + RED MATERIAL	COLOR	
LS LEDGE STONE	DARK GRAY	
FL FLASHING	GRAY	
GR GUARD/RAILING	BLACK	
AS ASPHALT SHINGLES	DARK GRAY	
TR TRIM / FASCIA	BU 1649 THUNDER GRAY	
VT VINYL SIDING BOARD + BATTEN	GENTEK PEARL	
HP HARDI PANEL	BU 1656 STAMPED CONCRETE	
XT XTERRA WALL SHINGLES	BARN RED	
W WINDOWS + DOORS	WHITE	
RD ROLL-UP DOOR	CHARCOAL STONE GRAY	

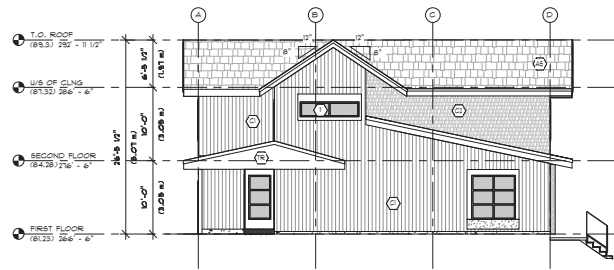
ALL COLORS SHERWIN WILLIAMS EXCEPT AS NOTED



2 NORTH ELEVATION
DP-5.21 1/8" = 1'-0"



3 EAST ELEVATION
DP-5.21 1/8" = 1'-0"



4 WEST ELEVATION
DP-5.21 1/8" = 1'-0"

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NO.	DATE	REVISION
1	22 SEP 2014	PRELIMINARY DESIGN
2	23 SEP 2014	DP REVISIONS
3	24 SEP 2014	DP REVISIONS
4	25 SEP 2014	DP REVISIONS
5	26 SEP 2014	DP REVISIONS

PROJECT: **129 & HWY 10**
129 & HWY 10, SURREY, BC

OWNER: **CLUSTER 2 - UNIT B**
-ELEVATIONS

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#574-901 WEST 3RD ST., NORTH VANCOUVER, BC V7P 3P9
Ph: (604) 998-3381
Fax: (604) 998-0217

SCALE: As indicated
DATE: 10 SEP 2014
DRAWN: PROJECT NO:
SHEET: DP-5.21

5



1 3D View 1
DP-0.03



2 3D View 2
DP-0.03

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	10 AUG 2015	DP REVISIONS
3	11 AUG 2015	DP REVISIONS
4	11 SEP 2015	DP REVISIONS
5	26 OCT 2015	DP REVISIONS

PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC

OWNER:

CLUSTER-3 (UNIT C)- 3D VIEW

DOUGLAS R. JOHNSON ARCHITECT LTD.
#574-901 WEST 3RD ST.,
NORTH VANCOUVER, BC V7P 3P9
PH: (604) 998-3381
FAX: (604) 998-0217

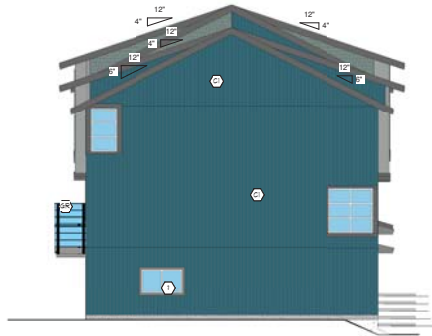
NO.	DATE	REVISION
5	10 SEP 2014	DP-0.03



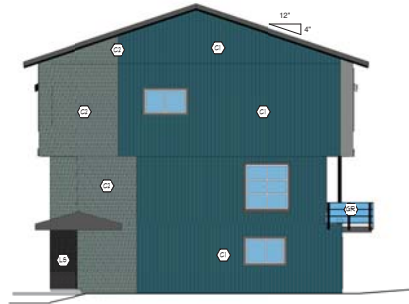
1 COLOURED SOUTH ELEVATION
DP-1.03
1/8" = 1'-0"



2 COLOURED NORTH ELEVATION
DP-1.03
1/8" = 1'-0"



3 COLOURED EAST ELEVATION
DP-1.03
1/8" = 1'-0"



4 COLOURED WEST ELEVATION
DP-1.03
1/8" = 1'-0"

LEGEND :

GRAY-1 BLUE MATERIAL	COLOR	
(L5) LEDGE STONE	DARK GRAY	
(F1) FLASHING	GRAY	
(GR) GUARD/RAILING	BLACK	
(AS) ASPHALT SHINGLES	DARK GRAY	
(V1) VINYL / FASCIA	SH '1614 PEPPERCORN	
(V2) 6" VINYL SIDING BOARD 4 BATTEN	GENTEK COASTAL BLUE	
(HP) HARDI PANEL	SH '1660 EARL GRAY	
(X1) XTERIA WALL SHINGLES	FLAGSTONE BLUE	
WINDOWS 4 DOORS	WHITE	
(V3) 6" VINYL SIDING BOARD 4 BATTEN	GENTEK PEARL	
(RD) ROLL-UP DOOR	CHARCOAL STONE GRAY	

ALL COLORS SHERWIN WILLIAMS EXCEPT AS NOTED

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	11 AUG 2015	DP REVISIONS
3	2 AUG 2015	DP REVISIONS
4	2 SEP 2015	DP REVISIONS
5	29 OCT 2015	DP REVISIONS

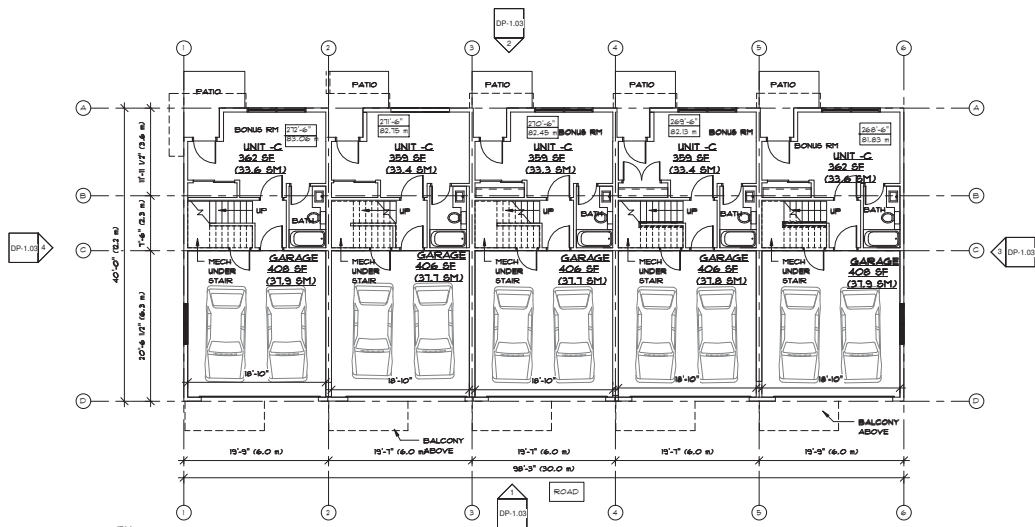
PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC

OWNER:
CLUSTER-3 (UNIT C) -
COLOURED ELEVATIONS

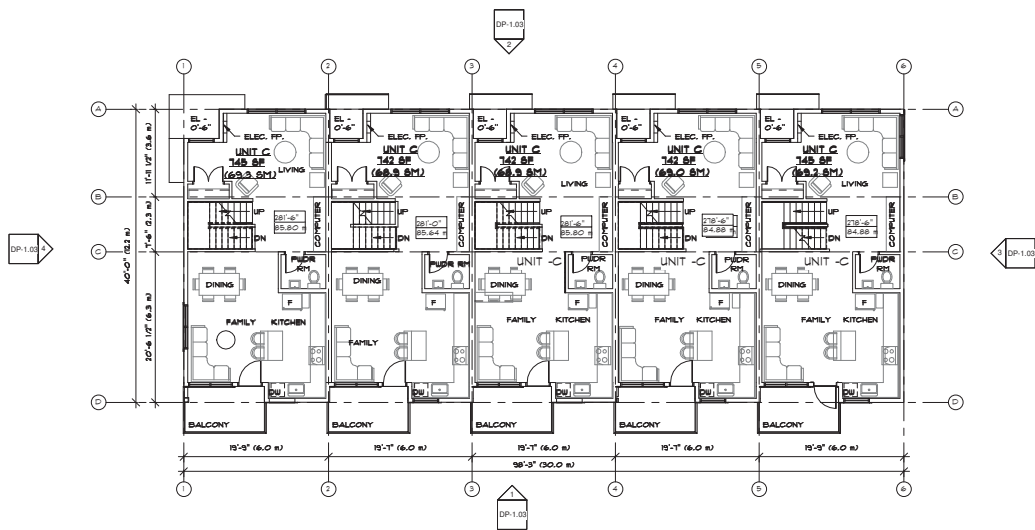
DOUGLAS R. JOHNSON ARCHITECT LTD.
#374-901 WEST 3RD ST.,
NORTH VANCOUVER, BC V7P 3P9
Ph: (604) 998-3381
FAX: (604) 998-0217

SCALE	PROJECT NO.
As Indicated	---
DATE 10 SEP 2014	
DRAWN	SHEET
REVISIONS	DP-1.03

5



1 FIRST FLOOR PLAN
 DP-3.31 1/8" = 1'-0"



2 SECOND FLOOR PLAN
 DP-3.31 1/8" = 1'-0"

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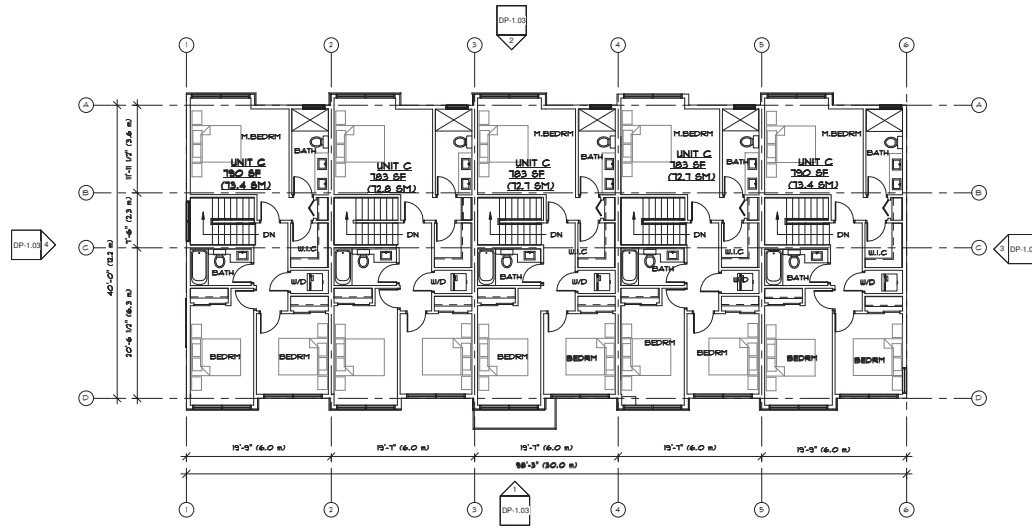
NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	27 SEP 2014	DP REVISIONS
3	27 SEP 2014	DP REVISIONS
4	27 SEP 2014	DP REVISIONS
5	27 SEP 2014	DP REVISIONS

PROJECT:
129 & HWY 10
 109 & HWY 10,
 SUDBURY, ONT.

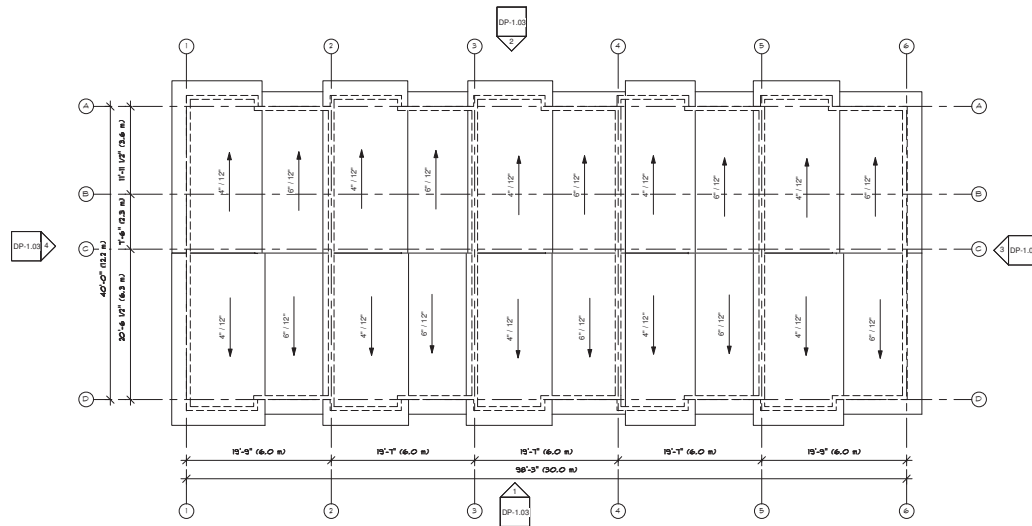
OWNER:
CLUSTER-3 (UNIT C) - FLOOR PLANS

DOUGLAS R. JOHNSON
 ARCHITECT LTD.
 #374-901 WEST 3RD ST.,
 NORTH VANCOUVER, BC V7P 3P9
 Ph: (604) 998-3381
 Fax: (604) 998-0217

SCALE: 1/8" = 1'-0"	PROJECT NO: ---
DATE: 27 SEP 2014	SHEET: ---
DRAWN: ---	DESIGNED: ---
REVISIONS: 5	SHEET NO: DP-3.31



1 THIRD FLOOR PLAN
DP-3.32/ 1/8" = 1'-0"



2 U/S OF CLNG 10&11
DP-3.32/ 1/8" = 1'-0"

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	27 SEP 2014	REV. 01
3	27 SEP 2014	DP REVISIONS
4	27 SEP 2014	DP REVISIONS
5	27 SEP 2014	DP REVISIONS

PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC

OWNER:
CLUSTER-3 (UNIT C) - FLOOR PLANS

DOUGLAS R. JOHNSON ARCHITECT LTD.
#374-901 WEST 3RD ST.,
NORTH VANCOUVER, BC V7P 3P9
Ph: (604) 998-3381
Fax: (604) 998-0217

SCALE: 1/8" = 1'-0"	PROJECT NO.:
DATE: 27 SEP 2014	
DRAWN:	SHEET:
REVISIONS:	DP-3.32

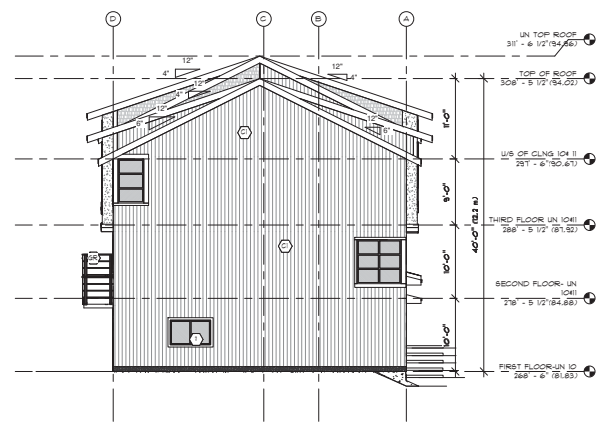
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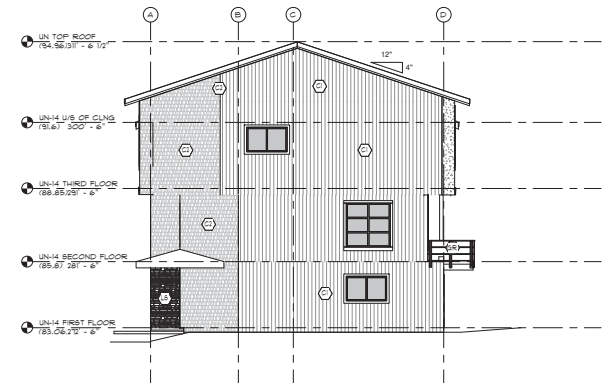
1 SOUTH ELEVATION
DP-5.31 / 1/8" = 1'-0"



2 NORTH ELEVATION
DP-5.31 / 1/8" = 1'-0"



3 EAST ELEVATION
DP-5.31 / 1/8" = 1'-0"



4 WEST ELEVATION
DP-5.31 / 1/8" = 1'-0"

LEGEND :

GRAY - 14 BLUE MATERIAL	COLOR	
(LS) LEDGE STONE	DARK GRAY	
(FL) FLASHING	GRAY	
(GR) GUARD/RAILING	BLACK	
(AS) ASPHALT SHINGLES	DARK GRAY	
(T) TYPY / FASCIA	DU 7614 PEPPERCORN	
(V) 8" VINYL SIDING BOARD & BATTEN	GENTEK COASTAL BLUE	
(HP) HARDY PANEL	DU 7660 EARL GRAY	
(X) XTERIA BALL SHINGLES	FLAGSTONE BLUE	
(W) WINDOW & DOORS	WHITE	
(S) 8" VINYL SIDING BOARD & BATTEN	GENTEK PEARL	
(RD) ROLL-UP DOOR	CHARCOAL STONE GRAY	

ALL COLORS SHERWIN WILLIAMS EXCEPT AS NOTED

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DATE	DESCRIPTION
27 SEP 2015	PRELIMINARY DESIGN
7 OCT 2015	DP REVISIONS
7 NOV 2015	DP REVISIONS
2 DEC 2015	DP REVISIONS
25 DEC 2015	DP REVISIONS

PROJECT: 129 & HWY 10
129 & HWY 10, SUDBURY, BC

OWNER: CLUSTER-3 (UNIT C) - EXT. ELEVATIONS

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Fax: (604) 998-0217

SCALE	PROJECT NO.
As Indicated	

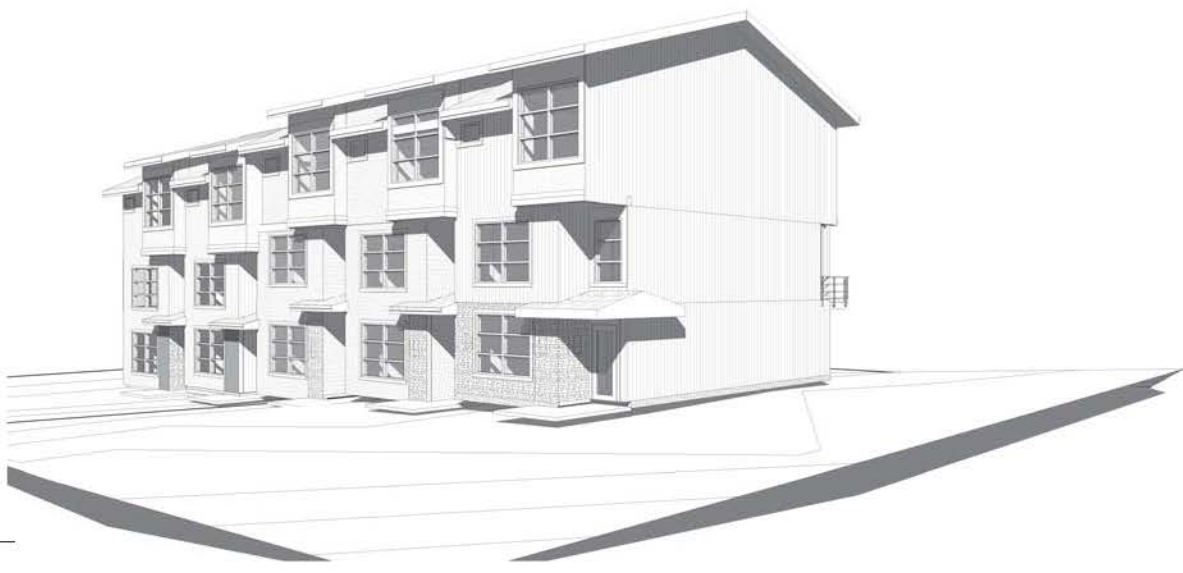
DATE	SHEET
17 SEP 2014	

REVISION: DP-5.31

5



1 3D View 1
DP-0.04



2 3D View 2
DP-0.04

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	10 AUG 2015	DP REVISIONS
3	11 AUG 2015	DP REVISIONS
4	11 SEP 2015	DP REVISIONS
5	26 OCT 2015	DP REVISIONS

PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC

OWNER:
CLUSTER-4 (UNIT C)- 3D VIEW

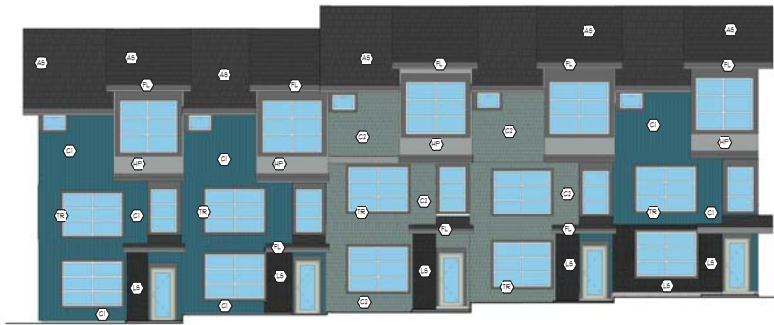
DOUGLAS R. JOHNSON ARCHITECT LTD.
#574-901 WEST 3RD ST.,
NORTH VANCOUVER, BC V7P 3P9
PH: (604) 298-3381
FAX: (604) 298-0217

SCALE	PROJECT NO.
DATE 10 SEP 2014	
DRAWN	SHEET
REVISIONS	DP-0.04

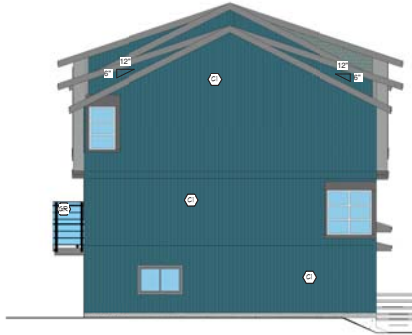




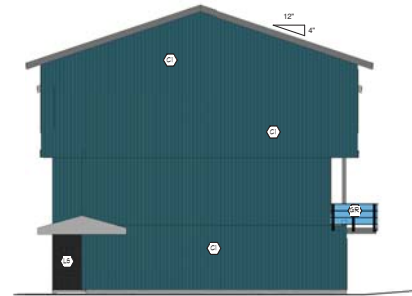
1 COLOURED SOUTH ELEVATION
DP-1.04 1/8" = 1'-0"



2 COLOURED NORTH ELEVATION
DP-1.04 1/8" = 1'-0"



3 COLOURED EAST ELEVATION
DP-1.04 1/8" = 1'-0"



4 COLOURED WEST ELEVATION
DP-1.04 1/8" = 1'-0"

LEGEND :

GREY-1 & BLUE MATERIAL	COLOR	
(L5) LEDGE STONE	DARK GREY	
(L6) FLASHING	GREY	
(L7) GUARD/RAILING	BLACK	
(L8) ASPHALT SHINGLES	DARK GREY	
(L9) TRIM / FASCIA	SW 1674 PEPPERCORN	
(L10) 8" VINYL SIDING BOARD & BATTEN	GENTEK COASTAL BLUE	
(L11) HARDI PANEL	SW 1660 EARL GREY	
(L12) XTERIA WALL SHINGLES	FLAGSTONE BLUE	
(L13) WINDOWS & DOORS	WHITE	
(L14) 8" VINYL SIDING BOARD & BATTEN	GENTEK PEARL	
(L15) ROLL-UP DOOR	CHARCOAL STONE GREY	

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	11 AUG 2015	DP REVISIONS
3	2 MAR 2016	DP REVISIONS
4	2 SEP 2016	DP REVISIONS
5	29 OCT 2016	DP REVISIONS

PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC
OWNER:
**CLUSTER-4 (UNIT C) -
COLOURED ELEVATIONS**

**DOUGLAS R.
JOHNSON
ARCHITECT LTD.**
#374-901 WEST 3RD ST.,
NORTH VANCOUVER, BC V7P 3P9
Ph: (604) 998-3381
Fax: (604) 998-0217

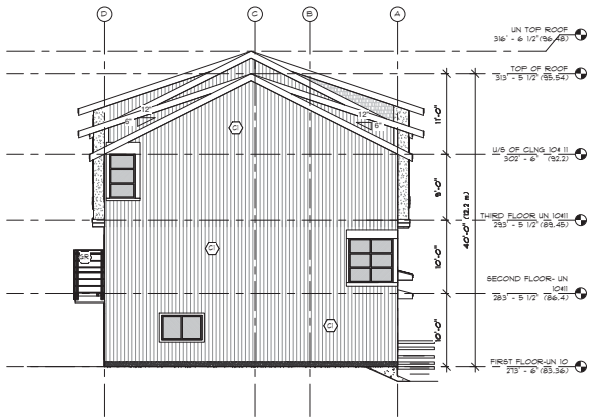
SCALE:	PROJECT NO.:
As Indicated	---
DATE: SEP 2014	SHEET:
REVISION:	DP-1.04



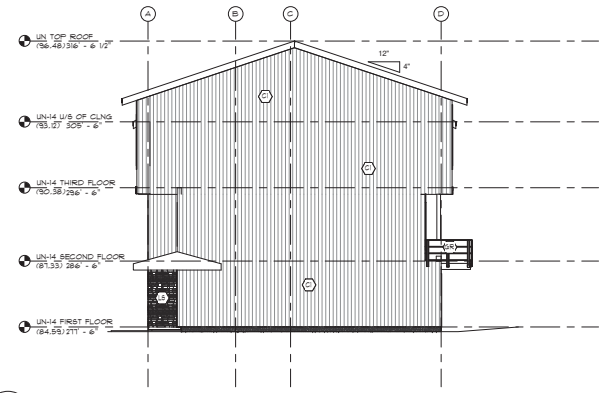
1 SOUTH ELEVATION
DP-5.41 1/8" = 1'-0"



2 NORTH ELEVATION
DP-5.41 1/8" = 1'-0"



3 EAST ELEVATION
DP-5.41 1/8" = 1'-0"



4 WEST ELEVATION
DP-5.41 1/8" = 1'-0"

LEGEND :

GREY - 1 BLUE MATERIAL	COLOR	
(LS) LEDGE STONE	DARK GREY	
(FL) FLASHING	GREY	
(GR) GUARD/RAILING	BLACK	
(AS) ASPHALT SHINGLES	DARK GREY	
(TF) TRIM / FASCIA	50 1614 PEPPER CORN	
(VT) 8" VINYL SIDING BOARD + BATTEN	GENTEK COASTAL BLUE	
(HP) HARDI PANEL	50 1640 EARL GREY	
(ST) STERIA BALL SHINGLES	FLAGSTONE BLUE	
(WD) WINDOWS + DOORS	WHITE	
(CV) 8" VINYL SIDING BOARD + BATTEN	GENTEK PEARL	
(RD) ROLL-UP DOOR	CHARCOAL STONE GREY	

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DATE	DESCRIPTION
21 SEP 2014	PRELIMINARY DESIGN
7 OCT 2014	DP REVISIONS
21 SEP 2014	DP REVISIONS
25 OCT 2014	DP REVISIONS

PROJECT: 129 & HWY 10, SUDBURY, BC

OWNER: CLUSTER-4 (UNIT C) - EXT.

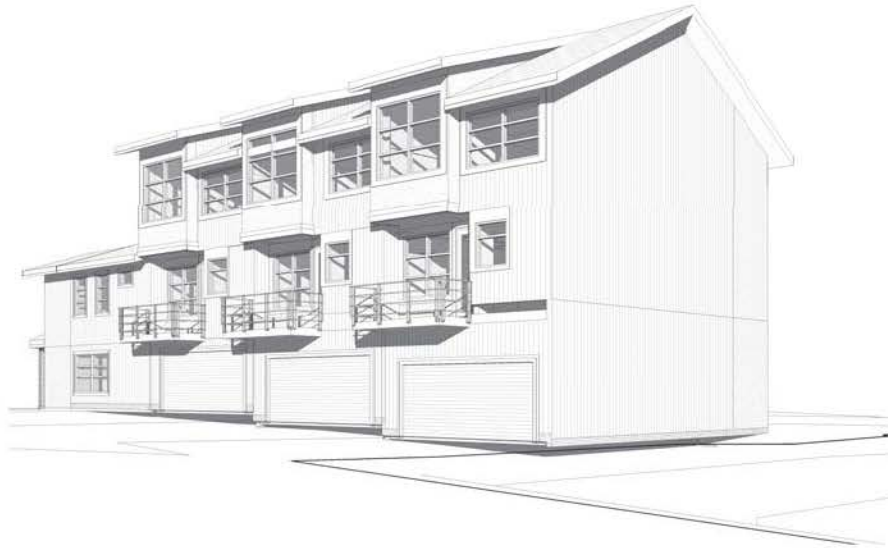
DOUGLAS R. JOHNSON ARCHITECT LTD.
#374-901 WEST 3RD ST., NORTH VANCOUVER, BC V7P 3P9
Ph: (604) 908-3381
Fax: (604) 908-0217

SCALE: As Indicated

DATE: 10 SEP 2014

DRAWN: DP-5.41

REVISIONS: 5



1 3D View 1
DP-0.05



2 3D View 2
DP-0.05

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DATE	DESCRIPTION
27 SEP 2014	PRELIMINARY DESIGN
11 AUG 2014	DP REVISIONS
11 SEP 2014	DP REVISIONS
26 OCT 2014	DP REVISIONS

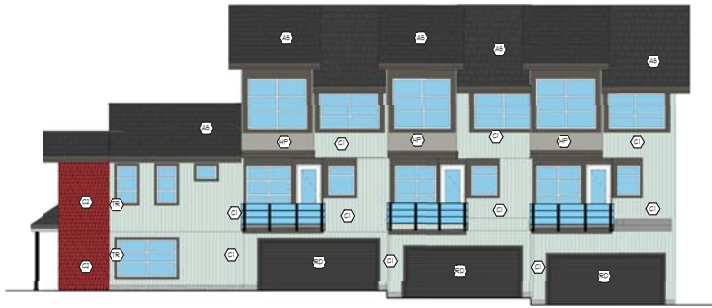
PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC

OWNER:
CLUSTER-5 (UNIT C)- 3D
VIEWS WITH AMENITY BLDG.

DOUGLAS R. JOHNSON ARCHITECT LTD.
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NORTH VANCOUVER, BC V7P 3P9
PH: (604) 998-3381
FAX: (604) 998-0217

DATE 13 SEP 2014	PROJECT NO.
DRAWN	SHEET
REVISIONS	DP-0.05

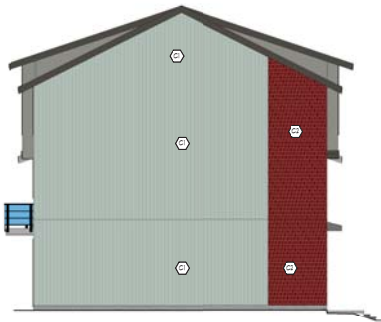




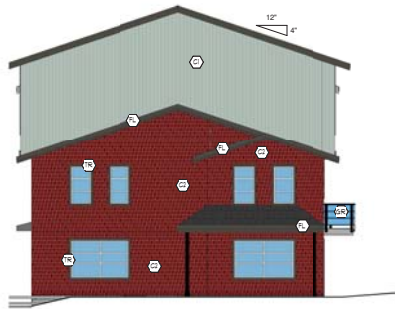
1 COLOURED SOUTH ELEVATION
DP-1.05 1/8" = 1'-0"



2 COLOURED NORTH ELEVATION
DP-1.05 1/8" = 1'-0"



3 COLOURED EAST ELEVATION
DP-1.05 1/8" = 1'-0"



4 COLOURED WEST ELEVATION
DP-1.05 1/8" = 1'-0"

LEGEND :

GRAY-2 RED MATERIAL	COLOR	
(L6) LEDGE STONE	DARK GRAY	
(F1) FLASHING	GRAY	
(G1) GUARDRAILS	BLACK	
(A1) ASPHALT SHINGLES	DARK GRAY	
(T1) TRIM / FASCIA	SU 1645 THUNDER GRAY	
(V1) 8" VINYL SIDING BOARD & BATTEN	GENTEK PEARL	
(H1) HARDI PANEL	SU 1688 STAMPED CONCRETE	
XTERIA WALL SHINGLES	BARN RED	
WINDOWS & DOORS	WHITE	
(R1) ROLL-UP DOOR	CHARCOAL STONE GRAY	

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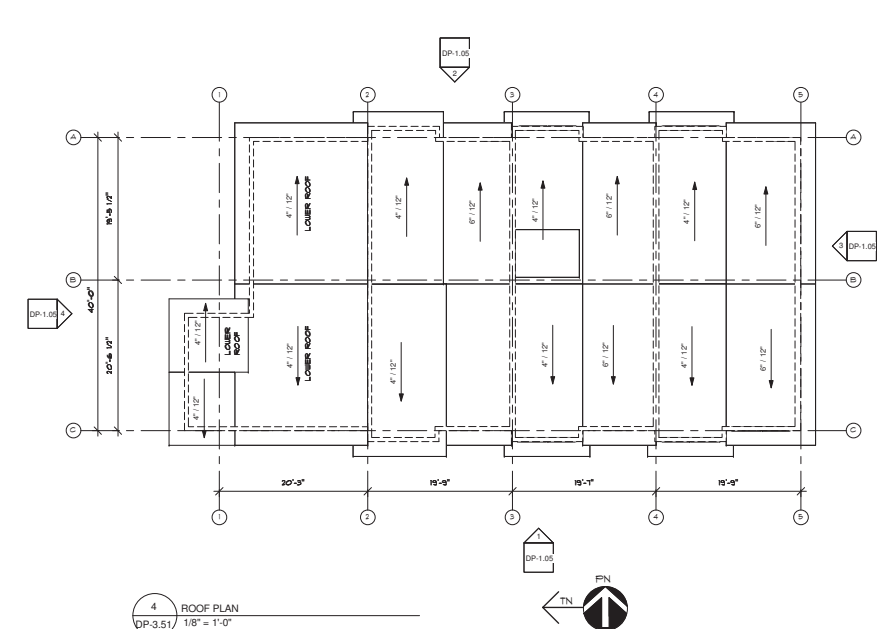
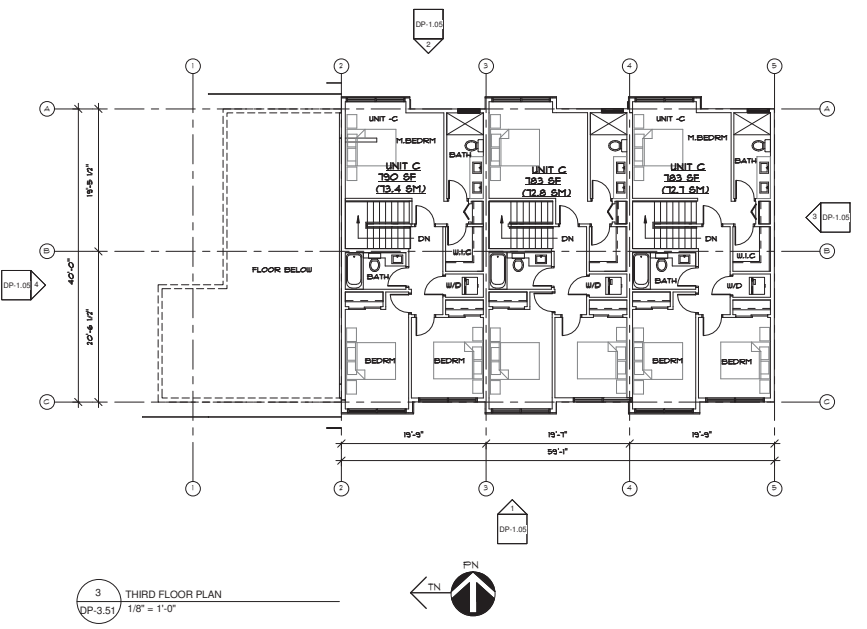
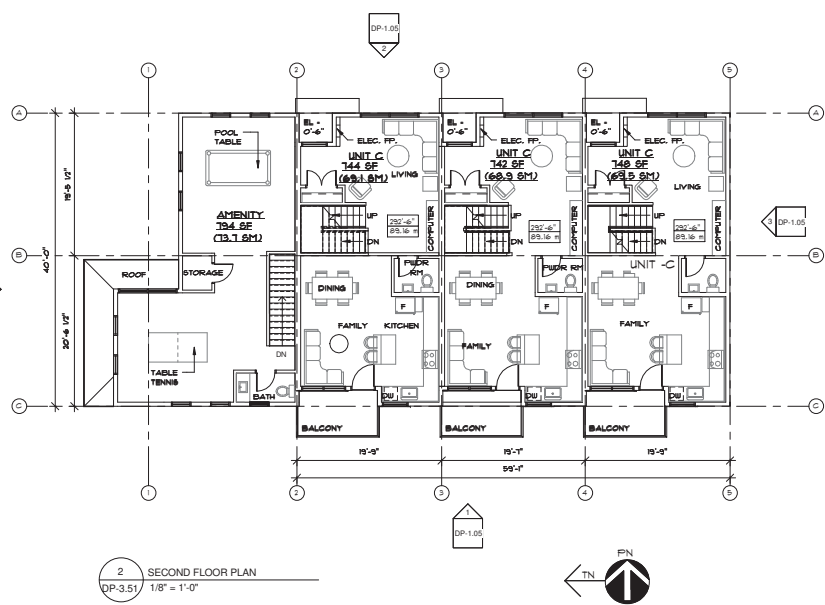
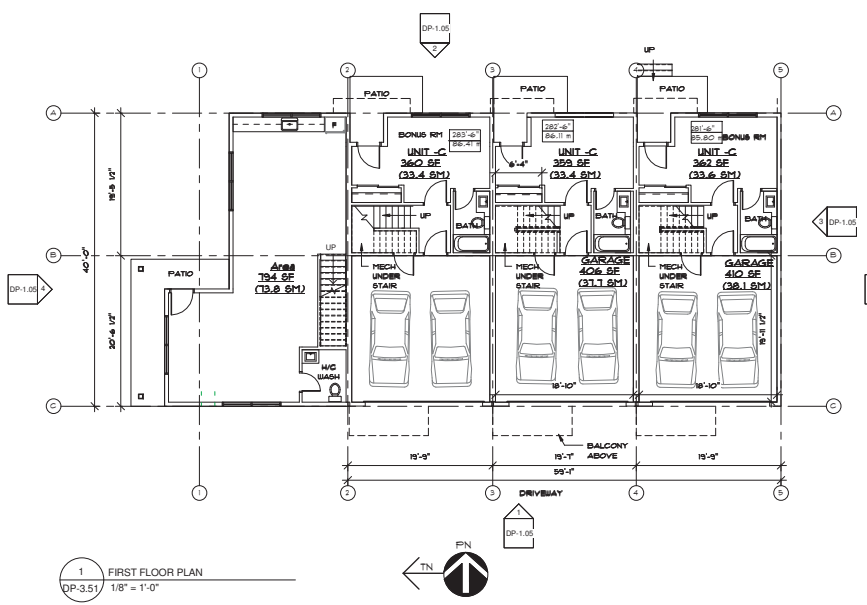
NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	11 AUG 2015	DP REVISIONS
3	21 AUG 2015	DP REVISIONS
4	2 SEP 2015	DP REVISIONS
5	29 OCT 2015	DP REVISIONS

PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC

OWNER:
CLUSTER-5 (UNIT C) -
COLOURED ELEVATIONS

DOUGLAS R. JOHNSON ARCHITECT LTD.
#374-901 WEST 3RD ST.,
NORTH VANCOUVER, BC V7P 3P9
Ph: (604) 998-3381
Fax: (604) 998-0217

SCALE:	PROJECT NO.:
As Indicated	
DATE: 10 SEP 2014	
DRAWN:	SHEET:
REVISION:	DP-1.05



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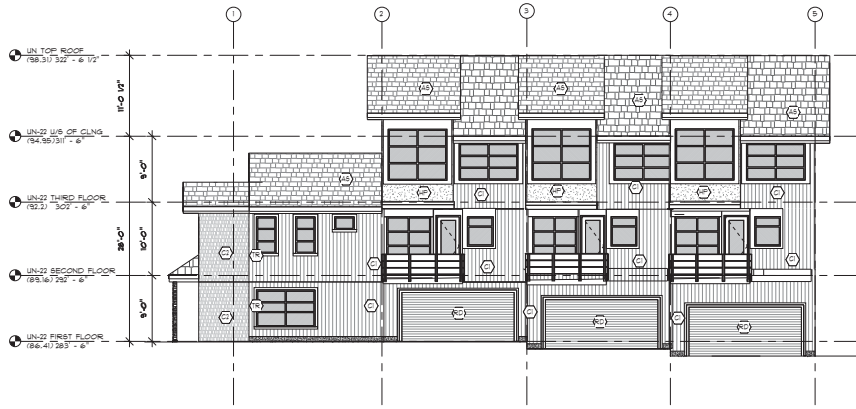
DATE	DESCRIPTION
22 SEP 2014	PRELIMINARY DESIGN
18 OCT 2014	DP REVISIONS
2 SEP 2015	DP REVISIONS
25 OCT 2015	DP REVISIONS

PROJECT:
129 & HWY 10
 108 & HWY 10,
 SUDBURY, BC

OWNER:
CLUSTER-5 (UNIT C) - FLOOR PLANS WITH AMENITY BLDG.

DOUGLAS R. JOHNSON ARCHITECT LTD.
 #574-901 WEST 3RD ST.,
 NORTH VANCOUVER, BC V7P 3P9
 PH: (604) 998-3381
 FAX: (604) 998-0217

SCALE: 1/8" = 1'-0"	PROJECT NO.:
DATE: 18 SEP 2014	SHEET:
DRAWN:	DP-3.51
REVISIONS:	5



1 SOUTH ELEVATION
DP-5.51
1/8" = 1'-0"

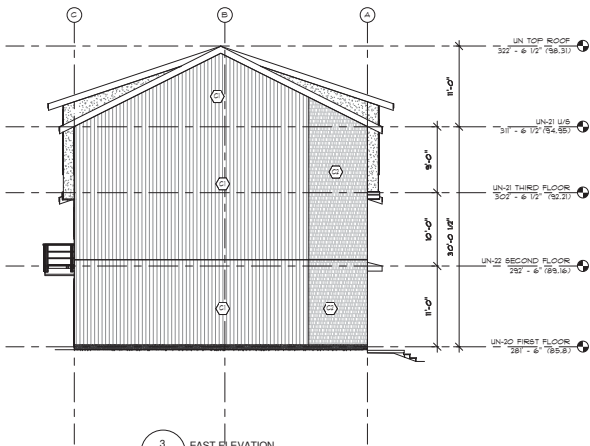


2 NORTH ELEVATION
DP-5.51
1/8" = 1'-0"

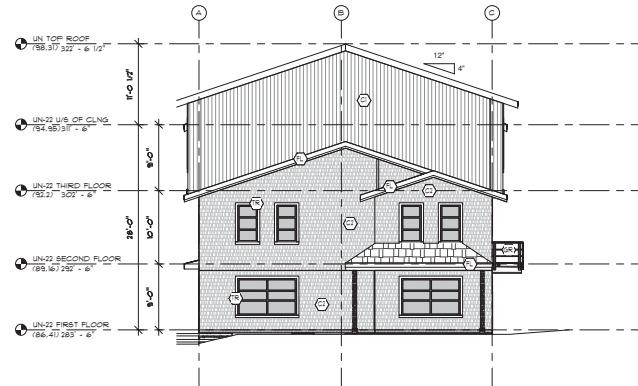
LEGEND :

GRAY & RED MATERIAL	COLOR
(L5) LEDGE STONE	DARK GRAY
(L6) FLASHING	GRAY
(G1) GUARD/RAILING	BLACK
(A5) ASPHALT SHINGLES	DARK GRAY
(T6) TRIM / FASCIA	6/8 THUNDER GRAY
(V1) 8" VINYL SIDING BOARD & BATTEN	GENTEK PEARL
(H1) HARDI PANEL	6/8 STAIN'ED CONCRETE
(X1) XTERIA WALL SHINGLES	BARN RED
(W1) WINDOWS & DOORS	WHITE
(R1) ROLL-UP DOOR	CHARCOAL STONE GRAY

ALL COLORS SHERWIN WILLIAMS EXCEPT AS NOTED



3 EAST ELEVATION
DP-5.51
1/8" = 1'-0"



4 WEST ELEVATION
DP-5.51
1/8" = 1'-0"

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DATE	DESCRIPTION
1	PRELIMINARY DESIGN
2	22 SEP 2014
3	12 AUG 2015
4	2 SEP 2015
5	25 OCT 2015

PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC

OWNER:
CLUSTER-5 (UNIT C) - AMENITY BLDG.

DOUGLAS R. JOHNSON ARCHITECT LTD.
#374-901 WEST 3RD ST.,
NORTH VANCOUVER, BC V7P 3P9
Ph: (604) 298-3381
Fax: (604) 298-0217

SCALE	PROJECT NO.
As indicated	
DATE: 10 SEP 2014	
DRAWN:	SHEET:
REVISION:	DP-5.51



1 3D View 1
DP-0.06



2 3D View 2
DP-0.06

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	10 AUG 2015	DP REVISIONS
3	11 AUG 2015	DP REVISIONS
4	11 SEP 2015	DP REVISIONS
5	26 OCT 2015	DP REVISIONS

PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC

OWNER:
CLUSTER-6 (UNIT C)- 3D VIEW

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NORTH VANCOUVER, BC V7P 3P9
PH: (604) 998-3381
FAX: (604) 998-0217

SCALE	PROJECT NO.
DATE 10 SEP 2014	
DRAWN	SHEET
REVISIONS	DP-0.06
5	

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LEGEND :

GRAY + BLUE MATERIAL	COLOR	
(L) LEDGE STONE	DARK GRAY	
(F) FLASHINGS	GRAY	
(G) GUARDRAILING	BLACK	
(A) ASPHALT SHINGLES	DARK GRAY	
(V) VYRN / FASCIA	SU 1614 PEPPERCORN	
(C) 8" VINYL SIDING BOARD + BATTEN	GENTEK COASTAL BLUE	
(H) HARDI PANEL	SU 1660 EARL GRAY	
(X) XTERIA WALL SHINGLES	FLAGSTONE BLUE	
WINDOWS + DOORS	WHITE	
(W) 8" VINYL SIDING BOARD + BATTEN	GENTEK PEARL	
(R) ROLL-UP DOOR	CHARCOAL STONE GRAY	

ALL COLORS SHERIN WILLIAMS EXCEPT AS NOTED

NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	27 SEP 2014	DP REVISIONS
3	27 SEP 2014	DP REVISIONS
4	27 SEP 2014	DP REVISIONS
5	29 OCT 2014	DP REVISIONS

PROJECT:
129 & HWY 10
 129 & HWY 10,
 SUDBURY, BC

OWNER:
**CLUSTER-6 (UNIT C) -
 COLOURED ELEVATIONS**

**DOUGLAS R.
 JOHNSON
 ARCHITECT LTD.**
 #374-901 WEST 3RD ST.,
 NORTH VANCOUVER, BC V7P 3P9
 Ph: (604) 998-3381
 Fax: (604) 998-0217

SCALE	PROJECT NO.
As Indicated	---
DATE 10 SEP 2014	
DRAWN	SHEET
REVISIONS	DP-1.06

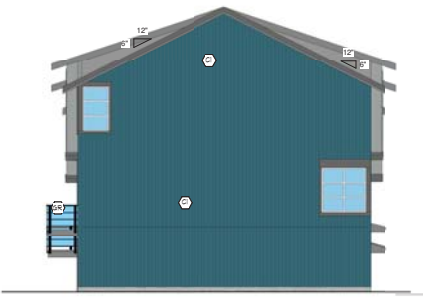
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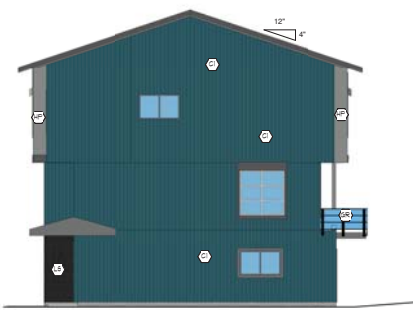
1 COLOURED SOUTH ELEVATION
 DP-1.06 1/8" = 1'-0"



2 COLOURED NORTH ELEVATION
 DP-1.06 1/8" = 1'-0"



3 COLOURED EAST ELEVATION
 DP-1.06 1/8" = 1'-0"



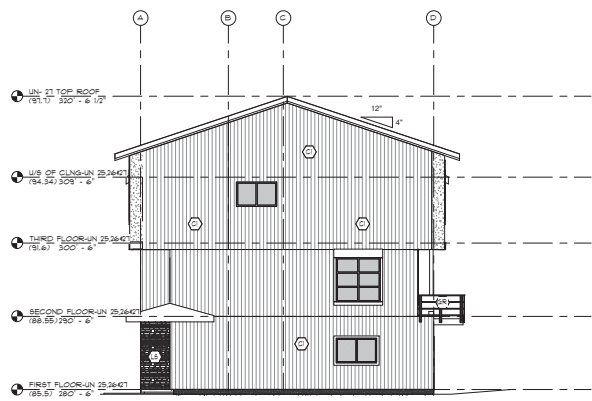
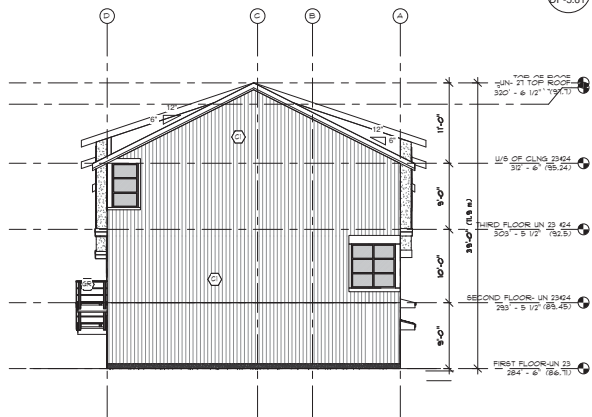
4 COLOURED WEST ELEVATION
 DP-1.06 1/8" = 1'-0"



LEGEND :

GRAY - 1 + BLUE MATERIAL	COLOR	
(L) LEDGE STONE	DARK GRAY	
(FL) FLASHING	GRAY	
(GR) GUARDRAILINGS	BLACK	
(AS) ASPHALT SHINGLES	DARK GRAY	
(F) FURSH / FASCIA	SW 7674 PEPPERCORN	
(V) 8" VINYL SIDING BOARD + BATTEN	GENTEK COASTAL BLUE	
(HP) HARDI PANEL	SW 7660 EARL GRAY	
(X) XTERIA BALL SHINGLES	FLAGSTONE BLUE	
(W) WINDOW + DOORS	WHITE	
(C) 8" VINYL SIDING BOARD + BATTEN	GENTEK PEARL	
(RD) ROLL-UP DOOR	CHARCOAL STONE GRAY	

ALL COLORS SHERWIN WILLIAMS EXCEPT AS NOTED



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DATE	DESCRIPTION
1	PRELIMINARY DESIGN
2	22 SEP 2014
3	73 AUG 2015
4	2 SEP 2015
5	25 OCT 2015

PROJECT: 129 & HWY 10, SUDBURY, ONT.

OWNER: CLUSTER-6 (UNIT C) - EXT.

DOUGLAS R. JOHNSON ARCHITECT LTD.
 #374-901 WEST 3RD. ST., NORTH VANCOUVER, BC V7P 3P9
 Ph: (604) 998-3381
 Fax: (604) 998-0217

SCALE: As Indicated

DATE: 10 SEP 2014

DRAWN: SHEET: DP-5.61

REVISION: 5



1 3D View 1
DP-0.07



2 3D View 2
DP-0.07

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	10 AUG 2015	DP REVISIONS
3	11 AUG 2015	DP REVISIONS
4	11 SEP 2015	DP REVISIONS
5	26 OCT 2015	DP REVISIONS

PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC

OWNER:
CLUSTER-7 (UNIT C)- 3D VIEW

DOUGLAS R. JOHNSON ARCHITECT LTD.
#574-901 WEST 3RD ST.,
NORTH VANCOUVER, BC V7P 3P9
PH: (604) 998-3381
FAX: (604) 998-0217

DATE 10 SEP 2014	PROJECT NO.
DRAWN	SHEET
REVISIONS 5	DP-0.07



1 COLOURED SOUTH ELEVATION
DP-1.07 1/8" = 1'-0"

LEGEND :

GRAY - 14 BLUE MATERIAL	COLOR	
(LS) LEDGE STONE	DARK GRAY	[Pattern]
(FL) FLASHING	GRAY	[Pattern]
(GR) GUARD/RAILING	BLACK	[Pattern]
(AS) ASPHALT SHINGLES	DARK GRAY	[Pattern]
(TR) TRIM / FASCIA	SU '1614 PEPPERCORN	[Pattern]
(V) 8" VINYL SIDING BOARD + BATTEN	GENTEK COASTAL BLUE	[Pattern]
(HP) HARDI PANEL	SU '1660 EARL GRAY	[Pattern]
(X) XTERIA WALL SHINGLES	FLAGSTONE BLUE	[Pattern]
(W) WINDOWS + DOORS	WHITE	[Pattern]
(V) 8" VINYL SIDING BOARD + BATTEN	GENTEK PEARL	[Pattern]
(RD) ROLL-UP DOOR	CHARCOAL STONE GRAY	[Pattern]

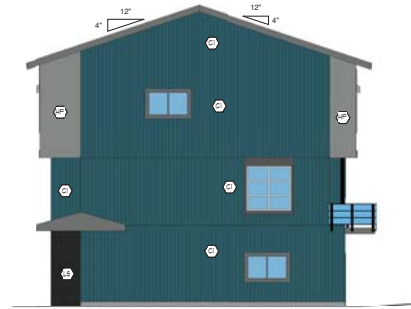
ALL COLORS SHERWIN WILLIAMS EXCEPT AS NOTED



2 COLOURED NORTH ELEVATION
DP-1.07 1/8" = 1'-0"



3 COLOURED EAST ELEVATION
DP-1.07 1/8" = 1'-0"



4 COLOURED WEST ELEVATION
DP-1.07 1/8" = 1'-0"

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	27 SEP 2014	DP REVISIONS
3	27 SEP 2014	DP REVISIONS
4	27 SEP 2014	DP REVISIONS
5	27 SEP 2014	DP REVISIONS

PROJECT: 129 & HWY 10, SUDBURY, ONTARIO

OWNER: CLUSTER-7 COLOURED ELEVATIONS

DOUGLAS R. JOHNSON ARCHITECT LTD.
#374-901 WEST 3RD ST., NORTH VANCOUVER, BC V7P 3P9
Ph: (604) 998-3381
Fax: (604) 998-0217

SCALE:	PROJECT NO.:
As Indicated	

DATE: 10 SEP 2014

DRAWN: SHEET:

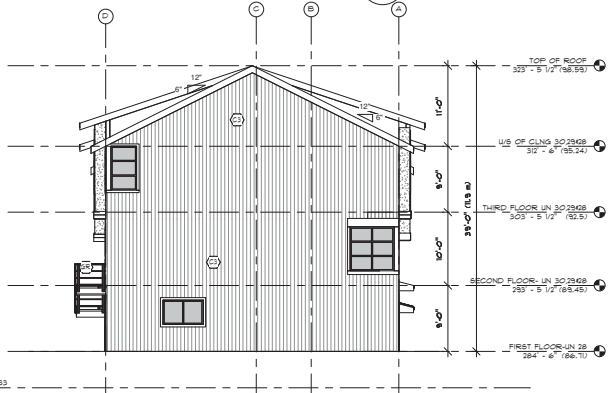
REVISION: 5 DP-1.07



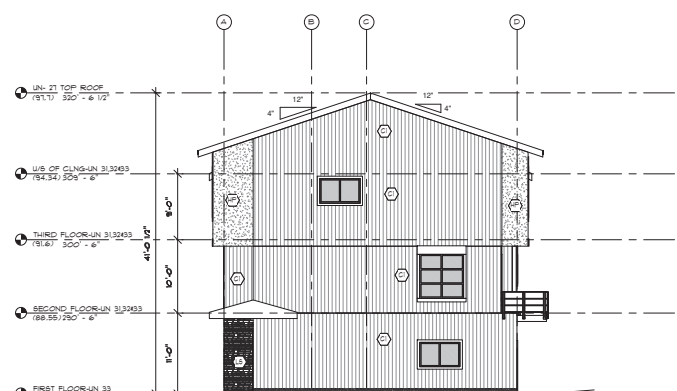
1 SOUTH ELEVATION
DP-5.71 1/8" = 1'-0"



2 NORTH ELEVATION
DP-5.71 1/8" = 1'-0"



3 EAST ELEVATION
DP-5.71 1/8" = 1'-0"



4 WEST ELEVATION
DP-5.71 1/8" = 1'-0"

LEGEND :

GRAY - 1 # BLUE MATERIAL	COLOR
(L5) LEDGE STONE	DARK GRAY
(L6) FLASHING	GRAY
(L7) GUARDRAILING	BLACK
(L8) ASPHALT SHINGLES	DARK GRAY
(L9) TRIM / FASCIA	BU 1614 PEPPERCORN
(L10) 8" VINYL SIDING BOARD & BATTEN	GENTEK COASTAL BLUE
(L11) HARDI PANEL	BU 1660 EARL GRAY
(L12) XTERIA WALL SHINGLES	FLAGSTONE BLUE
WINDOWS & DOORS	WHITE
(L13) 8" VINYL SIDING BOARD & BATTEN	GENTEK PEARL
(L14) ROLL-UP DOOR	CHARCOAL STONE GRAY

ALL COLORS SHERWIN WILLIAMS EXCEPT AS NOTED

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DATE	DESCRIPTION
27 SEP 2014	PRELIMINARY DESIGN
17 OCT 2014	DP REVISIONS
27 OCT 2014	DP REVISIONS
28 OCT 2014	DP REVISIONS
29 OCT 2014	DP REVISIONS

PROJECT: 129 & HWY 10
109 & HWY 10, SUDBURY, BC

OWNER: CLUSTER-7 (UNIT C) - EXT. ELEVATIONS

DOUGLAS R. JOHNSON ARCHITECT LTD.
#374-901 WEST 3RD ST., NORTH VANCOUVER, BC V7P 3P9
Ph: (604) 998-3381
Fax: (604) 998-0217

SCALE: As Indicated

DATE: 10 SEP 2014

DRAWN: PROJECT NO:

SHEET: DP-5.71

REVISION: 5



1 3D View 5
DP-0.08



2 3D View 6
DP-0.08

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	17 AUG 2015	DP REVISIONS
3	17 AUG 2015	DP REVISIONS
4	2 SEP 2015	DP REVISIONS
5	25 OCT 2015	DP REVISIONS

PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC

OWNER:
CLUSTER-8 (UNIT C)- 3D VIEW

DOUGLAS R. JOHNSON ARCHITECT LTD.
#574-901 WEST 3RD ST.,
NORTH VANCOUVER, BC V7P 3P9
Ph: (604) 998-3381
Fax: (604) 998-0217

SCALE:	PROJECT NO.:
DATE: 17 SEP 2014	
DRAWN:	SHEET:
REVISIONS:	DP-0.08

5



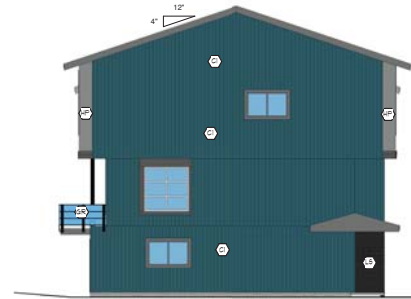
1 COLOURED SOUTH ELEVATION
DP-1.08 / 1/8" = 1'-0"



2 COLOURED NORTH ELEVATION
DP-1.08 / 1/8" = 1'-0"



3 COLOURED EAST ELEVATION
DP-1.08 / 1/8" = 1'-0"



4 COLOURED WEST ELEVATION
DP-1.08 / 1/8" = 1'-0"

LEGEND :

GRAY - 14 BLUE MATERIAL	COLOR	
(L1) LEDGE STONE	DARK GRAY	[Pattern]
(F1) FLASHING	GRAY	[Pattern]
(GR) GUARDRAILS	BLACK	[Pattern]
(AS) ASPHALT SHINGLES	DARK GRAY	[Pattern]
(T) TRIM / FASCIA	50 7614 PEPPERCORN	[Pattern]
(V1) 8" VINYL SIDING BOARD + BATTEN	GENTEK COASTAL BLUE	[Pattern]
(V2) HARDY PANEL	50 7660 EARL GRAY	[Pattern]
(X) XTERIA BALL BRICKS	FLAGSTONE BLUE	[Pattern]
(D) SIDINGS + DOORS	WHITE	[Pattern]
(V3) 8" VINYL SIDING BOARD + BATTEN	GENTEK PEARL	[Pattern]
(R) ROLL-UP DOOR	CHARCOAL STONE GRAY	[Pattern]

ALL COLORS SHERWIN WILLIAMS EXCEPT AS NOTED

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	11 AUG 2015	DP REVISIONS
3	2 SEP 2015	DP REVISIONS
4	2 SEP 2015	DP REVISIONS
5	29 OCT 2015	DP REVISIONS

PROJECT: **129 & HWY 10**
129 & HWY 10, SUDBURY, BC

OWNER: _____

DOUGLAS R. JOHNSON ARCHITECT LTD.
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Ph: (604) 998-3381
Fax: (604) 998-0217

SCALE	PROJECT NO.
As Indicated	---

DATE	SHEET
17 SEP 2014	---

REVISION	BY	DATE
5		

DP-1.08



1 SOUTH ELEVATION
DP-5.81 1/8" = 1'-0"

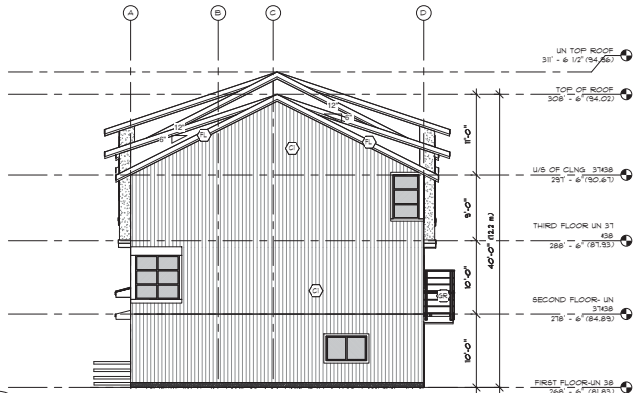
LEGEND :

GRAY - 14 BLUE MATERIAL	COLOR
(LS) LEDGE STONE	DARK GRAY
(FL) FLASHING	GRAY
(GU) GUARD/RAILING	BLACK
(AS) ASPHALT SHINGLES	DARK GRAY
(TR) TRIM / FASCIA	SU 1614 PEPPERCORN
(V) 8" VINYL SIDING BOARD & BATTEN	GENTEK COASTAL BLUE
(HP) HARDY PANEL	SU 1660 EARL GRAY
(X) XTERIA WALL SHINGLES	FLAGSTONE BLUE
(W) WINDOWS & DOORS	WHITE
(V) 8" VINYL SIDING BOARD & BATTEN	GENTEK PEARL
(RD) ROLL-UP DOOR	CHARCOAL STONE GRAY

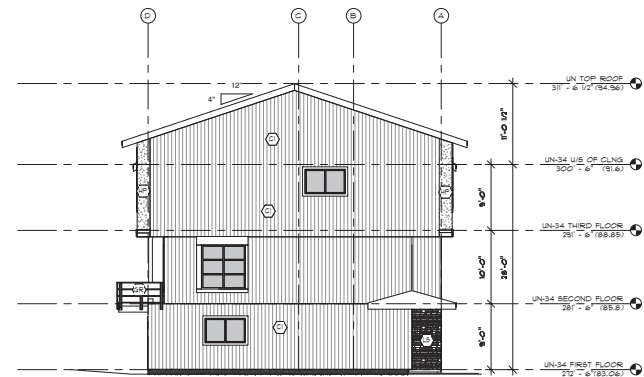
ALL COLORS SHERWIN WILLIAMS EXCEPT AS NOTED



2 NORTH ELEVATION
DP-5.81 1/8" = 1'-0"



3 EAST ELEVATION
DP-5.81 1/8" = 1'-0"



4 WEST ELEVATION
DP-5.81 1/8" = 1'-0"

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	27 SEP 2014	REV. 001
3	27 SEP 2014	DP REVISIONS
4	27 SEP 2014	DP REVISIONS
5	27 SEP 2014	DP REVISIONS

PROJECT: 129 & HWY 10, SUDBURY, ONT.

OWNER: CLUSTER-8 (UNIT C) - EXT. ELEVATIONS

DOUGLAS R. JOHNSON ARCHITECT LTD.
#374-901 WEST 3RD ST., NORTH VANCOUVER, BC V7P 3P9
PH: (604) 998-3381
FAX: (604) 998-0217

SCALE: As Indicated

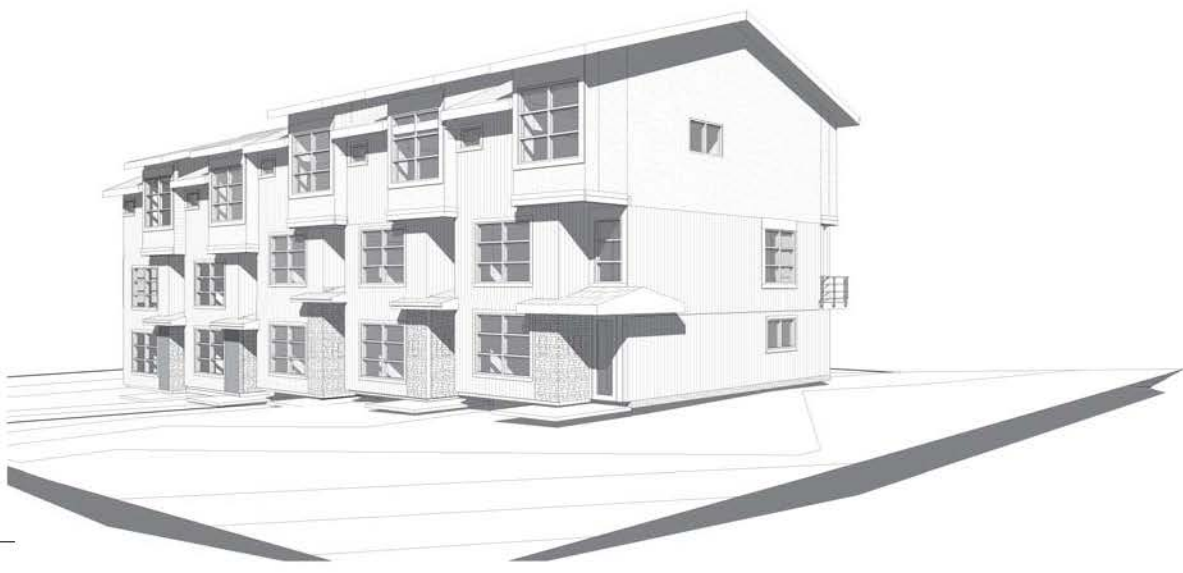
DATE: 27 SEP 2014

DRAWN: PROJECT NO: DP-5.81

REVISION: SHEET: 5



1 3D View 1
DP-0.09



2 3D View 2
DP-0.09

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	10 AUG 2015	REV. 1
3	10 AUG 2015	DP REVISIONS
4	11 SEP 2015	DP REVISIONS
5	26 OCT 2015	DP REVISIONS

PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC

OWNER:

CLUSTER-9 (UNIT C)- 3D VIEW

DOUGLAS R. JOHNSON ARCHITECT LTD.
#574-901 WEST 3RD ST.,
NORTH VANCOUVER, BC V7P 3P9
Ph: (604) 998-3381
Fax: (604) 998-0217

DATE	PROJECT NO.
10 SEP 2014	
DRAWN	SHEET
	DP-0.09
REVISIONS	
5	

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	27 SEP 2014	REV. 001
3	27 SEP 2014	DP REVISIONS
4	27 SEP 2014	DP REVISIONS
5	29 OCT 2014	DP REVISIONS

PROJECT:
129 & HWY 10
 129 & HWY 10,
 SUDBURY, BC

OWNER:
 COLOURED ELEVATION

DOUGLAS R. JOHNSON ARCHITECT LTD.
 #574-901 WEST 3RD ST.,
 NORTH VANCOUVER, BC V7P 3P9
 PH: (604) 998-3381
 FAX: (604) 998-0217

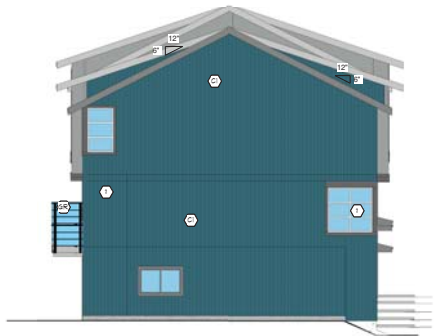
SCALE:	PROJECT NO.:
1/8" = 1'-0"	---
DATE:	DRAWN:
17 SEP 2014	---
DESIGNED:	SHEET:
---	DP-1.91
REVISIONS:	
5	



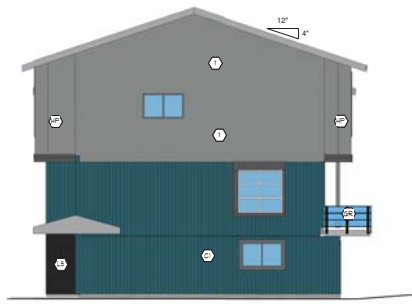
1 COLOURED SOUTH ELEVATION
 DP-1.91 1/8" = 1'-0"



2 COLOURED NORTH ELEVATION
 DP-1.91 1/8" = 1'-0"



3 COLOURED EAST ELEVATION
 DP-1.91 1/8" = 1'-0"



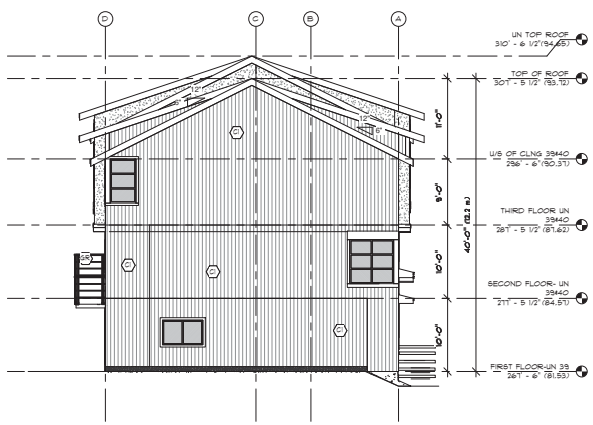
4 COLOURED WEST ELEVATION
 DP-1.91 1/8" = 1'-0"



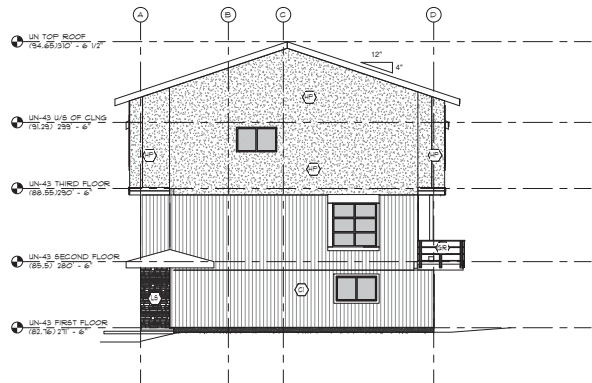
1 SOUTH ELEVATION
DP-5.91 1/8" = 1'-0"



2 NORTH ELEVATION
DP-5.91 1/8" = 1'-0"



3 EAST ELEVATION
DP-5.91 1/8" = 1'-0"



4 WEST ELEVATION
DP-5.91 1/8" = 1'-0"

LEGEND :

GRAY - 1 BLUE MATERIAL	COLOR	
(L5) LEDGE STONE	DARK GRAY	
(F1) FLASHING	GRAY	
(GR) GUARD/RAILING	BLACK	
(AS) ASPHALT SHINGLES	DARK GRAY	
(VF) VINYL / FASCIA	661 1/4 PEPPER CORN	
(V1) 8" VINYL SIDING BOARD 4 BATTEN	GENTEK COASTAL BLUE	
(HP) HARDI PANEL	661 1/4 EARL GRAY	
(X1) XTERIA WALL SHINGLES	FLAGSTONE BLUE	
(WD) WINDOWS 4 DOORS	WHITE	
(V2) 8" VINYL SIDING BOARD 4 BATTEN	GENTEK PEARL	
(RD) ROLL-UP DOOR	CHARCOAL STONE GRAY	

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DATE	DESCRIPTION
27 SEP 2014	PRELIMINARY DESIGN
7 OCT 2014	DP REVISIONS
21 OCT 2014	DP REVISIONS
28 OCT 2014	DP REVISIONS
29 OCT 2014	DP REVISIONS

PROJECT: 129 & HWY 10
129 & HWY 10, SUDBURY, ONT.

OWNER: CLUSTER-9 (UNIT C) - EXTERIOR ELEVATIONS

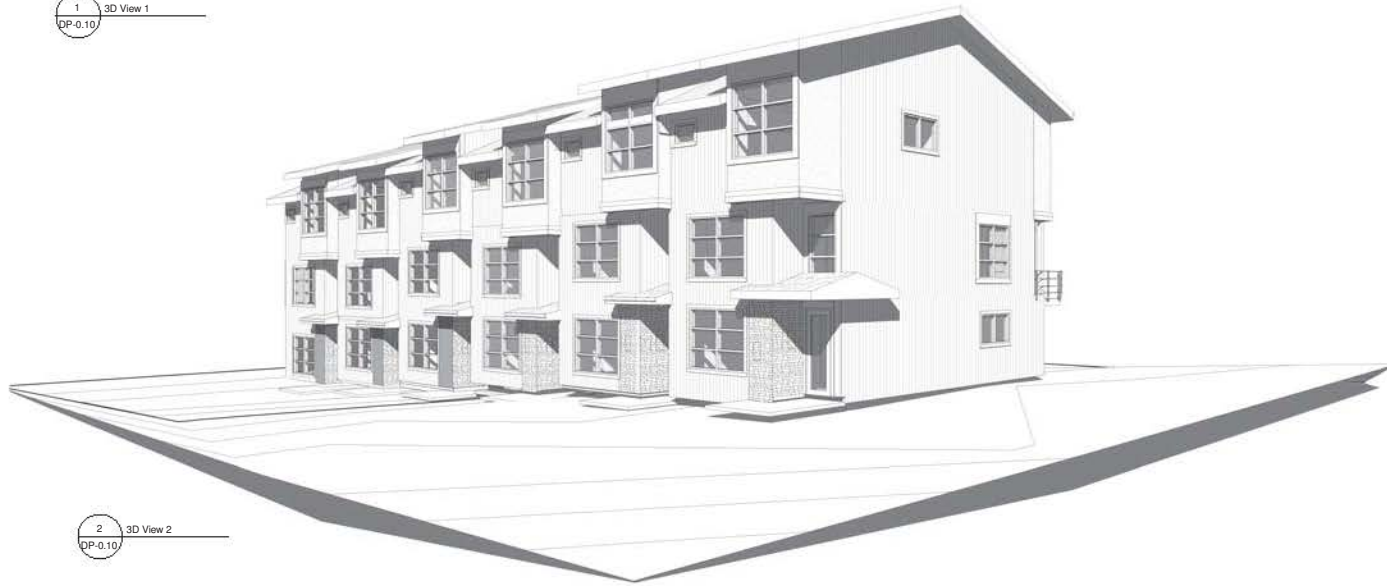
DOUGLAS R. JOHNSON ARCHITECT LTD.
#374-901 WEST 3RD ST., NORTH VANCOUVER, BC V7P 3P9
Ph: (604) 998-3381
Fax: (604) 998-0217

SCALE: As Indicated
DATE: 10 SEP 2014
DRAWN: PROJECT NO:
REVISION: SHEET:
DP-5.91

5



1 3D View 1
DP-0.10



2 3D View 2
DP-0.10

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	11 AUG 2015	DP REVISIONS
3	11 AUG 2015	DP REVISIONS
4	11 SEP 2015	DP REVISIONS
5	26 OCT 2015	DP REVISIONS

PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC

OWNER:
CLUSTER-10 (UNIT C) - 3D VIEW

DOUGLAS R. JOHNSON ARCHITECT LTD.
#574-901 WEST 3RD ST.,
NORTH VANCOUVER, BC V7P 3P9
PH: (604) 998-3381
FAX: (604) 998-0217

SCALE	PROJECT NO.
DATE 10 SEP 2014	
DRAWN	SHEET
REVISIONS	DP-0.10





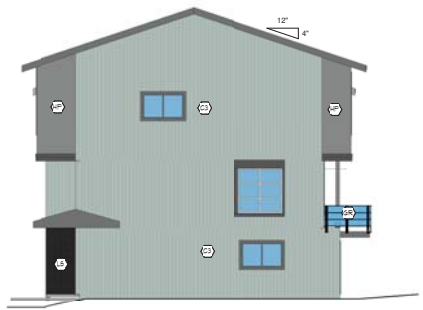
1 COLOURED SOUTH ELEVATION
DP-1.10 / 1/8" = 1'-0"



2 COLOURED NORTH ELEVATION
DP-1.10 / 1/8" = 1'-0"



3 COLOURED EAST ELEVATION
DP-1.10 / 1/8" = 1'-0"



4 COLOURED WEST ELEVATION
DP-1.10 / 1/8" = 1'-0"

LEGEND :

GRAY-14 BLUE MATERIAL	COLOR
(LS) LEDGE STONE	DARK GRAY
(FL) FLASHING	GRAY
(GR) GUARD/RAILING	BLACK
(AS) ASPHALT SHINGLES	DARK GRAY
(TR) TRIM / FASCIA	SW 7614 PEPPERCORN
(CT) 8" VINYL SIDING BOARD + BATTEN	GENTEK COASTAL BLUE
(HF) HARDI PANEL	SW 7640 EARL GRAY
(XT) XTERRA WALL SHINGLES	FLAGSTONE BLUE
(WD) WINDOW + DOORS	WHITE
(CV) 6" VINYL SIDING BOARD + BATTEN	GENTEK PEARL
(RD) ROLL-UP DOOR	CHARCOAL STONE GRAY

ALL COLORS SHERWIN WILLIAMS EXCEPT AS NOTED

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	11 AUG 2015	DP REVISIONS
3	2 SEP 2015	DP REVISIONS
4	2 SEP 2015	DP REVISIONS
5	29 OCT 2015	DP REVISIONS

PROJECT: 129 & HWY 10
129 & HWY 10, SUDBURY, BC

OWNER: CLUSTER-10 (UNIT C)- COLOURED ELEVATIONS (SIMILAR CLUSTERS - 4, 6 TO 11 & 16)

DOUGLAS R. JOHNSON ARCHITECT LTD.
#374-901 WEST 3RD ST., NORTH VANCOUVER, BC V7P 3P9
Ph: (604) 998-3381
Fax: (604) 998-0217

SCALE: As indicated

DATE: 10 SEP 2014

DRAWN: PROJECT NO: SHEET: DP-1.10

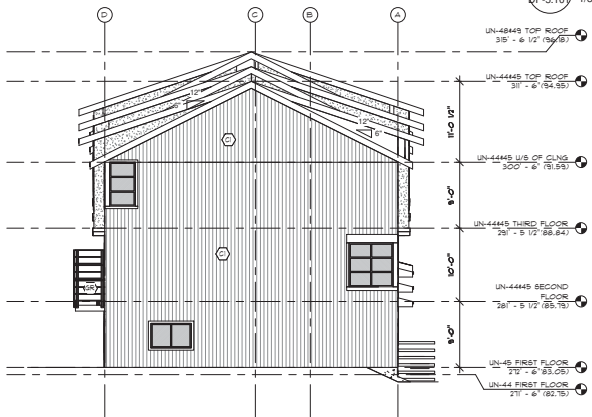
REVISION: 5



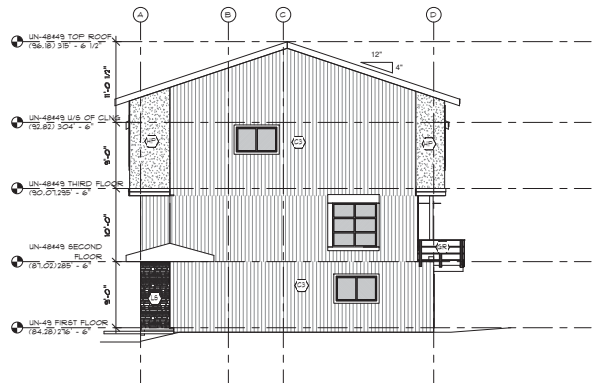
1 SOUTH ELEVATION
DP-5.101 1/8" = 1'-0"



2 NORTH ELEVATION
DP-5.101 1/8" = 1'-0"



3 EAST ELEVATION
DP-5.101 1/8" = 1'-0"



4 WEST ELEVATION
DP-5.101 1/8" = 1'-0"

LEGEND :

GRAY-14 BLUE MATERIAL	COLOR
(L) LEDGE STONE	DARK GRAY
(F) FLASHING	GRAY
(G) GUARD/RAILING	BLACK
(A) ASPHALT SHINGLES	DARK GRAY
(T) TYPH / FASCIA	80 %/4 PEPPER CORN
(V) 8" VINYL SIDING BOARD & BATTEN	GENTEK COASTAL BLUE
(H) HARDY PANEL	58 %/60 EARL GRAY
(S) XTERIA BALL SHINGLES	FLAGSTONE BLUE
(W) WINDOWS & DOORS	WHITE
(B) 8" VINYL SIDING BOARD & BATTEN	GENTEK PEARL
(R) ROLL-UP DOOR	CHARCOAL STONE GRAY

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DATE	DESCRIPTION
22 SEP 2014	PRELIMINARY DESIGN
7 OCT 2014	DP REVISIONS
2 NOV 2014	DP REVISIONS
25 OCT 2014	DP REVISIONS

PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC

OWNER:
CLUSTER-10 (UNIT C) - EXT.
ELEVATIONS

DOUGLAS R. JOHNSON ARCHITECT LTD.
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NORTH VANCOUVER, BC V7P 3P9
Ph: (604) 908-3381
Fax: (604) 908-0217

SCALE	PROJECT NO.
As Indicated	
DATE 10 SEP 2014	
DRAWN:	SHEET:
REVISIONS	DP-5.101



1 3D View 1
DP-0.11



2 3D View 2
DP-0.11

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	10 AUG 2015	DP REVISIONS
3	11 AUG 2015	DP REVISIONS
4	11 SEP 2015	DP REVISIONS
5	26 OCT 2015	DP REVISIONS

PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC

OWNER:
CLUSTER-11 (UNIT C)- 3D
VIEWS

DOUGLAS R. JOHNSON ARCHITECT LTD.
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NORTH VANCOUVER, BC V7P 3P9
PH: (604) 998-3381
FAX: (604) 998-0217

SCALE	PROJECT NO.
DATE 10 SEP 2014	
DRAWN	SHEET
REVISIONS	DP-0.11

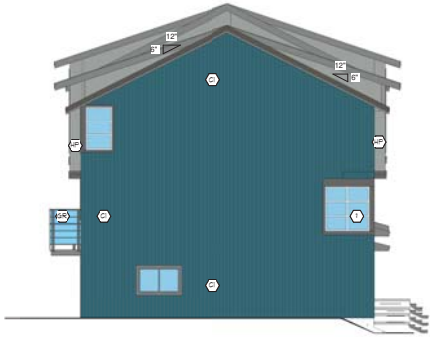




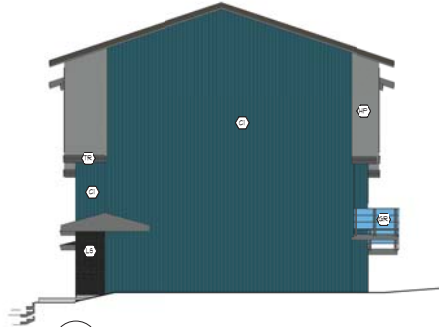
1 COLOURED SOUTH ELEVATION
DP-1.11 / 1/8" = 1'-0"



2 COLOURED NORTH ELEVATION
DP-1.11 / 1/8" = 1'-0"



3 COLOURED EAST ELEVATION
DP-1.11 / 1/8" = 1'-0"



4 COLOURED WEST ELEVATION
DP-1.11 / 1/8" = 1'-0"

LEGEND :

GRAY-14 BLUE MATERIAL	COLOR	
(L6) LEDGE STONE	DARK GRAY	[Pattern]
(F1) FLASHING	GRAY	[Pattern]
(GR) GUARD/RAILING	BLACK	[Pattern]
(AS) ASPHALT SHINGLES	DARK GRAY	[Pattern]
(TR) TRIM / FASCIA	50 7614 PEPPERCORN	[Pattern]
(C1) 8" VINYL SIDING BOARD & BATTEN	GENTEK COASTAL BLUE	[Pattern]
(H1) HARDI PANEL	50 7660 EARL GRAY	[Pattern]
(X1) XTERIA WALL SHINGLES	FLAGSTONE BLUE	[Pattern]
(W1) WINDOWS & DOORS	WHITE	[Pattern]
(C2) 8" VINYL SIDING BOARD & BATTEN	GENTEK PEARL	[Pattern]
(RD) ROLL-UP DOOR	CHARCOAL STONE GRAY	[Pattern]

ALL COLORS SHERWIN WILLIAMS EXCEPT AS NOTED

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	10 OCT 2014	DP REVISIONS
3	11 OCT 2014	DP REVISIONS
4	2 SEP 2015	DP REVISIONS
5	29 OCT 2015	DP REVISIONS

PROJECT: **129 & HWY 10**
129 & HWY 10, SURREY, BC

OWNER: **CLUSTER-11 (UNIT C)- COLOURED ELEVATIONS**

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Ph: (604) 998-3381
Fax: (604) 998-0217

SCALE:	PROJECT NO.:
As Indicated	

DATE:	SHEET:
10 SEP 2014	

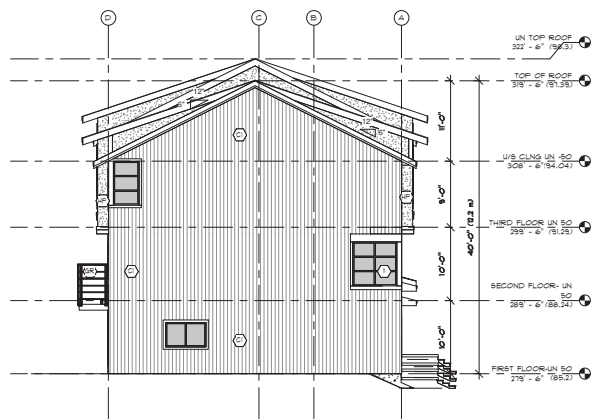
REVISION:	SHEET:
5	DP-1.11



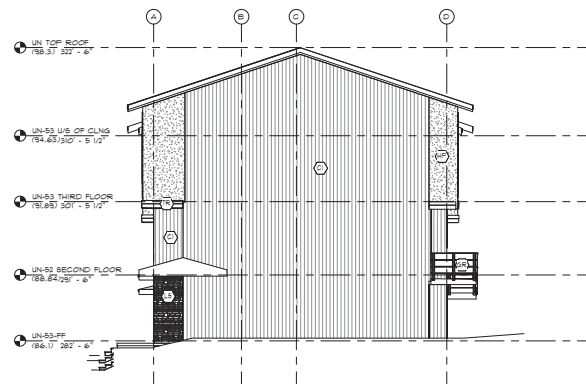
1 SOUTH ELEVATION
DP-5.111 1/8" = 1'-0"



2 NORTH ELEVATION
DP-5.111 1/8" = 1'-0"



3 EAST ELEVATION
DP-5.111 1/8" = 1'-0"



4 WEST ELEVATION
DP-5.111 1/8" = 1'-0"

LEGEND :

GRAY - I # BLUE MATERIAL	COLOR	
(L) LEDGE STONE	DARK GRAY	
(F) FLASHING	GRAY	
(G) GUARD/RAILING	BLACK	
(A) ASPHALT SHINGLES	DARK GRAY	
(T) TRIM / FASCIA	5U 7614 PEPPER CORN	
(V) 8" VINYL SIDING BOARD # BATTEN	GENTEK COASTAL BLUE	
(H) HARDI PANEL	5U 7640 EARL GRAY	
(X) XTERIA WALL SHINGLES	FLAGSTONE BLUE	
(W) WINDOWS # DOORS	WHITE	
(Y) 8" VINYL SIDING BOARD # BATTEN	GENTEK PEARL	
(R) ROLL-UP DOOR	CHARCOAL STONE GRAY	

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DATE	DESCRIPTION
22 SEP 2014	PRELIMINARY DESIGN
7 OCT 2014	DP REVISIONS
7 NOV 2014	DP REVISIONS
2 DEC 2014	DP REVISIONS
25 DEC 2014	DP REVISIONS

PROJECT:
129 & HWY 10
109 & HWY 10,
SURREY, BC

CLUSTER-11 (UNIT C) - EXT.
ELEVATIONS

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JOHNSON
ARCHITECT LTD.
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NORTH VANCOUVER, BC V7P 3P9
Ph: (604) 908-3381
Fax: (604) 908-0217

SCALE	PROJECT NO.
As Indicated	
DATE 10 SEP 2014	
DRAWN	SHEET
REVISION	DP-5.111



1 3D View 1
DP-0.12



2 3D View 2
DP-0.12

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	27 SEP 2014	DP REVISIONS
3	27 SEP 2014	DP REVISIONS
4	27 SEP 2014	DP REVISIONS
5	27 SEP 2014	DP REVISIONS

PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC
PROJECT NO:
CLUSTER-12 (UNIT A)
3D VIEWS

OWNER:
DOUGLAS R. JOHNSON ARCHITECT LTD.
#574-901 WEST 3RD ST.,
NORTH VANCOUVER, BC V7P 3P9
PH: (604) 998-3381
FAX: (604) 998-0217

SCALE:	PROJECT NO:
DATE: 10 SEP 2014	
DRAWN:	SHEET:
REVISIONS:	DP-0.12

5

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LEGEND :

GRAY'S # RED MATERIAL	COLOR	
(L5) LEDGE STONE	DARK GRAY	
(L6) FLASHING	GREY	
(G1) GUARD/RAILING	BLACK	
(A5) ASPHALT SHINGLES	DARK GRAY	
(T5) TRIM / FASCIA	DU 7645 THUNDER GRAY	
(V1) 8" VINYL SIDING BOARD + BATTEN	GENTEK PEARL	
(H1) HARDI PANEL/GARAGE ELEVATION	BM 0045 SANDRED TOMATO	
(X1) XTERIA WALL SHINGLES	BARN RED	
(W1) WINDOWS + DOORS	WHITE	
(R1) ROLL-UP DOOR	CHARCOAL STONE GRAY	

ALL COLORS SHERWIN WILLIAMS EXCEPT AS NOTED

NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	11 OCT 2014	DP REVISIONS
3	21 OCT 2014	DP REVISIONS
4	28 OCT 2014	DP REVISIONS
5	29 OCT 2014	DP REVISIONS

PROJECT:
129 & HWY 10
 129 & HWY 10,
 SUDBURY, ONT.

OWNER:
CLUSTER-12 (UNIT A)
COLOURED ELEVATIONS

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 NORTH VANCOUVER, BC V7P 3P9
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 FAX: (604) 998-0217

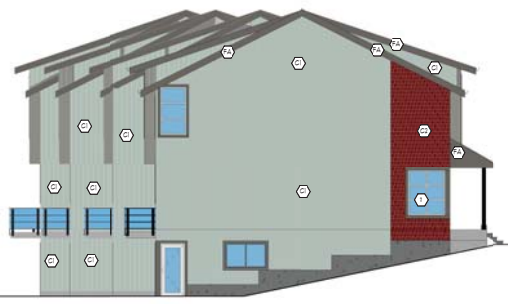
SCALE:	PROJECT NO.:
As Indicated	
DATE:	SHEET:
10 SEP 2014	
DRAWN:	
REVISIONS:	
	DP-1.12



1 COLOURED SOUTH ELEVATION
 DP-1.12 1/8" = 1'-0"



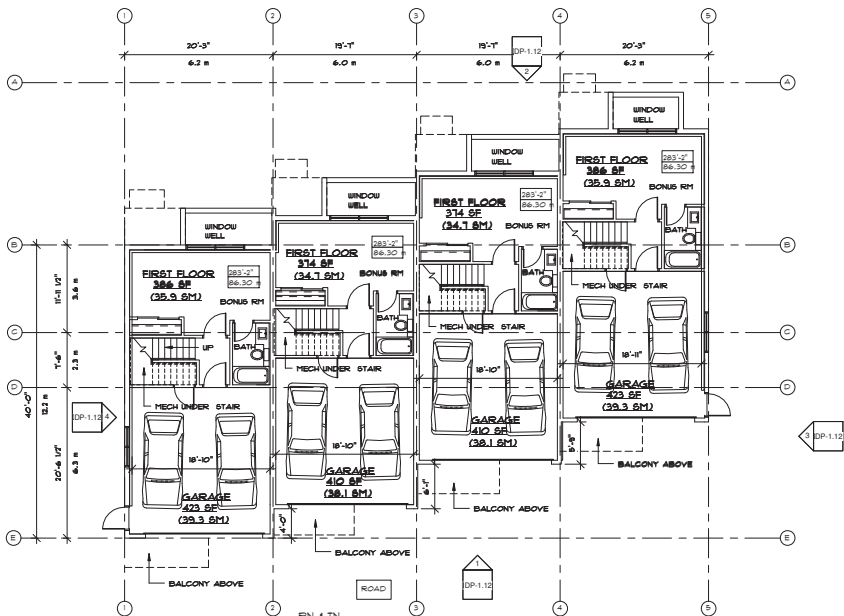
2 COLOURED NORTH ELEVATION
 DP-1.12 1/8" = 1'-0"



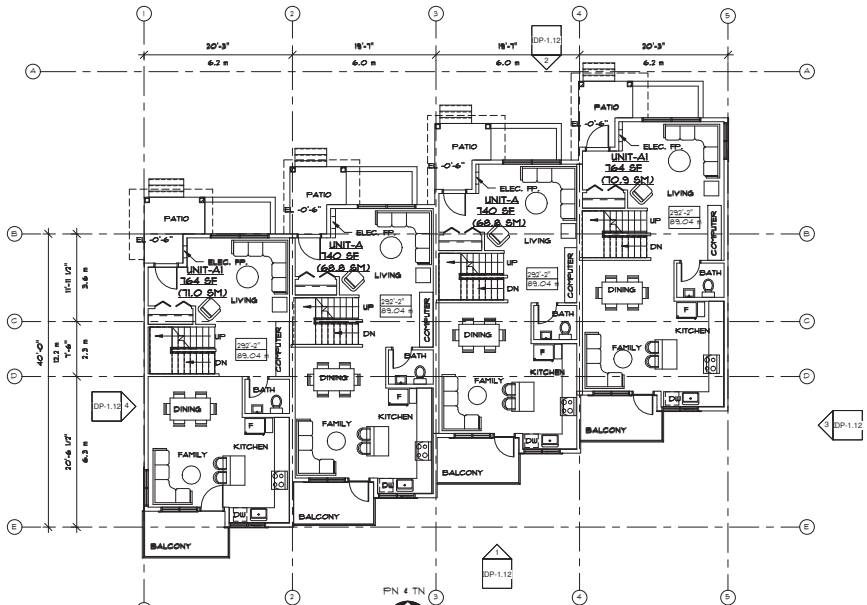
3 COLOURED EAST ELEVATION
 DP-1.12 1/8" = 1'-0"



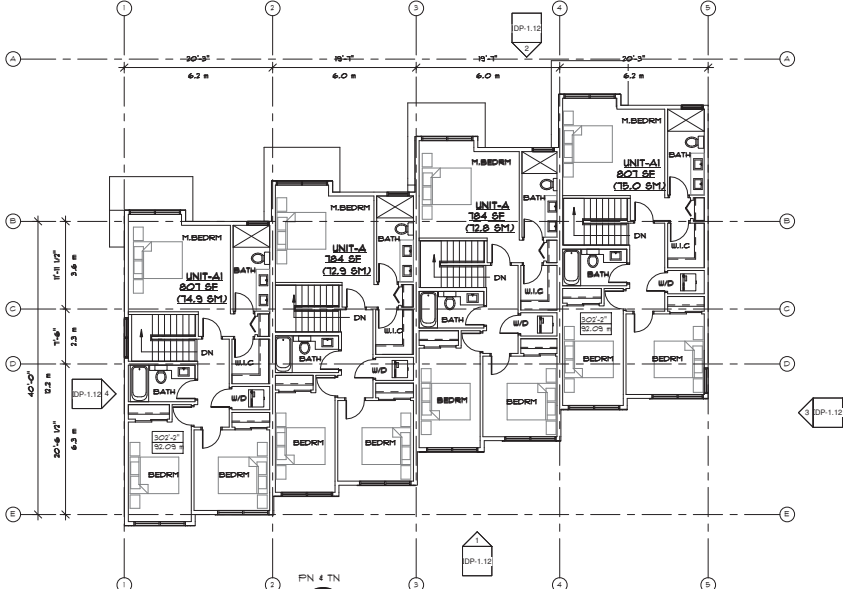
4 COLOURED WEST ELEVATION
 DP-1.12 1/8" = 1'-0"



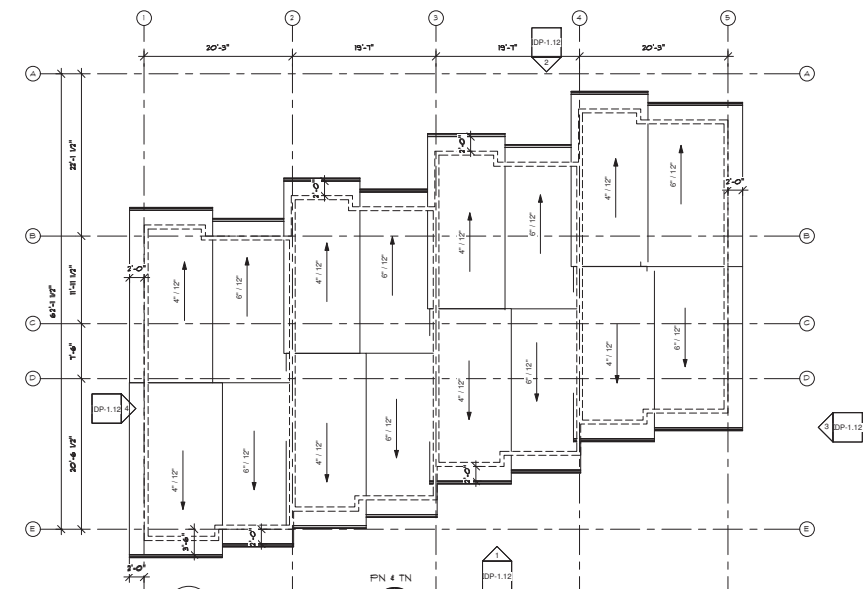
1 FIRST FLOOR PLAN
1/8" = 1'-0"



2 SECOND FLOOR PLAN
1/8" = 1'-0"



3 THIRD FLOOR PLAN
1/8" = 1'-0"



4 ROOF PLAN
1/8" = 1'-0"

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DATE	DESCRIPTION
22 SEP 2014	PRELIMINARY DESIGN
23 SEP 2014	DP REVISIONS
24 SEP 2014	DP REVISIONS
25 SEP 2014	DP REVISIONS
26 SEP 2014	DP REVISIONS

PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC

OWNER:
CLUSTER-12 (UNIT A) FLOOR PLANS

DOUGLAS R. JOHNSON ARCHITECT LTD.
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NORTH VANCOUVER, BC V7P 3P9
PH: (604) 908-3381
FAX: (604) 908-0217

SCALE:
1/8" = 1'-0"

DATE:
20 SEP 2014

DRAWN:
DP-3.121

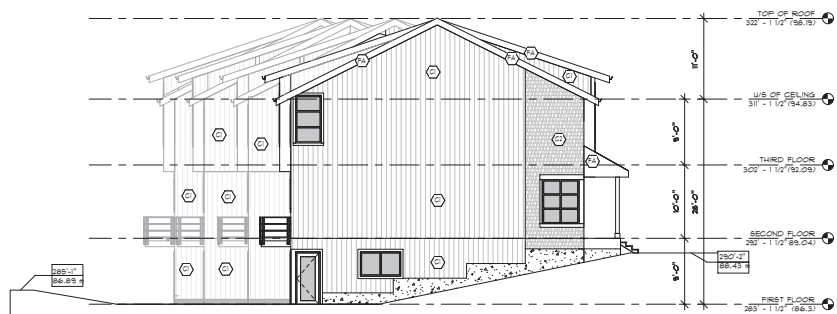
REVISIONS:
5



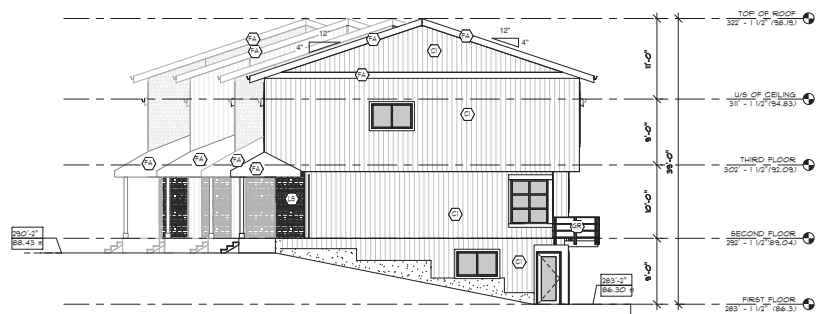
1 SOUTH ELEVATION
DP-5.121 1/8" = 1'-0"



2 NORTH ELEVATION
DP-5.121 1/8" = 1'-0"



3 EAST ELEVATION
DP-5.121 1/8" = 1'-0"



4 WEST ELEVATION
DP-5.121 1/8" = 1'-0"

LEGEND :

GRAY-2 & RED MATERIAL	COLOR	
(LS) LEDGE STONE	DARK GRAY	
(FL) FLASHING	GREY	
(GR) GUARD/RAILING	BLACK	
(AS) ASPHALT SHINGLES	DARK GRAY	
(TF) TYPEN / FASCIA	SU 76-45 THUNDER GRAY	
(V) 8" VINYL SIDING BOARD & BATTEN	GENTEK PEARL	
(HP) HARDY PANEL/GARAGE ELEVATION	BM C660 SANDRIED TOMATO	
(X) XTERIA WALL SHINGLES	BARN RED	
(W) WINDOWS & DOORS	WHITE	
(RD) ROLL-UP DOOR	CHARCOAL STONE GRAY	

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	27 SEP 2014	DP REVISIONS
3	27 SEP 2014	DP REVISIONS
4	27 SEP 2014	DP REVISIONS
5	27 SEP 2014	DP REVISIONS

PROJECT: 129 & HWY 10
129 & HWY 10, SUDBURY, BC

OWNER: CLUSTER-12 (UNIT A) EXTERIOR ELEVATIONS

DOUGLAS R. JOHNSON ARCHITECT LTD.
#374-901 WEST 3RD ST., NORTH VANCOUVER, BC V7P 3P9
PH: (604) 908-3381
FAX: (604) 908-0217

SCALE: As Indicated PROJECT NO: _____
DATE: 27 SEP 2014
DRAWN: _____ SHEET: _____
REVISION: DP-5.121

5



3D View 1



3D View 2

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	11 AUG 2015	DP REVISIONS
3	11 AUG 2015	DP REVISIONS
4	2 SEP 2015	DP REVISIONS
5	29 OCT 2015	DP REVISIONS

PROJECT:
129 & HWY 10
 129 & HWY 10,
 SUDBURY, BC
 CLUSTER 13 (UNIT A)
 3D VIEWS

OWNER:
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 NORTH VANCOUVER, BC V7P 3P9
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SCALE:	PROJECT NO.:
DATE: 13 SEP 2014	---
DRAWN:	SHEET:
REVISIONS:	DP-0.13

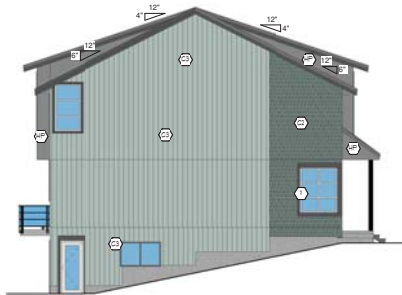




1 COLOURED SOUTH ELEVATION
DP-1.13 1/8" = 1'-0"



2 COLOURED NORTH ELEVATION
DP-1.13 1/8" = 1'-0"



3 COLOURED EAST ELEVATION
DP-1.13 1/8" = 1'-0"



4 COLOURED WEST ELEVATION
DP-1.13 1/8" = 1'-0"

LEGEND :

GREY-1 BLUE MATERIAL	COLOR	
LS LEDGE STONE	DARK GREY	
FL FLASHING	GREY	
GR GUARD/RAILINGS	BLACK	
AS ASPHALT SHINGLES	DARK GREY	
TS TRIM / FASCIA	6U 1/4" PEPPERCORN	
VT 8" VINYL SIDING BOARD & BATTEN	GENTEK COASTAL BLUE	
VB 8" VINYL SIDING BOARD & BATTEN	GENTEK PEARL GRIS COLOMBE	
HP HARDI PANEL	6U 1640 EARL GREY	
XI XTERIA WALL SHINGLES	FLAGSTONE BLUE	
DOORS	WHITE	

ALL COLORS SHERWIN WILLIAMS EXCEPT AS NOTED

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	11 AUG 2015	DP REVISIONS
3	21 AUG 2015	DP REVISIONS
4	2 SEP 2015	DP REVISIONS
5	29 OCT 2015	DP REVISIONS

PROJECT: 129 & HWY 10
129 & HWY 10, SUDBURY, BC

OWNER: CLUSTER 13 (UNIT A)
COLOURED ELEVATIONS

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Ph: (604) 998-3381
Fax: (604) 998-0217

SCALE:	PROJECT NO.:
As Indicated	

DATE:	SHEET:
10 SEP 2014	

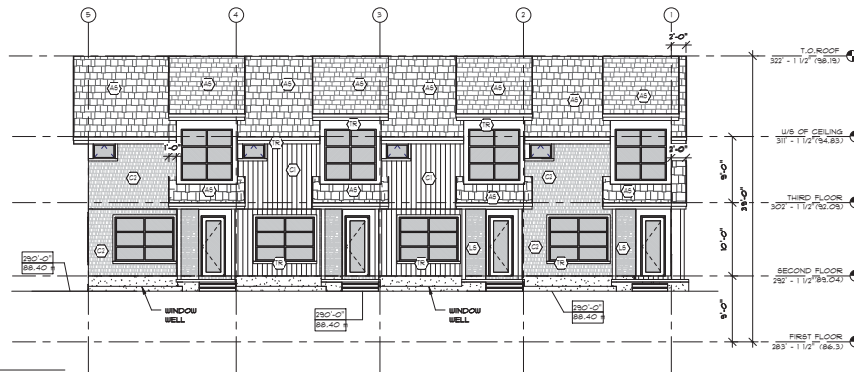
DRAWN:	SHEET:

REVISION:	NO.
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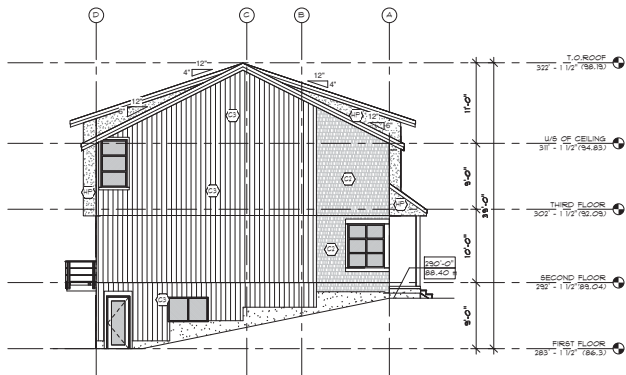
DP-1.13



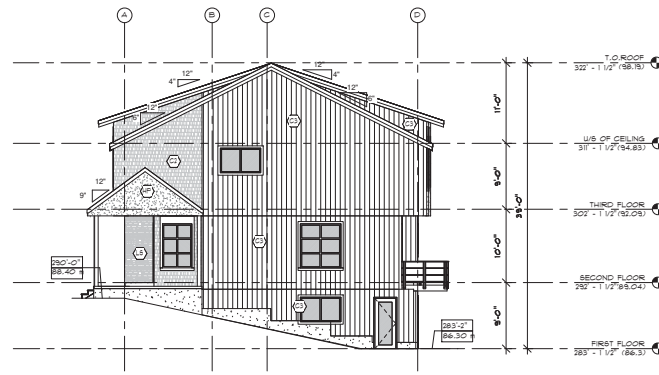
1 SOUTH ELEVATION
DP-5.131 1/8" = 1'-0"



2 NORTH ELEVATION
DP-5.131 1/8" = 1'-0"



3 EAST ELEVATION
DP-5.131 1/8" = 1'-0"



4 WEST ELEVATION
DP-5.131 1/8" = 1'-0"

LEGEND :

GREY-14 BLUE MATERIAL	COLOR	
LS LEDGE STONE	DARK GREY	
FL FLASHING	BLACK	
GP GUARD/RAILING	BLACK	
AS ASPHALT/SHINGLES	DARK GREY	
TR/FA TRIM / FASCIA	SU 7614 PEPPERCORN	
CV 8\"/>		

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NO.	DATE	DESCRIPTION
1	22 SEP 2014	PRELIMINARY DESIGN
2	11 AUG 2015	DP REVISIONS
3	27 AUG 2015	DP REVISIONS
4	2 SEP 2015	DP REVISIONS
5	25 OCT 2015	DP REVISIONS

PROJECT: 129 & HWY 10
109 & HWY 10, SUDBURY, BC

OWNER: CLUSTER-13 (UNIT A) ELEVATIONS

DOUGLAS R. JOHNSON ARCHITECT LTD.
#374-901 WEST 3RD ST., NORTH VANCOUVER, BC V7P 3P9
Ph: (604) 998-3381
Fax: (604) 998-0217

SCALE: As indicated PROJECT NO: _____
DATE: 10 SEP 2014
DRAWN: _____ SHEET: _____
REVISION: DP-5.131

5



1 SOUTH-EAST VIEW
DP-0.14



2 NORTH-WEST VIEW
DP-0.14

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MARK	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	11 AUG 2015	DP REVISIONS
3	11 AUG 2015	DP REVISIONS
4	11 SEP 2015	DP REVISIONS
5	29 OCT 2015	DP REVISIONS

PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC

OWNER:
CLUSTER 14-UNIT D
3D VIEWS

DOUGLAS R. JOHNSON ARCHITECT LTD.
#574-901 WEST 3RD ST.,
NORTH VANCOUVER, BC V7P 3P9
PH: (604) 998-3381
FAX: (604) 998-0217

DATE	PROJECT NO.
13 SEP 2014	
Drawn:	Sheet:
REVISIONS	DP-0.14

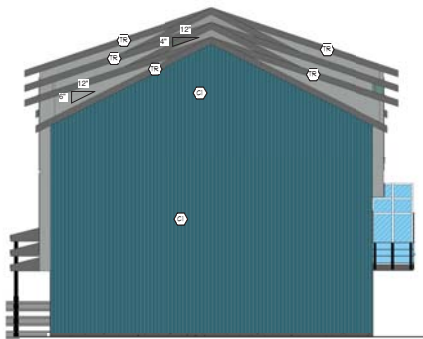




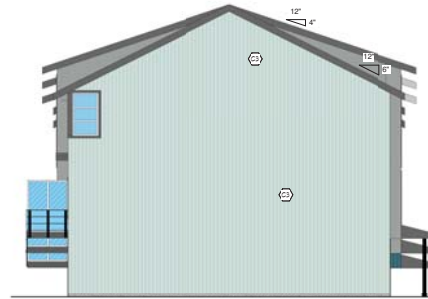
1 COLOURED SOUTH ELEVATION
DP-1.14 1/8" = 1'-0"



2 COLOURED NORTH ELEVATION
DP-1.14 1/8" = 1'-0"



3 COLOURED EAST ELEVATION
DP-1.14 1/8" = 1'-0"



4 COLOURED WEST ELEVATION
DP-1.14 1/8" = 1'-0"

LEGEND :

GRAY - 1 + BLUE MATERIAL	COLOR	
(L5) LEDGE STONE	DARK GRAY	[Pattern]
(L6) FLASHING	GRAY	[Pattern]
(GR) GUARD/RAILING	BLACK	[Pattern]
(AS) ASPHALT SHINGLES	DARK GRAY	[Pattern]
(T5) TRIM / FASCIA	SW 1614 PEPPER CORN	[Pattern]
(C1) 8" VINYL SIDING BOARD + BATTEN	GENTEK COASTAL BLUE	[Pattern]
(HP) HARDI PANEL	SW 1660 EARL GRAY	[Pattern]
(X2) XTERIA WALL SHINGLES	FLAGSTONE BLUE	[Pattern]
(W4) WINDOWS + DOORS	WHITE	[Pattern]
(C3) 8" VINYL SIDING BOARD + BATTEN	GENTEK PEARL	[Pattern]
(RD) ROLL-UP DOOR	CHARCOAL STONE GRAY	[Pattern]

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	27 SEP 2014	DP REVISIONS
3	27 SEP 2014	DP REVISIONS
4	27 SEP 2014	DP REVISIONS
5	27 SEP 2014	DP REVISIONS

PROJECT:
129 & HWY 10
109 & HWY 10,
SURREY, BC

OWNER:
CLUSTER 14-UNIT D
COLOURED ELEVATIONS

DOUGLAS R. JOHNSON ARCHITECT LTD.
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NORTH VANCOUVER, BC V7P 3P9
Ph: (604) 998-3381
Fax: (604) 998-0217

SCALE:	PROJECT NO.:
As Indicated	

DATE: 10 SEP 2014
DRAWN: _____ SHEET: _____
REVISIONS: _____
5

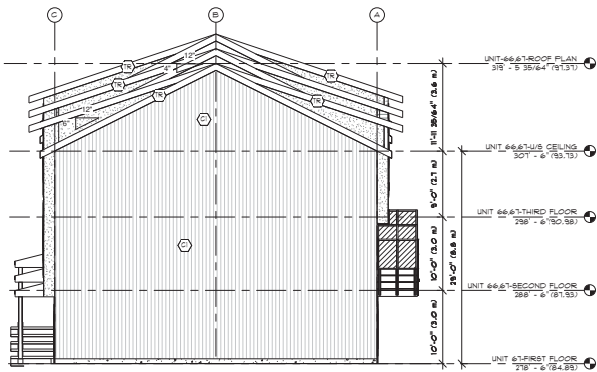
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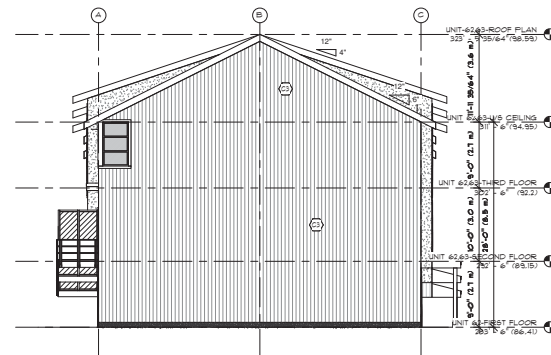
3 SOUTH ELEVATION
DP-5.141 1/8" = 1'-0"



2 NORTH ELEVATION
DP-5.141 1/8" = 1'-0"



1 EAST ELEVATION
DP-5.141 1/8" = 1'-0"



4 WEST ELEVATION
DP-5.141 1/8" = 1'-0"

LEGEND :

GRAY - 14 BLUE MATERIAL	COLOR
(LS) LIDGE STONE	DARK GRAY
(FL) FLASHING	GRAY
(GR) GUARD/RAILING	BLACK
(AS) ASPHALT SHINGLES	DARK GRAY
(TF) TRIM / FASCIA	6W 1614 PEPPERCORN
(V1) 8" VINYL SIDING BOARD 1 BATTEN	GENTEK COASTAL BLUE
(V2) HARDI PANEL	6W 1660 EARL GRAY
(X) XTERIA WALL SHINGLES	FLAGSTONE BLUE
(W) WINDOWS 4 DOORS	WHITE
(V3) 8" VINYL SIDING BOARD 1 BATTEN	GENTEK PEARL
(RD) ROLL-UP DOOR	CHARCOAL STONE GRAY

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REVISION	DATE	DESCRIPTION
1	22 SEP 2014	PRELIMINARY DESIGN
2	11 AUG 2015	DP REVISIONS
3	2 SEP 2015	DP REVISIONS
4	25 SEP 2015	DP REVISIONS
5	25 SEP 2015	DP REVISIONS

PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC

OWNER:
DOUGLAS R. JOHNSON ARCHITECT LTD.

CLUSTER 14-UNIT D
ELEVATIONS

DOUGLAS R. JOHNSON ARCHITECT LTD.
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NORTH VANCOUVER, BC V7P 3P9
Ph: (604) 908-3381
Fax: (604) 908-0217

SCALE	PROJECT NO.
As Indicated	
DATE: 22 SEP 2014	
DRAWN:	SHEET:
REVISION:	DP-5.141



1 SOUTH-EAST VIEW
DP-0.15



2 NORTH-WEST VIEW
DP-0.15

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	27 SEP 2014	DP REVISIONS
3	27 SEP 2014	DP REVISIONS
4	27 SEP 2014	DP REVISIONS
5	27 SEP 2014	DP REVISIONS

PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC

OWNER:

CLUSTER 15-UNIT D 3D VIEWS

DOUGLAS R. JOHNSON ARCHITECT LTD.
#574-901 WEST 3RD ST.,
NORTH VANCOUVER, BC V7P 3P9
PH: (604) 998-3381
FAX: (604) 998-0217

SCALE:	PROJECT NO.:
DATE: 27 SEP 2014	
DRAWN:	SHEET:
REVISIONS:	DP-0.15

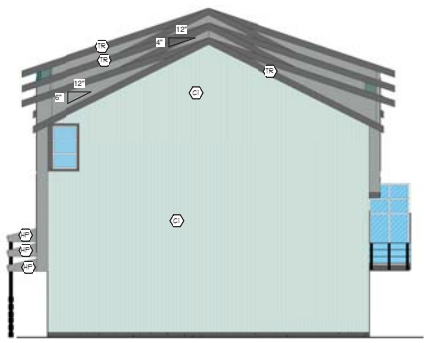
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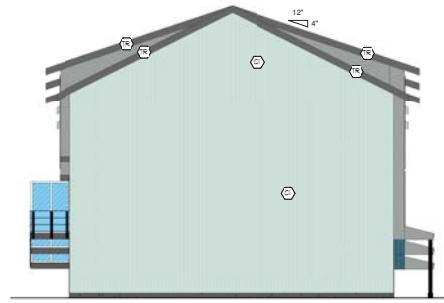
1 COLOURED SOUTH ELEVATION
DP-1.15 1/8" = 1'-0"



2 COLOURED NORTH ELEVATION
DP-1.15 1/8" = 1'-0"



3 COLOURED EAST ELEVATION
DP-1.15 1/8" = 1'-0"



4 COLOURED WEST ELEVATION
DP-1.15 1/8" = 1'-0"

LEGEND :

GRAY-1 # BLUE MATERIAL	COLOR	
(L1) LEDGE STONE	DARK GRAY	[Pattern]
(L2) FLASHING	GRAY	[Pattern]
(G1) GUARDRAILINGS	BLACK	[Pattern]
(A1) ASPHALT SHINGLES	DARK GRAY	[Pattern]
(C1) CROWN / FASCIA	8U 1614 PEPPERCORN	[Pattern]
(V1) 8" VINYL SIDING BOARD & BATTEN	GENTEK COASTAL BLUE	[Pattern]
(H1) HARDI PANEL	5W 1660 EARL GRAY	[Pattern]
(X1) XTERIA WALL SHINGLES	FLAGSTONE BLUE	[Pattern]
(W1) WINDOWS & DOORS	WHITE	[Pattern]
(V2) 8" VINYL SIDING BOARD & BATTEN	GENTEK PEARL	[Pattern]
(R1) ROLL-UP DOOR	CHARCOAL STONE GRAY	[Pattern]

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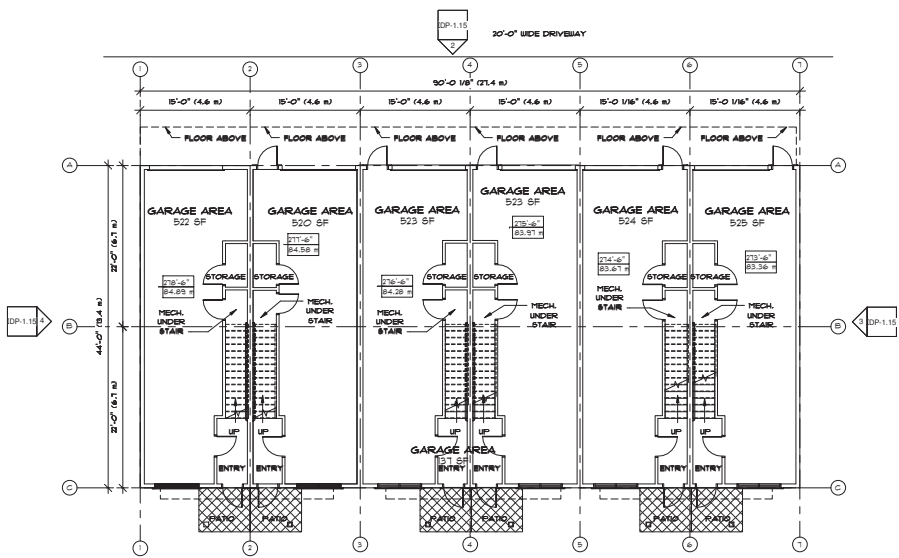
NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	11 AUG 2015	DP REVISIONS
3	27 AUG 2015	DP REVISIONS
4	2 SEP 2015	DP REVISIONS
5	29 OCT 2015	DP REVISIONS

PROJECT:
129 & HWY 10
108 & HWY 10,
SUDBURY, ONT.

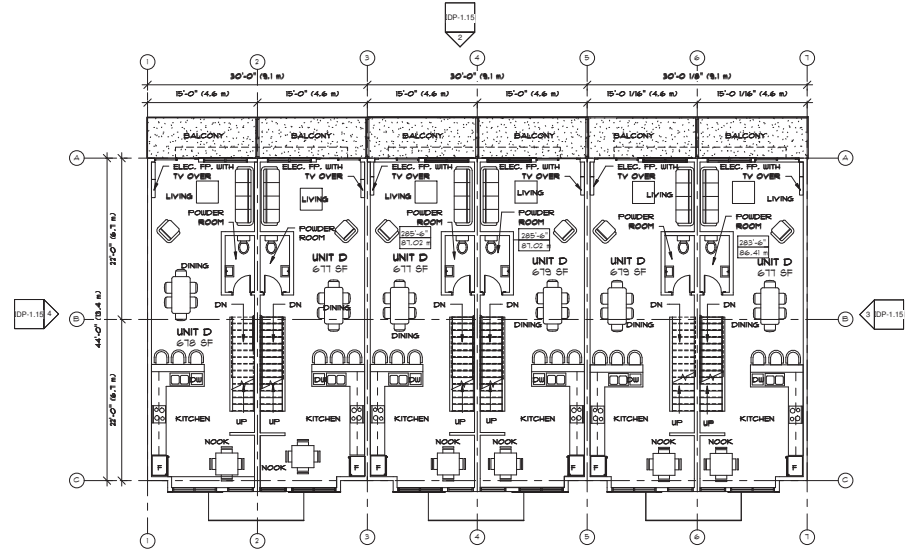
OWNER:
CLUSTER 15-UNIT D
COLOURED ELEVATIONS

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NORTH VANCOUVER, BC V7P 3P9
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Fax: (604) 998-0217

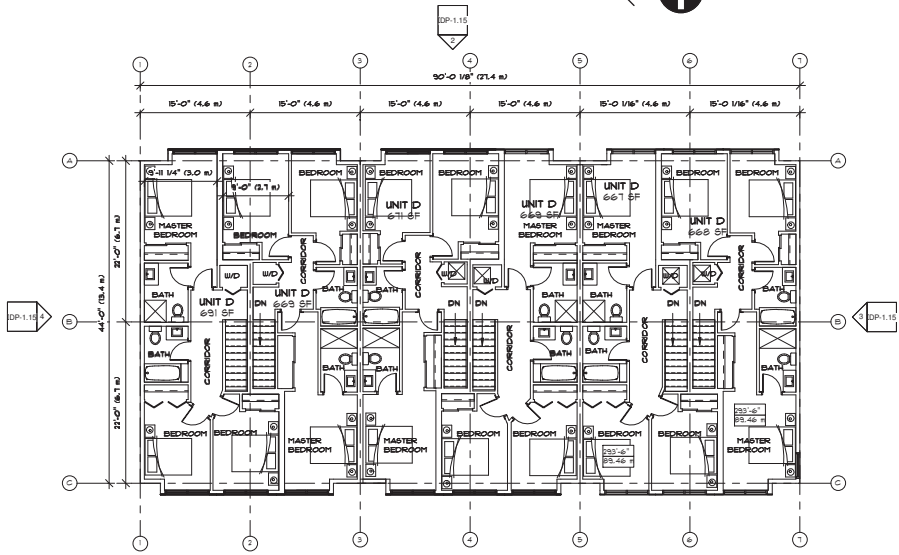
SCALE:	PROJECT NO.:
As Indicated	---
DATE: 10 SEP 2014	SHEET:
DRAWN:	DP-1.15
REVISIONS:	
5	



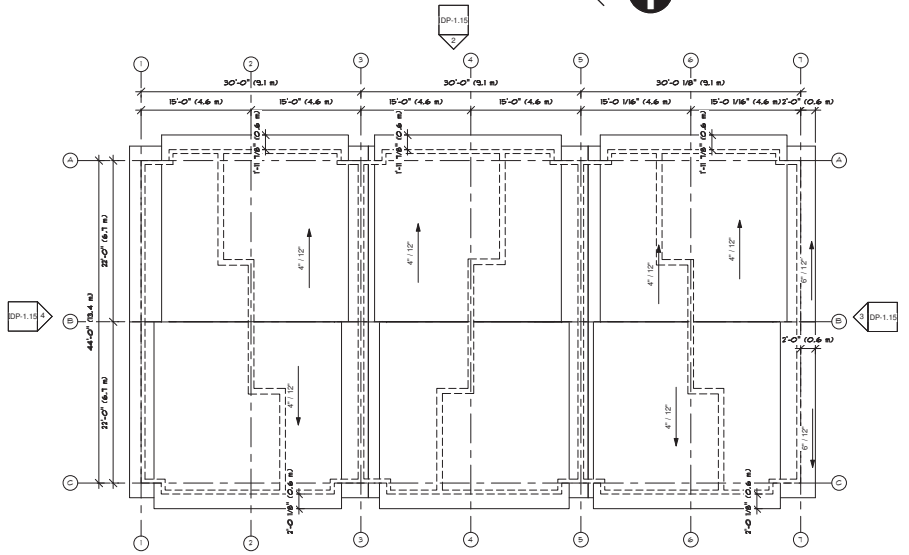
1 FIRST FLOOR PLAN
DP-3.15 1/8" = 1'-0"



2 SECOND FLOOR PLAN
DP-3.15 1/8" = 1'-0"



3 THIRD FLOOR PLAN
DP-3.15 1/8" = 1'-0"



4 ROOF PLAN
DP-3.15 1/8" = 1'-0"

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DATE	REVISION
22 SEP 2014	PRELIMINARY DESIGN
23 SEP 2014	DP REVISIONS
24 SEP 2014	DP REVISIONS
25 SEP 2014	DP REVISIONS
26 SEP 2014	DP REVISIONS

PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC

OWNER:
CLUSTER-15-UNIT-D FLOOR PLANS

DOUGLAS R. JOHNSON ARCHITECT LTD.
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NORTH VANCOUVER, BC V7P 3P9
Ph: (604) 908-3381
Fax: (604) 908-0217

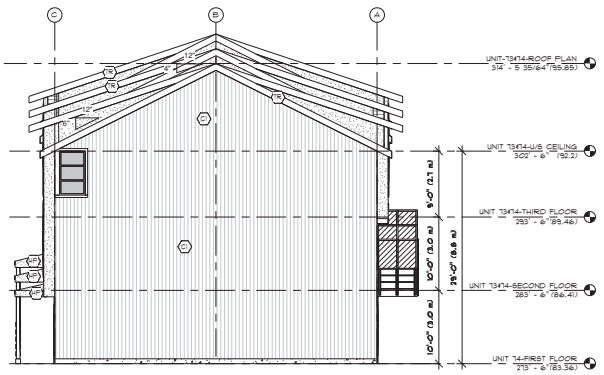
SCALE: 1/8" = 1'-0"	PROJECT NO.:
DATE: 10 SEP 2014	---
DRAWN:	SHEET:
REVISION:	DP-3.15



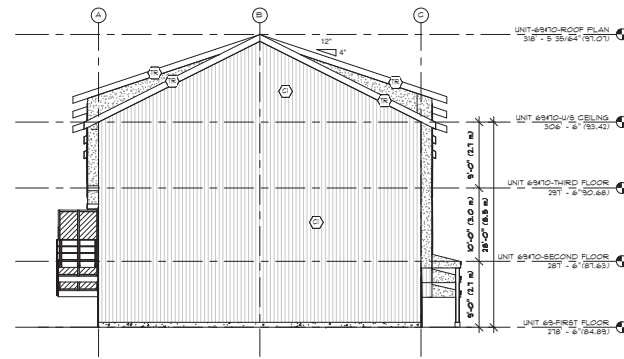
3 SOUTH ELEVATION
DP-5.151 1/8" = 1'-0"



2 NORTH ELEVATION
DP-5.151 1/8" = 1'-0"



1 EAST ELEVATION
DP-5.151 1/8" = 1'-0"



4 WEST ELEVATION
DP-5.151 1/8" = 1'-0"

LEGEND :

GRAY - 14 BLUE MATERIAL	COLOR	
(LS) LEDGE STONE	DARK GRAY	
(FL) FLASHING	GRAY	
(GR) GUARD/RAILING	BLACK	
(AS) ASPHALT SHINGLES	DARK GRAY	
(TR) TRIM / FASCIA	50 7614 PEPPERCORN	
(V) 6" VINYL SIDING BOARD & BATTEN	GENTEK COASTAL BLUE	
(H) HARDI PANEL	50 7660 EARL GRAY	
(X) XTERIA WALL SHINGLES	FLAGSTONE BLUE	
(W) WINDOW & DOORS	WHITE	
(V) 6" VINYL SIDING BOARD & BATTEN	GENTEK PEARL	
(RD) ROLL-UP DOOR	CHARCOAL STONE GRAY	

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DATE	DESCRIPTION
22 SEP 2014	PRELIMINARY DESIGN
3 OCT 2014	DP REVISIONS
7 NOV 2014	DP REVISIONS
2 DEC 2014	DP REVISIONS
25 DEC 2014	DP REVISIONS

PROJECT:
**129 & HWY 10,
SURREY, BC**

OWNER:
**CLUSTER 15-UNIT D
ELEVATIONS**

**DOUGLAS R.
JOHNSON
ARCHITECT LTD.**
#374-901 WEST 3RD ST.,
NORTH VANCOUVER, BC V7P 3P9
Ph: (604) 298-3381
Fax: (604) 298-0217

SCALE	PROJECT NO.
As Indicated	
DATE	SHEET
22 SEP 2014	
REVISION	NO.
	5

DP-5.151



1 3D View 1
DP-0.16



2 3D View 2
DP-0.16

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NO.	DATE	DESCRIPTION
1	27 SEP 2015	PRELIMINARY DESIGN
2	11 AUG 2015	DP REVISIONS
3	11 AUG 2015	DP REVISIONS
4	11 SEP 2015	DP REVISIONS
5	26 OCT 2015	DP REVISIONS

PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC

OWNER:
CLUSTER-16 (UNIT C)- 3D VIEW

DOUGLAS R. JOHNSON ARCHITECT LTD.
#574-901 WEST 3RD ST.,
NORTH VANCOUVER, BC V7P 3P9
PH: (604) 998-3381
FAX: (604) 998-0217

DATE 10 SEP 2014	PROJECT NO.
DRAWN	SHEET
REVISIONS	DP-0.16





1 COLOURED SOUTH ELEVATION
DP-1.16 1/8" = 1'-0"



2 COLOURED NORTH ELEVATION
DP-1.16 1/8" = 1'-0"



3 COLOURED EAST ELEVATION
DP-1.16 1/8" = 1'-0"



4 COLOURED WEST ELEVATION
DP-1.16 1/8" = 1'-0"

LEGEND :

GRAY-11 BLUE MATERIAL	COLOR	
(L5) LEDGE STONE	DARK GRAY	[Color swatch]
(F1) FLASHING	GRAY	[Color swatch]
(G2) GUARDRAILINGS	BLACK	[Color swatch]
(A3) ASPHALT SHINGLES	DARK GRAY	[Color swatch]
(T4) TYPY / FASCIA	6U 1614 PEPPERCORN	[Color swatch]
(V5) 8" VINYL SIDING BOARD & BATTEN	GENTEK COASTAL BLUE	[Color swatch]
(H6) HARDI PANEL	6U 1640 EARL GRAY	[Color swatch]
(X7) XTERIA WALL SHINGLES	FLAGSTONE BLUE	[Color swatch]
(W8) WINDOWS & DOORS	WHITE	[Color swatch]
(V9) 8" VINYL SIDING BOARD & BATTEN	GENTEK PEARL	[Color swatch]
(R10) ROLL-UP DOOR	CHARCOAL STONE GRAY	[Color swatch]

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NO.	DATE	DESCRIPTION
1	27 SEP 2014	PRELIMINARY DESIGN
2	10 OCT 2014	DP REVISIONS
3	21 OCT 2014	DP REVISIONS
4	28 OCT 2014	DP REVISIONS
5	29 OCT 2014	DP REVISIONS

PROJECT:
129 & HWY 10
129 & HWY 10,
SURREY, BC

OWNER:
DOUGLAS R. JOHNSON ARCHITECT LTD.
#374-901 WEST 3RD ST.,
NORTH VANCOUVER, BC V7P 3P9
Ph: (604) 998-3381
FAX: (604) 998-0217

SCALE: As Indicated

DATE: 10 SEP 2014

DRAWN: [Signature]

REVISIONS: [Signature]

PROJECT NO: [Blank]

SHEET: [Blank]

DP-1.16

5

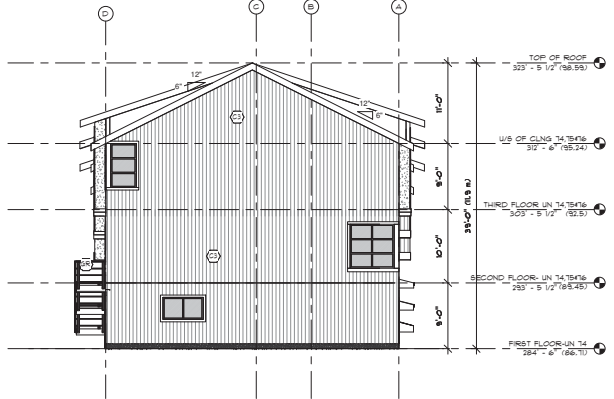
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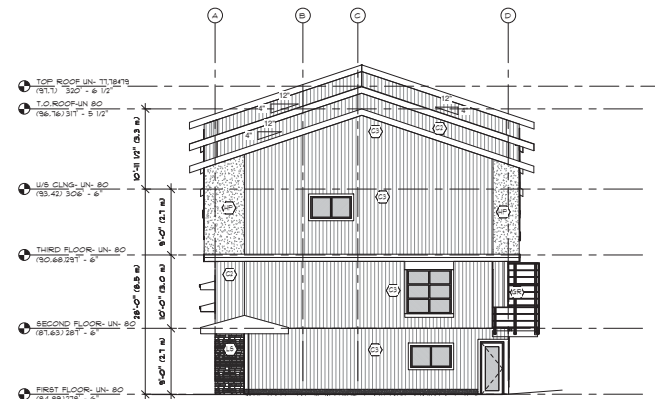
1 SOUTH ELEVATION
DP-5.161
1/8" = 1'-0"



2 NORTH ELEVATION
DP-5.161
1/8" = 1'-0"



3 EAST ELEVATION
DP-5.161
1/8" = 1'-0"



4 WEST ELEVATION
DP-5.161
1/8" = 1'-0"

LEGEND :

GRAY-1 BLUE MATERIAL	COLOR
LS LEDGE STONE	DARK GRAY
FL FLASHING	GRAY
GRS GUARDRAILING	BLACK
AS ASPHALT SHINGLES	DARK GRAY
TR TRIM / FASCIA	DU 1614 PEPPERCORN
CB 8" VINYL SIDING BOARD & BATTEN	GENTEK COASTAL BLUE
HP HARDI PANEL	BU 1660 EARL GRAY
MT MTERIA WALL SHINGLES	FLAGSTONE BLUE
WD WINDOWS & DOORS	WHITE
CV 8" VINYL SIDING BOARD & BATTEN	GENTEK PEARL
RD ROLL-UP DOOR	CHARCOAL STONE GRAY

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DATE	DESCRIPTION
27 SEP 2014	PRELIMINARY DESIGN
7 OCT 2014	DP REVISIONS
21 OCT 2014	DP REVISIONS
25 OCT 2014	DP REVISIONS
28 OCT 2014	DP REVISIONS

PROJECT: 129 & HWY 10
129 & HWY 10, SUDBURY, BC

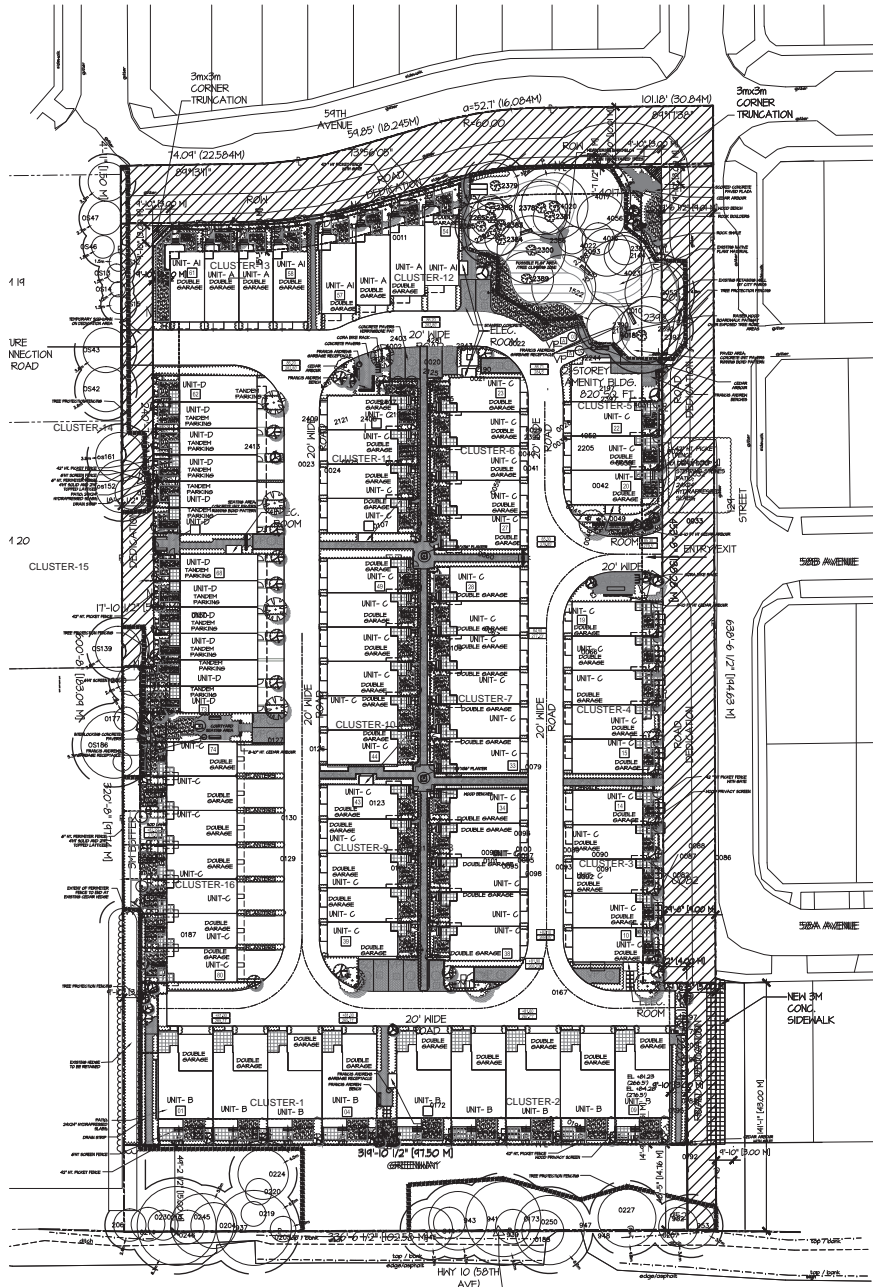
OWNER: CLUSTER-16 (UNIT C) - EXT.

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#374-901 WEST 3RD ST., NORTH VANCOUVER, BC V7P 3P9
Ph: (604) 908-3381
Fax: (604) 908-0217

SCALE: As Indicated
DATE: 17 SEP 2014
DRAWN: PROJECT NO:
REVISION: SHEET:

DP-5.161

10/5/2015 6:04:51 PM



PLANT SCHEDULE					
KEY	QTY	BOTANICAL NAME	COMMON NAME	MS JOB NUMBER	18001
1	10	ACER PALMATA ANTHROPORPHUM	RED JAPANESE MAPLE	2.0M HI, 5.0M CAL. DBH	
2	4	ACER PL. JAPONICUS 'SIGILLATUM' VARESIANA	GLAZE HORNBY MAPLE	6.0M CAL. 20.0M HI. DBH	
3	6	QUERCUS PARVIFLORA 'ROBERTSONI' PENDEL	HEPPIER NOOTKA CYPRESS	2.0M HI. DBH	
4	6	QUERCUS PARVIFLORA 'ROBERTSONI' PENDEL	HEPPIER NOOTKA CYPRESS	2.0M HI. DBH	
5	6	QUERCUS PARVIFLORA 'ROBERTSONI' PENDEL	HEPPIER NOOTKA CYPRESS	2.0M HI. DBH	
6	6	QUERCUS PARVIFLORA 'ROBERTSONI' PENDEL	HEPPIER NOOTKA CYPRESS	2.0M HI. DBH	
7	1	QUERCUS PARVIFLORA 'ROBERTSONI' PENDEL	HEPPIER NOOTKA CYPRESS	2.0M HI. DBH	
8	1	QUERCUS PARVIFLORA 'ROBERTSONI' PENDEL	HEPPIER NOOTKA CYPRESS	2.0M HI. DBH	
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10	1	QUERCUS PARVIFLORA 'ROBERTSONI' PENDEL	HEPPIER NOOTKA CYPRESS	2.0M HI. DBH	
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23	1	QUERCUS PARVIFLORA 'ROBERTSONI' PENDEL	HEPPIER NOOTKA CYPRESS	2.0M HI. DBH	
24	1	QUERCUS PARVIFLORA 'ROBERTSONI' PENDEL	HEPPIER NOOTKA CYPRESS	2.0M HI. DBH	

NOTE: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER LOCAL STANDARDS. TOTAL PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR CERTIFIED COVERED TREES/SHRUBS AND OTHER PLANT MATERIAL REQUIREMENTS. * RESEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW FROM LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND PRINCIPAL VALLEY. * SUBSTITUTIONS OF PLANT MATERIAL APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO WORK AND SUBSTITUTION TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. * CERTIFICATE OF QUALITY OF MATERIALS MUST BE PROVIDED FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE ARCHITECT'S CERTIFICATE OF QUALITY OF MATERIALS.

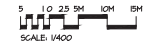
ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.



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NO.	DATE	REVISION DESCRIPTION	DR.
1		PRELIMINARY LANDSCAPE PLANS	AG
2		REVISED PRELIMINARY LANDSCAPE PLANS	AG
3		REVISED PRELIMINARY LANDSCAPE PLANS	AG
4		REVISED PRELIMINARY LANDSCAPE PLANS	AG

SCALE:

SHEET LIST

- L1 KEY PLAN
- L2 TREE PLAN NORTH
- L3 TREE PLAN SOUTH
- L4 SHRUB PLAN NORTH
- L5 SHRUB PLAN CENTRE
- L6 SHRUB PLAN SOUTH
- L7 FENCE PLAN
- L8 LANDSCAPE DETAILS
- L9 SPECIFICATIONS

PROJECT:
TOWNHOUSE DEVELOPMENT
129 & 10 HWY.
SURREY, BC

DRAWING TITLE:
KEY PLAN

DATE: 15.FEB.27	DRAWING NUMBER:
SCALE: 1/400	
DRAWN: SMC	
DESIGN: AG	
CHKD:	
	L1
	OF 9

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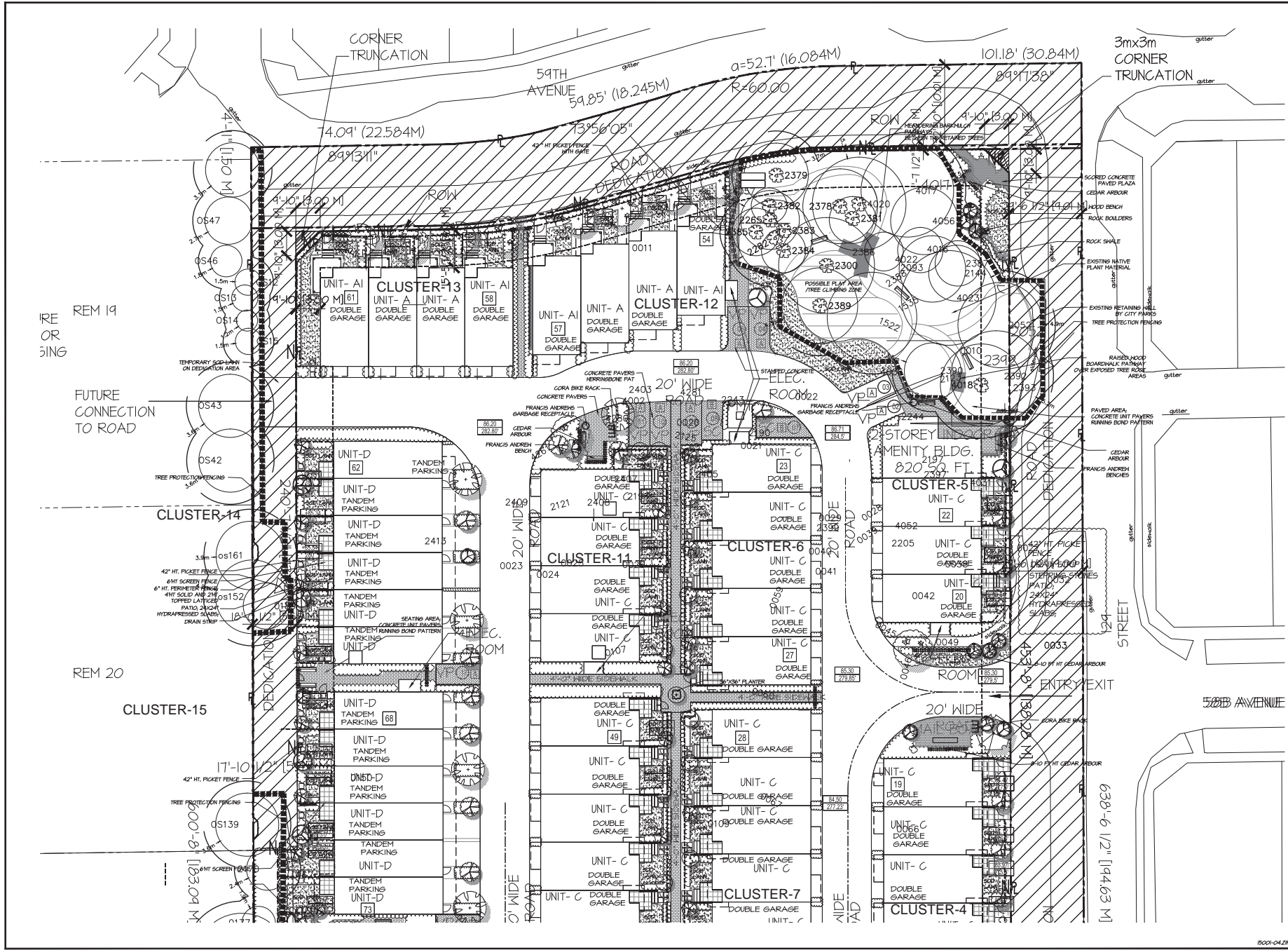
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SCALE:

PROJECT:
TOWNHOUSE DEVELOPMENT
129 & 10 HWY.
SURREY, BC

DRAWING TITLE:
TREE PLAN NORTH

DATE: 15 FEB 27	DRAWING NUMBER:
SCALE: 1/200	L2
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MLA PROJECT NUMBER: 15-001	OF 8



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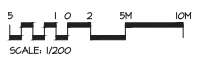
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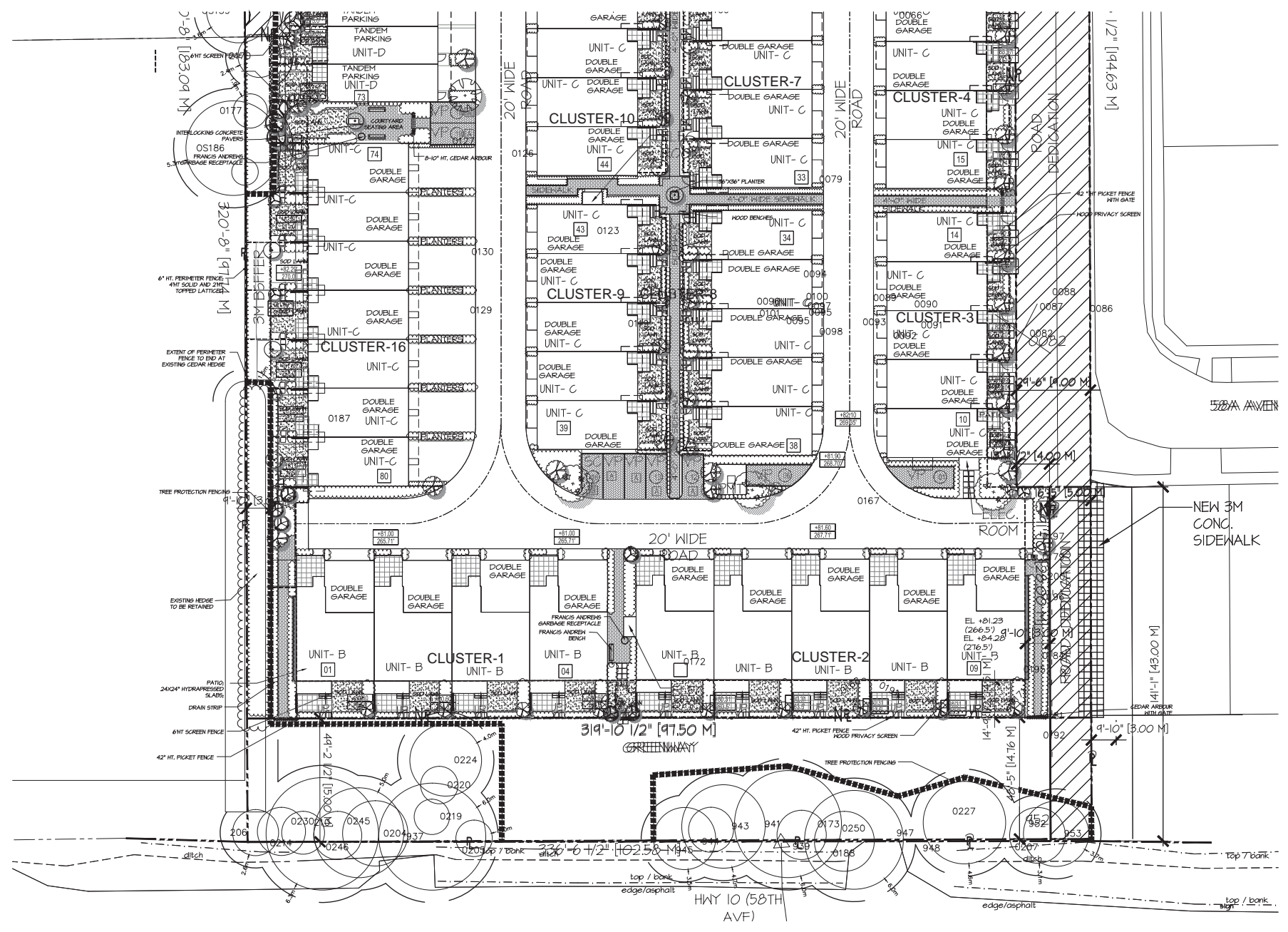
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2	15 FEB 27	REV. AS PER SUBMISSION	AG
1	15 FEB 27	PRELIMINARY LANDSCAPE PLANS	AG

PROJECT:
TOWNHOUSE DEVELOPMENT
129 & 10 HWY.
SURREY, BC

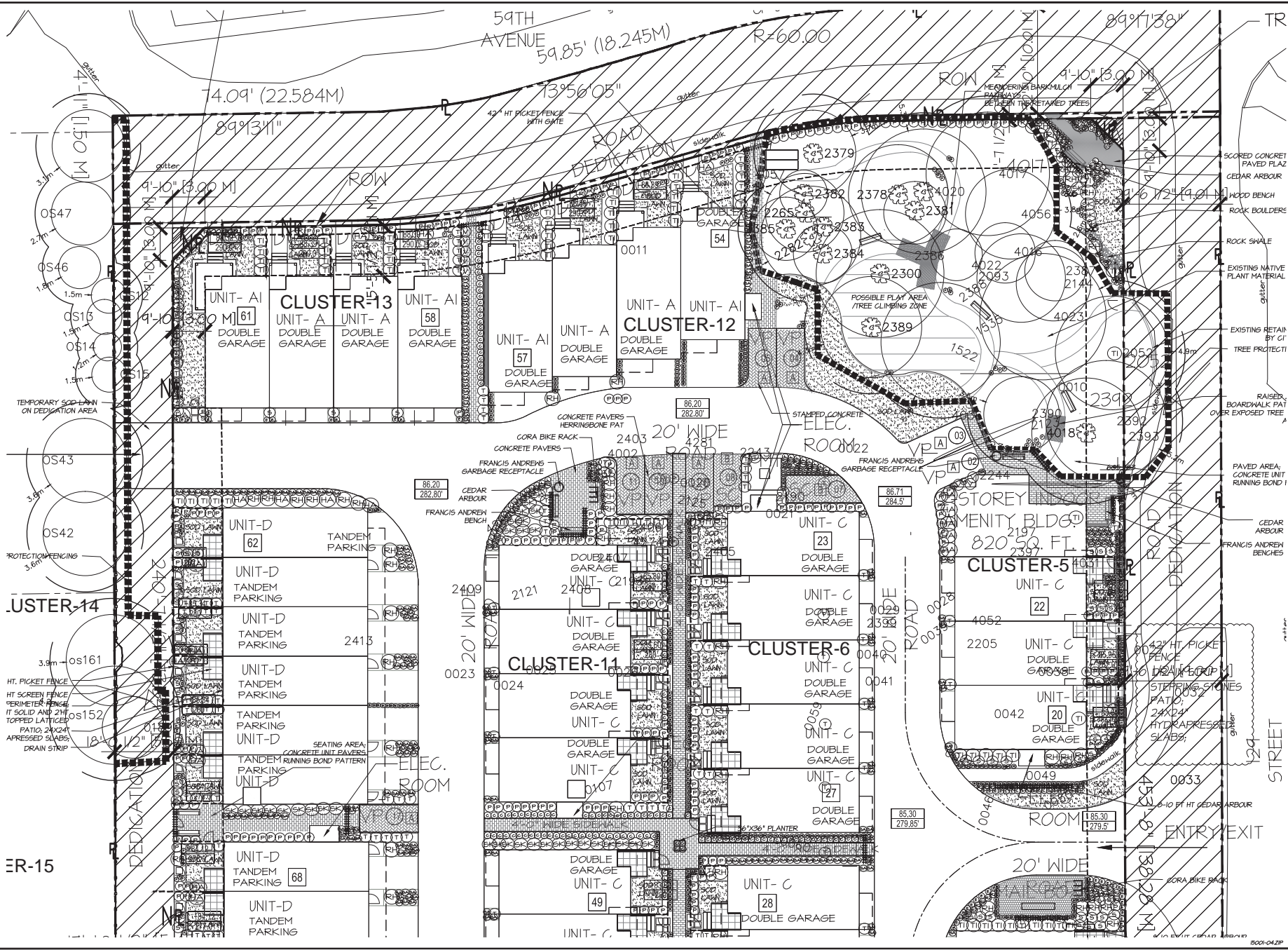
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DATE: 15 FEB 27	DRAWING NUMBER:
SCALE: 1/200	L3
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M2LA PROJECT NUMBER: 15-001



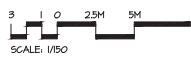
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NO.	DATE	REVISION DESCRIPTION	DR.
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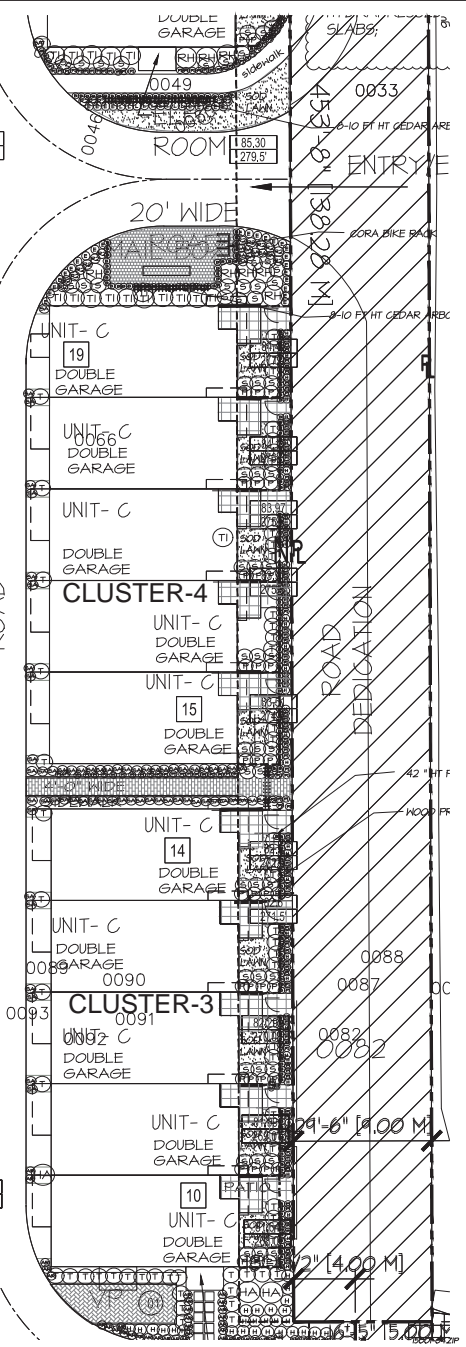
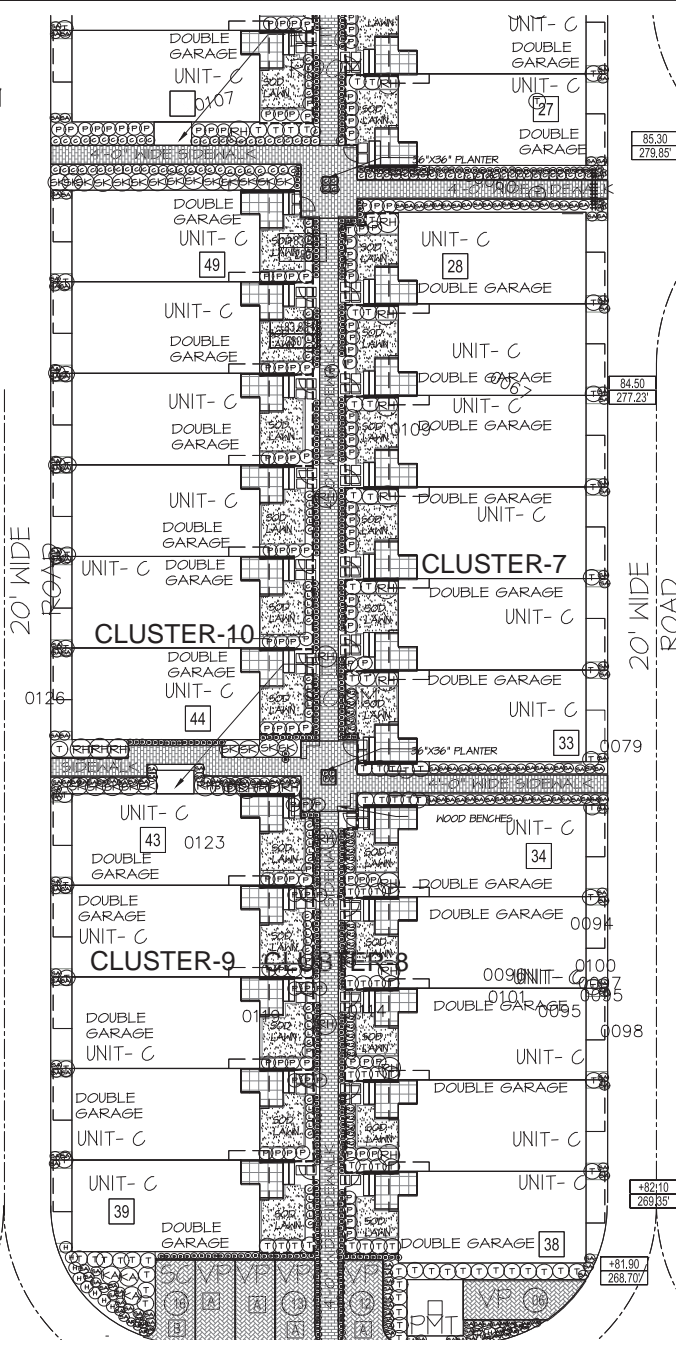
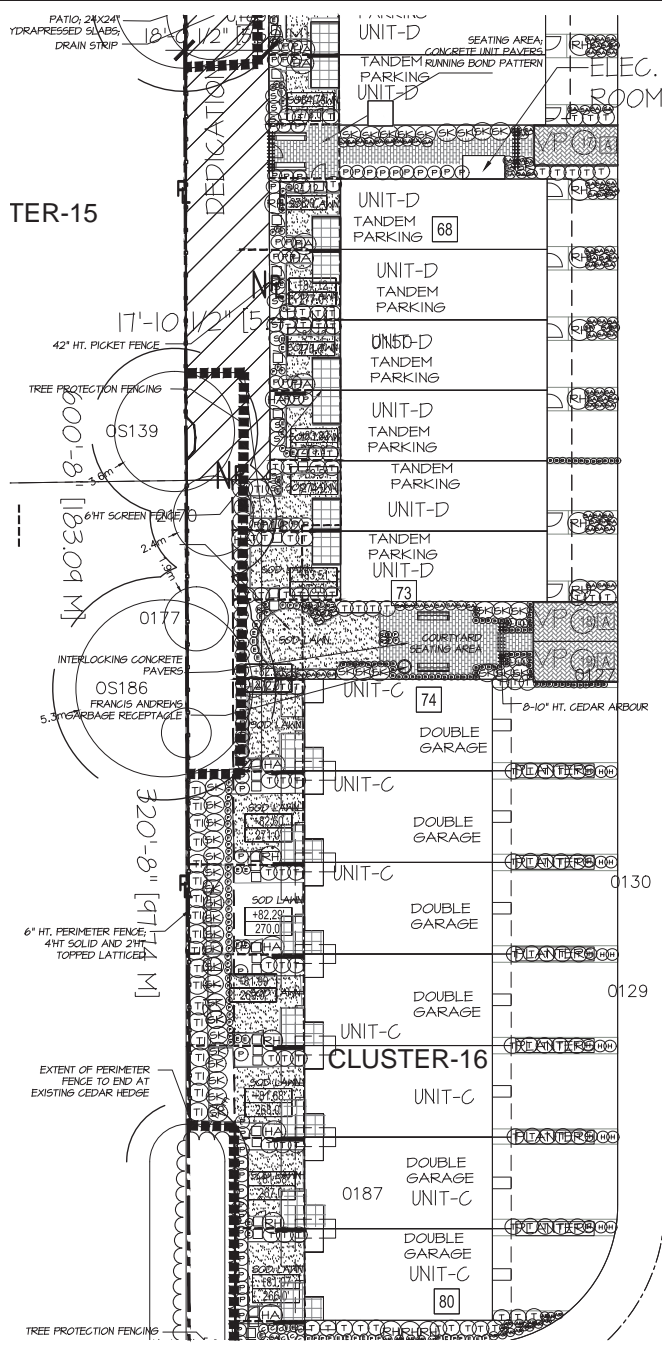
PROJECT:
TOWNHOUSE DEVELOPMENT
129 & 10 HWY.
SURREY, BC

DRAWING TITLE:
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DATE	15 FEB 27	DRAWING NUMBER	L4
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OF 9

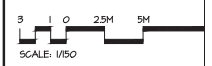
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PROJECT:
TOWNHOUSE DEVELOPMENT
129 & 10 HWY.
SURREY, BC

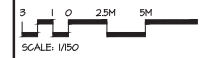
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DATE: 15 FEB 27	DRAWING NUMBER:
SCALE: 1/50	L5
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MZLA PROJECT NUMBER: 15-001	OF 9

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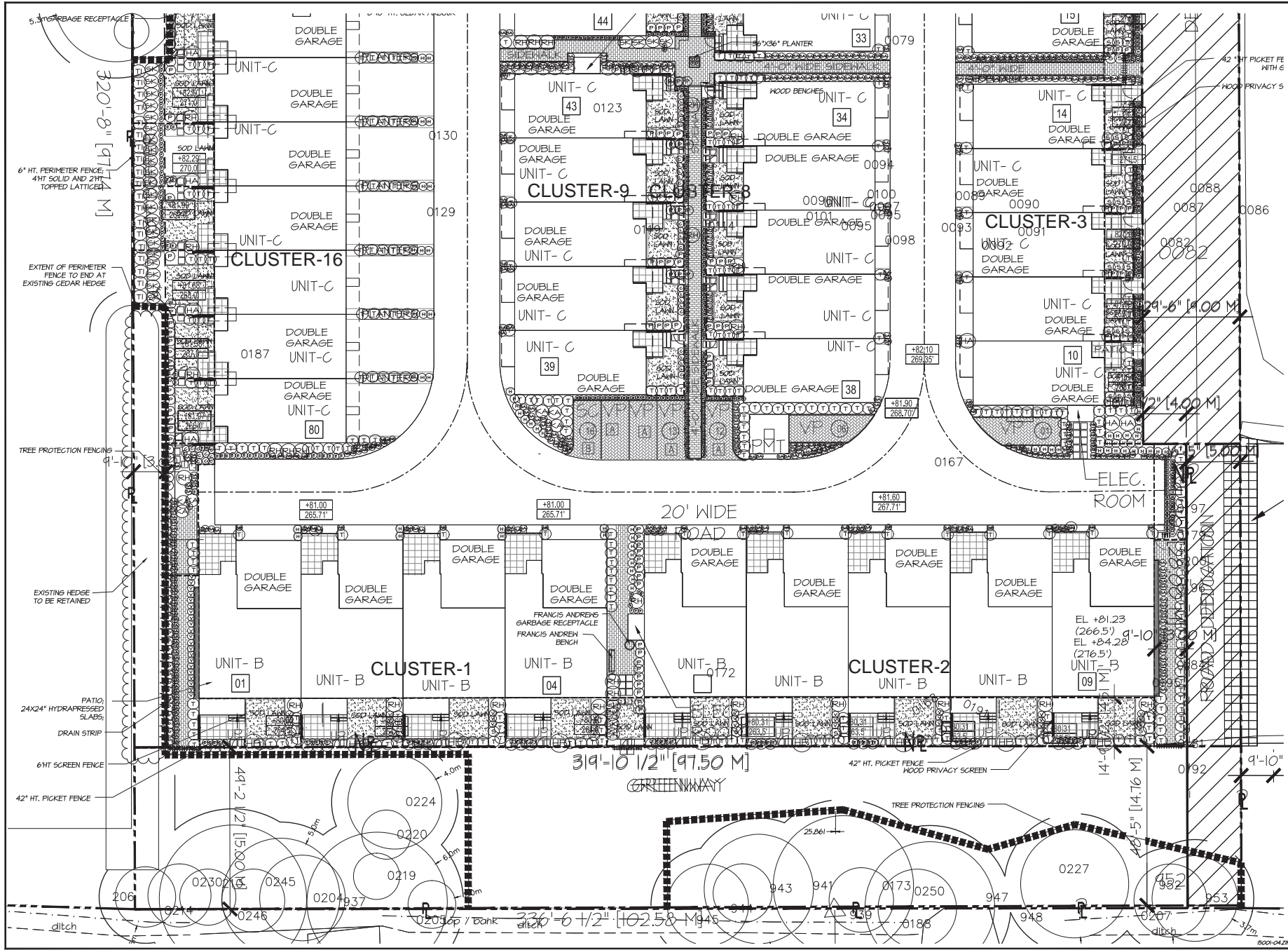
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3		REVISED PER CITY COMMENTS	AG
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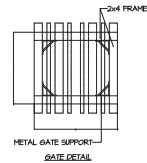
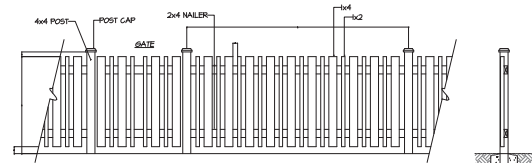
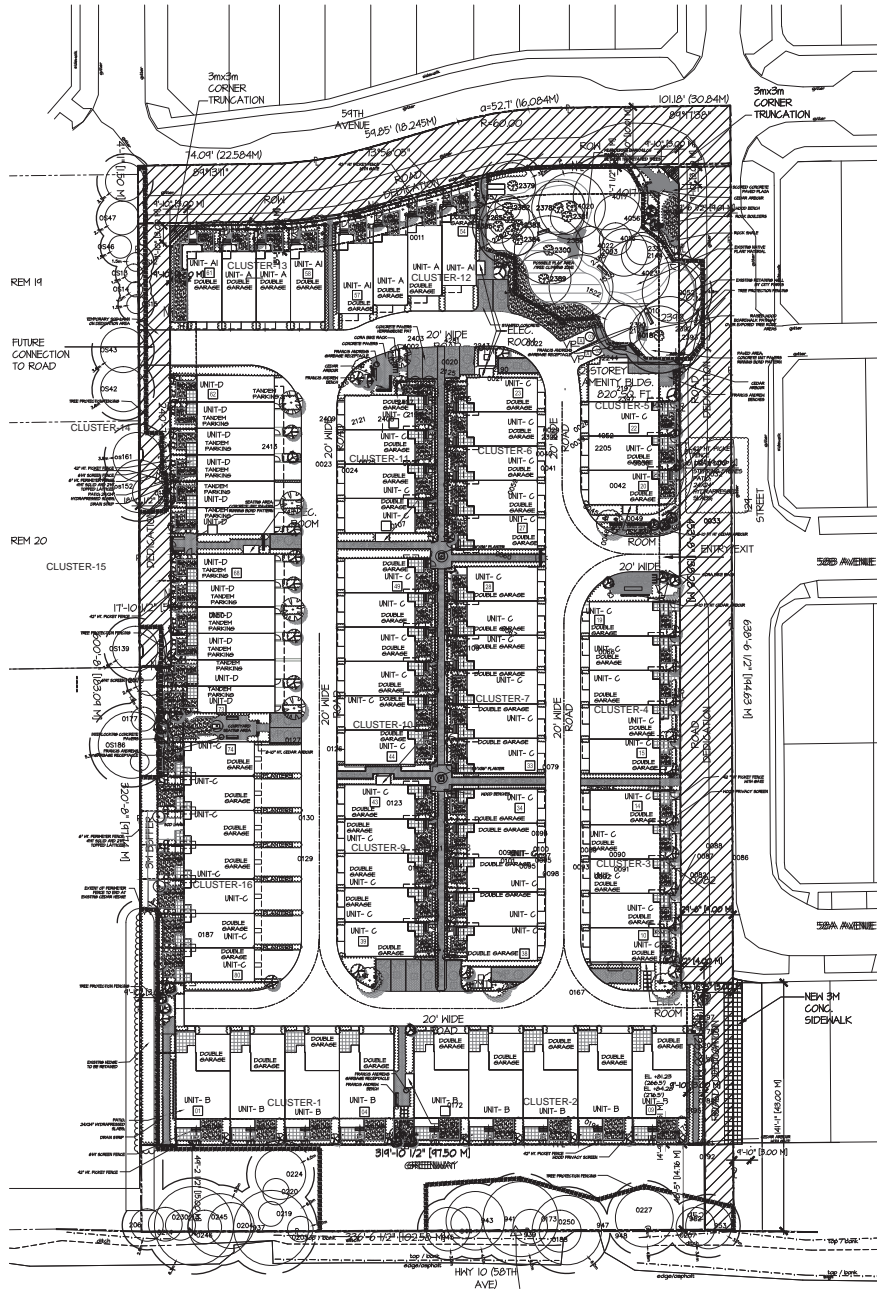
PROJECT:
TOWNHOUSE DEVELOPMENT
129 & 10 HWY.
SURREY, BC

DRAWING TITLE:
SHRUB PLAN SOUTH

DATE: 15 FEB 27	DRAWING NUMBER:
SCALE: 1/80	L6
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CHKD:	OF 8

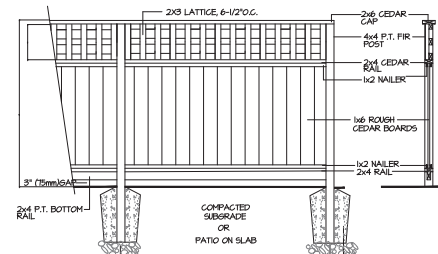
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- NOTE**
1. ALL POSTS/PRESURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 2. ALL OTHER MEMBERS TO BE CEDAR #2 (CONSTRUCTION GRADE MINIMUM).
 3. ALL HARDWARE NOT DIPPED GALVANIZED.
 4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
 5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12" X 8" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3/4"

1 L-7 42" HEIGHT PICKET FENCE & GATE
SCALE: 1/2"=1'-0"



- NOTES**
1. ALL POSTS/PRESURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 2. ALL OTHER MEMBERS TO BE CEDAR #2 (CONSTRUCTION GRADE MINIMUM).
 3. ALL HARDWARE NOT DIPPED GALVANIZED.
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 5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12" X 8" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3/4"

2 L-7 6 FT. (1.8m) HEIGHT SOLID FENCE WITH LATTICE

ADD FENCE DETAILS

- 42" PICKET FENCE
- PRIVACY SCREEN
- 6FT HT PERIMETER FENCE
- TREE PROTECTION FENCE



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NO.	DATE	REVISION DESCRIPTION	DR.
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4	05/09/18	REV. AS PER CITY COMMENTS	AG
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6	11/08/18	CP SUBMISSION	AG
7	08/07/18	PRELIMINARY LANDSCAPE PLANS	AG

SCALE:

PROJECT:
TOWNHOUSE DEVELOPMENT
129 & 10 HWY.
SURREY, BC

DRAWING TITLE:
FENCE PLAN

DATE: 15/FEB/27 DRAWING NUMBER:
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OF 8

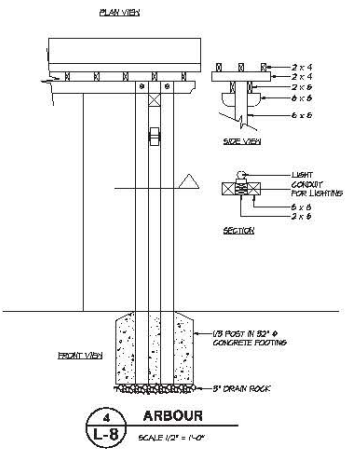
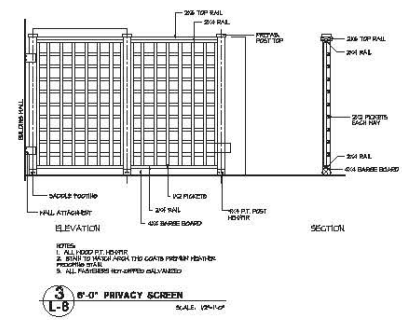
PLANT SCHEDULE

M2 JOB NUMBER: 15001

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
B	905	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#2 POT; 25CM #3 POT; 40CM
HB	4	HIBISCUS SYRIACUS	ROSE OF SHARON	#3 POT; 50CM
HA	44	HYDRANGEA PANICULATA 'LIME LIGHT'	LIME LIGHT HYDRANGEA; LIMEGREEN-PINK	#3 POT; 80CM
KA	6	KALMIA LATIFOLIA 'BULLSEYE'	MOUNTAIN LAUREL	#3POT; 50CM
P	477	PRUNUS LAUROCERASUS 'ZABELIANA'	ZABLES LAUREL	#2 POT; 30CM
RH	83	RHODODENDRON 'CAROLINE GRACE'	RHODODENDRON; CREAM PINK	#3 POT; 50CM
R2	42	ROSA 'WHITE MEIDLAND'	WHITE MEIDLAND ROSE	#3 POT; 60CM
SA	612	SARGOLCOGA HOOKERANA 'RUSCIFOLIA'	FRAGRANT SARGOLCOGA	#2 POT; 30CM
SK	80	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA	#3 POT; 50CM
S	108	SPIRAEA X BUMALDA 'ANTHONY WATERER'	SPIRAEA	#2 POT; 40CM
T	525	TAXUS X MEDIA 'HICKSII'	HICK'S YEH	1.5M B&B
TI	93	THUJA OCCIDENTALIS 'FASTIGIATA'	PYRAMIDAL GEDAR	#3 POT; 80CM
V	56	VIBURNUM DAVIDII	DAVID'S VIBURNUM	#3 POT; 50CM
GRASS				
C	149	GAREX MORROWII 'AURO VARIEGATA'	GOLDEN VARIEGATED JAPANESE SEDGE	#1 POT
PI	250	PENNISETUM ALOPEGURIODES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	#1 POT
PERENNIAL				
E	160	EUPHORBIA BLACKBIRD	BLACKBIRD SPURGE	#1 POT
L	99	LAVENDULA ANGUSTIFOLIA 'HIDCOTE BLUE'	ENGLISH LAVENDER	#1 POT
GC				
AR	91	ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK	#1 POT; 20CM
F	163	BLECHNUM SPICANT	DEERFERM	#1 POT; 20CM #2 POT; 35CM
H	129	ERICA CARNEA 'SPRINGWOOD PINK'	HEATH	#1 POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.



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New Westminster, British Columbia
V3M 3L7
Tel: 604.553.0044
Fax: 604.553.0045



COURSE BARK CHIP PATHWAY WITH WOOD AND ROCK EDGES



CORA - BIKE RACK - 4 BIKES



DRY STREAM BED WITH NATURAL ROCK BOULDERS AND RIVER ROCK



WOOD AND METAL BENCH, FRANCIS ANDREWS FURNISHINGS



GARBAGE RECEPTACLE FRANCIS ANDREWS



NATURAL PLAY AREA/CLIMBING TREE

NO.	DATE	REVISION DESCRIPTION	DR.

SCALE:

PROJECT:
TOWNHOUSE DEVELOPMENT
129 & 10 HWY.
SURREY, BC

DRAWING TITLE:
LANDSCAPE DETAIL

DATE: 02/FEB/21 DRAWING NUMBER:
SCALE: 1/8" = 1'-0"
DRAWN: SHG
DESIGN: AD
CHECK:
CF 9
M2LA PROJECT NUMBER: 15-001

INTER-OFFICE MEMO

**TO: Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: September 22, 2015

PROJECT FILE: 7815-0038-00

**RE: Engineering Requirements (Multi-Family)
Location: 12872 59 Ave, 12871 No. 10(58 Ave) Hwy, 12885 No. 10(58 Ave) Hwy**

OCP AMENDMENT/NCP AMENDMENT/ALR EXCLUSION

There are no engineering requirements relative to the NCP Amendment.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- dedicate 10.000 m fronting 59 Avenue.
- dedicate 9.000 m fronting 129 Street.
- dedicate 5.5 m to create east half of 128A Street.
- dedicate 0.50 m ROWs fronting 59 Avenue, 128 Street and 128A Street.
- dedicate 3.0 m x 3.0 m corner cut at the intersection of 59 Avenue and 129 Street.
- dedicate 3.0 m x 3.0 m corner cut at the intersection of 59 Avenue and 128A Street.

Works and Services

- construct north side of 59 Avenue to a through local standard adjacent to development.
- construct west side of 129 Street to a through local standard.
- provide CIL for the east half of proposed 128A Street.
- pay latecomer charges under 7804-0091-00.

A Servicing Agreement is required prior to Rezoning.

RCool
PR

Rémi Dubé, P.Eng.
Development Services Manager

LR



Tuesday, August 11, 2015
 Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 15 0038 00

SUMMARY

The proposed 80 townhouse units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	19
Secondary Students:	9

September 2014 Enrolment/School Capacity

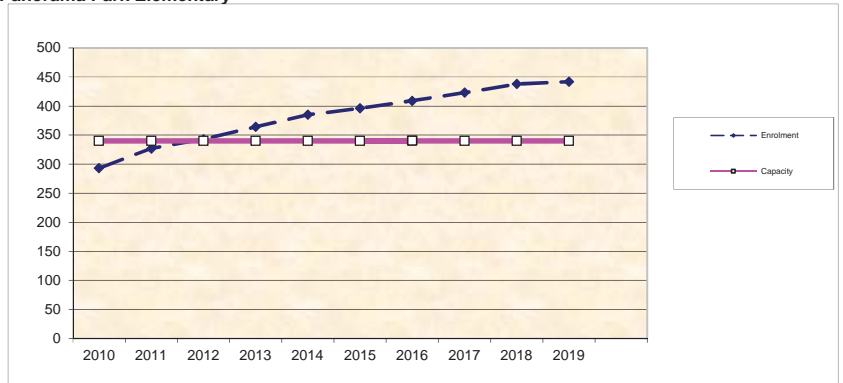
Panorama Park Elementary	
Enrolment (K/1-7):	43 K + 342
Capacity (K/1-7):	40 K + 300
Panorama Ridge Secondary	
Enrolment (8-12):	1502
Nominal Capacity (8-12):	1475
Functional Capacity*(8-12);	1593

School Enrolment Projections and Planning Update:

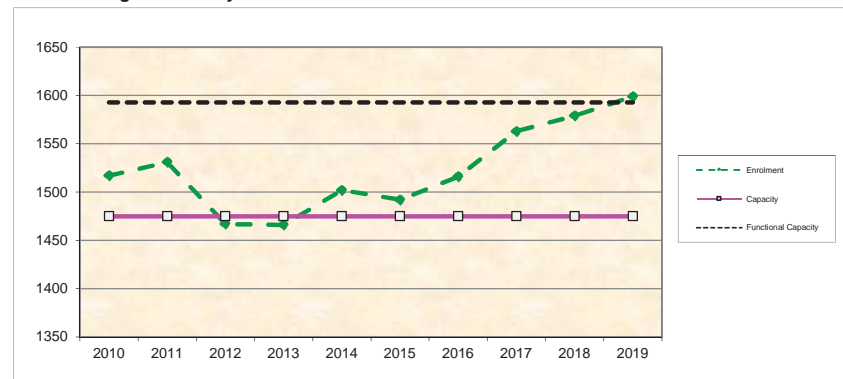
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Panorama Park Elementary is above capacity with enrolment growth expected to continue. The school district is reviewing short and long range options to manage enrolment growth at this school such as boundary adjustments, portable placement and submitting Ministry of Education capital project requests. There are some enrolment pressures at Panorama Ridge Secondary but a recent addition that increased the capacity from 1100 to 1475 (plus a Neighbourhood Learning Centre) has helped to reduce secondary space shortages.

Panorama Park Elementary



Panorama Ridge Secondary



*Functional Capacity at secondary schools is based on space utilization estimate of 27 students per instructional space. The number of instructional spaces is estimated by dividing nominal facility capacity (Ministry capacity) by 25.

Table 4. Tree Preservation Summary.

TREE PRESERVATION SUMMARY	
Surrey Project No:	
Address:	12872 59 th Avenue and 12885, 12871 58 th Avenue Surrey, BC
Registered Arborist:	Trevor Cox, MCIP ISA Certified Arborist (PN1920A) Certified Tree Risk Assessor (43) BC Parks Wildlife and Danger Tree Assessor
On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	243
Protected Trees to be Removed	212
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	31
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 72 X one (1) = 72	352
- All other Trees Requiring 2 to 1 Replacement Ratio 140 X two (2) = 280	
Replacement Trees Proposed	45
Replacement Trees in Deficit	307
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	27
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required:	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio _____ X one (1) = 0	0
- All other Trees Requiring 2 to 1 Replacement Ratio X two (2) = 0	
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

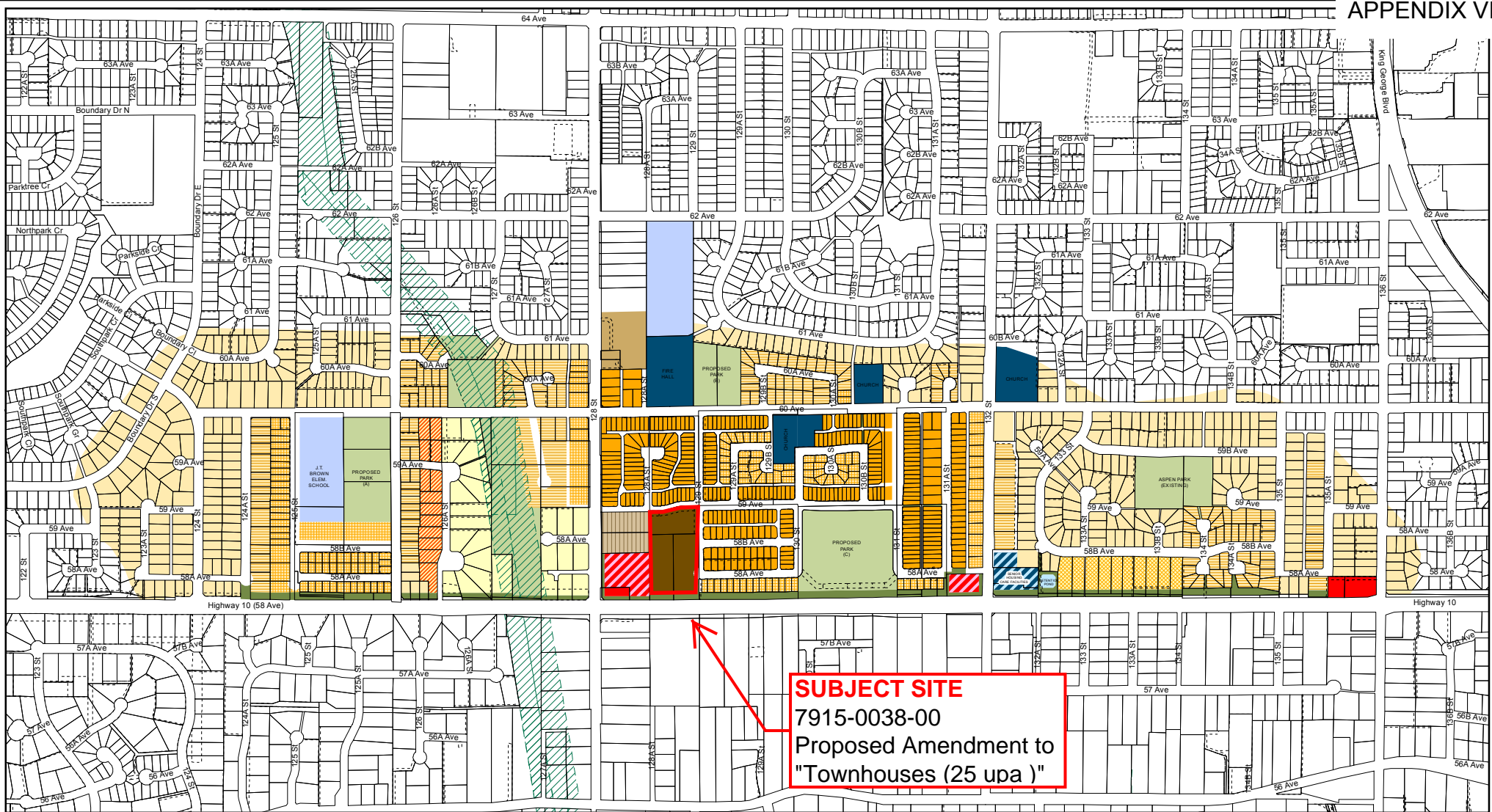
Summary prepared and
submitted by:





















Arborist



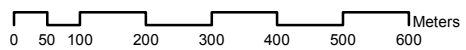
October 7, 2015

Date



- | | | | |
|--|---|---|---|
|  EXISTING HALF ACRE LOTS |  APPROVED CLUSTER HOUSING (10 UPA) |  INSTITUTIONAL |  Buffers/Greenways |
|  SUBURBAN TRANSITION LOTS |  SMALL LOT (10 UPA) |  PROPOSED INSTITUTIONAL |  PARKS |
|  EXISTING SUBURBAN TRANSITION LOTS |  SMALL LOT WITH LANE (13 UPA) |  EXISTING LOCAL COMMERCIAL |  WALKWAYS |
|  PROPOSED SINGLE FAMILY (6 UPA) |  ATTACHED HOUSING (MAX 20 UPA) |  PROPOSED LOCAL COMMERCIAL |  MUNICIPAL R.O.W. |
|  EXISTING SINGLE FAMILY |  SENIORS HOUSING (20 UPA) |  SCHOOLS |  R.O.W. (BC HYDRO) |

WEST NEWTON/HWY #10 NCP LAND USE PLAN
 CITY OF SURREY - PLANNING & DEVELOPMENT DEPARTMENT



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7915-0038-00

Issued To: Panorama Mews Developments Ltd., Inc. No. BC1017507
("the Owner")

Address of Owner: 8128 - 128 Street, Unit 267
Surrey, BC

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 010-199-284
Lot 2 Section 8 Township 2 New Westminster District Plan 16468
12885 No. 10 (58 Avenue) Highway

Parcel Identifier: 010-199-314
Parcel A (Explanatory Plan 40268) Lot 1 Section 8 Township 2
New Westminster District Plan 16468
12871 No. 10 (58 Avenue) Highway

Parcel Identifier: 028-322-924
Lot 48 Section 8 Township 2 New Westminster District Plan BCP45836
12872 - 59 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once titles have been issued, as follows:

Parcel Identifier:

- (b) If the civic addresses changes, the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
-

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

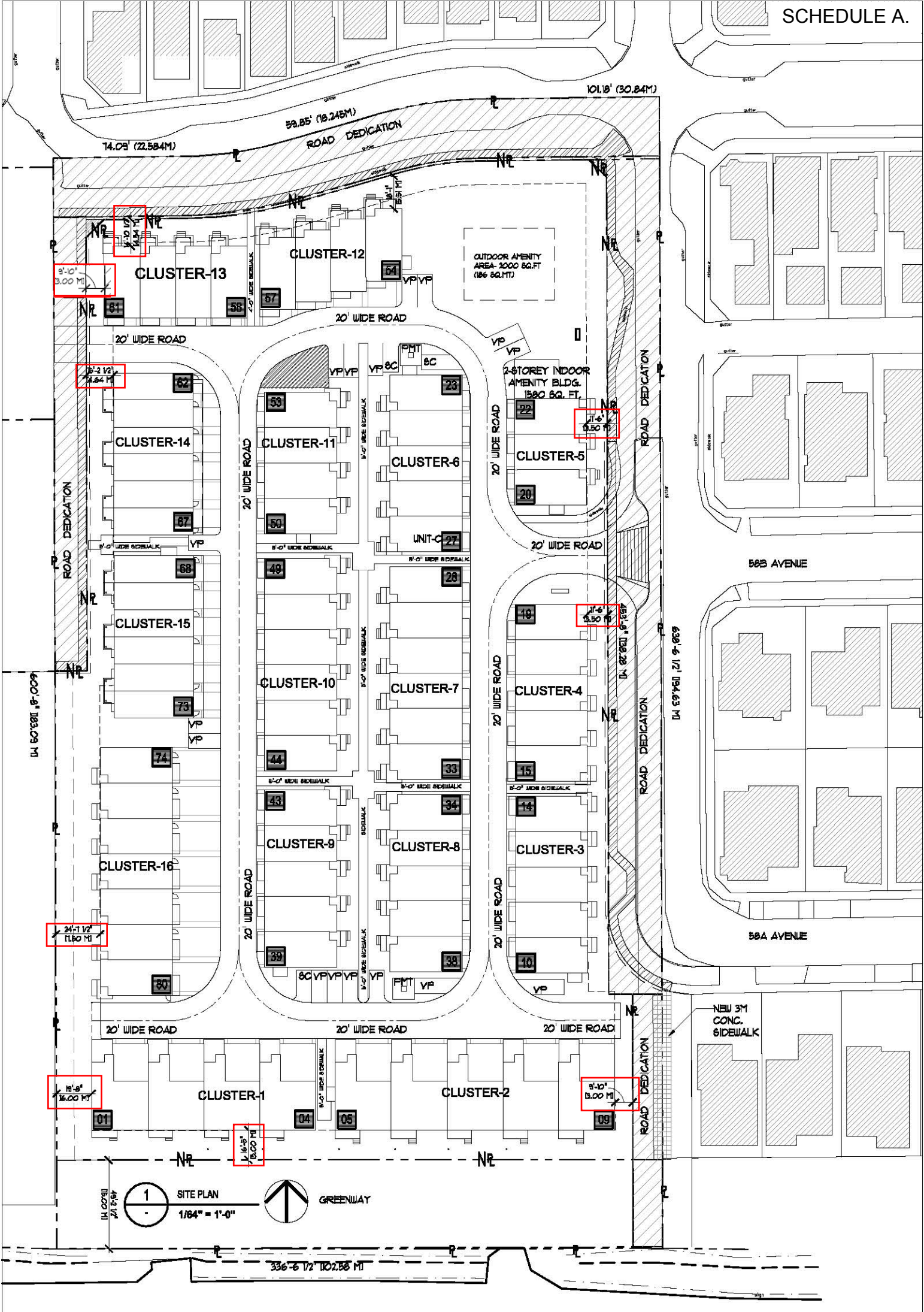
In Section F of Part 22 Surrey Zoning By-law, 1993, No. 12000, as amended, is varied as follows:

- (a) to reduce the minimum side yard setback (west) of the RM-30 Zone from 7.5 metres (25 ft.) to 3 metres (10 ft.);
 - (b) to reduce the minimum front yard setback (north) of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.);
 - (c) to reduce the minimum side yard setback (east) of the RM-30 Zone from 7.5 metres (25 ft.) to 3 metres (10 ft.); and
 - (d) to reduce the minimum rear yard setback (south) of the RM-30 Zone from 7.5 metres (25 ft.) to 5 metres (16 ft.).
5. The landscaping and the siting of buildings and structures shall be in accordance with the drawings labelled Schedule A (the "Drawings") which are attached hereto and form part of this development variance permit.
6. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
7. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
8. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
9. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
10. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan



1 SITE PLAN
 1/64" = 1'-0"
 GREENWAY

336'-6 1/2" 102.58 M